



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2021-005411

Application No. SI-2021-00760

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

***(Please attach this sheet with each collated set for each board member)**

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 07/14/2021 HEARING DATE OF DEFERRAL: 07/21/2021

SUBMITTAL

DESCRIPTION: Revised site plan, sign package and infrastructure list

CONTACT NAME: Jon Niski

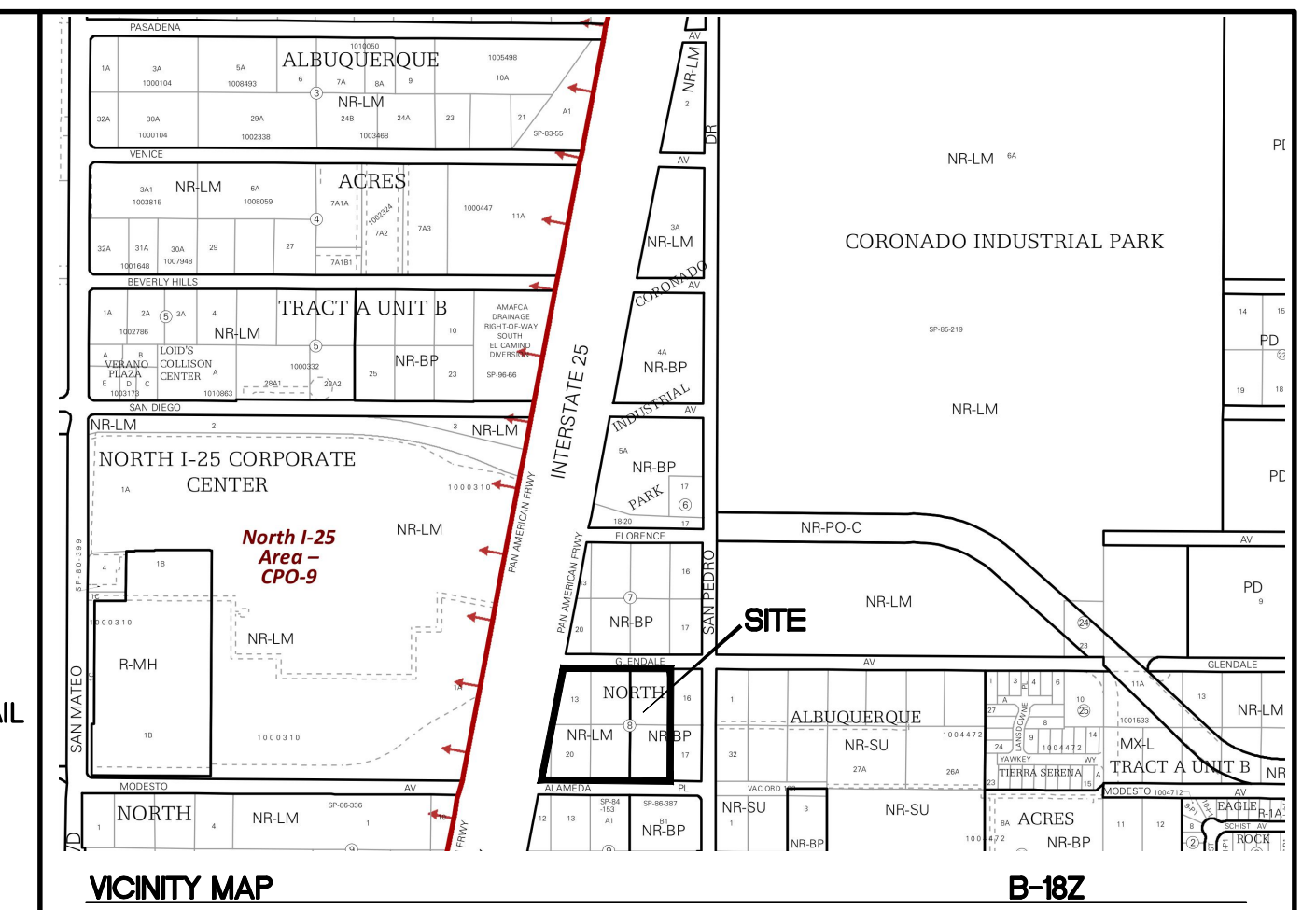
TELEPHONE: 505-858-3100 EMAIL: jniski@tierrawestllc.com

NOTE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 5' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

STREET IMPROVEMENTS IN CITY ROW TO BE COMPLETED UNDER CITY WORK ORDER

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- MC MOTORCYCLE SPACE W/SIGN SEE SHEET 6 FOR SIGN DETAIL
- NEW ASPHALT PAVING
- SAWCUT LINE



LEGAL DESCRIPTION
PORTION OF LOT NUMBERED 13 LESS PART TO R/W, ALL OF LOTS 14, 15, 18, 19 AND PORTIONS OF LOTS 20 AND 21 BLOCK 8 OF TRACT "A", UNIT "B"008 NORTH ALBUQ ACRES

NOTES:
UPC 101806520803930209 UPC 101806522303930208 UPC 101806524003930207
UPC 101806519701030201 UPC 101806520701630202
UPC 101806522401630203 UPC 101806523901630204

SITE DATA

AUTONATION USA
ALBUQUERQUE
9100 PAN AMERICAN FREEWAY

PROPOSED USAGE: Commercial Services
ZONE: NR-LM
IDO CLASSIFICATION: LIGHT MANUFACTURING
LOT AREA: 230263 SF (5.29 ACRES)
ADDRESS: 9100 PAN AMERICAN WAY
ALBUQUERQUE, NM 87107

SETBACKS
FRONT PER PLAN
REAR PER PLAN
SIDE PER PLAN

BUILDING AREA: BUILDING : 18645 SF

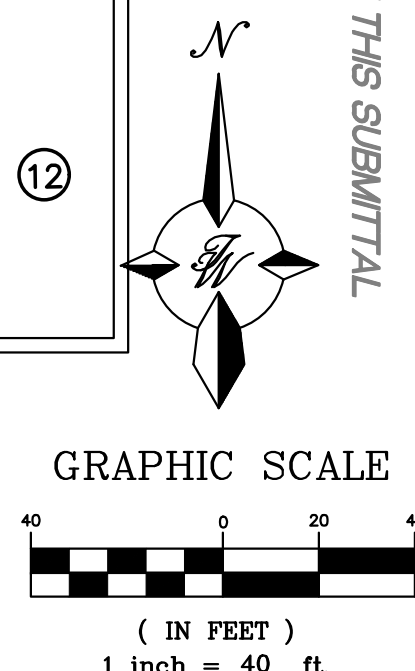
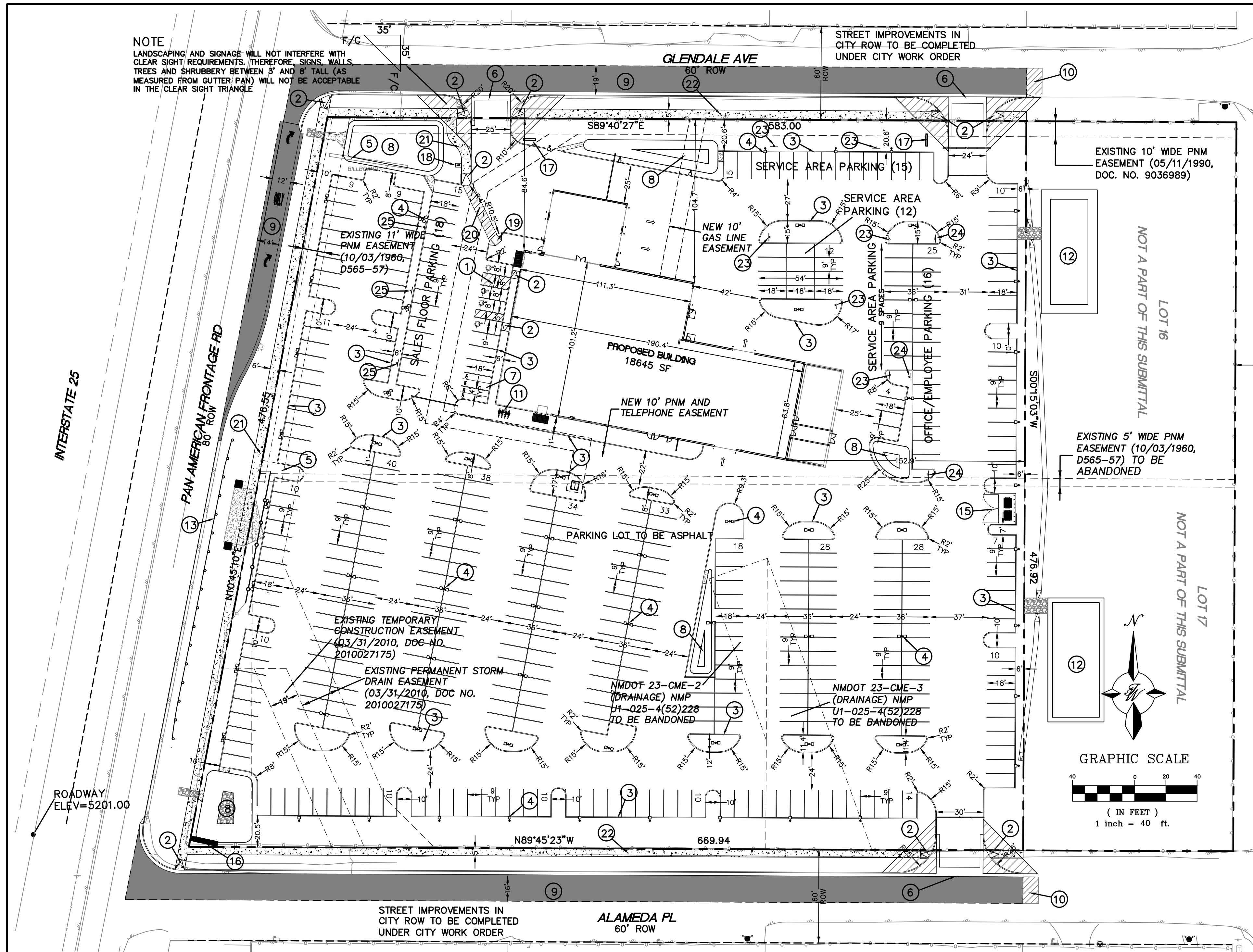
HC PARKING REQUIRED: 4 SPACES
HC PARKING PROVIDED: 4 SPACES (1 VAN ACCESSIBLE)

MC PARKING REQUIRED: 4 SPACES
MC PARKING PROVIDED: 4 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

LANDSCAPE AREA REQUIRED: 31635 SF
LANDSCAPE AREA PROVIDED: 59027SF

INTERIOR PARKING LOT
LANDSCAPE REQUIRED 22763 SF (15% OF PARKING AREA)
LANDSCAPE PROVIDED 24814 SF (16.3% OF PARKING AREA)



NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

GENERAL NOTES - SITE PLANS:

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
- WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
- GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
- GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
- PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
 • 1/2" @ ALL EXIT DOORS
 • 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
 • 1 1/2" @ OVERHEAD DOORS
 • 1 1/2" @ PRE-FAB METAL WALL PANELS

KEYED NOTES

- ① ACCESSIBLE PARKING W/SIGN PER ADA STANDARDS (1.0% MIN - 2.0% MAX SLOPE) SEE SHEET DET-1
- ② UNIDIRECTIONAL ACCESSIBLE RAMP
- ③ 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- ④ PARKING LOT LIGHT STANDARD (TYP) FULL CUTOFF LED'S, 25' HIGH
- ⑤ EXISTING BILLBOARD TO REMAIN
- ⑥ 6' VALLEY GUTTER PER COA STD DWG 2415B
- ⑦ MOTORCYCLE SPACE (4'x8' MIN) W/SIGN
- ⑧ DETENTION POND
- ⑨ NEW ASPHALT PAVING
- ⑩ 10' TRANSITION TO EXISTING ASPHALT PAVING
- ⑪ BICYCLE RACK, SEE SHEET DET-1 FOR DETAIL
- ⑫ TEMPORARY DESILTING POND
- ⑬ REMOVE AND REPLACE 230 LF EXISTING GUARD RAIL PER CURRENT NMDOT STANDARDS
- ⑭ NOT USED
- ⑮ DUMPSTER W/RECYCLING
- ⑯ PYLON SIGN BASE ELEV=5204.00, TOP ELEV=5227.00
- ⑰ MONUMENT SIGN
- ⑱ DIRECTIONAL SIGN
- ⑲ MULTI DIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
- ⑳ 6' PEDESTRIAN CROSSING SEE DETAIL SHEET DET-1
- ㉑ NEW 6' CONCRETE SIDEWALK PER COA STD DW 2430
- ㉒ NEW 5' CONCRETE SIDEWALK PER COA STD DW 2430
- ㉓ SERVICE AREA PARKING SIGN
- ㉔ EMPLOYEE PARKING SIGN
- ㉕ SALES FLOOR PARKING SIGN

PARKING ANALYSIS:

REFERENCE CHAPTER 112 OFF-STREET PARKING, SECTION 112-4 MINIMUM REQUIREMENT FOR SPACES.		
REQUIRED:	REQUIRED:	PROVIDED:
SALES FLOOR AREA Section 112-4 Note 12 1 Space per 500 sf	7,237 sf 15 Spaces	18
OFFICE AREA Section 112-4 Note 2 3 Spaces per first 500 sf 1 Space per 200sf additional [8452 sf] Total	2,952 sf 3 Spaces 8 Spaces 11 Spaces	16
SERVICE AREA Section 112-4 Note 23 1 Space per Service Bay 1 Space per 300 sf Total	8456 sf 6 Spaces 29 Spaces 35 Spaces	36
TOTAL SPACES REQUIRED CARS	61 Spaces	70
Required minimum number of ACCESSIBLE PARKING SPACES based on combined total for customers and employees.	3 Required	4
NOTE: ALL REMAINING PARKING IS FOR VEHICLE INVENTORY STORAGE.		365

PROJECT NUMBER: PR-2021-005411
APPLICATION NUMBER: SI-2021-00760

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional) Herman Gallegos <i>Herman Gallegos</i>	Date 07-15-21
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

	AUTO NATION ALBUQUERQUE, NM	DRAWN BY pm
	SITE PLAN FOR BUILDING PERMIT	DATE 7-13-21
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2021010-SP
		SHEET # SP-1
		JOB # 2021010

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 'A' AND 'B' TALL (AS MEASURED FROM BUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

Street Trees Required 11 Provided 11

PAN AMERICAN FRONTAGE RD.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubler systems to be tied to 1/2" poly pipe with Flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others. Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

Pond Notes:
Ponds are identified on the landscape plan. The bottom and sides shall be seeded with a native seed mix per City Standard Specification 1012.2.2.4, Wildflower and Native-Grass Seed.

For pond bottoms: Gravel 3/4" - 1", one layer thick, with stretch irrigation system for germination.

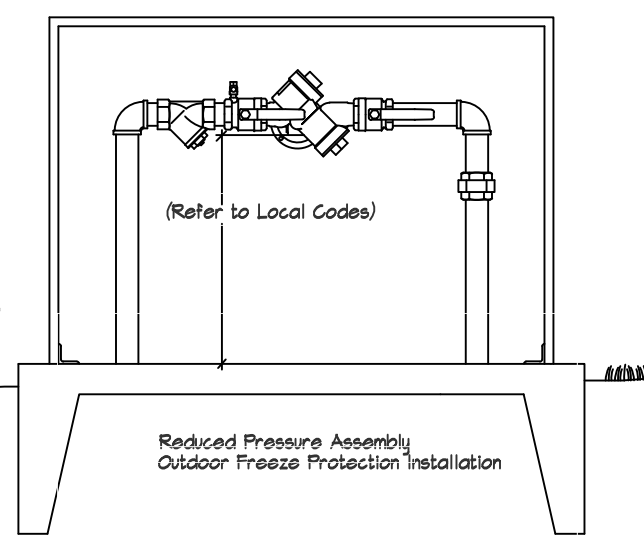
Reference Section 1012.3.1.6 Aggregate Mulch for addition of aggregate mulch and installation guide.

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water truck must be used during dry weather. Seeds shall germinate in 1 year, or reseeding will be required.

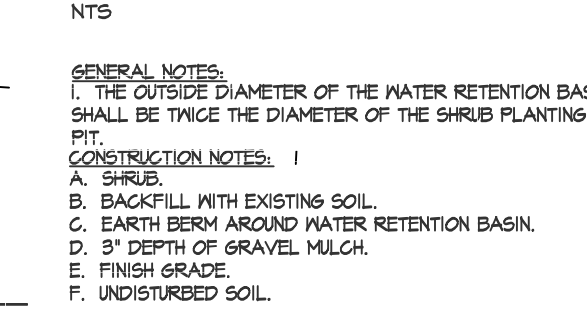
Maintenance of ponding areas shall be per the City of Albuquerque, Specification 1012.3.4.1 and 1012.3.4.2.

Contractor shall seed the basin during/after the first growing season.

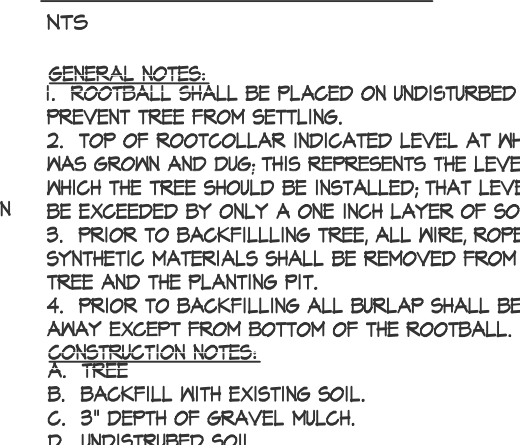
Seeding will require inspection by the City. Reference Standard Specification 1012.3.1.1. If determined that insufficient germination has occurred, the CONTRACTOR shall reseed the areas with no additional cost to the OWNER.



SHRUB PLANTING DETAIL



TREE PLANTING DETAIL



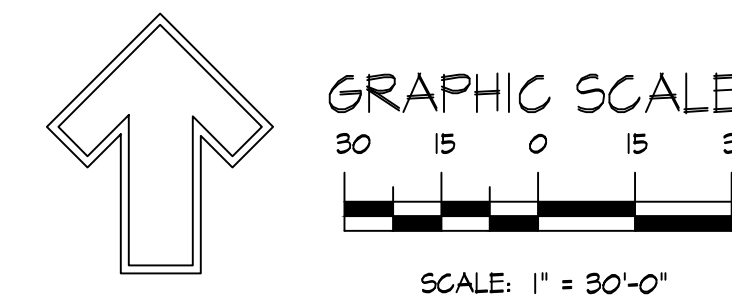
LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
17	2' cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45 2025 34425 M
30	2' cal	Frontier Elm <i>Ulmus carpinifoliaxparvifolia 'Frontier'</i>	35x25 625 10750 M
18	2' cal	Raywood Ash <i>Fraxinus angustifolia oxycarpa</i>	35x25 625 11250 M
5	6-8'	Austrian Pine <i>Pinus nigra</i>	35x25 625 3125 M
22	15 gal	Mexican Redbud <i>Cercis mexicana</i>	15x12 144 3160 M
23	2'	Zelkova <i>Zelkova serrata 'Green Vase'</i>	30x30 900 20100 M
30 Total Trees			Total Tree Coverage 4148

Shrubs & Groundcovers

84	5 gal	India Hawthorne <i>Raphiolepis indica</i>	3x5 25 2100 M
51	5 gal	Red Yucca <i>Hesperaloe parviflora</i>	3x6 36 1036 L
80	5 gal	Beargrass <i>Nolina texana</i>	3x3 9 120 L
28	5 gal	Lechugilla <i>Agave lechuguilla</i>	1x5 25 100 L
4	5 gal	Butterfly Bush <i>Buddleia davidii</i>	5x7 49 196 M
56	5 gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12 144 8064 M
40	5 gal	Cherry Sage <i>Salvia greggii</i>	2x3 9 360 M
53	5 gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 471 M
7	5 gal	Apache Plume <i>Fallugia paradoxa</i>	6x7 49 343 L
11	5 gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x7 49 534 L
16	5 gal	Spanish Broom <i>Caryopteris x clandonensis</i>	10x10 100 1600M
6	5 gal	Curl-leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15x15 225 1350L+
23	5 gal	Rose of Sharon <i>Hibiscus syriacus</i>	10x10 100 2300M
24	5 gal	Gre Lo Sumac <i>Rhus aromatica</i>	3x7 49 1421 M
10	5 gal	Knock Out Roses <i>Rosa sp.</i>	2x4 16 160 L
20	5 gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	2.5x2 4 80 M
101	5 gal	Dwarf Fountain Grass <i>Pennisetum alopecuroides 'Hamelin'</i>	3x3 9 904 M
Total Shrub Coverage			23155
x	2-3cf	Boulders	Bury 1/3, Submit sample for approval

52703	Landscape Gravel / Filter Fabric Brown Gravel, 3/4"-1"
1248	Oversize Cobble 2-4" Fractured, On all slopes exceeding 3:1
64425	Native Revegetative Seed Mix Seed per City of Albuquerque, Standard Specification for native seed, East Side Mix
4496	Pond, Sides and Bottom, See Pond Notes. Seed per City of Albuquerque, Standard Specification for native seed, East Side Mix Landscape Area Dimensions Landscape Area Square Footage

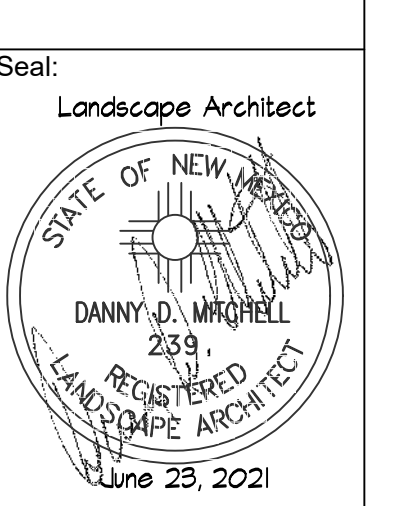
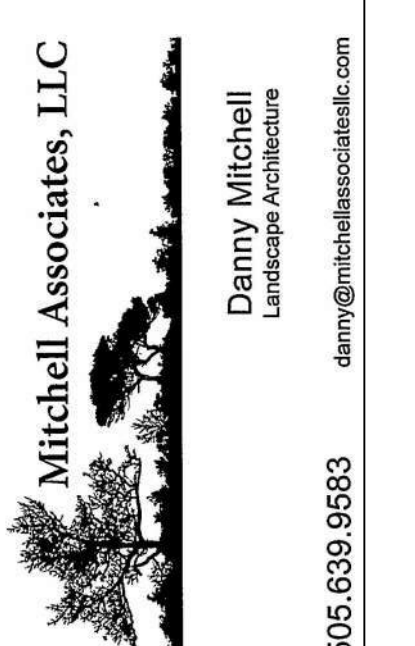


DESIGNED BY	DRAWN BY	APPROVED BY	DATE	REVISIONS
D. Mitchell	djm		June 23, 2021	PSB Comments

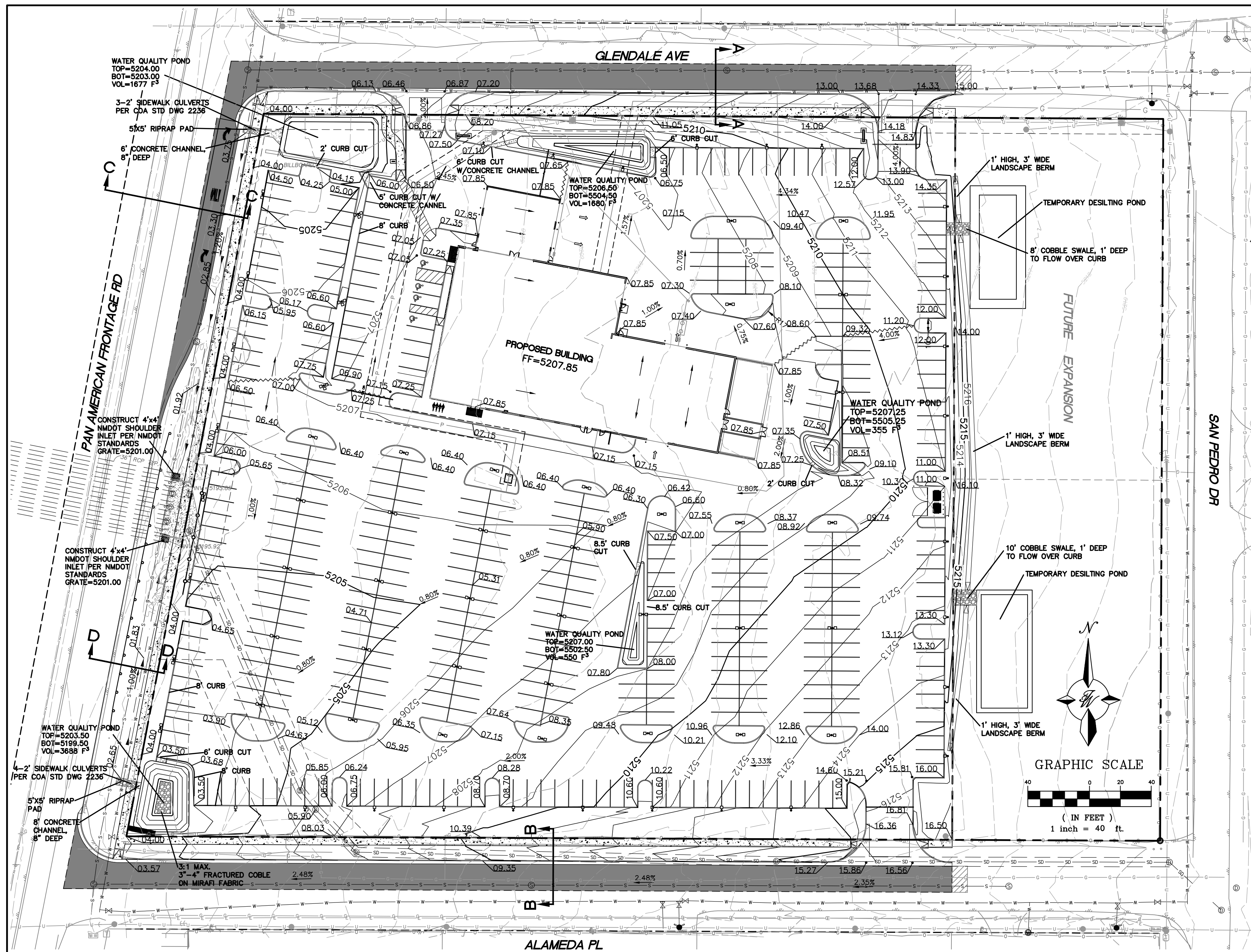
NEW MEXICO ONE CALL
STATEWIDE 811 OR
1-800-521-ALERT (2537)
www.nmonecall.org
Call two working days
before you dig.
File ID:

Landscape Plan

Auto Nation
Albuquerque, NM



DRAWING NO:
LS-101



LEGEND

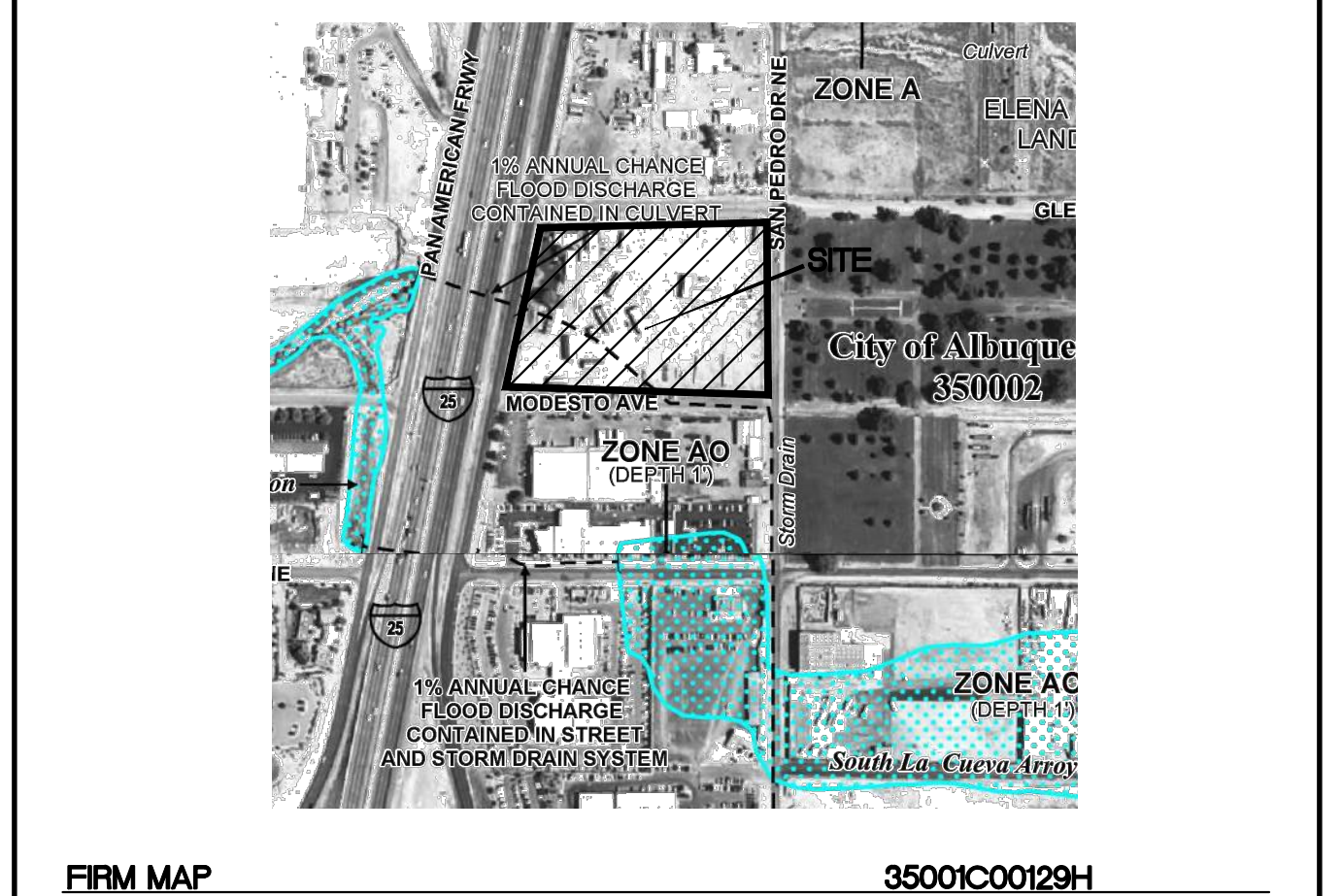
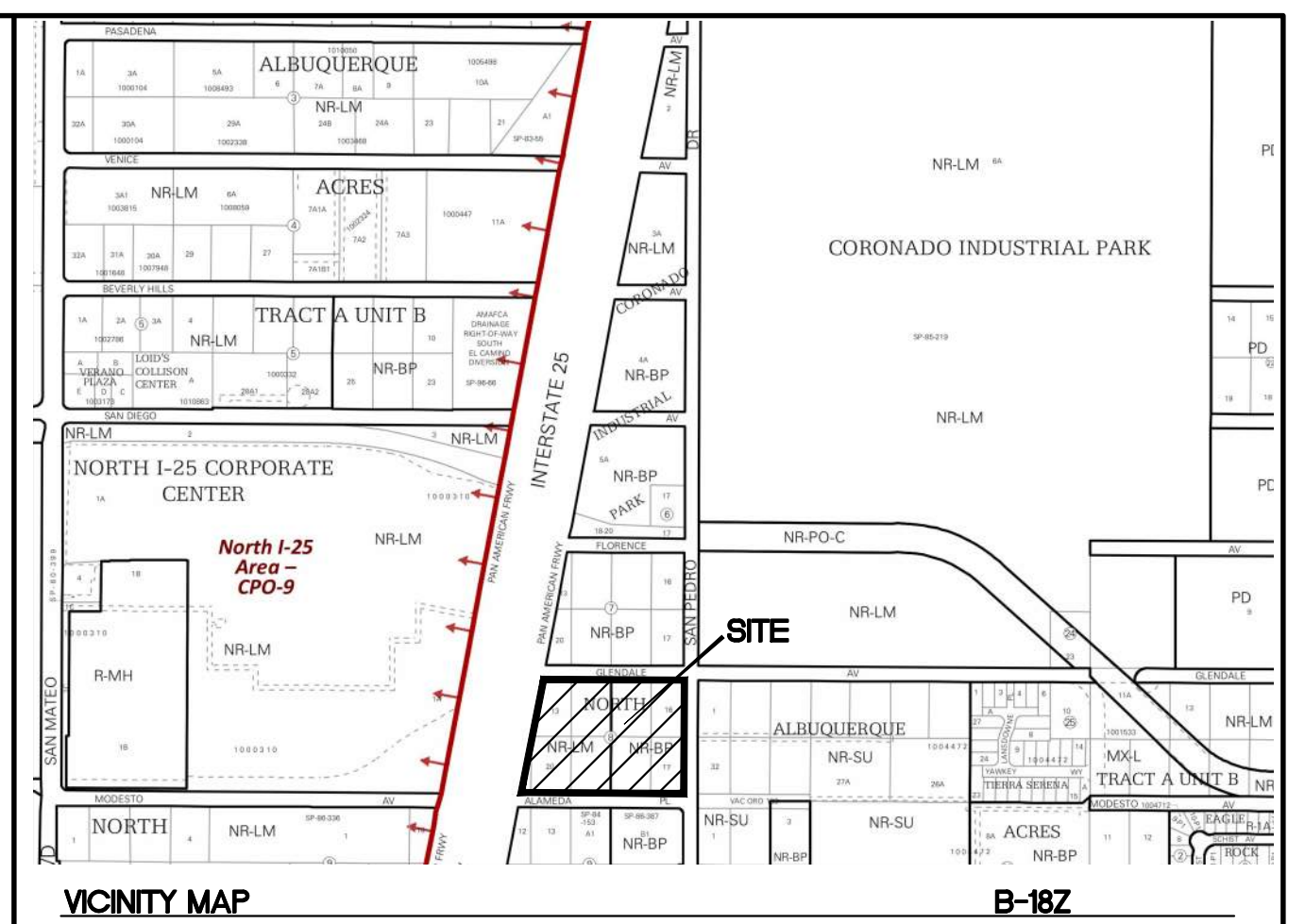
—	CURB & GUTTER
- - -	BOUNDARY LINE
- - -	EASEMENT
- - -	RIGHT-OF-WAY
- - -	BUILDING
- - -	SIDEWALK
—	5010 CONTOUR MAJOR
—	5011 CONTOUR MINOR
→	FLOW ARROW
- - -	EXISTING CURB & GUTTER
- - -	EXISTING BOUNDARY LINE
- - -	EXISTING CONTOUR MAJOR
- - -	EXISTING CONTOUR MINOR
x	EXISTING SPOT ELEVATION
⊙	EXISTING LIGHT STANDARD
- - -	SAWCUT LINE

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.



PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19 90-19)

1. BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
2. CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
3. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL 811 [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
7. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
8. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
9. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
10. CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

SEE SHEET GR-3 FOR ROAD CROSS SECTIONS

EXISTING DRAINAGE:

THIS SITE IS CURRENTLY VACANT AND IS LOCATED ON THE WEST SIDE OF SAN PEDRO BETWEEN GLENDALE AVENUE AND ALAMEDA PLACE. THE SITE IS BOUNDED BY ROADS ON ALL FOUR SIDES AND CONTAINS APPROXIMATELY 5.29 ACRES. THE SITE DRAINS FROM EAST TO WEST AND INTO A DRAINAGE SWALE ALONG THE EAST SIDE OF PAN AMERICAN FREEWAY. THE SWALE THEN DRAINS TO TWO EXISTING 36" RCP PIPES THAT DRAIN TO THE WEST UNDER INTERSTATE 25 AND INTO AN ARROYO. ACCORDING TO AN APPROVED DRAINAGE PLAN FOR THE SAN PEDRO STORM DRAIN PROJECT (CITY PROJECT NO. 5304.91) COMPLETED BY THOMPSON ENGINEERING IN JANUARY OF 2010, THIS SITE IS CONTAINED WITHIN BASIN 116.21. THAT BASIN ALSO INCLUDES 2 LOTS TO THE EAST OF THIS PROJECT THAT ARE OWNED BY THE SAME LAND OWNER. THAT BASIN WAS DESIGNED TO DRAIN 30.0 CFS TO THE SAN PEDRO STORM SEWER. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THIS PROJECT DOES RECEIVE OFFSITE FLOW FROM THE 2 LOTS TO THE EAST ALONG SAN PEDRO.

PROPOSED DRAINAGE:

THE SITE WILL CONTINUE TO DRAIN FROM EAST TO WEST INTO THE EXISTING DRAINAGE SWALE ALONG PAN AMERICAN FREEWAY AND IS DIVIDED INTO THREE BASINS. THE OFFSITE LOTS TO THE EAST WILL CONTINUE TO DRAIN THROUGH THIS SITE VIA TEMPORARY DESILTING PONDS LOCATED ALONG THE PROPERTY LINE. BASIN OF-1 WILL DRAIN A 100YR, 6-HR FLOW OF 1.67 CFS TO BASIN "B" WHILE BASIN OF-2 WILL DRAIN A 100YR, 6-HR FLOW OF 4.10 CFS TO BASIN "C".

BASIN "B" WILL GENERATE A 100YR, 6-HR FLOW OF 4.47 CFS WHICH WILL BE DIRECTED TO A WATER QUALITY POND. BASIN "B" WILL PASS THROUGH THE OFFSITE FLOWS FROM BASIN OF-1. THE POND WILL CONTAIN THE REQUIRED WATER QUALITY VOLUME AND THEN OVERFLOW TO BASIN "A".

BASIN "A" WILL GENERATE A 100YR, 6-HR FLOW OF 2.36 CFS WHICH WILL BE DIRECTED TO A WATER QUALITY POND. BASIN "A" WILL PASS THROUGH THE FLOWS FROM BASIN "B" AND BASIN OF-1. THE POND WILL CONTAIN THE REQUIRED WATER QUALITY VOLUME AND THEN BE ALLOWED TO OVERFLOW INTO THE EXISTING DRAINAGE SWALE ALONG PAN AMERICAN FREEWAY AS IT DOES IN THE EXISTING CONDITION.

BASIN "C" WILL GENERATE A 100YR, 6-HR FLOW OF 14.26 CFS WHICH WILL BE DIRECTED TO TWO WATER QUALITY PONDS. BASIN "C" WILL PASS THROUGH THE FLOWS FROM BASIN OF-2. THE COMBINED VOLUME OF THE PONDS CONTAIN THE REQUIRED WATER QUALITY VOLUME. ALL FLOWS EVENTUALLY WILL PASS THROUGH THE WATER QUALITY POND LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY AND OVERFLOW INTO THE EXISTING DRAINAGE SWALE ALONG PAN AMERICAN FREEWAY AS IT DOES IN THE EXISTING CONDITION.

THE EXISTING DRAINAGE SWALE ALONG PAN AMERICAN FREEWAY WILL BE CLEANED AND LINED WITH COBBLE TO PREVENT EROSION. THE TOTAL DISCHARGE TO THE SWALE IS 26.86 CFS WHICH IS WELL BELOW THE 30.0 CFS ALLOWED PER THE APPROVED DRAINAGE ANALYSIS.



	ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER	AUTO NATION ALBUQUERQUE, NM	DRAWN BY pm
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 7-13-21	DRAWING 2021010-GR
TERRA WEST, LLC 5571 MIDWAY PARK BL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		SHEET # GR-1	JOB # 2021010

CAUTION
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

Weighted E Method (Developed)

On-Site Basins																	
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year			
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs	
A	26,610	0.61	0%	0	24%	0.15	0%	0.00	76%	0.46	1.963	0.100	2.36	1.220	0.062	1.40	
B	49,337	1.13	0%	0	20%	0.23	0%	0.00	80%	0.91	2.024	0.191	4.47	1.268	0.120	2.67	
C	154,430	3.55	0%	0	16%	0.57	0%	0.00	84%	2.98	2.085	0.616	14.26	1.316	0.389	8.61	
Total											21.09						

Off-Site Basins																	
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year			
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs	
OF-1	17,982	0.41	0%	0	15%	0.06	0%	0.00	85%	0.35	2.101	0.072	1.67	1.329	0.046	1.01	
OF-2	44,159	1.01	0%	0	15%	0.15	0%	0.00	85%	0.86	2.101	0.177	4.10	1.329	0.112	2.48	
Total											5.77						

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (inches)

Zone	100-Year		10-Year	
	Zone 2	100-Year	10-Year	Zone 2
E _a	0.62	0.15		
E _b	0.80	0.30		
E _c	1.03	0.48		
E _d	2.33	1.51		

Peak Discharge (cfs/acre)

Zone	100-Year		10-Year	
	Zone 2	100-Year	10-Year	Zone 2
Q _a	1.71	0.41		
Q _b	2.36	0.95		
Q _c	3.05	1.59		
Q _d	4.34	2.71		

Water Quality Calculations

Basin	Impervious Area (sf)	SWQV (in)	Storm Water Quality Vol. (ft ³)	Storm Water Quality Vol. (ac-ft)
A	20,224	0.42	708	0.016
B	39,470	0.42	1381	0.032
C	129,721	0.42	4540	0.104
OF-1	15,285	0.42	535	0.012
OF-2	37,535	0.42	1314	0.030

Channel Capacity

	Top Width (ft)	Bottom Width (ft)	Depth (ft)	Area (ft ²)	WP (ft)	R	Slope (%)	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
Channel	3	3	0.67	2.01	4.34	0.4631	1	13.79	8.50	4.23
Channel	4	4	0.67	2.68	5.34	0.5019	1	19.40	18.36	6.85

Manning's Equation:

$Q = 1.49/n \cdot A \cdot R^{2/3} \cdot S^{1/2}$

- A = Area
- R = D/4
- S = Slope
- n = 0.013

Curb Opening Capacity

Weir Equation:

$Q = CLH^{3/2}$

- Q = Flow
- C = 2.95
- L = Length of weir
- H = Height of Weir

Basin "A" Curb Openings

$Q = 2.95 \cdot 5.0 \cdot 0.67^{3/2}$
 $Q = 8.90 \text{ cfs} < Q = 8.50 \text{ cfs}$

Basin "B" Curb Openings

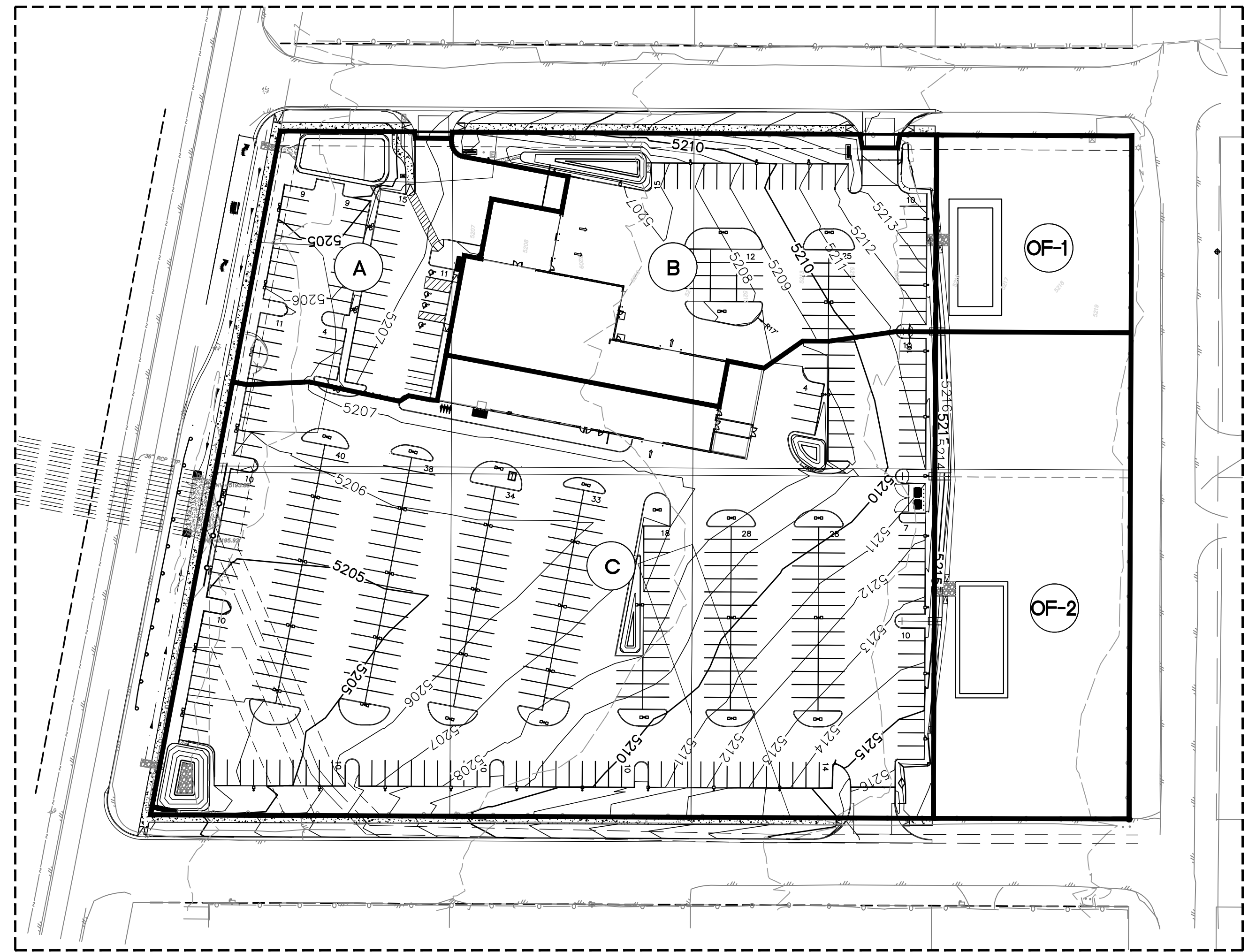
$Q = 2.95 \cdot 6 \cdot 0.53^{3/2}$
 $Q = 6.26 \text{ cfs} < Q = 6.14 \text{ cfs}$

Upper Basin "C" Curb Openings

$Q = 2.95 \cdot 8.5 \cdot .53^{3/2}$
 $Q = 8.87 \text{ cfs} < Q = 8.85 \text{ cfs}$

Lower Basin "C" Curb Openings

$Q = 2.95 \cdot 11.5 \cdot .67^{3/2}$
 $Q = 18.61 \text{ cfs} < Q = 18.36 \text{ cfs}$



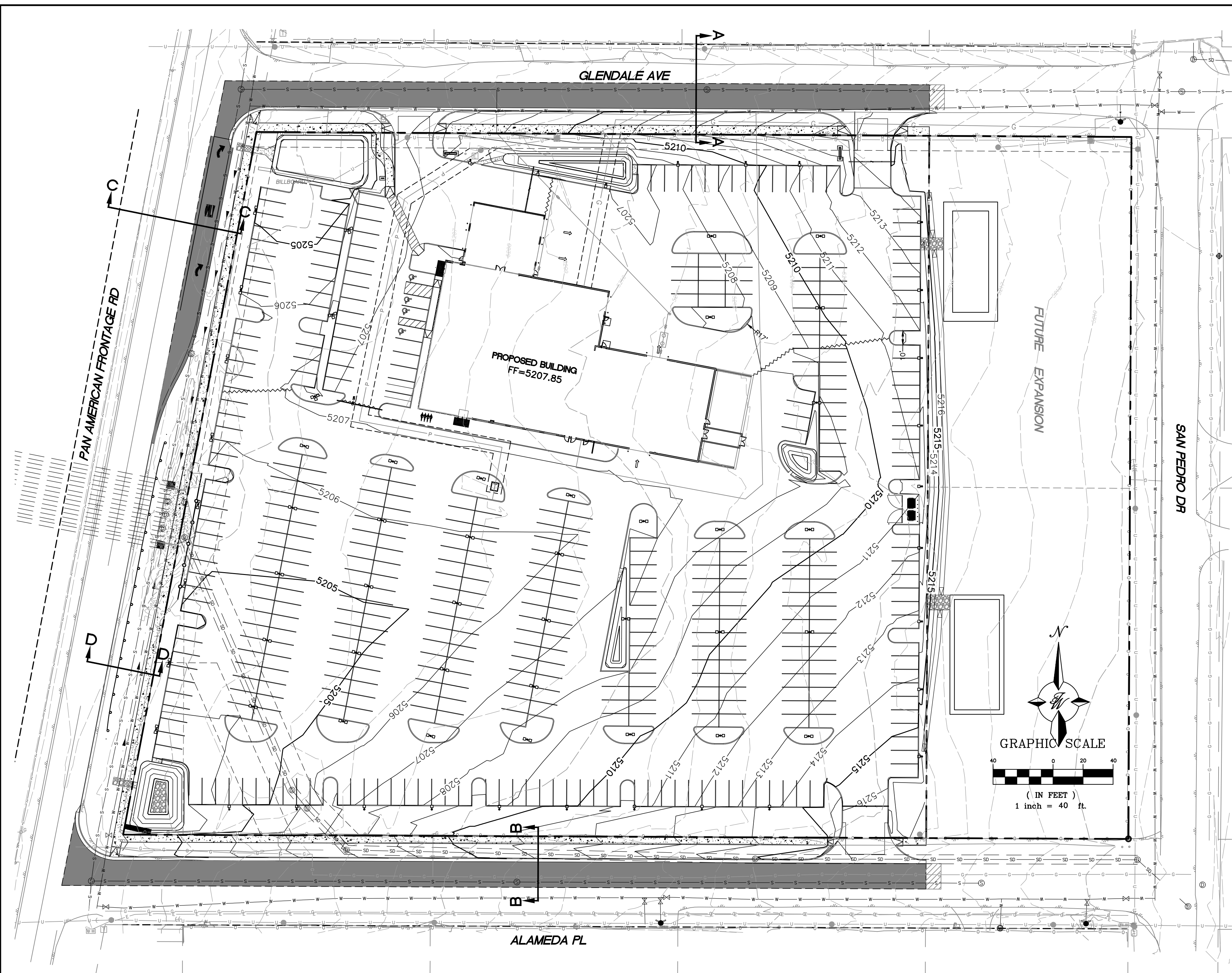
BASIN MAP

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 07/15/21
 BY: *Ronald R. Bohannan*
 HydrTeam # B18D027

THESE PLANS AND/OR REPORT ARE
 CONCEPTUAL ONLY. MORE INFORMATION MAY
 BE NEEDED IN THEM AND SUBMITTED TO
 HYDROLOGY FOR BUILDING PERMIT APPROVAL.

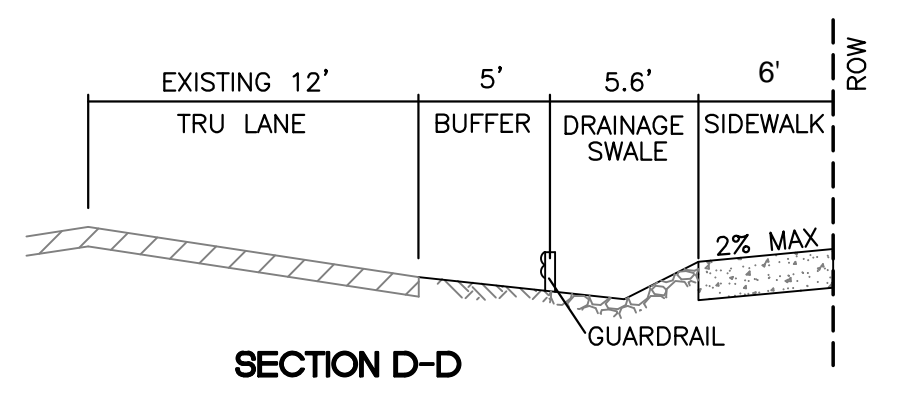
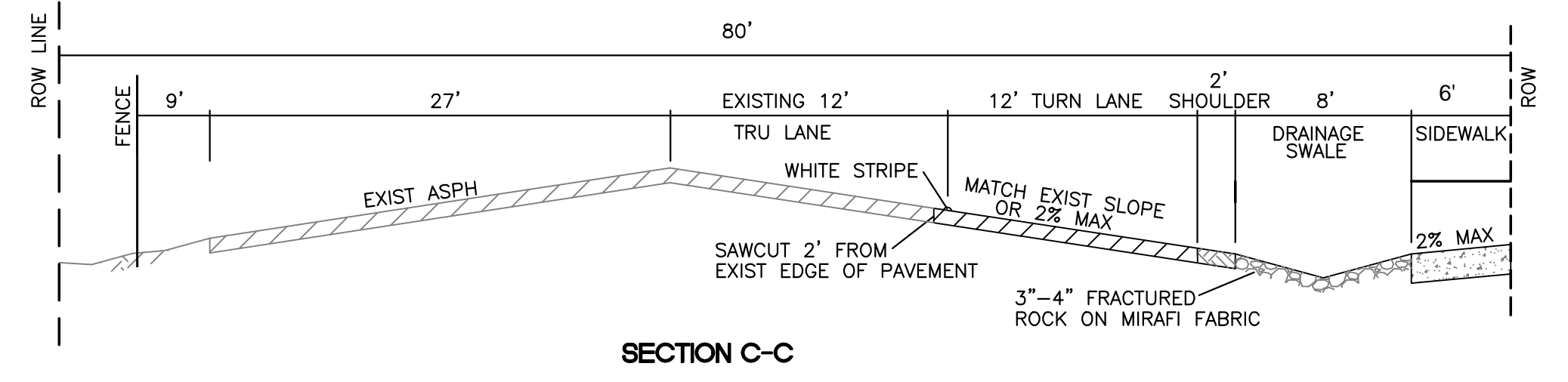
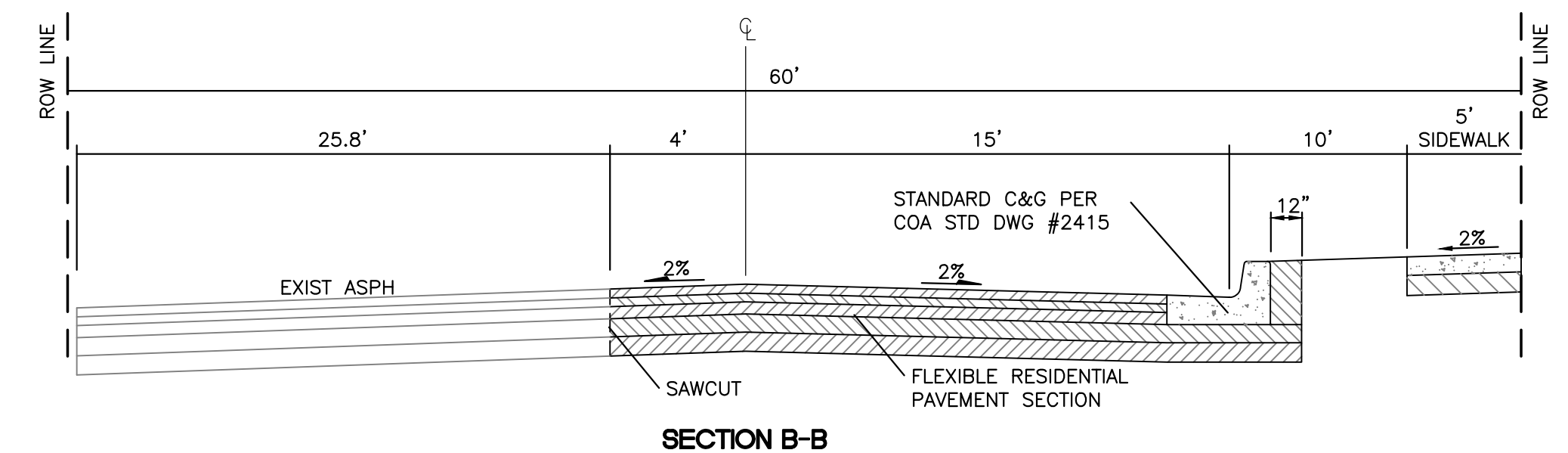
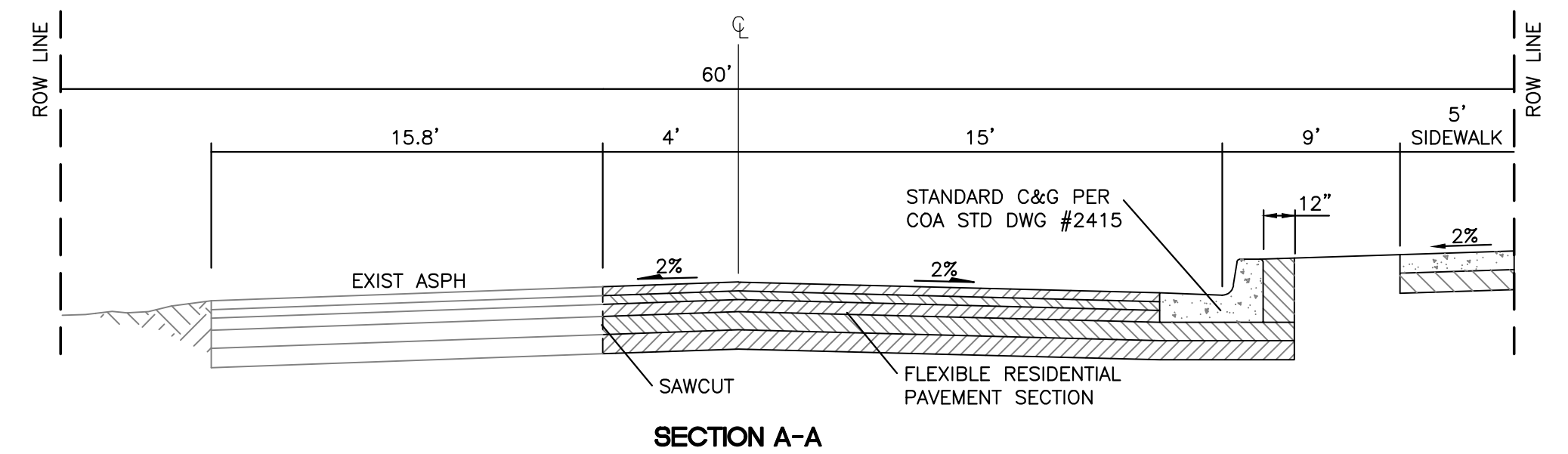
 RONALD R. BOHANNAN P.E. #7868	AUTO NATION ALBUQUERQUE, NM	DRAWN BY pm
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 7-13-21
	 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2021010-GR
		SHEET # GR-2
		JOB # 2021010

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LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	CONTOUR MAJOR
	CONTOUR MINOR
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	EXISTING LIGHT STANDARD
	SAWCUT LINE

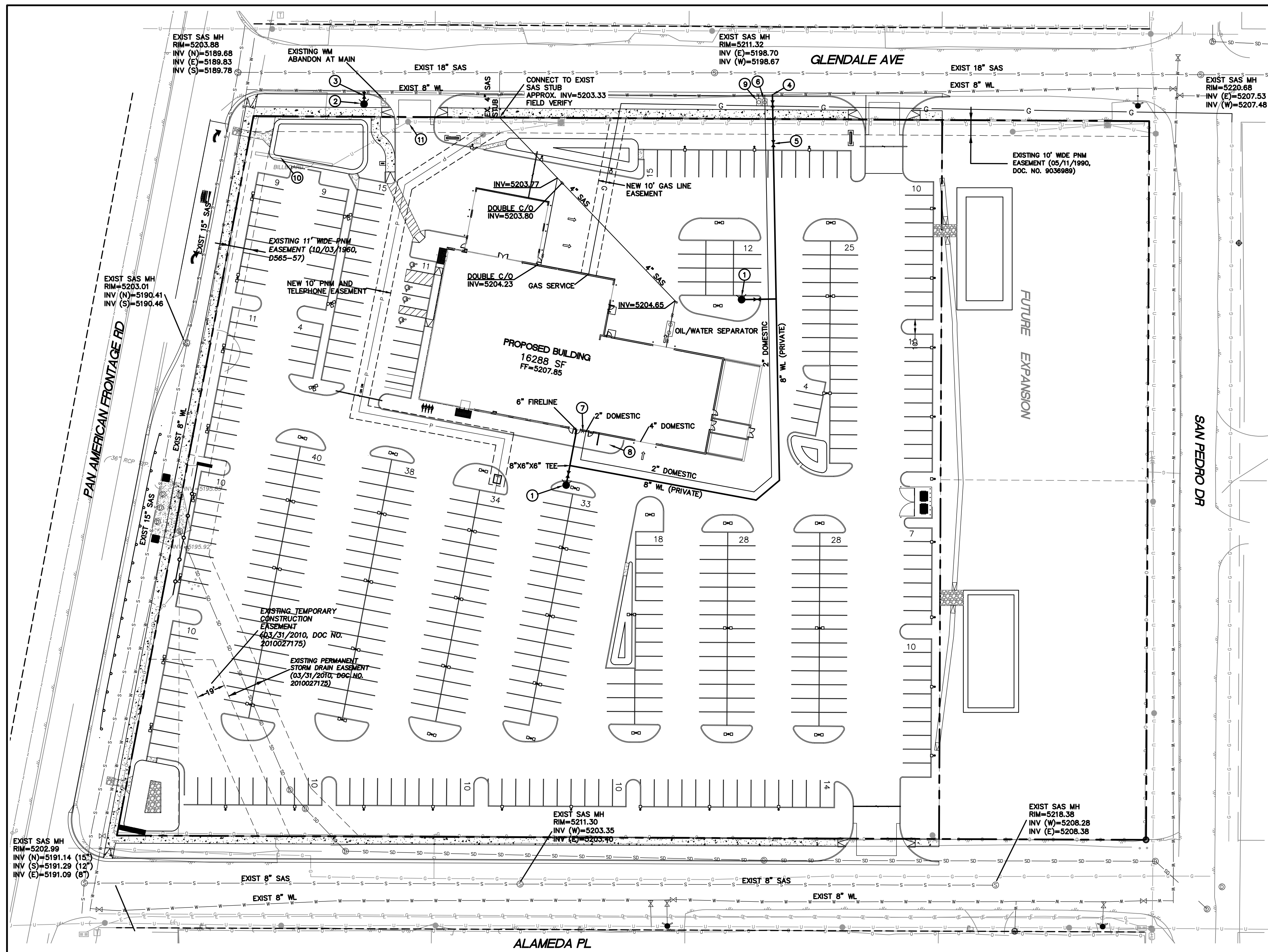


City of Albuquerque
Planning Department
Development Review Services
PRELIMINARY APPROVED
DATE: 07/15/21
BY: *Ronald R. Bohannan*
HydroTrans # B18D027

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 RONALD R. BOHANNAN P.E. #7868	AUTO NATION ALBUQUERQUE, NM	DRAWN BY pm
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 7-13-21
 TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-3	DRAWING 2021010-GR
		JOB # 2021010

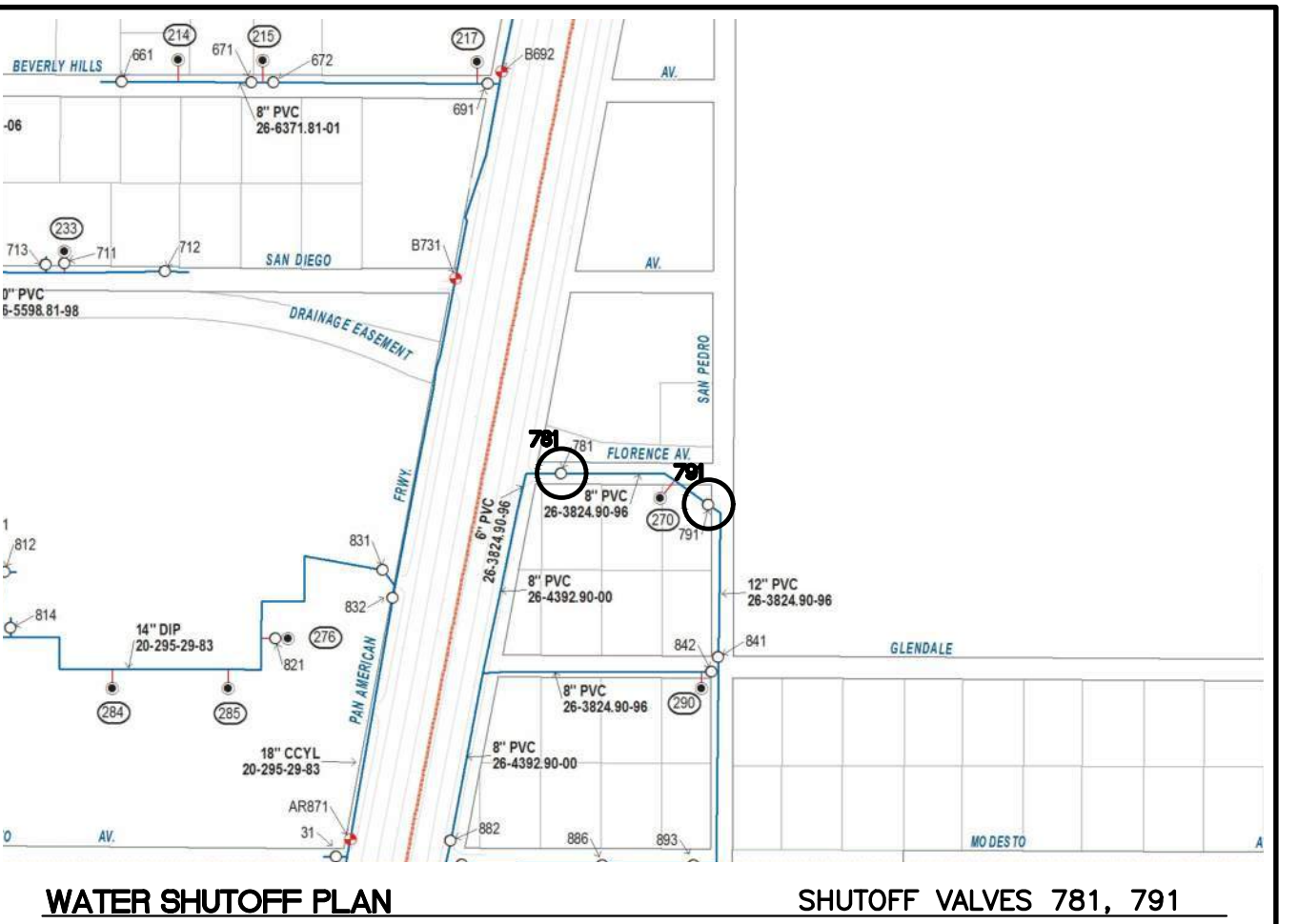


LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- ▭ BUILDING
- EXISTING CURB & GUTTER
- 8" SAS
- 8" WL
- ⊙ DOUBLE CLEAN OUT
- ⊙ PROPOSED HYDRANT
- PROPOSED POWER LINE
- PROPOSED TELEPHONE LINE
- PROPOSED GAS LINE

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.



THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/full/463/729/).

KEYED NOTES

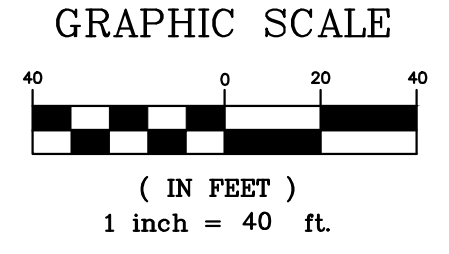
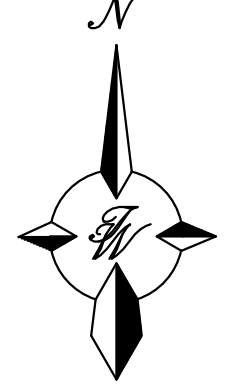
- 1 NEW PRIVATE FIRE HYDRANT PER COA STD DWG 2340
- 2 NEW PUBLIC FIRE HYDRANT PER COA STD DWG 2340
- 3 6" GATE VALVE (PUBLIC) PER COA STD DWG 2326
N=_____, E=_____
- 4 8"x8"x8" TEE
8" GATE VALVE (PUBLIC) PER COA STD DWG 2326
N=_____, E=_____
- 5 PIV
- 6 2" WATER METER AND BOX PER CO STD DWG 2301, 2361, 2363, 2367
- 7 FDC
- 8 TRANSFORMER
- 9 1" LANDSCAPE METER
- 10 BILLBOARD TO BE REMOVED
- 11 EXISTING POWER POLE TO BE REMOVED

INSPECTION NOTE

CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

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	AUTO NATION ALBUQUERQUE, NM	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 6-22-21
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2021010-SP
RONALD R. BOHANNAN P.E. #7868	SHEET # MU-1	JOB # 2021010

GLAZING LEGEND:	
[GL-1]	1" Insulated with Low-E SolarBan 90 Acuity + Acuity Visible Light Transmittance 53% U-Value Summer 0.29 Winter 0.24 SHGC 0.23
[GL-2]	1" Insulated with Low-E SolarBan 90 Acuity + Acuity Tempered Visible Light Transmittance 53% U-Value Summer 0.29 Winter 0.24 SHGC 0.23
[GL-3]	1/4" Clear
[GL-4]	1/4" Clear - Tempered
[GL-5]	3/8" Clear - Tempered

NOTES - WIND & IMPACT RESISTANCE

1609.1.2 PROTECTION OF OPENINGS.
 IN WIND-BORNE DEBRIS REGIONS, GLAZING IN BUILDINGS SHALL BE IMPACT RESISTANT OR PROTECTED WITH AN IMPACT-RESISTANT COVERING MEETING THE REQUIREMENTS OF AN APPROVED IMPACT-RESISTANT STANDARD OR ASTM E 1996 AND ASTM E 1886 REFERENCED HEREIN AS FOLLOWS:

- GLAZED OPENINGS LOCATED WITHIN 30 FEET (9144 MM) OF GRADE SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996.
- GLAZED OPENINGS LOCATED MORE THAN 30 FEET (9144 MM) ABOVE GRADE SHALL MEET THE PROVISIONS OF THE SMALL MISSILE TEST OF ASTM E 1996.

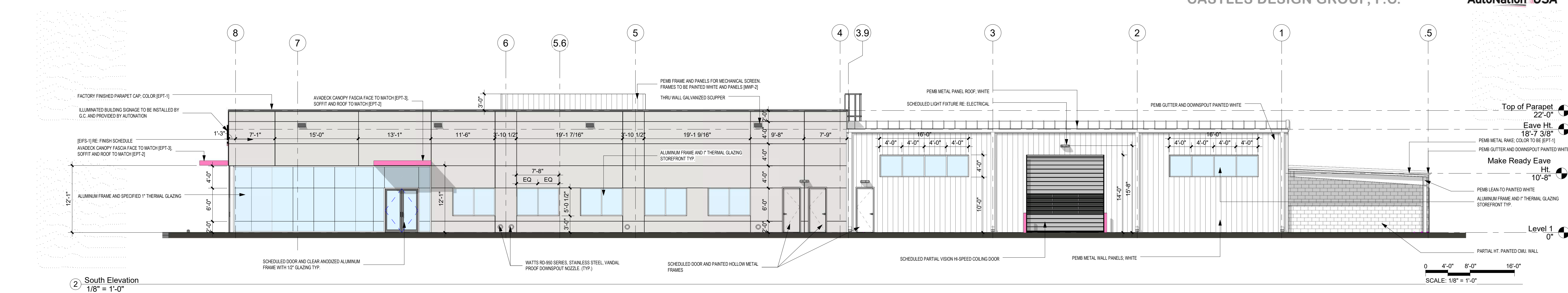
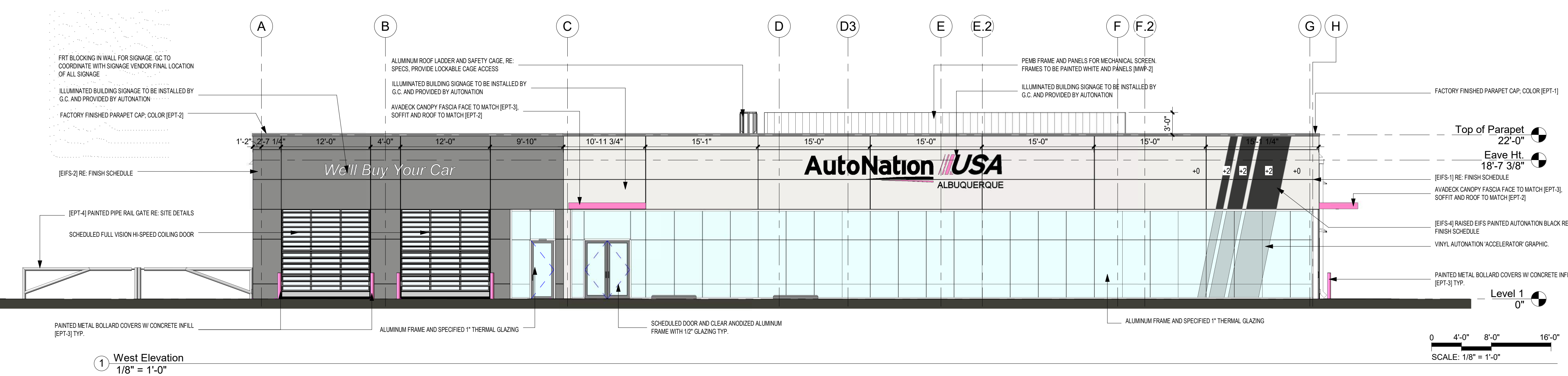
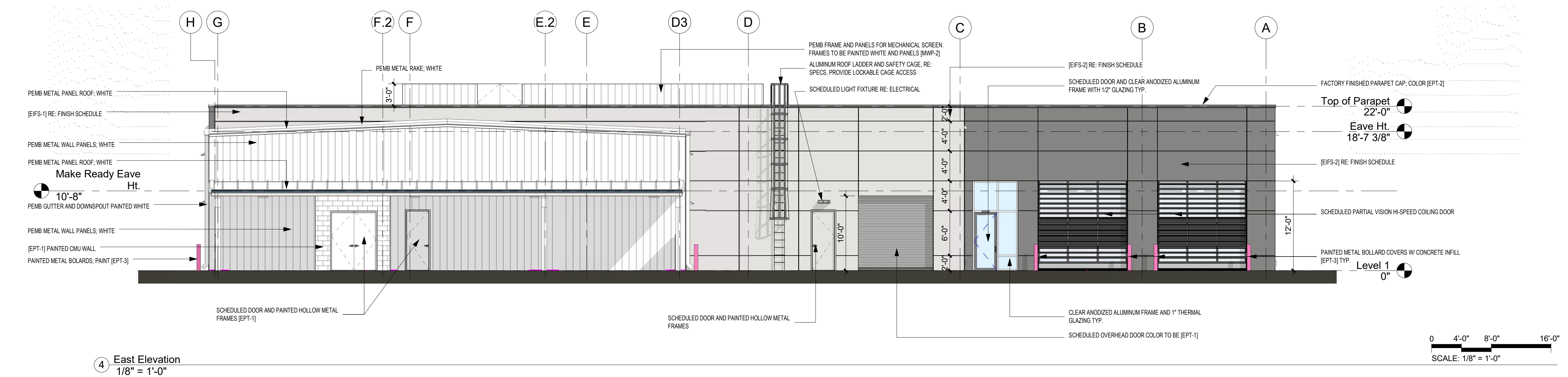
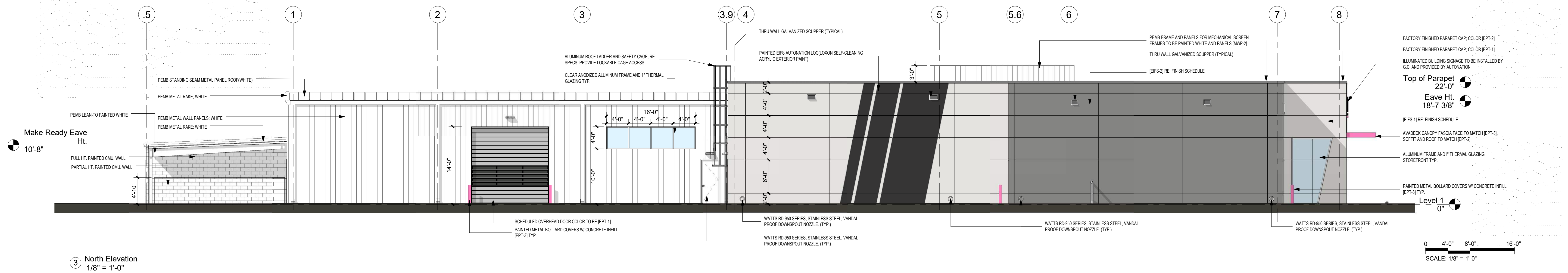
Revisions		
Revision Schedule		
Revision Number	Revision Description	Revision Date

THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR THE FOLLOWING PROJECT:

AUTONATION USA
ALBUQUERQUE
9100 PAN AMERICAN FREEWAY

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CASTLES DESIGN GROUP, P.C.



MATERIALS AND COLORS
AutoNation USA - ALBUQUERQUE, NM
9100 PAN AMERICAN FREEWAY
EXTERIORS

EPT-1
AUTONATION WHITE
60% TYP. CEILING
BRIGHT WHITE
PAINTED CMU

EIFS-1
AUTONATION WHITE
SW 7007

EPT-2
AUTONATION MEDIUM GREY
SW 7002 PANEL, LIGHT GREY
PAINTED CMU

EIFS-2
AUTONATION MEDIUM GREY
SW 7002 PANEL, LIGHT GREY
PAINTED CMU

EPT-3
AUTONATION PINK
MATCH PANTONE 281C
PAINTED METAL SURFACE

EPT-4
AUTONATION BLACK
SW 6509 TRICOLOM BLACK
PAINTED CMU

EIFS-4
AUTONATION BLACK
SW 6509 TRICOLOM BLACK

GL-1/ GL-2
1" INSULATED WITH LOW-E
SOLARBAN 90
Visible Light Transmittance 53%
U-Value Summer 0.29 Winter 0.24
SHGC 0.23

GL-3
1/4" Clear

GL-4
1/4" Clear - Tempered

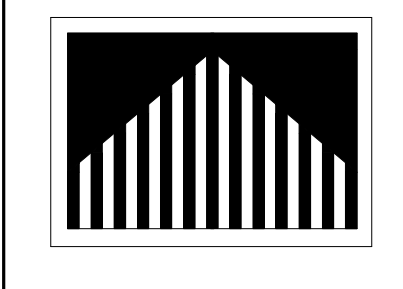
GL-5
3/8" Clear - Tempered

WALL PROFILE CLADDING MANUFACTURER: SIBIC
STYLE: FASH-1.2 PANEL
COLOR: POLAR WHITE
(SIGNATURE 200 OR HIGHER)

FULL VISION HI-SPEED COILING DOOR

ALUMINUM STORE FRONT

AUTONATION USA
ALBUQUERQUE
9100 PAN AMERICAN FREEWAY



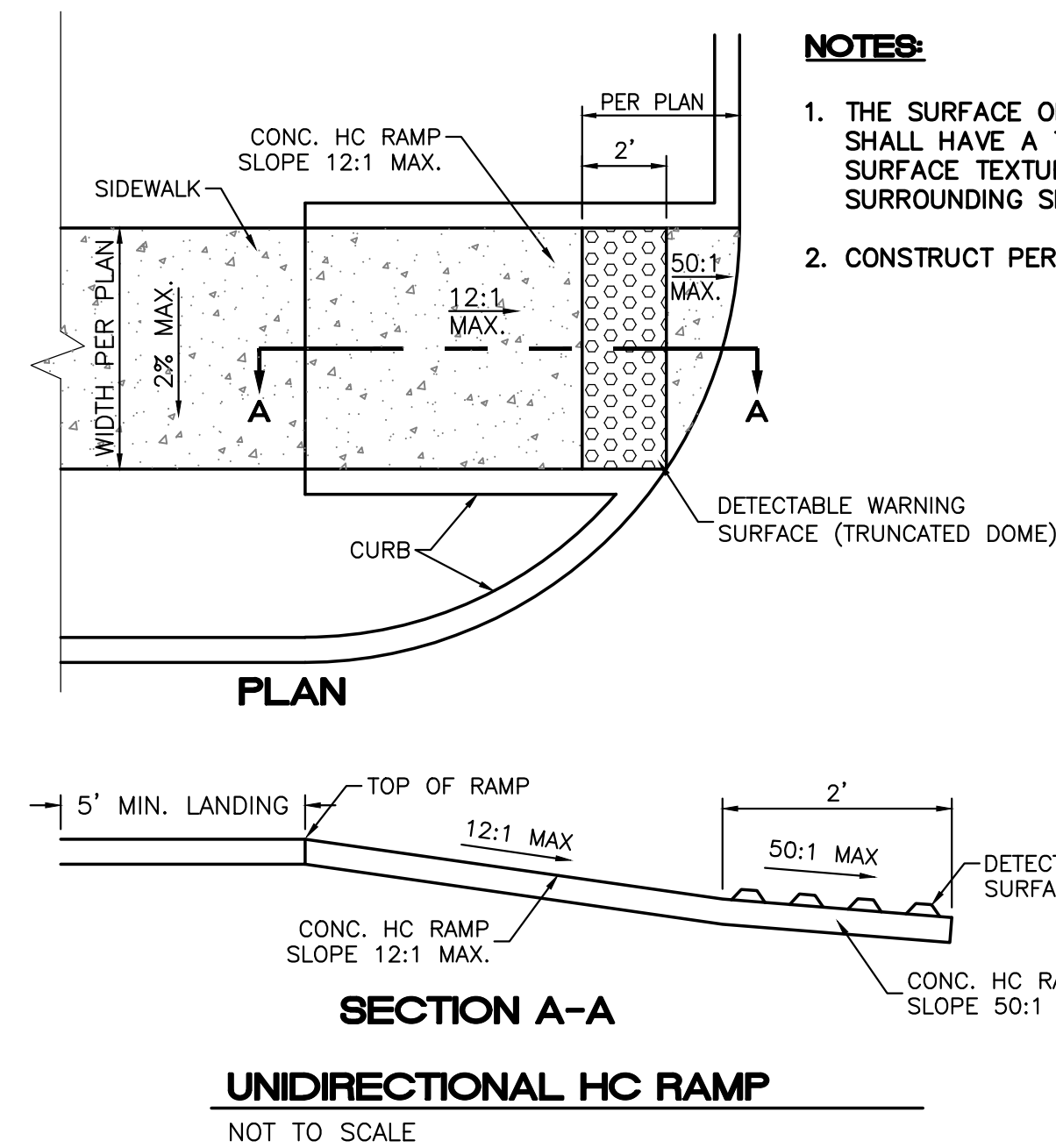
Castles Design Group

A Professional
Architectural Corporation
3801 Kirby Dr., Suite 600
Houston, Texas 77098
tel: 713 664 7974
fax: 713 664 9536

Exterior Elevations

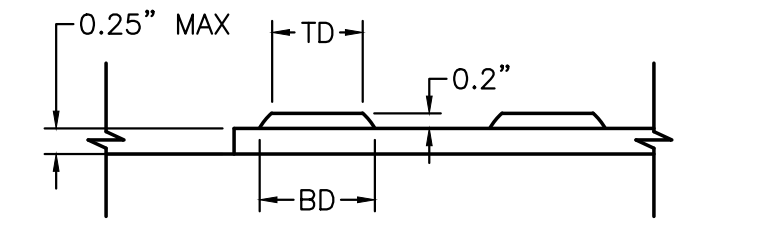
A2.11

Date: 05.12.21
Project No: 202011-467

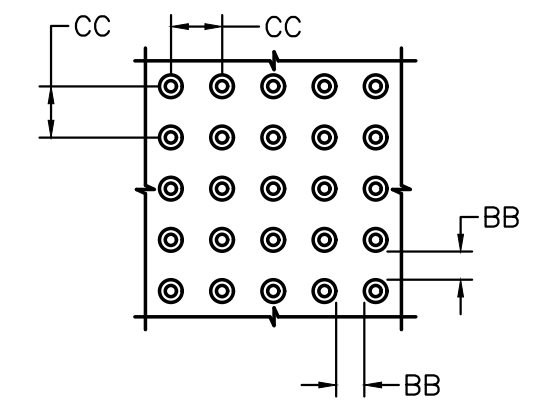


UNIDIRECTIONAL HC RAMP
NOT TO SCALE

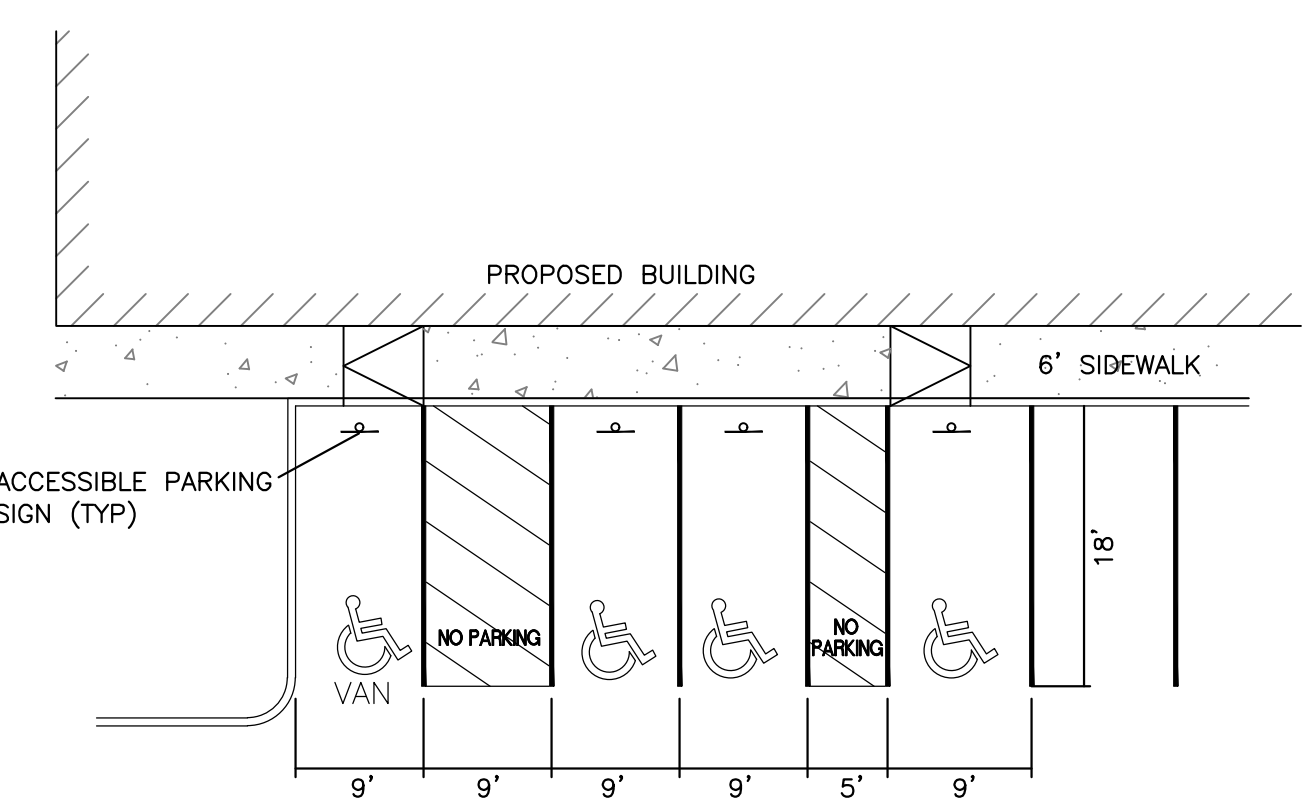
- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.



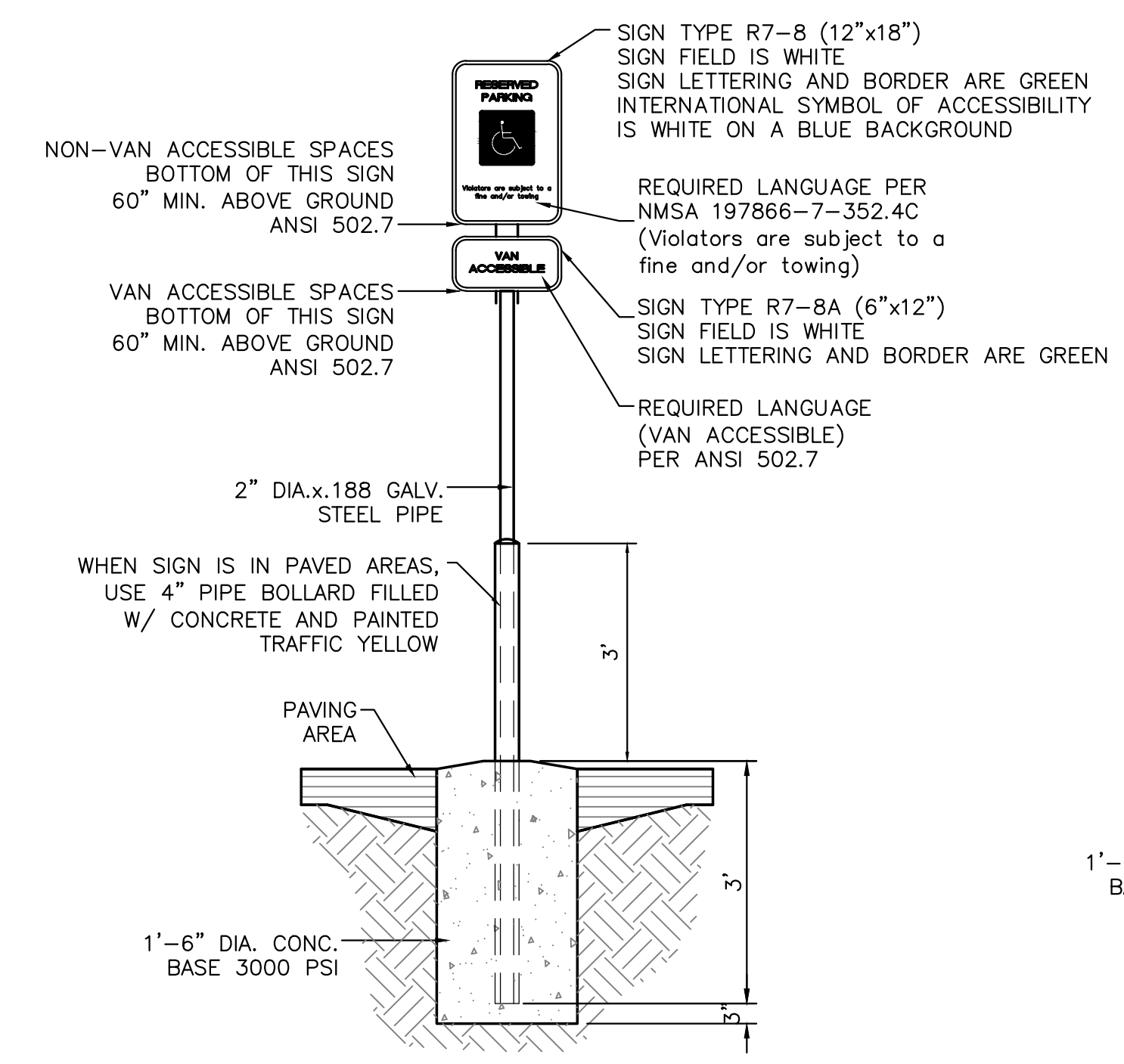
DOMES SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



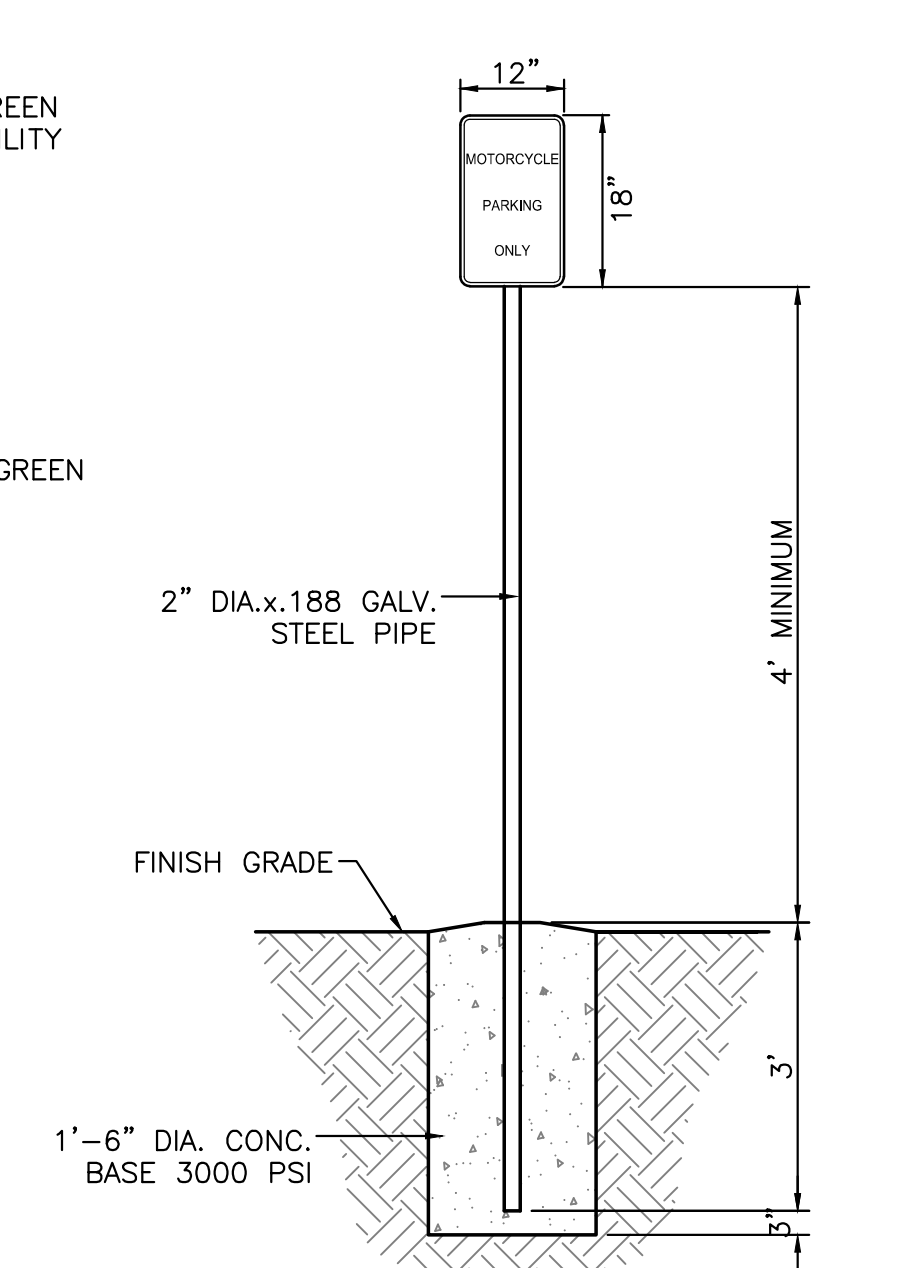
DOMES SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



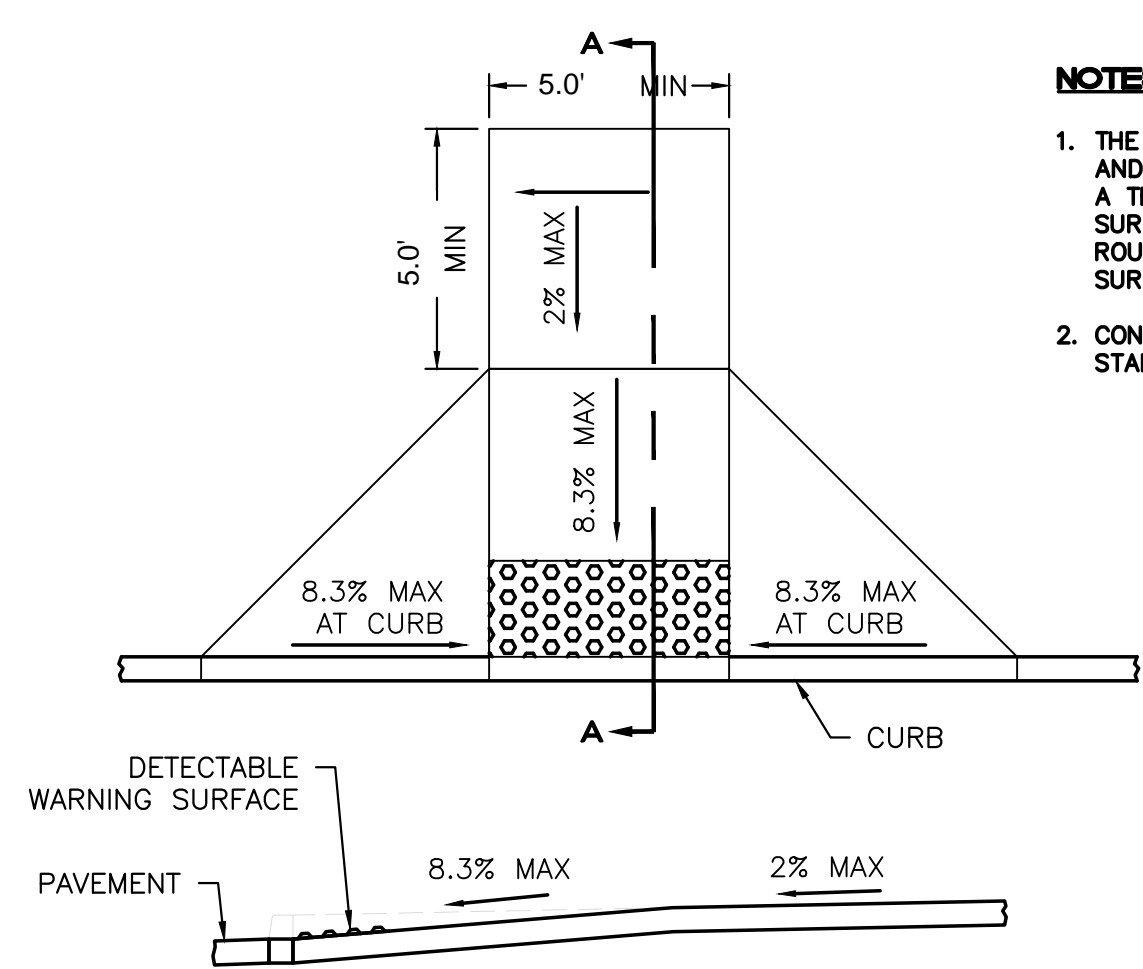
ACCESSIBLE PARKING DETAIL
NTS



ACCESSIBLE PARKING SIGN
NTS

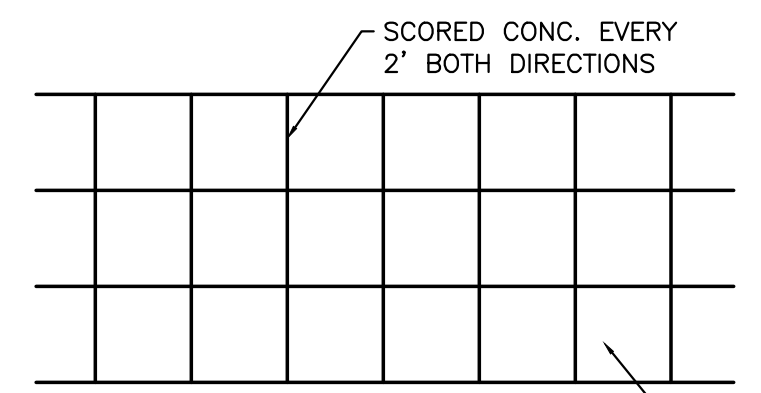


MOTORCYCLE PARKING SIGN
NTS

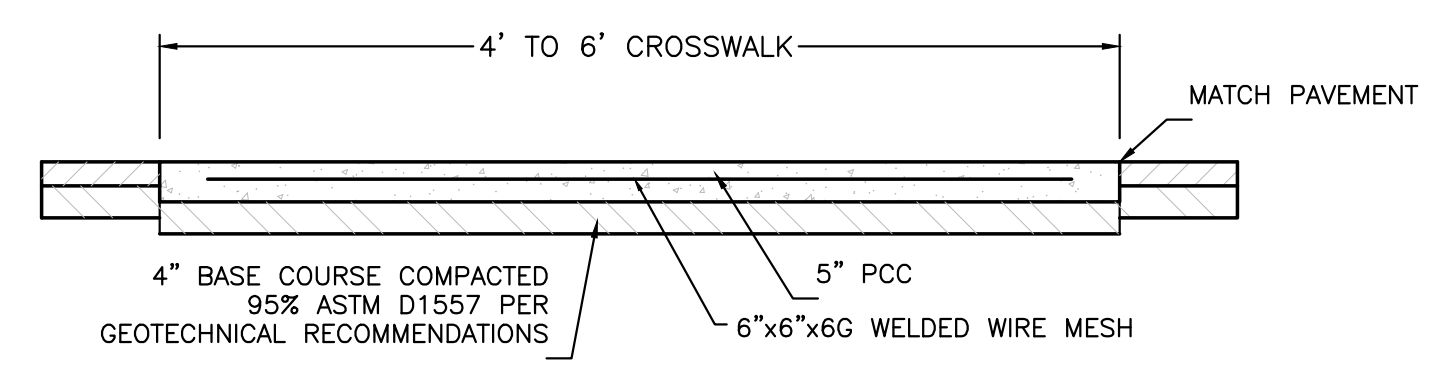


SECTION A-A FLAIED CURB HC RAMP
NOT TO SCALE

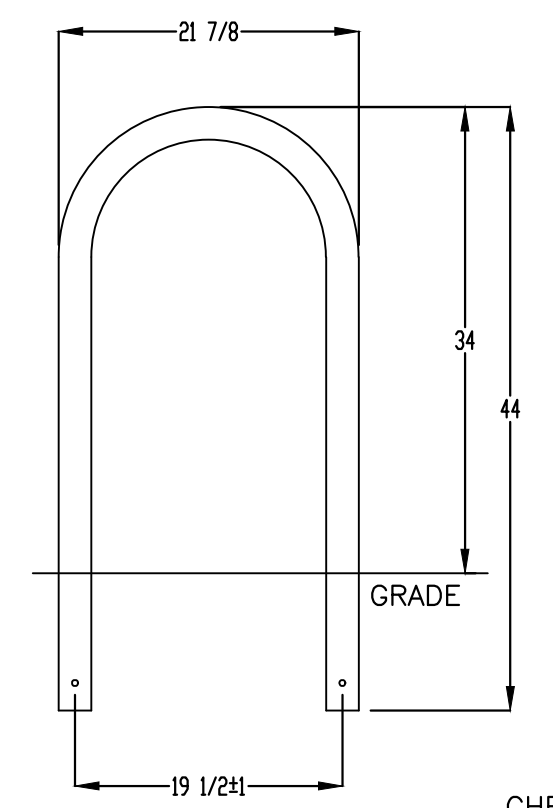
- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.



CROSSWALK PLAN VIEW

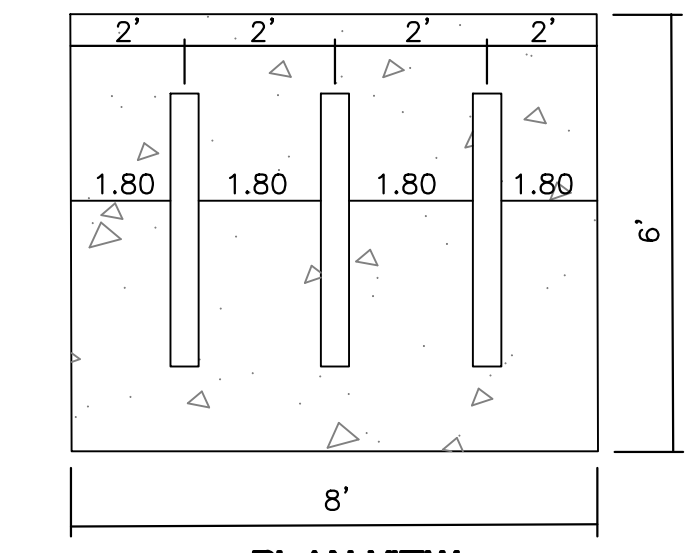


PEDESTRIAN CROSSING DETAIL
NTS



BIKE RACK DETAIL
SCALE: NONE

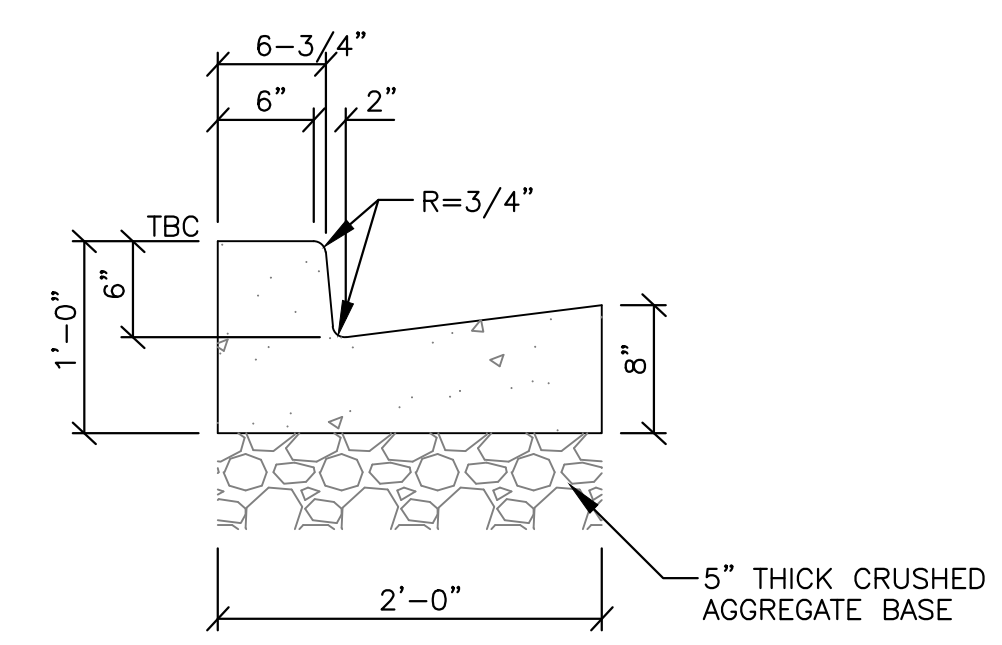
MADRIX DIVISION
GRABER MANUFACTURING, INC.
1080 UNIKER DRIVE
WILMINGTON, VT 05397
PHONE: 448-7920, 603-849-1800, 603-849-1081
WWW.MADRIX.COM, E-MAIL: SALES@MADRIX.COM



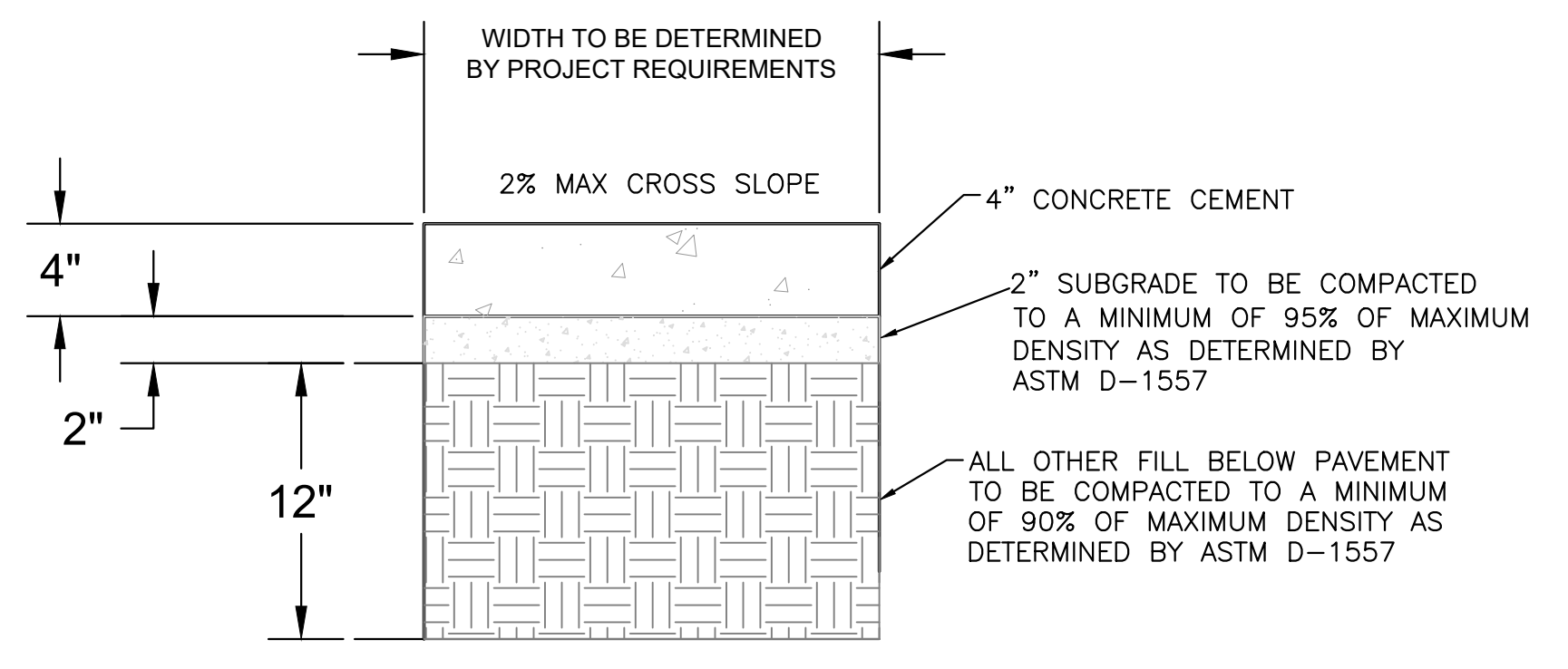
PLAN VIEW

PRODUCT: U238-1G(SF)
DESCRIPTION: BIKE RACK
DATE: 10-4-18
ENG: SMC
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- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
 4. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
 5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

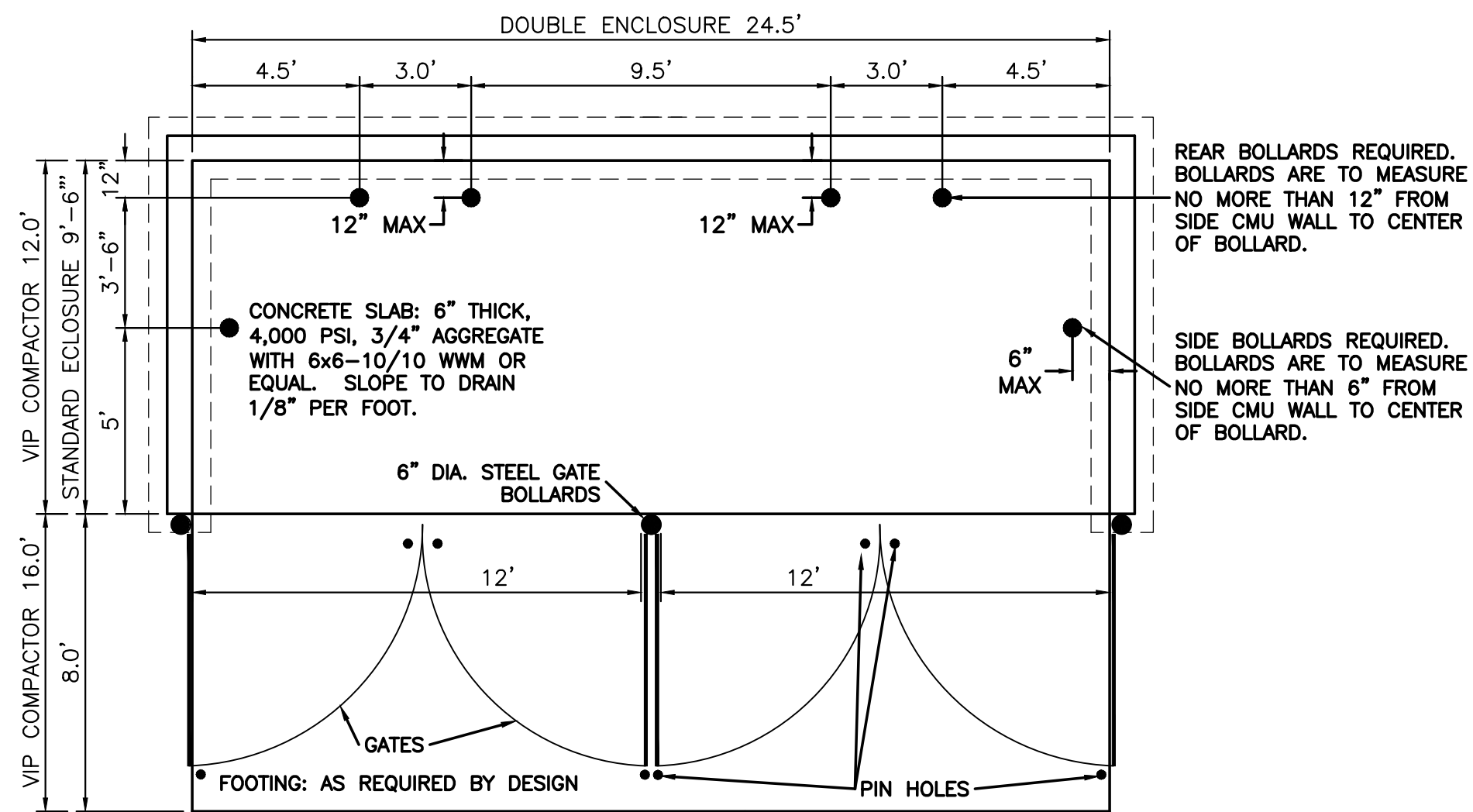


STANDARD CURB AND GUTTER
NTS



CONCRETE SIDEWALK SECTION

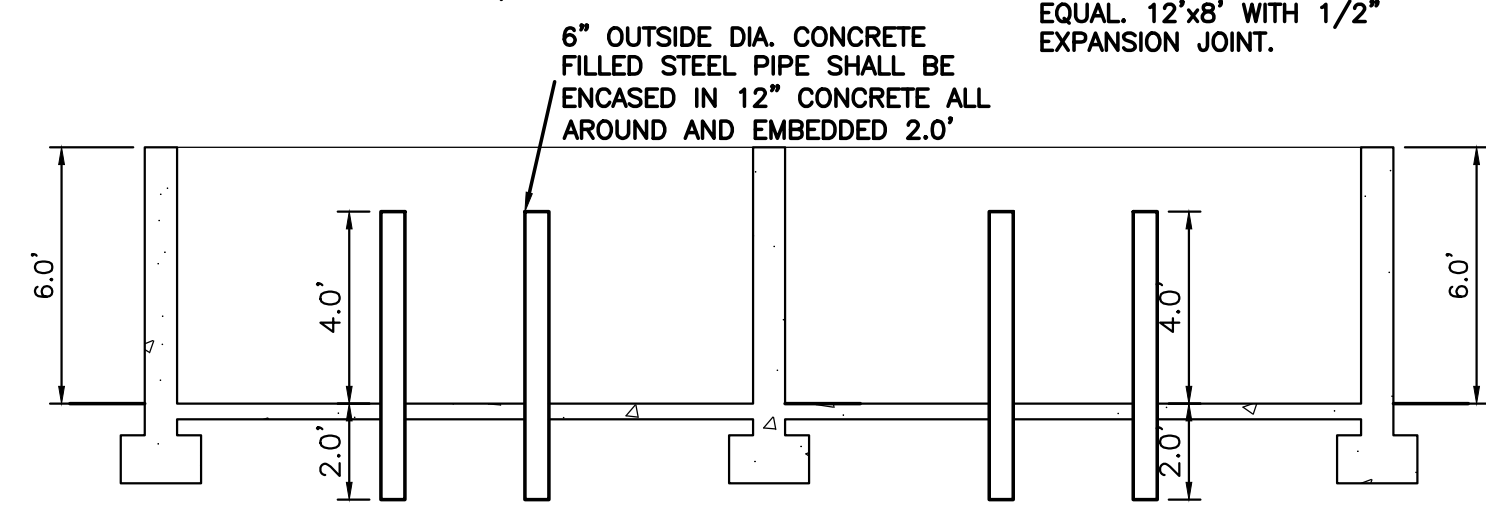
	AUTO NATION ALBUQUERQUE, NM	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 7-13-21
	TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2021010-DET
RONALD R. BOHANNAN P.E. #7868		SHEET # DET-1
		JOB # 2021010



CONCRETE SLAB: 6" THICK, 4,000 PSI, 3/4" AGGREGATE WITH 6x6-10/10 WWM OR EQUAL. SLOPE TO DRAIN 1/8" PER FOOT.

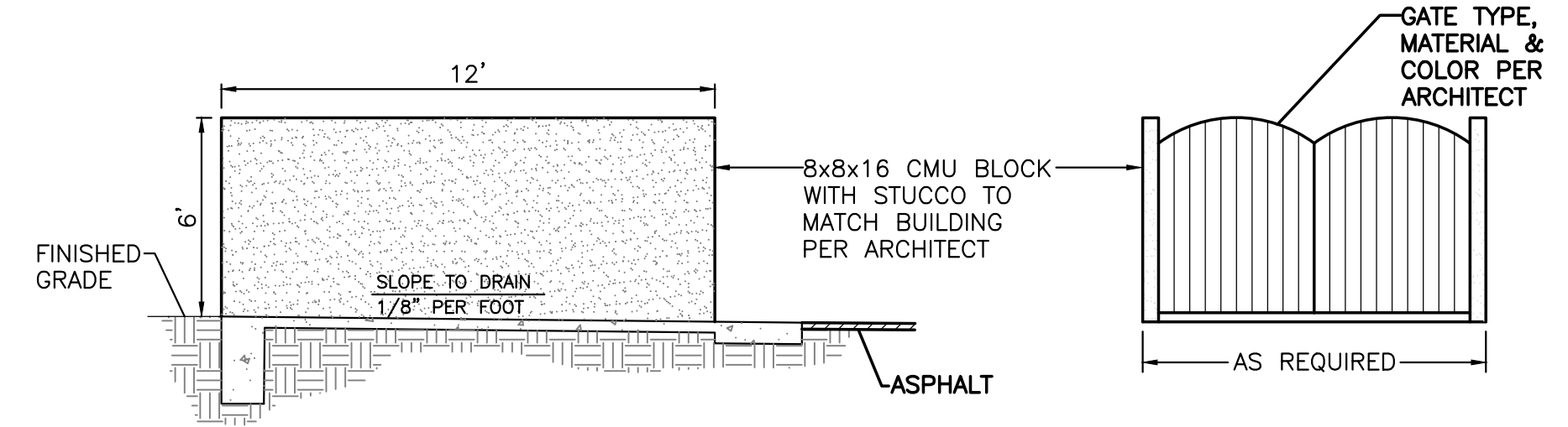
APRON REQUIRED IN FRONT OF EACH ENCLOSURE. (6" WITH REINFORCING TO WITHSTAND 57,000 LBS.)

CONCRETE SLAB: 6" THICK, 4,000 PSI, 3.4" AGGREGATE W/ 6x610/10 WWM OR EQUAL. 12'x8' WITH 1/2" EXPANSION JOINT.

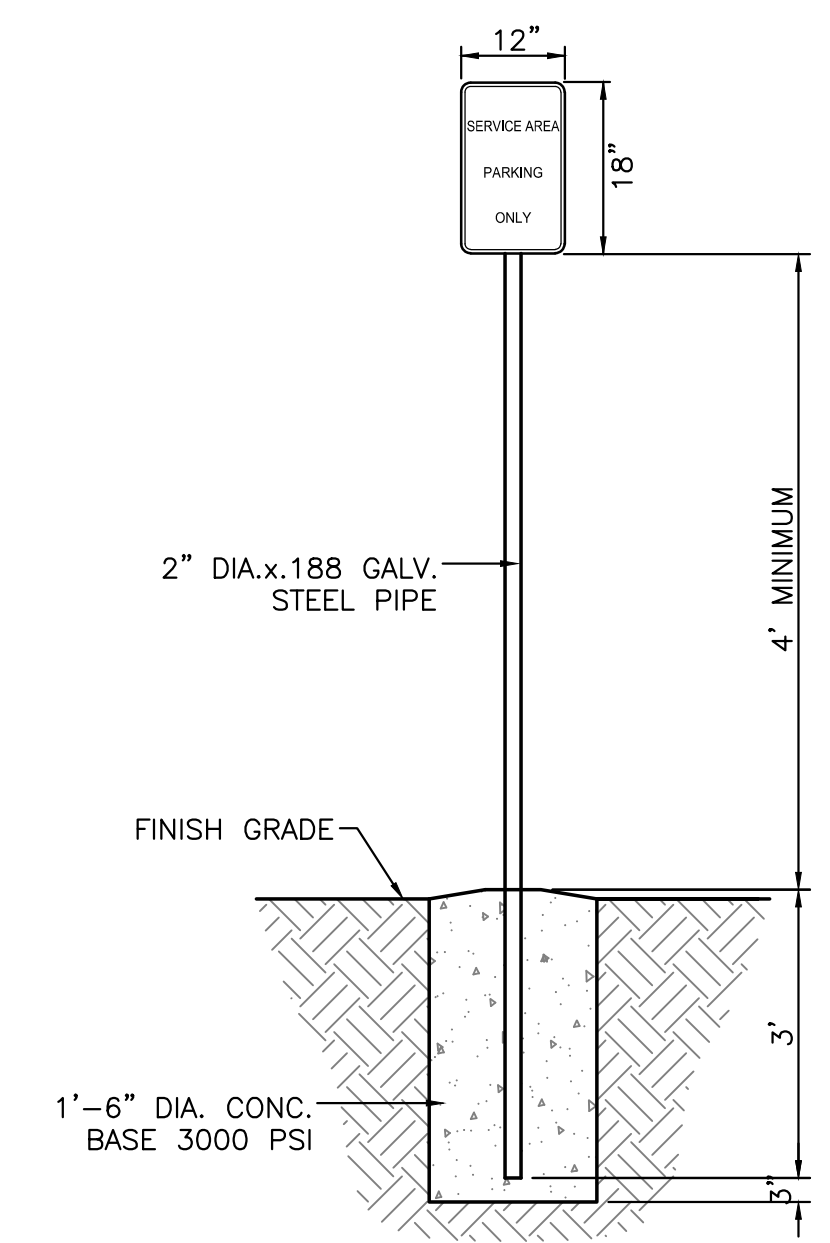


- NOTE:
1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
 2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

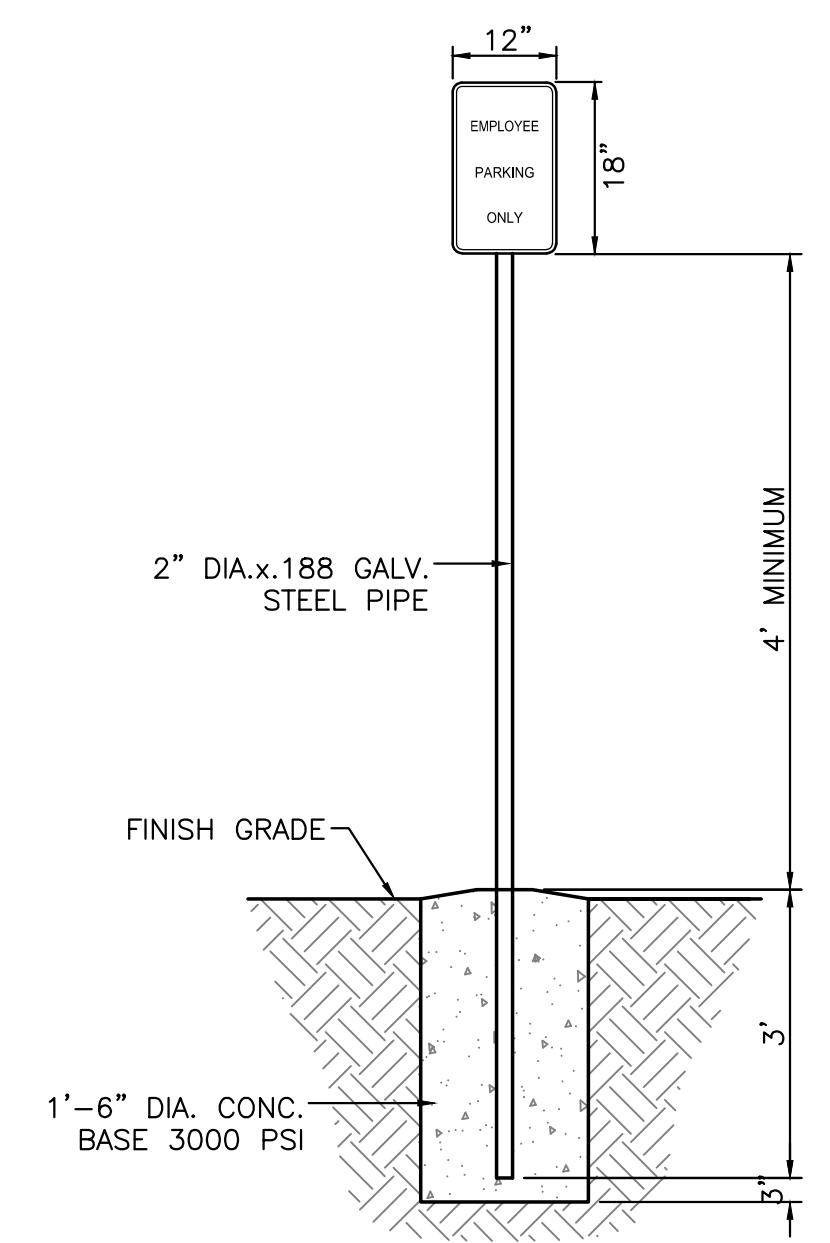
DOUBLE DUMPSTER - ENCLOSURE DETAIL
NTS



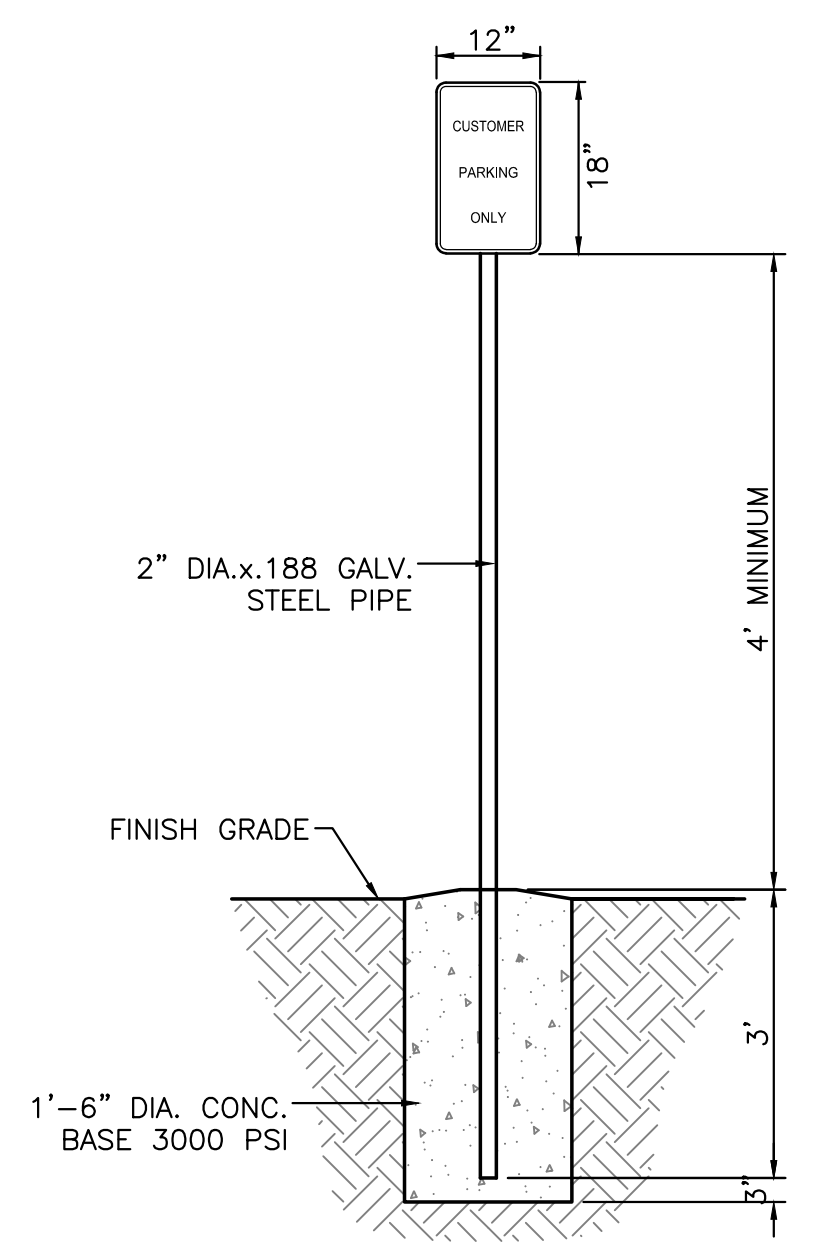
DUMPSTER ENCLOSURE ELEVATION
NTS



SERVICE AREA PARKING SIGN
NTS



EMPLOYEE PARKING SIGN
NTS



CUSTOMER PARKING SIGN
NTS

	AUTO NATION ALBUQUERQUE, NM	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 7-13-21
	5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2021010-DET
RONALD R. BOHANNAN P.E. #7868	7-13-21	SHEET # DET-2
		JOB # 2021010

AutoNation USA

Exterior Sign Package

9100 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NM
S.O. #121410

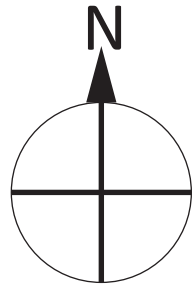
Creation Date: 05.14.2021

Last Revised: 06.11.2021



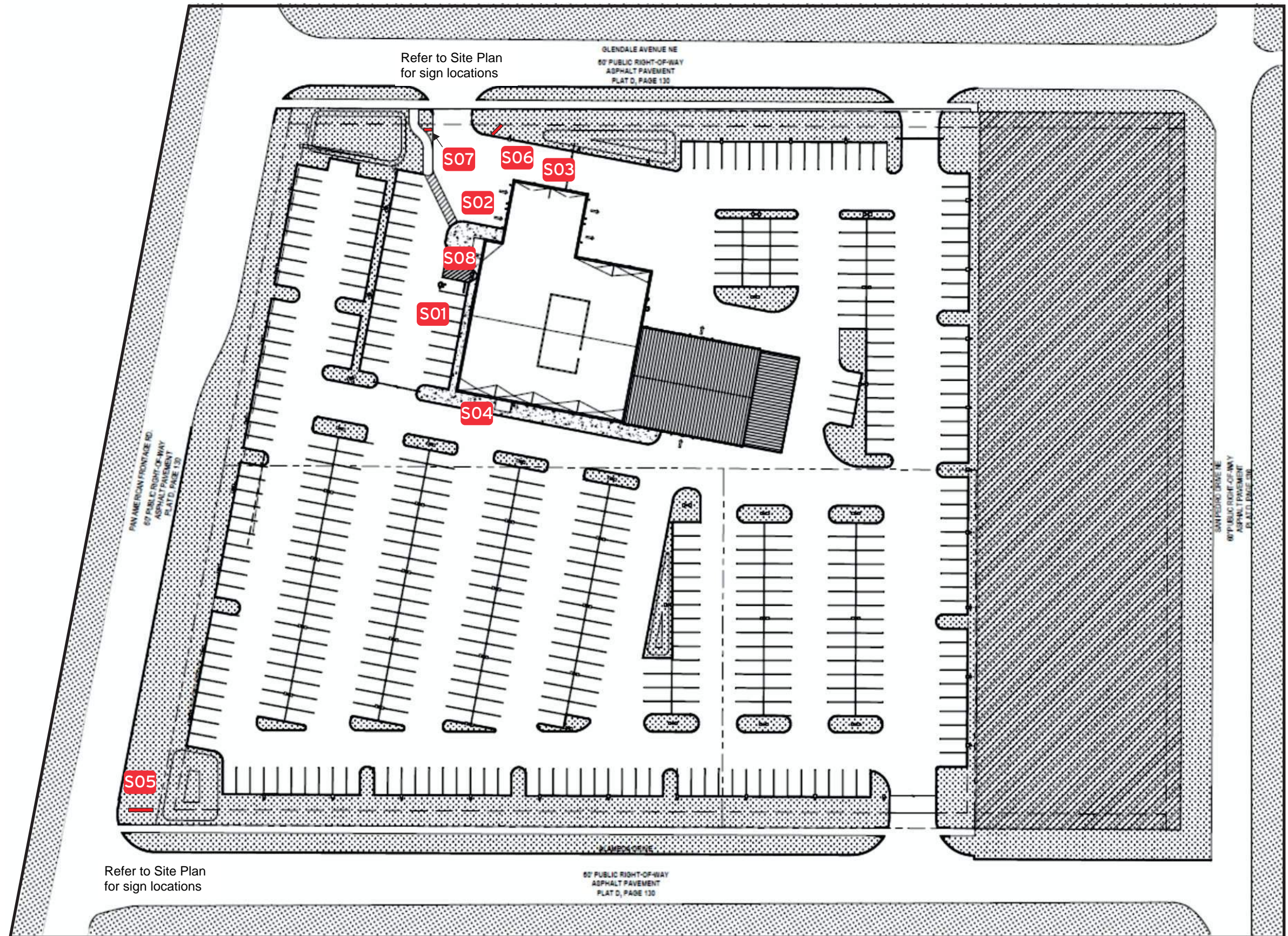
National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
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Site Plan



Exterior Site Plan

- S01** AutoNation USA C/Ltrs w/DBA FCOs
- S02** We'll Buy Your Car Channel Letters
- S03** AutoNation USA C/Ltrs
- S04** AutoNation USA C/Ltrs
- S05** Pylon Sign
- S06** Monument Sign
- S07** Directional Sign
- S08** Door Hours

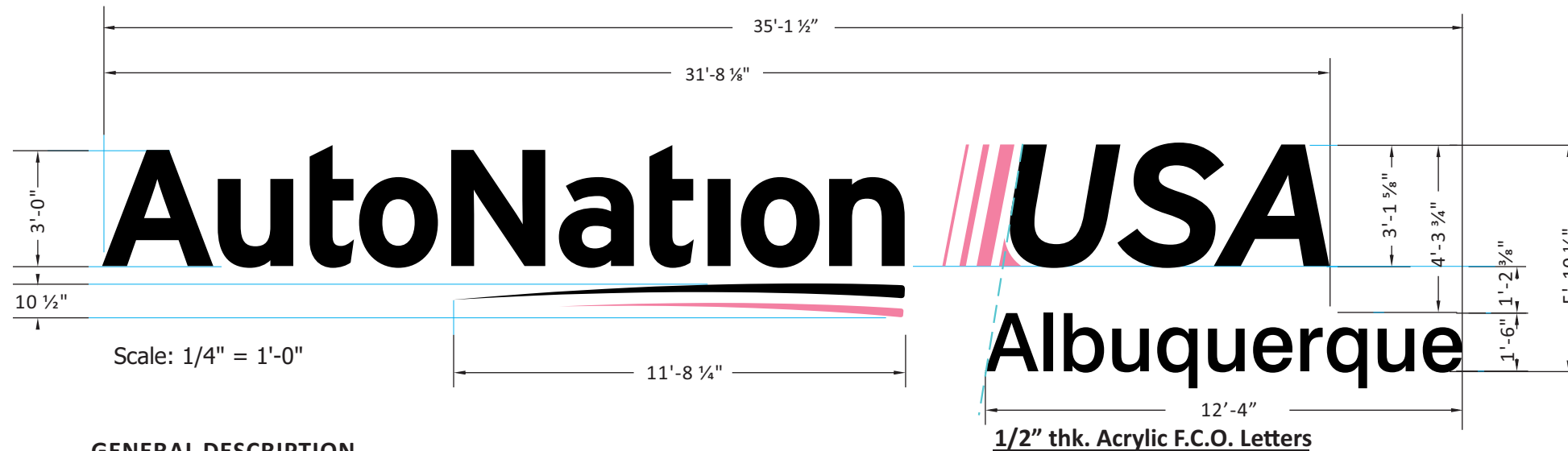


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Revisions:		
06.02.2021 - Pylon Position revision
06.11.2021 - Additional C/Ltrs and revisions

PM: AQ
 Drawn By: EVS
 Date: 05/24/2021

Address: 9100 Pan American Freeway NE
 City State: Albuquerque, NM
 S.O. # 121410
 Page# 2



GENERAL DESCRIPTION

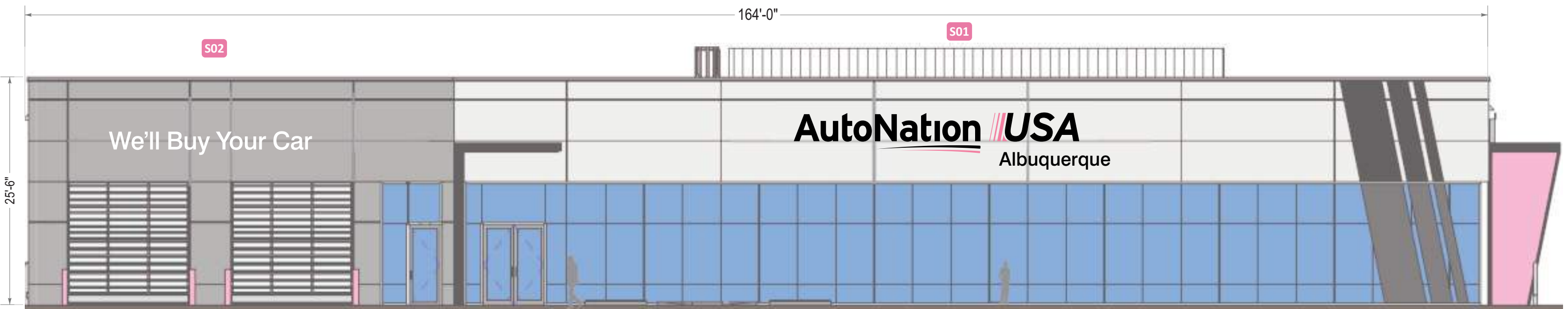
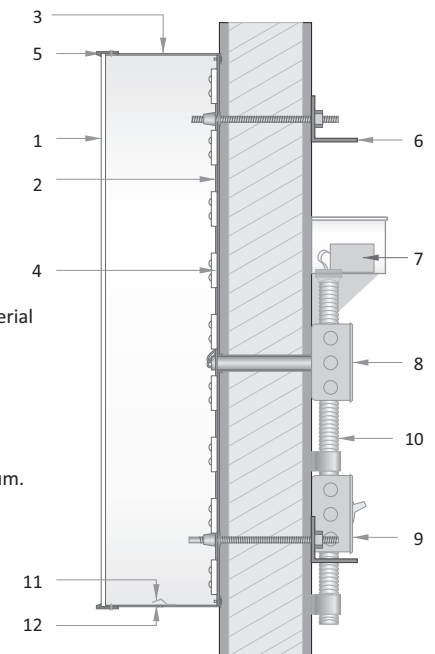
- Channel letters constructed of aluminum: pre-finished black or painted pink returns
- All faces of .177" white (2406) acrylic or polycarbonate
- Pink elements treated with full-coverage, 1st surface application of translucent pink vinyl (see color chart)
- Black elements treated with full-coverage, 1st surface application of perforated black (see color chart)
- Internal illumination of ALL components provided by white LED modules.
- "Denver North"- 1/2" thick Acrylic F.C.O. Letters Painted Black - Stud Mounted.
- All components installed flush to exterior with non-corrosive fasteners (specific hardware TBD)

COLOR SCHEDULE

- All Faces: 2406 White Acrylic or Polycarbonate
- Trimcaps #1: Pre-finished Black
- Trimcaps #2: Painted to match PMS #204 Satin
- Returns #1: Pre-finished (black) Aluminum
- Returns #2: Painted to Match PMS 204 Pink (satin)
- Vinyl Treatment #1 : 3M 3635-222Black Perf. Vinyl
- Vinyl Treatment #2: 3M 3630-68 Rose Mauve

- 1 .177" polycarbonate face
- 2 letter backs to be .080" aluminum
- 3 4" returns to be .040" aluminum
- 4 illumination to be provided by (see below)
- 5 1" trim cap
- 6 mounting varies upon location and wall material
- 7 IP67 rated power supply
- 8 junction box
- 9 listed disconnect switch
- 10 primary power source
- 11 weep hole cover to be white pre-finished alum.
- 12 weep hole

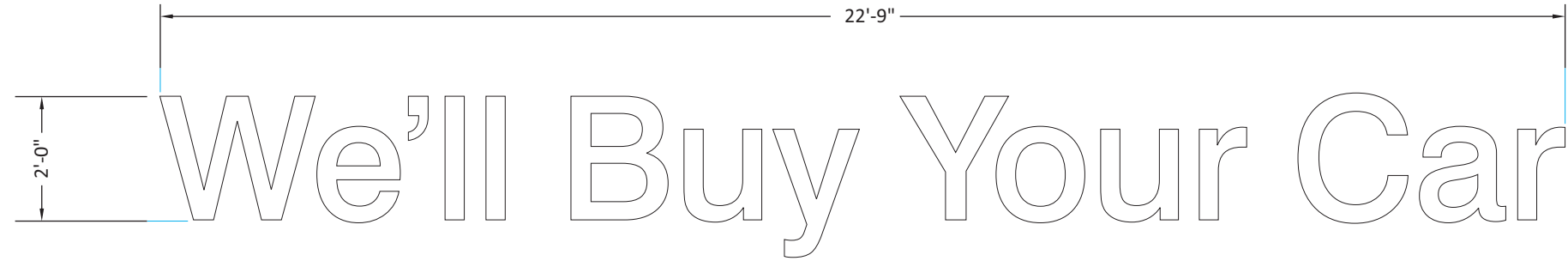
This is a generic detail.
Mounting details and power supply placement will vary.



WEST ELEVATION
3/32" = 1'-0"

Revisions:	
06.02.2021 - Pylon Position revision	...
06.11.2021 - Additional C/ltrs and revisions	...
...	...
...	...
...	...

PM: AQ	Address: 9100 PAN AMERICAN FREEWAY NE
Drawn By: EVS	City State: ALBUQUERQUE, NM
Date: 05.24.2021	Drawing Number: 121410
	Page: 3



Scale: 3/8" = 1'-0"

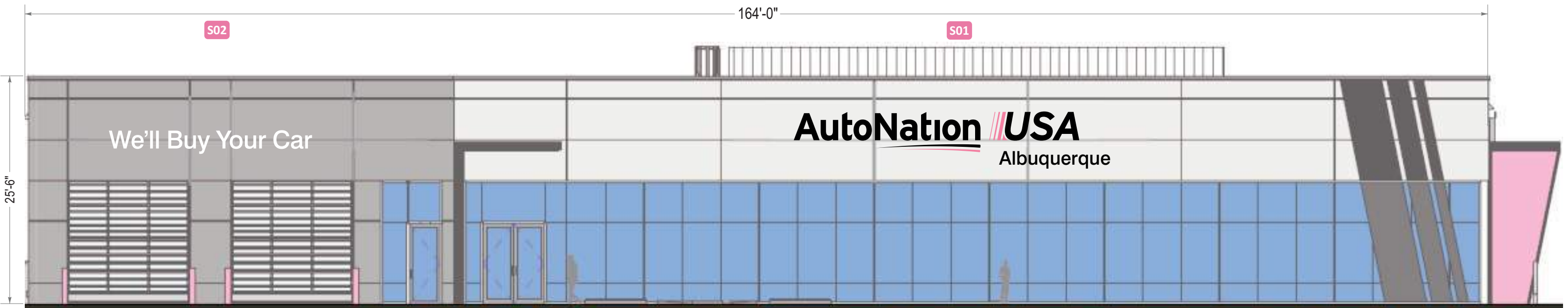
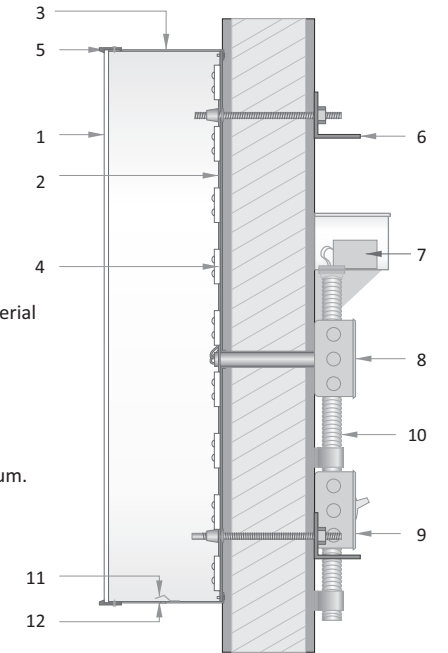
GENERAL DESCRIPTION

- Channel letters constructed of aluminum: pre-finished black returns
- All faces of .177" white (2406) acrylic or polycarbonate
- Internal illumination of ALL components provided by white LED modules.
- All components installed flush to exterior with non-corrosive fasteners (specific hardware TBD)

COLOR SCHEDULE

- All Faces: 2406 White Acrylic or Polycarbonate
- Trimcaps #1: Pre-finished Black
- Returns #1: Pre-finished (black) Aluminum

- 1 .177" polycarbonate face
 - 2 letter backs to be .080" aluminum
 - 3 4" returns to be .040" aluminum
 - 4 illumination to be provided by (see below)
 - 5 1" trim cap
 - 6 mounting varies upon location and wall material
 - 7 IP67 rated power supply
 - 8 junction box
 - 9 listed disconnect switch
 - 10 primary power source
 - 11 weep hole cover to be white pre-finished alum.
 - 12 weep hole
- This is a generic detail.
Mounting details and power supply placement will vary.



WEST ELEVATION
3/32" = 1'-0"

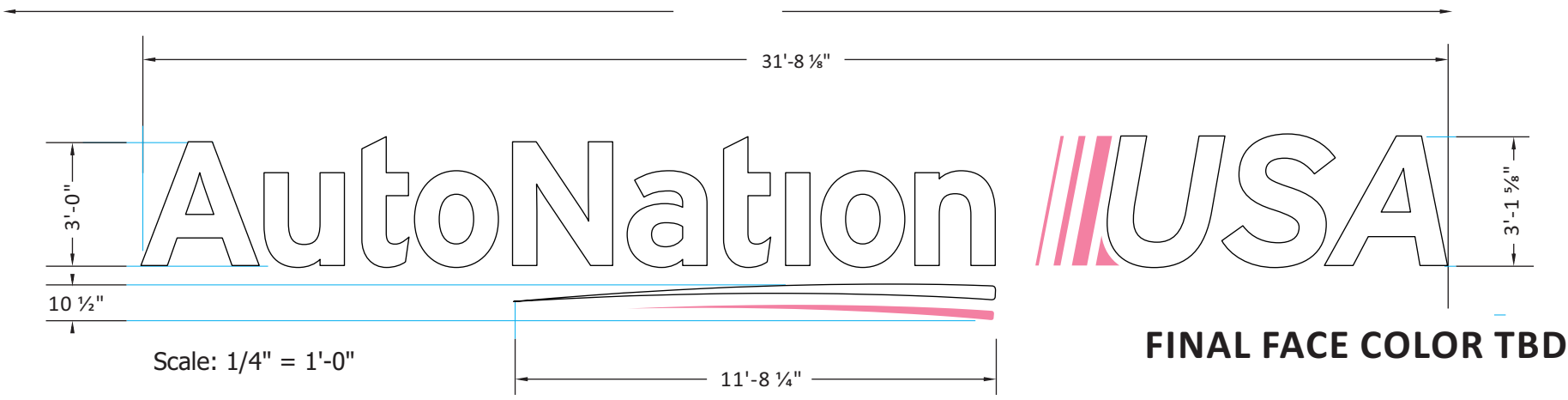


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Revisions:	
06.02.2021 - Pylon Position revision	...
06.11.2021 - Additional C/ltrs and revisions	...
...	...
...	...
...	...



PM: AQ	Address: 9100 PAN AMERICAN FREEWAY NE
Drawn By: EVS	City State: ALBUQUERQUE, NM
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FINAL FACE COLOR TBD

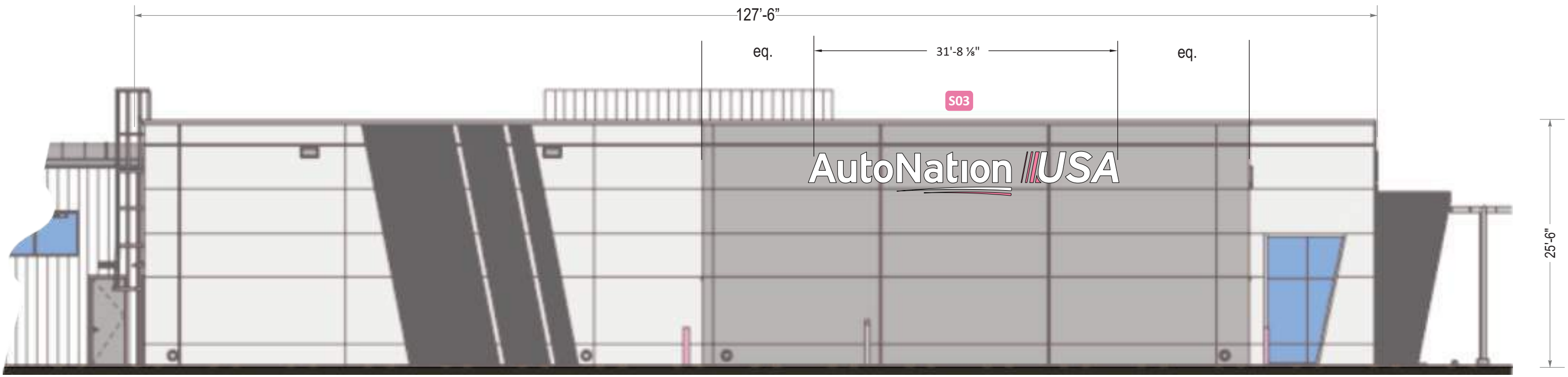
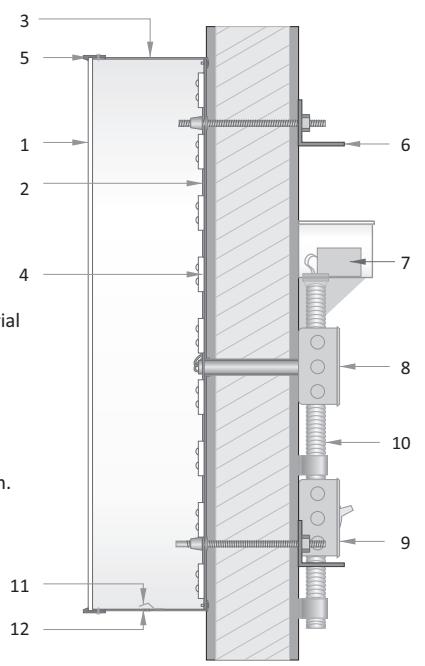
GENERAL DESCRIPTION

- Channel letters constructed of aluminum: pre-finished black or painted pink returns
- All faces of .177" white (2406) acrylic or polycarbonate
- Pink elements treated with full-coverage, 1st surface application of translucent pink vinyl (see color chart)
- Internal illumination of ALL components provided by white LED modules.

COLOR SCHEDULE

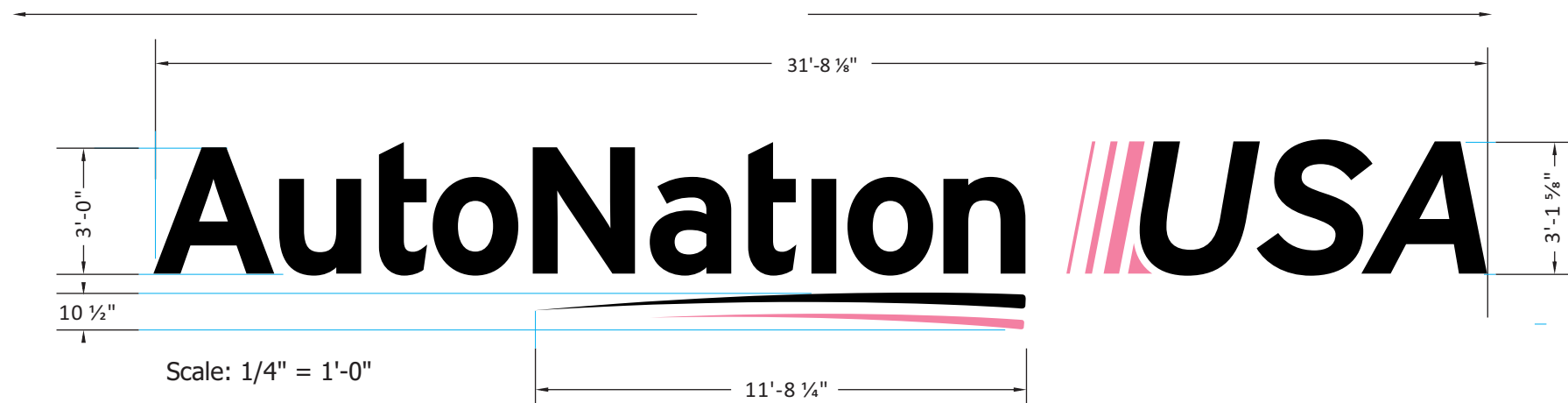
- All Faces: 2406 White Acrylic or Polycarbonate
- Trimcaps #1: Pre-finished Black
- Trimcaps #2: Painted to match PMS #204 Satin
- Returns #1: Pre-finished (black) Aluminum
- Returns #2: Painted to Match PMS 204 Pink (satin)
- Vinyl Treatment #2: 3M 3630-68 Rose Mauve

- 1 .177" polycarbonate face
 - 2 letter backs to be .080" aluminum
 - 3 4" returns to be .040" aluminum
 - 4 illumination to be provided by (see below)
 - 5 1" trim cap
 - 6 mounting varies upon location and wall material
 - 7 IP67 rated power supply
 - 8 junction box
 - 9 listed disconnect switch
 - 10 primary power source
 - 11 weep hole cover to be white pre-finished alum.
 - 12 weep hole
- This is a generic detail.
Mounting details and power supply placement will vary.

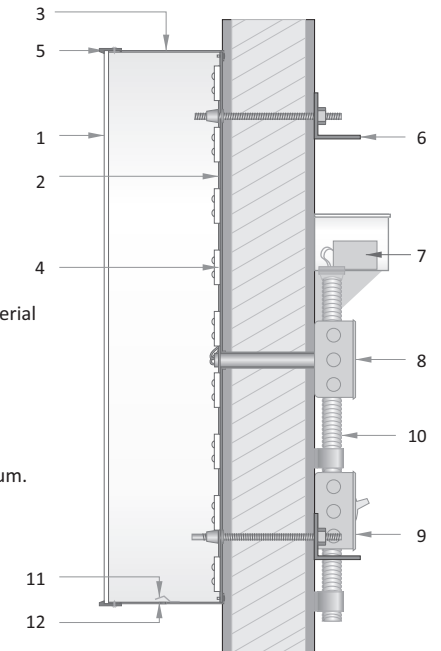


NORTH ELEVATION
3/32" = 1'-0"

Revisions:		
06.02.2021 - Pylon Position revision	...	...
06.11.2021 - Additional C/ltrs and revisions	...	...
...
...
...



- 1 .177" polycarbonate face
- 2 letter backs to be .080" aluminum
- 3 4" returns to be .040" aluminum
- 4 illumination to be provided by (see below)
- 5 1" trim cap
- 6 mounting varies upon location and wall material
- 7 IP67 rated power supply
- 8 junction box
- 9 listed disconnect switch
- 10 primary power source
- 11 weep hole cover to be white pre-finished alum.
- 12 weep hole



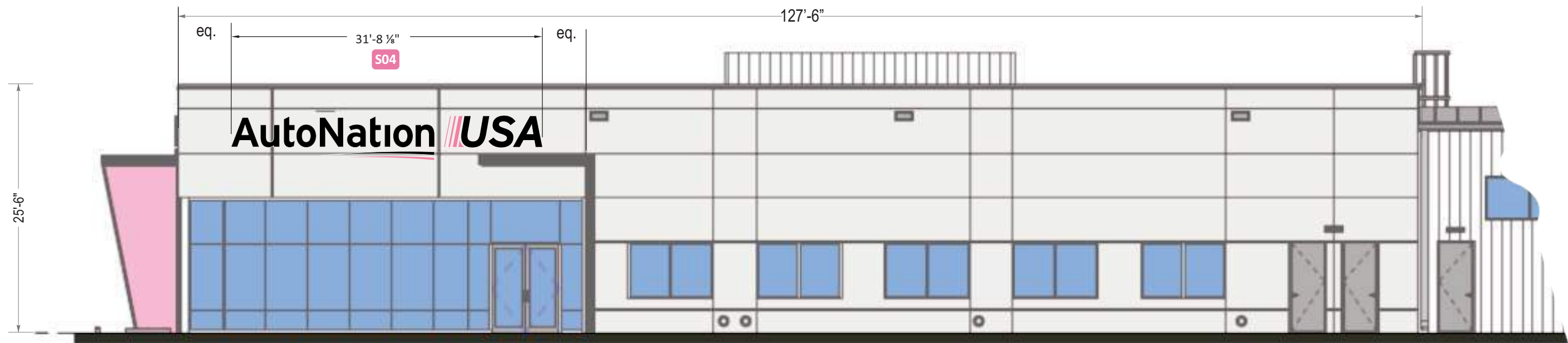
This is a generic detail.
Mounting details and power supply placement will vary.

GENERAL DESCRIPTION

- Channel letters constructed of aluminum: pre-finished black or painted pink returns
- All faces of .177" white (2406) acrylic or polycarbonate
- Pink elements treated with full-coverage, 1st surface application of translucent pink vinyl (see color chart)
- Black elements treated with full-coverage, 1st surface application of perforated black (see color chart)
- Internal illumination of ALL components provided by white LED modules.
- "Denver North"- 1/2" thick Acrylic F.C.O. Letters Painted Black - Stud Mounted.
- All components installed flush to exterior with non-corrosive fasteners (specific hardware TBD)

COLOR SCHEDULE

- All Faces: 2406 White Acrylic or Polycarbonate
- Trimcaps #1: Pre-finished Black
- Trimcaps #2: Painted to match PMS #204 Satin
- Returns #1: Pre-finished (black) Aluminum
- Returns #2: Painted to Match PMS 204 Pink (satin)
- Vinyl Treatment #1 : 3M 3635-222Black Perf. Vinyl
- Vinyl Treatment #2: 3M 3630-68 Rose Mauve



SOUTH ELEVATION
3/32" = 1'-0"

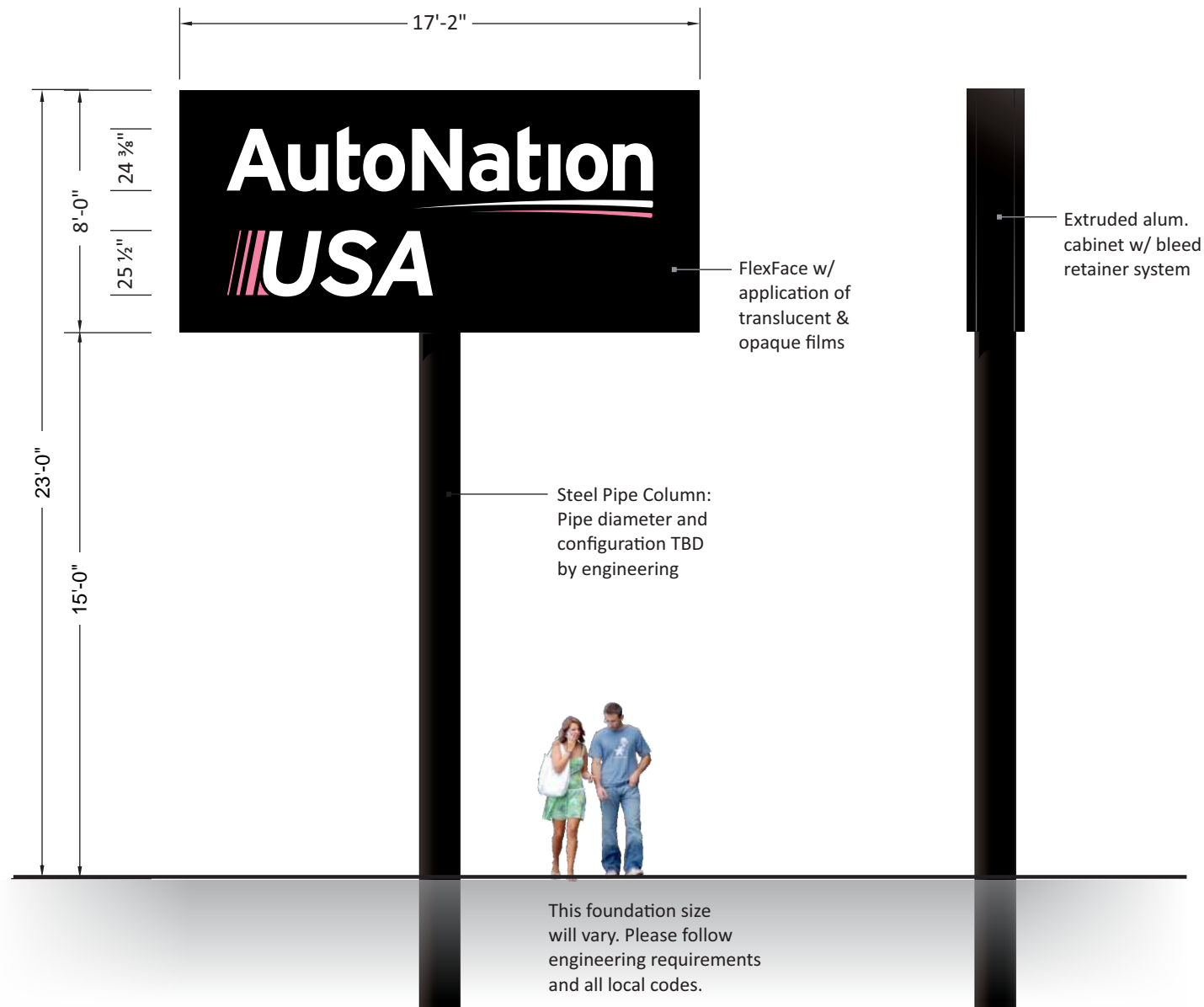


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Revisions:		
06.02.2021 - Pylon Position revision
06.11.2021 - Additional C/ltrs and revisions

PM: AQ
Drawn By: EVS
Date: 05/24/2021

Address: 9100 Pan American Freeway NE
City State: Albuquerque, NM
S.O. # 121410
Page# 6



ANU-P-84

GENERAL DESCRIPTION

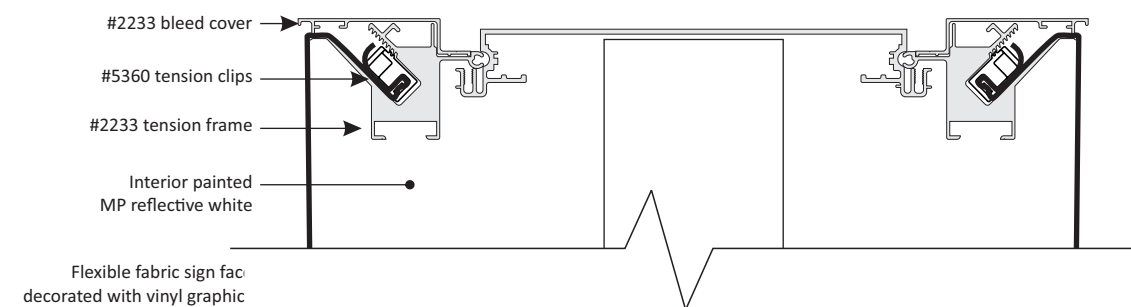
- Double face, internally illuminated pylon sign featuring extruded aluminum cabinet with a bleed retainer and flexible faces.
- Faces of 3M white, flexible substrate with 1st surface application of translucent pink & opaque black films
- Internal illumination by white LED modules
- Cabinet installed onto steel column set in concrete foundation. Size of foundation varies per local codes and criteria

COLOR SCHEDULE

- Painted MP 923SP Black (satin finish)
- Panaflex White Trans. Substrate
- 3M 7725-12 Opaque Black Vinyl
- 3M 3630-68 "Rose Mauve" Trans. Vinyl
- White LED Modules (6500K)

SQUARE FOOTAGE

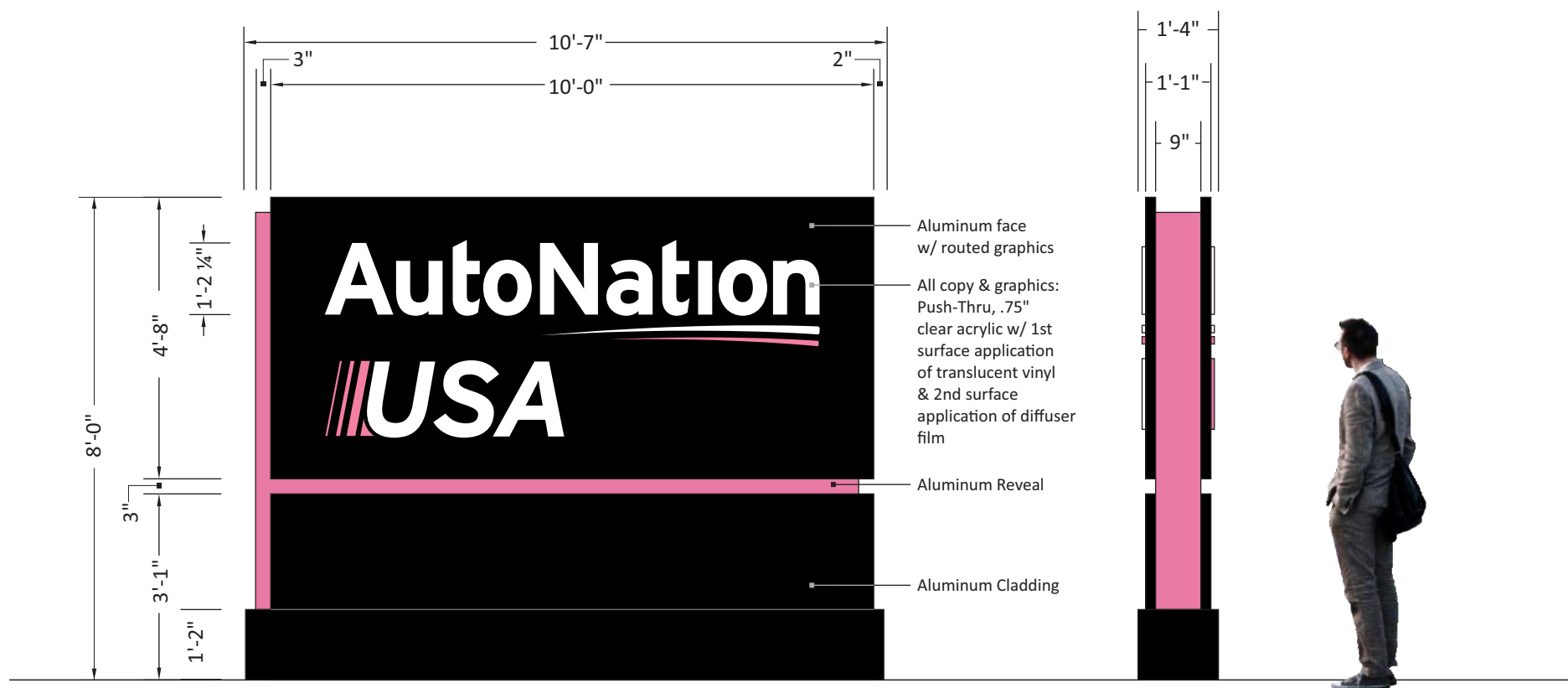
Proposed Sq. Feet: 7'-0" x 15'-0" = 105 Sq Feet



DF Wide Body with Bleed Face Retainer System

Revisions:	
06.02.2021 - Pylon Position revision	...
06.11.2021 - Additional C/ltrs and revisions	...
...	...
...	...
...	...

PM: AQ	Address: 9100 PAN AMERICAN FREEWAY NE
Drawn By: EVS	City State: ALBUQUERQUE, NM
Date: 05.24.2021	Drawing Number: 121410
	Page: 7



ANU-M-96

GENERAL DESCRIPTION

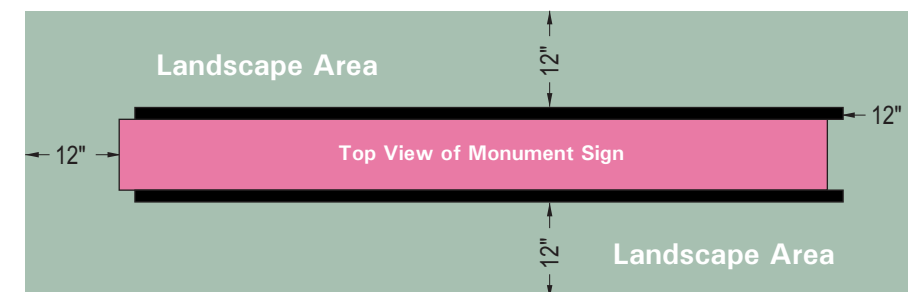
- Double face, internally illuminated monument sign featuring pushed-thru acrylic graphics, and painted aluminum cladding & reveal.
- Faces of aluminum with copy & graphics routed from faces and pushed-thru with .750" clear acrylic with 1st surface application of pink & white translucent film and a 2nd surface application of diffuser film
- 3" Continuous reveal to of aluminum & finished with pink enamel
- Internal illumination by white LED modules
- Skirt/base and all cladding is of painted aluminum
- Monument sign set in concrete foundation(s). Size of foundation varies per
- local codes and criteria

COLOR SCHEDULE

- Painted MP 923SP Black (satin finish)
- Clear Acrylic
- Painted to match PMS 204 (satin finish)
- 3M 3630-20 White Trans. Vinyl
- 3M 3630-68 "Rose Mauve" Trans. Vinyl
- White LED Modules (6500K)

SQUARE FOOTAGE

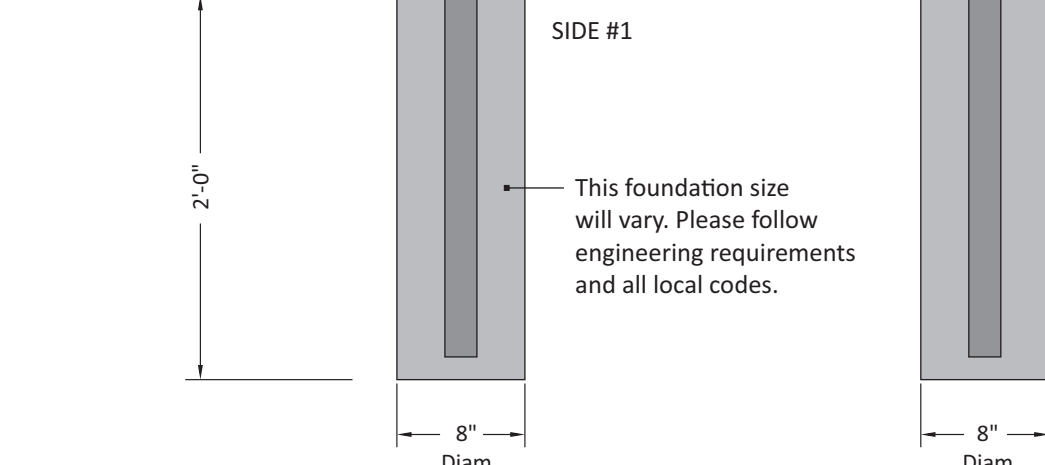
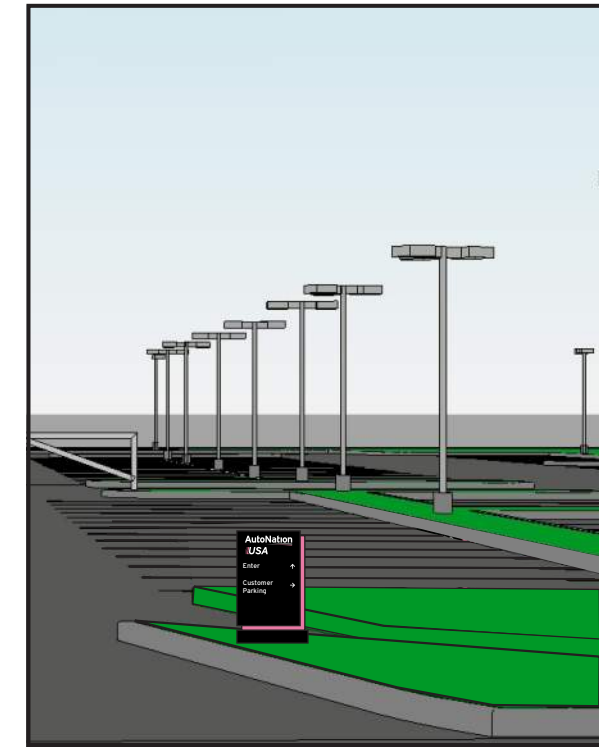
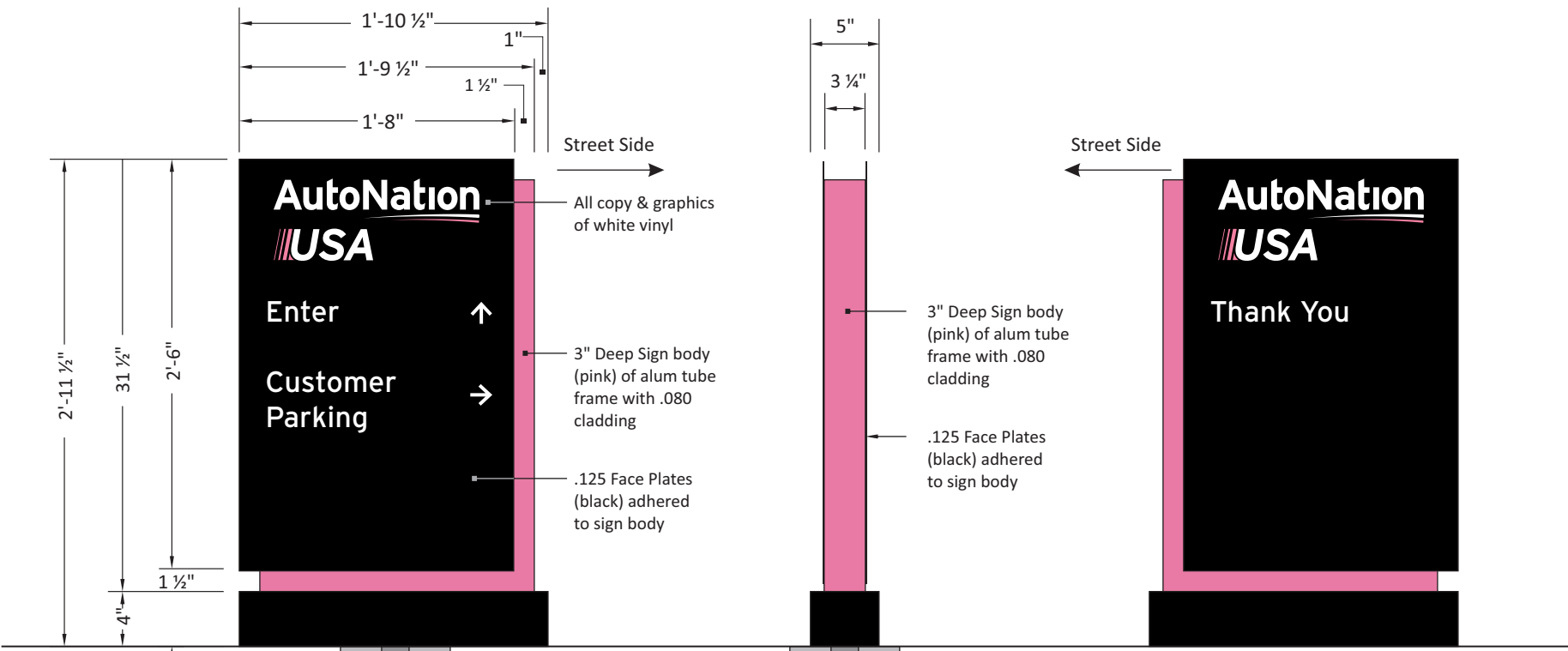
Proposed Sq. Feet: 4'-8" x 10'-0" = 46.67 Sq Feet



12" Perimeter around base of monument is to be reserved for landscaping - not grass

Revisions:		
06.02.2021 - Pylon Position revision	...	...
06.11.2021 - Additional C/ltrs and revisions	...	...

PM: AQ	Address: 9100 Pan American Freeway NE
Drawn By: EVS	City State: Albuquerque, NM
Date: 05/24/2021	S.O. # 121410
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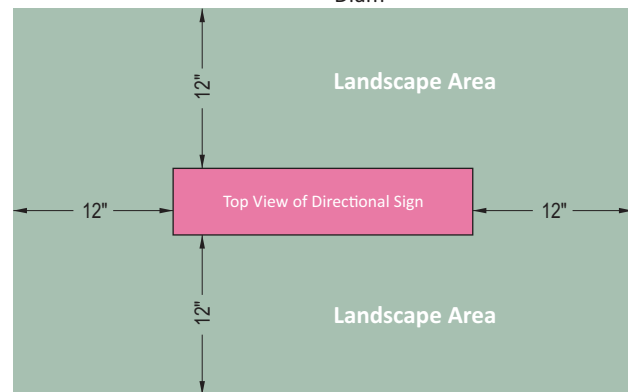


ANU-SDB-36
GENERAL DESCRIPTION

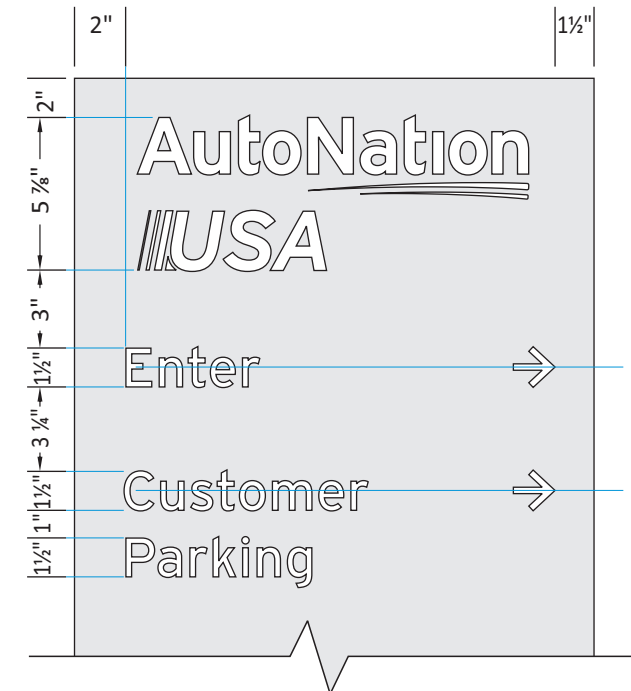
- Directional sign constructed of aluminum: .125" face plates, 3" deep main body, and base
- All copy & arrows of premium white vinyl (see color schedule below)
- Sign installed onto single aluminum sq. tube post set in concrete foundation (size of foundation may vary from the size shown on this drawing).

COLOR SCHEDULE

- 3M 7725-10 White Vinyl
- Painted MP 923SP Black (satin finish)
- Painted to match PMS #204 (satin finish)

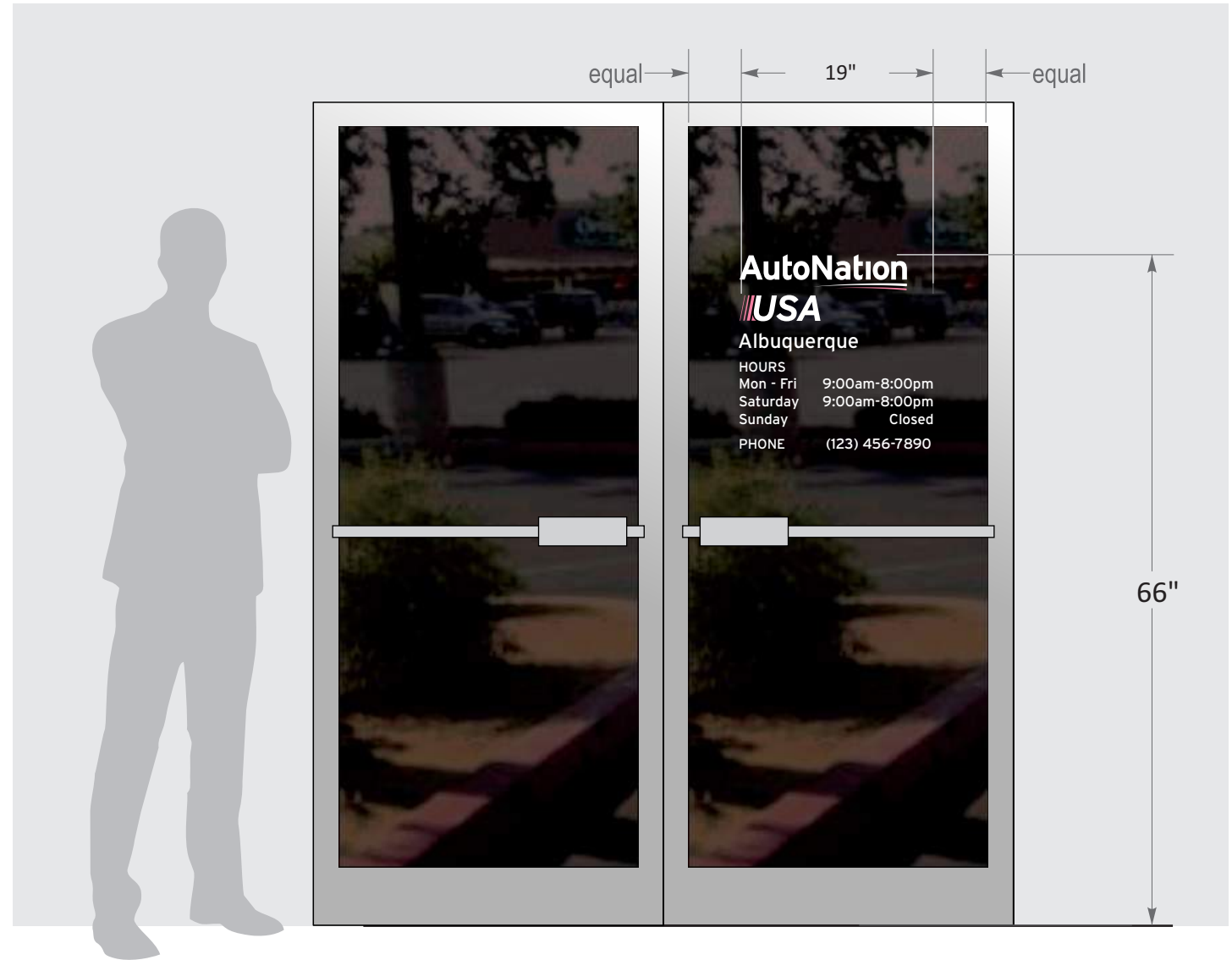
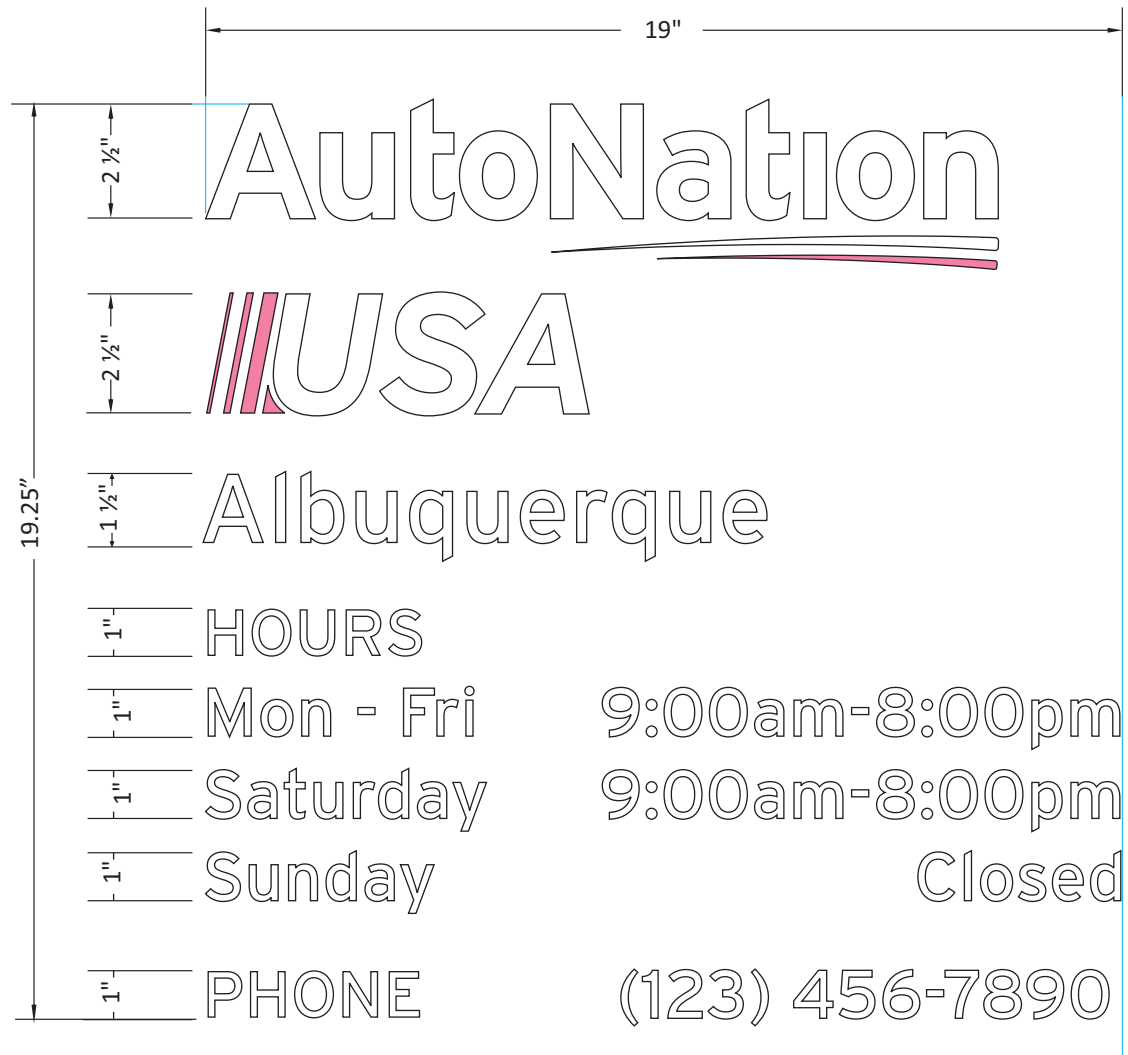


12" Perimeter around base of directional is to be reserved for landscaping - not grass



TYPICAL LETTER HEIGHT AND SPACING

Revisions:		
06.02.2021 - Pylon Position revision	...	...
06.11.2021 - Additional C/ltrs and revisions	...	...





When there are double-Entry doors, the vinyl graphics will be placed on the right door

General Specifications

- White with pink vinyl copy and numbers
- Vinyl applied to 1st surface

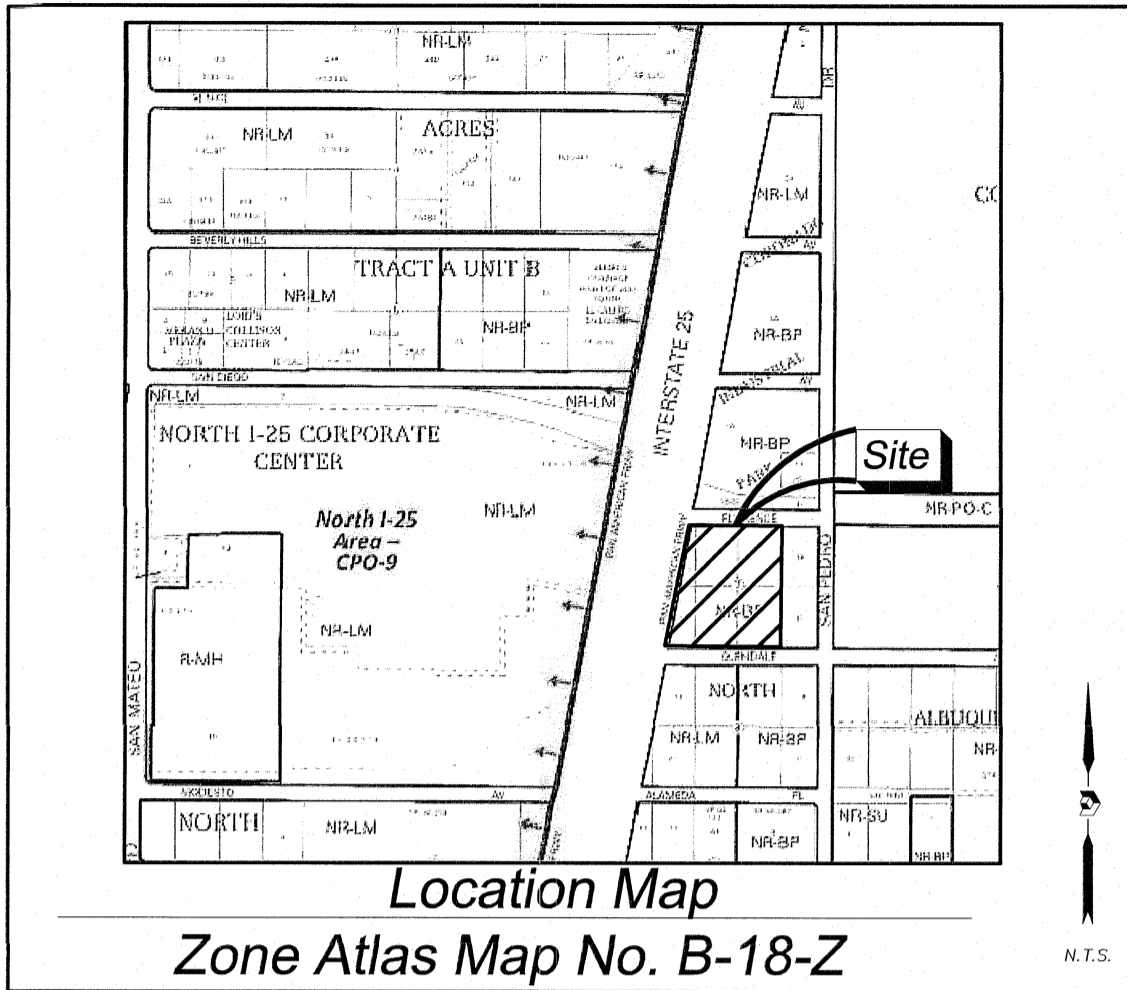
Color Specifications

-  3M 7725-10 White vinyl
-  3M 3630-68 Rose Mauve

Revisions:		
06.02.2021 - Pylon Position revision	...	...
06.11.2021 - Additional C/ltrs and revisions	...	...
...
...
...

PM: AQ	Address: 9100 Pan American Freeway NE
Drawn By: EVS	City State: Albuquerque, NM
Date: 05/24/2021	S.O. # 121410
	Page# 10

Plat of
Lot 21-A, Block 8
Tract A, Unit B
North Albuquerque Acres
 Elena Gallegos Grant, Projected
 Section 12, Township 11 North, Range 3 East, N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 June 2021



TREASURER'S CERTIFICATE

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 12, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF FORMER LOTS 13 (REMNANT PORTION), 14, 15, 18, 19, 20 (REMNANT PORTION) AND 21 (REMNANT PORTION), BLOCK 8, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AS RECORDED APRIL 24, 1936, D-130, OF THE BERNALILLO COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM, GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES AS FOLLOWS:
 BEGINNING AT THE SOUTHEAST CORNER OF THIS DESCRIBED LOT, BEING A NO. 5 REBAR WITH A PINK PLASTIC CAP MARKED "PS 11993" SET ON THE NORTH RIGHT OF WAY LINE OF ALAMEDA PLACE, N.E. (60-FOOT WIDE RIGHT OF WAY), WHENCE A.G.R.S. MONUMENT "10_C18" BEARS S 67°01'08" E, 210.34 FEET;
 THENCE FROM THE POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE, N 89°45'23" W, 535.34 FEET TO A NO. 4 REBAR WITH A YELLOW PLASTIC CAP (ILLEGIBLE) FOUND AT THE INTERSECTION WITH THE EAST RIGHT OF WAY LINE OF NORTHBOUND PAN AMERICAN FRONTAGE ROAD N.E. (NMP F1-001-4(3)(4)(5), 80-FOOT WIDE RIGHT OF WAY), FOR THE SOUTHWEST CORNER OF THIS LOT;
 THENCE ALONG SAID EAST RIGHT OF WAY LINE, N 10°45'09" E, 476.71 FEET TO A 2-INCH IRON PIPE FOUND AT THE INTERSECTION WITH THE SOUTH RIGHT OF WAY LINE OF GLENDALE AVENUE, N.E. (60-FOOT WIDE RIGHT OF WAY), FOR THE NORTHWEST CORNER OF THIS LOT;
 THENCE ALONG SAID SOUTH RIGHT OF WAY LINE, S 89°40'27" E, 448.46 FEET TO A NO. 5 REBAR WITH A PINK PLASTIC CAP MARKED "PS 11993" SET FOR THE NORTHEAST CORNER OF THIS LOT;
 THENCE LEAVING SAID RIGHT OF WAY LINE, S 00°15'03" W, 468.07 FEET TO THE POINT OF BEGINNING, CONTAINING 5.2896 ACRES, MORE OR LESS.

Project No. PR-2021-005411
Application No. SD -2021-00100
Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE

City Approvals

Loren N. Risenhoover P.S. 7/2/2021
 CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
CODE ENFORCEMENT	DATE
MRGCD	DATE
NMDOT	DATE

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 5.2896 ACRES±
 ZONE ATLAS INDEX NO: B-18-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 1
 MILES OF FULL-WIDTH STREETS CREATED: 0

Drainage Facilities and/or Detention Areas Maintained by Lot Owner

AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT AND FACILITIES AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION.

THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

Dedication of Drainage Easements:

CITY CONSTRUCTS AND MAINTAINS A PERPETUAL EASEMENT ON THE AREAS DESIGNATED ON THIS PLAT AS "DRAINAGE EASEMENT" IS HEREBY DEDICATED TO THE CITY OF ALBUQUERQUE FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND FOR THE PURPOSE OF CONSTRUCTING, MAINTAINING, OPERATING, REMOVING, AND REPLACING STORM WATER DRAINAGE FACILITIES. NO FENCE, WALL, PLANTING, BUILDING, OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN SAID EASEMENT AREA AND THERE SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID DEDICATED AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. NO OBSTRUCTIONS MAY BE PLACED IN EASEMENT AREA WHICH WOULD PREVENT INGRESS AND EGRESS TO SAME BY MAINTENANCE VEHICLES OR WHICH WOULD PREVENT VEHICLES TRAVELING ON DRAINAGE WAY FOR MAINTENANCE PURPOSES.

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
 A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE THE EXISTING 7 LOTS INTO ONE NEW LOT, TO VACATE 2 EXISTING EASEMENTS AND TO GRANT 2 NEW EASEMENTS.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

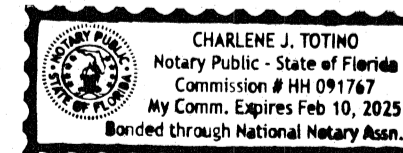
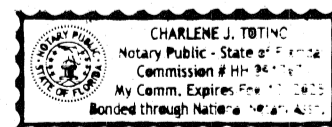
[Signature] 6/21/2021
 CHARLES W. SABADASH III
 ALBUQUERQUE ANUSA, LLC
 A DELAWARE LIMITED LIABILITY COMPANY
 DATE

Acknowledgment

STATE OF FLORIDA) SS
 COUNTY OF BROWARD)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 23 DAY OF JUNE, 2021 BY CHARLES W. SABADASH III, ALBUQUERQUE ANUSA, LLC, A DELAWARE LIMITED LIABILITY COMPANY.

BY *[Signature]* MY COMMISSION EXPIRES: 2/10/2025
 NOTARY PUBLIC



[Signature] 6/21/2021
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



REVISIONS			
NO.	DATE	BY	DESCRIPTION

COORDINATE AND DIMENSION INFORMATION STATE PLANE ZONE: NM-C GRID GRID GROUND COORDINATES: STANDARD TYPE: STANDARD HORIZONTAL DATUM: NAD83 VERTICAL DATUM: NAVD88 ROTATION ANGLE: 0° 00' 00.00" MATCHES DRAWING UNITS: YES CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM COMBINED SCALE FACTOR: GROUND TO GROUND: 1.0003353099 DISTANCE ANNOTATION: GROUND BEARING ANNOTATION: GROUND TO GRID: 0.9996648025 BEARING ANNOTATION: ±0.00' ELEVATION TRANSLATION: ELEVATIONS VALID: YES		PLSS INFORMATION LAND GRANT: ELENA GALLEGOS SECTION: 12 TOWNSHIP: 11 NORTH RANGE: 3 EAST MERIDIAN: NMPM CITY: ALBUQUERQUE COUNTY: BERNALILLO STATE: NM		PROPERTY INFORMATION PROPERTY OWNER: MELLOY BROTHERS MOTOR LTD CO ADDRESS: 9100 PAN AMERICAN FREEWAY, N.E. SUBDIVISION NAME: NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B UPC: 101806520803930209 101806524003930207 101806522303930208 101806523901830204 101806522401630203 101806520701630202 101806519701030201		PROJECT INFORMATION CREW/TECH: MT/ML/JR DATE OF SURVEY: 03/17-23/2021 DRAWN BY: JK CHECKED BY: LM PSI JOB NO. 216022P SHEET NUMBER 1 OF 2	
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OFFICE LOCATION:
 9200 San Mateo Boulevard, NE
 Albuquerque, NM 87113
 505.856.5700 PHONE
 505.856.7900 FAX

INFRASTRUCTURE LIST

(Rev. 2/18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Lot 21-A, Block 8, Tract A, Unit B, North Albuquerque Acres
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots 13-15 and Lots 21-23, Block 8, Tract A, Unit B, North Albuquerque Acres
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
TRANSPORTATION PROPERTY FRONTAGE IMPROVEMENTS									
<input type="text"/>	<input type="text"/>	15' Lane 4' Transition	Pavement, Curb & Gutter and associated striping	Glendale Ave. NE	Pan American	East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	5' Wide	Sidewalk	Glendale Ave. NE	Pan American	456' W. of Pan American	/	/	/
<input type="text"/>	<input type="text"/>	15' Lane 4' Transition	Pavement, Curb & Gutter and associated striping	Alameda Place NE	Pan American	East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	5' Wide	Sidewalk	Alameda Place NE	Pan American	566' W. of Pan American	/	/	/
<input type="text"/>	<input type="text"/>	25' Wide	Access Driveway Plus ADA Ramps Full Access	Glendale Ave. NE	83' East of Pan American	148' East of Pan American	/	/	/
<input type="text"/>	<input type="text"/>	24' Wide	Access Driveway Plus ADA Ramps Full Access	Glendale Ave. NE	384' East of Pan American	458' East of Pan American	/	/	/
<input type="text"/>	<input type="text"/>	30' Wide	Access Driveway Plus ADA Ramps Full Access	Alameda Place NE	487' East of Pan American	567' East of Pan American	/	/	/
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Financially Guaranteed DRC #	Constructed Under DRC #
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WATER AND SANITARY SEWER IMPROVEMENTS							
Size	Type of Improvement	Location	From	To			
6"	Fire Hydrant	Glendale Ave NE	83' East of Pan American	Entrance Curb Return			
2"	Domestic Water Service and meter	Glendale Ave NE	345' East of Pan American	Lot 21-A			
1"	Landscape Water Service and meter	Glendale Ave NE	345' East of Pan American	Lot 21-A			
6"	Fire Line	Glendale Ave NE	345 East of Pan American	Lot 21-A			
NMDOT PROPERTY FRONTAGE IMPROVEMENTS*							
12'	140' Right Turn Lane + Transition with associated striping	Pan American	Glendale Ave NE	150' south of Glendale Ave NE			
6' Wide	Sidewalk	Pan American	Alameda Place NE	Glendale Ave NE			
2' Sidewalk Culverts	3- sidewalk culverts and 6'x6' rip-rap pad	Northwest corner of site on Pan American Frontage					
2' Sidewalk Culverts	4- sidewalk culverts and 8'x8' rip-rap pad	Southwest corner of site on Pan American Frontage					
4'x4'	Drop inlet	Pan American	North side of junction box				
4'x4'	Drop inlet	Pan American	South side of junction box				
*Any additional comments from NMDOT's plan review shall be included							

Construction Certification		
Private		City Cnst Engineer
Inspector	P.E.	
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.


- 1 Native Grass Seed with Aggregate Mulch or equal (Must satisfy the "Final Stabilization Criteria" CGP 2.2.14 b)
- 2 The property owner/developer must continue self-inspections and BM maintenance until the EPA's Final Stabilization Criteria is satisfied and approved by the City Stormwater Quality Section (Code 14-5-2-1(C)(1))
- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Ronald R. Bohannon
NAME (print)

Tierra West, LLC
FIRM

 7/16/2011
SIGNATURE - date

DRB CHAIR - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER