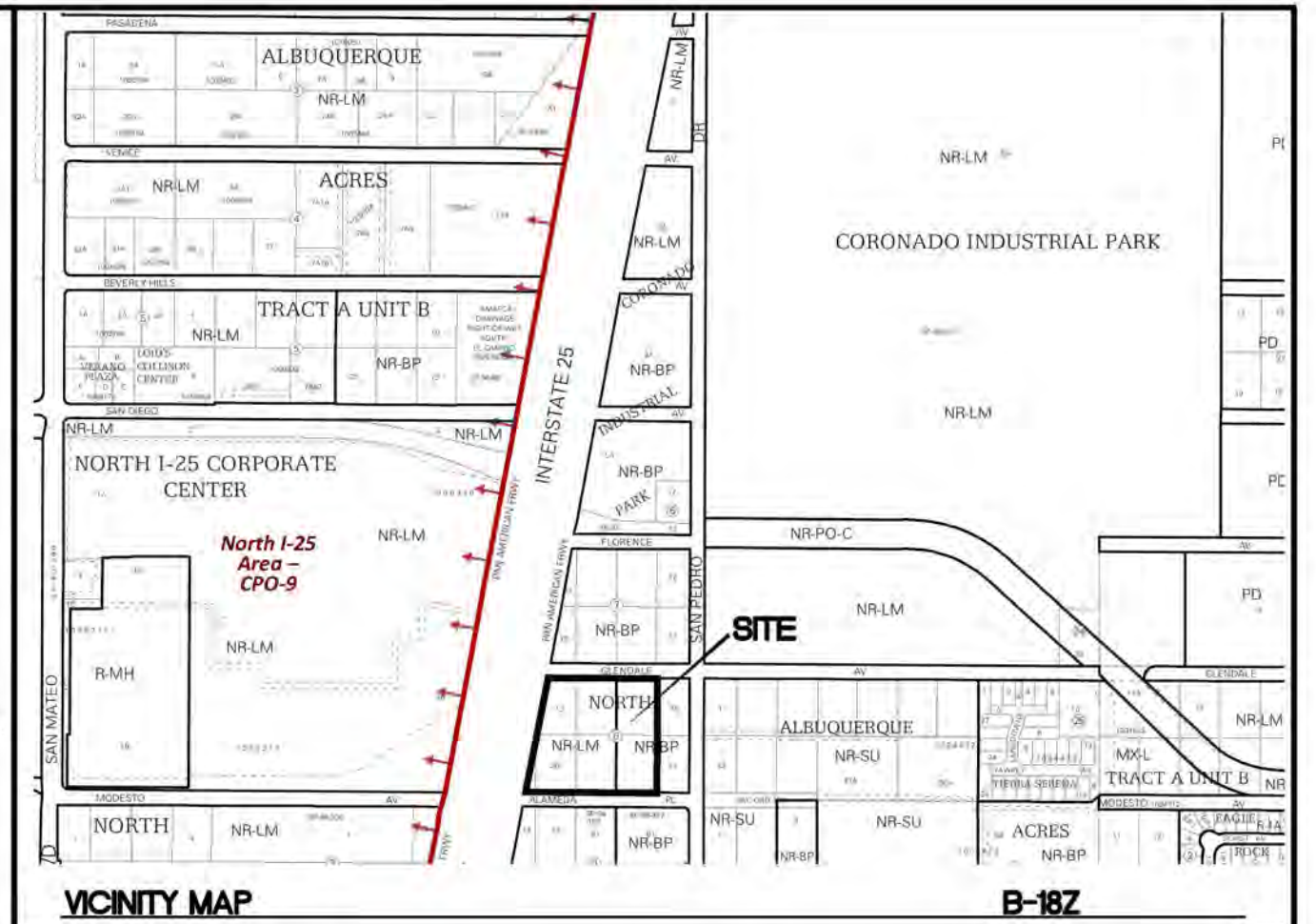


NOTE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 5' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

STREET IMPROVEMENTS IN CITY ROW TO BE COMPLETED UNDER CITY WORK ORDER

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▬ BUILDING
- ▬ SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- MC MOTORCYCLE SPACE W/SIGN SEE SHEET 6 FOR SIGN DETAIL
- ▬ NEW ASPHALT PAVING
- - - SAWCUT LINE



LEGAL DESCRIPTION
PORTION OF LOT NUMBERED 13 LESS PART TO R/W; ALL OF LOTS 14, 15, 18, 19 AND PORTIONS OF LOTS 20 AND 21 BLOCK 8 OF TRACT "A", UNIT "B"008 NORTH ALBUQ ACRES

NOTES
UPC 101806520803930209 UPC 101806522303930208 UPC 101806524003930207
UPC 101806519701030201 UPC 101806520701630202
UPC 101806522401630203 UPC 101806523901630204

SITE DATA

AUTONATION USA
ALBUQUERQUE
9100 PAN AMERICAN FREEWAY

PROPOSED USAGE: Commercial Services
ZONE: NR-LM
LIGHT MANUFACTURING
LOT AREA: 230263 SF (5.29 ACRES)
ADDRESS: 9100 PAN AMERICAN WAY
ALBUQUERQUE, NM 87107
FRONT PER PLAN
REAR PER PLAN
SIDE PER PLAN

SETBACKS

BUILDING AREA: BUILDING : 18645 SF

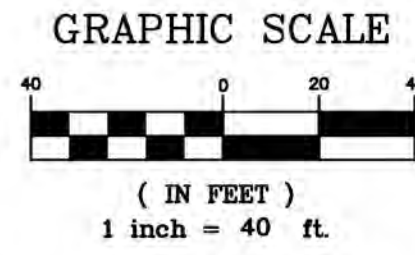
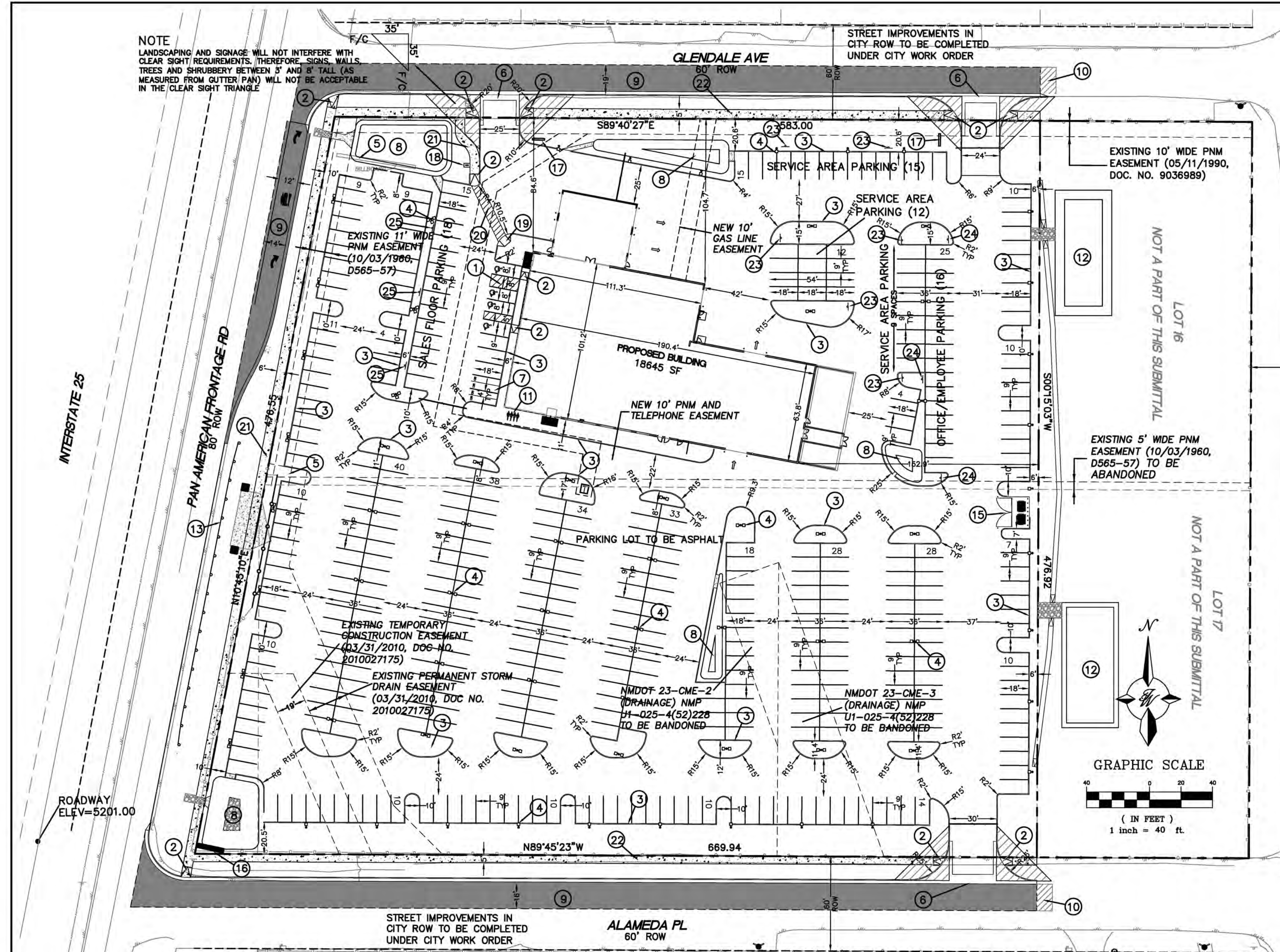
HC PARKING REQUIRED: 4 SPACES
HC PARKING PROVIDED: 4 SPACES (1 VAN ACCESSIBLE)

MC PARKING REQUIRED: 4 SPACES
MC PARKING PROVIDED: 4 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

LANDSCAPE AREA REQUIRED: 31635 SF
LANDSCAPE AREA PROVIDED: 59027SF

INTERIOR PARKING LOT
LANDSCAPE REQUIRED 22763 SF (15% OF PARKING AREA)
LANDSCAPE PROVIDED 24814 SF (16.3% OF PARKING AREA)



NOTICE TO CONTRACTORS

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- 1/2" @ ALL EXIT DOORS
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KEYED NOTES

- ACCESSIBLE PARKING W/SIGN PER ADA STANDARDS (1.0% MIN - 2.0% MAX SLOPE) SEE SHEET DET-1
- UNIDIRECTIONAL ACCESSIBLE RAMP
- 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- PARKING LOT LIGHT STANDARD (TYP) FULL CUTOFF LED'S, 25' HIGH
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- NOT USED
- DUMPSTER W/RECYCLING
- PYLON SIGN BASE ELEV=5204.00, TOP ELEV=5227.00
- MONUMENT SIGN
- DIRECTIONAL SIGN
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- SERVICE AREA PARKING SIGN
- EMPLOYEE PARKING SIGN
- SALES FLOOR PARKING SIGN

PARKING ANALYSIS:

REQUIRED:	REQUIRED:	PROVIDED:
SALES FLOOR AREA Section 112-4 Note 12 1 Space per 500 sf	7,237 sf 15 Spaces	18
OFFICE AREA Section 112-4 Note 2 3 Spaces per first 500 sf 1 Space per 200sf additional [8452 sf] Total	2,952 sf 3 Spaces 8 Spaces 11 Spaces	16
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TOTAL SPACES REQUIRED CARS	61 Spaces	70
Required minimum number of ACCESSIBLE PARKING SPACES based on combined total for customers and employees.	3 Required	4
NOTE: ALL REMAINING PARKING IS FOR VEHICLE INVENTORY STORAGE.		365

PROJECT NUMBER: PR-2021-005411
APPLICATION NUMBER: SI-2021-00760

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Joanne Wolfenbarger</i> Traffic Engineer, Transportation Division	Jul 21, 2021
<i>Blaine Carter</i> Water Utility Development	Date
<i>Christina Sargowal</i> Parks & Recreation Department	Jul 21, 2021
<i>Ernest Armijo</i> City Engineer	Jul 21, 2021
N/A	Date
* Environmental Health Department (conditional)	Date
SEE NEXT SHEET	
<i>Water Management</i> Solid Waste Management	Date
<i>Code Enforcement</i>	Jul 21, 2021
<i>DRB Chairperson, Planning Department</i>	Nov 30, 2021
* Environmental Health, if necessary	Date

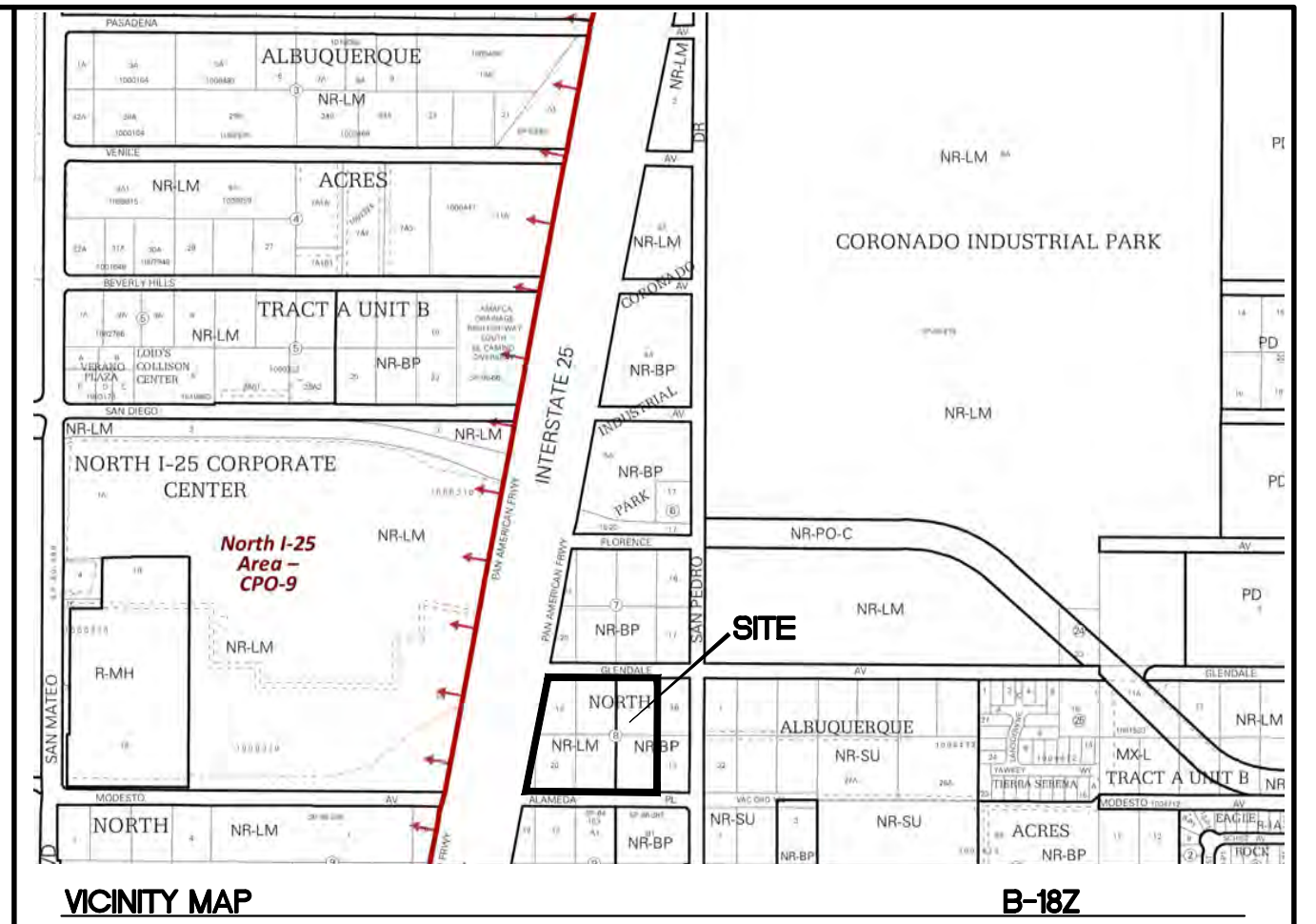
	AUTO NATION ALBUQUERQUE, NM	DRAWN BY pm
	SITE PLAN FOR BUILDING PERMIT	DATE 7-20-21
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2021010-SP
		SHEET # SP-1
		JOB # 2021010

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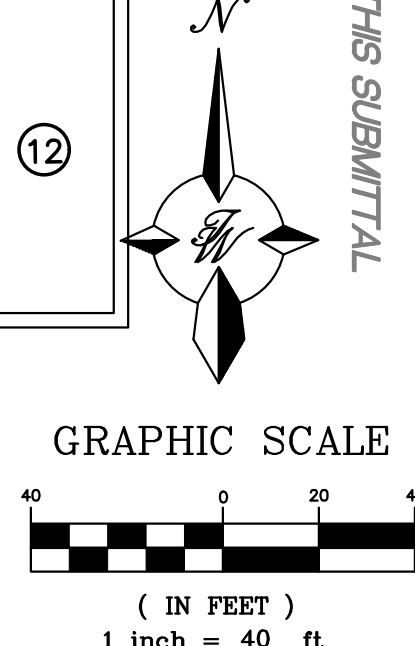
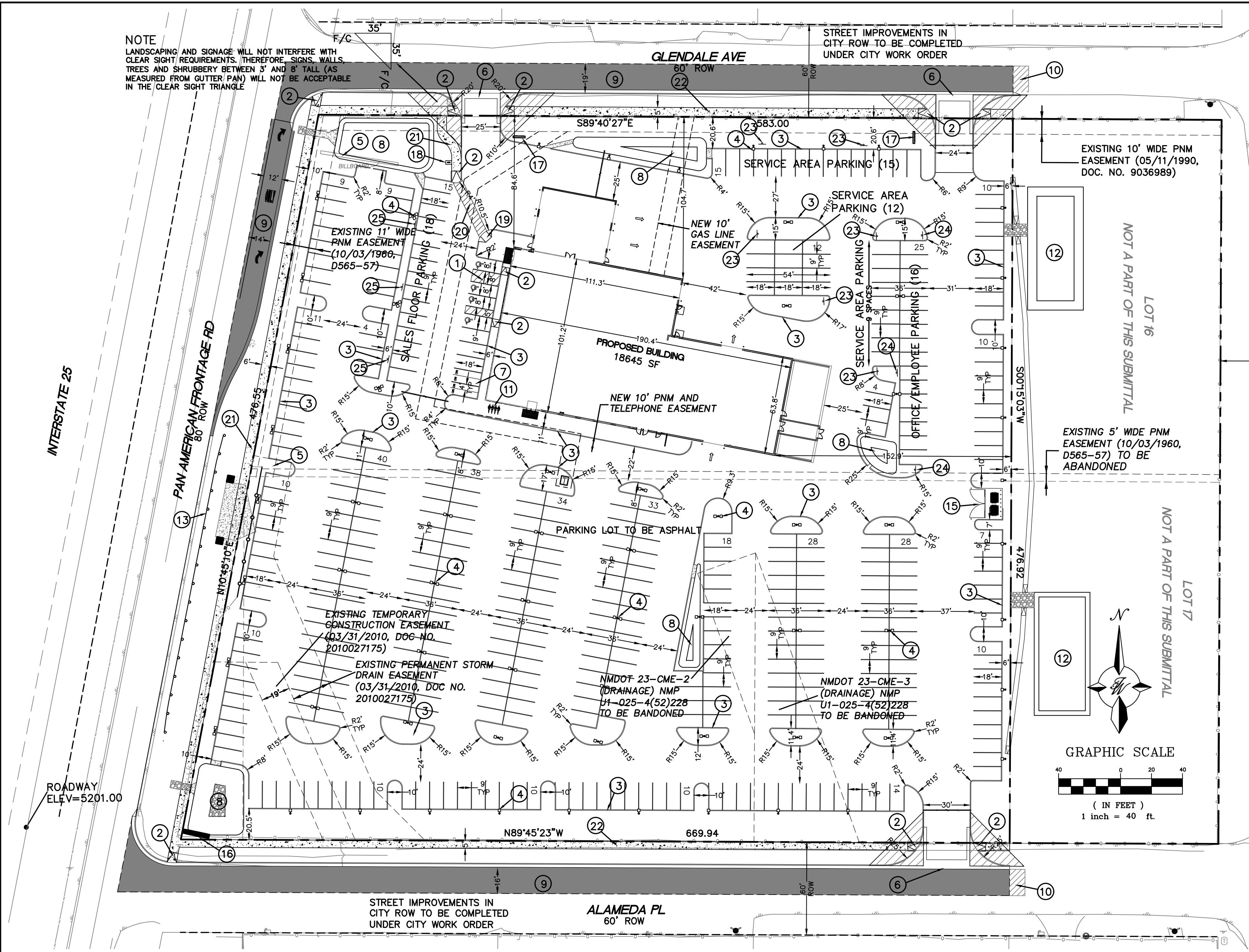
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PARKING ANALYSIS:

REFERENCE CHAPTER 112 OFF-STREET PARKING, SECTION 112-4 MINIMUM REQUIREMENT FOR SPACES.		
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PROJECT NUMBER: PR-2021-005411
APPLICATION NUMBER: SI-2021-00760

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DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional) Herman Gallegos <i>Herman Gallegos</i>	Date 07-15-21
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

	AUTO NATION ALBUQUERQUE, NM	DRAWN BY pm
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Street Trees Required 11 Provided 11

PAN AMERICAN FRONTAGE RD.

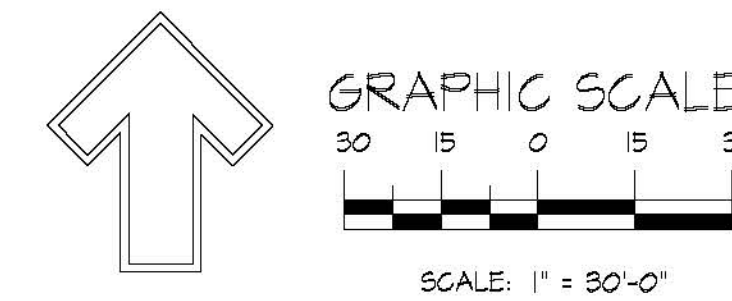
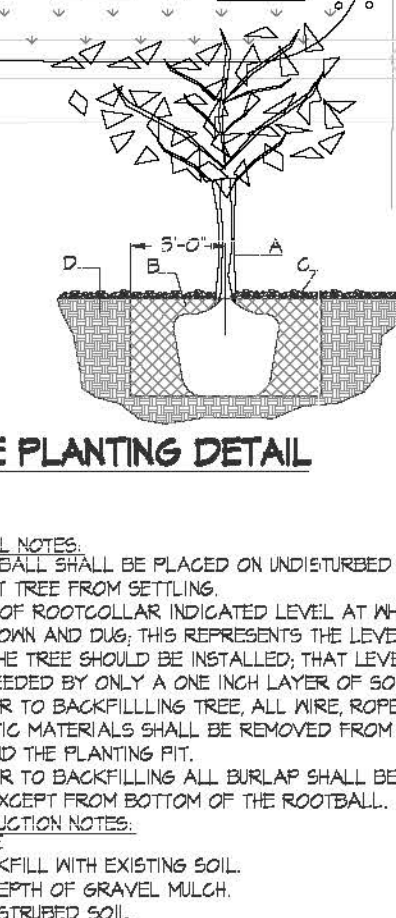
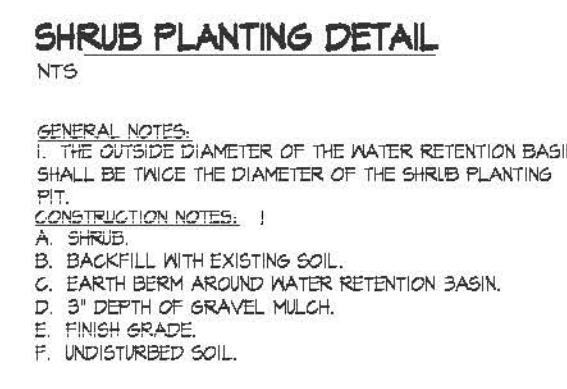
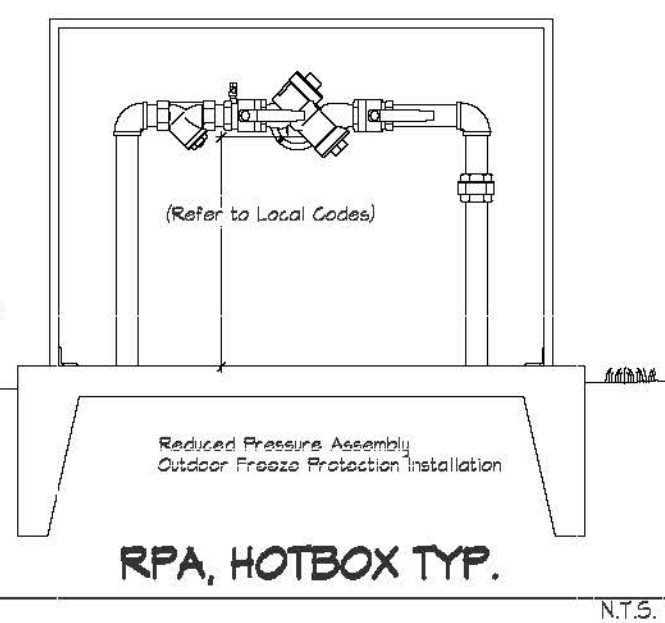
LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.
Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2" SP4 Drip Emitters. Drip and Bubble systems to be tied to 1/2" poly pipe with Flush caps at each end.
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.
Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.
Water and Power source shall be the responsibility of the Developer/Builder.

Pond Notes:
Ponds are identified on the landscape plan. The bottom and sides shall be seeded with a native seed mix per City Standard specification (O12.2.2.4, Wildflower and Native-Grass Seed).
For pond bottoms: Gravel 3/4" - 1", one layer thick, with stretch irrigation system for germination.
Reference Section (O12.3.1.6 Aggregate Mulch for addition of aggregate mulch and installation guide).
Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water truck must be used during dry weather. Seeds shall germinate in 1 year, or reseeding will be required.

Maintenance of ponding areas shall be per the City of Albuquerque, Specification (O12.3.9.1) and (O12.3.9.2).
Contractor shall seed the basin during/after the first growing season.
Seeding will require inspection by the City. Reference Standard specification (O12.3.11). If determined that insufficient germination has occurred, the CONTRACTOR shall reseed the areas with no additional cost to the OWNER.



GLENDALE AVE. NE

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	23091.8
TOTAL BUILDING AREA (sf)	-14920
TOTAL LOT AREA (sf)	21089.8
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	3163.5
TOTAL ON-SITE LANDSCAPE PROVIDED	54021
TOTAL LIVE GROUNDCOVER REQUIRED	42096
TOTAL LIVE GROUNDCOVER PROVIDED	114973

LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
17	2' cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45 2025 34425 M
30	2' cal	Frontier Elm <i>Ulmus carpinifoliaoxparvifolia 'Frontier'</i>	35x25 625 18750 M
18	2' cal	Raywood Ash <i>Fraxinus angustifolia oxycarpa</i>	35x25 625 11250 M
5	6-8'	Austrian Pine <i>Pinus nigra</i>	35x25 625 3125 M
22	15 gal	Mexican Redbud <i>Cercis mexicana</i>	15x12 144 3168 M
23	2'	Zelkova <i>Zelkova serrata 'Green Vase'</i>	50x30 400 20100 M
30 Total Trees Total Tree Coverage 41416			
Shrubs & Groundcovers			
84	5 gal	India Hawthorn <i>Raphiolepis indica</i>	3x5 25 2100 M
51	5 gal	Red Yucca <i>Hesperaloe parviflora</i>	3x6 36 1836 L
80	5 gal	Beargrass <i>Nolina texana</i>	3x3 9 120 L
28	5 gal	Lechugilla <i>Agave lechuguilla</i>	1x5 25 700 L
4	5 gal	Butterfly Bush <i>Buddleia davidii</i>	5x1 49 196 M
56	5 gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12 144 8064 M
40	5 gal	Cherry Sage <i>Salvia greggii</i>	2x3 9 360 M
53	5 gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 477 M
7	5 gal	Apache Plume <i>Foliolia paradoxa</i>	6x1 49 343 L
11	5 gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x1 49 534 L
16	5 gal	Spanish Broom <i>Caryopteris x clandonensis</i>	10x10 100 1600 M
6	5 gal	Curl-leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15x15 225 1850 M
23	5 gal	Rose of Sharon <i>Hibiscus syriacus</i>	10x10 100 2300 M
29	5 gal	Gro La Sumas <i>Rhus aromatica</i>	3x7 49 1421 M
10	5 gal	Knock Out Roses <i>Rosa sp.</i>	2x4 16 160 L
20	5 gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	2.5x2 4 80 M
101	5 gal	Dwarf Fountain Grass <i>Pennisetum alopecuroides 'Hamelin'</i>	4 404 M
Total Shrub Coverage 23155			
52783		Landscape Gravel / Filter Fabric Brown Gravel, 3/4"-1"	
1248		Oversize Cobble 2-4" Fractured, On all slopes exceeding 3:1	
64425		Native Revegetative Seed Mix Seed per City of Albuquerque, Standard Specification for native seed, East Side Mix	
4996		Pond, Sides and Bottom, See Pond Notes. Seed per City of Albuquerque, Standard Specification for native seed, East Side Mix	
Landscape Area Square Footage			

REVISIONS

Date	Comment
June 23, 2021	PHS Comments

Designed By: D. Mitchell
 Drawn By: J.M.
 Approved By: [Signature]
 Date: [Signature]

NEW MEXICO ONE CALL
 STATEWIDE 811 OR
 1-800-521-ALERT (2537)
 www.nmonecall.org
 Call two working days before you dig.

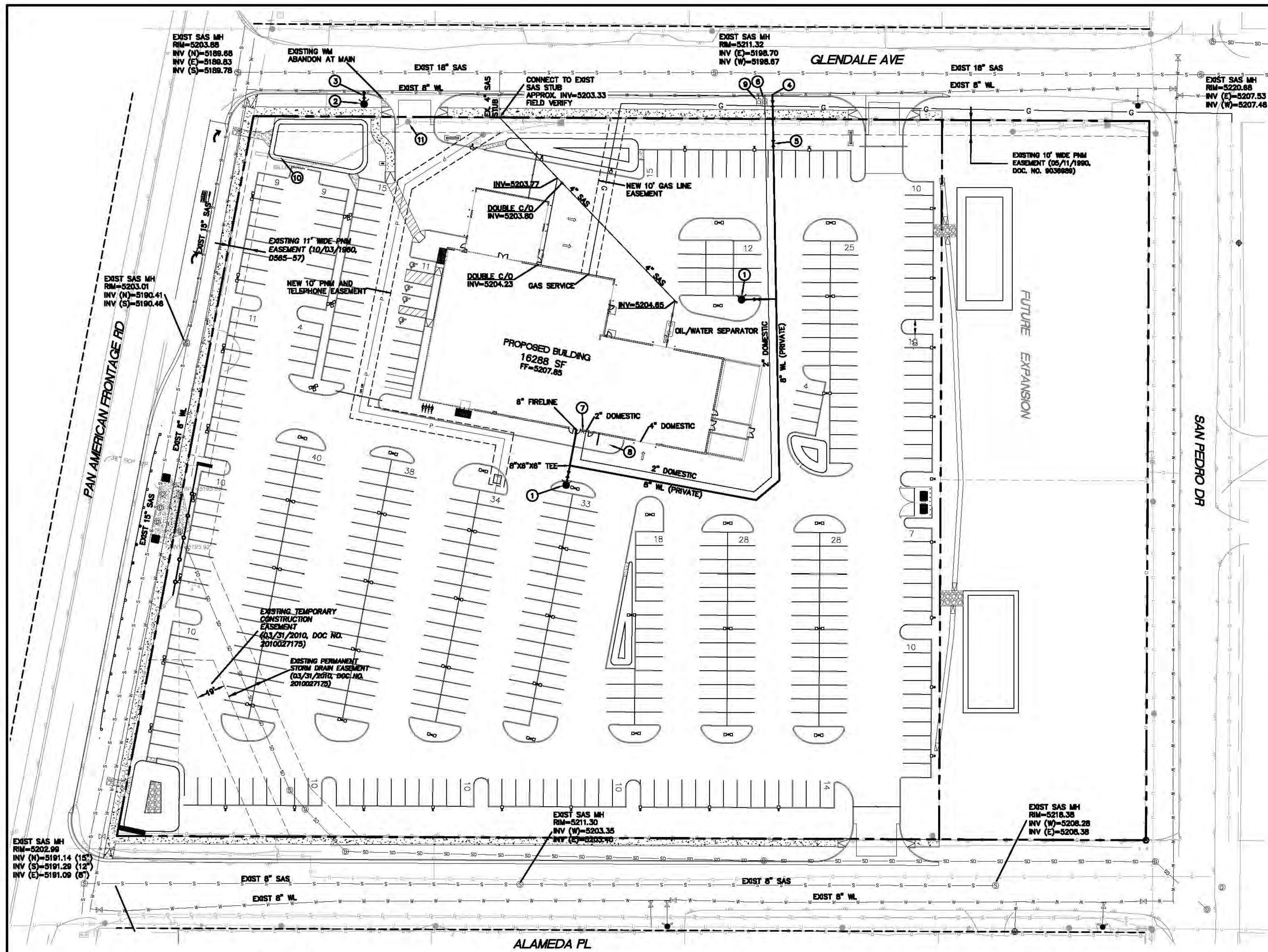
File ID:

Auto Nation
Albuquerque, NM

Mitchell Associates, LLC
 Danny Mitchell
 Landscape Architect
 danny@mitchellassociatesllc.com
 505.639.9563

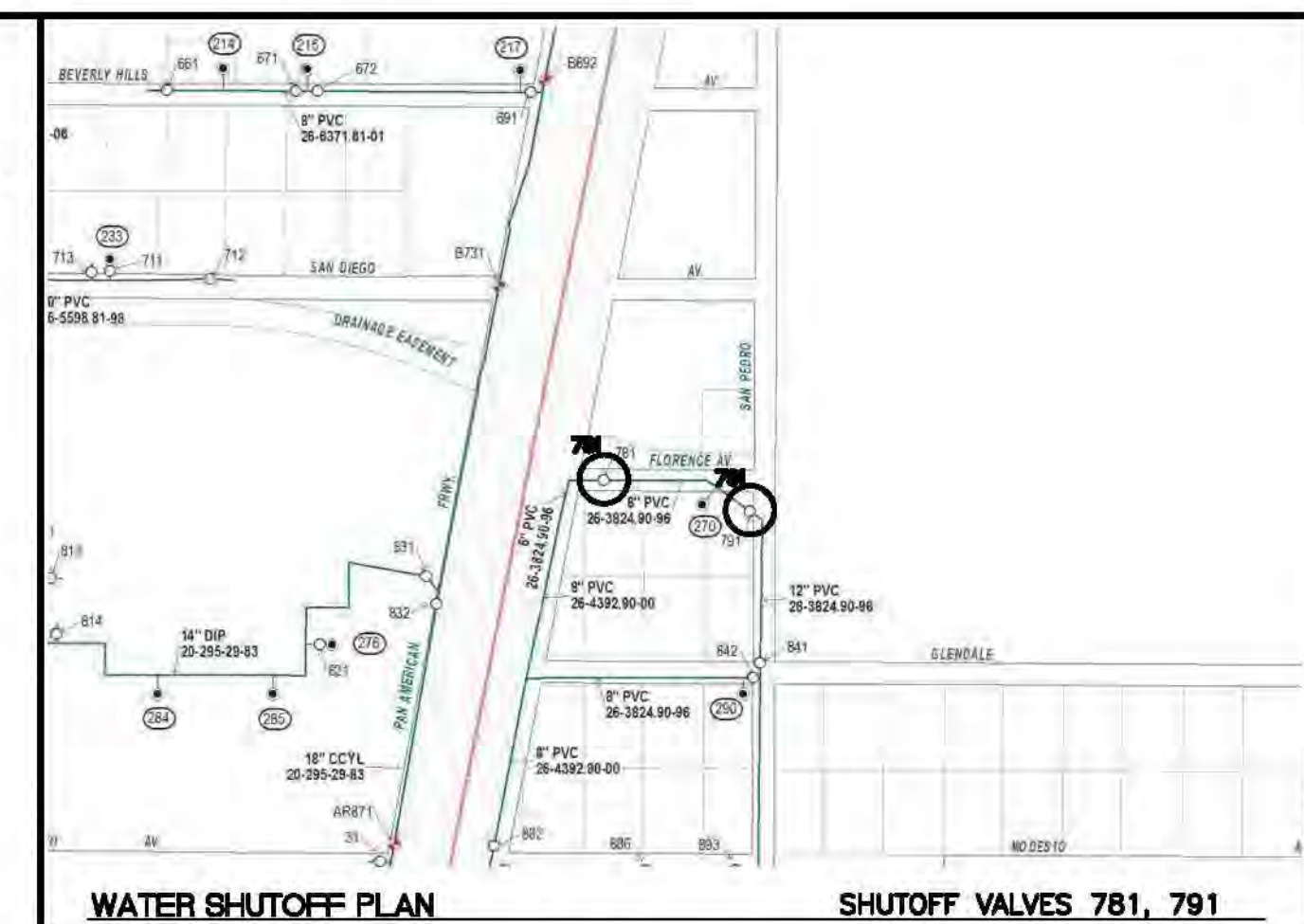
Seal:
 Landscape Architect
 STATE OF NEW MEXICO
 DANNY D. MITCHELL
 2389
 LANDSCAPE ARCHITECT
 June 23, 2021

DRAWING NO:
LS-101



LEGEND

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- 6" SAS
- 8" WL
- ⊙ DOUBLE CLEAN OUT
- ⊙ PROPOSED HYDRANT
- PROPOSED POWER LINE
- PROPOSED TELEPHONE LINE
- PROPOSED GAS LINE



THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/full/463/729/).

GENERAL UTILITY NOTES

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

KEYED NOTES

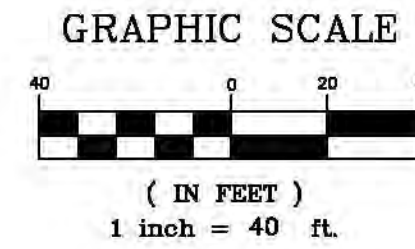
- 1 NEW PRIVATE FIRE HYDRANT PER COA STD DWG 2340
- 2 NEW PUBLIC FIRE HYDRANT PER COA STD DWG 2340
- 3 6" GATE VALVE (PUBLIC) PER COA STD DWG 2326
N=____ E=____
- 4 8"X8"X8" TEE
8" GATE VALVE (PUBLIC) PER COA STD DWG 2326
N=____ E=____
- 5 PIV
- 6 2" WATER METER AND BOX PER CO STD DWG 2301, 2361, 2363, 2367
- 7 FDC
- 8 TRANSFORMER
- 9 1" LANDSCAPE METER
- 10 BILLBOARD TO BE REMOVED
- 11 EXISTING POWER POLE TO BE REMOVED

INSPECTION NOTE

CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	AUTO NATION ALBUQUERQUE, NM	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 6-22-21
6-22-21 RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2021010-SP
		SHEET # MU-1
		JOB # 2021010

GLAZING LEGEND:	
[GL-1]	1" Insulated with Low-E SolarBan 90 Acuity + Acuity Visible Light Transmittance 53% U-Value Summer 0.29 Winter 0.24 SHGC 0.23
[GL-2]	1" Insulated with Low-E SolarBan 90 Acuity + Acuity Tempered Visible Light Transmittance 53% U-Value Summer 0.29 Winter 0.24 SHGC 0.23
[GL-3]	1/4" Clear
[GL-4]	1/4" Clear - Tempered
[GL-5]	3/8" Clear - Tempered

NOTES - WIND & IMPACT RESISTANCE

1609.1.2 PROTECTION OF OPENINGS.
 IN WIND-BORNE DEBRIS REGIONS, GLAZING IN BUILDINGS SHALL BE IMPACT RESISTANT OR PROTECTED WITH AN IMPACT-RESISTANT COVERING MEETING THE REQUIREMENTS OF AN APPROVED IMPACT-RESISTANT STANDARD OR ASTM E 1996 AND ASTM E 1886 REFERENCED HEREIN AS FOLLOWS:

- GLAZED OPENINGS LOCATED WITHIN 30 FEET (9144 MM) OF GRADE SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996.
- GLAZED OPENINGS LOCATED MORE THAN 30 FEET (9144 MM) ABOVE GRADE SHALL MEET THE PROVISIONS OF THE SMALL MISSILE TEST OF ASTM E 1996.

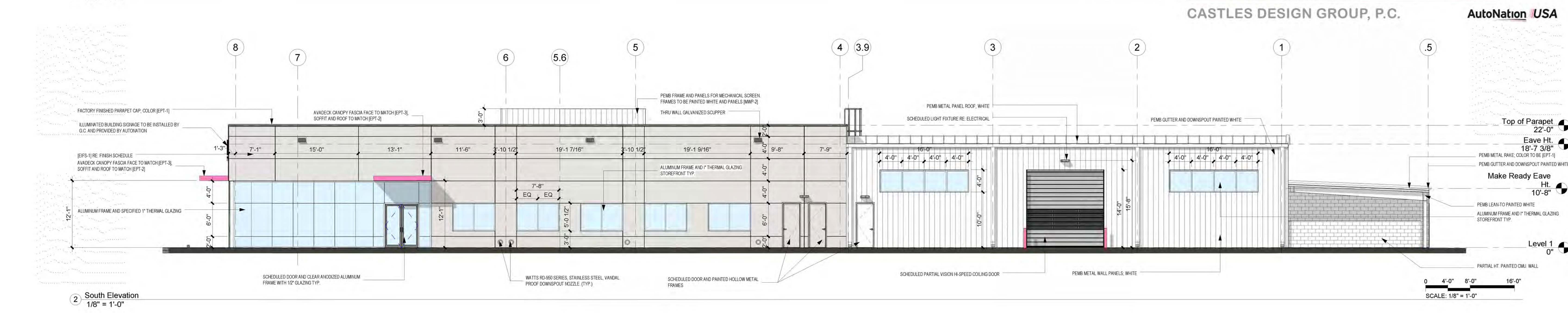
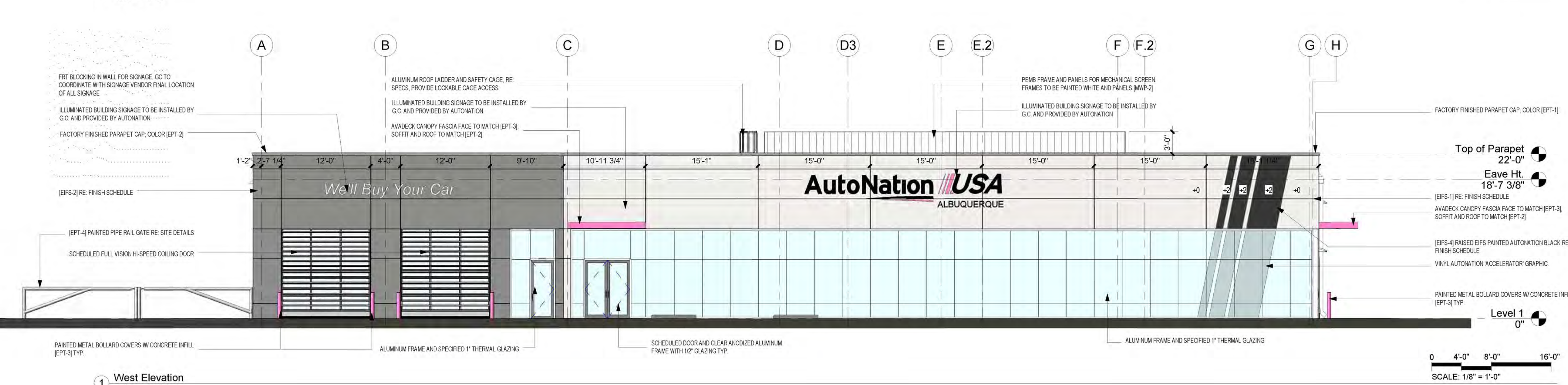
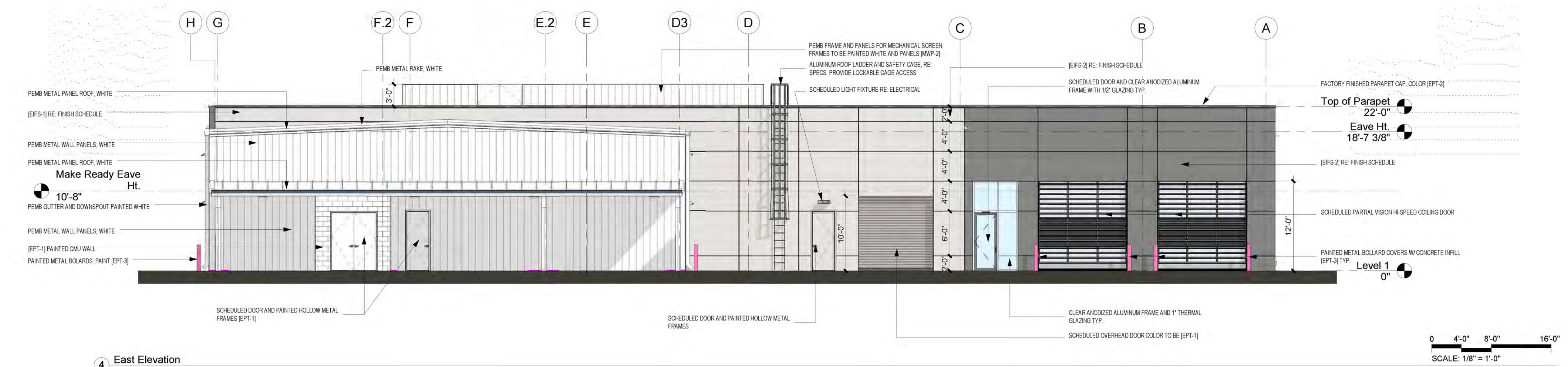
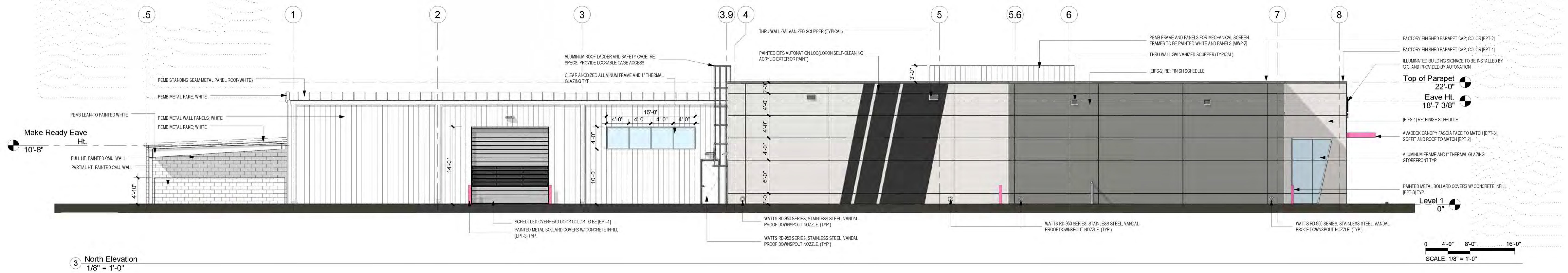
Revisions		
Revision Schedule		
Revision Number	Revision Description	Revision Date

THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR THE FOLLOWING PROJECT:

**AUTONATION USA
ALBUQUERQUE
9100 PAN AMERICAN FREEWAY**

THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE APPROVAL AND PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS PROHIBITED.

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CASTLES DESIGN GROUP, P.C.**



MATERIALS AND COLORS
AutoNation USA - ALBUQUERQUE, NM
 9100 PAN AMERICAN FREEWAY
EXTERIORS

EPT-1
AUTONATION WHITE
3/4" TYP. CEILING
BRIGHT WHITE
PAINTED CMU

EPT-2
AUTONATION MEDIUM GREY
3/4" TYP. CEILING
LIGHT GREY
PAINTED CMU

EPT-3
AUTONATION PINK
MATCH PAINTWORK (SIC)
PAINTED METAL SURFACE

EPT-4
AUTONATION BLACK
3/4" TYP. CEILING
TRICORAN BLACK
PAINTED CMU

EIFS-1
AUTONATION WHITE
3/4" TYP.

EIFS-2
AUTONATION MEDIUM GREY
3/4" TYP. CEILING
3/4" TYP. CEILING
TRICORAN MEDIUM GREY
OVER ROOF

EIFS-4
AUTONATION BLACK
3/4" TYP. CEILING
TRICORAN BLACK
OVER ROOF

GL-1/ GL-2
1" INSULATED WITH LOW-E SOLARBAN 90
Visible Light Transmittance 53%
U-Value Summer 0.29 Winter 0.24
SHGC 0.23

GL-3
1/4" Clear

GL-4
1/4" Clear - Tempered

GL-5
3/8" Clear - Tempered

MWP-1
MWP-2
METAL PROFILE CLADDING
MANUFACTURED, WIDE
STYLED FINISH 1/2 PANEL
COLOR: POLAR WHITE
(INDICATIVE SEE OR MEASURE)

FULL VISION HI-SPEED COILING DOOR

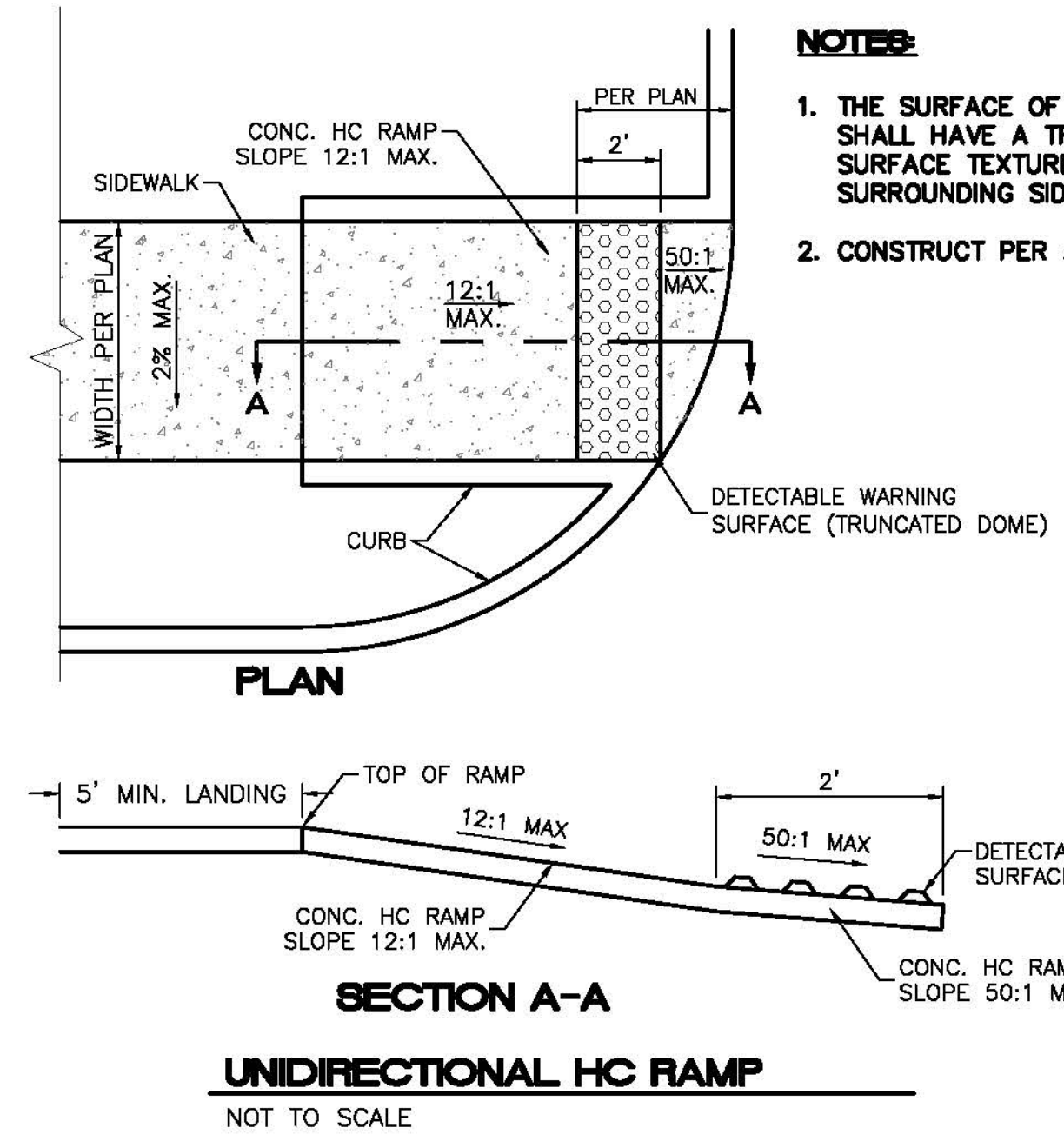
ALUMINUM STORE FRONT

CASTLES DESIGN GROUP, P.C. **AutoNation USA**

**AUTONATION USA
ALBUQUERQUE
9100 PAN AMERICAN FREEWAY**

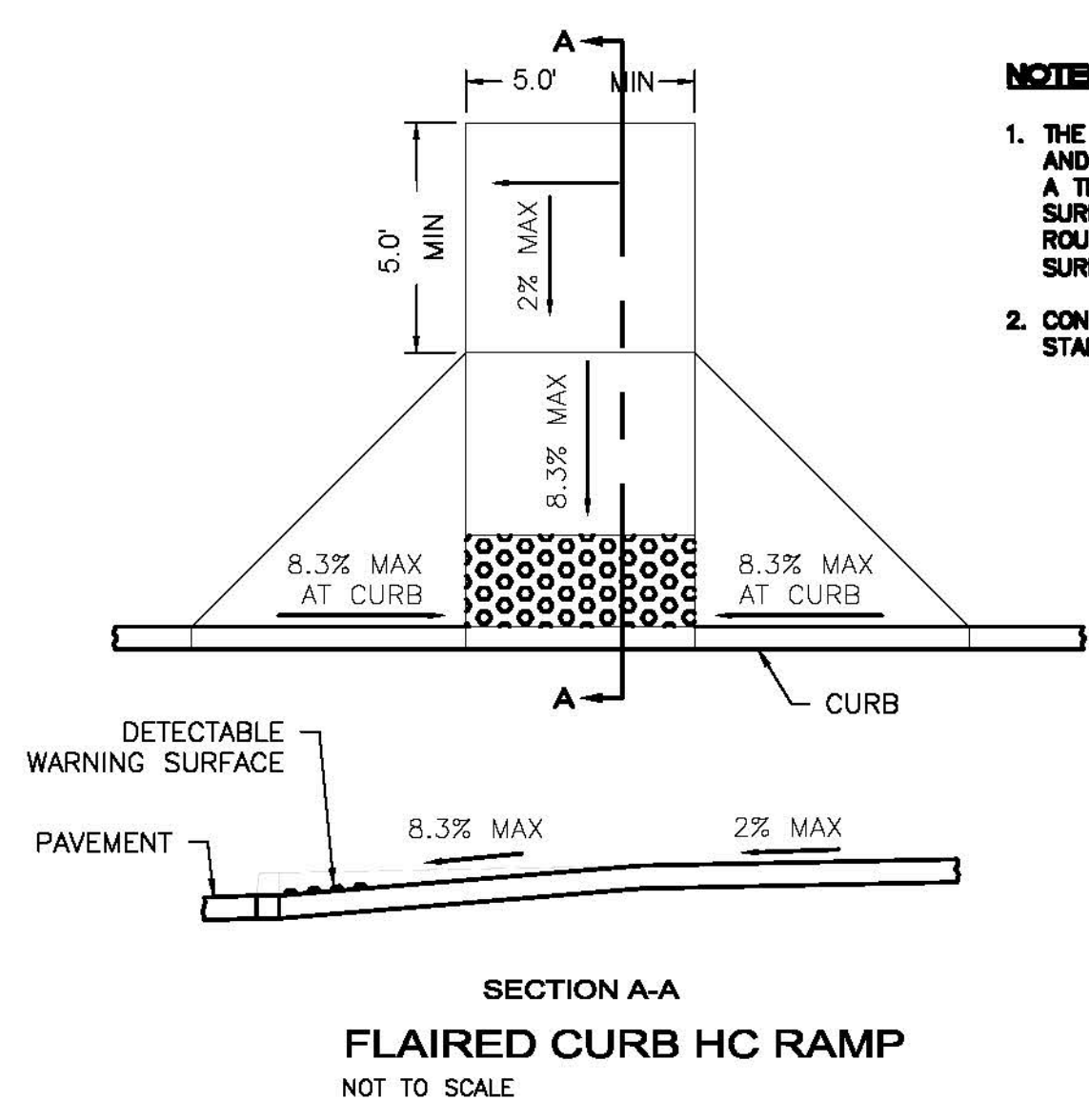
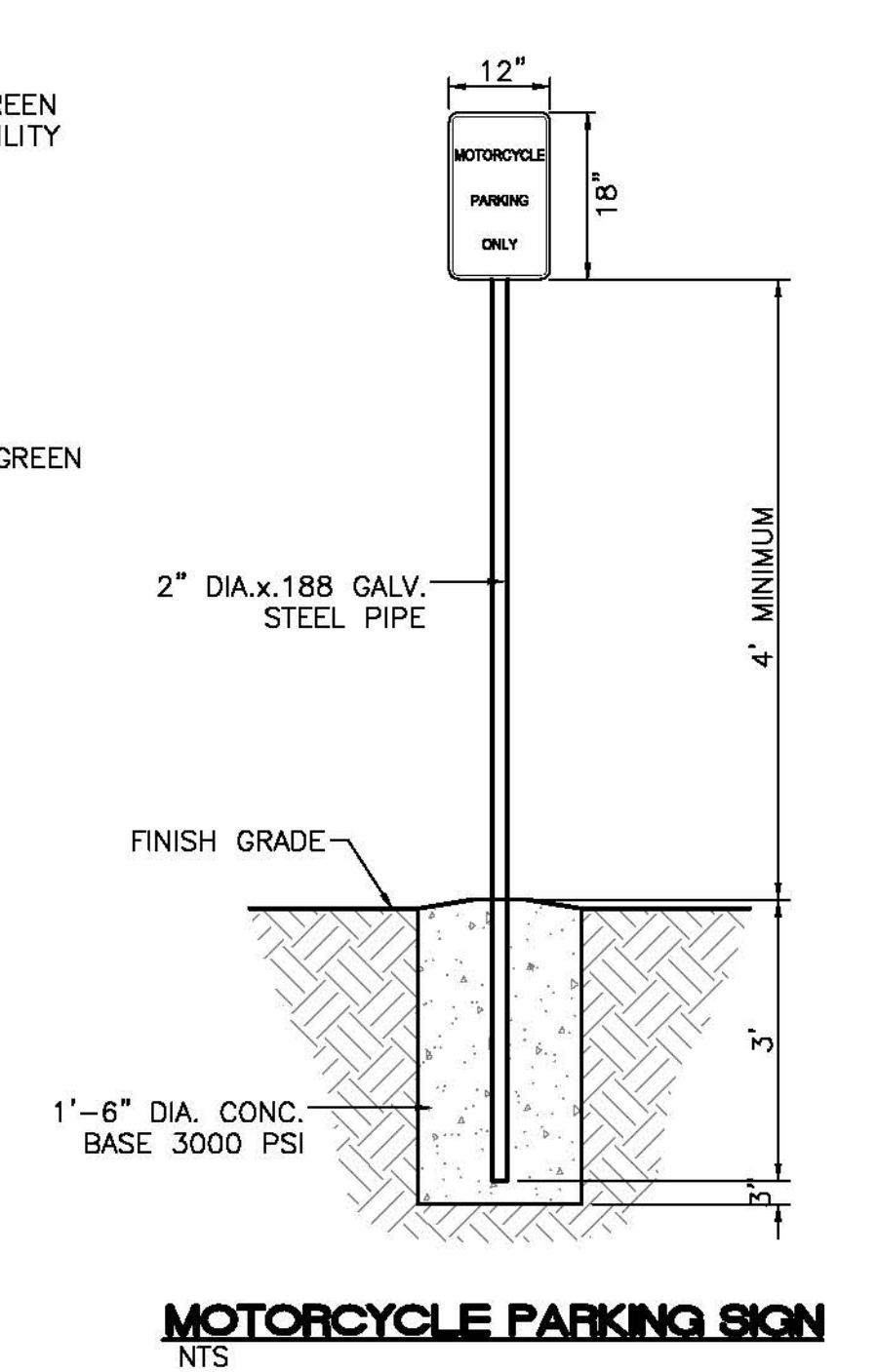
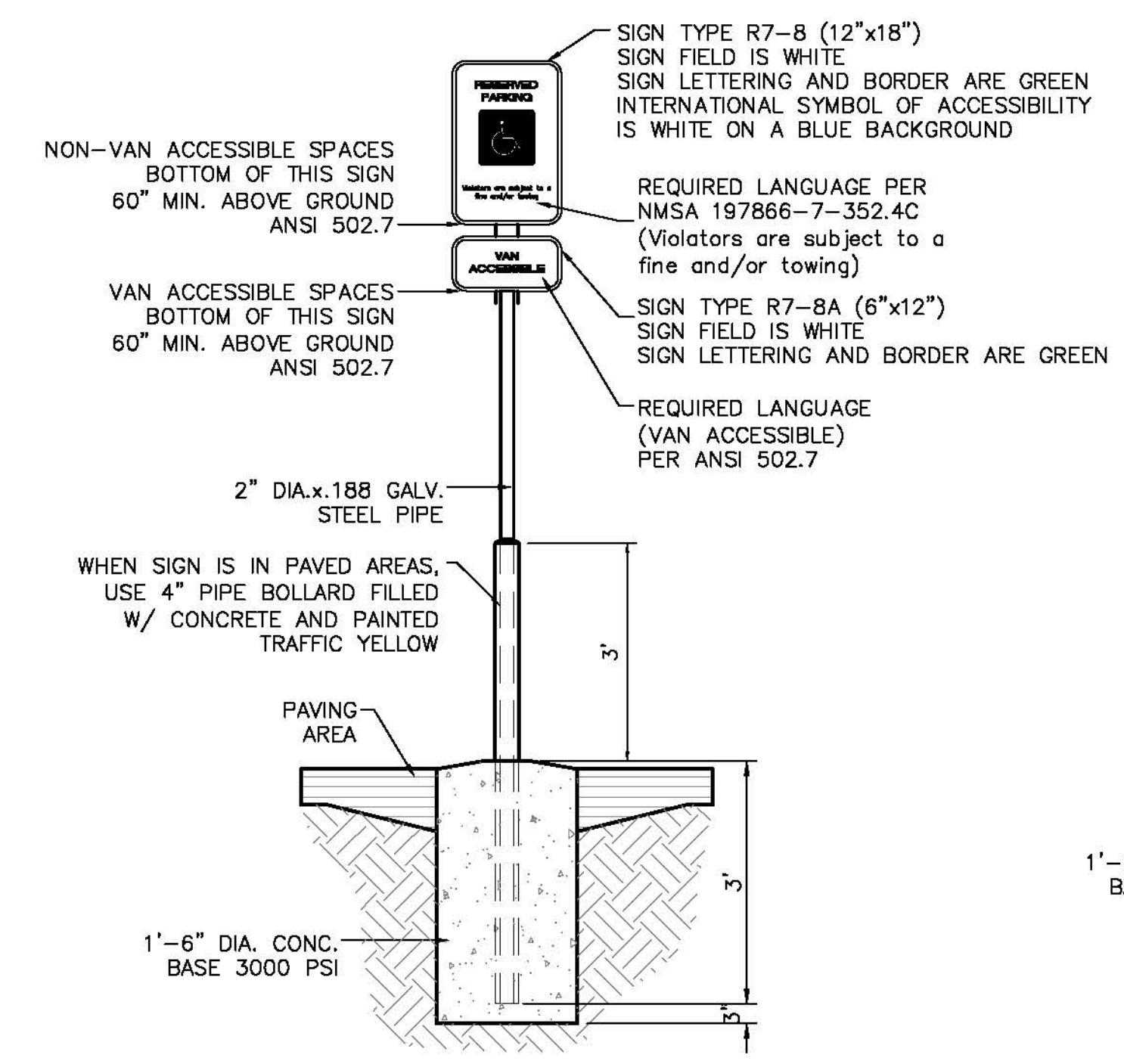
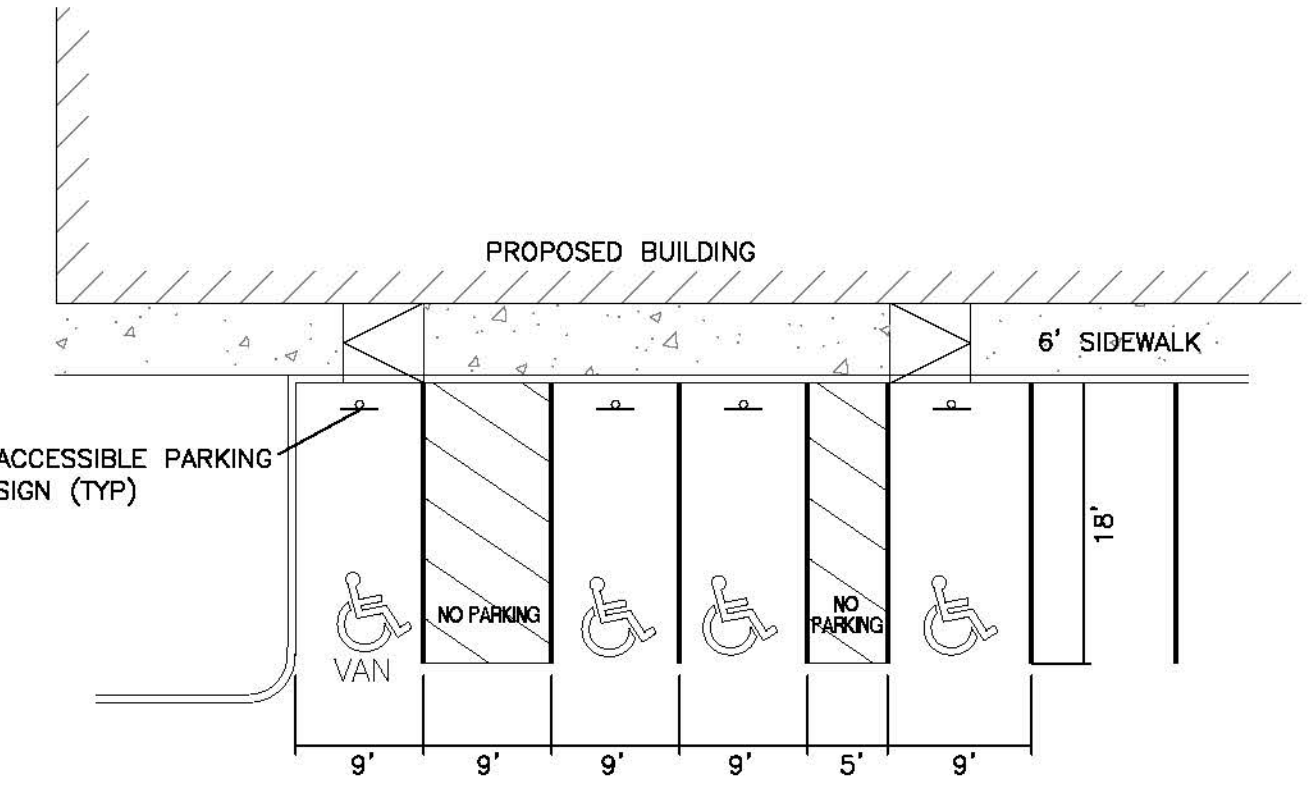
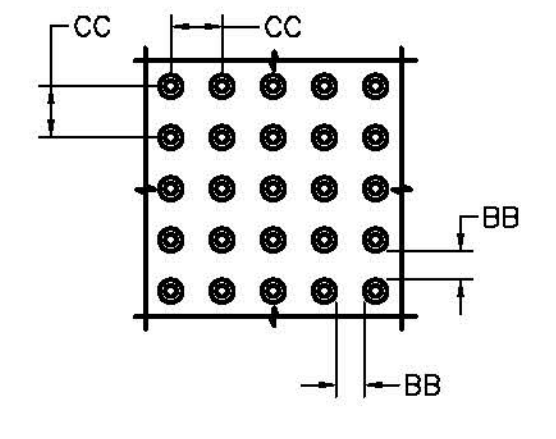
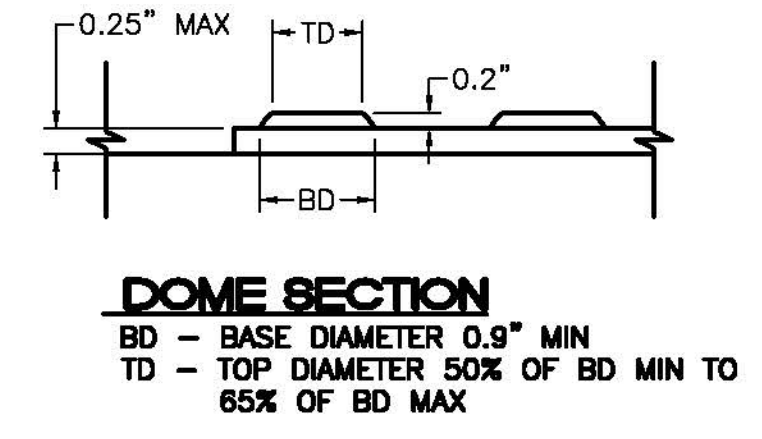
Castles Design Group

A Professional
 Architectural Corporation
 3801 Kirby Dr., Suite 600
 Houston, Texas 77098
 tel: 713 664 7974
 fax: 713 664 9756



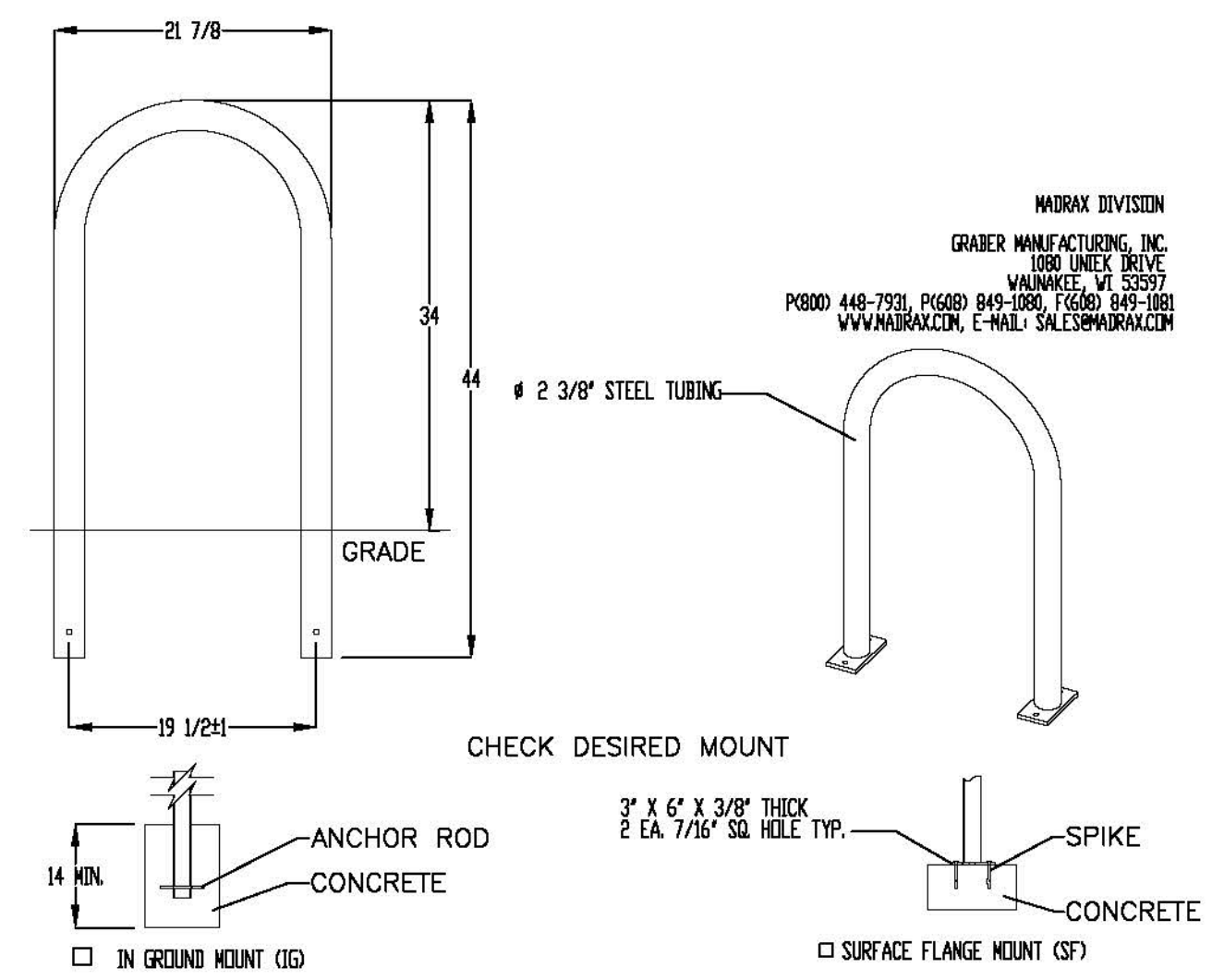
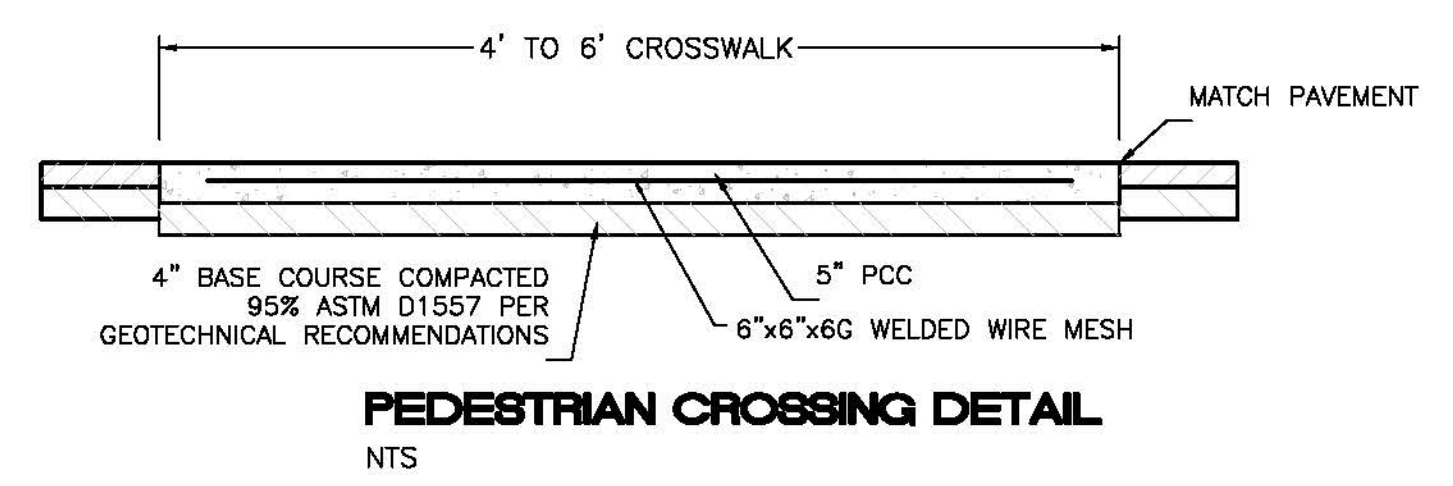
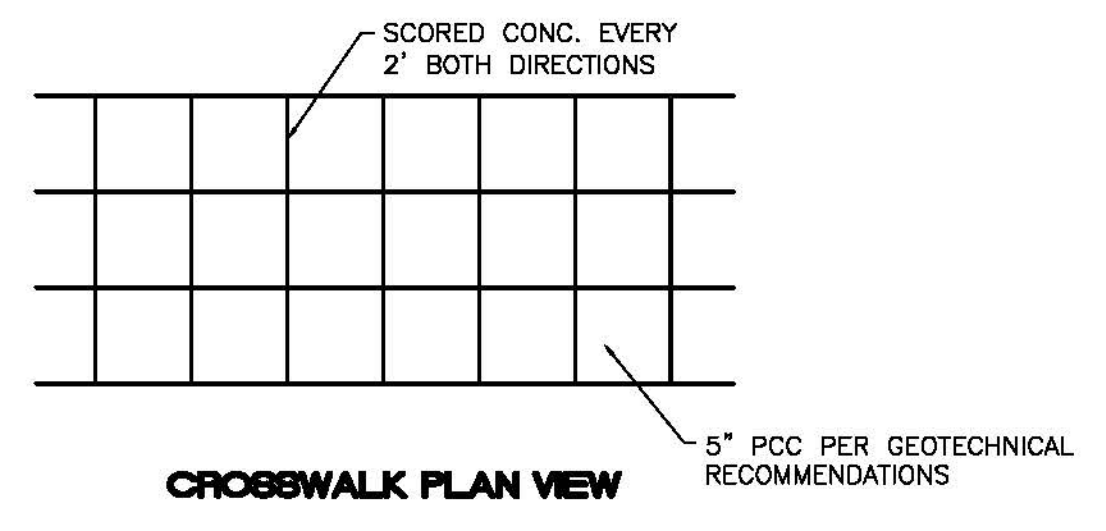
NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



NOTES:

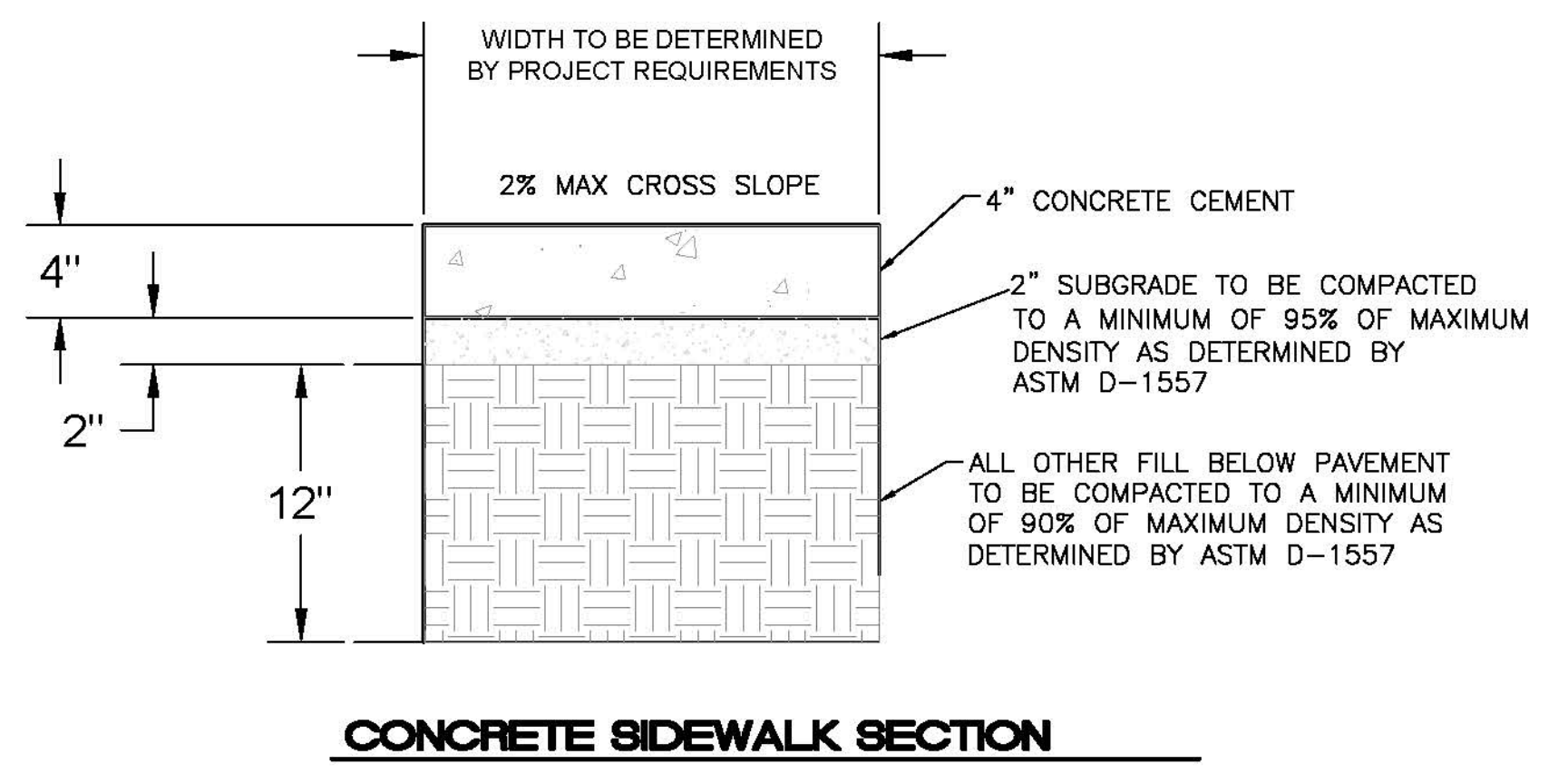
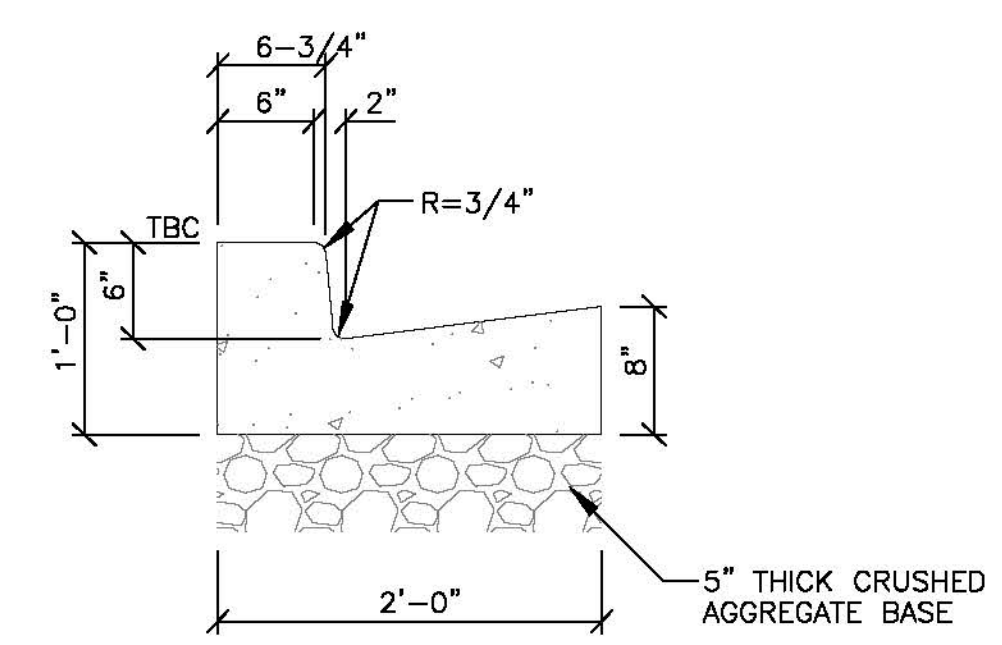
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



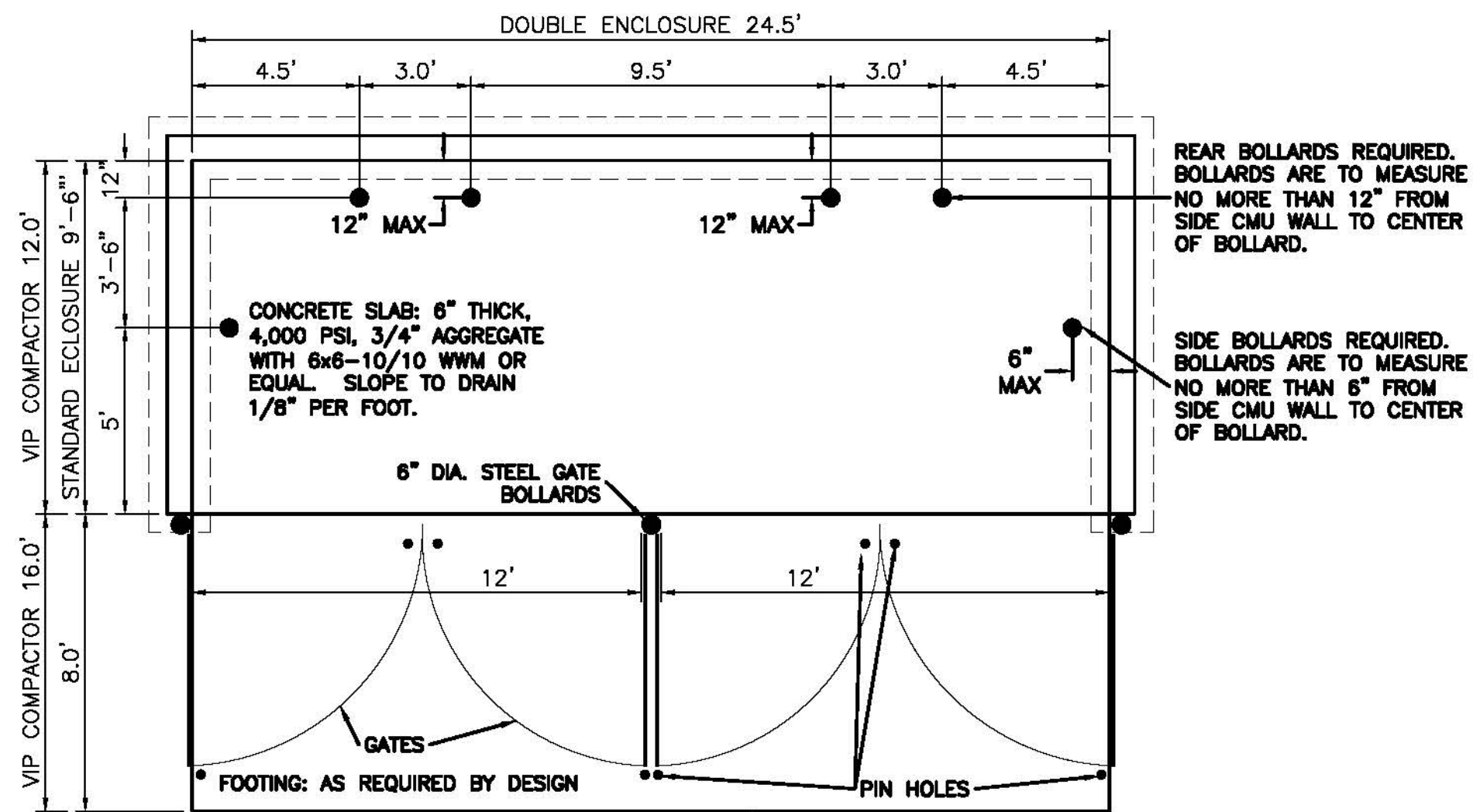
PRODUCT: U238-16(SF)
DESCRIPTION: BIKE RACK
DATE: 10-4-18
ENG: SMC
CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.
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NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULT WITH SELECT COLOR ENGINEER. USE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
4. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.



	ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER	AUTO NATION ALBUQUERQUE, NM CONSTRUCTION DETAILS	DRAWN BY pm DATE 7-13-21 DRAWING 2021010-DET
	7-13-21 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # DET-1 JOB # 2021010



REAR BOLLARDS REQUIRED. BOLLARDS ARE TO MEASURE NO MORE THAN 12" FROM SIDE CMU WALL TO CENTER OF BOLLARD.

SIDE BOLLARDS REQUIRED. BOLLARDS ARE TO MEASURE NO MORE THAN 6" FROM SIDE CMU WALL TO CENTER OF BOLLARD.

CONCRETE SLAB: 6" THICK, 4,000 PSI, 3/4" AGGREGATE WITH 6x6-10/10 WWM OR EQUAL. SLOPE TO DRAIN 1/8" PER FOOT.

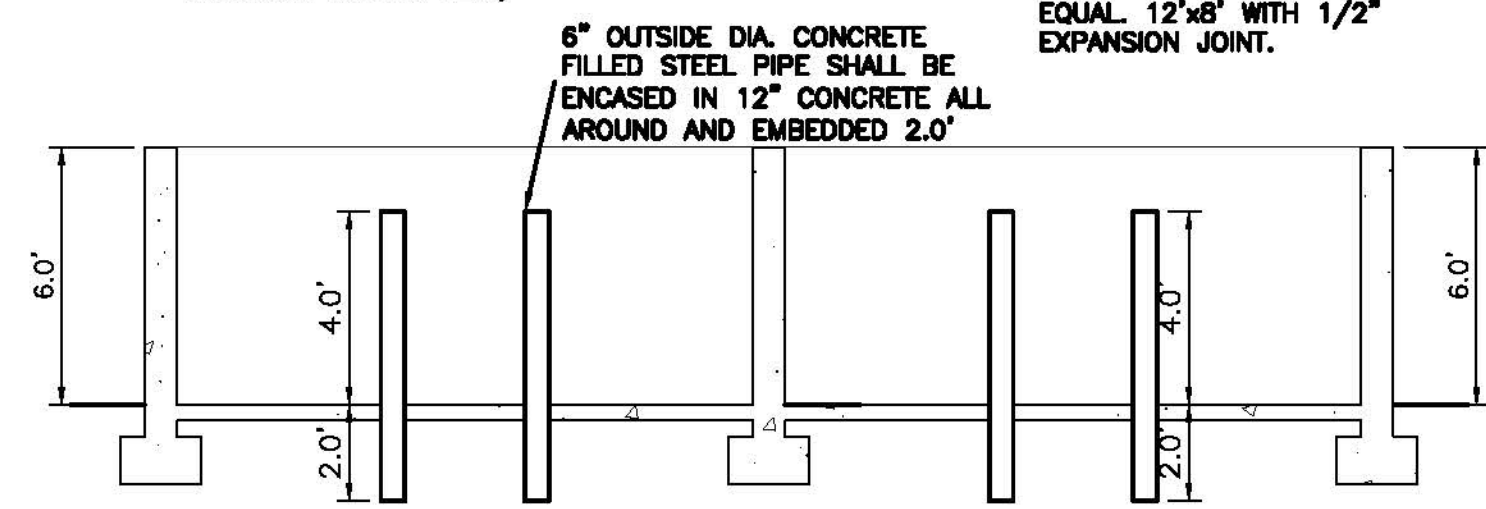
6" DIA. STEEL GATE BOLLARDS

GATES

PIN HOLES

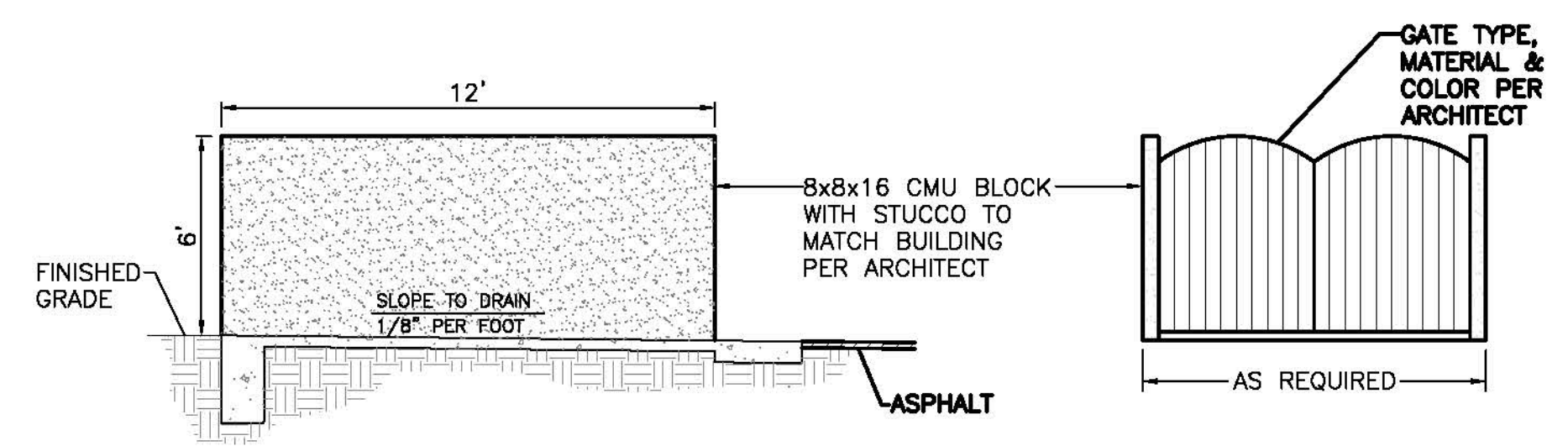
FOOTING: AS REQUIRED BY DESIGN

APRON REQUIRED IN FRONT OF EACH ENCLOSURE. (6" WITH REINFORCING TO WITHSTAND 57,000 LBS.)

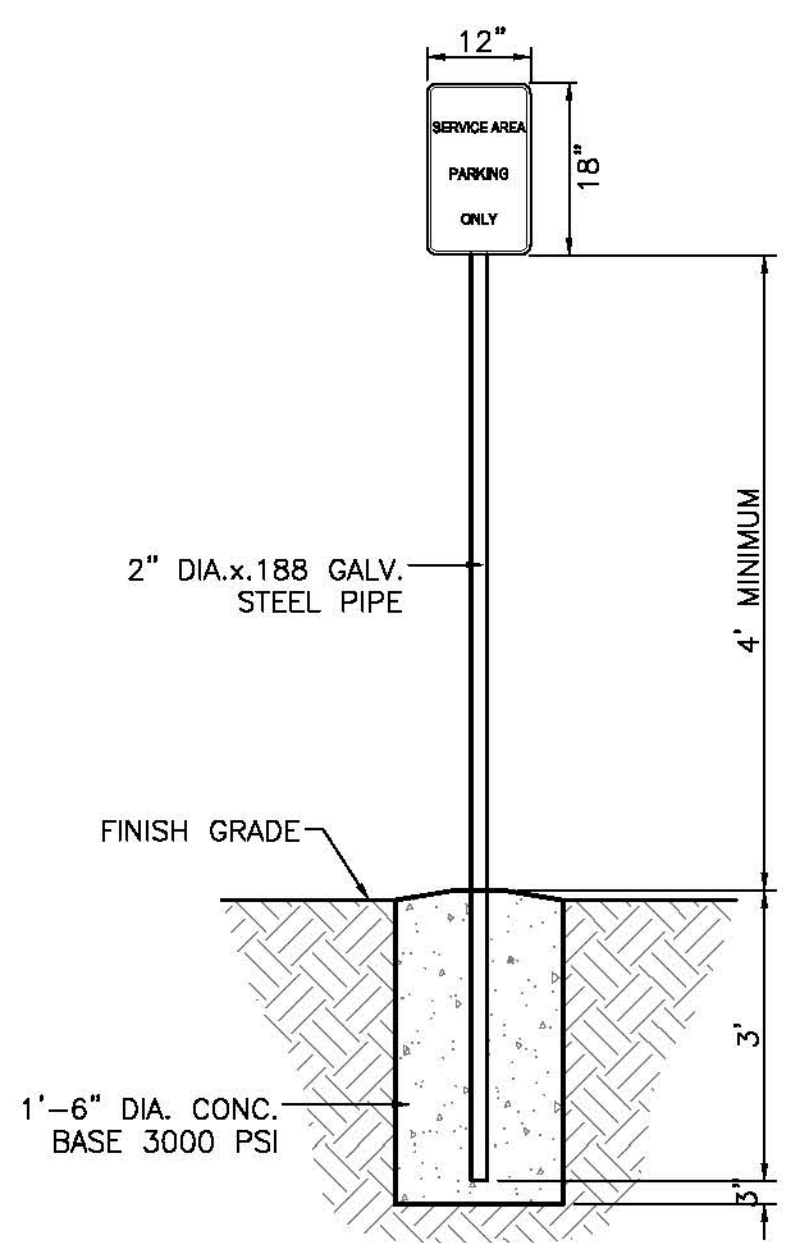


- NOTE:
1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
 2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

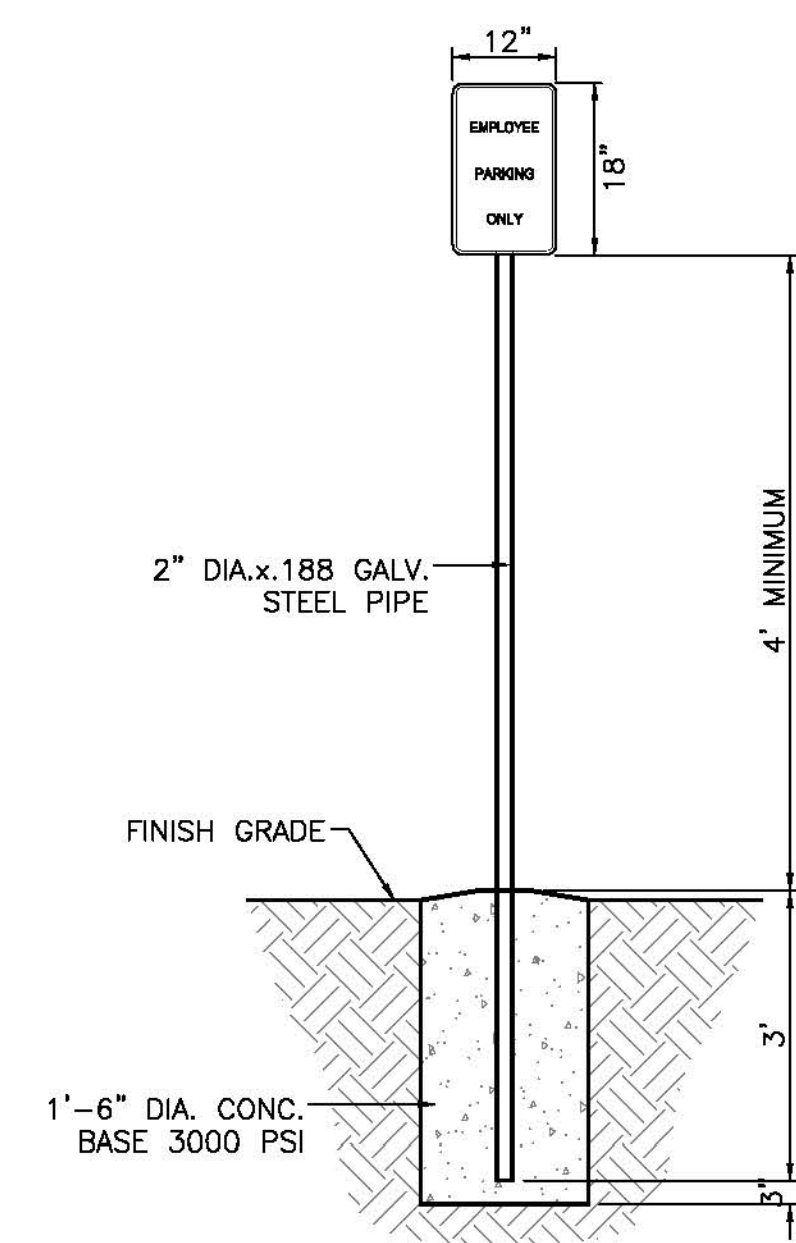
DOUBLE DUMPSTER - ENCLOSURE DETAIL
NTS



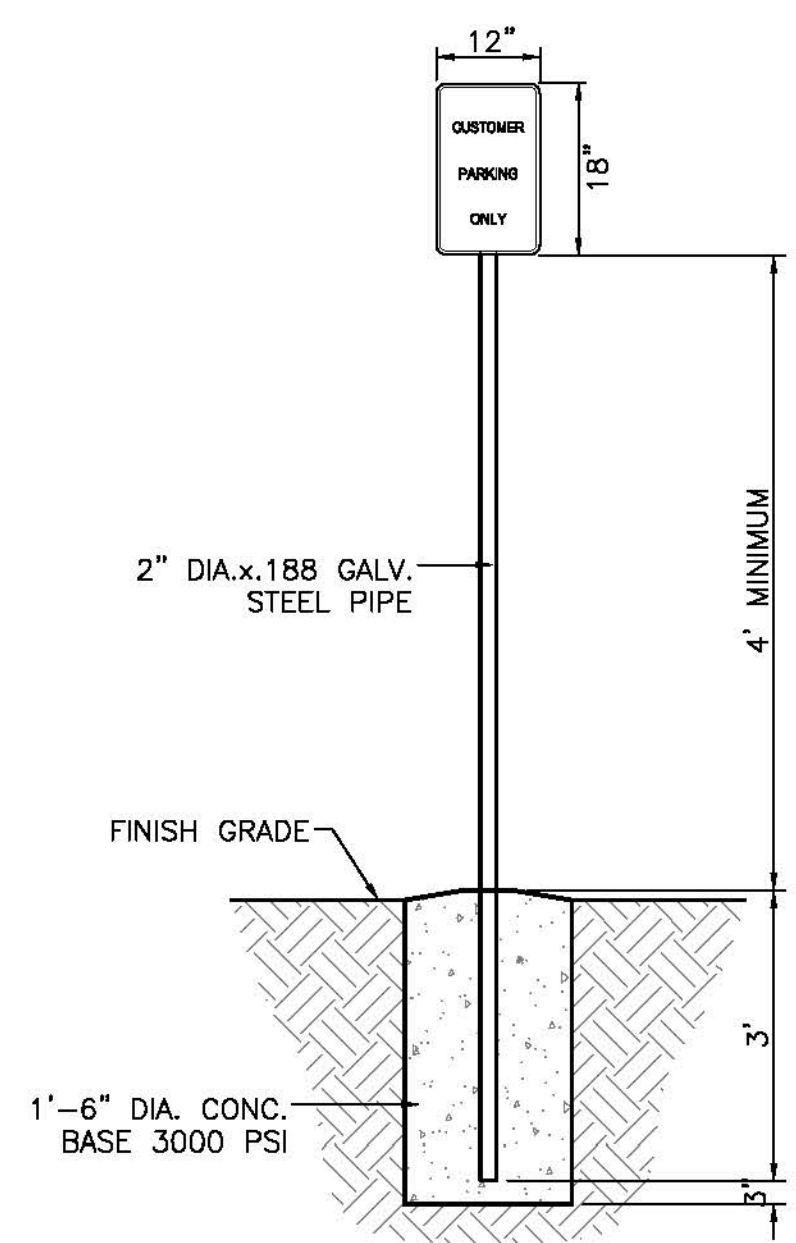
DUMPSTER ENCLOSURE ELEVATION
NTS



SERVICE AREA PARKING SIGN
NTS



EMPLOYEE PARKING SIGN
NTS



CUSTOMER PARKING SIGN
NTS

	AUTO NATION ALBUQUERQUE, NM	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 7-13-21
	TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2021010-DET
RONALD R. BOHANNAN P.E. #7868	7-13-21	SHEET # DET-2
		JOB # 2021010

AutoNation USA

Exterior Sign Package

9100 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NM
S.O. #121410

Creon Date: 05.14.2021

Last Revised: 06.11.2021



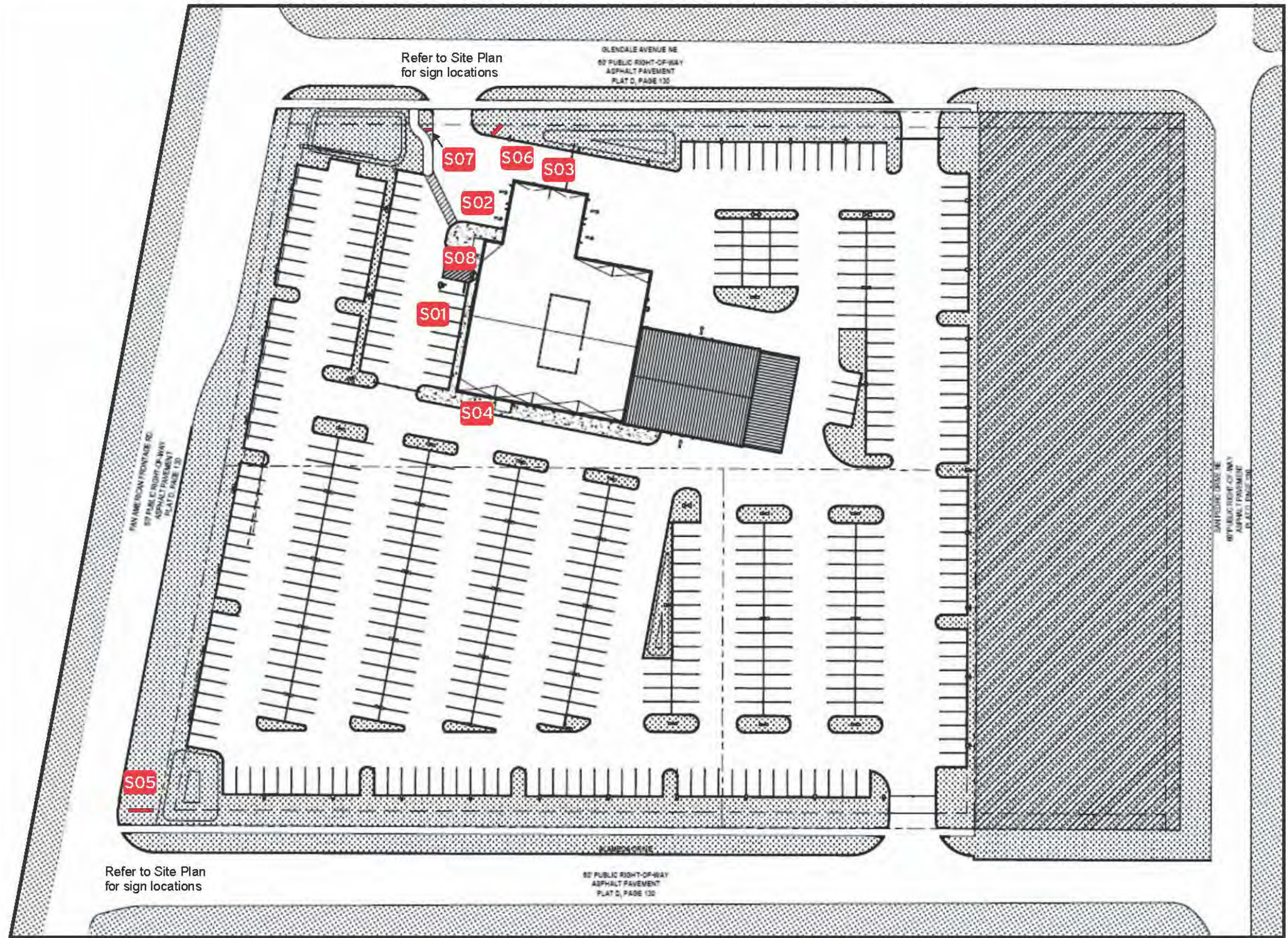
National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtw.com

Site Plan



Exterior Site Plan

- S01** AutoNaon US A C/Ltrs w/DBA FCOs
- S02** We'll Buy Your Car Channel Le ers
- S03** AutoNaon US A C/Ltrs
- S04** AutoNaon US A C/Ltrs
- S05** Pylon Sign
- S06** Monument Sign
- S07** Direconal Sign
- S08** Door Hours



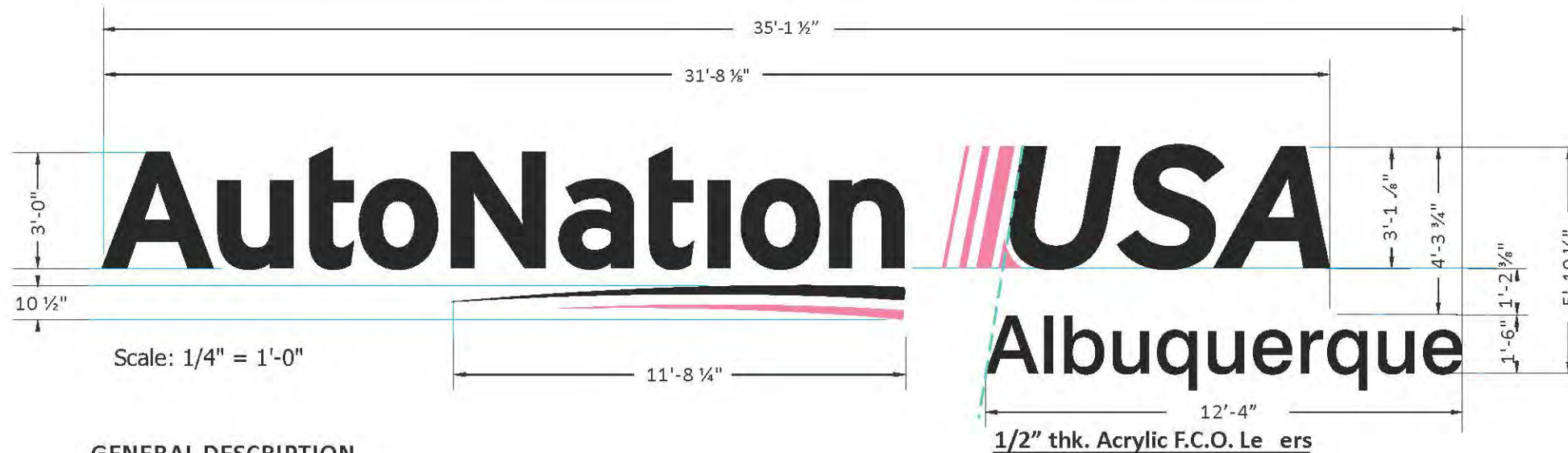
National Headquarters: 1077 West Blue Heron Blvd.
 West Palm Beach, Florida 33404
 800.772.7932
 www.atlasbtw.com

Revisions:

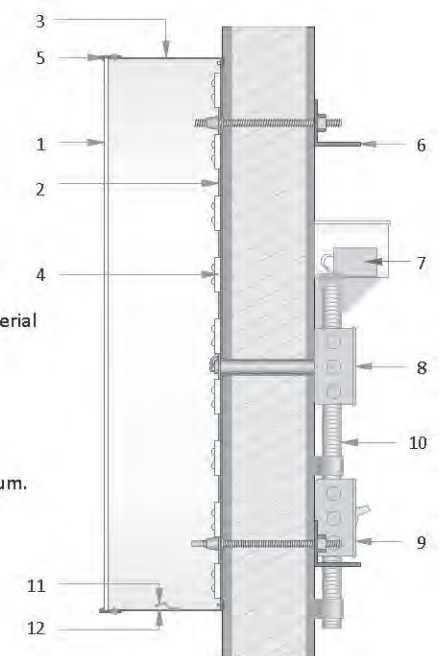
06.02.2021 - Pylon Position revision	...	...
06.11.2021 - Additional C/ltrs and revisions	...	...
...
...
...

PM: AQ
 Drawn By: EVS
 Date: 05/24/2021

Address: 9100 Pan American Freeway NE
 City State: Albuquerque, NM
 S.O. # 121410
 Page# 2



- 1 .177" polycarbonate face
- 2 letter backs to be .080" aluminum
- 3 4" returns to be .040" aluminum
- 4 illumination to be provided by (see below)
- 5 1" trim cap
- 6 mounting varies upon location and wall material
- 7 IP67 rated power supply
- 8 junction box
- 9 listed disconnect switch
- 10 primary power source
- 11 weep hole cover to be white pre-finished alum.
- 12 weep hole



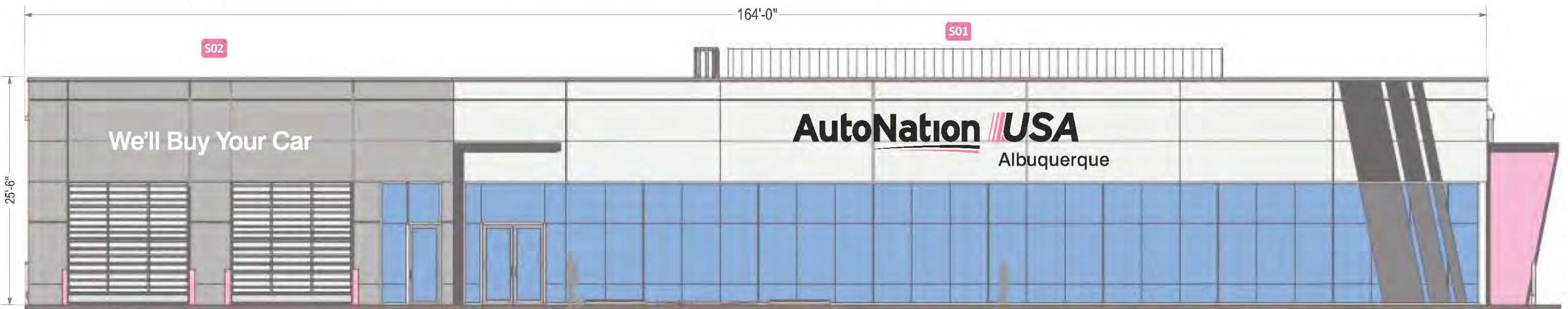
This is a generic detail.
Mounting details and power supply placement will vary.

GENERAL DESCRIPTION

- Channel letters
- All faces of .177" white (2406) acrylic or polycarbonate
- Pink elements treated with full-coverage, 1st surface application of translucent pink vinyl (see color chart)
- Black elements treated with full-coverage, 1st surface application of perforated black (see color chart)
- Internal illumination of ALL components provided by white LED modules.
- "Denver North"- 1/2" thick Acrylic F.C.O. Letters
- All components installed flush to exterior with non-corrosive fasteners (specific hardware TBD)

COLOR SCHEDULE

- All Faces: 2406 White Acrylic or Polycarbonate
- Trimcaps #1: Pre-finished Black
- Trimcaps #2: Painted to match PMS #204 San
- Returns #1: Pre-finished (black) Aluminum
- Returns #2: Painted to Match PMS 204 Pink (san)
- Vinyl Treatment #1 : 3M 3635-222Black Perf. Vinyl
- Vinyl Treatment #2: 3M 3630-68 Rose Mauve



WEST ELEVATION
3/32" = 1'-0"



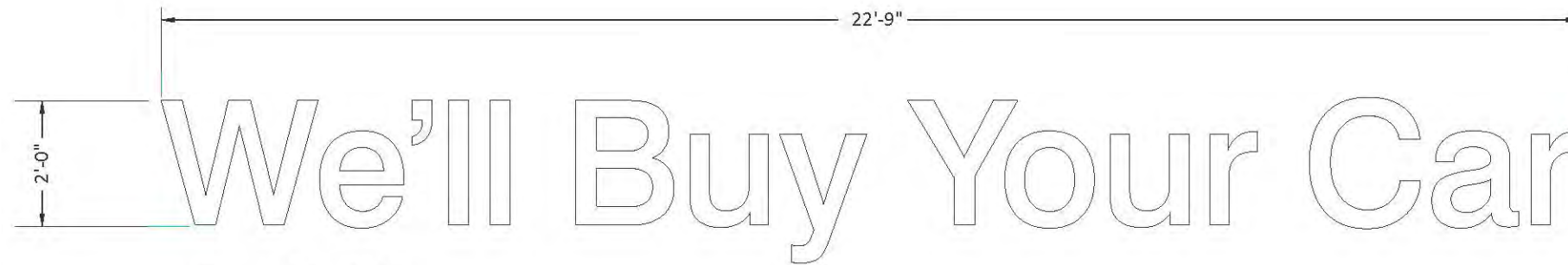
National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtw.com

Revisions:

Q6.02.2021 - Pylon Position revision	...
Q6.11.2021 - Additional C/lters and revisions	...
...	...
...	...
...	...



PM: AQ	Address: 9100 PAN AMERICAN FREEWAY NE
Drawn By: EVS	City State: ALBUQUERQUE, NM
Date: 05.24.2021	Drawing Number: 121410
	Page: 3



Scale: 3/8" = 1'-0"

GENERAL DESCRIPTION

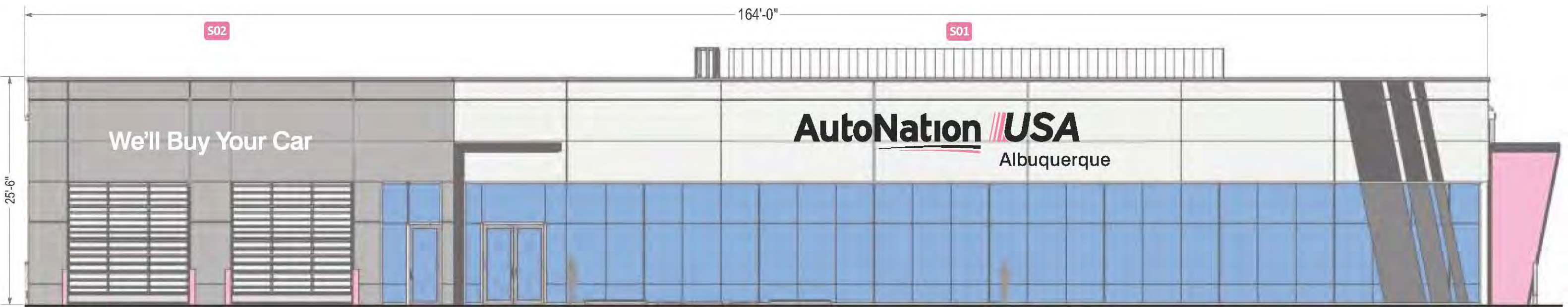
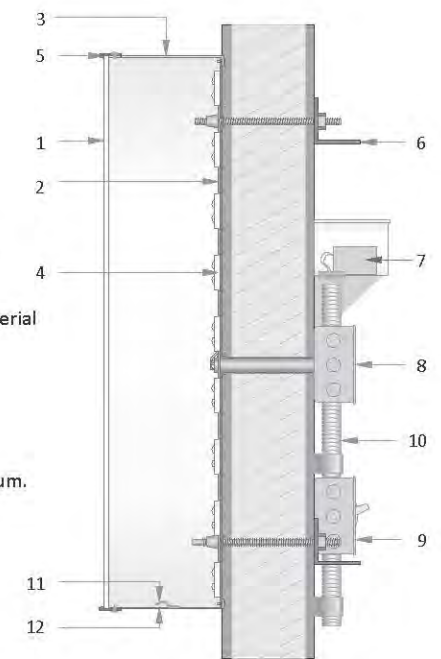
- Channel Letters
- All faces of .177" white (2406) acrylic or polycarbonate
- Internal illumination of ALL components provided by white LED modules.
- All components installed flush to exterior with non-corrosive fasteners (specific hardware TBD)

COLOR SCHEDULE

- All Faces: 2406 White Acrylic or Polycarbonate
- Trimcaps #1: Pre-finished Black
- Returns #1: Pre-finished (black) Aluminum

- 1 .177" polycarbonate face
- 2 letter backs to be .080" aluminum
- 3 4" returns to be .040" aluminum
- 4 illumination to be provided by (see below)
- 5 1" trim cap
- 6 mounting varies upon location and wall material
- 7 IP67 rated power supply
- 8 junction box
- 9 listed disconnect switch
- 10 primary power source
- 11 weep hole cover to be white pre-finished alum.
- 12 weep hole

This is a generic detail.
Mounting details and power supply placement will vary.



WEST ELEVATION
3/32" = 1'-0"



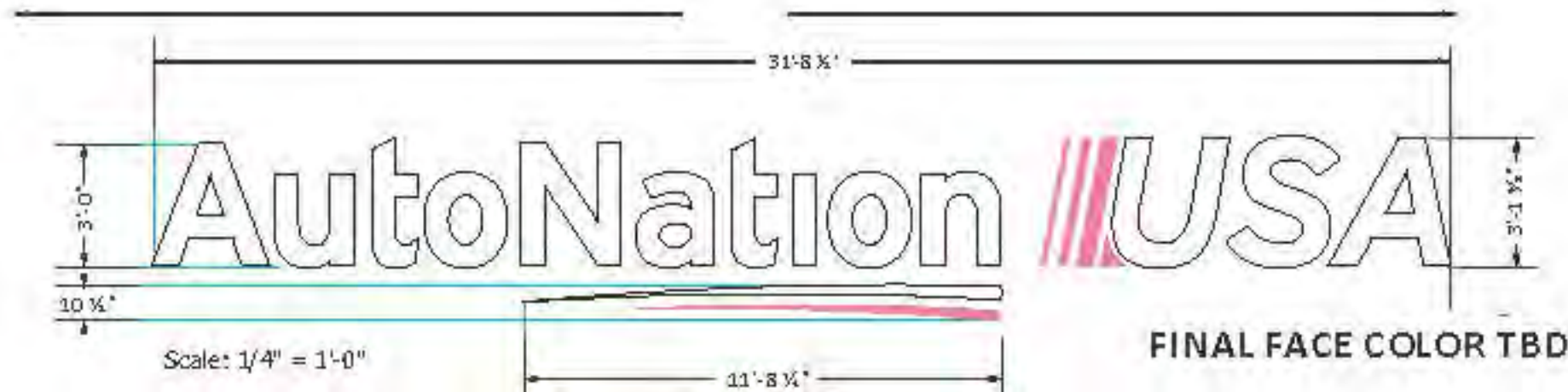
National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtw.com

Revisions:

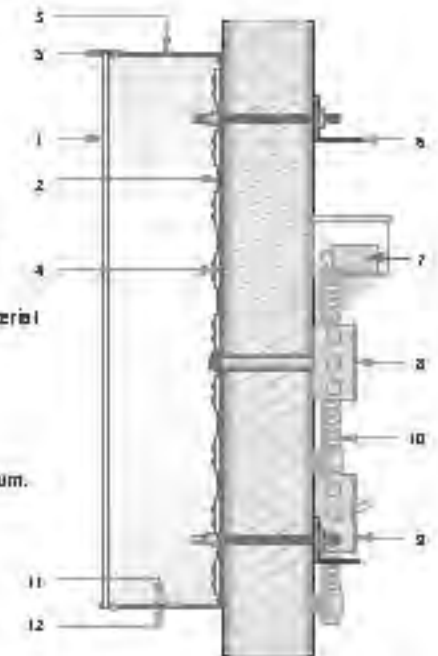
06.02.2021 - Pylon Position revision	...
06.11.2021 - Additional C/ltrs and revisions	...
...	...
...	...
...	...



PM: AQ	Address: 9100 PAN AMERICAN FREEWAY NE
Drawn By: EVS	City State: ALBUQUERQUE, NM
Date: 05.24.2021	Drawing Number: 121410
	Page: 4



1. .177" polycarbonate face
 2. letter back to be .080" aluminum
 3. 4" returns to be .040" aluminum
 4. illumination to be provided by (see below)
 5. 1" trim cap
 6. mounting varies upon location and wall material
 7. IP67 rated power supply
 8. junction box
 9. listed disconnect switch
 10. primary power source
 11. weep hole cover to be white pre-finished alum.
 12. weep hole
- (this sign requires a 1" mounting dim. and a power supply placed on the wall.)



GENERAL DESCRIPTION

- Channel letter B
- All faces of .177" white (2406) acrylic or polycarbonate
- Pink elements treated with full-coverage, 1st surface application of translucent pink vinyl (see color chart)
- Internal illumination of ALL components provided by white LED modules.

COLOR SCHEDULE

- All Faces: 2406 White Acrylic or Polycarbonate
- Trimcaps #1: Pre-finished Black
- Trimcaps #2: Painted to match PMS # 2045 Sa
- Returns #1: Pre-finished (black) Aluminum
- Returns #2: Painted to Match PMS 2045 Pink (sa)
- Vinyl Treatment #2: 3M 3630-68 Rose Mauve



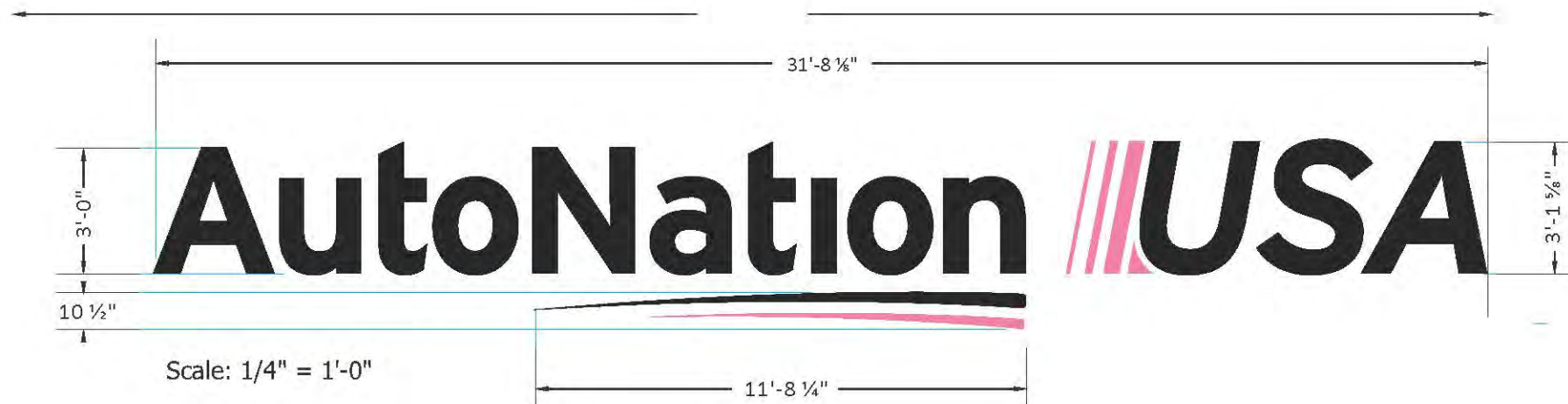
NORTH ELEVATION
3/32" = 1'-0"



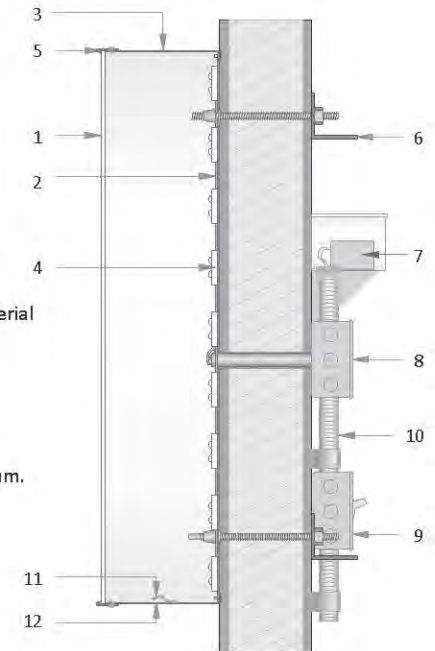
National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtrc.com

Revisions:	
05.02.2021 - Pyle + Pasco + Poulos	...
05.11.2021 - Add channel letters and returns	...
...	...
...	...
...	...

Plot: AQ	Address: 9100 Pan American Freeway NE
Drawn By: EVS	City/State: Albuquerque, NM
Date: 05/24/2021	S.O. # 121410
	Page# 5



- 1 .177" polycarbonate face
- 2 letter backs to be .080" aluminum
- 3 4" returns to be .040" aluminum
- 4 illumination to be provided by (see below)
- 5 1" trim cap
- 6 mounting varies upon location and wall material
- 7 IP67 rated power supply
- 8 junction box
- 9 listed disconnect switch
- 10 primary power source
- 11 weep hole cover to be white pre-finished alum.
- 12 weep hole



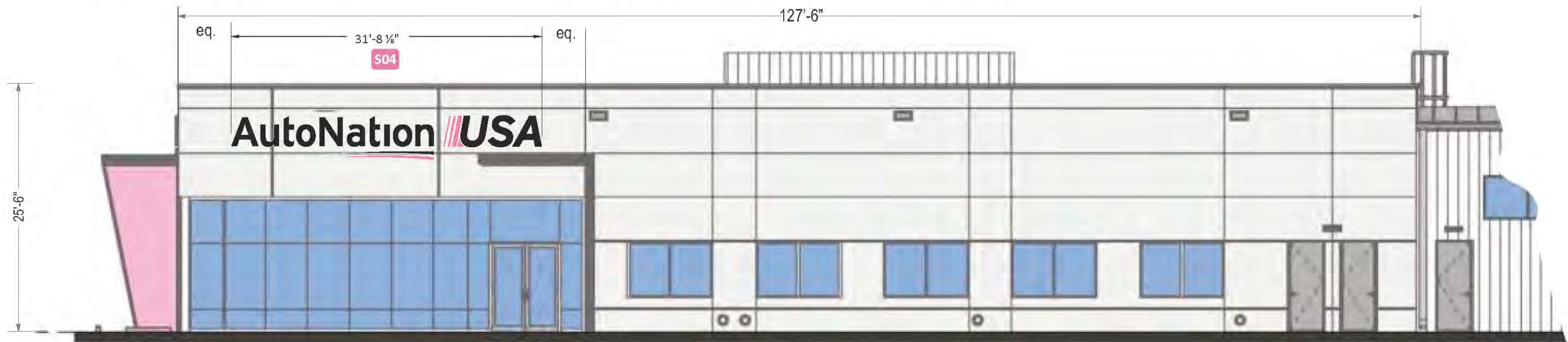
This is a generic detail.
 Mounting details and power supply placement will vary.

GENERAL DESCRIPTION

- Channel letter
- All faces of .177" white (2406) acrylic or polycarbonate
- Pink elements treated with full-coverage, 1st surface application of translucent pink vinyl (see color chart)
- Black elements treated with full-coverage, 1st surface application of perforated black (see color chart)
- Internal illumination of ALL components provided by white LED modules.
- "Denver North"- 1/2" thick Acrylic F.C.O. Letter
- All components installed flush to exterior with non-corrosive fasteners (specific hardware TBD)

COLOR SCHEDULE

- All Faces: 2406 White Acrylic or Polycarbonate
- Trimcaps #1: Pre-finished Black
- Trimcaps #2: Painted to match PMS #204 San
- Returns #1: Pre-finished (black) Aluminum
- Returns #2: Painted to Match PMS 204 Pink (san)
- Vinyl Treatment #1 : 3M 3635-222Black Perf. Vinyl
- Vinyl Treatment #2: 3M 3630-68 Rose Mauve



SOUTH ELEVATION
 3/32" = 1'-0"



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Revisions:

06.02.2021 - Pylon Position revision
06.11.2021 - Additional C/Trs and revisions

PM: AQ

Drawn By: EVS

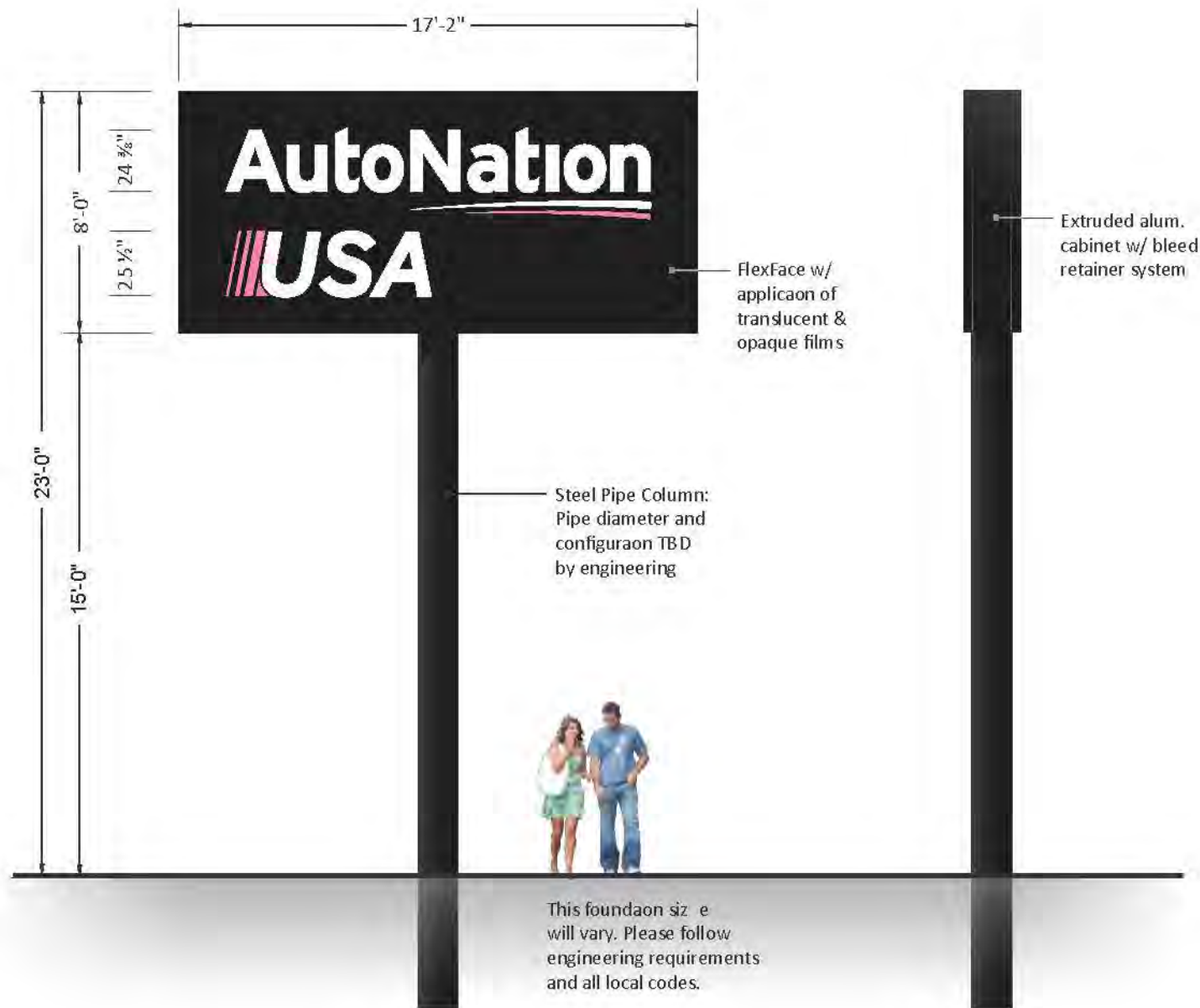
Date: 05/24/2021

Address: 9100 Pan American Freeway NE

City State: Albuquerque, NM

S.O. # 121410

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ANU-P-84

GENERAL DESCRIPTION

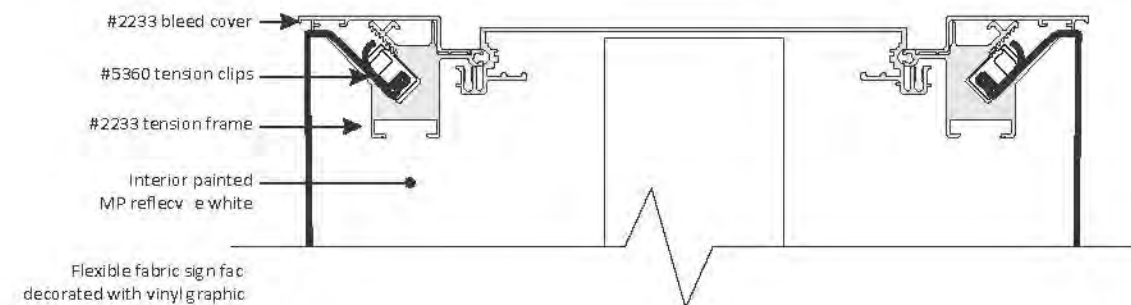
- Double face, internally illuminated pylon sign featuring extruded aluminum cabinet with a bleed retainer and flexible faces.
- Faces of 3M white, flexible substrate with 1st surface applicaon of translucent pink & opaque black films
- Internal illuminaon by white LED modules
- Cabinet installed onto steel column set in concrete foundaon. Size of foundaon varies per local codes and criterea

COLOR SCHEDULE

- Painted MP 923SP Black (san finish)
- Panaflex White Trans. Substrate
- 3M 7725-12 Opaque Black Vinyl
- 3M 3630-68 "Rose Mauve" Trans. Vinyl
- White LED Modules (6500K)

SQUARE FOOTAGE

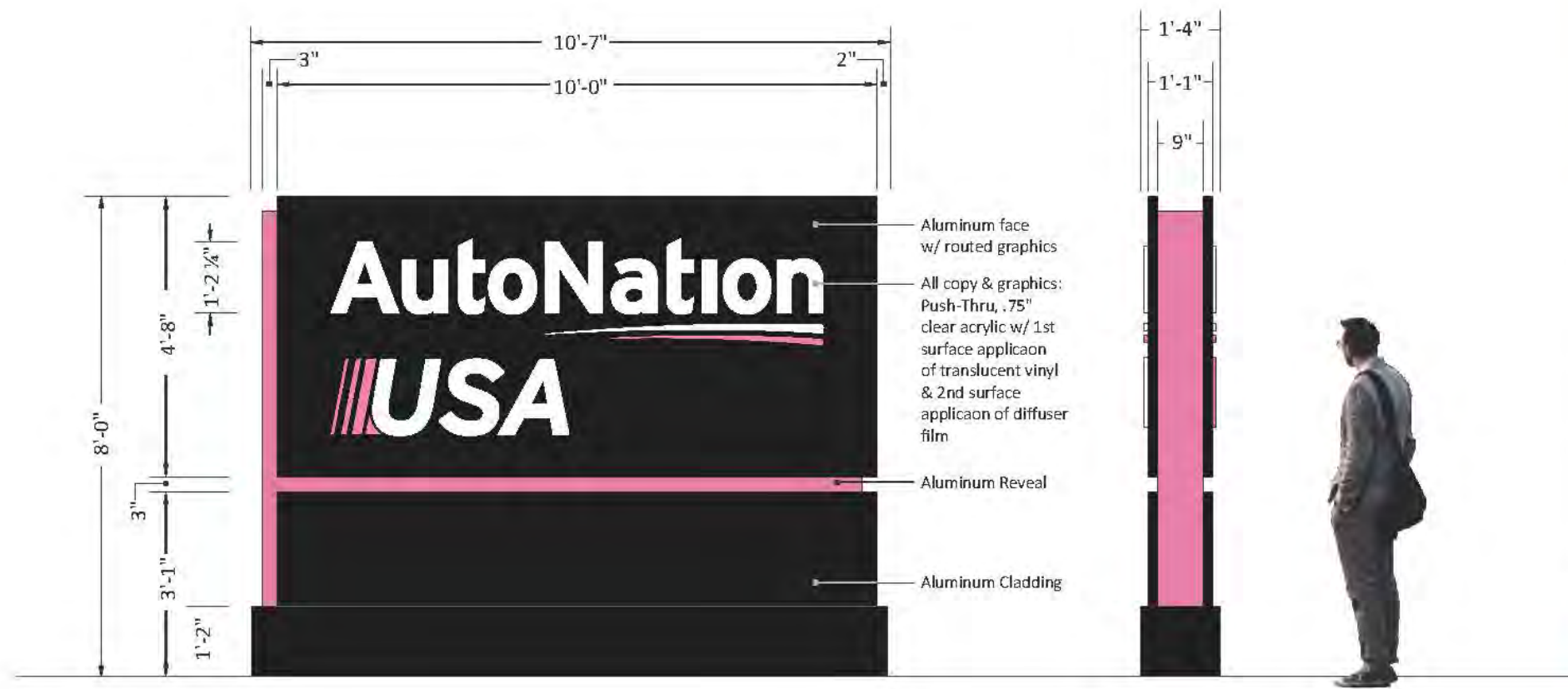
Proposed Sq. Feet: 7'-0" x 15'-0" = 105 Sq Feet



DF Wide Body with Bleed Face Retainer System

Revisions:

06.02.2021 - Pylon Position revision	...
06.11.2021 - Additional C/ltrs and revisions	...
...	...
...	...
...	...



ANU-M-96
GENERAL DESCRIPTION

- Double face, internally illuminated monument sign featuring pushed-thru acrylic graphics, and painted aluminum cladding & reveal.
- Faces of aluminum with copy & graphics routed from faces and pushed-thru with .750" clear acrylic with 1st surface application of pink & white translucent film and a 2nd surface application of diffuser film
- 3" Connuous reveal to of aluminum & finished with pink enamel
- Internal illumination by white LED modules
- Skirt/base and all cladding is of painted aluminum
- Monument sign set in concrete foundation(s). Size of foundation varies per local codes and criteria

COLOR SCHEDULE

- Painted MP 923SP Black (san finish)
- Clear Acrylic
- Painted to match PMS 204 (san finish)
- 3M 3630-20 White Trans. Vinyl
- 3M 3630-68 "Rose Mauve" Trans. Vinyl
- White LED Modules (6500K)

SQUARE FOOTAGE

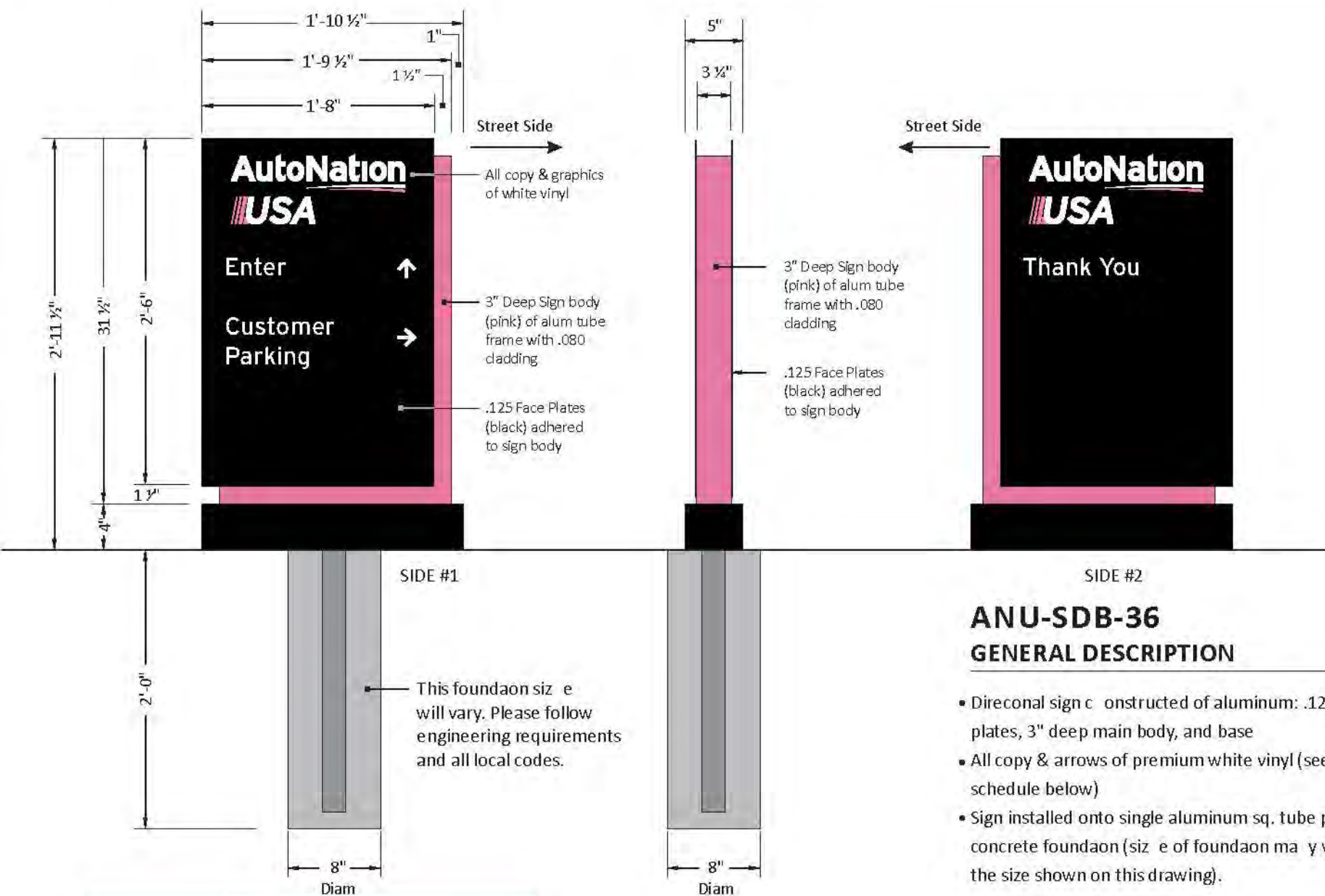
Proposed Sq. Feet: 4'-8" x 10'-0" = 46.67 Sq Feet



12" Perimeter around base of monument is to be reserved for landscaping - not grass

Revisions:

06.02.2021 - Pylon Position revision	...	...
06.11.2021 - Additional C/ltrs and revisions	...	...

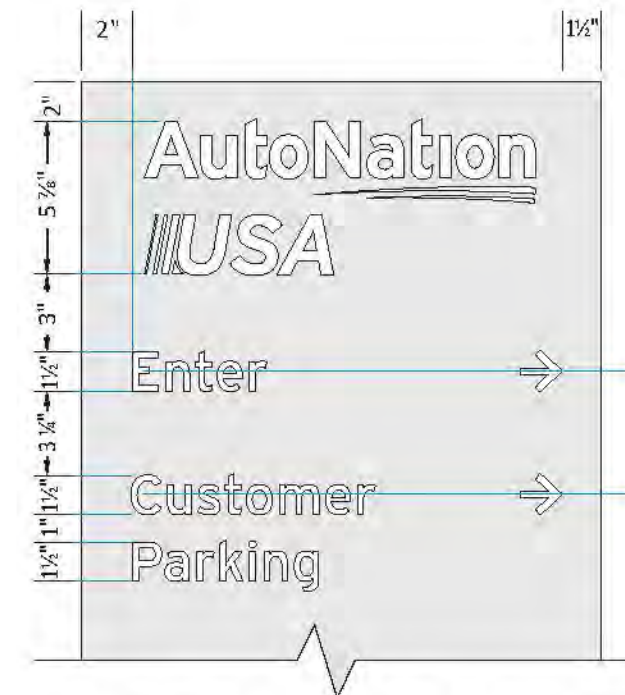


ANU-SDB-36
GENERAL DESCRIPTION

- Direconal sign constructed of aluminum: .125" face plates, 3" deep main body, and base
- All copy & arrows of premium white vinyl (see color schedule below)
- Sign installed onto single aluminum sq. tube post set in concrete foundation (size of foundation may vary from the size shown on this drawing).

COLOR SCHEDULE

- 3M 772 5-10 White Vinyl
- Painted MP 923SP Black (san finish)
- Painted to match PMS #204 (san finish)



Revisions:

06.02.2021 - Pylon Position revision	...	...
06.11.2021 - Additional C/ltrs and revisions	...	...





When there are double-Entry doors, the vinyl graphics will be placed on the right door

General Specificaations

- White with pink vinyl copy and numbers
- Vinyl applied to 1st surface

Color Specificaations

-  3M 7725-10 White vinyl
-  3M 3630-68 Rose Mauve

Revisions:		
06.02.2021 - Pylon Position revision	...	...
06.11.2021 - Additional C/trs and revisions	...	...






PR-2021-005411_SI-2021-00760_Site_Plan_Aproved_7-21-21

Final Audit Report

2021-11-30

Created:	2021-11-29
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAAdNK5QLsTTcEmDWWeWfVj_Jfr9CHdALKzI

"PR-2021-005411_SI-2021-00760_Site_Plan_Approved_7-21-21" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
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-  Document emailed to Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov) for signature
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