



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

**(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2021-005390  
Application No. SI-2021-00832 and VA-2021-00217

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: August 4, 2021 HEARING DATE OF DEFERRAL: July 21, 2021

SUBMITTAL

DESCRIPTION: Revised Site Plan set and Infrastructure List for the proposed development along with comment responses and deviation justification.

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CONTACT NAME: Jackie Fishman, AICP and Michael Vos, AICP, Consensus Planning, Inc.

TELEPHONE: (505) 764-9801 EMAIL: fishman@consensusplanning.com  
vos@consensusplanning.com



# Memorandum

**To:** Jolene Wolfley and DRB Members, City of Albuquerque

**From:** Michael Vos, AICP, Consensus Planning, Inc. *MV*

**Date:** July 30, 2021

**Re:** Hiland Plaza Comment Responses and Supplemental Information (PR-2021-005390)

This memo outlines the updates made to the site plan for the Hiland Plaza project based on the comments received and reviewed at the July 21, 2021 DRB meeting. In addition, we have provided a justification for a 6-inch deviation to the fence height provided around the patio at the corner of Central Avenue and Jackson Street, as noted on the plans due to the building code requirement to provide a railing for the grade separation between the sidewalk and the patio.

## Code Enforcement

1. Property sits on multiple city parcels, a re-plat will be required.
  - a. *A replat was submitted and approved by the DRB at the July 28, 2021 meeting with final sign-off delegated to Planning for minor conditions and to align with approval of the site plan.*
2. Provide Window/Door calculations for transparency: Section 3-4(I)((5)(b)1(b) and 3-4(I)(5)(b)(4)(c).
  - a. *Notes have been added to the elevations regarding the variances to be approved by the ZHE for these sections.*
3. Provide floor plan (1st floor) as well as landscape notes to assure compliance with 4-3(B)(7)(a)(3) "In DT-UC-MS-PT areas, only ground floor dwelling units are used to calculate the required street trees."
  - a. *The Landscape Architect is working on adding this calculation, but it should be noted that there are 64 trees provided on the site, which is nearly 70% of the total dwelling units in the entire project.*
4. Provide widow detail "recessed" 5-11(D)(3) "In new multi-family residential development, windows shall be recessed not less than 2 inches and/or shall be surrounded by a window casing not less than 2 inches wide."
  - a. *A note has been added to the elevations to address compliance with this standard.*

## Hydrology

1. Hydrology has an approved conceptual grading and drainage plan with engineers stamp date of 6/1/21 (K17D120).
  - a. *Understood.*

## Transportation Development

1. The Transportation Department approves the sidewalk width waiver.

- a. Understood*
2. Right-of-way dedication or a sidewalk easement is required for the new sidewalk prior to the site plan approval.
  - a. A plat consolidating the lots and dedicating right-of-way was approved by the DRB at the July 28, 2021 meeting.*
3. Specify which ramps are being used around the handicapped spaces since the turndown sidewalk detail specifies a vertical separation between the pavement and the sidewalk.
  - a. Enlarged plans of ramps have been added on sheet C-102.*
4. For the corner ramp at the northwest corner, have it line up with the crosswalk, and show existing crosswalk. Drawing 2441 is more appropriate to use than Drawing 2442 in this case.
  - a. This detail reference was changed.*
5. Curb ramp located at the northeast corner does not line up with existing conditions. Adjust as necessary.
  - a. Ramp designed to be a merger of parallel and winged ramp. This is required to align with the limited slope path remaining across the access to Twisters to the east.*
6. Provide complete detail for the ramp along the east side of the building with the handrail, showing all dimensioning. (The handrail detail provided is for the stair ramps.)
  - a. Enlarged plans of ramps added on sheet C-102.*
7. Sidewalk detail shall call out a maximum 2% slope.
  - a. Note added.*
8. Clear sight is a concern with the parallel parking, particularly looking to the left when pulling out of the entrance. Further analysis of this may result in a few parallel parking spaces being eliminated. Also provide distance between centerline on Silver and parallel parking.
  - a. A sight triangle exhibit was provided for the preliminary and final plat hearing on July 28, 2021.*

#### ABCWUA

1. Availability Statement #210332 has been issued and provides the conditions for service.
  - a. Understood.*
2. The proposed hydrant locations differ from those in the approved Availability Statement fire flow analysis. Please contact Utility Development at the number above to determine if the fire flows can be met with the currently proposed layout.
  - a. This has been addressed.*
3. The water authority shall be provided access to the meter vault behind the gate.
  - a. The Water Authority will be provided access to the meter vault through the gates to the parking lot of this project.*
4. Infrastructure List: No objections.
  - a. Understood.*

#### Parks and Recreation

1. Please add note under tree planting detail per IDO section 5-6(C)(5)(e). Such as or similar: "Install organic wood chip mulch over rootball and to cover dripline. Generally, mulch should be held 4" back from tree trunk."
  - a. Construction Note #2 on the tree planting detail references this requirement.*

## Planning

### July 13, 2021 Update:

1. The waiver to 14-16-5-3(D)(3)(b)4 to allow a reduction of the sidewalk width on Jackson Street from the required 8-foot minimum to a 6-foot sidewalk is fully justified under IDO section 6-6(P)(3). The waiver will encourage flexibility, economy, and effective use of open space by lower concrete cost, adding landscaping area to give more tree space. The required 10-foot sidewalk is provided along Central Avenue. The 6-foot sidewalk meets the ADA requirements.
  - a. *Understood.*
2. The Landscape plan shows a mix of low and medium water use plants that are successful in Albuquerque. Landscape is provided above the requirements. Confirm planting details.
  - a. *Understood. Planting details were updated based on Parks and Recreation comment.*
3. Please address how the façade meets these standards
4. 5-11(D)(3) Windows In new multi-family residential development, windows shall be recessed not less than 2 inches and/or shall be surrounded by a window casing not less than 2 inches wide.
  - a. *Note referencing this requirement has been added to the building elevation sheet.*
5. 5-11(D)(2)(b) In UC-MS-PT areas, each floor of every façade that faces a public street shall contain a minimum of 20 percent of the façade in transparent windows and/or doors.
  - a. *Note referencing this requirement has been added to the building elevation sheet. It should be noted that this requirement is superseded by the Nob Hill/Highland CPO requirements. We have also added notes regarding the variances to those requirements heard by the Zoning Hearing Examiner.*
6. The 2020 Update of the IDO has some design considerations helpful to this project. Please consider how you could address these items.

The west elevation with a long building wing should account for strong solar radiation effects on this western facade. Consider using heat mitigation features for windows facing west (exterior or interior shades, recesses, specialized glazing, etc.). AND

Glare from direct sunlight through windows can be effectively diffused by tree canopies. Consider how the trees on the western landscape area could reduce western sun effects.

  - a. *These items were discussed at the DRB meeting on July 21, 2021 and the architect explained the types of windows glazing and insulation provided on this façade.*
7. A platting action consolidating the 22 lots comprising the site must be approved prior to approval of the Site Plan.
  - a. *The lot consolidation plat was approved by the DRB at the July 28, 2021 meeting and is pending final signature to align with this site plan request and infrastructure list.*

### Deviation Request

A potential Deviation to the wall and fence height was discussed at the July 21, 2021 DRB meeting for the railing at the patio on the northeast corner of the site. Upon further review, this railing does extend into the street side yard on Jackson Street where height is limited for mixed-use to 3 feet in height. In addition, since this project is a mixed-use development rather than a strictly multi-family development it does not appear to qualify for the exception in IDO Section 5-7(D)(3)(c) that otherwise allows a 6-foot-tall fence when utilizing view fencing. As such, we are requesting approval of a Deviation of 6 inches as allowed in Table 6-4-1 Allowable Deviations with the following justification:



6-4(P)(3)(a) The applicant's site is subject to site constraints not generally shared by surrounding properties or the site was platted or developed in an unusual pattern when compared to abutting properties (e.g. the property was developed with orientation or access facing a different street than abutting lots) that would prevent the development of a permissive land use in a type of structure generally found on sites of a similar size in the surrounding area.

*Applicant Response: The subject site includes site constraints not generally shared by the surrounding development, including its location on a corner lot and the grading required to create the proposed building pad and patio space where the railings are located. To the south of the patio, the grading slopes upward to the building pad, which pushes the residential unit entries to the east and thus extends the width of the street side yard area. This area is being utilized for landscaping purposes. If the building could be placed closer to Jackson Street, the street side yard would be minimized, and potentially this deviation would not be necessary because fences in other locations of the property are allowed to up to 8 feet tall. Compounding this matter, is a grade separation between the sidewalk and patio, which requires the developer to provide a railing at the specified height. This is for safety reasons and prevents someone from falling over the small ledge that is being created.*

6-4(P)(3)(b) The site constraints were not created by the actions of the property owner or another interested party.

*Applicant Response: These constraints were not created by this property owner and exist in the form of the topography and platting of this property and streets that were done by other parties many years in the past.*

6-4(P)(3)(c) The request is for a single site and is not part of a pattern of similar requests for adjacent properties or for nearby sites by the same property owner or within the same subdivision, Framework Plan area, or Master Development Plan area.

*Applicant Response: This request is unique due to the specific constraints of this site and proposed development. It is not part of a pattern of requests by this owner or for adjacent properties in the Nob Hill and Highland Area.*

6-4(P)(3)(d) The approval of the requested deviations will not cause material adverse impacts on surrounding properties.

*Applicant Response: This request will not create any material adverse impacts on surrounding properties. The deviation is only for 6 inches for safety purposes. The result is still for a short railing that is open and will not block any views or cause any impacts to clear sight at the Central Avenue and Jackson Street Intersection.*

6-4(P)(3)(e) The requested deviation is not for an Overlay zone standard, and the approval of any requested deviation will not result in a violation of any Overlay zone standard.

*Applicant Response: This request is not to an Overlay zone standard, but to the general wall and fence height standards in mixed-use areas.*



PROJECT TABULATED PARKING COUNTS AND OPEN SPACE

Space/Unit Type	Number of Units	Use	GSF per unit	Req'd Parking	On-Site Parking Provided	Open Space Req'd	Open Space Provided	HC Req'd	HC Provided	MC Req'd	MC Provided	Bicycle Req'd	Bicycle Provided
Leasing Office	1	Office	2000	3									
Commercial	1	Office/Retail	2000	3									
1 bdr, 1 ba	68	Residential	533	34		7650							
2 bdr, 2 ba	14	Residential	795	7		1995							
3 bdr, 2 ba	10	Residential	1016	5		1750							
<b>Total</b>	<b>92</b>			<b>52</b>	<b>62</b>	<b>11395</b>	<b>17,150 sf</b>	<b>6</b>	<b>8</b>	<b>2</b>	<b>3</b>	<b>5</b>	<b>8</b>

Notes:  
 1. Parking required 1 space per DU, with 50% reduction for UC-MS-PT  
 2. Bicycle parking required, 3 spaces or 10% whichever is greater  
 3. Motorcycle parking required 1 space per 25 off street parking.  
 4. Accessible Parking is based on 2015NM Commercial Building Code, Table 1106.1 of Title 14, Chapter 7, Part 2.  
 5. Open Space per table 2-4-5 including a 50% reduction for UC-MS-PT. Open space includes 9,616 sf of landscaping and 7,534 sf of sidewalk and patio space.  
 6. On Street Parking provided along Silver Avenue SE and Jackson Street SE is 17 including 2 ADA Stalls.

For Visibility, landscaping, fencing, and signs shall not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubs between 3 and 8 feet in height (as measured from the gutter pan) are not allowed in the clear sight triangle.

**dg**  
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 CONSULTANT

SITE PLAN GENERAL NOTES

- MINI SIGHT TRIANGLE (11' ON EACH SIDE STARTING AT BACK OF SIDEWALK AND THEN EXTENDING TO FLOW LINE OF CURB PER DEVELOPMENT PROCESS MANUAL FIGURE 7.4.94), FOR ILLUSTRATIVE PURPOSES ONLY.
- LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SITE TRIANGLE.
- ALL PARCELS SURROUNDING THE PROJECT SITE ARE MM-W ZONING. REFUSE WILL BE COLLECTED INTERNALLY BY A TRASH CHUTE AND COMPACTOR. MAINTENANCE STAFF WILL MOVE REFUSE TO THE REFUSE HOLDING YARD.
- RECYCLE MATERIALS WILL BE COLLECTING IN ROLLING BINS ON EACH FLOOR OF THE BUILDING AND WILL BE MOVED OUT TO HOLDING YARD BY MAINTENANCE STAFF PER COA STANDARD DWG 2443.
- SOLID WASTE WILL BE PROVIDED A PROXIMITY CARD AND KEY PAD ACCESS CODES TO ENSURE ACCESS FOR REFUSE COLLECTION.
- ACCESS SHALL BE PROVIDED TO ABCWUA AS NECESSARY FOR WATER METER VAULT FOR MAINTENANCE.

SITE PLAN KEYED NOTES

- CONCRETE PAVEMENT PER DETAIL D3/C-501.
- CONCRETE HEADER CURB, 6" TALL, PER DETAIL A5/C-501.
- STANDARD CURB AND GUTTER PER DETAIL A5/C-501.
- CONCRETE PAVEMENT STRIP 2" WIDE PER DETAIL D3/C-501.
- GRAVEL PAVEMENT PER DETAIL D4/C-501.
- CONCRETE CURB ACCESS RAMP PER DETAIL A1/C-501 AND TYPE C PARALLEL CURB ACCESS RAMP PER COA STANDARD DWG 2443.
- DETECTABLE WARNING SURFACE PER DETAIL A3/C-501.
- CONCRETE SIDEWALK PER DETAIL B4/C-501.
- ADA RESERVED PARKING STALL PER DETAIL A1/C-502.
- ADA RESERVED PARKING SIGN MOUNTED PER DETAIL C3/C-502 AND D2/C-502.
- ADA VAN ACCESSIBLE RESERVED SIGN MOUNTED PER DETAIL C3/C-502 AND D2/C-502.
- RESERVED PARKING SYMBOL PER DETAIL E3/C-502.
- CONCRETE PARKING BLOCK PER DETAIL E4/C-502.
- 24" SLIDING VEHICLE GATE PER DETAIL A5/C-504 WITH LIFT MASTER PROFESSIONAL MODEL SL3000101U HEAVY DUTY SLIDING GATE OPERATOR WITH 1-HP MOTOR ON 18"x34"x24" CONCRETE FOUNDATION. INSTALL PER MANUFACTURER RECOMMENDATIONS.
- BICYCLE RACK PER DETAIL E5/C-502.
- ASPHALT PAVEMENT PER DETAIL E2/C-501.
- PAINT CURB RED WITH 6" TALL LETTERS READING "NO PARKING FIRE LANE".
- FIRE DEPARTMENT KNOX BOX.
- SIDEWALK CULVERT PER DETAIL B3/C-501.
- MOTORCYCLE PARKING STALL WITH SIGNAGE AND PAVEMENT MARKINGS.
- CONCRETE STAIR PER B4/C-502 AND HANDRAILS PER DETAILS A2/C-502.
- CONCRETE CUT OFF WALL TO SEPARATE ASPHALT FROM GRAVEL PARKING, PER DETAIL A5/C-501.
- 4" WIDE WHITE PARKING STRIPE.
- CONTINENTAL CROSS WALK STRIPING.
- REFUSE ENCLOSURE PER DETAIL A3/C-502.
- FIRE RISER ROOM. SEE ARCHITECTURAL AND MECHANICAL PLANS.
- LANDSCAPED AREA.
- CONCRETE STOOP PER DETAIL C3/C-501.
- CONCRETE SPLASH BLOCK PER DETAIL D6/C-501 AND CONCRETE RUNDOWN PER DETAIL C5/C-501.
- 6" TALL PERIMETER FENCE PER DETAIL A5/C-504.
- 6" TALL PERIMETER FENCE PERSONNEL GATE PER DETAIL A4/C-504.
- 6" TALL PERIMETER FENCE PERSONNEL GATE PER DETAIL A4/C-504.
- CANTILEVERED FENCE END PER DETAIL A1/C-504.
- REFUSE ENCLOSURE GATE PER DETAIL D5/C-504.
- ENCLOSURE GATE PER DETAIL A2/C-504.
- CONCRETE VALLEY GUTTER PER DETAIL E1/C-502.
- LIGHT POLE PER ELECTRICAL SHEET ES-101.
- 6" STEEL BOLLARD PER DETAIL E1/C-501.
- PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 3" AND 6" TALL.
- STORM WATER RETENTION POND. SEE GRADING PLANS.
- TURN DOWN EDGE SIDEWALK PER DETAIL E3/C-501.
- NATURAL GAS METER OR REGULATOR SEE UTILITY PLANS.
- WATER METER VAULT. SEE UTILITY PLAN.
- ELECTRICAL TRANSFORMER. SEE SHEET ES-101.
- ELECTRICAL METER PACK. SEE ELECTRICAL PLANS.
- KEY PAD FOR GATE OPERATOR. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- LOOP DETECTOR FOR AUTOMATIC GATE OPERATORS. SEE ELECTRICAL PLANS FOR DETAILS.
- PATIO RAILING PER DETAIL C5/C-501.
- CONCRETE RAMP AND HANDRAILS PER DETAIL A2/C-502.
- DOG WASTE STATION. SEE LANDSCAPING PLANS.
- PROVIDE 5" WIDE OPENING IN CURB.
- DOG PARK SURROUNDED BY 4" TALL FENCE PER DETAIL A5/C-504.
- SKATE BOARD PARK AREA SURROUNDED BY 4" TALL FENCE PER DETAIL A5/C-504.
- LOW SEAT WALL. SEE LANDSCAPING PLANS.
- CONCRETE SIDEWALK TO BE FLUSH WITH ASPHALT. PROVIDE 3" LONG CURB TRANSITION FROM 6" TALL TO FLUSH ON EACH SIDE.
- CONCRETE CURB ACCESS RAMP DETAIL A PAIRED PARALLEL CURB ACCESS RAMP WITH A COMMON LANDING PER COA STANDARD DWG 2445.
- CONCRETE CURB ACCESS RAMP TYPE B PARALLEL CURB ACCESS RAMP PER COA STANDARD DWG 2443.
- CONCRETE CURB ACCESS RAMP DETAIL B CORNER ACCESS RAMP PER COA STANDARD DWG 2441.
- 24" THERMOPLASTIC WHITE STOP BAR STRIPING.
- CONCRETE CURB ACCESS RAMP TYPE A PARALLEL CURB ACCESS RAMP PER COA STANDARD DWG 2443.
- CONCRETE CURB ACCESS RAMP SIMILAR TO COA STANDARD DWG 2445 DETAIL B MODIFIED TO HAVE SLOPING WING INSTEAD OF HEADER CURB.

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C-501:	CIVIL DETAILS
C-502:	CIVIL DETAILS
C-503:	CIVIL DETAILS
C-504:	CIVIL DETAILS

PROJECT LOCATION:  
 CENTRAL AVENUE SE AND JACKSON STREET SE

LEGAL DESCRIPTIONS:  
 LOTS NUMBERED ONE (1) THROUGH TWENTY-TWO (22), INCLUSIVE, IN BLOCK NUMBERED THIRTY-FOUR (34) OF THE VALLEY VIEW ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DELINEATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 2, 1911.

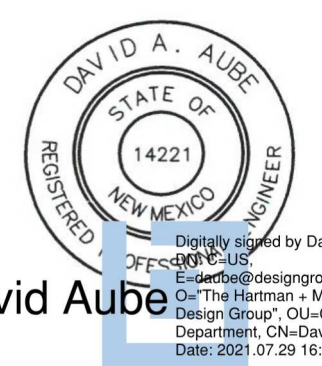
CONTAINING 1.59 ACRES

ZONE ATLAS PAGES:  
 K-17-Z

EXISTING ZONING:  
 MX-M MIXED USE MEDIUM DENSITY

PROPOSED USES:  
 MULTI FAMILY RESIDENTIAL, WITH 92 UNITS AND TWO COMMERCIAL SPACES (APPROX. 2,000 SF TOTAL)

STAMP



SITE PLAN - DRB

PROJECT NAME

HILAND PLAZA

5000 CENTRAL AVENUE NE  
 ALBUQUERQUE, NM 87108

REVISIONS

NO.	DATE	DESCRIPTION

Copyright: Design Group

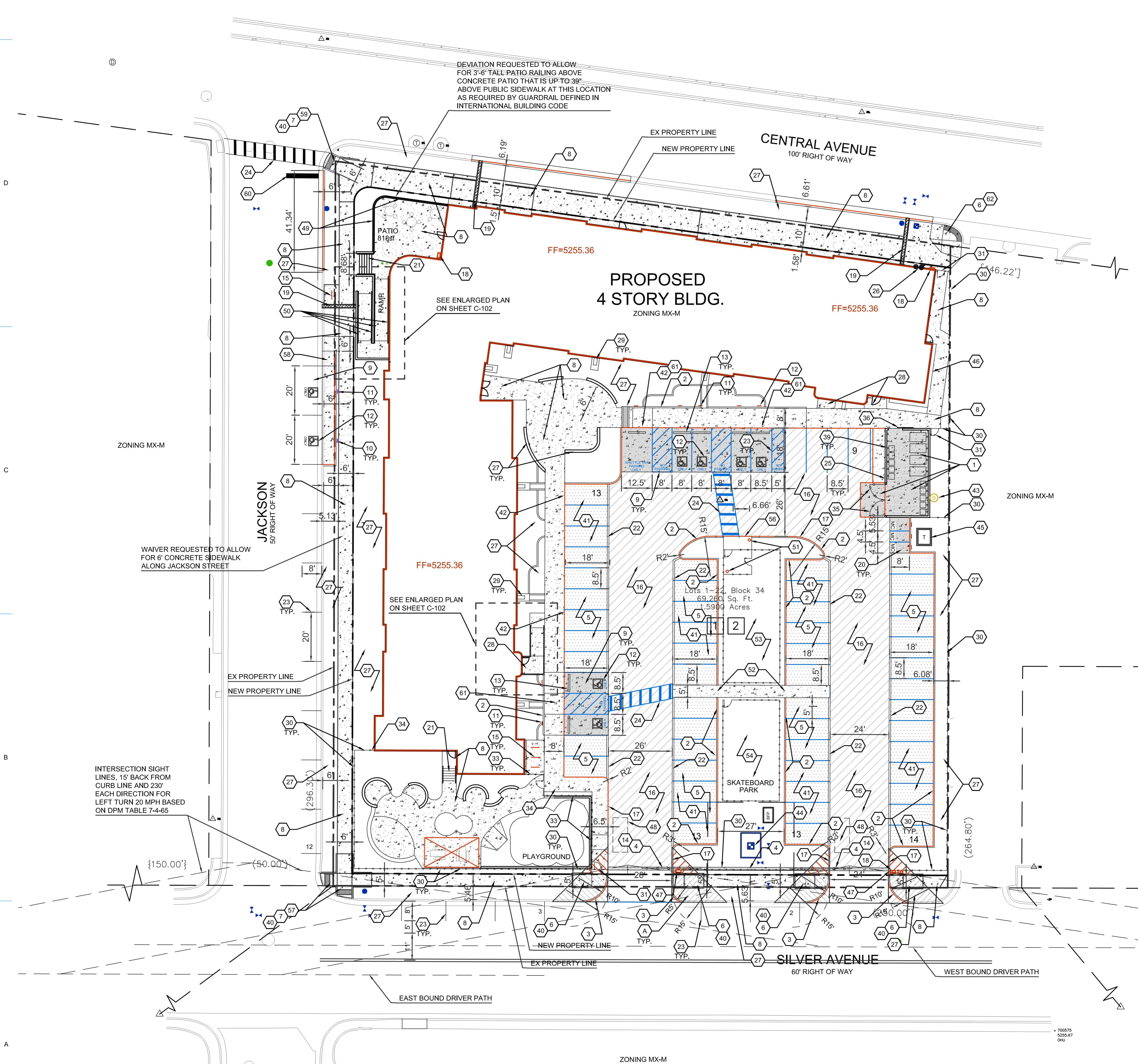
Drawn by	DAA
Checked by	DAA
Date	July 15, 2021
Project number	2574

SHEET TITLE

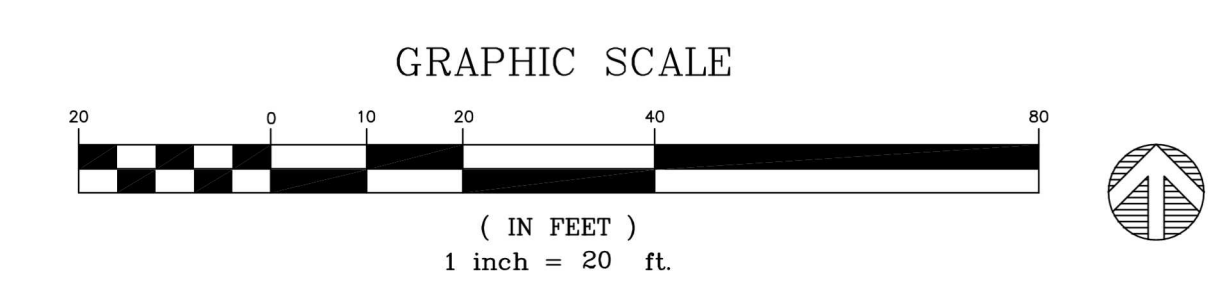
SITE PLAN  
 DRB

SHEET NUMBER

**SP-DRB**



**A1 SITE PLAN - DRB**  
 1" = 20'-0"



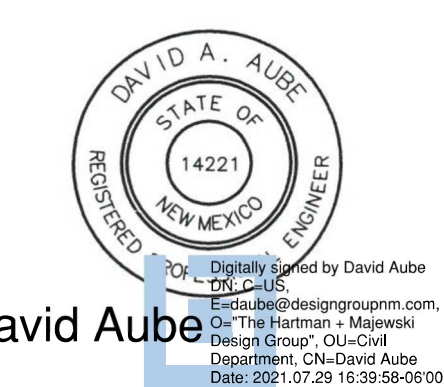
**A5 ZONE ATLAS PAGE K-17-Z**

09/15/2021 5:33:40 PM





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David Aube  
 State of New Mexico  
 No. 14221  
 Expires 12/31/2024

**SITE PLAN - DRB**

PROJECT NAME

**HILAND PLAZA**

5000 CENTRAL AVENUE NE  
 ALBUQUERQUE, NM 87108

REVISIONS

NO.	DATE	DESCRIPTION

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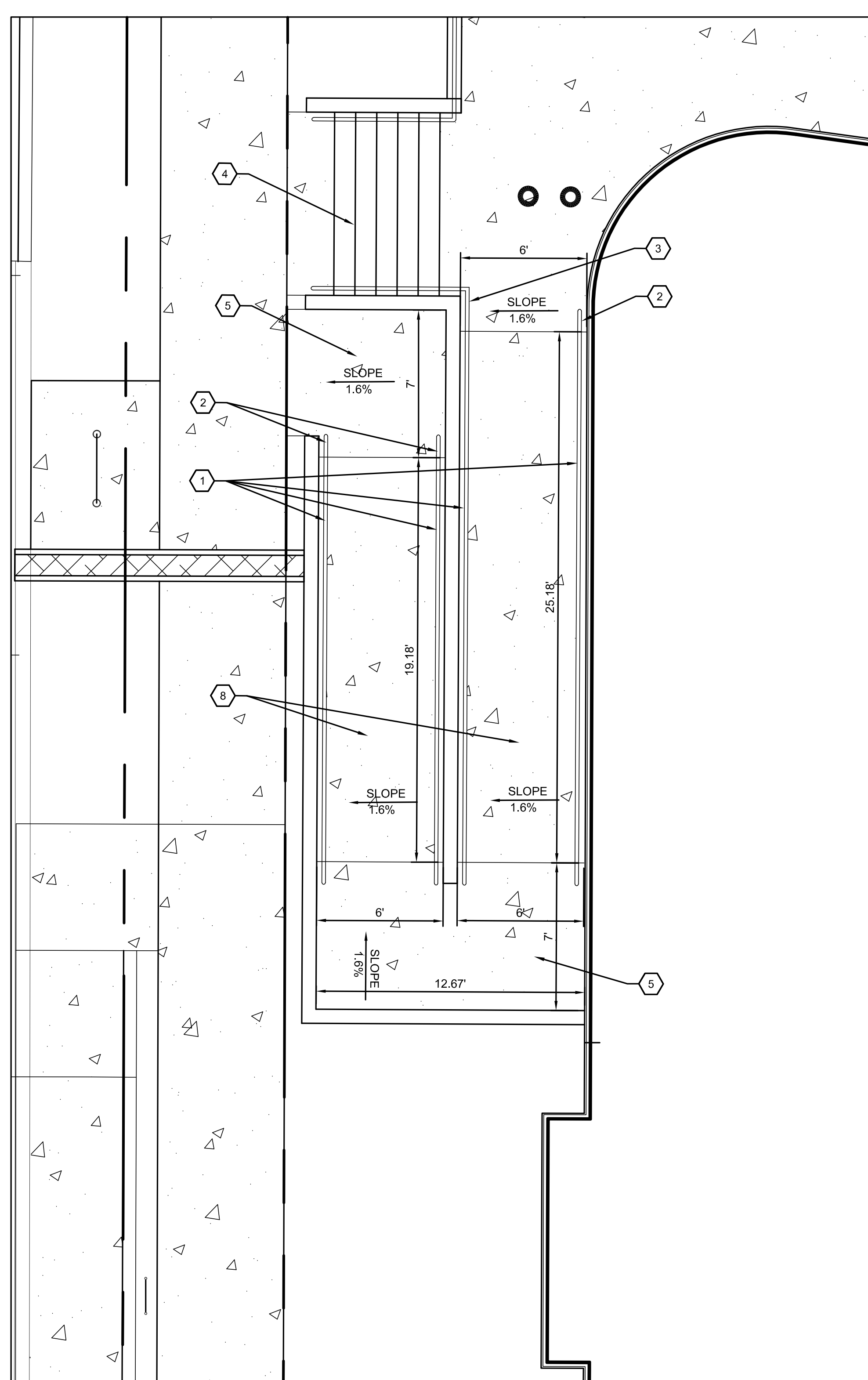
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 Date: July 15, 2021  
 Project number: 2574

SHEET TITLE

ENLARGED  
 SITE PLAN

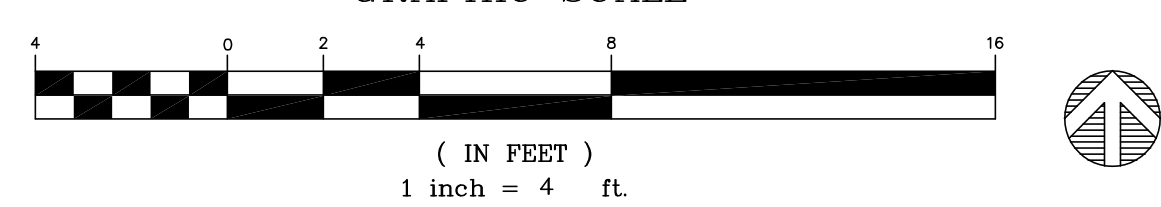
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**C-102**



**A1 ENLARGED SITE PLAN**  
 1" = 4'-0"

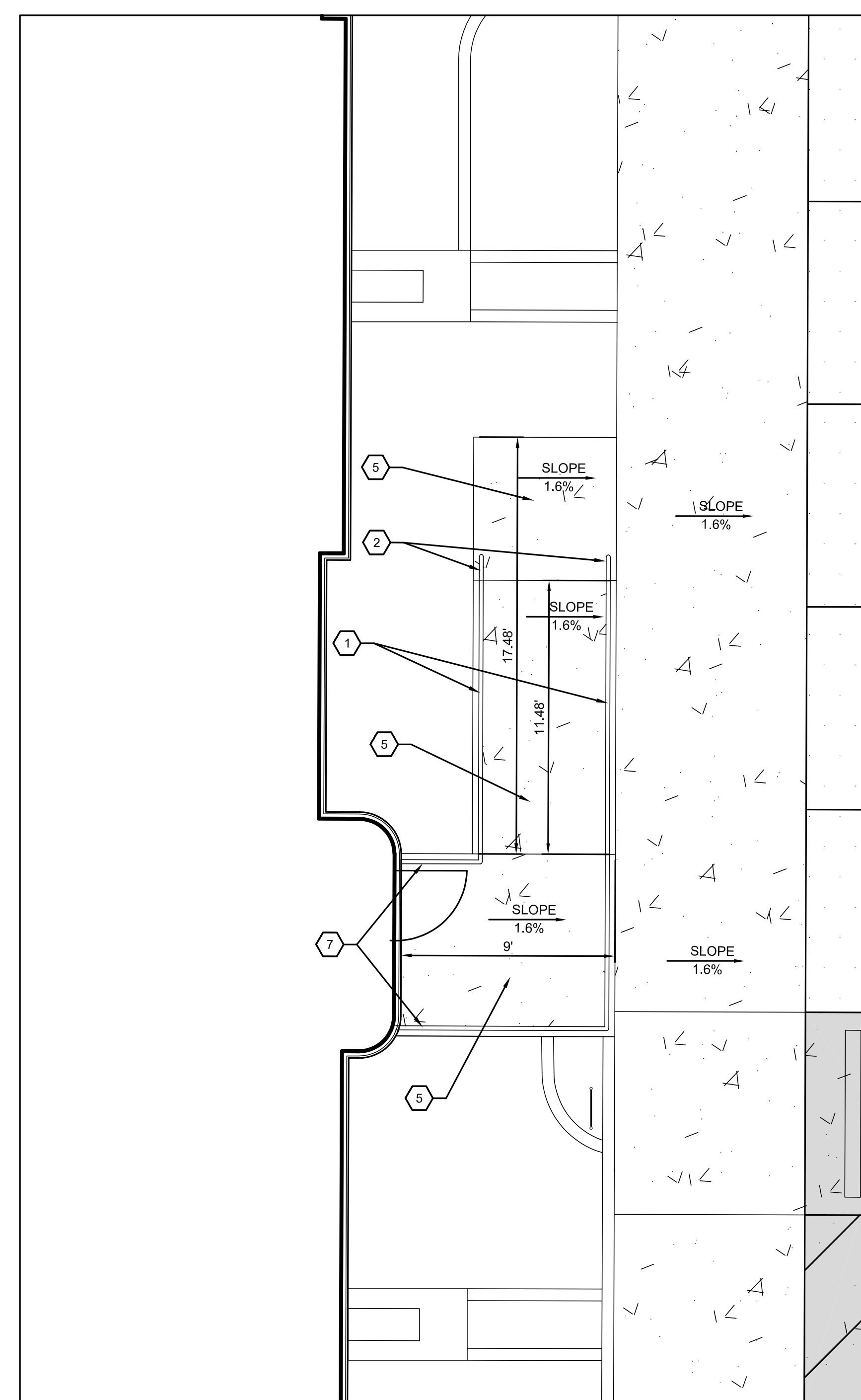
GRAPHIC SCALE



**SITE PLAN GENERAL NOTES**

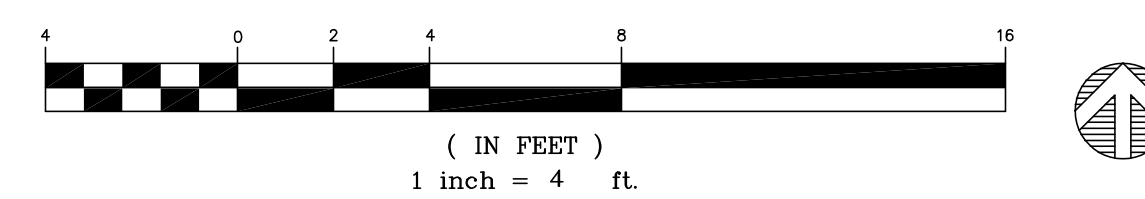
**SITE PLAN KEYED NOTES**

1. HANDRAIL PER DETAIL A2/C-502.
2. 12" EXTENSION OF HANDRAIL BEYOND THE GRADE BREAK OF RAMP.
3. HANDRAIL TO EXTEND AND CONNECT TO HAND RAILING FOR STAIRS.
4. CONCRETE STAIR PER B4/C-502 AND HANDRAILS PER DETAILS A2/C-502.
5. CONCRETE LANDING, MAXIMUM SLOPE OF 2% ANY DIRECTION.
6. CONCRETE SIDEWALK PER DETAIL B4/C-501.
7. HANDRAIL TO EXTEND 4" FROM BUILDING.
8. RAMP SLOPE 1:12 MAXIMUM.



**A4 ENLARGED SITE PLAN**  
 1" = 4'-0"

GRAPHIC SCALE

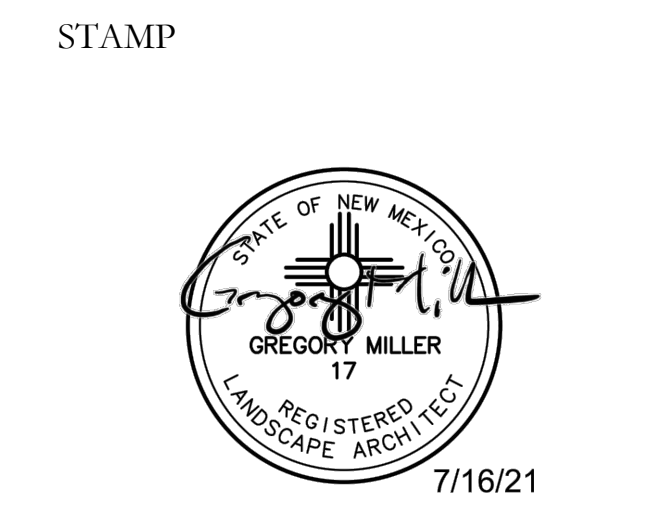






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**MRWM**  
 LANDSCAPE ARCHITECTS  
 mrwmia.com 505 268 2266



DRB SUBMITTAL  
 PROJECT NAME  
**HILAND PLAZA**  
 5000 CENTRAL AVENUE NE  
 ALBUQUERQUE, NM 87108

REVISIONS

NO.	DATE	DESCRIPTION

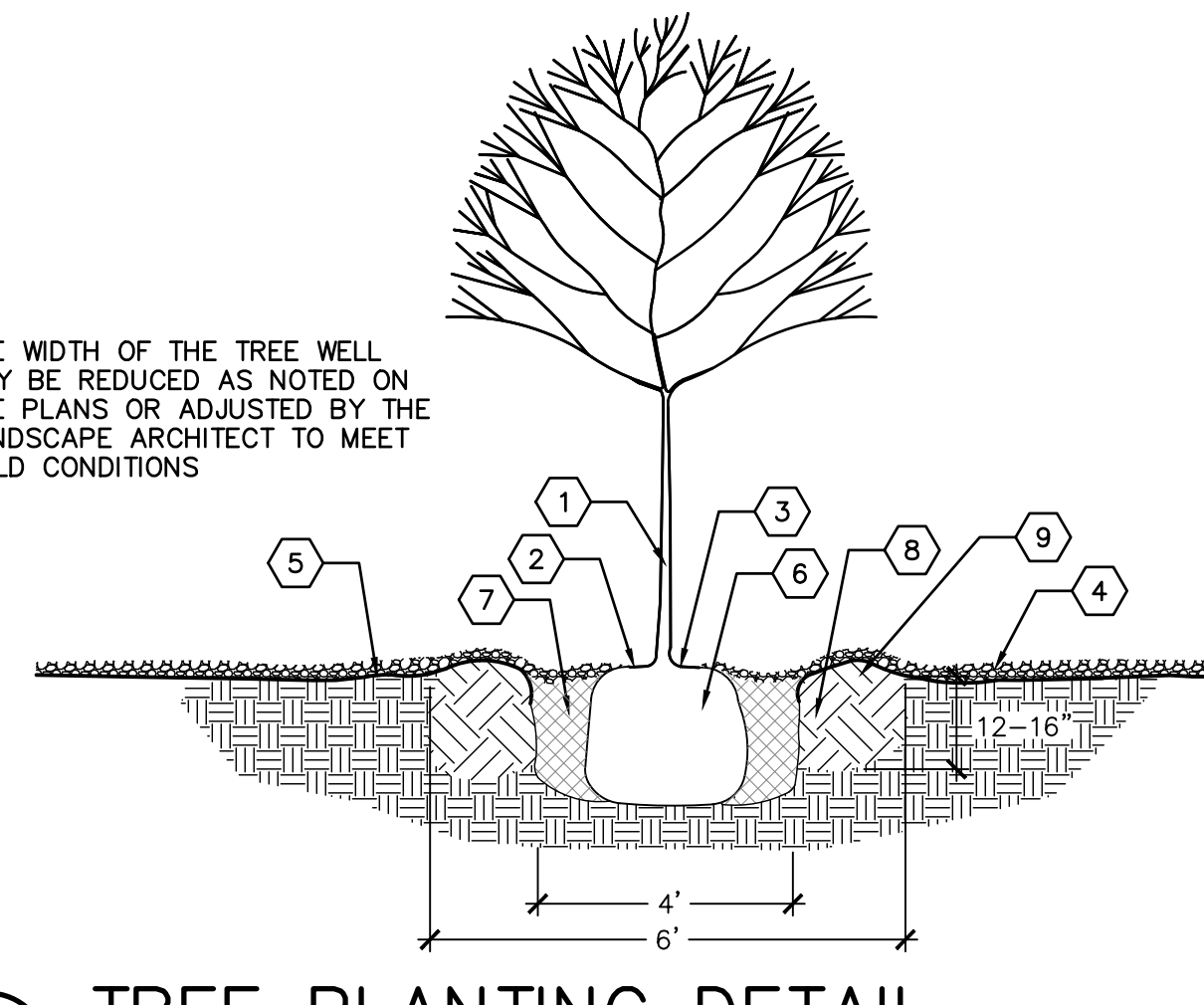
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 Checked by: GM  
 Date: JULY 16, 2021  
 Project number: 2574

SHEET TITLE  
**LANDSCAPE PLAN**  
 SHEET NUMBER  
**LP101**

CONSTRUCTION NOTES:

1. TREE LOCATION AND SPECIES AS PER PLAN
2. INSTALL ORGANIC MULCH OVER ROOTBALL AND TO COVER DRILLHOLE. MULCH SHALL BE HELD BACK 4" FROM TREE TRUNK
3. REMOVE EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH)
4. MULCH - SEE PLANTING PLAN
5. WEED BARRIER FABRIC - SEE PLANTING PLAN - TURN DOWN 6" AT EDGES
6. INSTALL TREE PLUMB. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL
7. EXCAVATE PLANTING PIT AND BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR-POCKETS
8. SCARIFY EDGES AND LOOSEN SOIL AROUND EXCAVATED PLANTING PIT
9. 4" HIGH X 12" WIDE BERM, 6" MINIMUM DIAMETER OR AS SHOWN ON THE PLANS

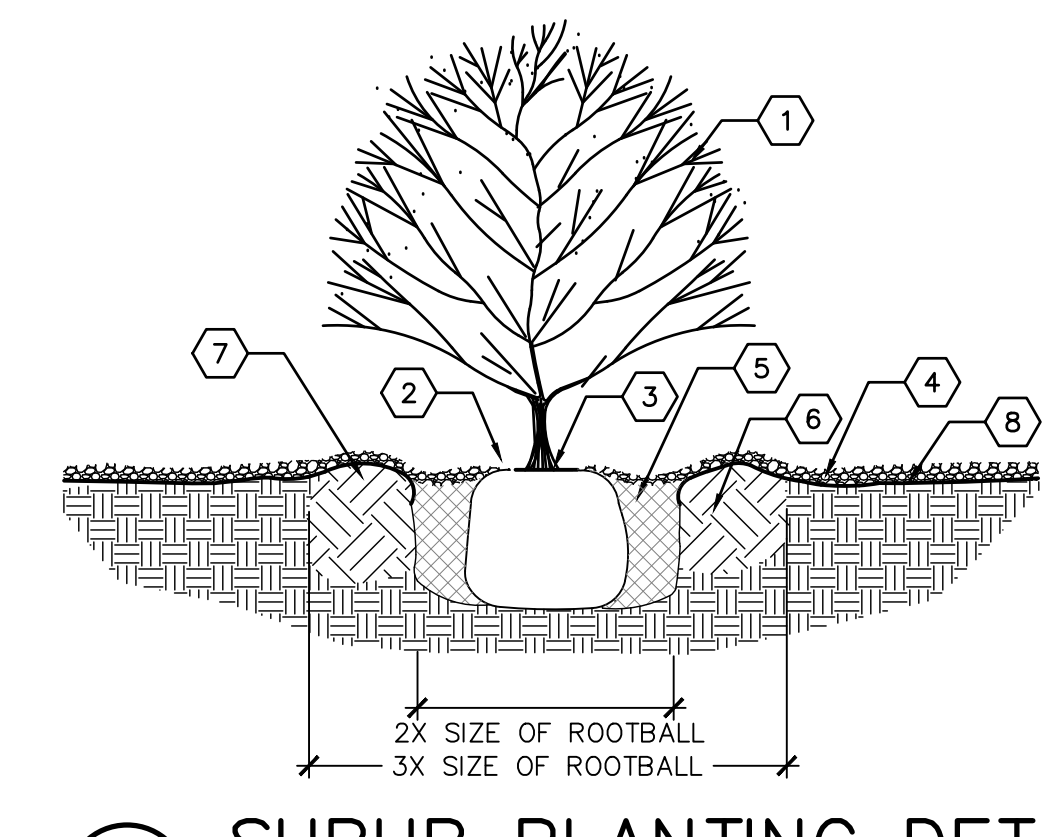
NOTE:  
 A. THE WIDTH OF THE TREE WELL MAY BE REDUCED AS NOTED ON THE PLANS OR ADJUSTED BY THE LANDSCAPE ARCHITECT TO MEET FIELD CONDITIONS



**D3** TREE PLANTING DETAIL  
 SCALE: NTS

CONSTRUCTION NOTES:

1. SHRUB LOCATION AND SPECIES AS PER PLAN
2. MULCH SHALL BE FEATHERED TO A 2" DEPTH ON TOP OF ROOT BALL AND SHALL BE HELD BACK 2" FROM SHRUB STEM(S)
3. PLANT WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH)
4. 4" DEPTH MULCH THROUGHOUT SHRUB BED UNLESS OTHERWISE NOTED
5. EXCAVATE PLANTING PIT AND BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR-POCKETS
6. SCARIFY EDGES AND LOOSEN SOIL AROUND EXCAVATED PLANTING PIT
7. 2" HIGH X 6" WIDE BERM
8. WEED BARRIER FABRIC - SEE IRRIGATION PLANTING PLAN - TURN DOWN 6" AT EDGES



**D5** SHRUB PLANTING DETAIL

PLANT LEGEND

KEY	COMMON NAME	BOTANICAL NAME	QTY	INSTALLED SIZE	REMARKS	MATURE SIZE	WATER USE	DECIDUOUS/EVERGREEN	COVERAGE
<b>TREES</b>									
JP	JAPANESE PAGODA TREE	STYHNOLOBUM JAPONICUM 'HALKA'	4	2" CAL., 10'-12" HT.	B&B	45' HT. X 35' SPD.	M	DECIDUOUS	962 SF
LE	LACEBARK ELM	ULMUS PARVIFOLIA 'EMER II'	4	2" CAL., 10'-12" HT.	B&B	50' HT. X 35' SPD.	L	DECIDUOUS	962 SF
CP	CHINESE PISTACHE	PISTACHIA CHINENSIS	14	2" CAL., 10'-12" HT.	24" BOX	30' HT. X 30' SPD.	M	DECIDUOUS	707 SF
CRC	CANADA RED CHOKECHERRY	PRUNUS X VIRGINIANA 'CANADA RED'	16	2" CAL., 8'-10" HT.	24" BOX	25' HT. X 20' SPD.	M	DECIDUOUS	314 SF
DW	DESERT WILLOW	CHILOPSIS LINEARIS	15	GA. MULTI 20' HT. X 20' SPD.			L	DECIDUOUS	314 SF
VT	CHASTE TREE	VITEX AGNUS-CASTUS	15	4'-6" HT.	15 GA. MULTI 20' HT. X 20' SPD.		M	DECIDUOUS	314 SF
NMO	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	9	4'-6" HT.	15 GA. MULTI 15' HT. X 12' SPD.		M	DECIDUOUS	113 SF
<b>SHRUBS/GROUNDCOVERS/GRASSES/PERENNIALS</b>									
FB	FERNBUSH	CHAMAEBATIARIA MILLEFOLIUM	17	MIN. 12" HT.	5 GALLON	5' HT. X 6' SPD.	L	DECIDUOUS	28 SF
BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	7	MIN. 18" HT.	5 GALLON	5' HT. X 5' SPD.	L	DECIDUOUS	20 SF
GLS	GRO-LOW SUMAC	RHUS AROMATICA 'GRO-LOW'	43	MIN. 18" SPD.	5 GALLON	3' HT. X 5' SPD.	L	DECIDUOUS	20 SF
TB	TURPENTINE BUSH	ERICAMERIA LARICIFOLIA	37	MIN. 12" HT.	5 GALLON	3' HT. X 4' SPD.	L	EVERGREEN	13 SF
GT	GOLDEN TORCH GOLDENROD	SOLIDAGO SP.	64	MIN. 12" HT.	5 GALLON	2' HT. X 2' SPD.	M	DECIDUOUS	3 SF
WSC	WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	23	MIN. 18" SPD.	5 GALLON	2' HT. X 5' SPD.	M	DECIDUOUS	20 SF
RED	RED YUCCA	HESPERALOE PARVIFLORA	61	MIN. 12" HT.	5 GALLON	3' HT. X 3' SPD.	L	EVERGREEN	7 SF
CAT	CATMINT	NEPETA FAASSENII	19	MIN. 6" SPD.	1 GALLON	1' HT. X 3' SPD.	L	DECIDUOUS	7 SF
NWR	NEARLY WILD ROSE	ROSA 'NEARLY WILD'	40	MIN. 12" HT.	1 GALLON	2' HT. X 3' SPD.	M	DECIDUOUS	7 SF
BRY	BREAKLIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA'	76	MIN. 6" HT.	3 GALLON	2' HT. X 2' SPD.	L	EVERGREEN	3 SF
PP	PINELEAF PENSTEMON	PENSTEMON PINIFOLIUS	7	MIN. 8" HT.	1 GALLON	1' HT. X 18" SPD.	L	EVERGREEN	2 SF

CITY LANDSCAPE ORDINANCE COMPLIANCE

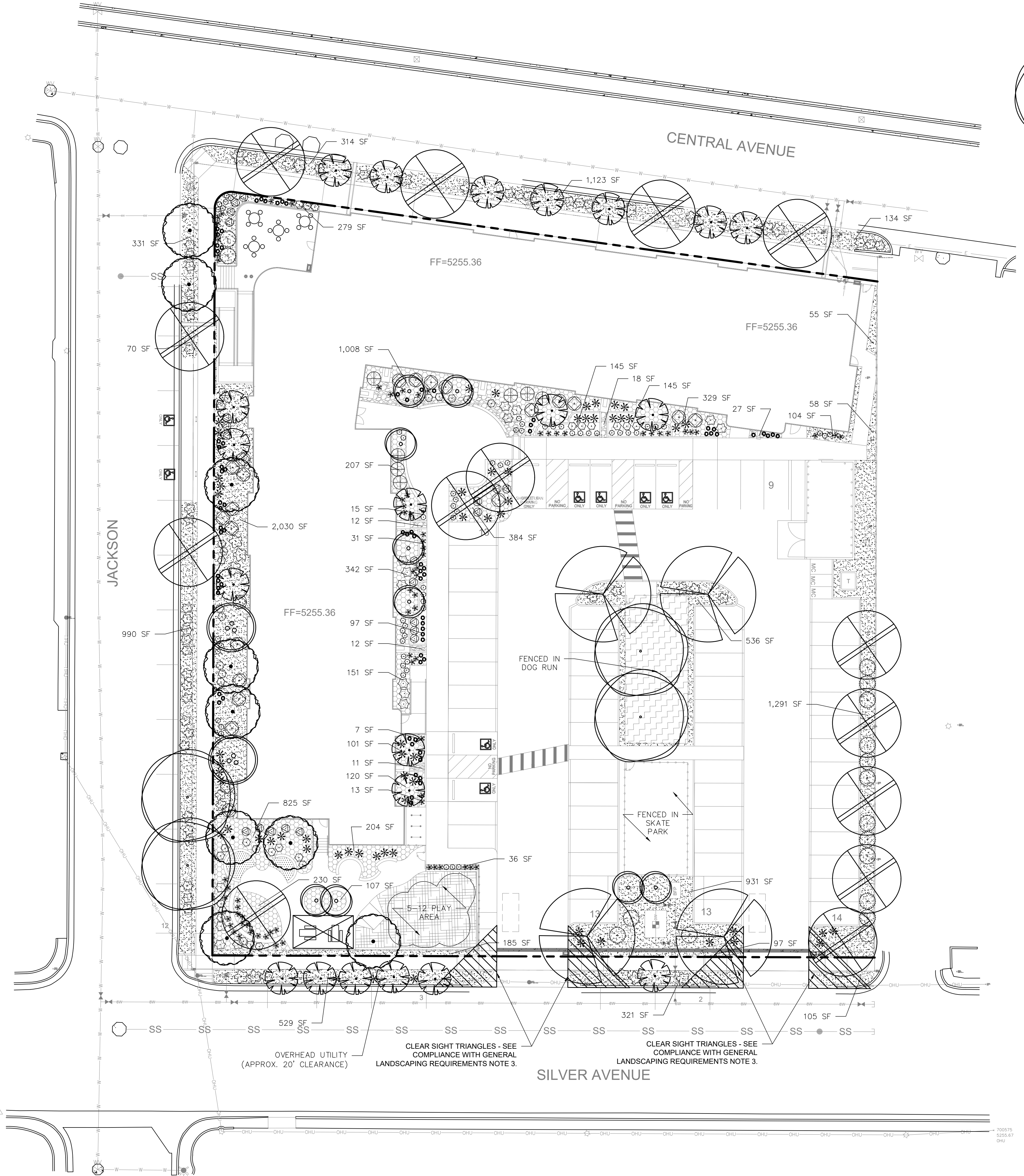
- LANDSCAPING RESPONSIBILITY FOR MAINTENANCE:**  
 1. THE OWNER WILL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE AT HILAND PLAZA.
- COMPLIANCE WITH WATER CONSERVATION ORDINANCE:**  
 1. NO SPRAY IRRIGATION IS PROPOSED.
2. PLANT SPECIES WILL BE LOW OR MEDIUM USE SPECIES PER THE ABCWJA'S XERIC PLANT LIST.
3. AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. THE SYSTEM WILL BE CONTROLLED BY AN AUTOMATIC CONTROLLER. PLANTS WILL BE IRRIGATED BY LOW WATER USE BUBBLERS. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE INSTALLED IN A HEATED ENCLOSURE TO PROTECT THE DOMESTIC WATER SUPPLY FROM CROSS-CONTAMINATION.
- COMPLIANCE WITH GENERAL LANDSCAPING REGULATIONS:**  
 1. THIS PLAN PROVIDES VISUALLY ATTRACTIVE LANDSCAPE, A VISUALLY ATTRACTIVE STREETScape, AND INTERSPERSED TREES IN LANDSCAPE AREAS TO PROVIDE SHADE AND REDUCE LARGE EXPANSES OF PAVEMENT.
2. GROUNDCOVER MULCH SHALL COMPRISE OF A COMBINATION OF CRUSHED GRAVEL (NOT TO EXCEED 75% OF TOTAL AREA) AND ORGANIC MULCH SUCH AS SHREDDED BARK, PECAN SHELLS, ETC.
3. VISIBILITY, LANDSCAPING FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE LOCATED IN THE CLEAR SIGHT TRIANGLE.
4. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.

**LANDSCAPE CALCULATION TABLE:**

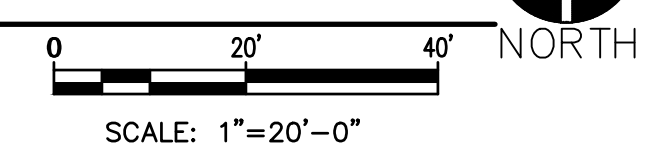
TOTAL LOT AREA:	69,260 SF
LESS TOTAL BUILDING AREA:	21,363 SF
NET LOT AREA:	47,897 SF
REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA):	7,185 SF
PROVIDED LANDSCAPE AREA:	9,954 SF
REQUIRED PLANTS:	
REQUIRED STREET TREES:	
12 (296 LF ALONG JACKSON ST SE, TREES AVERAGE 25' O.C.)	
11 (255 LF ALONG CENTRAL AVE SE, TREES AVERAGE 25' O.C.)	
11 (254 LF ALONG SILVER AVE SE, TREES AVERAGE 25' O.C.)	
STREET TREES PROVIDED:	
14 ALONG JACKSON ST SE	
11 ALONG CENTRAL AVE SE	
11 ALONG SILVER AVE SE	
REQUIRED PARKING LOT TREES AT ONE TREE PER TEN SPACES:	
62 TOTAL SPACES	
7 REQUIRED TREES	
PARKING LOT TREES PROVIDED:	13
REQUIRED PARKING LOT INTERIOR LANDSCAPE (15% OF PARKING LOT AREA):	
2,972 SF	
PROVIDED PARKING LOT INTERIOR LANDSCAPE:	
3,037 SF (102.2% OF REQUIRED INTERIOR LANDSCAPE)	
REQUIRED COVERAGE (75% OF PROVIDED LANDSCAPE AREA):	
7,466 SF	
PROVIDED COVERAGE:	
9,937 SF (137.8% OF REQUIRED COVERAGE)	
REQUIRED GROUND LEVEL VEGETATIVE COVERAGE (25% OF PROVIDED LANDSCAPE AREA)	
2,489 SF	
PROVIDED GROUND LEVEL PLANT COVERAGE:	
2,890 SF (120.2% OF REQUIRED GROUND LEVEL COVERAGE)	

HATCH AND SYMBOL LEGEND

- GRAVEL MULCH
- CRUSHER FINES MULCH
- ORGANIC MULCH
- ENGINEERED WOOD FIBER MULCH PLAY AREA SURFACING
- COBBLE MULCH
- SAND PLAY SURFACING
- BIKE RACK
- ROUND CONCRETE TABLE AND CHAIRS
- ADA PICNIC TABLE



**A1** LANDSCAPE PLAN  
 SCALE: 1"=20'-0"



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**UTILITY PLAN GENERAL NOTES**

1. SEE SHEET C-G01 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.

**UTILITY PLAN KEYED NOTES**

1. EXISTING PVC WATERLINE TO REMAIN.
2. EXISTING SANITARY SEWER LINE TO REMAIN.
3. WATER SUPPLY LINE, 1"Ø COPPER, PER DETAIL A5/C-503.
4. WATER SUPPLY LINE, 4"Ø PVC DR14, PER DETAIL A5/C-503.
5. WATER SUPPLY LINE, 6"Ø C900 DR14, PER DETAIL A5/C-503 WITH RESTRAINED JOINTS PER DETAIL A1/C-503.
6. BEND, 45°, MATERIAL AND SIZE TO MATCH THE CONNECTING WATER LINES. RESTRAIN JOINTS PER A1/C-503.
7. DUCTILE IRON TEE, 8"x8"x4", RESTRAIN JOINTS PER A1/C-503.
8. DUCTILE IRON TEE, 8"x8"x6", RESTRAIN JOINTS PER A1/C-503.
9. REDUCER, 4"x3".
10. GATE VALVE ASSEMBLY, 3"Ø, VALVE BOX AND CONCRETE COLLAR PER DETAIL C4/C-503. RESTRAIN JOINTS PER A1/C-503.
11. GATE VALVE ASSEMBLY, 6"Ø, VALVE BOX AND CONCRETE COLLAR PER DETAIL C4/C-503. RESTRAIN JOINTS PER A1/C-503.
12. GATE VALVE ASSEMBLY, 8"Ø, VALVE BOX AND CONCRETE COLLAR PER DETAIL C4/C-503. RESTRAIN JOINTS PER A1/C-503.
13. TRANSITION COUPLING.
14. FIRE HYDRANT PER DETAIL A4/C-503.
15. WALL MOUNTED FIRE DEPARTMENT CONNECTION. SEE FIRE SUPPRESSION PLANS.
16. WALL MOUNTED INDICATOR VALVE. SEE FIRE SUPPRESSION PLANS.
17. INSTALL 3" DOMESTIC WATER METER PER COA STD DWGS, 2370.
18. INSTALL 1" IRRIGATION WATER METER AND METER BOX PER COA STD DWGS, 2363 AND 2367.
19. CONNECT WATER LINE ONTO BUILDING WATER LINES. SEE PLUMBING SHEETS.
20. SANITARY SEWER LINE, 6"Ø, PER DETAIL D5/C-503.
21. SANITARY SEWER LINE, 8"Ø, PER DETAIL D5/C-503.
22. 4'Ø SANITARY SEWER MANHOLE PER COA STANDARD DRAWING 2102.
23. SANITARY SEWER WYE, 8"x8"x6".
24. SANITARY SEWER WYE, 8"x8"x8".
25. TERMINAL CLEANOUT PER DETAIL E1/C-503.
26. DOUBLE CLEANOUT PER DETAIL E3/C-503.
27. CONNECT SANITARY SEWER LINE ONTO BUILDING SEWER LINES. SEE PLUMBING SHEETS.
28. NOT USED.
29. NEW GAS LINE TO METER, SIZE TO BE DETERMINED BY NM GAS CO.
30. NATURAL GAS METER MANIFOLD AND METERS, SIZE TO BE DETERMINED BY NM GAS CO.
31. NEW NATURAL GAS YARD LINE. SEE MECHANICAL PLANS FOR SIZE REQUIREMENTS.
32. EXISTING NATURAL GAS LINE TO REMAIN.
33. PNM PRIMARY LINES. SEE ELECTRICAL SHEET ES-101.
34. ELECTRICAL TRANSFORMER. SEE ELECTRICAL SHEET ES-101.
35. SECONDARY LINES. SEE ELECTRICAL SHEET ES-101.
36. ELECTRICAL METER PACK. SEE ELECTRICAL SHEET ES-101.
37. WATER SUPPLY LINE, 3"Ø PVC SCH 40, PER DETAIL A5/C-503.
38. DUCTILE IRON TEE, 8"x8"x8", AND 8" TRANSITION COUPLING, RESTRAIN JOINTS PER A1/C-503.
39. 8" DUCTILE IRON END CAP. RESTRAIN JOINTS PER A1/C-503.
40. 8" PVC SRD 35 END CAP AND EMS.
41. 8" PVC SDR 35 SANITARY SEWER LINE.
45. 3" REDUCED PRESSURE ZONE BACKFLOW PREVENTOR, PER ABCWUA REQUIREMENTS. PROVIDE SAFE-T-COVER 300TD-AL INSULATED ENCLOSURE WITH 2 KW HEATER.
46. CONNECT NEW 8" SANITARY SEWER MANHOLE. RESHAPE SHELF AS REQUIRED FOR NEW CONNECTION.
47. EASEMENT AROUND WATER METER PER ABCWUA REQUIREMENTS.

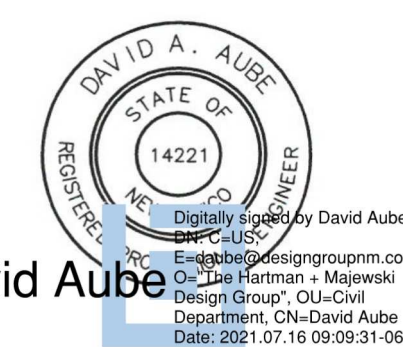


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CONSULTANT

STAMP



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Professional Engineer  
State of New Mexico  
License No. 14221

SITE PLAN - DRB

PROJECT NAME

HILAND PLAZA

5000 CENTRAL AVENUE NE  
ALBUQUERQUE, NM 87108

REVISIONS

NO.	DATE	DESCRIPTION

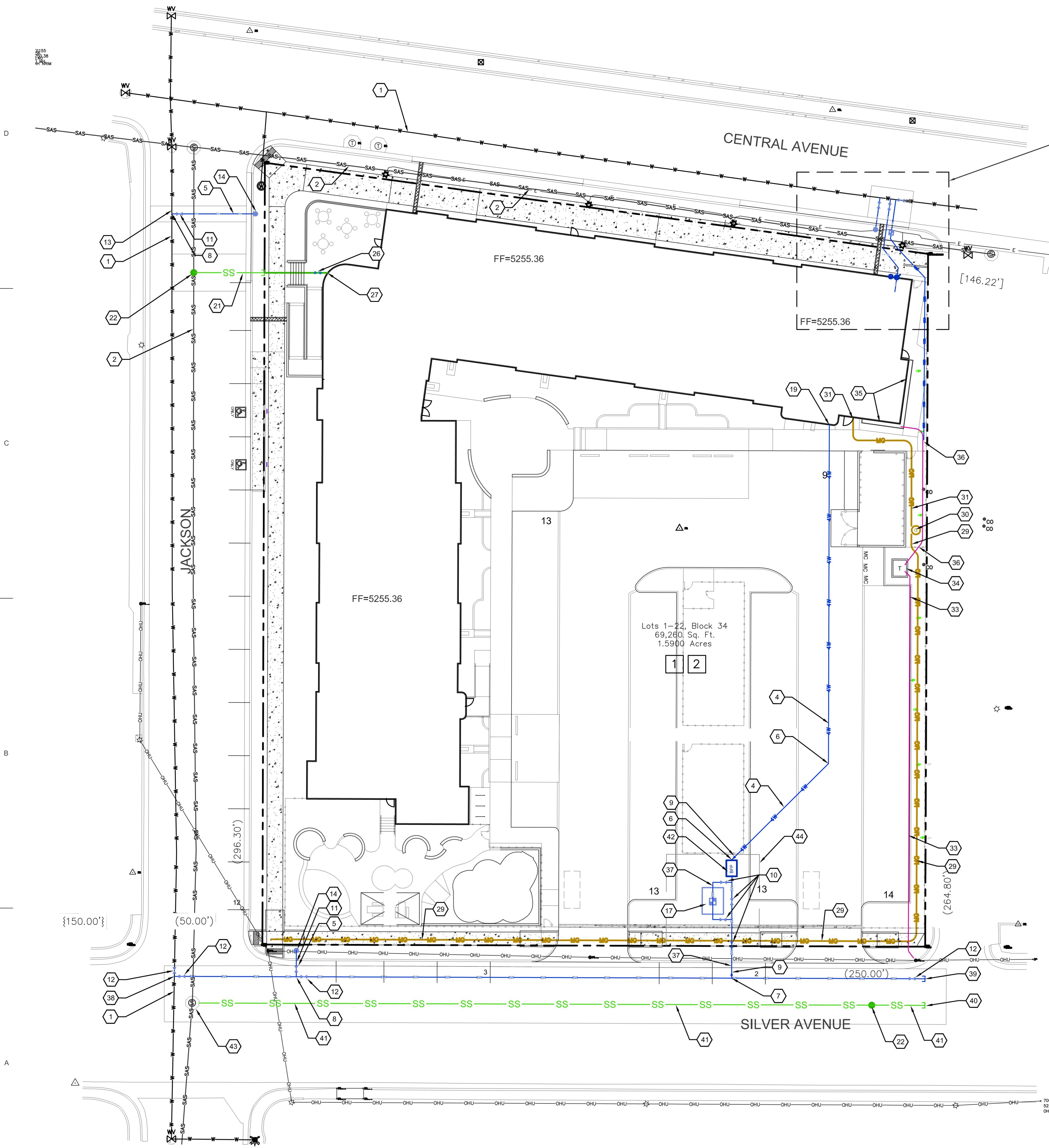
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Date: July 15, 2021  
Project number: 2574

SHEET TITLE

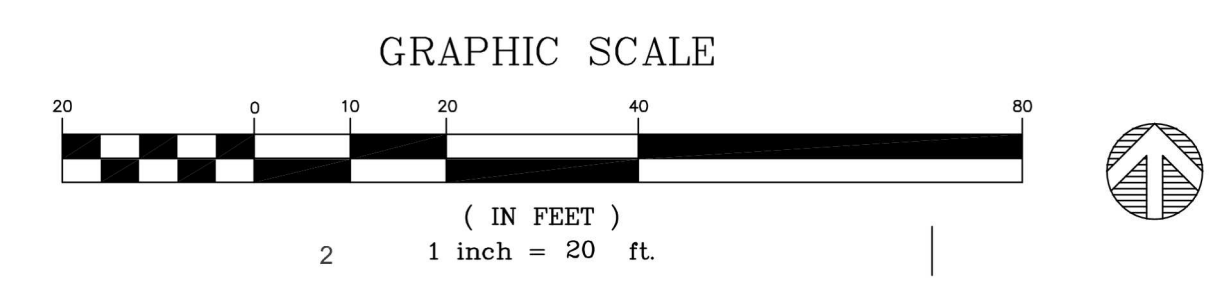
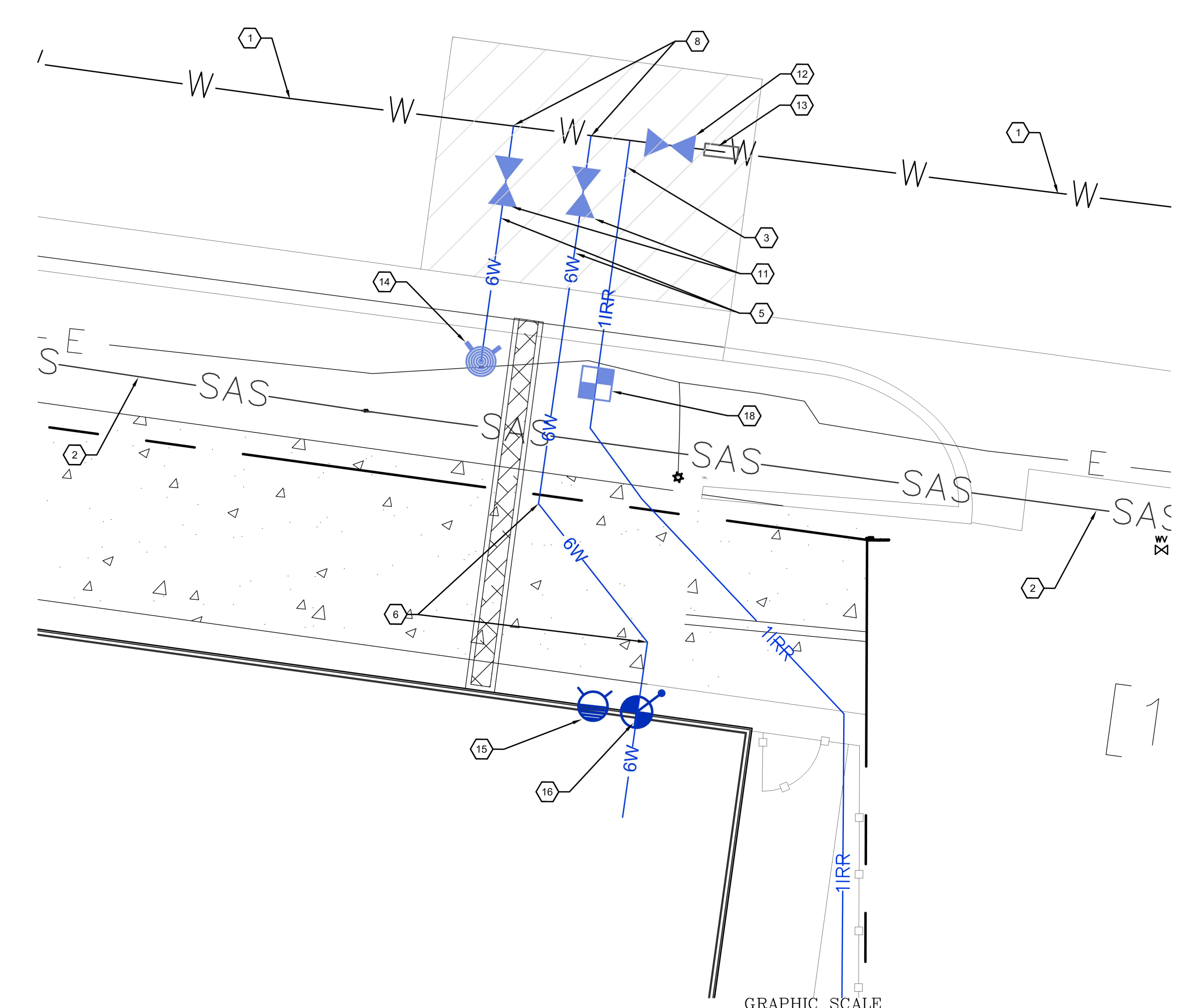
SITE  
UTILITY  
PLAN

SHEET NUMBER

**C-301**

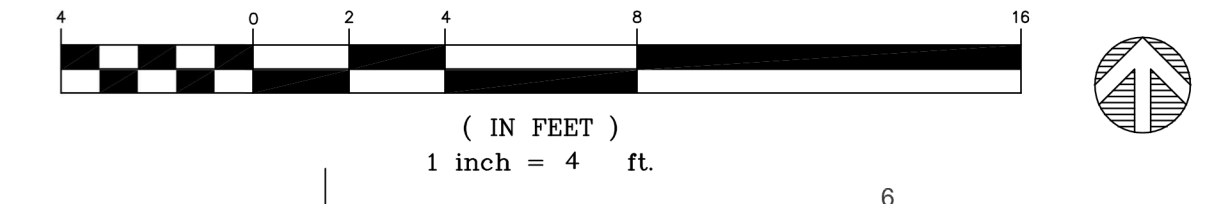


SEE ENLARGED  
SITE UTILITY PLAN  
THIS SHEET



**A1 SITE UTILITY PLAN**  
1" = 20'-0"

**A1 ENLARGED SITE UTILITY PLAN**  
1" = 4'-0"



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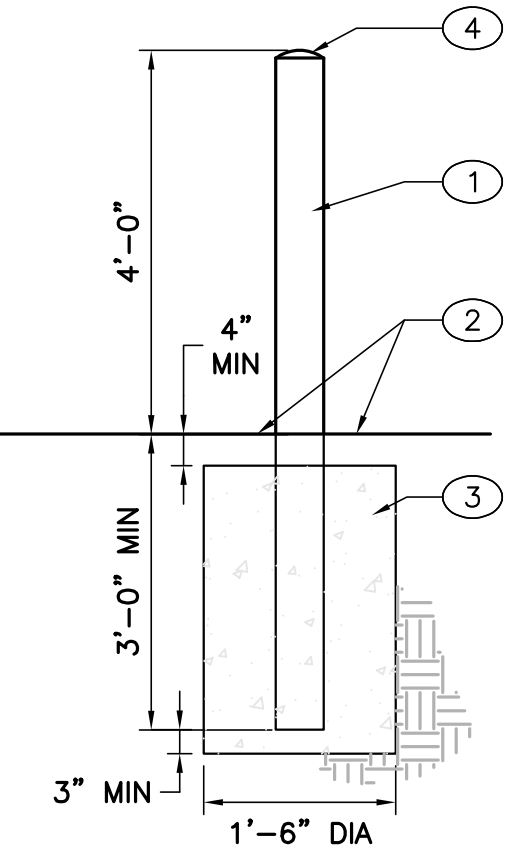




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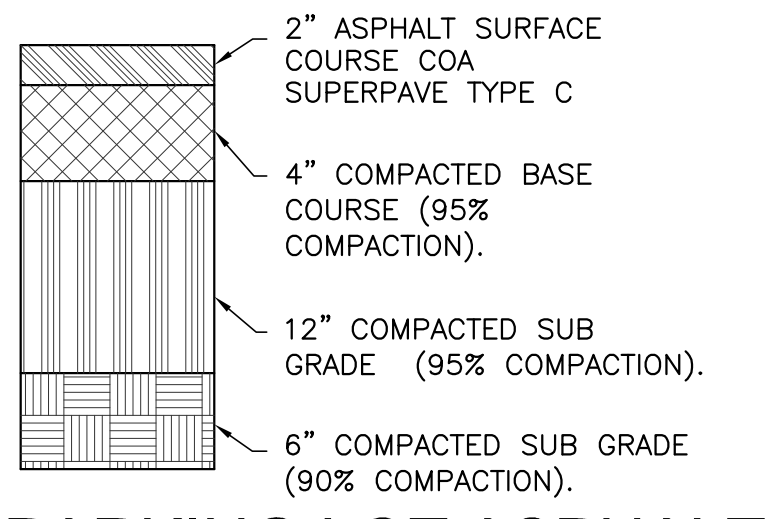
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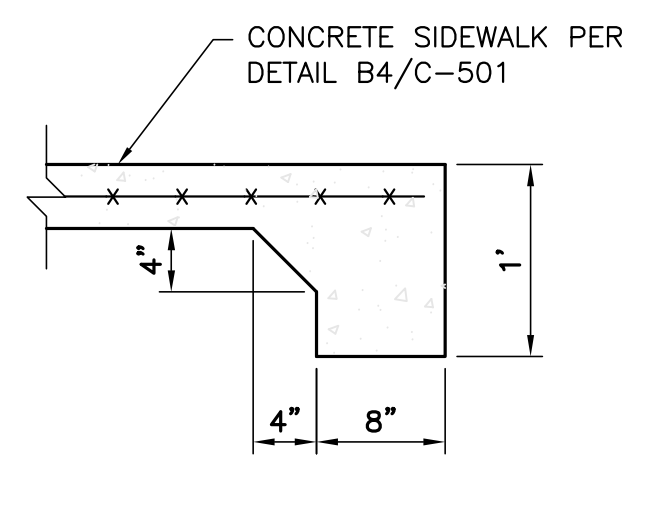


**E1 BOLLARD, 6"Ø**  
 NOT TO SCALE

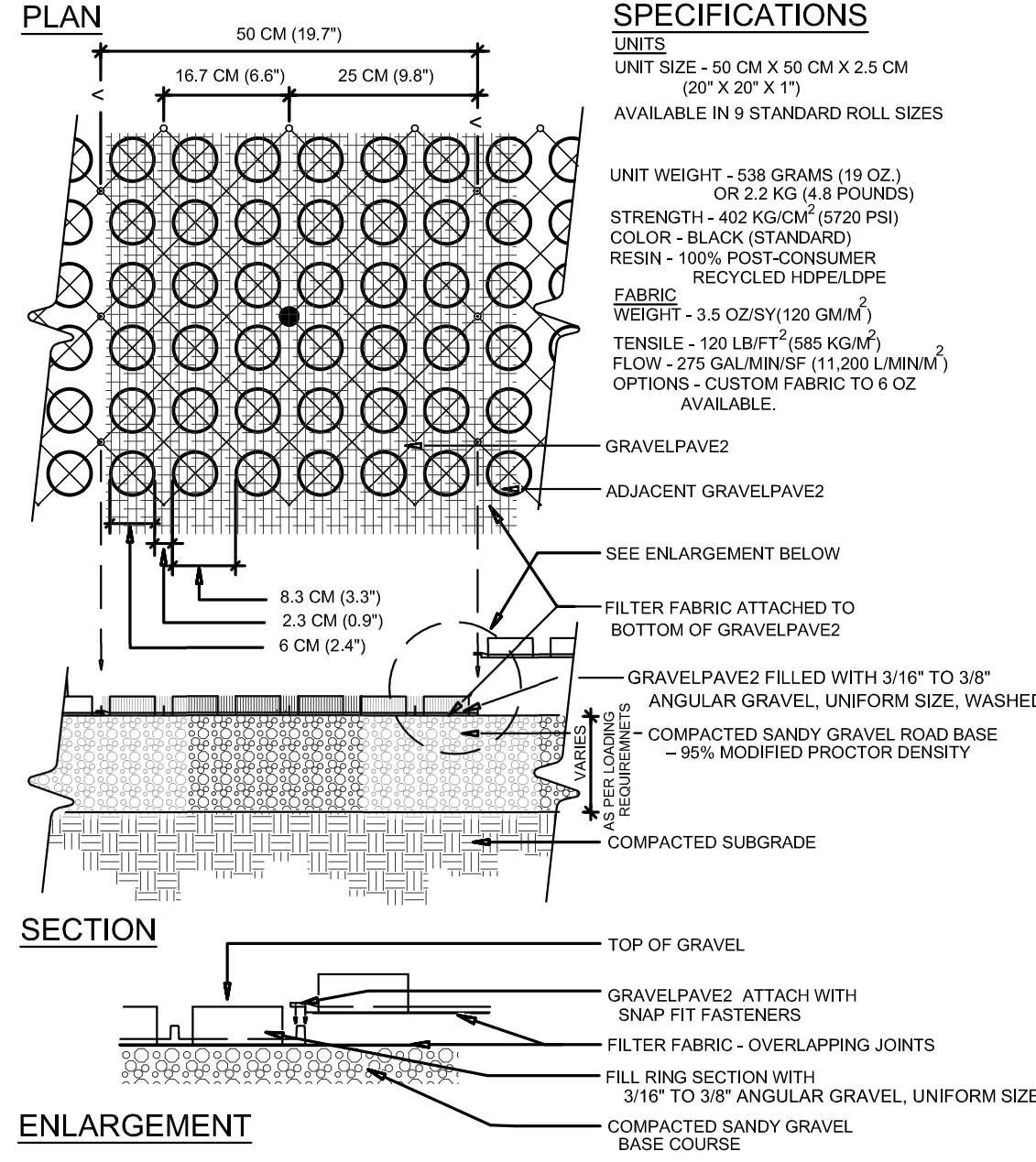
- KEYED NOTES: #
- 6" DIA. STEEL PIPE W/ REFLECTORIZED YELLOW PAINT (CONC. FILLED W/ SMOOTH EDGES).
  - FINISHED GRADE OR PAVING AS PER DRAWINGS & SPECS - SEE PLANS.
  - CONCRETE FOOTING.
  - ROUNDED CONCRETE.



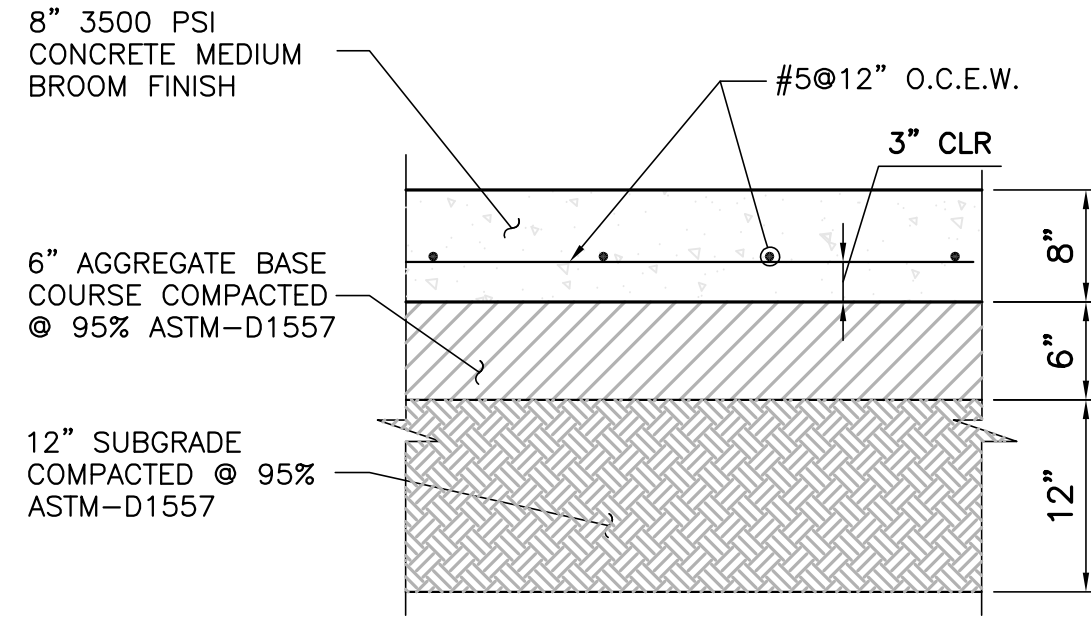
**E2 PARKING LOT ASPHALT**  
 NOT TO SCALE



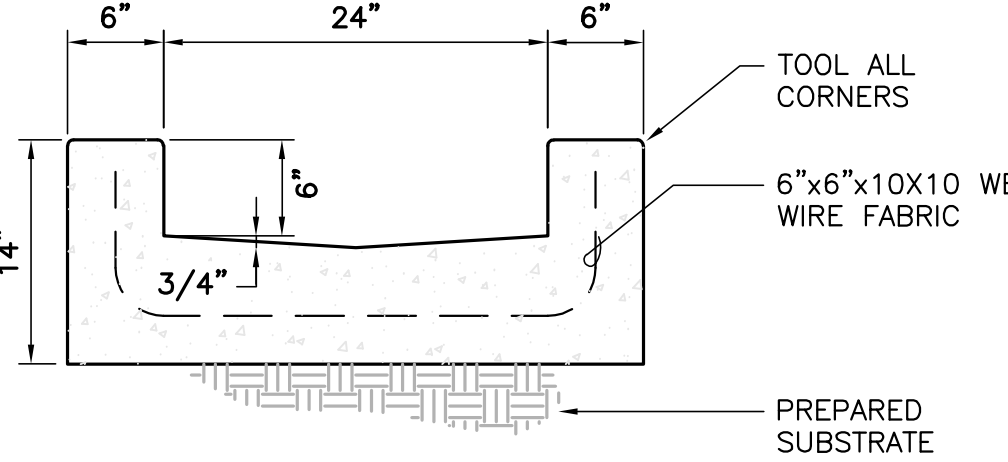
**E3 TURNDOWN EDGE**  
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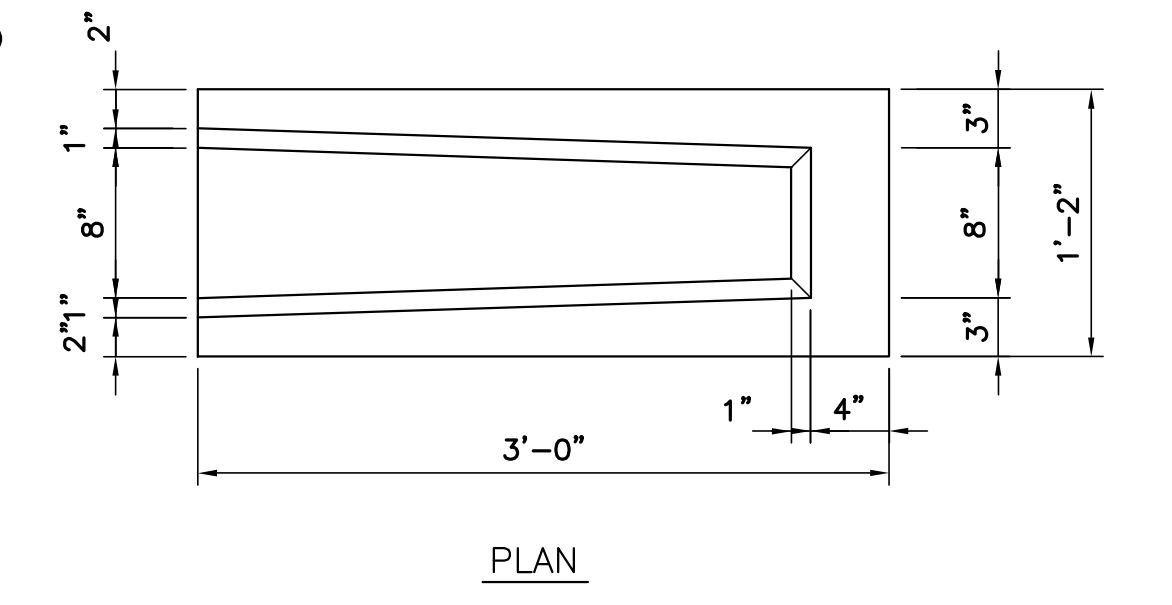
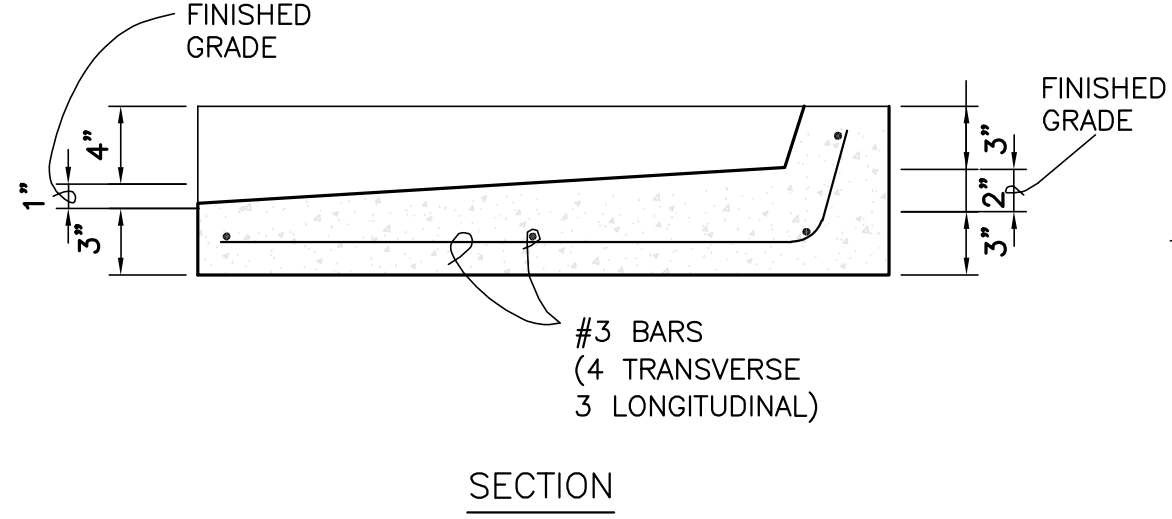
**D4 GRAVEL PAVEMENT**  
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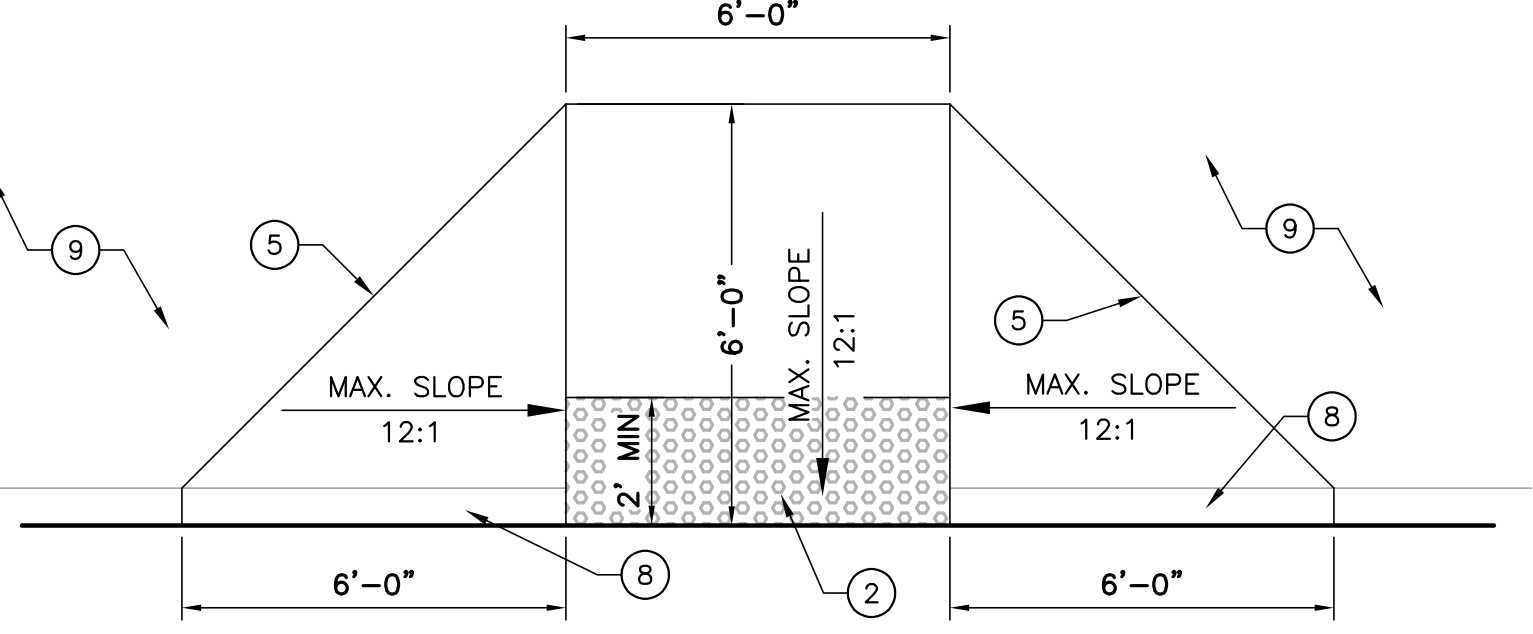
**D3 CONCRETE PAVEMENT**  
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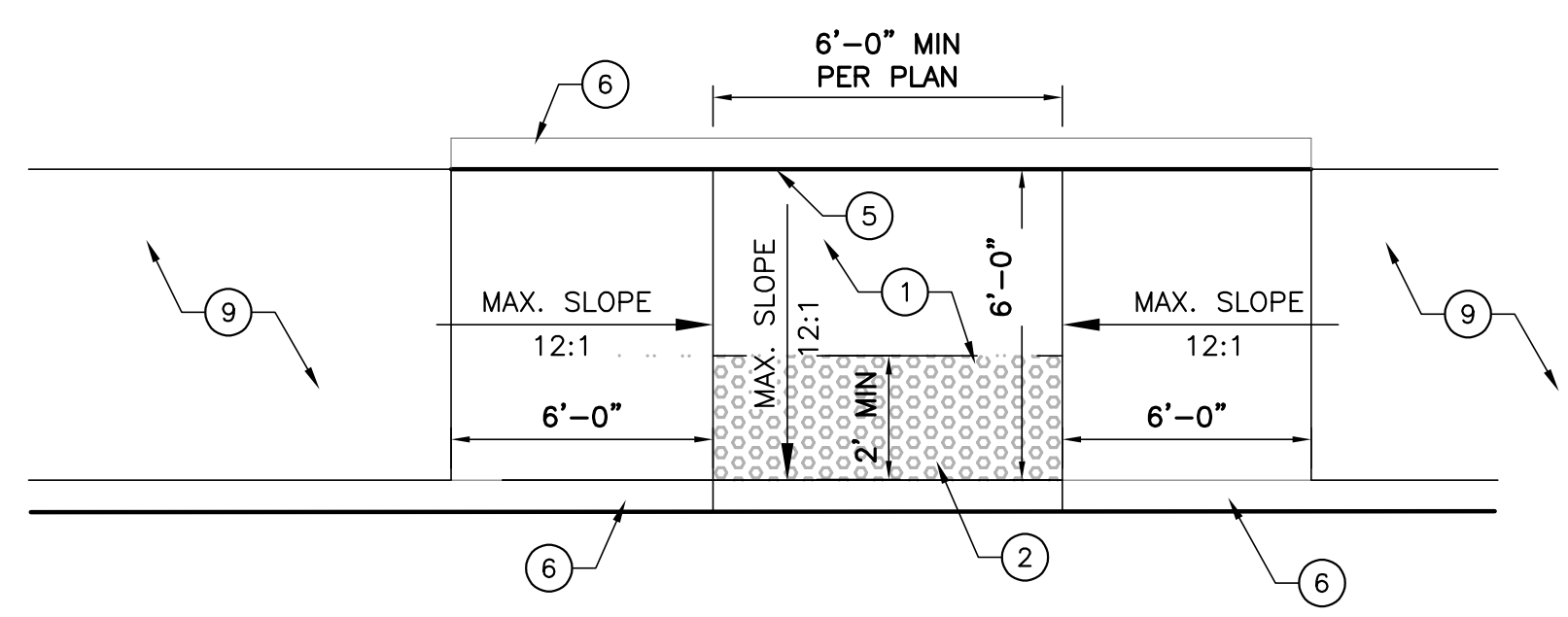
**D5 24" WIDE CONCRETE RUNDOWN**  
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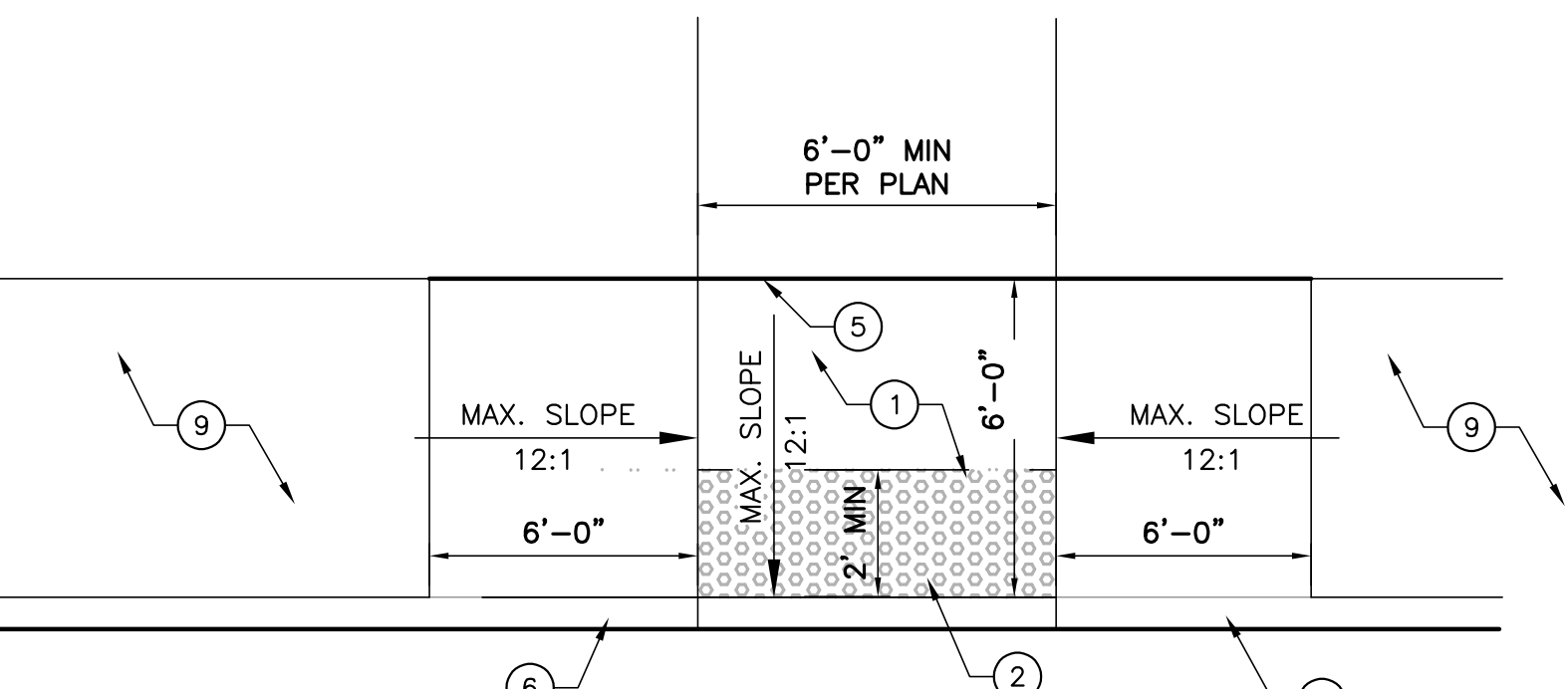
**D6 CONCRETE SPLASH BLOCK**  
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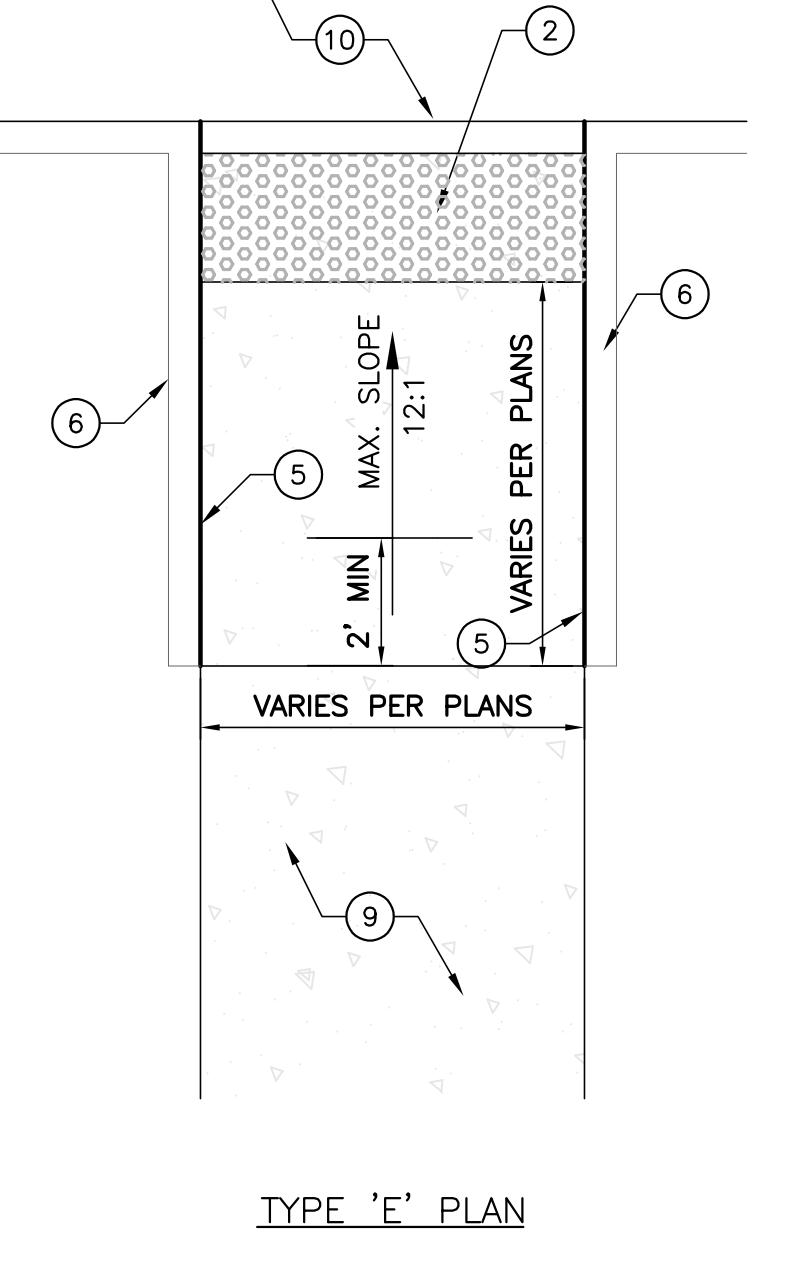
TYPE 'A' PLAN



TYPE 'B' PLAN



TYPE 'C' PLAN

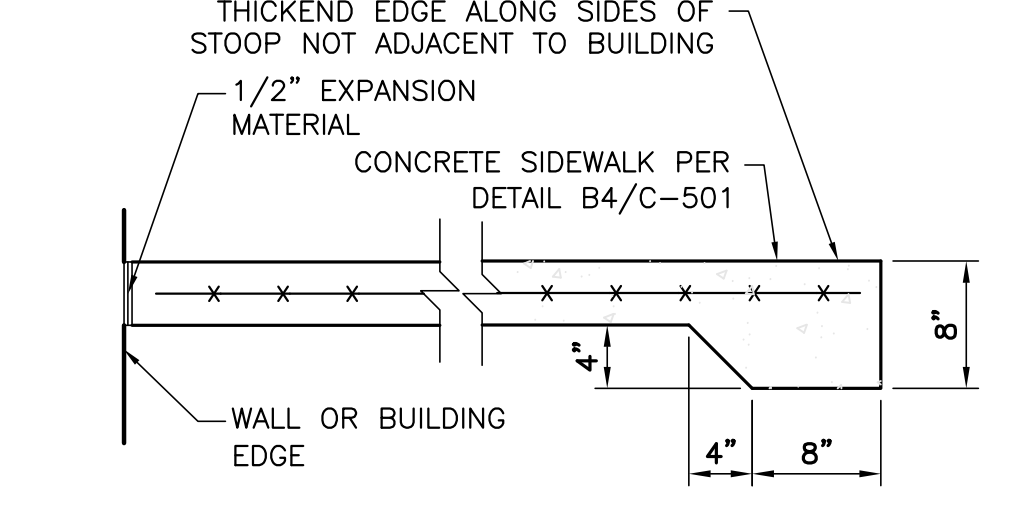


TYPE 'E' PLAN

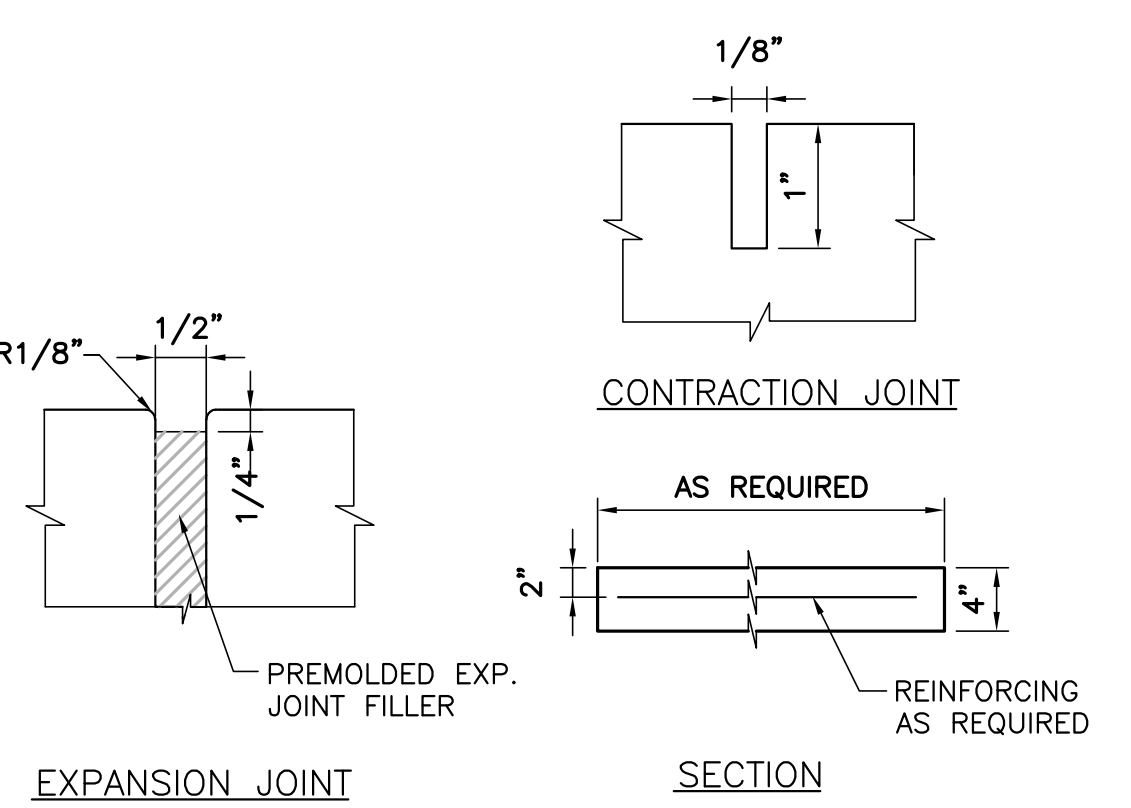
KEYED NOTES: #

- 2% CROSS SLOPE MADE IN ANY DIRECTION.
- DETECTABLE WARNING SURFACE PER A4/C-501.
- CONC. CURB, SEE PLANS.
- CURB, WALL, OR BUILDING, SEE PLANS.
- 1/2" EXPANSION MATERIAL.
- STD. CONC. HEADER CURB AS REQUIRED.
- POINT OF CURVE.
- SLOPE CURB @ 12:1.
- CONCRETE SIDEWALK PER PLANS.
- RAMP LANDING PER PLANS.

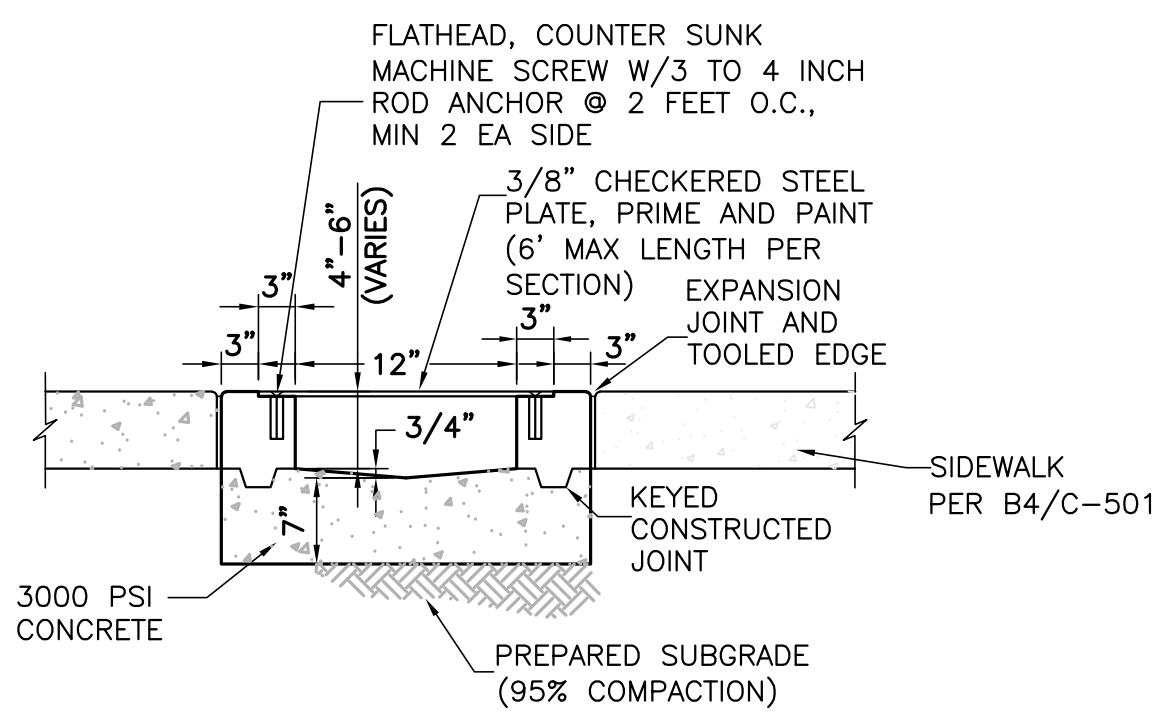
**A1 CURB ACCESS RAMPS**  
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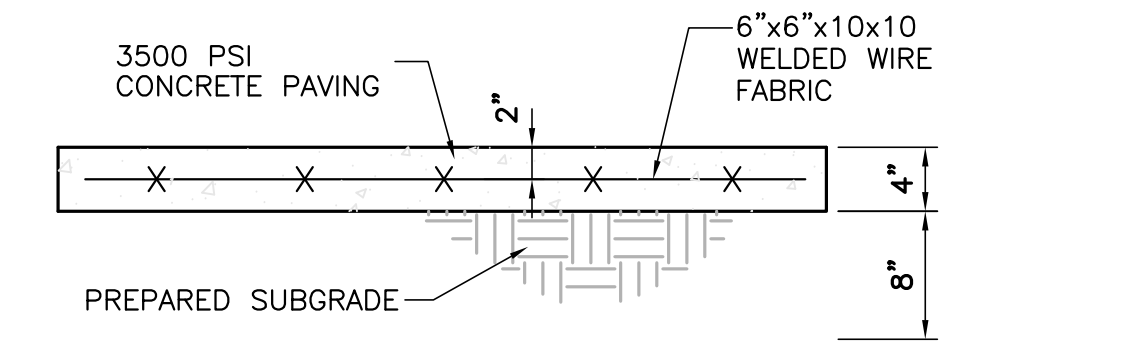
**C3 CONCRETE STOOP**  
 NOT TO SCALE



**C5 PATIO HANDRAIL**  
 NOT TO SCALE

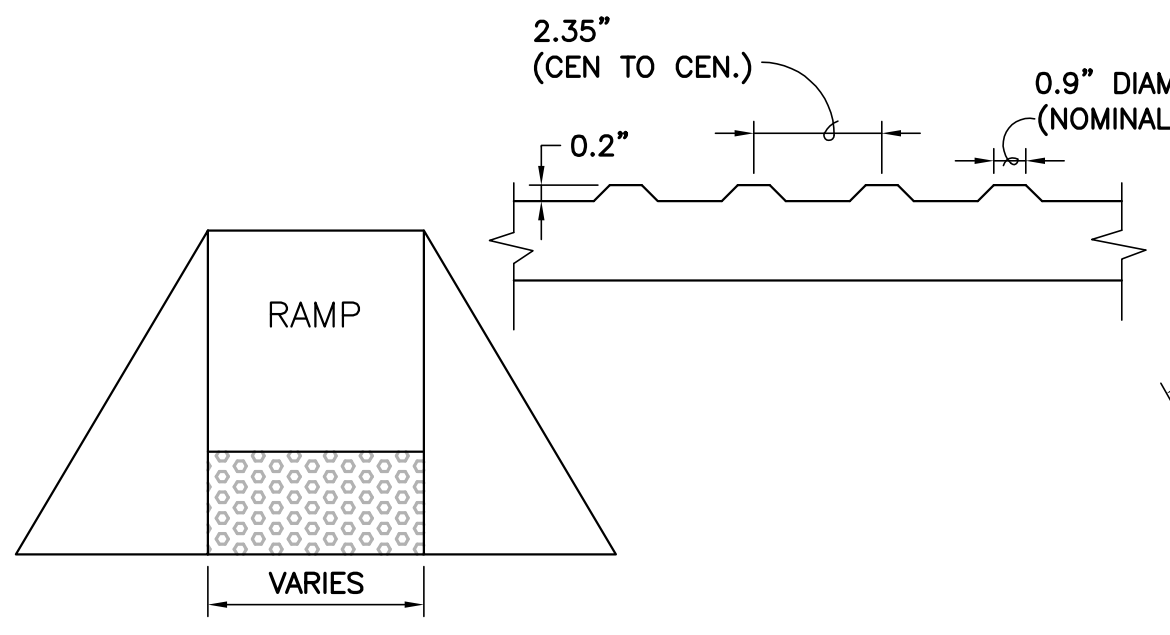


**B3 SIDEWALK CULVERT**  
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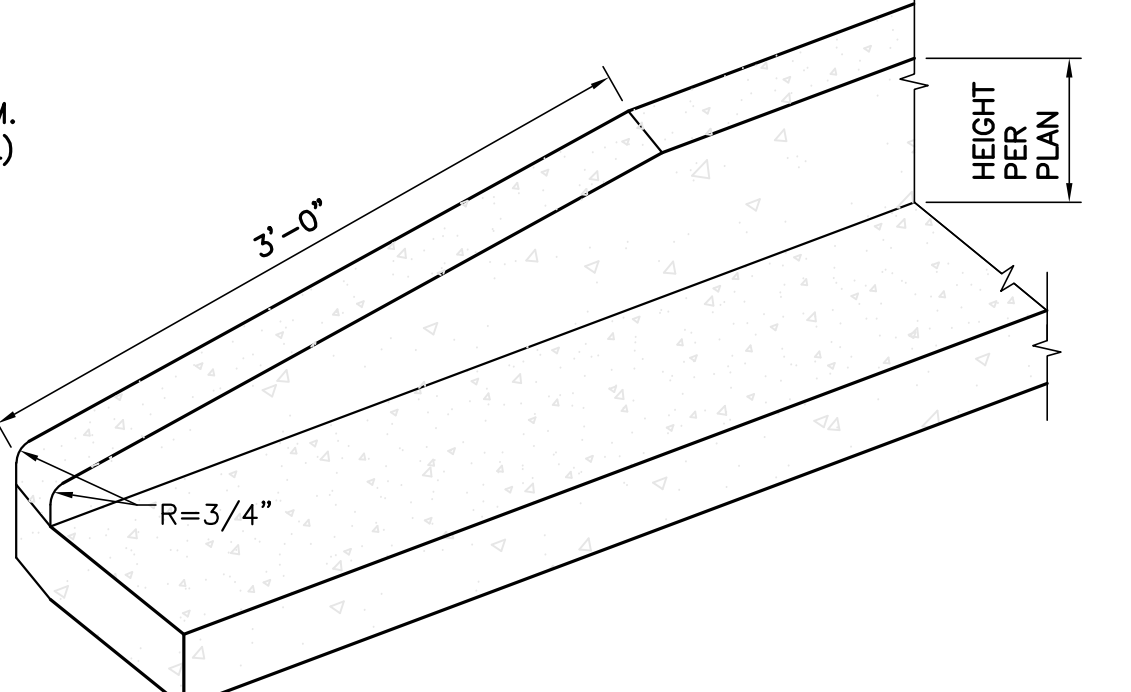


**B4 TYPICAL SIDEWALK**  
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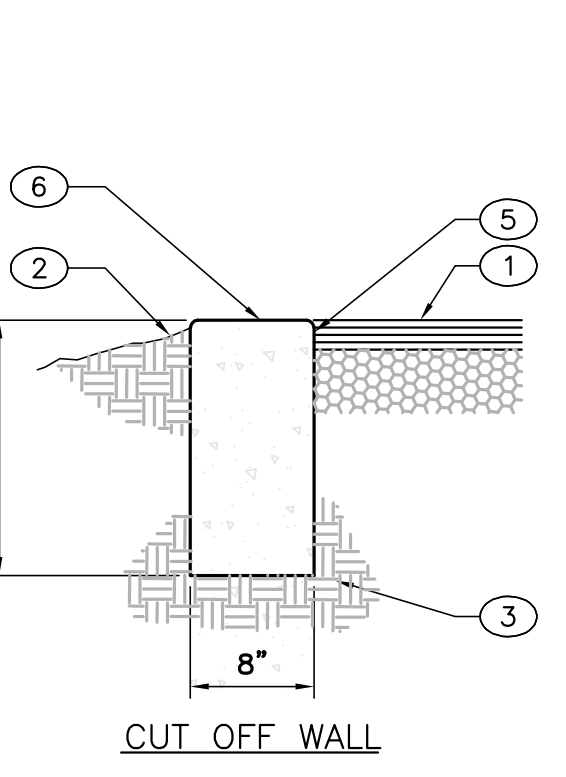
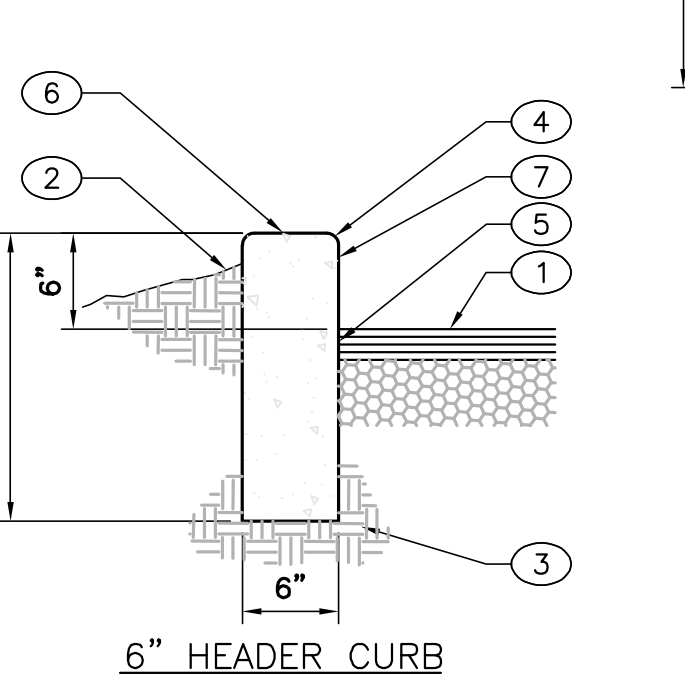
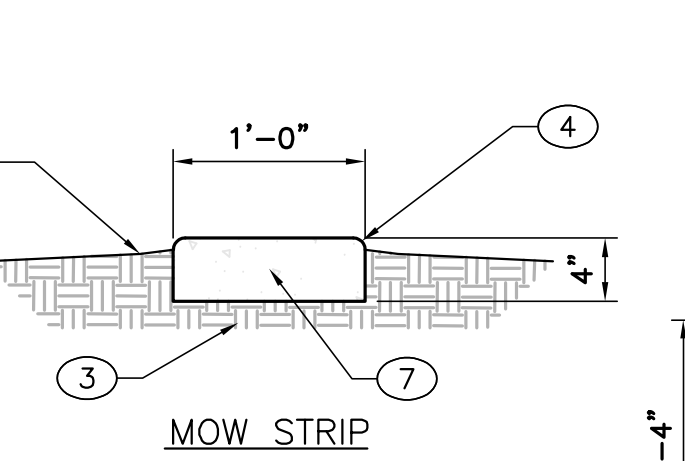
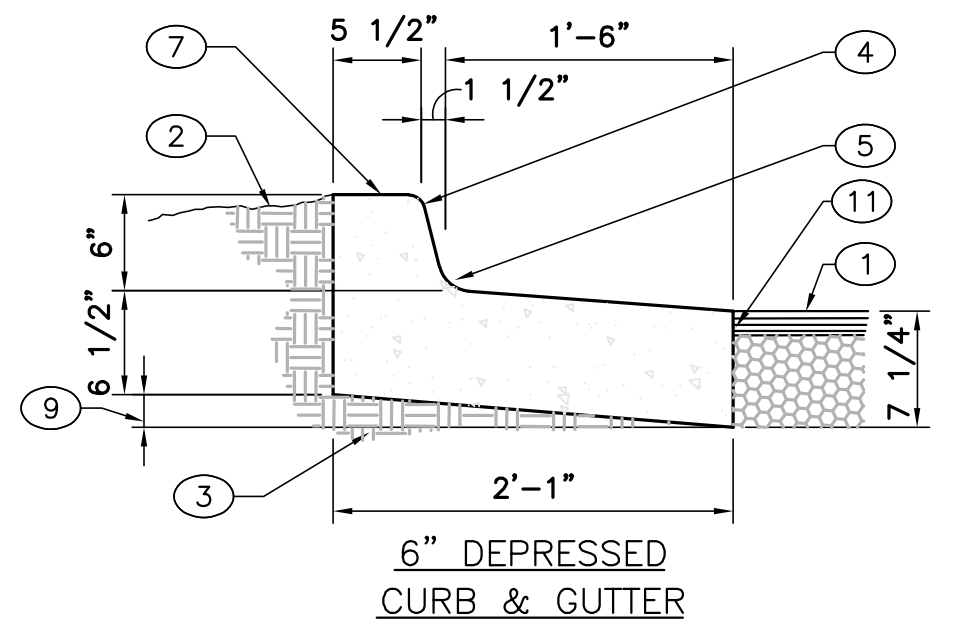
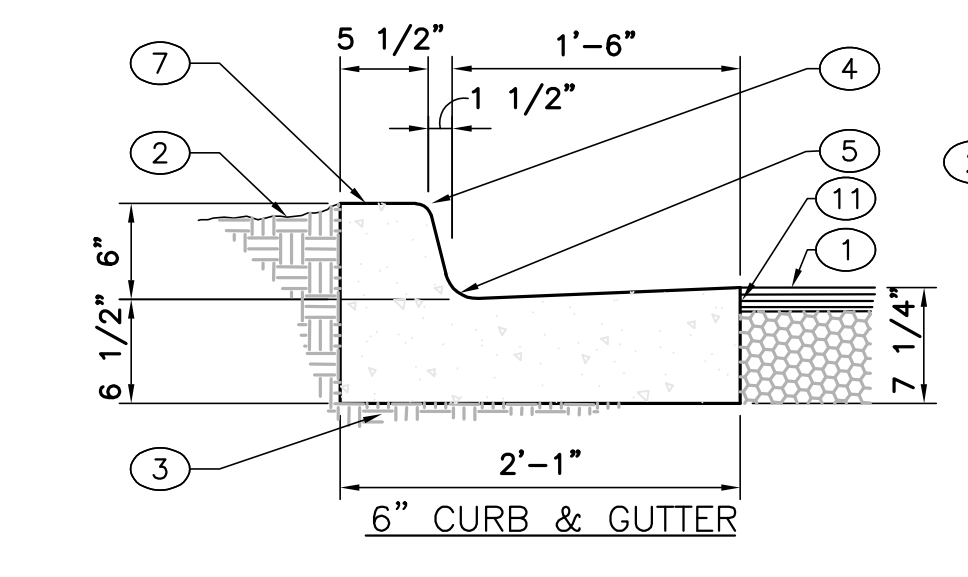
NOTE:  
 MAXIMUM CROSS SLOPE ON SIDEWALKS TO BE 2.0%.  
 PROVIDE TRANSVERSE CONTRACTION JOINTS AT INTERVALS NOT EXCEEDING 6'-0" ON CENTER. PROVIDE CENTERLINE CONTRACTION JOINTS IN SIDEWALKS WIDER THAN 8'-0". SPACING OF CENTERLINE CONTRACTION JOINTS SHALL NOT EXCEED 6'-0".  
 PROVIDE EXPANSION JOINTS AT INTERVALS NOT EXCEEDING 30'-0" ON CENTER.



**A3 DETECTABLE WARNING SURFACE**  
 NOT TO SCALE



**A4 CURB TRANSITION**  
 NOT TO SCALE



KEYED NOTES: ○

- PAVEMENT SECTION PER DRAWINGS AND SPECS.
- FINISHED GRADE OR GRAVEL PAVEMENT.
- PREPARED SUBGRADE.
- 3/4" RADIUS.
- TACK COAT IF ADJACENT TO ASPHALT.
- SMOOTH RUBBED FINISH.
- CONCRETE CURB.

CURB & GUTTER CONSTRUCTION NOTES:

- CURBS, GUTTERS & CUT-OFF WALLS TO BE CONSTRUCTED OF 3500 PSI P.C.C. UNLESS OTHERWISE NOTED.
- EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
- REMOVE & REPLACE 12" WIDE STRIP OF PAVEMENT BEYOND LIP OF GUTTER WHEN CONSTRUCTING CURB & GUTTER ADJACENT TO EXISTING A.C. PAVEMENT.
- DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
- FOR 6" CURB & GUTTER PROVIDE CONTROL JTS. @ 6' O.C. MAX. ALSO PROVIDE 1/2" EXPANSION JTS. AT 30' O.C. MAX. AT CURB RETURNS, & AT EACH SIDE OF DRIVEWAYS.
- FOR ALL OTHER CURBING PROVIDE CONTROL JOINTS @ 10' O.C. PROVIDE EXPANSION JOINTS @ 50' O.C. & ADJACENT TO BUILDINGS AND WALLS.

**A5 CURB SECTIONS**  
 NOT TO SCALE





REVISIONS

NO.	DATE	DESCRIPTION

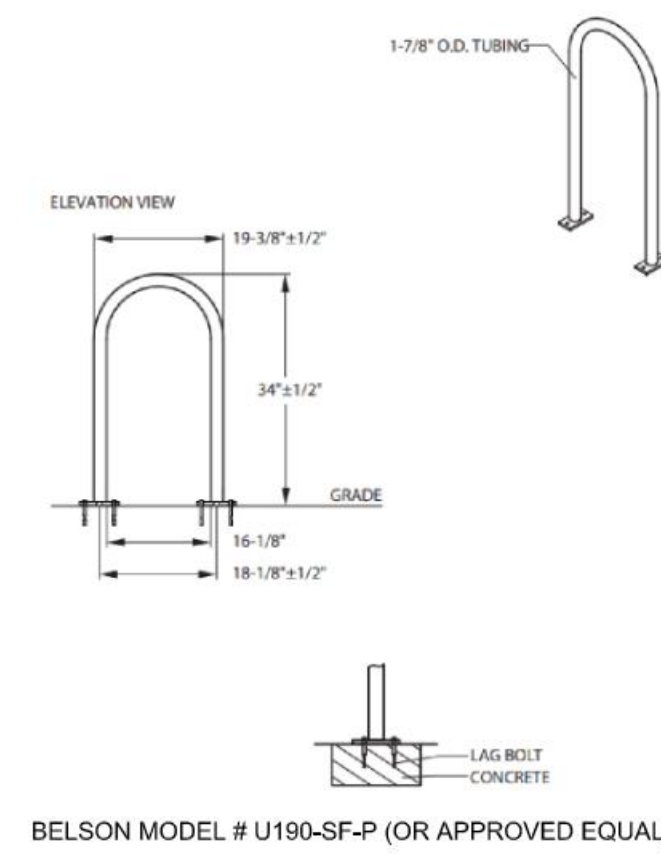
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Checked by	DAA
Date	MAY 24, 2021
Project number	2574

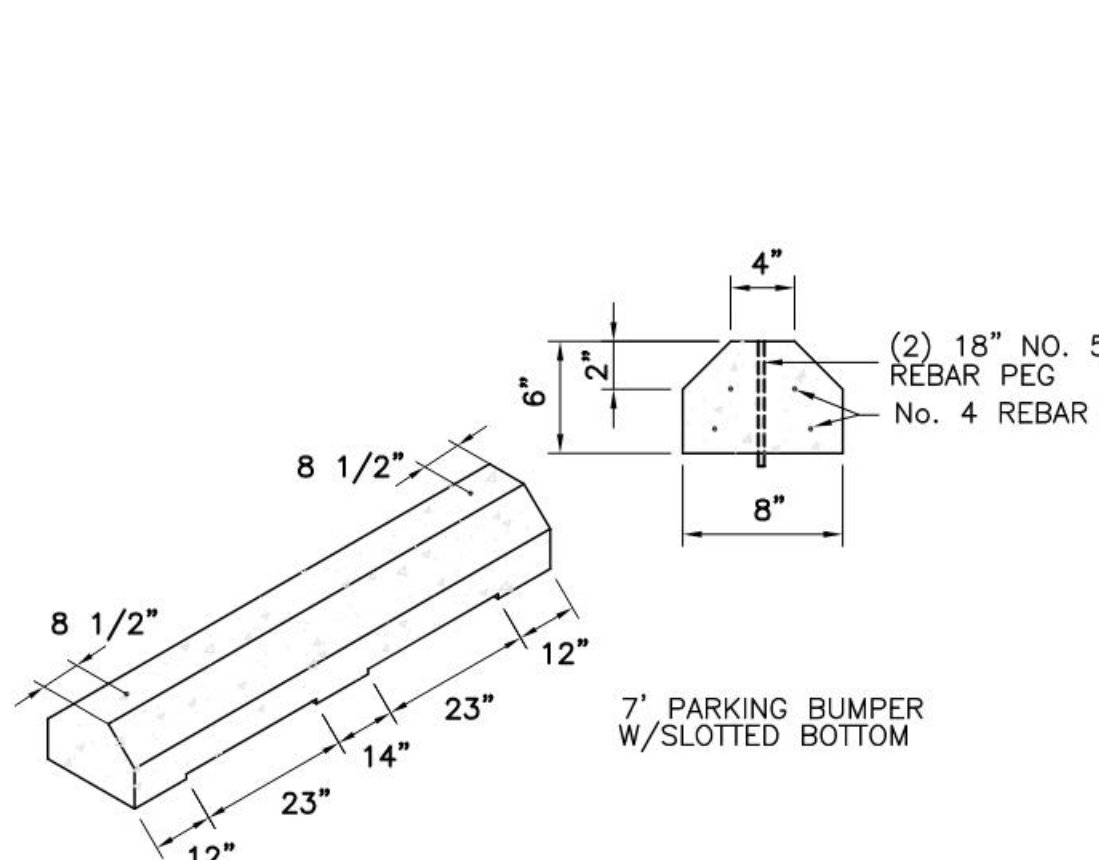
SHEET TITLE

CIVIL DETAILS

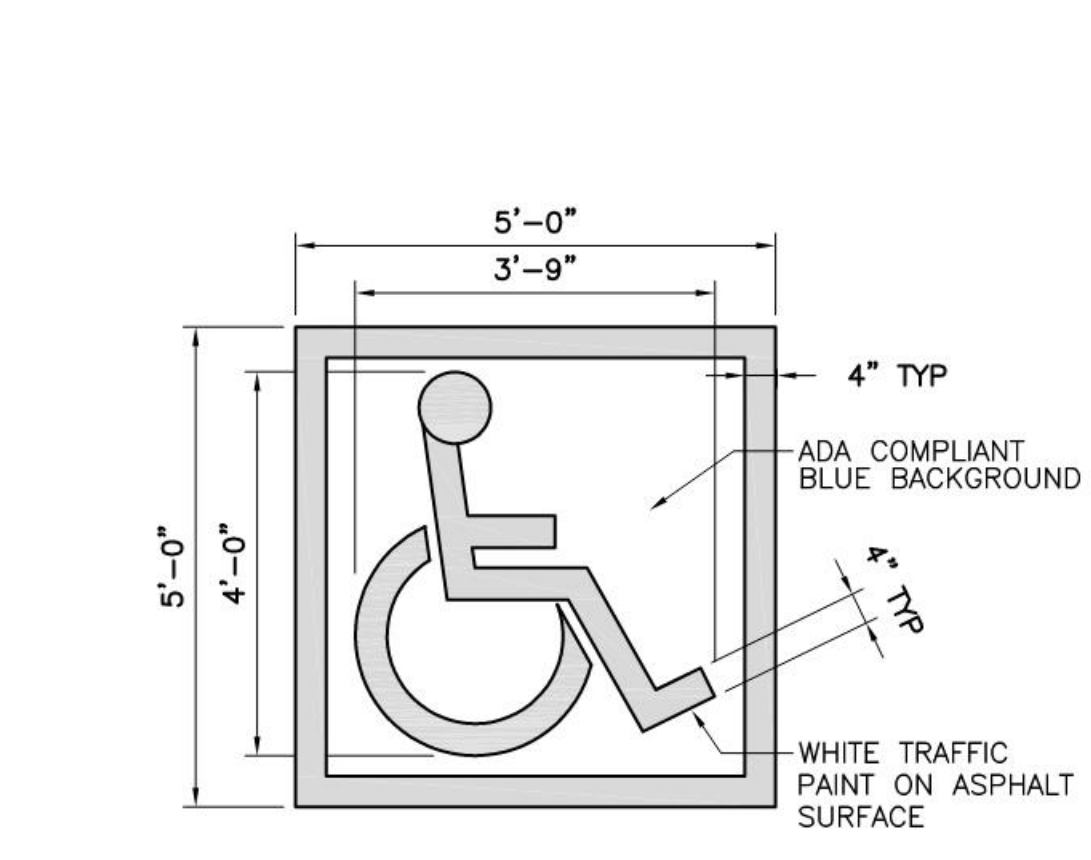
SHEET NUMBER



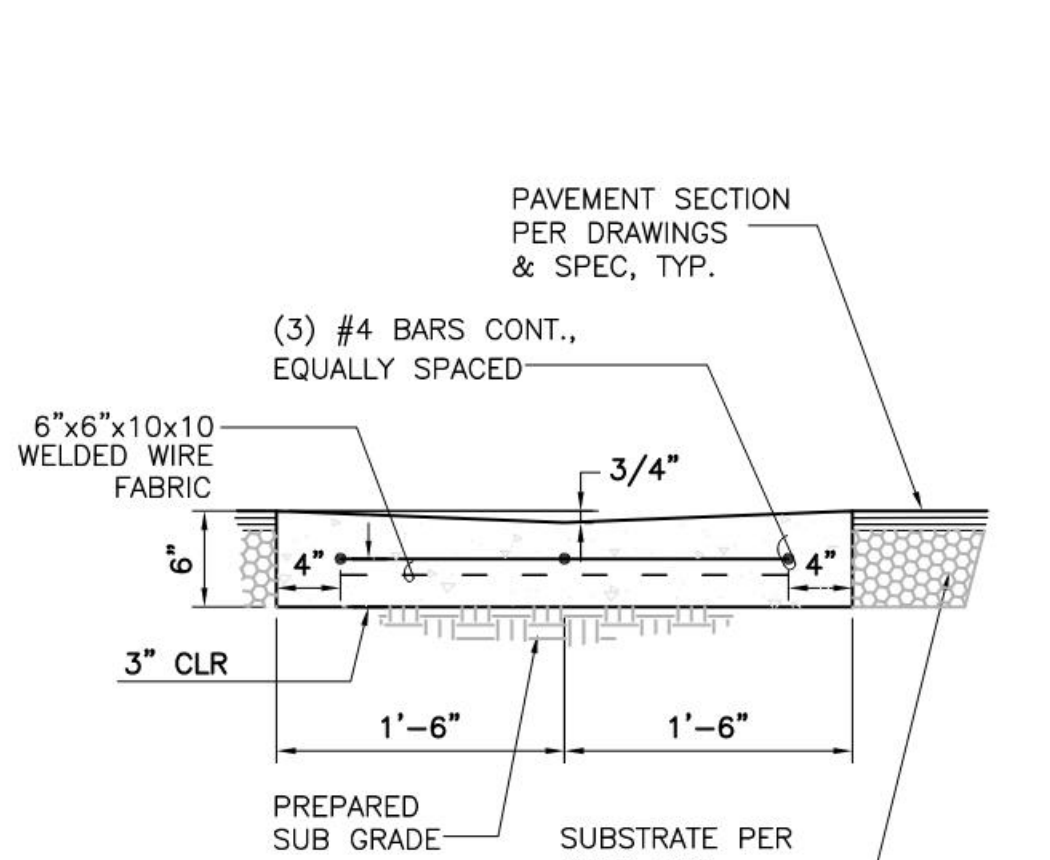
**E5 BICYCLE RACK**  
 NOT TO SCALE



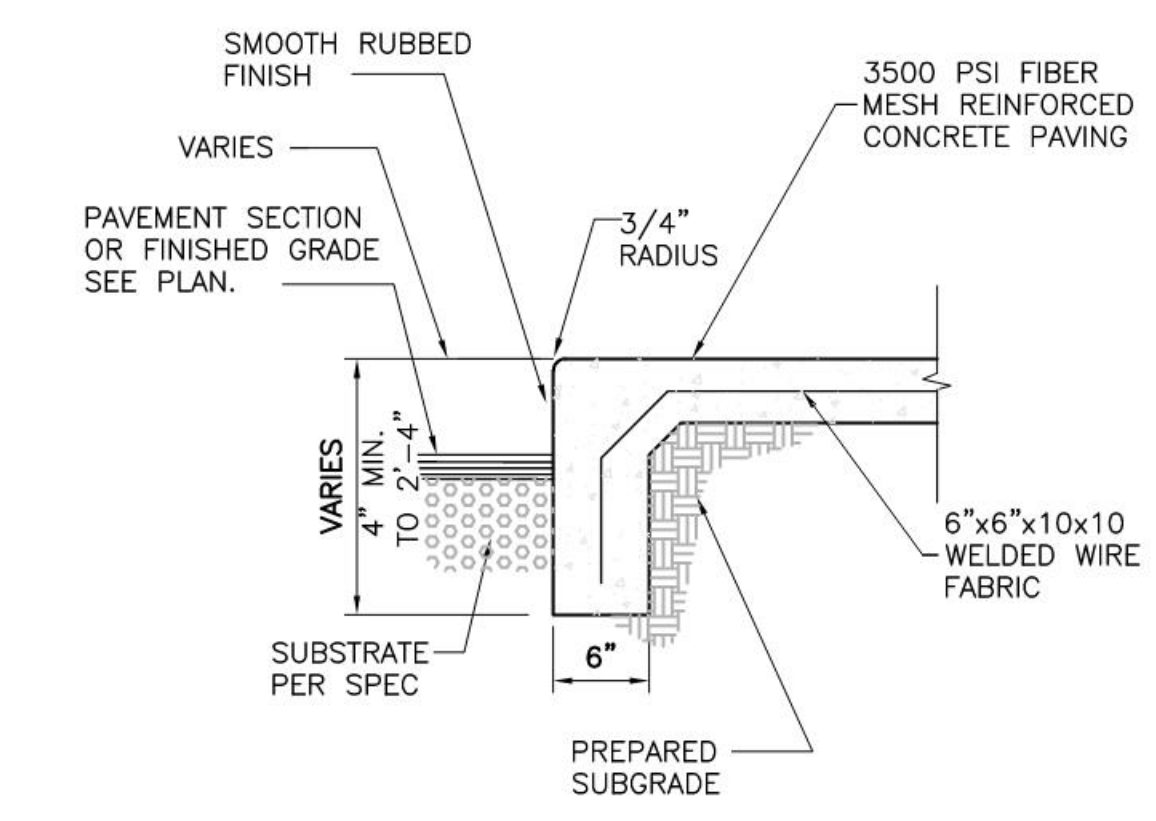
**E4 PARKING BLOCK**  
 NOT TO SCALE



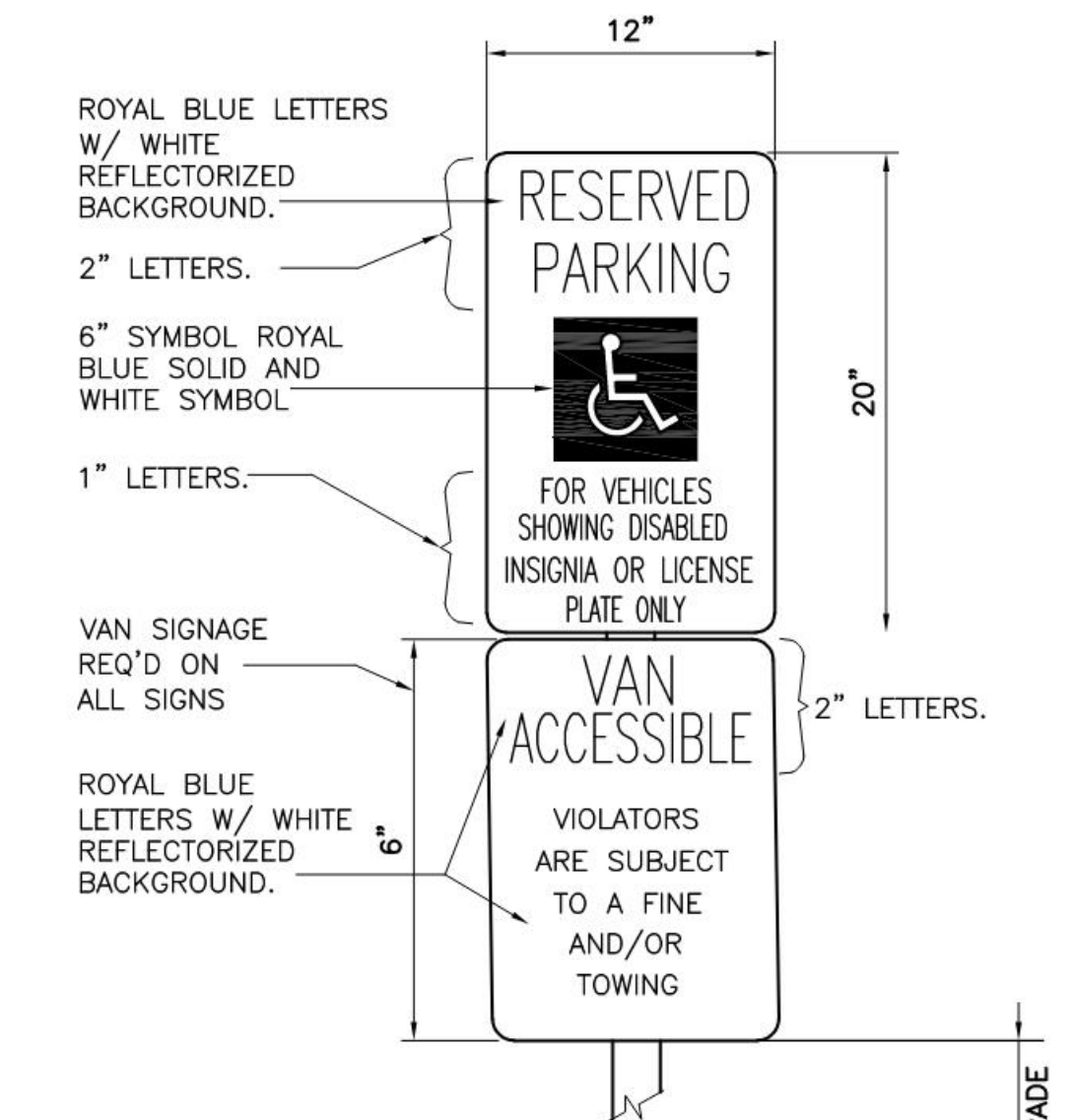
**E3 RESERVED SYMBOL**  
 NOT TO SCALE



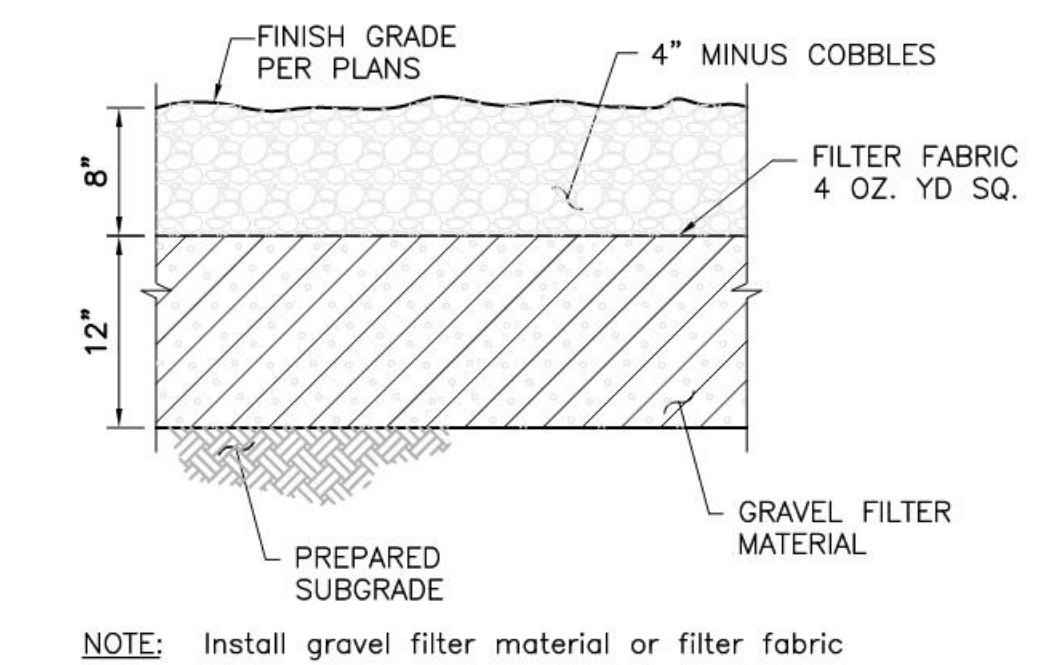
**E1 CONCRETE VALLEY GUTTER**  
 NOT TO SCALE



**D4 CONCRETE PATIO TURNDOWN**  
 NOT TO SCALE

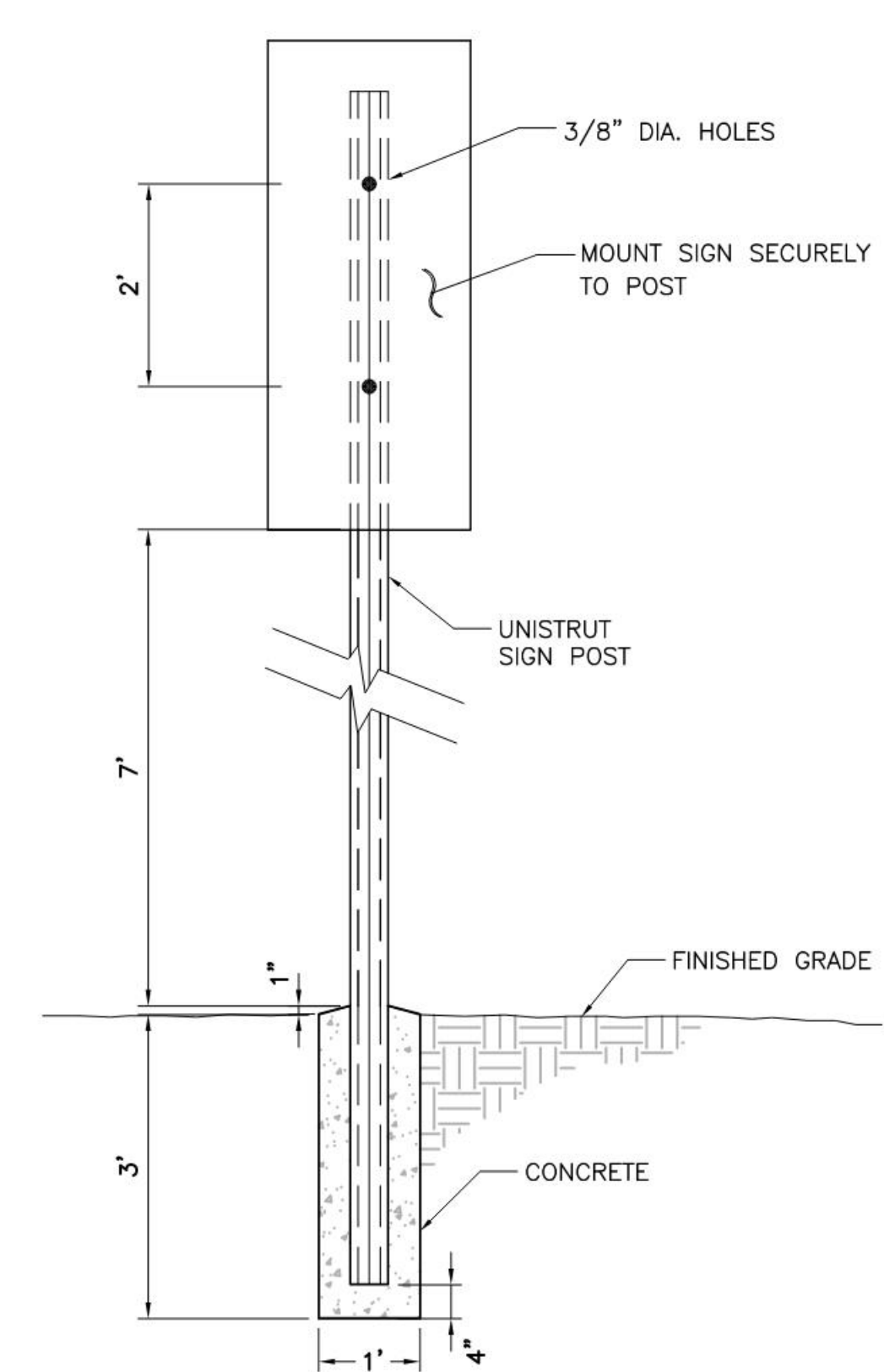


**C3 RESERVED PARKING SIGNS**  
 NOT TO SCALE



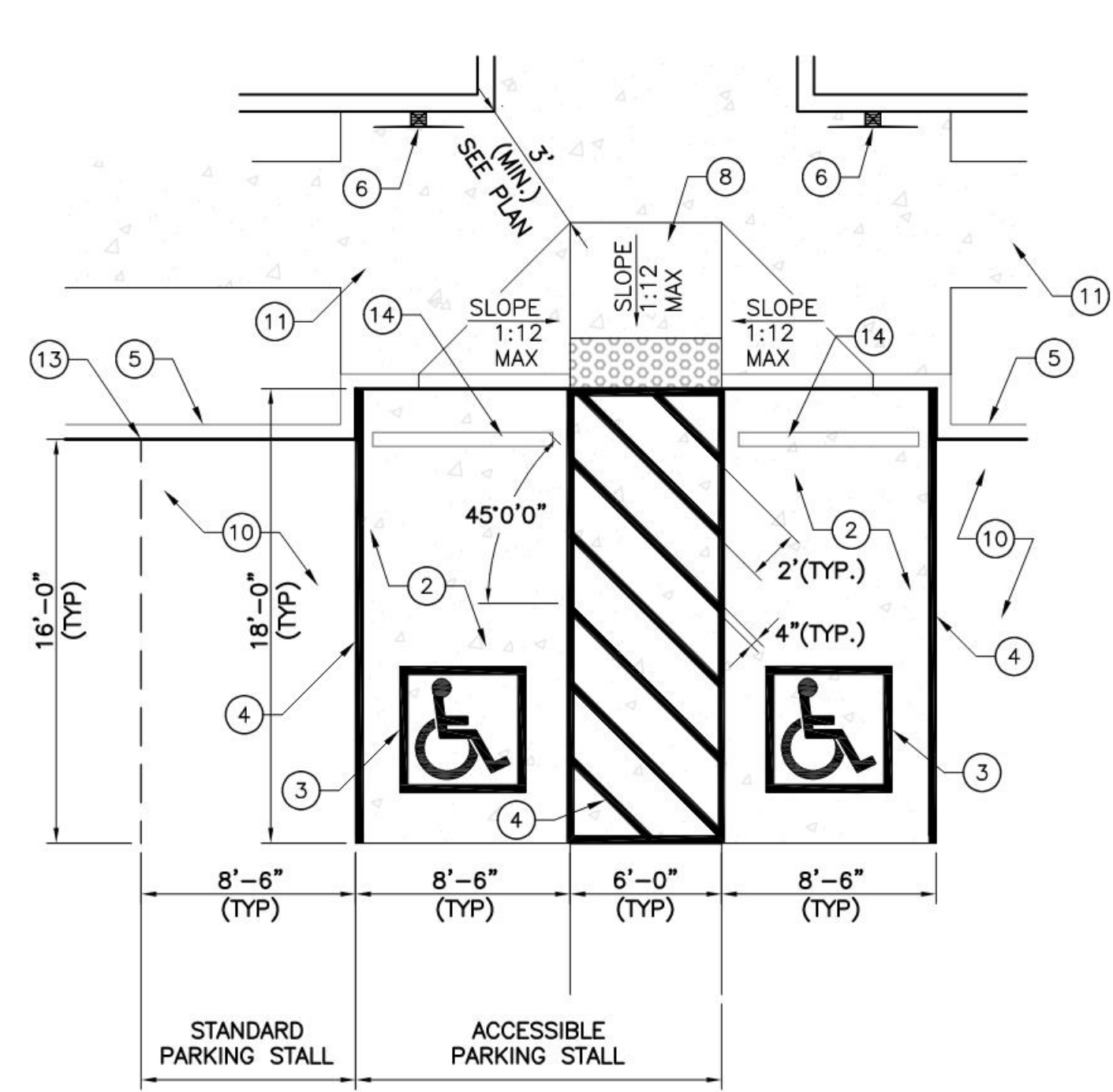
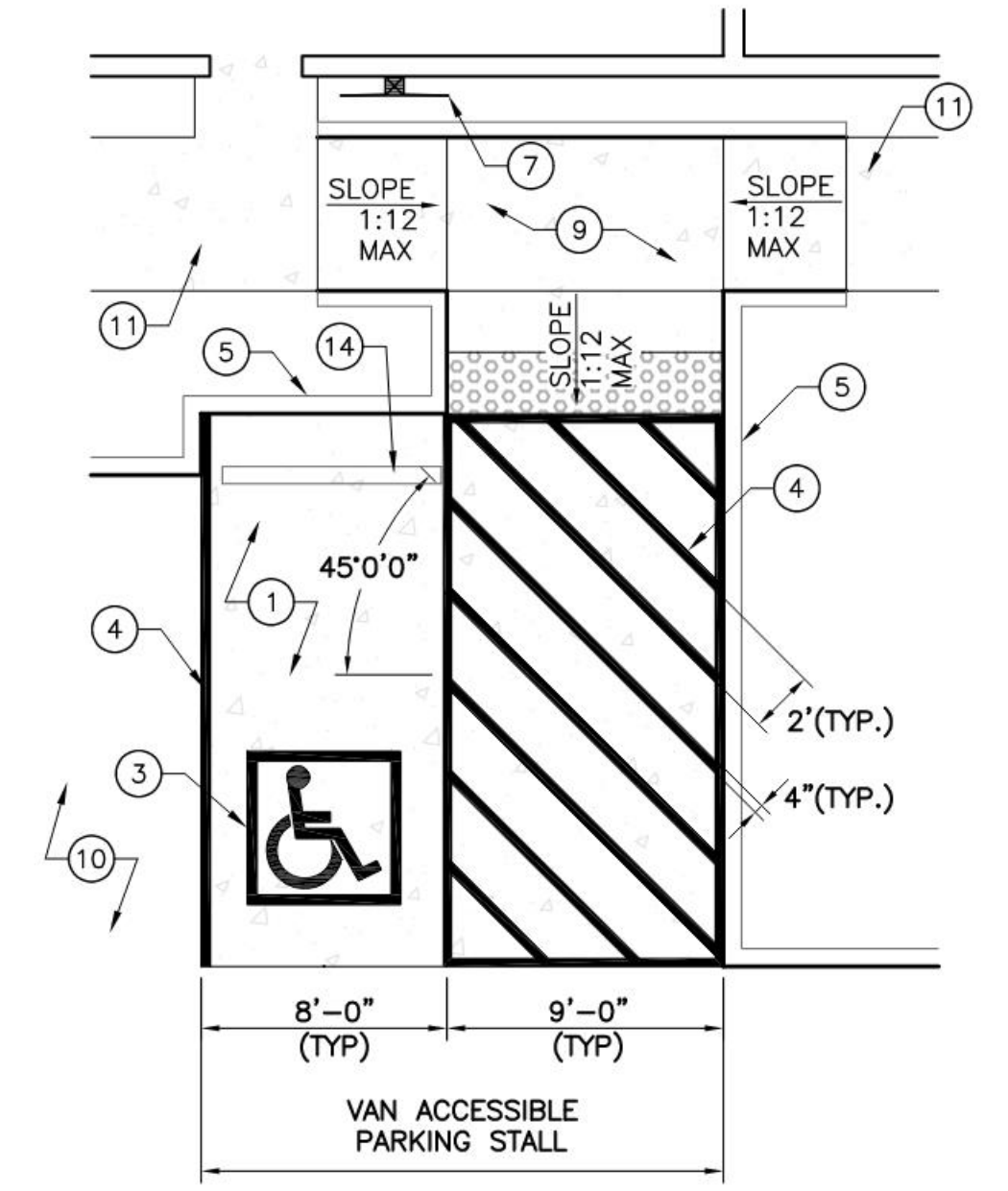
**D5 RIP-RAP SECTION**  
 NOT TO SCALE

NOTE: Install gravel filter material or filter fabric



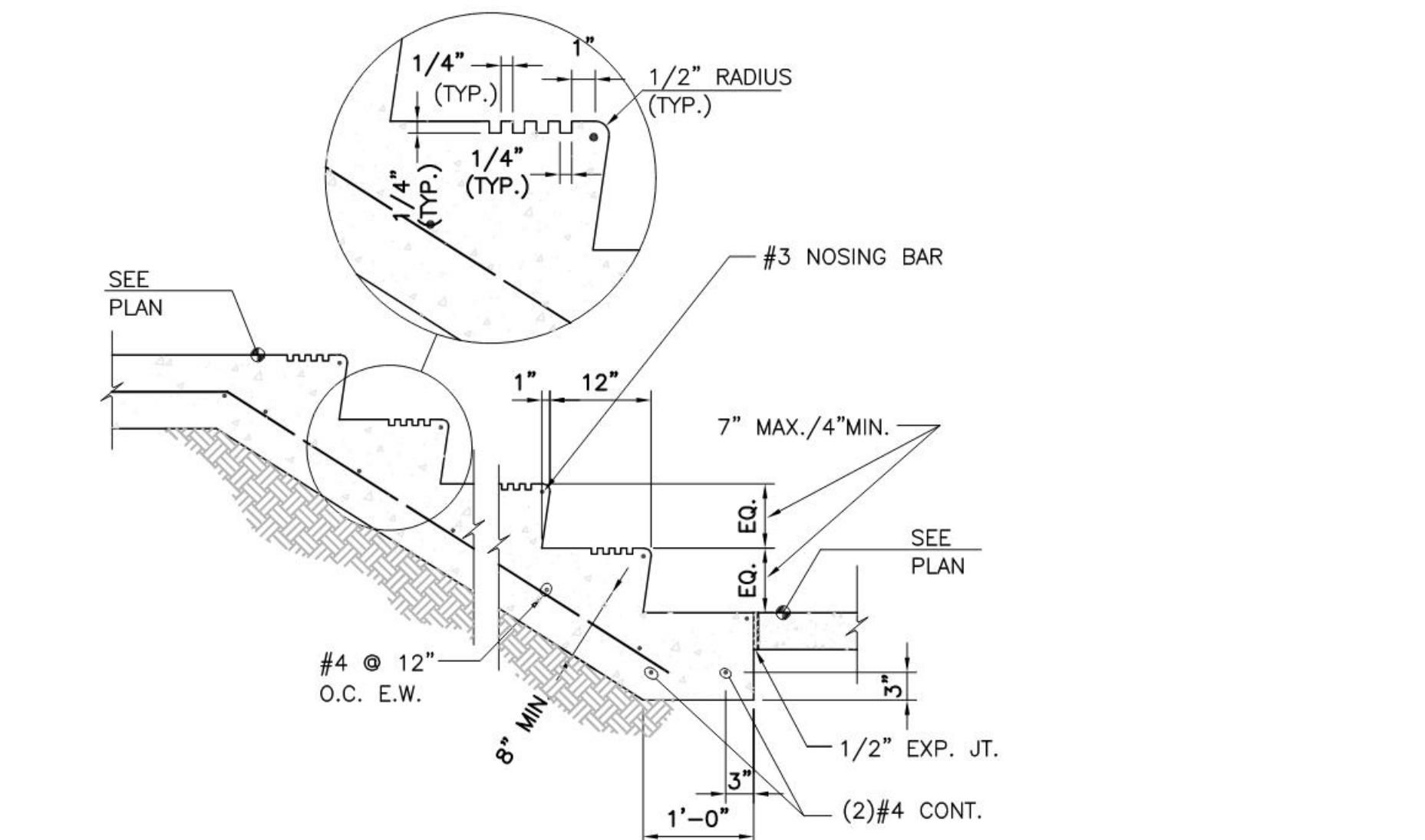
**D2 PARKING SIGN POST**  
 NOT TO SCALE

- GENERAL NOTES:**
1. SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 3'-0". USE A 2" STEEL FLANGED CHANNEL FOR SIGN POSTS. FABRICATE SIGN PANELS OF .063 ALUMINUM. PAINT POST POSTAL BLUE, (MATTE FINISH).
  2. LOCATE POSTS 2'-0" BACK FROM ADJACENT CURBS, UNLESS NOTED OTHERWISE.
  3. ALL 2" FLANGED CHANNEL SIGN POSTS TO BE INSTALLED WITH WITH BREAK AWAY CONNECTION.
  4. ALL SIGNS TO HAVE AN ANTI GRAFFITI COATING, BOTH SIDES.

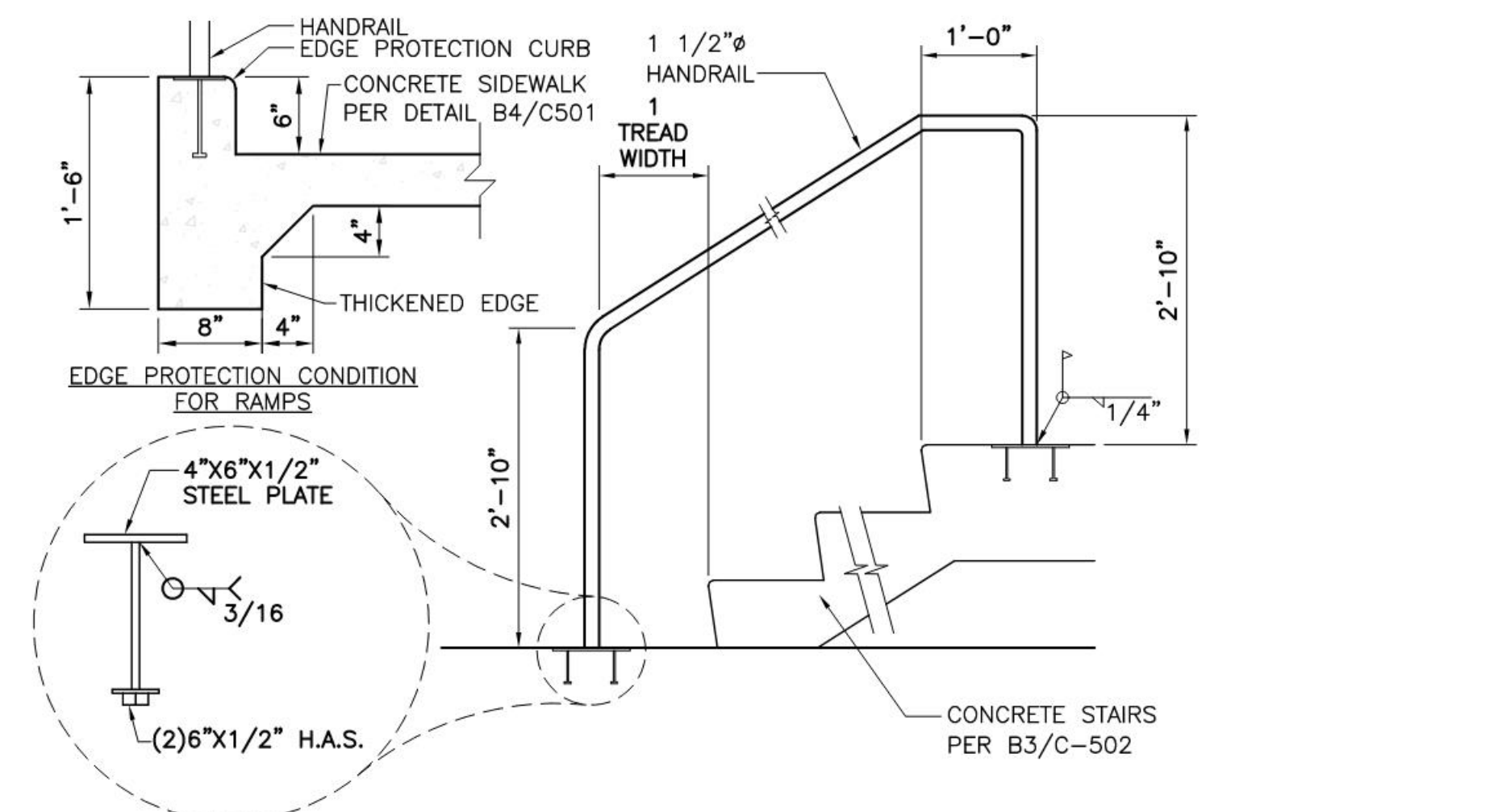


- KEYED NOTES:**
1. TYPICAL VAN ACCESSIBLE SPACE.
  2. TYPICAL STANDARD ACCESSIBLE SPACE.
  3. RESERVED PARKING SYMBOL PER DETAIL E3/C-501.
  4. 4" WIDE WHITE STRIPING (TYP.).
  5. CONCRETE HEADER CURB PER DETAIL A5/C-501.
  6. RESERVED PARKING SIGN PER DETAIL C2/C0502.
  7. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL C2/C-502.
  8. TYPICAL TYPE 'A' CURB RAMP, PER DETAIL A1/C-501.
  9. TYPICAL TYPE 'B' CURB RAMP, PER DETAIL A1/C-501.
  10. GRAVEL PARKING STALL.
  11. CONC. SIDEWALK, SEE PLANS AND DETAIL B4/C-501.
  12. DETECTABLE WARNING SURFACE PER DETAIL A3/C-501.
  13. 2" V-NOTCH CUT INTO HEADER CURB TO INDICATE EDGE OF PARKING STALL.
  14. CONCRETE PARKING BLOCK PER DETAIL D2/C-502.

**A1 ADA PARKING STALL**  
 NOT TO SCALE



**B2 CONCRETE STAIR**  
 NOT TO SCALE



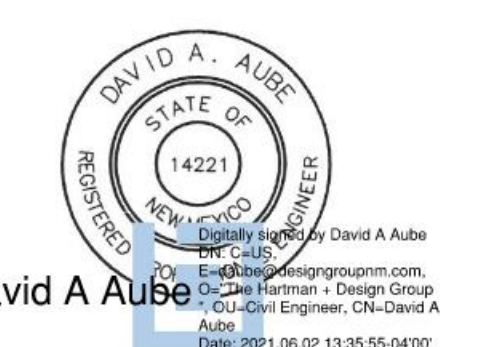
**A2 STAIR/RAMP RAILING**  
 NOT TO SCALE





CONSULTANT

STAMP



David A. Aube  
 State of New Mexico  
 License No. 14221  
 Mechanical Engineering

**SITE PLAN - DRB**  
 NOT FOR CONSTRUCTION  
 PROJECT NAME  
**HILAND PLAZA**

5000 CENTRAL AVENUE NE  
 ALBUQUERQUE, NM 87108

REVISIONS

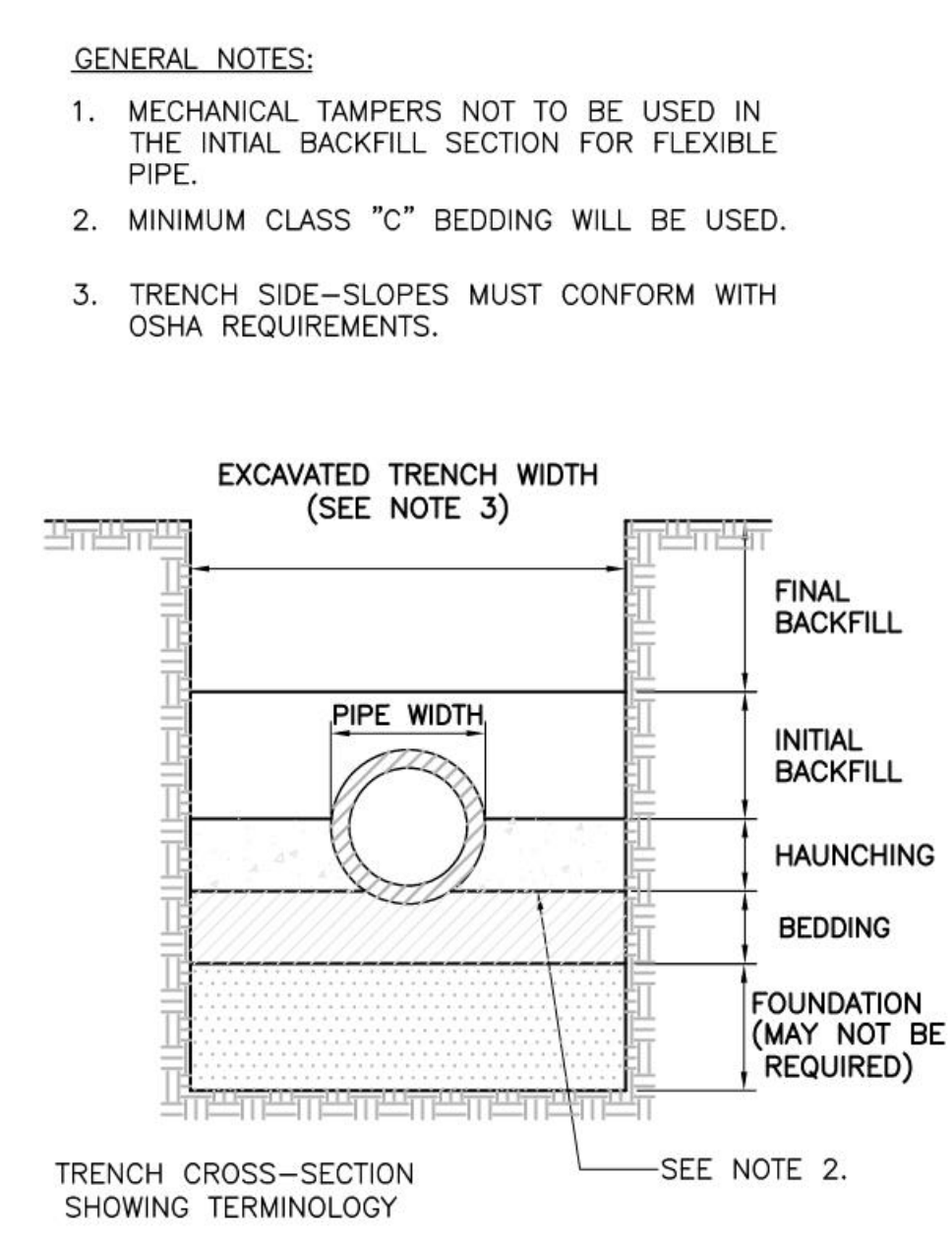
NO.	DATE	DESCRIPTION

Copyright: Design Group  
 Drawn by: DAA  
 Checked by: DAA  
 Date: MAY 24, 2021  
 Project number: 2574

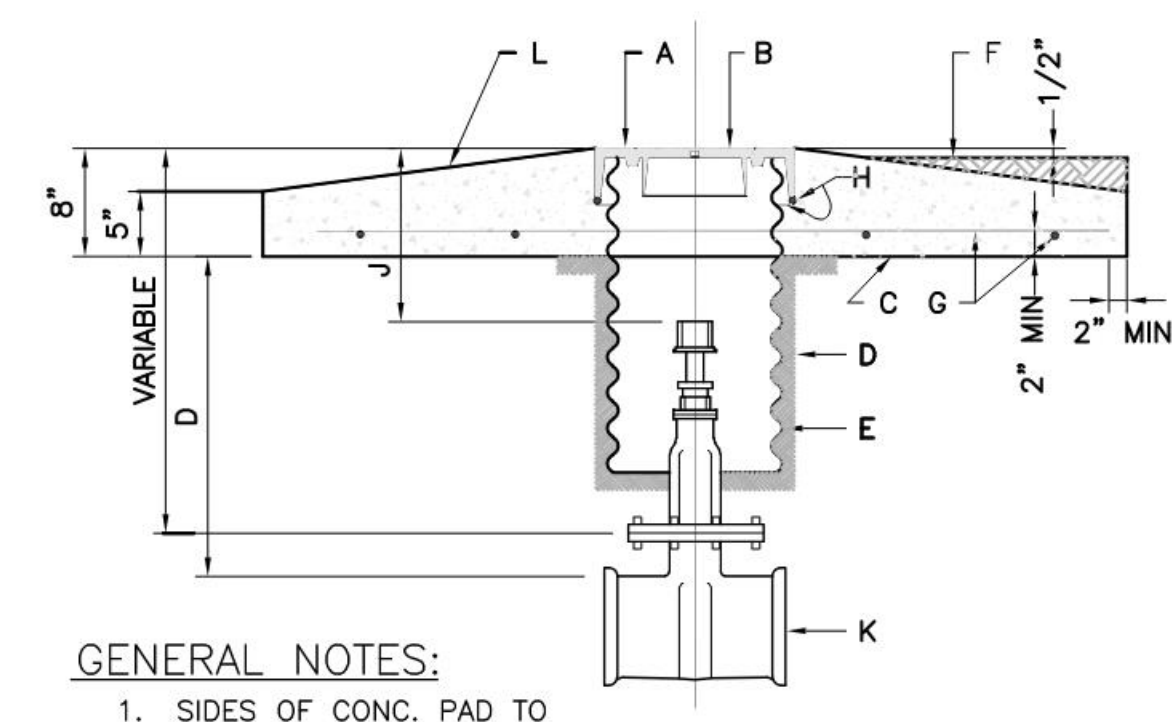
SHEET TITLE

CIVIL DETAILS

SHEET NUMBER



**D5 SEWER PIPE TRENCH**  
 NOT TO SCALE



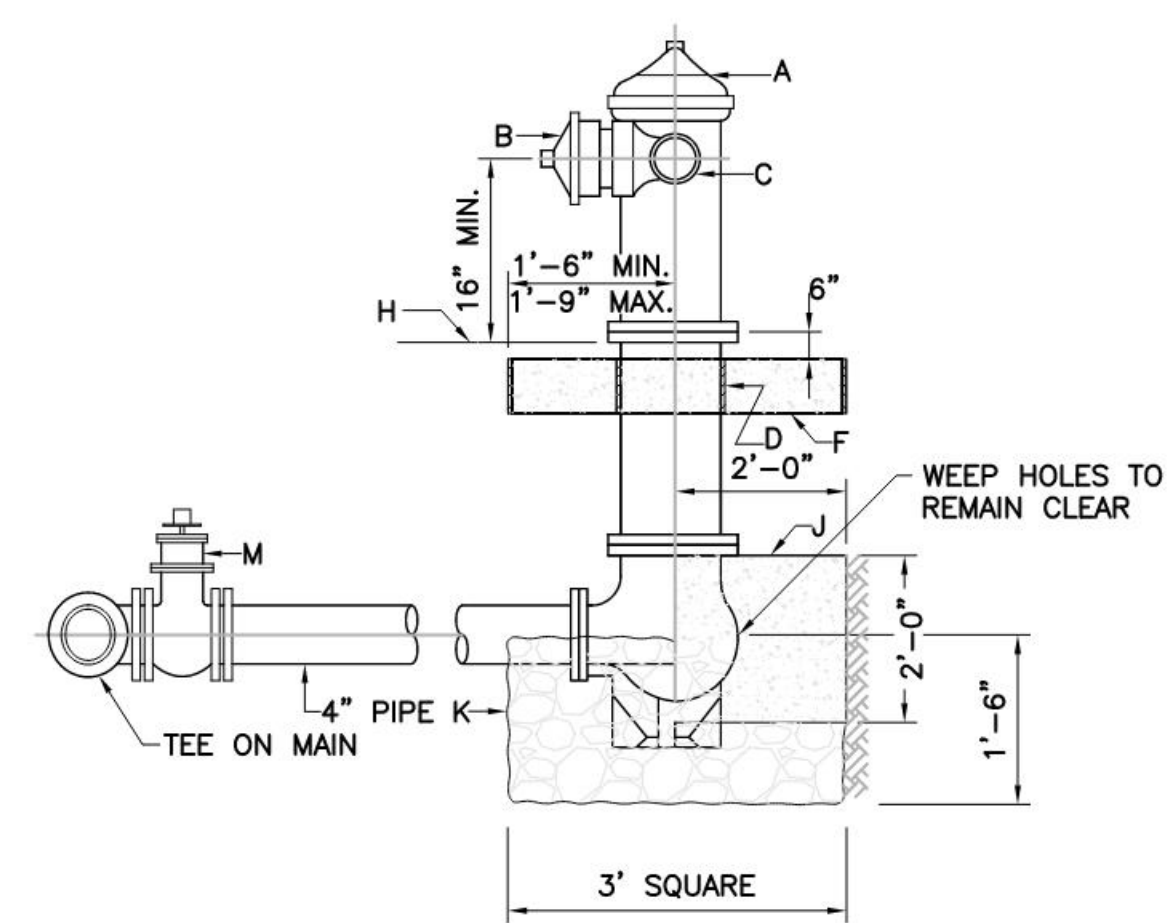
**GENERAL NOTES:**

- SIDES OF CONC. PAD TO BE PARALLEL AND PERPENDICULAR TO THE NORMAL STREET TRAFFIC FLOW.
- USE THIS TYPE VALVE BOX FOR LOCATION IN UNPAVED STREETS OR ALLEYS AND IN NON-TRAFFIC EASEMENTS.
- SCRIBE LINE IN CONCRETE PAD TO INDICATE PIPE DIRECTION. Scribe valve size in concrete pad. SEE DETAIL 5/C.5

**CONSTRUCTION NOTES:**

- RING.
- COVER.
- PORTLAND CEMENT CONC. 3500 P.S.I.
- COMPACTED EARTH FILL, 95% MAX. DENSITY AS DETERMINED BY A.S.T.M. D-1557.
- 12" DIA. CORRUGATED GALV. CULVERT PIPE 14 GA. DIPPED IN COAL TAR ENAMEL OR COATED WITH POLYMERIC COATING 3 MILS THICK MIN. MEETING REQUIREMENTS SET BY A.A.S.H.T.O.M 246. SEE DETAIL 6/C.5
- GROUND LEVEL.
- NO. 4 BARS AT 12" O.C. EACH WAY.
- NO. 4 BARS 1'-6" LONG.
- 2'-0" MAX., USE STEM EXTENSION AS NECESSARY.
- NEW OR EXISTING VALVE.
- SCRIBE IN THE FRESH CONCRETE THE SIZE OF THE VALVE.

**C4 WATER VALVE BOX**  
 NOT TO SCALE



**GENERAL NOTES:**

- NO OBSTRUCTIONS WILL BE PERMITTED WITHIN 3 FT. OF FIRE HYDRANT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING TOP FLANGE OF FIRE HYDRANT TO THE CONTROLLED ELEVATION LINE.
- PUMPER NOZZLE TO BE SET FACING THE TRAVELED WAY, UNLESS OTHERWISE NOTED ON PLANS.

**CONSTRUCTION NOTES:**

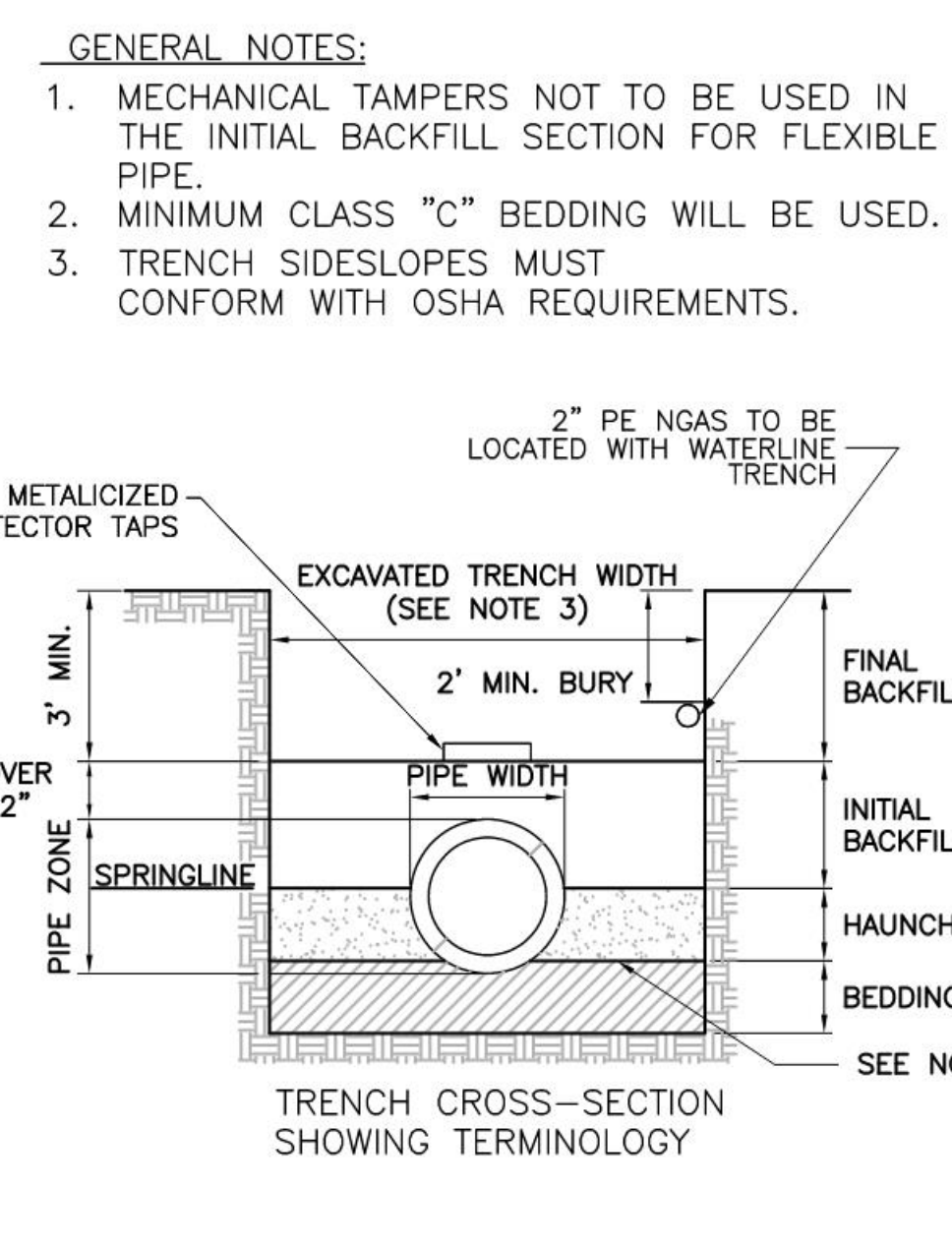
- FIRE HYDRANT PER SPEC'S
- PUMPER NOZZLE 4 1/2"
- HOSE NOZZLE 2 1/2"
- 1/2" EXPANSION JOINT MATERIAL
- 3'x3'x6" CONC. SQ. PAD, TO BE CONSTRUCTED AROUND FIRE HYDRANT'S CENTER LINE.
- CONTROLLED ELEV. LINE, LEVEL IN ALL DIRECTIONS
- CONC. THRUST BLOCK, APPROX. 2'x2'x3' TO BE POURED AGAINST UNDISTURBED EARTH, F.H. WEEP HOLE MUST BE UNOBSTRUCTED.
- GRAVEL DRAIN POCKET, COVER TOP SURFACE WITH TAR PAPER
- IF VALVE IS REQUIRED, VALVE WILL BE CONNECTED TO TEE AT MAIN.

**C5 THRUST BLOCKING**  
 NOT TO SCALE

BEARING AREA OF BLOCK IN SQ. FT.

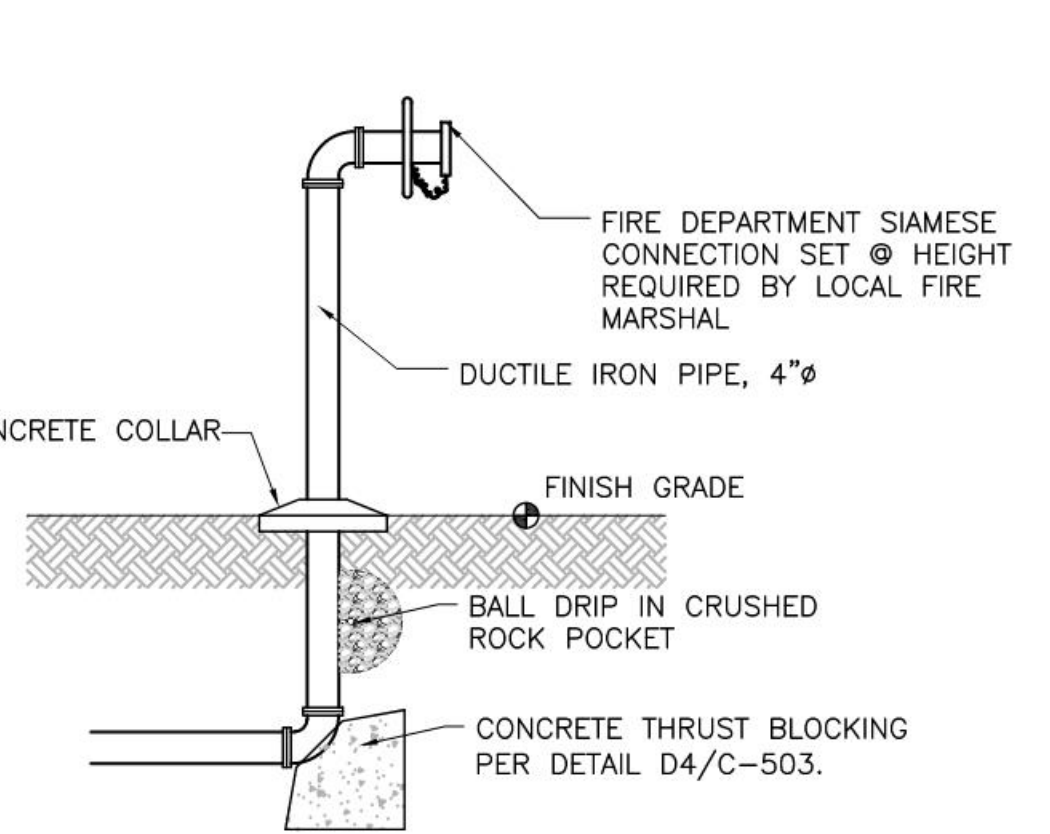
FITTING SIZES	TEE & END	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
6"	3.6	5.4	2.5	1.5	0.8
8"	6.3	8.9	4.8	2.5	1.3
10"	9.9	13.9	7.6	3.9	2.0
12"	14.2	20.0	10.9	5.6	2.8

NOTE: PROVIDE A MINIMUM OF 2 SQ. FEET OF BEARING AREA FOR SMALLER PIPE SIZES NOT LISTED IN THE TABLE.

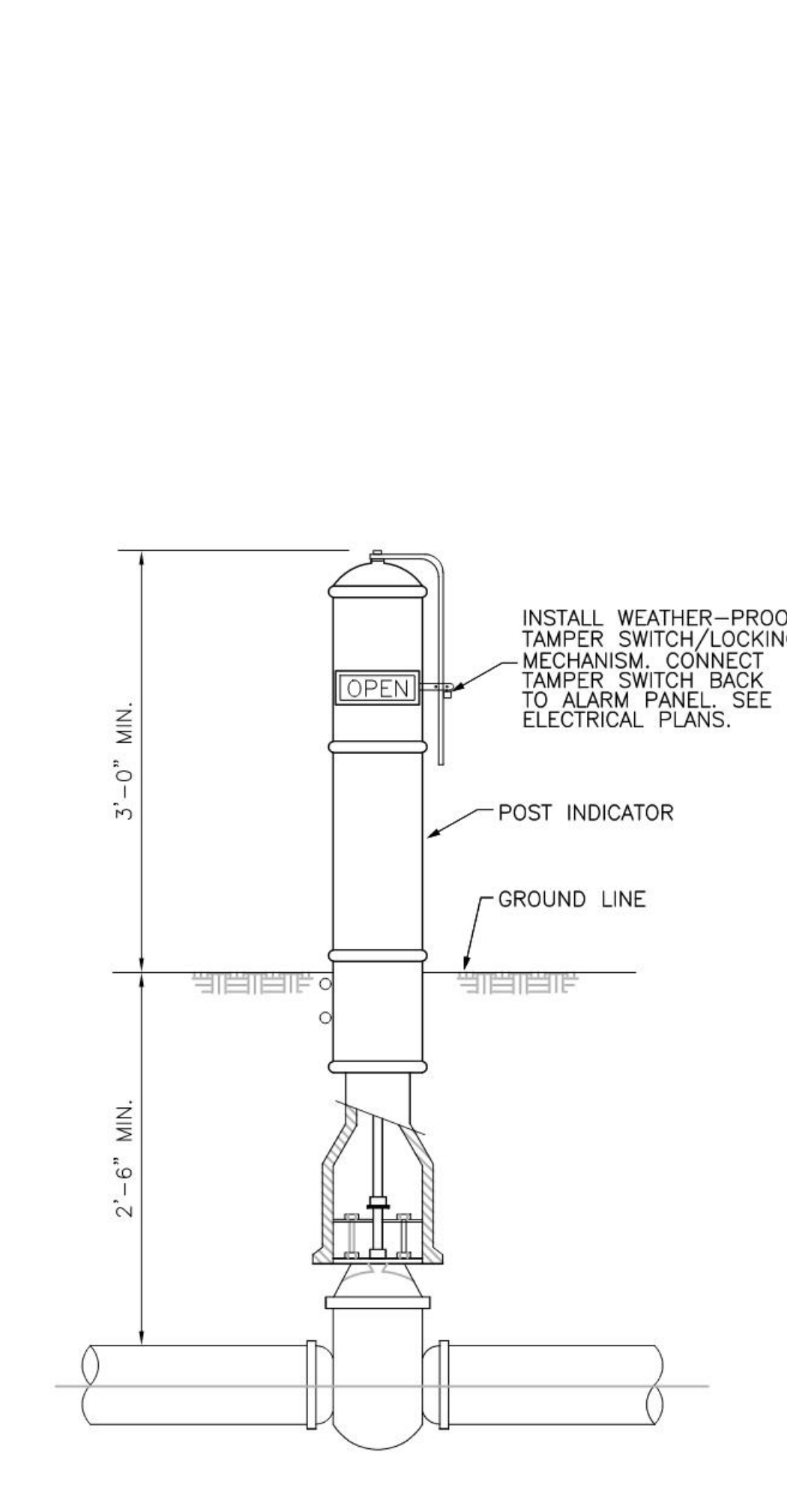


**A5 WATER PIPE TRENCH**  
 NOT TO SCALE

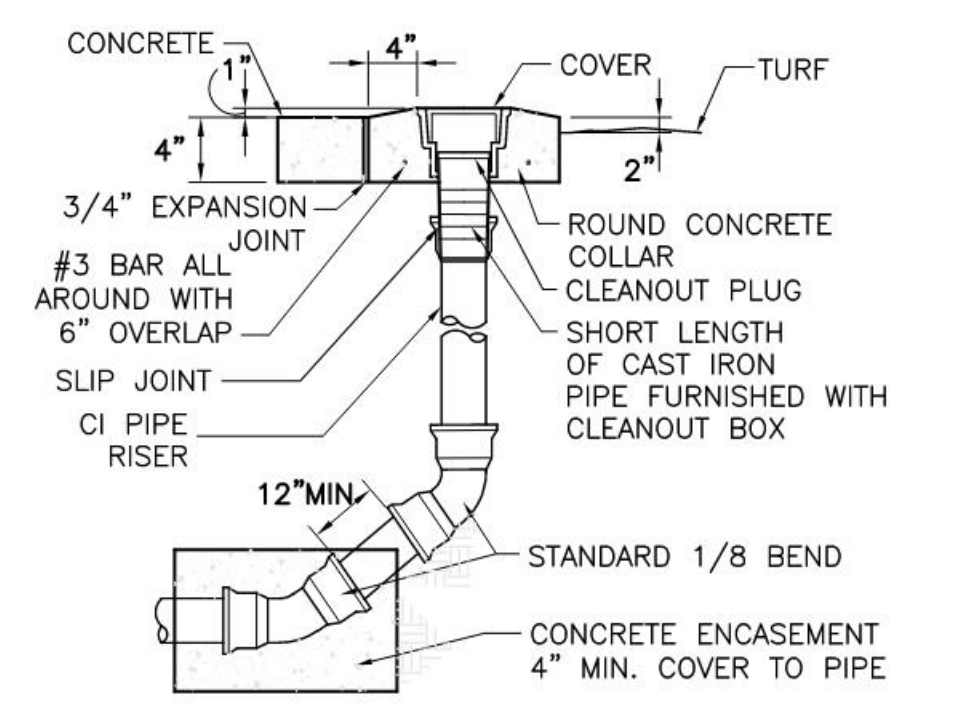
**D6 BACKFLOW PREVENTER AND HOT BOX**  
 NOT TO SCALE



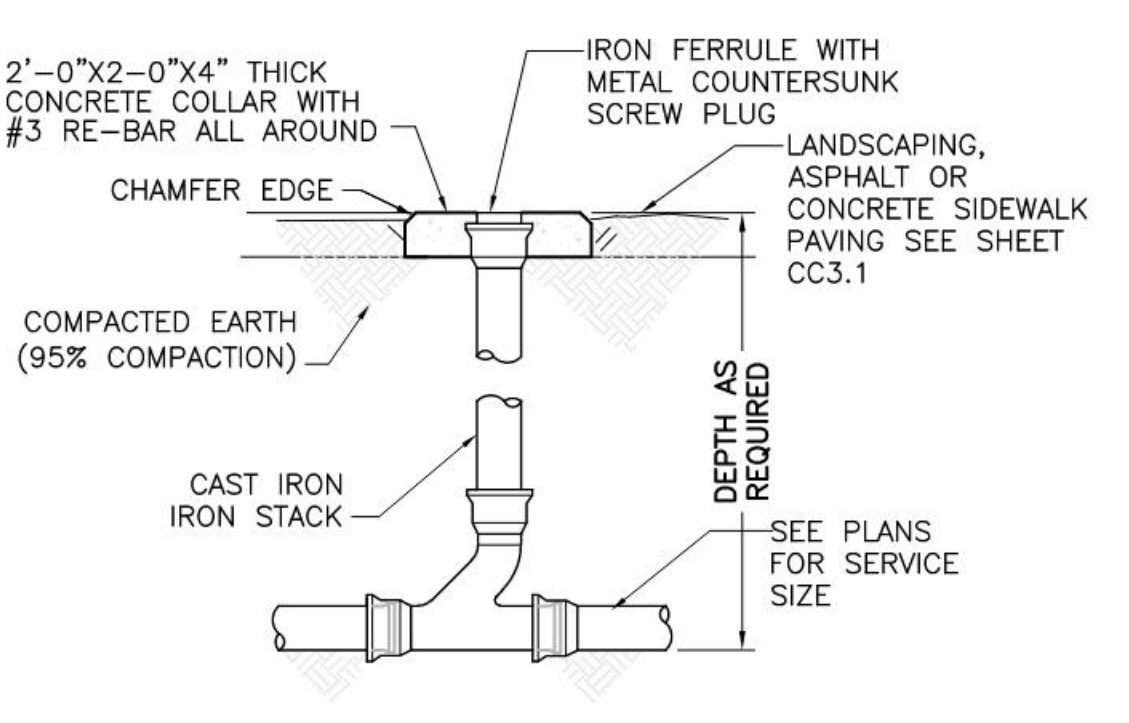
**C6 FIRE DEPARTMENT CONNECTION.**  
 NOT TO SCALE



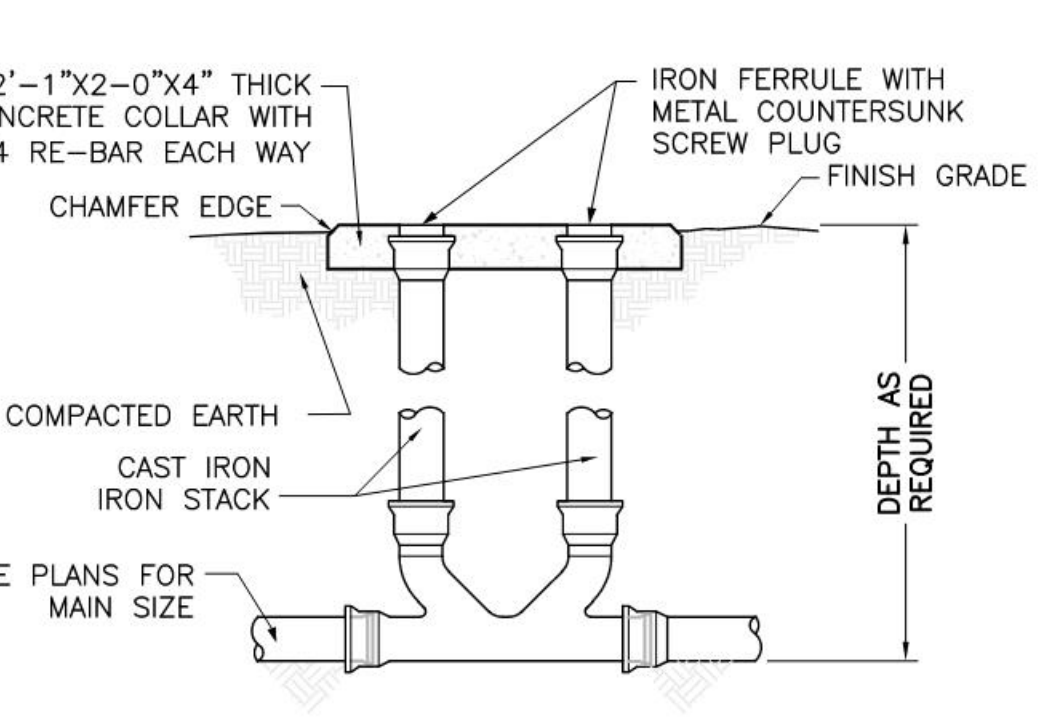
**A6 POST INDICATOR VAVLE**  
 NOT TO SCALE



**E1 TERMINAL CLEANOUT**  
 NOT TO SCALE



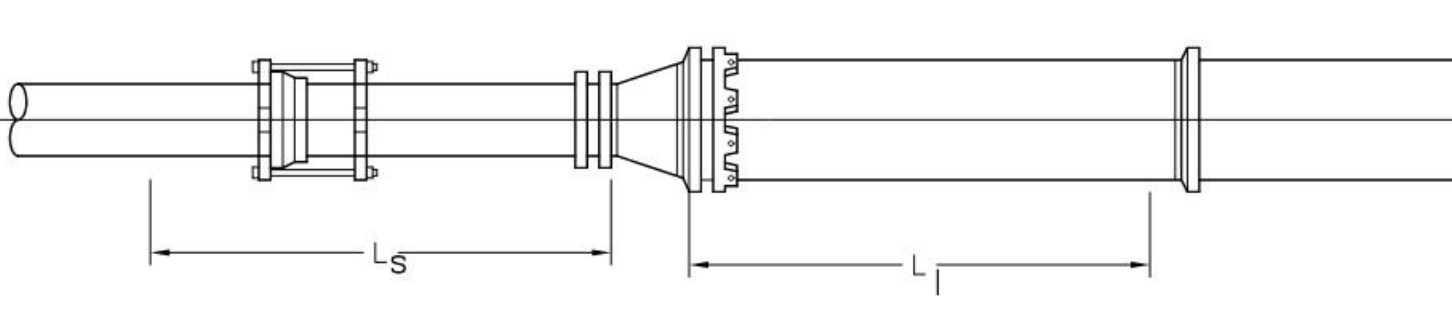
**E2 SINGLE CLEANOUT**  
 NOT TO SCALE



**E3 DOUBLE CLEANOUT**  
 NOT TO SCALE

**REDUCER**

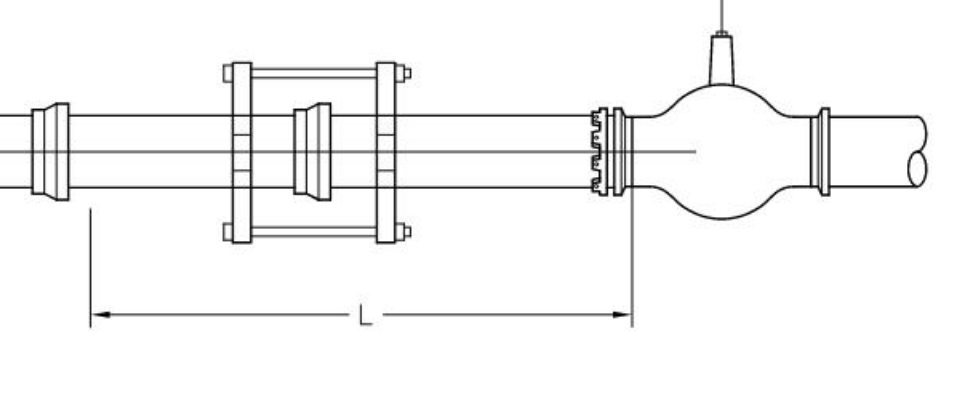
RESTRAIN EITHER L <sub>s</sub> OR L <sub>l</sub> LENGTH	(L <sub>s</sub> ) L SMALL or (L <sub>l</sub> ) L LARGE	
	UNOBSTRUCTED STRAIGHT RUN LENGTH, FEET RESTRAINED	LARGE SIDE RESTRAINED LENGTH, FEET
Size		
6" x 4"	42	28
8" x 4"	39	30
8" x 6"	39	30
10" x 6"	87	53
10" x 8"	36	29
12" x 8"	81	54
12" x 10"	36	30
14" x 10"	78	55



**GATE VALVES**

LINE SIZE	RESTRAINED LENGTH L, BOTH SIDES OF VALVE, FEET
4"	39
6"	55
8"	72
10"	86
12"	102
14"	116

THESE LENGTHS MAY BE USED WHERE ENOUGH NEW PIPE EXISTS TO INSTALL THE RESTRAINT JOINTS ALONG A STRAIGHT PIPE RUN.



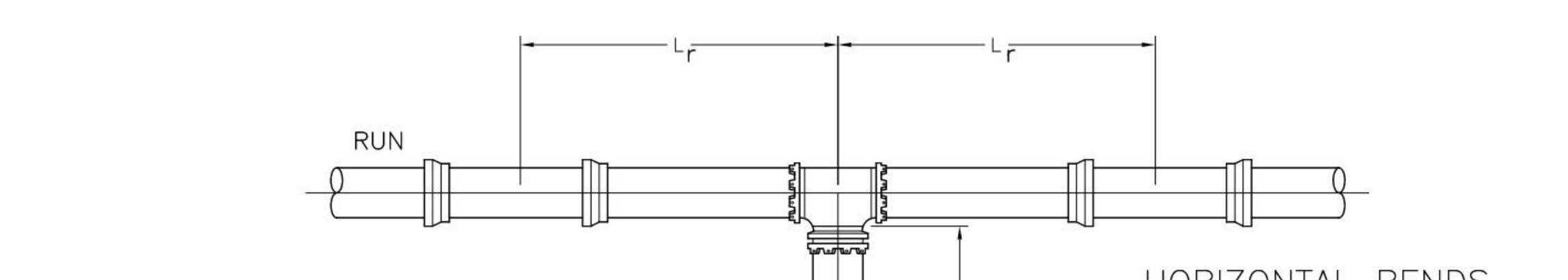
**THRUST RESTRAINT GENERAL NOTES**

- RESTRAINED PIPE LENGTHS FOR PVC USING EBAA IRON THRUST RESTRAINING SYSTEM.
- LENGTHS MAY OVERLAP TO DETERMINE GREATEST RESTRAINT LENGTH IN ANY ONE DIRECTION.
- CONTRACTOR SHALL MINIMIZE NUMBERS OF RESTRAINED JOINTS REQUIRED BY USING 20' LONG SECTIONS OF PIPE WITHIN THE RESTRAINED LENGTH WHERE POSSIBLE. DIVIDE LENGTH BY 20 AND TRUNCATE DECIMAL PORTION OF NUMBER TO DETERMINE THE NUMBER OF REQUIRED RESTRAINED JOINTS.
- SPECIAL CONSIDERATION MAY BE NEEDED TO MEET CERTAIN FIELD CONDITIONS.
- RESTRAINT LENGTHS MAY EXTEND INTO EXISTING WATER MAINS, REQUIRING RESTRAINED FITTINGS TO BE PLACED AT EXISTING WATERLINE JOINTS FOR THE LENGTH SPECIFIED IN THE TABLES ON THIS SHEET.
- CONCRETE BLOCKING, PER COA STANDARD DRAWING 2320, SHALL BE USED IN LIEU OF RESTRAINED JOINTS AT ALL CAPS. DESIGN ASSUMPTIONS:  
 SAFETY FACTOR: 1.5  
 PRESSURE: 150 PSI  
 SOIL TYPE: GM & SM - SILTY GRAVELS AND SILTY SANDS  
 PIPE: PVC  
 TRENCH TYPE: 3 (PIPE BEDDED IN 4 INCHES MINIMUM LOOSE SOIL; BACKFILL LIGHTLY CONSOLIDATED TO TOP OF THE PIPE.)

**TEES**

LINE SIZE	BRANCH SIZE 6"				BRANCH SIZE 8"				BRANCH SIZE 10"				BRANCH SIZE 12"			
	L <sub>r</sub> =5'	L <sub>r</sub> =10'	L <sub>r</sub> =15'	L <sub>r</sub> =20'	L <sub>r</sub> =5'	L <sub>r</sub> =10'	L <sub>r</sub> =15'	L <sub>r</sub> =20'	L <sub>r</sub> =5'	L <sub>r</sub> =10'	L <sub>r</sub> =15'	L <sub>r</sub> =20'	L <sub>r</sub> =5'	L <sub>r</sub> =10'	L <sub>r</sub> =15'	L <sub>r</sub> =20'
	RESTRAINED LENGTH L <sub>b</sub> , FEET FOR A SPECIFIED L <sub>r</sub>															
6"	36	18	FJO	FJO	58	44	30	16	75	64	53	41	-	-	-	-
8"	30	6	FJO	FJO	53	35	16	FJO	71	56	42	27	-	-	-	-
10"	24	FJO	FJO	FJO	48	24	1	FJO	67	48	29	10	86	70	54	38
12"	17	FJO	FJO	FJO	43	14	FJO	FJO	63	40	17	FJO	83	63	44	25
14"	FJO	FJO	FJO	FJO	21	FJO	FJO	FJO	39	12	FJO	FJO	56	33	11	FJO

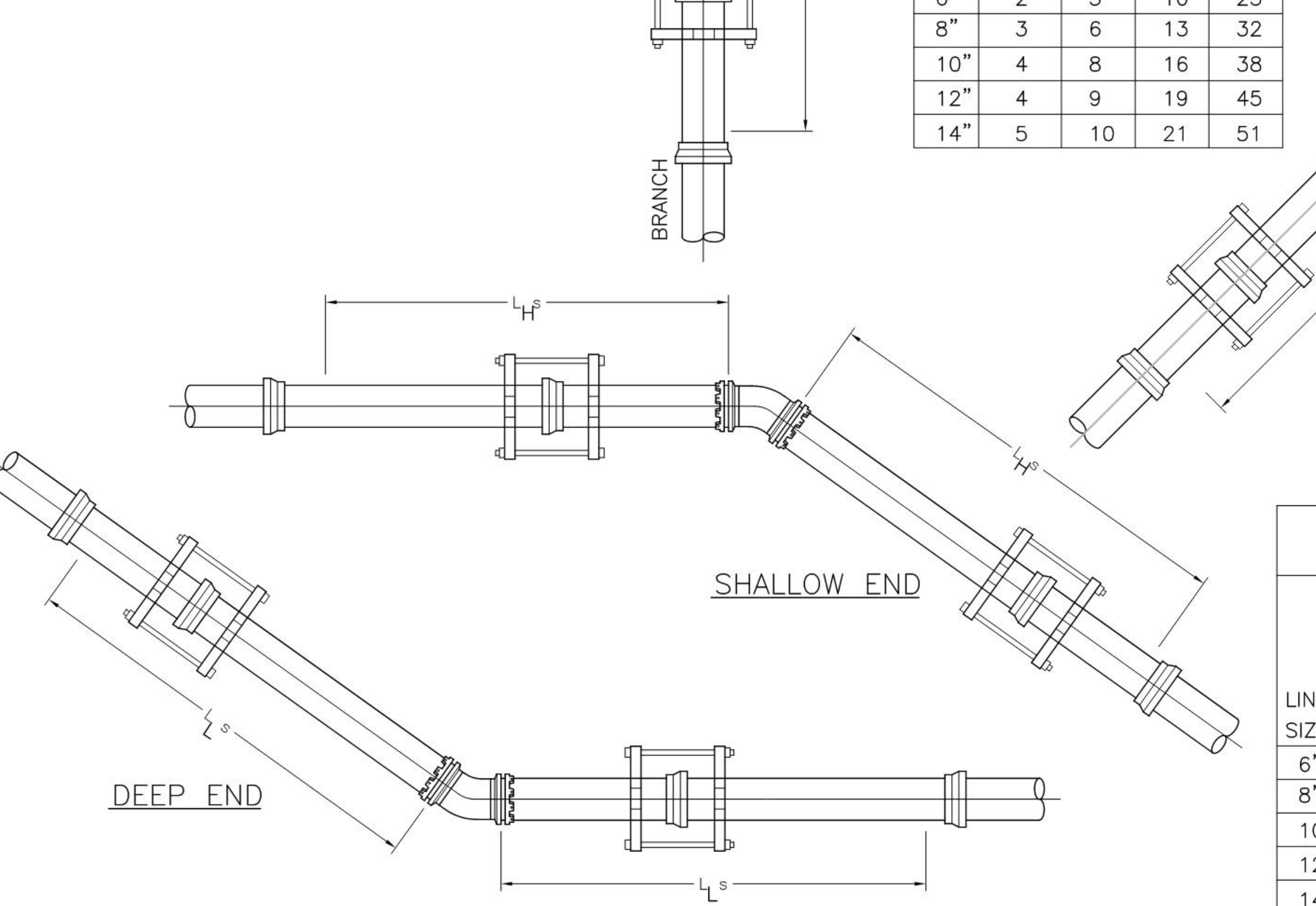
FJO: RESTRAINT REQUIRED AT FITTING JOINT ONLY



NOTE: TABLE PROVIDES REQUIRED L<sub>b</sub> (RESTRAINED LENGTH OF BRANCH) FOR A GIVEN L<sub>r</sub> (RESTRAINED PIPE LENGTH ON THE TEE RUN) AT VARIOUS DIAMETERS.

**HORIZONTAL BENDS**

LINE SIZE	BEND ANGLE			
	11r°	22°	45°	90°
	RESTRAINED LENGTH, L, FEET			
6"	2	5	10	25
8"	3	6	13	32
10"	4	8	16	38
12"	4	9	19	45
14"	5	10	21	51



**VERTICAL OFFSETS**

ADDITIONAL DESIGN PARAMETERS  
 SHALLOW END DEPTH = 3.0'  
 DEEP END DEPTH = 6.0'

LINE SIZE	22° BEND				45° BEND			
	DEEP END L <sub>s</sub> , FEET	SHALLOW END L <sub>h</sub> , FEET	DEEP END L <sub>s</sub> , FEET	SHALLOW END L <sub>h</sub> , FEET	DEEP END L <sub>s</sub> , FEET	SHALLOW END L <sub>h</sub> , FEET	DEEP END L <sub>s</sub> , FEET	SHALLOW END L <sub>h</sub> , FEET
6"	3	11	5	23	3	14	7	30
8"	4	17	8	36	4	17	8	36
10"	5	20	10	42	5	20	10	42
14"	5	23	11	48	5	23	11	48

**A1 PIPE RESTRAINT LENGTHS**  
 NOT TO SCALE

**A4 FIRE HYDRANT**  
 NOT TO SCALE

**A5 WATER PIPE TRENCH**  
 NOT TO SCALE

**A6 POST INDICATOR VAVLE**  
 NOT TO SCALE

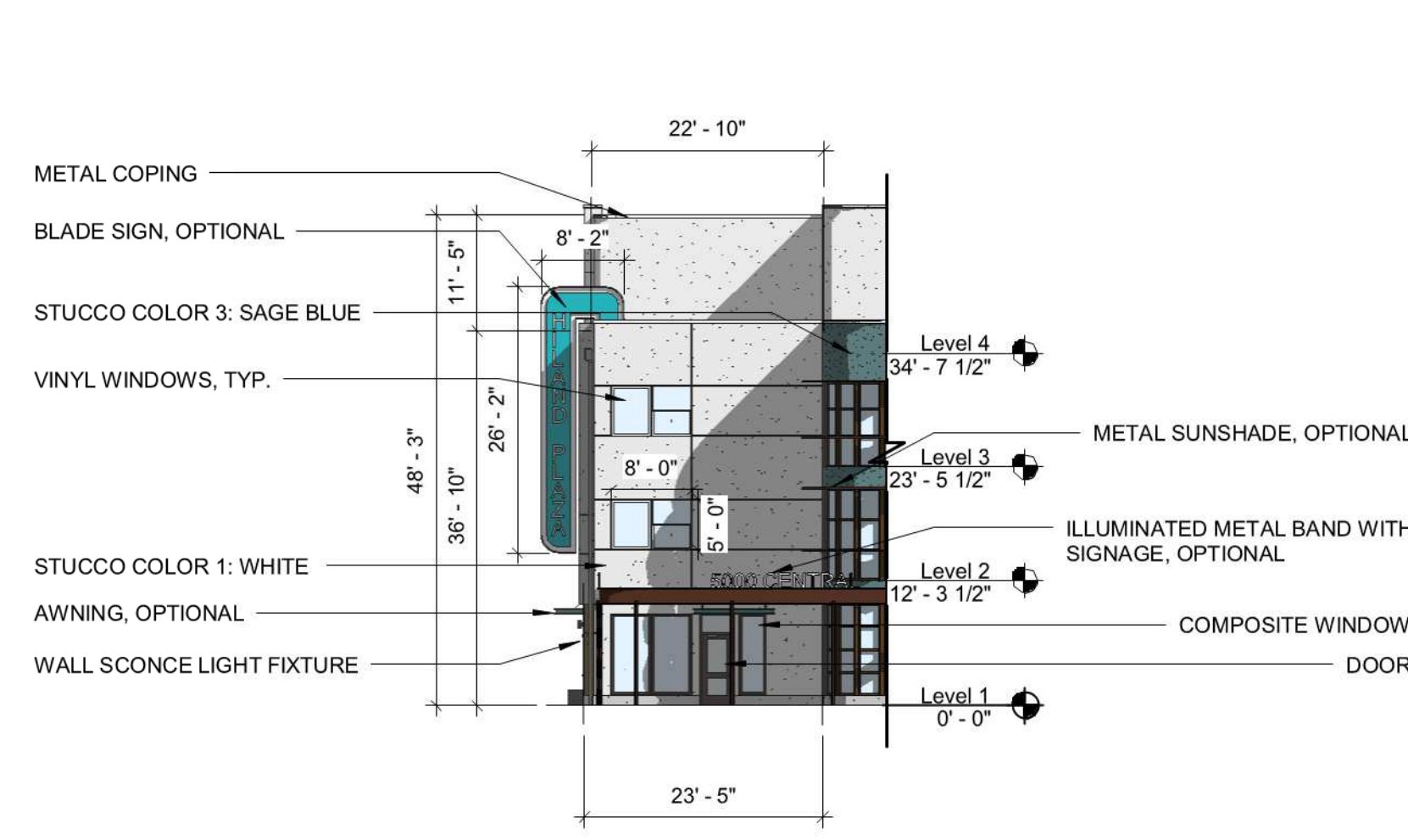








THE HARTMAN • MAJEWSKI  
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 Planners • Urban Designers • LEED®  
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 CONSULTANT



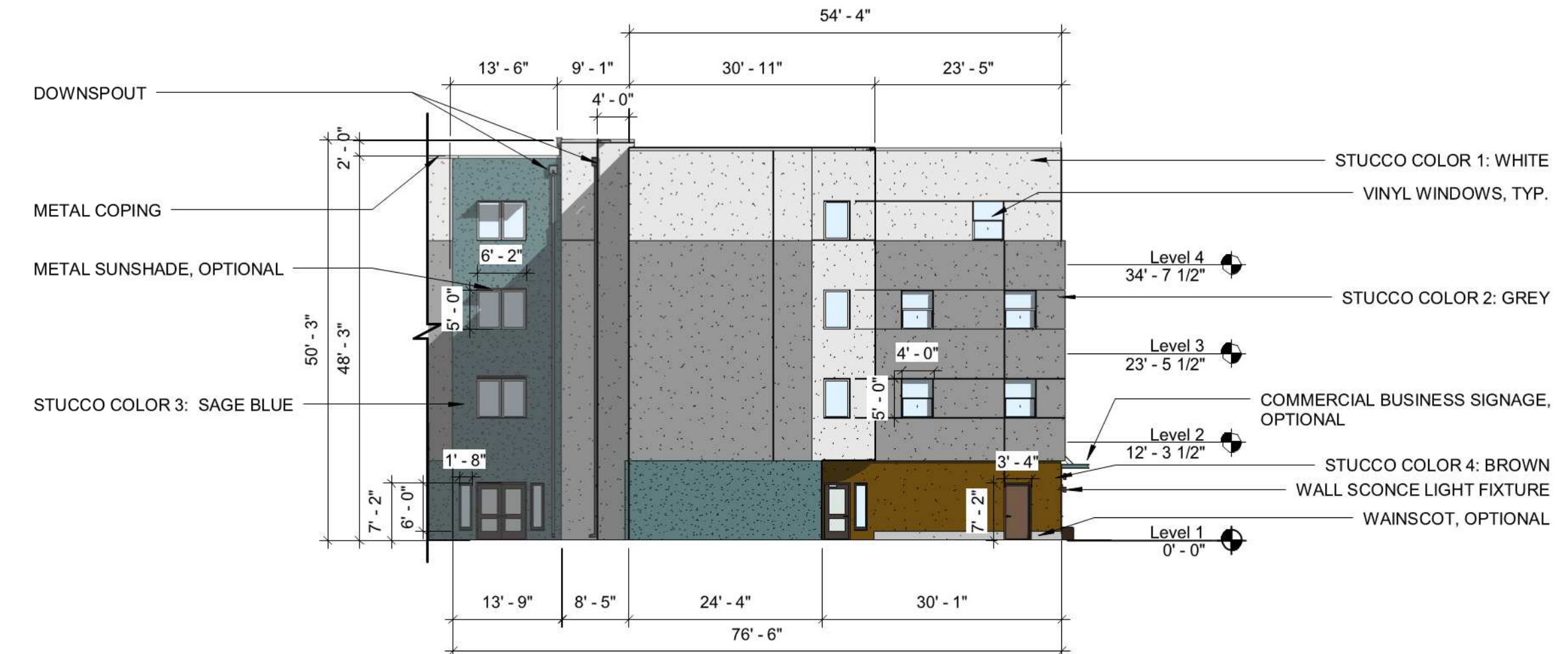
**D1 WEST ELEVATION - NORTH END**  
 1/16" = 1'-0"



**D3 WEST ELEVATION**  
 1/16" = 1'-0"



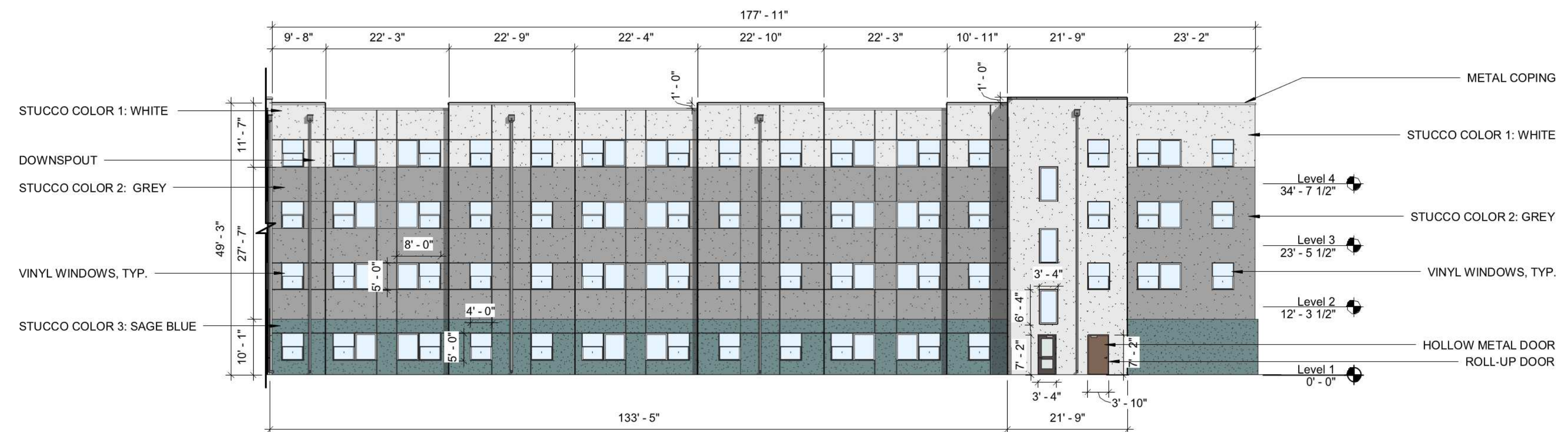
**C1 EAST ELEVATION**  
 1/16" = 1'-0"



**C4 EAST ELEVATION - NORTH END**  
 1/16" = 1'-0"



**B1 SOUTH ELEVATION - WEST END**  
 1/16" = 1'-0"



**B3 SOUTH ELEVATION**  
 1/16" = 1'-0"



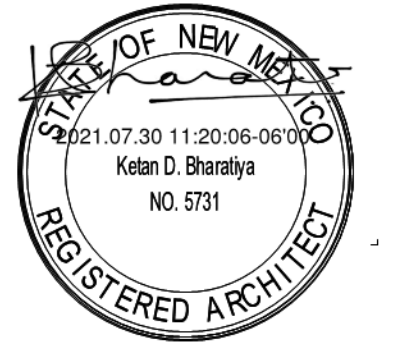
**A1 NORTH ELEVATIONS**  
 1/16" = 1'-0"



**GENERAL SHEET NOTES**

- A. WINDOWS WILL BE RECESSED NOT LESS THAN 2 INCHES TO COMPLY WITH INTERGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 5-11(D)(3).
- B. EACH FLOOR OF EVERY FACADE THAT FACES A PUBLIC STREET WILL CONTAIN A MINIMUM OF 20 PERCENT OF THE FACADE IN TRANSPARENT WINDOWS AND/OR DOORS TO COMPLY WITH INTERGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 5-11(D)(2).
- C. VARIANCES OF 20% TO THE REQUIRED 60% GROUND FLOOR TRANSPARENT WINDOWS AND/OR DOORS IN IDO SECTIONS 3-4(I)(5)(B)1, B AND 3-4(I)(5)(B)4.C WERE APPROVED BY THE ZONING HEARING EXAMINER FOR THIS PROJECT (PR-2021-005535).
- D. VARIANCES OF 20% TO THE REQUIRED 40% SECOND FLOOR AND HIGHER TRANSPARENT WINDOWS AND/OR DOORS IN IDO SECTION 3-4(I)(5)(B)5.A WERE APPROVED BY THE ZONING HEARING EXAMINER FOR THIS PROJECT (PR-2021-005535).
- E. VARIANCES OF 6 INCHES TO THE MAXIMUM 30-INCH SILL HEIGHT IN IDO SECTIONS 3-4(I)(5)(B)4.C AND 3-4(I)(5)(B)5.C WERE APPROVED BY THE ZONING HEARING EXAMINER FOR THIS PROJECT (PR-2021-005535).

STAMP



**DRB SUBMITTAL**  
 PROJECT NAME  
**H I L A N D P L A Z A**

5000 CENTRAL AVENUE SE,  
 ALBUQUERQUE, NM, 87106

**HILAND PLAZA**  
 APARTMENTS LIMITED  
 PARTNERSHIP LLLP

REVISIONS

NO.	DATE	DESCRIPTION

Copyright: Design Group  
 Drawn by: RHJJJ  
 Checked by: VM  
 Date: JULY 30, 2021  
 Project number: 2574

SHEET TITLE

**BUILDING ELEVATIONS**  
 SHEET NUMBER

**201.1**



**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Hiland Plaza**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**LOTS NUMBERED ONE (1) THROUGH TWENTY-TWO (22), INCLUSIVE, IN BLOCK NUMBERED THIRTY-FOUR (34) OF THE VALLEY VIEW ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DELINEATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 2, 1911**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
DRC #	DRC #								
<input type="text"/>	<input type="text"/>	8"	Waterline	Silver Avenue SE	Jackson Street SE	East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer	Silver Avenue SE	Jackson Street SE	East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	5'	Sidewalk	Silver Avenue SE	Jackson Street SE	East Property Line	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>	6'	Sidewalk	Jackson Street	Silver Avenue SE	Central Avenue SE	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>	10'	Sidewalk	Central Avenue SE	Jackson Street SE	East Property Line	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

**AGENT / OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

**David Aube**  
NAME (print)

**The H+M Design Group**  
FIRM

**David Aube**

SIGNATURE - date

Digitally signed by David Aube  
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O="The Hartman + Majors Design Group",  
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Date: 2021.07.16 11:18:45-0600



\_\_\_\_\_ DRB CHAIR - date

\_\_\_\_\_ PARKS & RECREATION - date

\_\_\_\_\_ TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_ AMAFCA - date

\_\_\_\_\_ UTILITY DEVELOPMENT - date

\_\_\_\_\_ CODE ENFORCEMENT - date

\_\_\_\_\_ CITY ENGINEER - date

\_\_\_\_\_ - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER