



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2021-005411

Application No. SI-2021-00760

TO:

☒ Planning Department/Chair

☒ Hydrology

☒ Transportation Development

☒ ABCWUA

☒ Code Enforcement

☒ Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 06/16/2021 HEARING DATE OF DEFERRAL: 06/30/2021

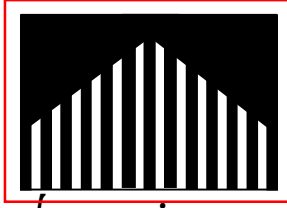
SUBMITTAL

DESCRIPTION: Revised infrastructure list, DRB Response to Comments, site plan submittal

Withdrawing the vacation request for SD-2021-00103 Vacation of the NMDOT easement as NMDOT found the abandonment document

CONTACT NAME: _____

TELEPHONE: _____ EMAIL: _____



■ Castles Design Group ■

A Professional Corporation
 3801 Kirby Drive, Suite 600
 Houston, Texas 77098
 tel : 713 . 664 . 7974
 fax : 713 . 664 . 9756
www.castlesdesigngroup.com

June 24, 2021

Integrated Development Ordinance – Building Design Narrative

To show compliance with the City of Albuquerque's (IDO), we have provided the below narrative for your review. This project falls under the NR-LM Mixed Use or Non-residential zone district.

West Elevation:

Faces Pan American Frontage Rd, the length of the façade is 124'-9". – Ground floor windows are incorporated along more than 30% of the length of the façade. Ground floor windows will be the compliant feature for the first 80 feet from North to South. The Primary entrance is in the next 40 feet. Since the building façade is longer than 100 feet, we are incorporating a change in color going from Bright white to Pearl lite grey. The 2 features on this façade are ground floor windows and primary entrance. The additional feature since the building is longer than 100 feet is the color change feature.

North Elevation:

Faces Glendale Avenue NE, the length of the façade is 216'-2". Ground Floor windows are the compliant feature with in the first 40 feet. In the next 40 feet we incorporate a color change. Following, we will feature a change in material, in the next 40 feet the compliant feature is upper story window. In the last 40 feet, we have another change in material. The street facing building façade is longer than 100 feet, so we have incorporated a change in parapet height as the additional feature. The 2 features on the façade are (but not limited to) ground floor windows and color change.; The additional feature is a change in parapet height.

South Elevation:

Faces Alameda Drive, the façade is 216'-2". A Primary entrance is the compliant feature in the first 40 feet. Additionally, we have incorporated ground floor windows in the next 40 feet. The next compliant feature within the following 40' is a change in parapet height. Following, upper story windows are featured in the next 40'. Lastly, we feature a change in material. The street facing building façade is longer than 100 feet, so we have incorporated a change in parapet height as the additional feature. The 2 features on the façade are (but not limited to) ground floor windows and color change.; The additional feature is a change in parapet height.

East Elevation:

Is not street facing.

Larry L. Christian - Alexander M. Fazzino - Steven Pratt - John Siemer

architects



TIERRA WEST, LLC

June 25, 2021

Development Review Board
City of Albuquerque
Plaza Del Sol
Albuquerque, NM 87103

**RE: AUTONATION DRB RESPONSE TO COMMENTS
PR-2021-005411**

Dear Board Members:

Per the correspondence via email of Ms. Jeanne Wolfenbarger, P.E., Transportation Development, dated June 22, 2021, please find the following responses addressing the comments listed below:

1. Provide full road cross-sections for each of the roads, indicating entire roadway width and right-of-way width.
The cross-sections were modified to show the entire street width for each roadway.
2. Provide new pavement on the infrastructure list for all of the roads and curb along the NM frontage road in coordination with NMDOT.
The NMDOT items are listed on the Infrastructure List in the last section.
3. 6-foot sidewalk should be required along the frontage road. The site plan call-out for the sidewalk width does not match the infrastructure list width on Glendale
The sidewalk width along the frontage road was changed to a 6' width. The Infrastructure List was updated with the correct sidewalk width of 5' for Glendale
4. For the right turn lane, specify "XX' storage length + transition" on the infrastructure list.
These dimensions were added to the Infrastructure List.
5. Provide bold note for work order being required for all public infrastructure. Eliminate the note about 24-hour required construction for arterial roads on the site plan.
The 24-hour work note was deleted and the other note was added stating a Work Order is required for any work in the City right-of-way.
6. Show overall required parking in the parking calculations versus provided parking. The hatching is difficult to read for storage of vehicles versus customer and employee parking. Use notes on the site plan as well as signage for designated parking.
A column was added to the parking calculation table showing what is required. Also, the hatching was removed and notes added designating the different parking areas on the Site Plan.
7. Label parking aisle width south of the building.
The width is now dimensioned.
8. Label width of all handicapped spaces, and accessible aisles on the site plan.

The dimensions were added to the Site Plan and are also shown on the detail on Sheet DET-1.

9. Call out all handicapped signage and motorcycle parking signage on the site plan with a keyed note.

The word signage was added to the keyed notes for these spaces and are further detailed on Sheet DET-1

10. Provide an enlarged plan view of the bike rack area, demonstrating sufficient bicycle parking dimensioning according to standards.

The enlarged bike area is now shown on Sheet DET-1

11. Show clear sight triangles on the landscaping plan, and include the standard note. Clear sight triangle should also be shown on the southern driveway.

Clear Sight Triangles were added to the Landscape Plan and the Alameda entrance on the Site Plan.

12. Provide keyed notes with curb ramp detail references, and provide all necessary types of curb ramps to match what is on the plan.

Keyed notes were added for each ramp design and separate details can be found on Sheet DET-1.

13. Label 6-foot pathway from right-of-way to office and from handicapped spaces to the office.

The 6-foot pathway from Glendale to the building is now labeled.

14. Show "No Parking" in back of all of the handicapped accessible aisles.

The "No Parking" lettering is shown on the Accessible Parking Detail found on Sheet DET-1.

15. Turning radii for parking lot islands shall match DPM standards. Provide 15-foot turning radii for all of the landscape islands at the end of the aisles.

All of the turning radii was updated to the 15-foot radius.

16. On sidewalk detail, call out a 2% maximum cross-slope.

This note was added to the detail found on Sheet DET-1.

17. Call out asphalt paved surface on the site plan for internal parking lot paving.

A note was added to the Site Plan stating the parking lot will be asphalt.

Per the correspondence via email of Mr. Blaine Carter, P.E., Albuquerque Bernalillo County Water Utility Authority, dated June 22, 2021, please find the following responses addressing the comments listed below:

SI-2021-00760 – SITE PLAN

1. Availability Statement #210414 was issued on June 1, 2021 and provides the conditions for service. **The Availability Statement was received.**
2. Utility Plan:

- a. Per the availability statement, the sanitary sewer service should be to the collector line to the south or through the existing service laterals. **We located the existing sanitary sewer lateral off Glendale Avenue and updated the Utility Plan to show a connection to that line once it is verified in the field.**
 - b. Please show the location, and either the utilization or removal of the existing water service connection and meter box on Glendale Avenue. **The removal of this water meter is now called out on the Master Utility Plan and was added to the Infrastructure List.**
3. Infrastructure List:
 - a. Update per comments on the utility plan. **The Infrastructure List was updated accordingly.**

SD-2021-00100 – PRELIMINARY PLAT

1. Infrastructure List:
 - b. Update per comments on the utility plan. . **The Infrastructure List was updated accordingly.**

Per the correspondence via email of Mr. Jay Rodenbeck., Planning Department, dated June 8, 2021, please find the following responses addressing the comments listed below:

Site Plan:

1. The project and application numbers need to be added to the Site Plan prior to distribution of the Site Plan to the DRB members for their e-signatures.
The numbers were added to the Site Plan.
2. The Solid Waste signature must be obtained prior to final sign-off from Planning. To avoid possibly having to amend the DRB-approved Site Plan after DRB approval due to Solid Waste comments on the Site Plan, the Solid Waste signature should be obtained prior to DRB approval of the Site Plan rather than after DRB approval.
Solid Waste has signed the Site Plan.
3. The notification items sent to Neighborhood Associations representatives and property owners within 100 feet (notifying them of the DRB applications) need to be sent in a supplemental submittal and confirmed by staff. Failure to provide this documentation could prevent the applications being heard by the DRB as staff must determine that the Neighborhood Association representatives and property owners within 100 feet were properly notified.
This item was discussed at the last hearing and Tierra West demonstrated the Neighborhood Associations were properly notified.
4. The lot has a zone line through the middle of the site. The application shows NR-LM as the proposed zoning. Is this site going through a zone map amendment?
 - a. The façade requirements and wall standards are dependent on the zone category.
As discussed at the last hearing a zone change is not required and the façade meets the requirements of each zone. There is no wall expected for this site.
5. Dimension landscape areas so that we can confirm compliance with 5-6(F)(1) Parking Lot Edges and 4-3(D)(19) Light Vehicle Sales and Rental
 - a. 4-3(D)(19)(a) Where allowed, incidental outdoor vehicle display, storage, or
 - b. service and maintenance areas must be screened from any Residential zone district or residential component of any Mixed use zone district located abutting or across an alley from those activities as required by Section 14-16-5-6 (Landscaping, Buffering,
 - c. and Screening).

Dimensions were added to the landscaped areas. This project is not adjacent to any residential and thus does not provide for any screening.

6. The area to the east is shown as temporary de-silting ponds and additional land that will be covered in native revegetated seed mix. Is there a timeline for development?
That area will remain untouched except to transition elevations between there and this project. That area will be stabilized with additional native seeding. There is currently no timeline for development.
7. The site exceeds the required 61 parking spaces by 12 spaces and has an additional 378 spaces for vehicle inventory.
Some parking was lost when the end cap islands were revised there are now a total of 365 spaces. Of that 70 is provide for customer and employee parking.
8. Signage is limited to 26 in height, see table 5-12-2.
The pole sign was revised to only be 26 feet tall.
9. Has the site been graded? If the site is vacant and ungraded, a Sensitive Lands Analysis per 5-2(C)(1) of the IDO must be performed with an analysis of site constraints related to sensitive lands. New subdivisions of land and site design shall avoid locating development, except for open spaces and areas that will not be disturbed during the development process, in the following types of sensitive lands:
 - a. 5-2(C)(1)(a) Arroyos.
 - b. 5-2(C)(1)(b) Floodplains and Special Flood Hazard Areas.
 - c. 5-2(C)(1)(c) Irrigation facilities (acequias).
 - d. 5-2(C)(1)(d) Large stands of mature trees.
 - e. 5-2(C)(1)(e) Rock outcroppings.
 - f. 5-2(C)(1)(f) Significant archaeological sites.
 - g. 5-2(C)(1)(g) Steep slopes and escarpments.
 - h. 5-2(C)(1)(h) Wetlands.**As discussed at the last hearing this analysis is not needed due to the site being previously developed.**
10. The total number of parking spaces required need to be noted on the Site Plan.
The total number of parking spaces required is now shown in the parking calculation table.
11. Due to the presence of NR-BP zoning on the site, the applicant must demonstrate on the Site Plan and/or in a comment response letter how the Building Design requirements of 5-11(E) of the IDO are being met.
See attached response letter from the architect on how the IDO requirements are being met.
12. The sign must continue to be posted until the Site Plan and Preliminary Plat are approved by the DRB.
The signs have continued to remain on site.
13. See the attached standards for Drainage Basin Treatments.
We have reviewed the Drainage Basin Treatments and believe this site meets the requirements.

Preliminary Plat

1. The Plat will need the owner's, surveyor's, and City Surveyor's signatures.
These signatures are now on the plat.

2. The Preliminary Plat application includes an Infrastructure List. The Infrastructure List needs to be signed and dated prior to distribution to the DRB members for their e-signatures.
The Infrastructure List is now signed.
3. A recorded IIA must be submitted prior to final sign-off from Planning.
The IIA will be recorded prior to final sign-off.

Easement Vacations

1. The vacation requests are justified pursuant to 6-6-(M)(3) because the PNM easement contains no existing utilities and there are existing lines to accommodate new connections.
2. The Temporary Construction easement was part of a storm sewer project that has been completed and is no longer needed.
3. The NMDOT easement is part of a larger easement that released in 2009. NM DOT has no objection to the vacation and cannot find the document that released the easement.
This request was withdrawn as NMDOT was finally able to locate the document that abandoned this area. Thus there is nothing to vacate.

Per the correspondence via email of Mr. Carl Garcia, Code Enforcement, dated June 16, 2021, please find the following responses addressing the comments listed below:

1. Per footnote 3. Please provide elevation of highway and elevation of lot to determine allowed sign height.
The highway is approximately the same elevation as the lot at the location of the pole sign therefore the sign was lowered to a maximum height of 26 feet.
2. If sign exceeds allowed height a variance will be required.
No variance is requested, the sign is now 26 feet high.
3. Show location of freestanding sign on site plan
The freestanding (pole) sign is located at the southwest corner of the property and is called out with a keyed note.
4. Sign height allowed in NR-LM is 26'
The sign detail was updated to show a height of 26'.

Per the correspondence via email of Ms. Renee Brissette P.E., Hydrology, dated June 16, 2021, please find the following responses addressing the comments listed below:


1. Hydrology has a preliminary approved Conceptual Grading & Drainage Plan with engineer's stamp 05/03/21.
2. Hydrology has no objection to the platting action.
3. Hydrology has no objection to the Vacations.
4. The infrastructure list. The following drainage line items are needed:
 - a. NMDOT – Riprap @ northwest corner of the site on Pan American Frontage
 - b. NMDOT - Riprap @ southwest corner of the site on Pan American Frontage

- c. NMDOT – 3' Concrete Channel @ southwest corner of the site on Pan American Frontage
- d. Engineer's Certification for Grading & Drainage is required for release of Financial Guarantee.

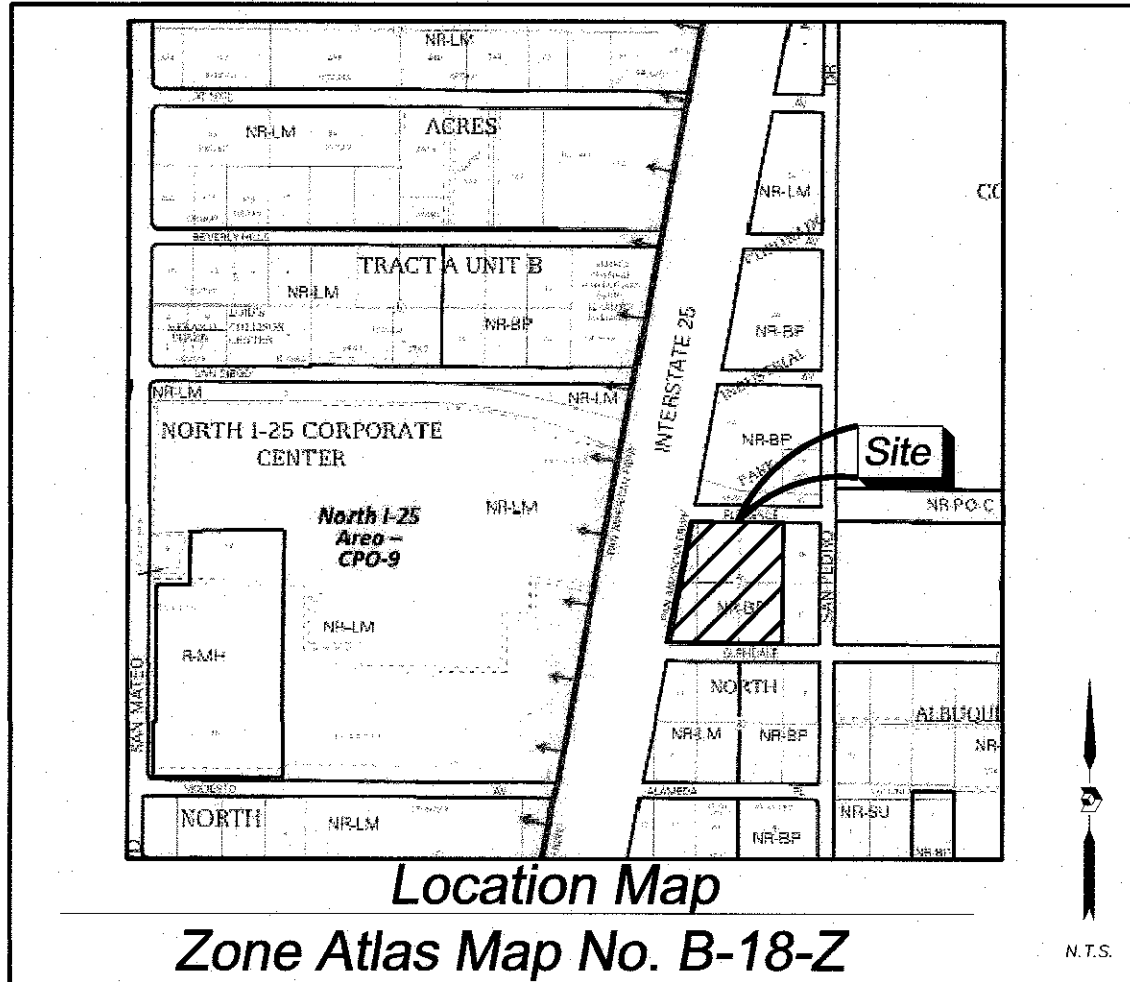
These items were added to the Infrastructure List.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

FOR 
Ronald R. Bohannon, P.E.

JN: 2021010
RRB/jn/ye



Subdivision Data:

GROSS SUBDIVISION ACREAGE: 5.2896 ACRES±
ZONE ATLAS INDEX NO: B-18-Z
NO. OF TRACTS CREATED: 0
NO. OF LOTS CREATED: 1
MILES OF FULL-WIDTH STREETS CREATED: 0

Drainage Facilities and/or
Detention Areas Maintained by Lot Owner

AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION.

THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

Dedication of Drainage Easements:

CITY CONSTRUCTS AND MAINTAINS A PERPETUAL EASEMENT ON THE AREAS DESIGNATED ON THIS PLAT AS "DRAINAGE EASEMENT" IS HEREBY DEDICATED TO THE CITY OF ALBUQUERQUE FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND FOR THE PURPOSE OF CONSTRUCTING, MAINTAINING, OPERATING, REMOVING, AND REPLACING STORM WATER DRAINAGE FACILITIES. NO FENCE, WALL, PLANTING, BUILDING, OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN SAID EASEMENT AREA AND THERE SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID DEDICATED AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. NO OBSTRUCTIONS MAY BE PLACED IN EASEMENT AREA WHICH WOULD PREVENT INGRESS AND EGRESS TO SAME BY MAINTENANCE VEHICLES OR WHICH WOULD PREVENT VEHICLES TRAVELING ON DRAINAGE WAY FOR MAINTENANCE PURPOSES.

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY, AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTOR, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN OR BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS. NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGCO) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGCO DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

TREASURER'S CERTIFICATE

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 12, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF FORMER LOTS 13 (REMNANT PORTION), 14, 15, 18, 19, 20 (REMNANT PORTION) AND 21 (REMNANT PORTION), BLOCK 8, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AS RECORDED APRIL 24, 1936, D-130, OF THE BERNALILLO COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM, GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THIS DESCRIBED LOT, BEING A NO. 5 REBAR WITH A PINK PLASTIC CAP MARKED "PS 11993" SET ON THE NORTH RIGHT OF WAY LINE OF ALAMEDA PLACE, N.E. (60-FOOT WIDE RIGHT OF WAY), WHENCE A.G.R.S. MONUMENT "10_C18" BEARS S 67°01'08" E, 210.34 FEET;

THENCE FROM THE POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE, N 89°45'23" W, 535.34 FEET TO A NO. 4 REBAR WITH A YELLOW PLASTIC CAP (ILLEGIBLE) FOUND AT THE INTERSECTION WITH THE EAST RIGHT OF WAY LINE OF NORTHBOUND PAN AMERICAN FRONTAGE ROAD N.E. (NMP F1-001-4(3)(4)(5), 80-FOOT WIDE RIGHT OF WAY), FOR THE SOUTHWEST CORNER OF THIS LOT;

THENCE ALONG SAID EAST RIGHT OF WAY LINE, N 10°45'09" E, 476.71 FEET TO A 2-INCH IRON PIPE FOUND AT THE INTERSECTION WITH THE SOUTH RIGHT OF WAY LINE OF GLENDALE AVENUE, N.E. (60-FOOT WIDE RIGHT OF WAY), FOR THE NORTHWEST CORNER OF THIS LOT;

THENCE ALONG SAID SOUTH RIGHT OF WAY LINE, S 89°40'27" E, 448.46 FEET TO A NO. 5 REBAR WITH A PINK PLASTIC CAP MARKED "PS 11993" SET FOR THE NORTHEAST CORNER OF THIS LOT;

THENCE LEAVING SAID RIGHT OF WAY LINE, S 00°15'03" W, 468.07 FEET TO THE POINT OF BEGINNING, CONTAINING 5.2896 ACRES, MORE OR LESS.

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE THE EXISTING 7 LOTS INTO ONE NEW LOT, TO VACATE 2 EXISTING EASEMENTS AND TO GRANT 2 NEW EASEMENTS.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

CHARLES W. SABADASH III
ALBUQUERQUE ANUSA, LLC
A DELAWARE LIMITED LIABILITY COMPANY

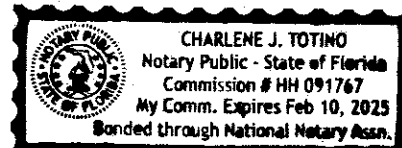
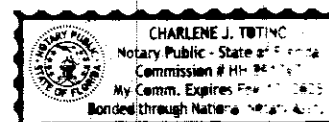
Acknowledgment

STATE OF FLORIDA)
COUNTY OF BROWARD) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 23 DAY OF JUNE, 2021 BY CHARLES W. SABADASH III, ALBUQUERQUE ANUSA, LLC, A DELAWARE LIMITED LIABILITY COMPANY.

BY [Signature] MY COMMISSION EXPIRES: 2/10/2025

NOTARY PUBLIC



Plat of
Lot 21-A, Block 8
Tract A, Unit B
North Albuquerque Acres

Elena Gallegos Grant, Projected
Section 12, Township 11 North, Range 3 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
June 2021

Project No. PR-2021-005411
Application No. SD -2021-00100
Utility Approvals

PNM DATE

NEW MEXICO GAS COMPANY DATE

QWEST CORPORATION D/B/A CENTURYLINK QC DATE

COMCAST DATE

City Approvals

CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT DATE

A.B.C.W.U.A. DATE

PARKS AND RECREATION DEPARTMENT DATE

AMAFCA DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

CODE ENFORCEMENT DATE

MRGCD DATE

NMDOT DATE


Surveyor's Certificate

I, LARRY W. MEDRANO, A LICENSED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS REPLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 6/21/2021
LARRY W. MEDRANO
N.M.S. No. 11993



REVISIONS			
NO.	DATE	BY	DESCRIPTION

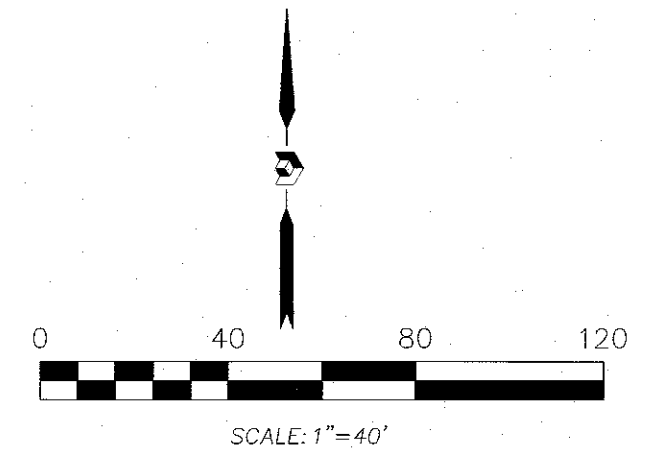
COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION				PROJECT INFORMATION							
STATE PLANE ZONE: NM-C		GRID / GROUND COORDINATES: GRID		TYPE: STANDARD		LAND GRANT ELENA GALLEGOS				PROPERTY OWNER MELLOY BROTHERS MOTOR LTD CO		ADDRESS 9100 PAN AMERICAN FREEWAY, N.E.		<div></div> <div>OFFICE LOCATION: 9200 San Mateo Boulevard, NE Albuquerque, NM 87113</div> <div>505.856.5700 PHONE 505.856.7900 FAX</div>		CREW/TECH: MT/ML/JR		DATE OF SURVEY 03/17-23/2021	
HORIZONTAL DATUM: NAD83		VERTICAL DATUM: NAVD88		ROTATION ANGLE: 0° 00' 00.00" YES		MATCHES DRAWING UNITS		SECTION 12		TOWNSHIP 11 NORTH		RANGE 3 EAST				MERIDIAN NMPM		SUBDIVISION NAME NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B	
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0				CITY ALBUQUERQUE		COUNTY BERNALILLO		STATE NM		UPC 101806520803930209 101806524003930207 101806522401630203 101806522303930208 101806523901630204 101806519701030201		DRAWN BY: JK		CHECKED BY: LM	
COMBINED SCALE FACTOR: GRID TO GROUND: 1.0003353099 GROUND TO GRID: 0.9996648025				DISTANCE ANNOTATION: GROUND		BEARING ANNOTATION: GRID		ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALID: YES		PSI JOB NO. 216022P		SHEET NUMBER 1 OF 2					

Lot 21-A, Block 8
Tract A, Unit B
North Albuquerque Acres

Elena Gallegos Grant, Projected
Section 12, Township 11 North, Range 3 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
June 2021

Glendale Avenue, N.E.
(60' PUBLIC ROW)

RECORDING STAMP



Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(EAST)	RECORD BEARINGS AND DISTANCES PER PLAT (04/24/1936, D-130)
((N 90°00'00" E))	RECORD BEARINGS AND DISTANCES PER SPECIAL WARRANTY DEED (04/08/2016, DOC. NO. 2016032970)
○	FOUND AND USED MONUMENT AS SHOWN
●	REBAR WITH PINK PLASTIC CAP "PS 11593" S&L THIS SURVEY
△	FOUND ALUMINUM AGS MONUMENT AS DESIGNATED

Lot 21-A
AREA=5.2896 ACRES±
230,417 SQ. FT.±

Point of Beginning

Alameda Place, N.E.
(60' PUBLIC ROW)

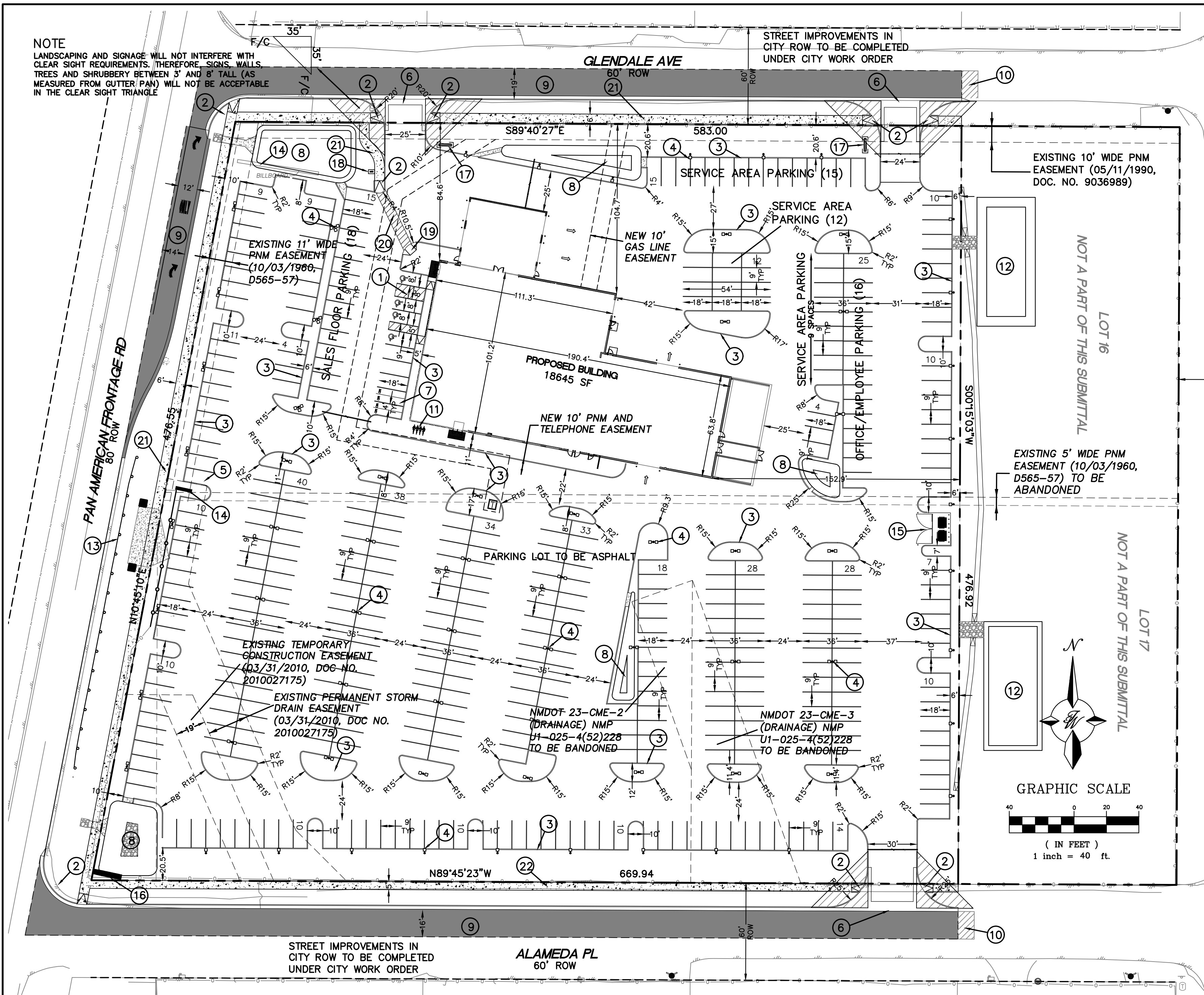
San Pedro Drive, N.E.
(60' PUBLIC ROW)

COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION				PROJECT INFORMATION	
STATE PLANE ZONE: NM-C	GRID/GROUND COORDINATES: GRID	TYPE: STANDARD		LAND GRANT ELENA GALLEGOS GRANT				PROPERTY OWNER MELLOY BROTHERS MOTOR LTD CO				CREW/TECH: MT/ML/JR	DATE OF SURVEY 03/17-23/2021
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS YES	SECTION 12				SUBDIVISION NAME NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B				DRAWN BY: JK	CHECKED BY: LM
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				TOWNSHIP 11 NORTH				CITY ALBUQUERQUE				PSI JOB NO. 216022P	SHEET NUMBER 2 OF 2
COMBINED SCALE FACTOR: GRID TO GROUND: 1.0003353099 GROUND TO GRID: 0.9996648025				RANGE 3 EAST				COUNTY BERNALILLO					
DISTANCE ANNOTATION: GROUND				MERIDIAN NMPPM				STATE NM					
BEARING ANNOTATION: GRID				ELEVATION TRANSLATION: ±0.00'				ELEVATIONS VALID: YES					
				UPC 101806520803830209 101806524003930207 101806522401630203 101806520701630202 101806522303930208 101806523901630204 101806522401630203 101806520701630202 101806519701030201									

PRECISION
SURVEYS, INC.

OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113
505.856.5700 PHONE
505.856.7900 FAX

NOTE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH
CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS,
TREES AND SHRUBBERY BETWEEN 5' AND 6' TALL (AS
MEASURED FROM GUTTER (P)AN) WILL NOT BE ACCEPTABLE
IN THE CLEAR SIGHT TRIANGLE

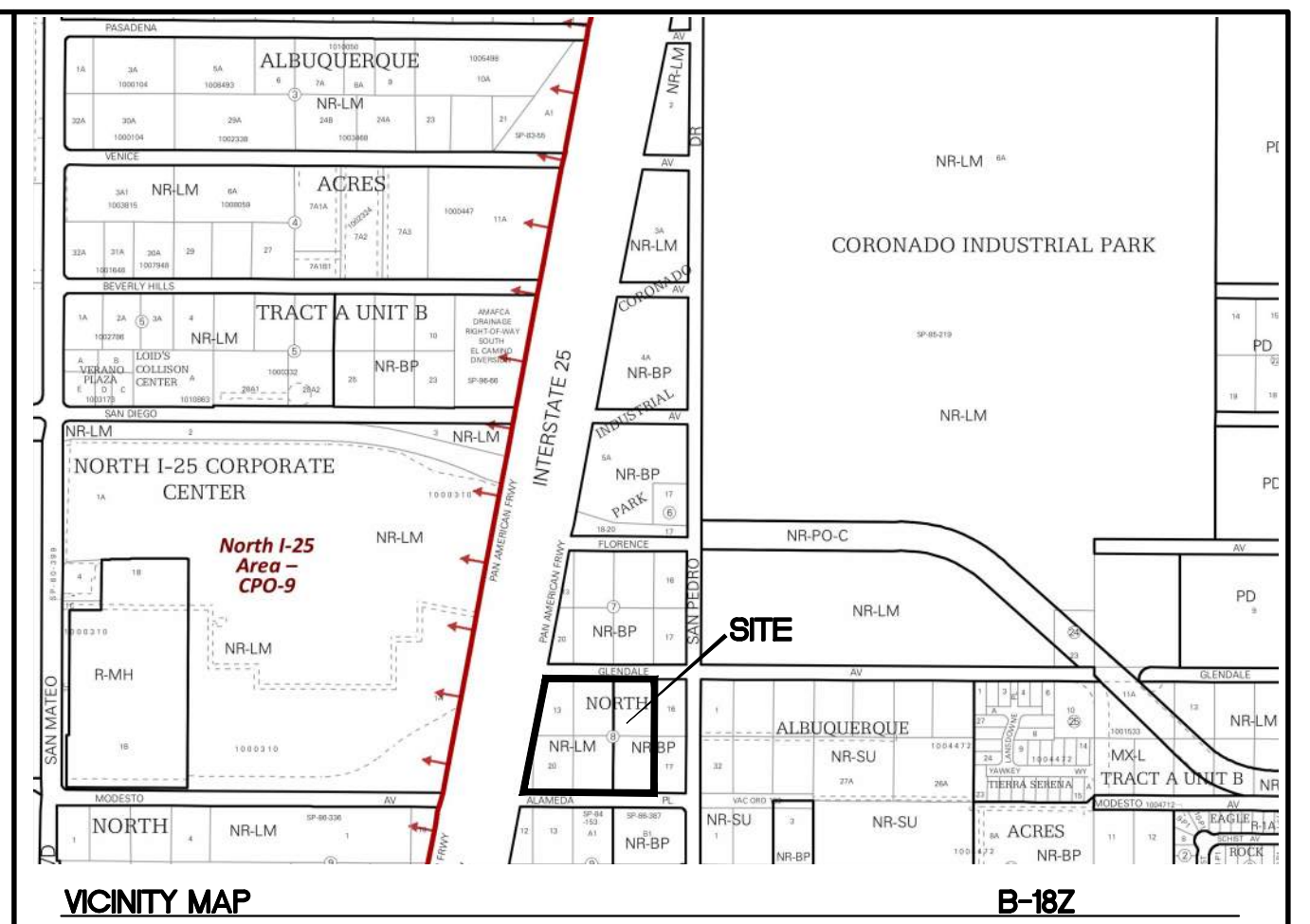


LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	MOTORCYCLE SPACE W/SIGN SEE SHEET 6 FOR SIGN DETAIL
	NEW ASPHALT PAVING
	SAWCUT LINE

SITE DATA

PROPOSED USAGE:	Commercial Services
ZONE:	NR-LM
IDO CLASSIFICATION:	LIGHT MAUFACTURING
LOT AREA:	230263 SF (5.29 ACRES)
ADDRESS:	9100 PAN AMERICAN WAY ALBUQUERQUE, NM 87107
SETBACKS	FRONT PER PLAN REAR PER PLAN SIDE PER PLAN
BUILDING AREA:	BUILDING : 18645 SF
HC PARKING REQUIRED:	4 SPACES
HC PARKING PROVIDED:	4 SPACES (1 VAN ACCESSIBLE)
MC PARKING REQUIRED:	4 SPACES
MC PARKING PROVIDED:	4 SPACES
BICYCLE PARKING REQUIRED:	4 SPACES
BICYCLE PARKING PROVIDED:	4 SPACES
LANDSCAPE AREA REQUIRED:	31742 SF
LANDSCAPE AREA PROVIDED:	32056 SF



LEGAL DESCRIPTION:

PORTION OF LOT NUMBERED 13 LESS PART TO R/W , ALL OF LOTS 14, 15, 18, 19 AND
PORTIONS OF LOTS 20 AND 21 BLOCK 8 OF TRACT "A", UNIT "B"008 NORTH ALBUQ ACRES

NOTES:

UPC 101806520803930209 UPC 101806522303930208 UPC 101806524003930207
UPC 101806519701030201 UPC 101806520701630202
UPC 101806522401630203 UPC 101806523901630204

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

GENERAL NOTES - SITE PLANS:

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
2. WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
3. GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
4. GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
5. GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
6. PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
 - 1/2" @ ALL EXIT DOORS
 - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
 - 1 1/2" @ OVERHEAD DOORS
 - 1 1/2" @PRE-FAB METAL WALL PANELS

KEYED NOTES

- 1 ACCESSIBLE PARKING W/SIGN PER ADA STANDARDS (1.0% MIN - 2.0% MAX SLOPE) SEE SHEET DET-1
- 2 UNIDIRECTIONAL ACCESSIBLE RAMP
- 3 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- 4 PARKING LOT LIGHT STANDARD (TYP) FULL CUTOFF LED'S, 25' HIGH
- 5 EXISTING BILLBOARD TO BE REMOVED
- 6 6' VALLEY GUTTER PER COA STD DWG 2415B
- 7 MOTORCYCLE SPACE (4'X8' MIN) W/SIGN
- 8 DETENTION POND
- 9 NEW ASPHALT PAVING
- 10 10' TRANSITION TO EXISTING ASPHALT PAVING
- 11 BICYCLE RACK, SEE SHEET DET-1 FOR DETAIL
- 12 TEMPORARY DESILTING POND
- 13 REMOVE AND REPLACE 230 LF EXISTING GUARD RAIL PER CURRENT NMDOT STANDARDS
- 14 EXISTING SIGN TO REMAIN
- 15 DUMPSTER W/RECYCLING
- 16 PYLON SIGN
- 17 MONUMENT SIGN
- 18 DIRECTIONAL SIGN
- 19 MULTI DIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
- 20 6' PEDESTRIAN CROSSING SEE DETAIL SHEET DET-1
- 21 NEW 6' CONCRETE SIDEWALK PER COA STD DW 2430
- 22 NEW 5' CONCRETE SIDEWALK PER COA STD DW 2430

PARKING ANALYSIS:

REFERENCE CHAPTER 112 OFF-STREET PARKING, SECTION 112-4 MINIMUM REQUIREMENT FOR SPACES.		
REQUIRED:	REQUIRED:	PROVIDED:
SALES FLOOR AREA Section 112-4 Note 12 1 Space per 500 sf	7,237 sf 15 Spaces	18
OFFICE AREA Section 112-4 Note 2 3 Spaces per first 500 sf 1 Space per 200sf additional [8452 sf] Total	2,952 sf 3 Spaces 8 Spaces 11 Spaces	16
SERVICE AREA Section 112-4 Note 23 1 Space per Service Bay 1 Space per 300 sf Total	8456 sf 6 Spaces 29 Spaces 35 Spaces	36
TOTAL SPACES REQUIRED CARS	61 Spaces	70
Required minimum number of ACCESSIBLE PARKING SPACES based on combined total for customers and employees.	3 Required	4
NOTE: ALL REMAINING PARKING IS FOR VEHICLE INVENTORY STORAGE.		365

PROJECT NUMBER: PR-2021-005411

APPLICATION NUMBER: SI-2021-00760

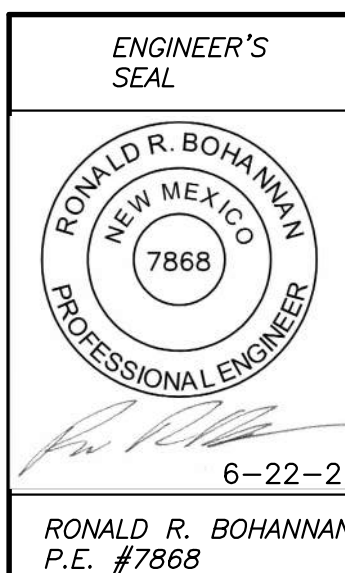
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional) <i>Herman Gallagos</i>	Date 06-23-21
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary



AUTO NATION
ALBUQUERQUE, NM

SITE PLAN FOR
BUILDING PERMIT

TERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
pm
DATE
6-22-21
DRAWING
2021010-SP
SHEET #
SP-1
JOB #
2021010

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM BUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

Street Trees Required 117 Provided 117

PAN AMERICAN FRONTAGE RD.

GLENDALE AVE. NE

ALAMEDA PL. NE

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf) 230818
TOTAL BUILDING AREA (sf) 19420
TOTAL LOT AREA (sf) 210898
LANDSCAPE REQUIREMENT X .15
TOTAL LANDSCAPE REQUIRED (15%) 31635

TOTAL ON-SITE LANDSCAPE PROVIDED 54021
TOTAL LIVE GROUND COVER REQUIRED 42046
TOTAL LIVE GROUND COVER PROVIDED 114573

LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
17	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45 2025 34425 M
30	2" cal	Frontier Elm <i>Ulmus carpinifolioxparvifolia</i> 'Frontier'	35x25 625 18750 M
18	2" cal	Raywood Ash <i>Fraxinus angustifolia</i> oycarpa	35x25 625 11250 M
5	6-8"	Austrian Pine <i>Pinus nigra</i>	35x25 625 3125 M
22	15 Gal.	Mexican Redbud <i>Cercis mexicana</i>	15x12 144 3168 M
23	2"	Zelkova <i>Zelkova serrata</i> 'Green Vase'	30x30 900 20700 M
30 Total Trees		Total Tree Coverage	91418

Shrubs & Groundcovers

84	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x5 25 2100 M
51	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3x6 36 1836 L
80	5 Gal	Beargrass <i>Nolina texana</i>	3x3 9 120 L
28	5 Gal	Lechuguilla <i>Agave lechuguilla</i>	1x5 25 100 L
4	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x7 49 196 M
56	5 Gal	Buffalo Juniper <i>Juniperus sabina</i> 'Buffalo'	1x12 144 8064 M
40	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3 9 360 M
53	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 471 M
7	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x7 49 343 L
11	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x7 49 539 L
16	5 Gal	Spanish Broom <i>Caryopteris x clandonensis</i>	10x10 100 1600M
6	5 Gal	Curl-leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15x15 225 1350L+
23	5 Gal	Rose of Sharon <i>Hibiscus syriacus</i>	10x10 100 2300M
29	5 Gal	Gr Lo Sumac <i>Rhus aromatica</i>	3x7 49 1421 M
10	5 Gal	Knock Out Roses <i>Rosa sp.</i>	2x4 16 160 L
20	5 Gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	2.5x2 4 80 M
101	5 Gal	Dwarf Fountain Grass <i>Pennisetum alopecuroides</i> 'Hamelin'	9 909 M
x		Total Shrub Coverage	23155
52783		Landscape Gravel / Filter Fabric Brown Gravel, 3/4"-1"	
1248		Oversize Cobble 2-4" Fractured, On all slopes exceeding 3:1	
64425		Native Revegetative Seed Mix Seed per City of Albuquerque, Standard Specification for native seed, East Side Mix	
4996		Pond, Sides and Bottom, See Pond Notes. Seed per City of Albuquerque, Standard Specification for native seed, East Side Mix	
Not included in total landscape area		Landscape Area Square Footage	

TREE PLANTING DETAIL

NTS

GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL - PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH IT WAS GROWN AND THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
CONSTRUCTION NOTES:
A. SHRUB.
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERRY AROUND WATER RETENTION BASIN.
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.

SHRUB PLANTING DETAIL

NTS

GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
CONSTRUCTION NOTES:
A. SHRUB.
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERRY AROUND WATER RETENTION BASIN.
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.

RPA, HOTBOX TYP.

NTS

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" polytape with Flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

Pond Notes:

Ponds are identified on the landscape plan. The bottom and sides shall be seeded with a native seed mix per City Standard specification 1012.2.2.4, Wildflower and Native-Grass Seed.

For pond bottoms: Gravel 3" - 1", one layer thick, with stretch irrigation system for germination.

Reference Section 1012.3.7.6 Aggregate Mulch for addition of aggregate mulch and installation guide.

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water truck must be used during dry weather. Seeds shall germinate in 1 year, or reseeding will be required.

Maintenance of ponding areas shall be per the City of Albuquerque, Specification 1012.3.4.1 and 1012.3.4.2.

Contractor shall seed the basin during/after the first growing season.

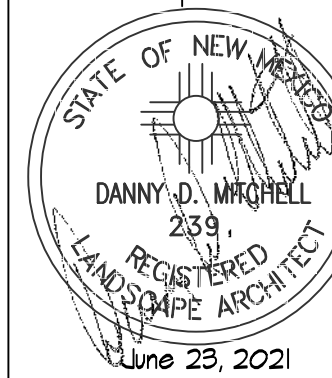
Seeding will require inspection by the City. Reference Standard specification 1012.3.11. If determined that insufficient germination has occurred, the CONTRACTOR shall reseed the areas with no additional cost to the OWNER.

Landscape Plan

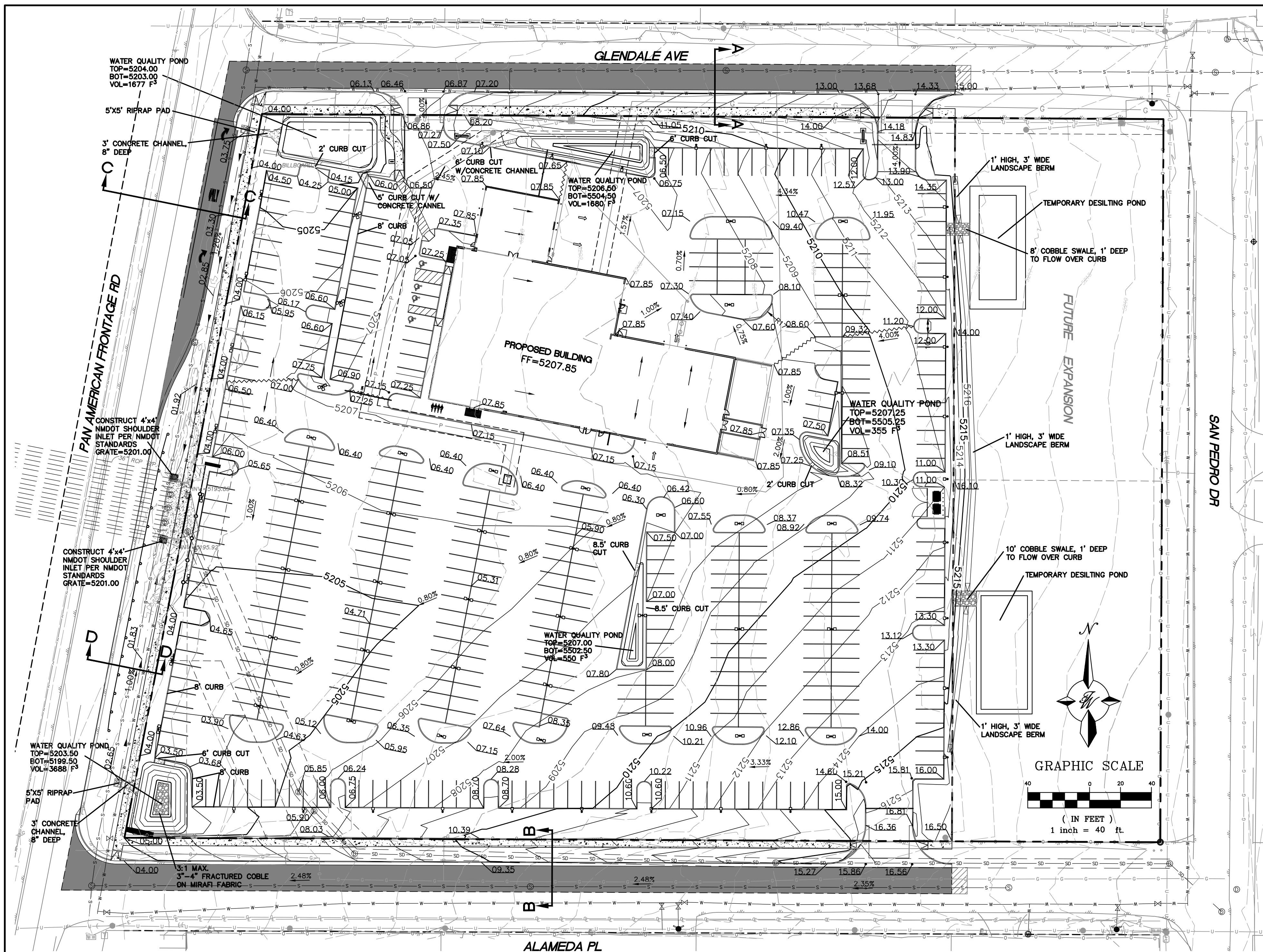
Auto Nation
Albuquerque, NM

Mitchell Associates, LLC

Seal: Landscape Architect



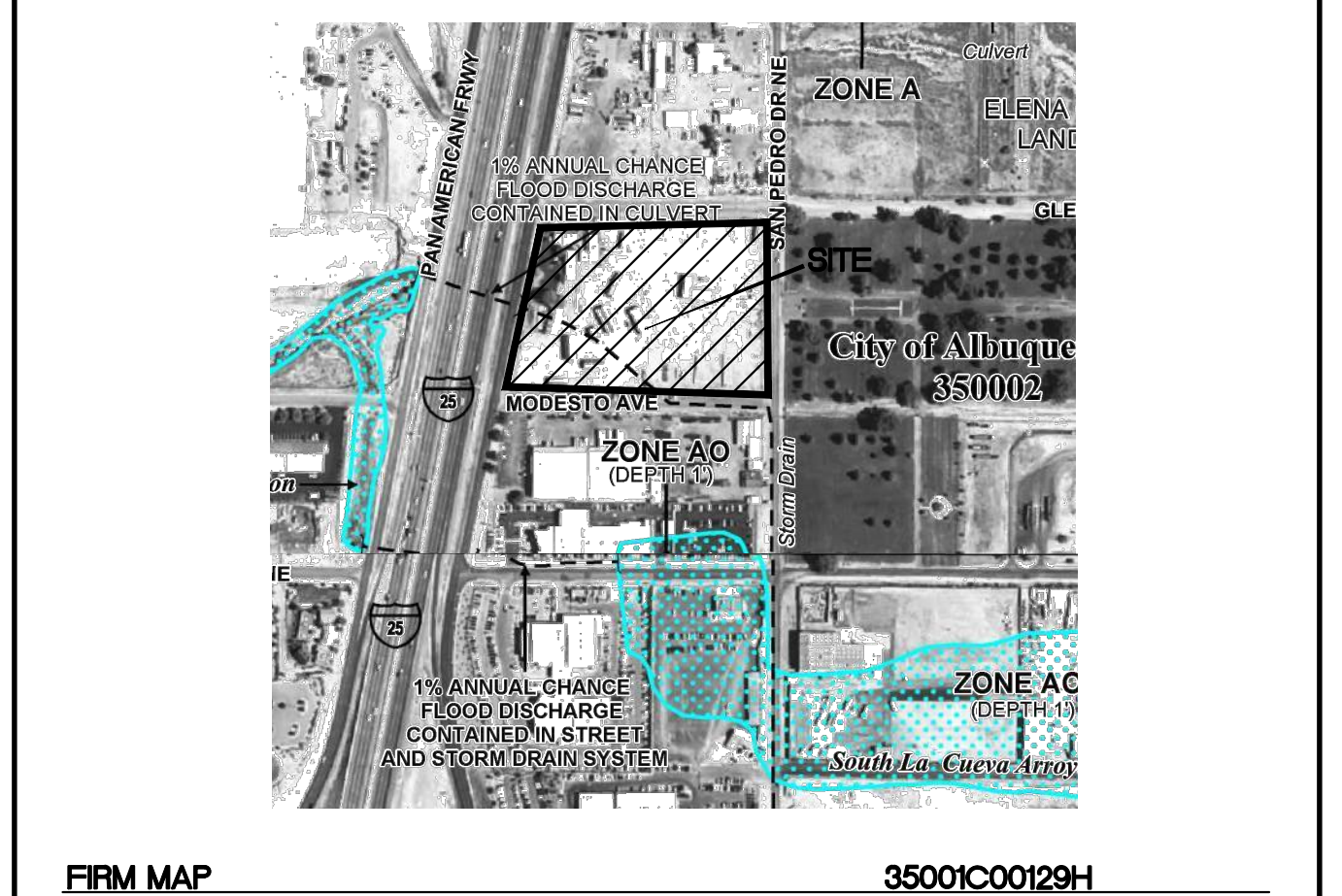
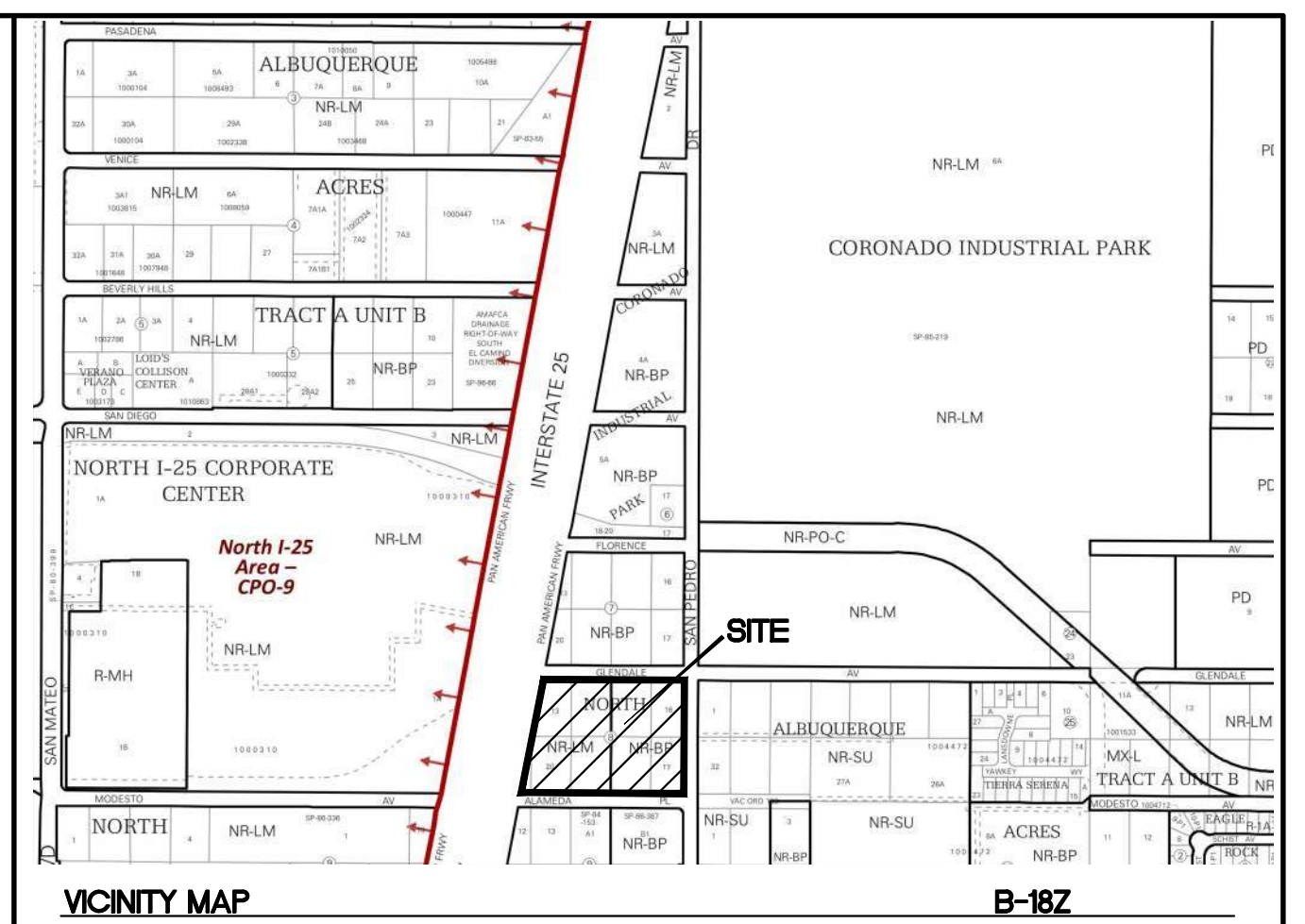
DRAWING NO:
LS-101



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - 5010 CONTOUR MAJOR
 - 5011 CONTOUR MINOR
 - 5048.25 FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING CONTOUR MAJOR
 - EXISTING CONTOUR MINOR
 - EXISTING SPOT ELEVATION
 - EXISTING LIGHT STANDARD
 - SAWCUT LINE

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 - ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.



- PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY**
NOTICE TO CONTRACTOR
(SPECIAL ORDER 19 80-19)
- BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
 - CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
 - AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL 811 [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 - WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
 - CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857- 8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

EXISTING DRAINAGE:

THIS SITE IS CURRENTLY VACANT AND IS LOCATED ON THE WEST SIDE OF SAN PEDRO BETWEEN GLENDALE AVENUE AND ALAMEDA PLACE. THE SITE IS BOUNDED BY ROADS ON ALL FOUR SIDES AND CONTAINS APPROXIMATELY 5.29 ACRES. THE SITE DRAINS FROM EAST TO WEST AND INTO A DRAINAGE SWALE ALONG THE EAST SIDE OF PAN AMERICAN FREEWAY. THE SWALE THEN DRAINS TO TWO EXISTING 36" RCP PIPES THAT DRAIN TO THE WEST UNDER INTERSTATE 25 AND INTO AN ARROYO. ACCORDING TO AN APPROVED DRAINAGE PLAN FOR THE SAN PEDRO STORM DRAIN PROJECT (CITY PROJECT NO. 5304.91) COMPLETED BY THOMPSON ENGINEERING IN JANUARY OF 2010, THIS SITE IS CONTAINED WITHIN BASIN 116.21. THAT BASIN ALSO INCLUDES 2 LOTS TO THE EAST OF THIS PROJECT THAT ARE OWNED BY THIS SAME LAND OWNER. THAT BASIN WAS DESIGNED TO DRAIN 30.0 CFS TO THE SAN PEDRO STORM SEWER. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THIS PROJECT DOES RECEIVE OFFSITE FLOW FROM THE 2 LOTS TO THE EAST ALONG SAN PEDRO.

PROPOSED DRAINAGE:

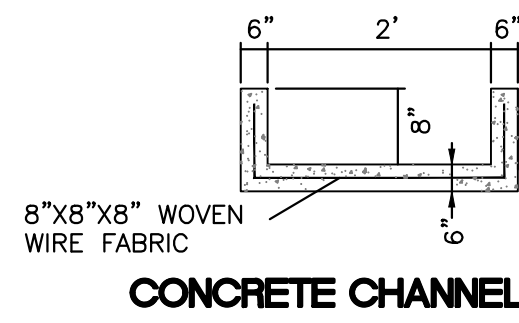
THE SITE WILL CONTINUE TO DRAIN FROM EAST TO WEST INTO THE EXISTING DRAINAGE SWALE ALONG PAN AMERICAN FREEWAY AND IS DIVIDED INTO THREE BASINS. THE OFFSITE LOTS TO THE EAST WILL CONTINUE TO DRAIN THROUGH THIS SITE VIA TEMPORARY DESILTING PONDS LOCATED ALONG THE PROPERTY LINE. BASIN OF-1 WILL DRAIN A 100YR, 6-HR FLOW OF 1.67 CFS TO BASIN "B" WHILE BASIN OF-2 WILL DRAIN A 100YR, 6-HR FLOW OF 4.10 CFS TO BASIN "C".

BASIN "B" WILL GENERATE A 100YR, 6-HR FLOW OF 4.47 CFS WHICH WILL BE DIRECTED TO A WATER QUALITY POND. BASIN "B" WILL PASS THROUGH THE OFFSITE FLOWS FROM BASIN OF-1. THE POND WILL CONTAIN THE REQUIRED WATER QUALITY VOLUME AND THEN OVERFLOW TO BASIN "A".

BASIN "A" WILL GENERATE A 100YR, 6-HR FLOW OF 2.36 CFS WHICH WILL BE DIRECTED TO A WATER QUALITY POND. BASIN "C" WILL PASS THROUGH THE FLOWS FROM BASIN OF-2. THE COMBINED VOLUME OF THE PONDS CONTAIN THE REQUIRED WATER QUALITY VOLUME. ALL FLOWS EVENTUALLY WILL PASS THROUGH THE WATER QUALITY POND LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY AND OVERFLOW INTO THE EXISTING DRAINAGE SWALE ALONG PAN AMERICAN FREEWAY AS IT DOES IN THE EXISTING CONDITION.

BASIN "C" WILL GENERATE A 100YR, 6-HR FLOW OF 14.26 CFS WHICH WILL BE DIRECTED TO TWO WATER QUALITY PONDS. BASIN "C" WILL PASS THROUGH THE FLOWS FROM BASIN OF-2. THE COMBINED VOLUME OF THE PONDS CONTAIN THE REQUIRED WATER QUALITY VOLUME. ALL FLOWS EVENTUALLY WILL PASS THROUGH THE WATER QUALITY POND LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY AND OVERFLOW INTO THE EXISTING DRAINAGE SWALE ALONG PAN AMERICAN FREEWAY AS IT DOES IN THE EXISTING CONDITION.

THE EXISTING DRAINAGE SWALE ALONG PAN AMERICAN FREEWAY WILL BE CLEANED AND LINED WITH COBBLE TO PREVENT EROSION. THE TOTAL DISCHARGE TO THE SWALE IS 26.86 CFS WHICH IS WELL BELOW THE 30.0 CFS ALLOWED PER THE APPROVED DRAINAGE ANALYSIS.



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	AUTO NATION ALBUQUERQUE, NM	DRAWN BY pm
	GRADING AND DRAINAGE PLAN	DATE 6-22-21
		DRAWING 2021010-GR
	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-1

Weighted E Method (Developed)

On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
A	26,610	0.61	0%	0	24%	0.15	0%	0.00	76%	0.46	1.963	0.100	2.36	1.220	0.062	1.40
B	49,337	1.13	0%	0	20%	0.23	0%	0.00	80%	0.91	2.024	0.191	4.47	1.268	0.120	2.67
C	154,430	3.55	0%	0	16%	0.57	0%	0.00	84%	2.98	2.085	0.616	14.26	1.316	0.389	8.61
Total													21.09			

Off-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
OF-1	17,982	0.41	0%	0	15%	0.06	0%	0.00	85%	0.35	2.101	0.072	1.67	1.329	0.046	1.01
OF-2	44,159	1.01	0%	0	15%	0.15	0%	0.00	85%	0.86	2.101	0.177	4.10	1.329	0.112	2.48
Total													5.77			

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Excess Precipitation, E (inches)		
Zone 2	100-Year	10 - Year
Ea	0.62	0.15
Eb	0.80	0.30
Ec	1.03	0.48
Ed	2.33	1.51

Peak Discharge (cfs/acre)		
Zone 2	100-Year	10 - Year
Qa	1.71	0.41
Qb	2.36	0.95
Qc	3.05	1.59
Qd	4.34	2.71

Water Quality Calculations

Basin	Impervious Area (sf)	SWQV (in)	Storm Water Quality Vol. (ft ³)	Storm Water Quality Vol. (ac-ft)
A	20,224	0.42	708	0.016
B	39,470	0.42	1381	0.032
C	129,721	0.42	4540	0.104
OF-1	15,285	0.42	535	0.012
OF-2	37,535	0.42	1314	0.030

Channel Capacity										
	Top Width	Bottom Width	Depth	Area	WP	R	Slope	Q Provided	Q Required	Velocity
	(ft)	(ft)	(ft)	(ft^2)	(ft)		(%)	(cfs)	(cfs)	(ft/s)
Channel	3	3	0.67	2.01	4.34	0.4631	1	13.79	8.50	4.23
Channel	4	4	0.67	2.68	5.34	0.5019	1	19.40	18.36	6.85
Manning's Equation:										
Q = 1.49/n * A * R^(2/3) * S^(1/2)										
A = Area										
R = D/4										
S = Slope										
n = 0.013										

Curb Opening Capacity

Weir Equation:

$Q = CLH^{3/2}$

Q= Flow
C= 2.95
L= Length of weir
H= Height of Weir

Basin "A" Curb Openings

$Q = 2.95 * 5.0 * 0.67^{3/2}$
 $Q = 8.90 \text{ cfs} < Q = 8.50 \text{ cfs}$

Basin "B" Curb Openings

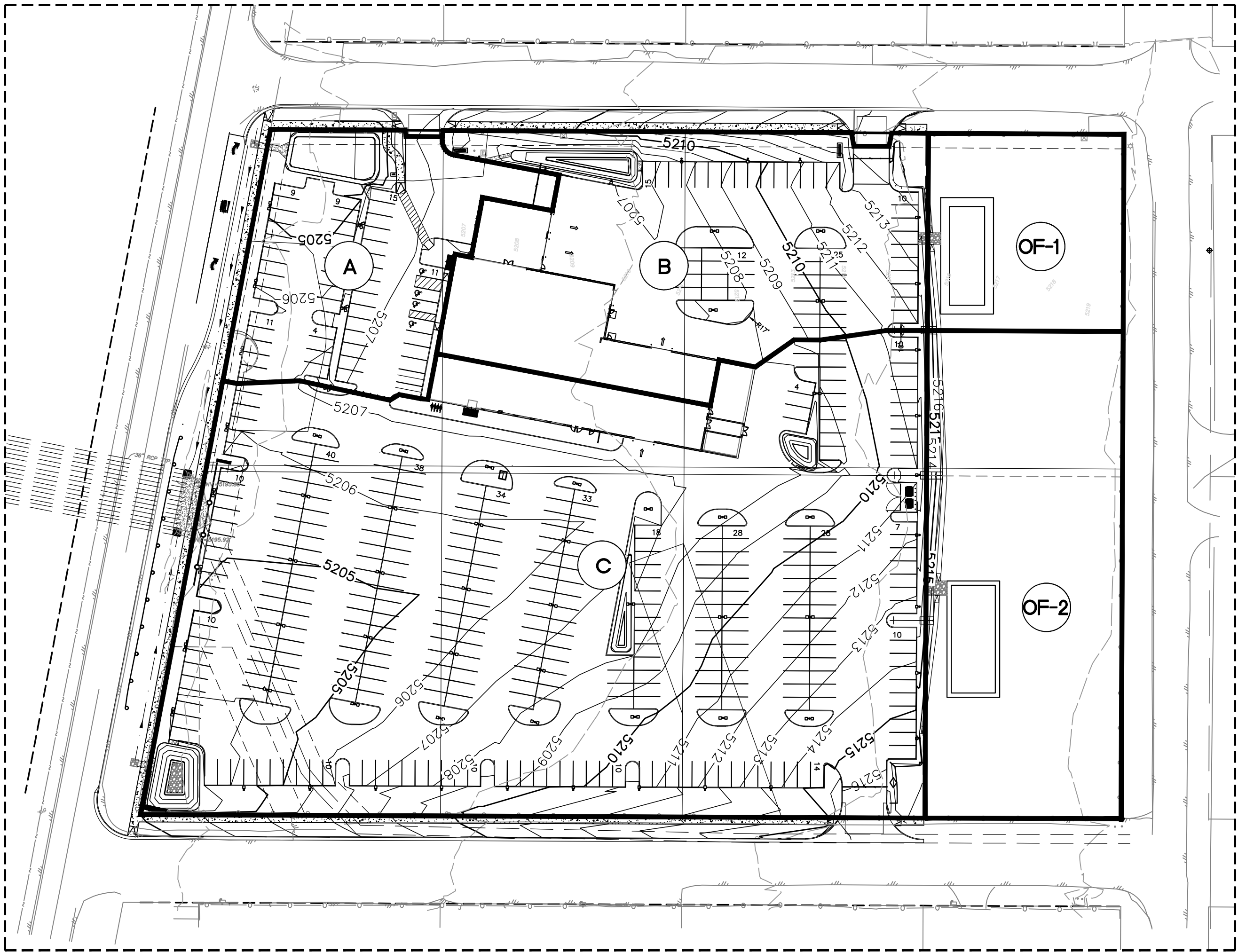
$Q = 2.95 * 6 * 0.5^{3/2}$
 $Q = 6.26 \text{ cfs} < Q = 6.14 \text{ cfs}$

Upper Basin "C" Curb Openings

$Q = 2.95 * 8.5 * .5^{3/2}$
 $Q = 8.87 \text{ cfs} < Q = 8.85 \text{ cfs}$

Lower Basin "C" Curb Openings



$Q = 2.95 * 11.5 * .67^{3/2}$
 $Q = 18.61 \text{ cfs} < Q = 18.36 \text{ cfs}$

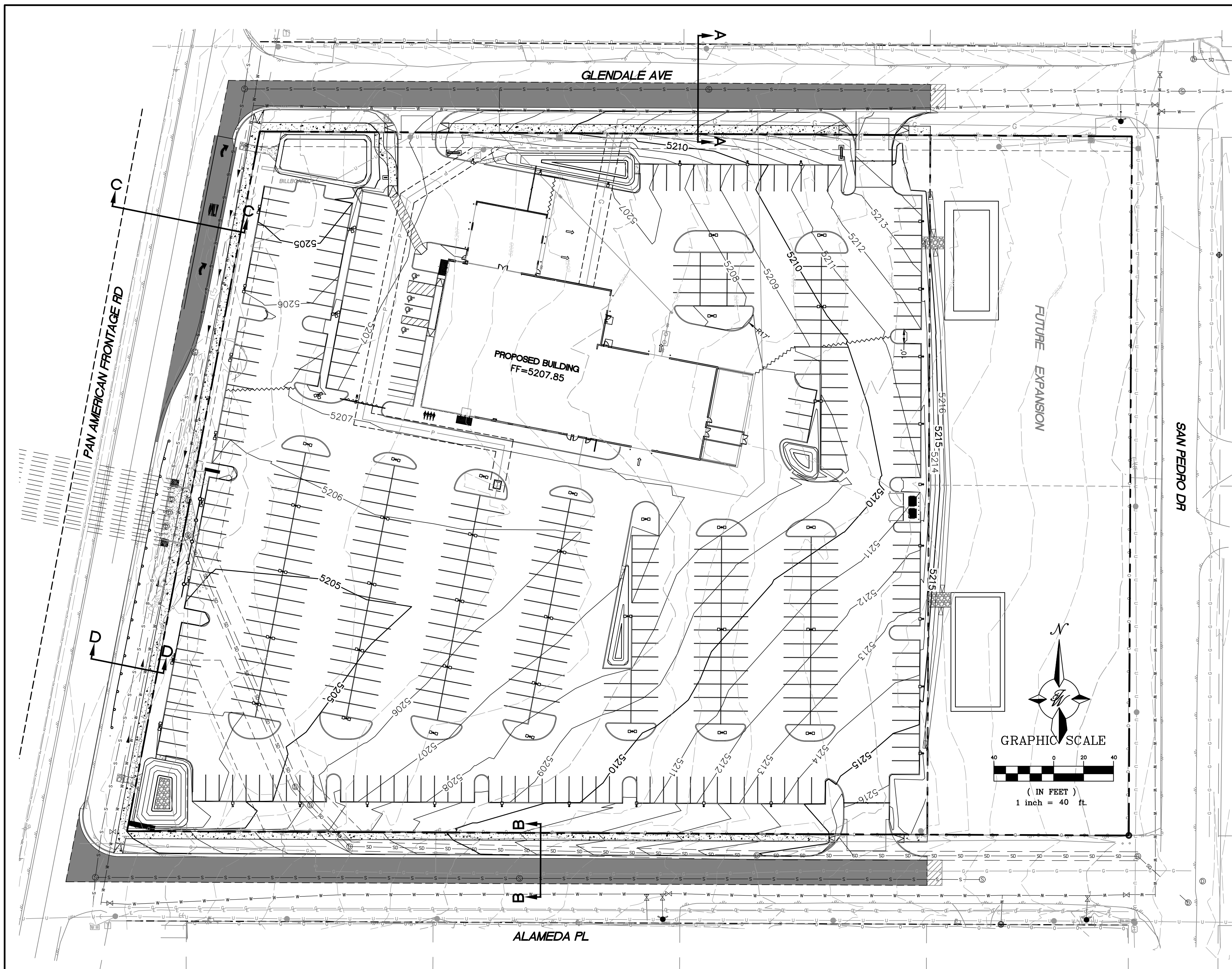


BASIN MAP

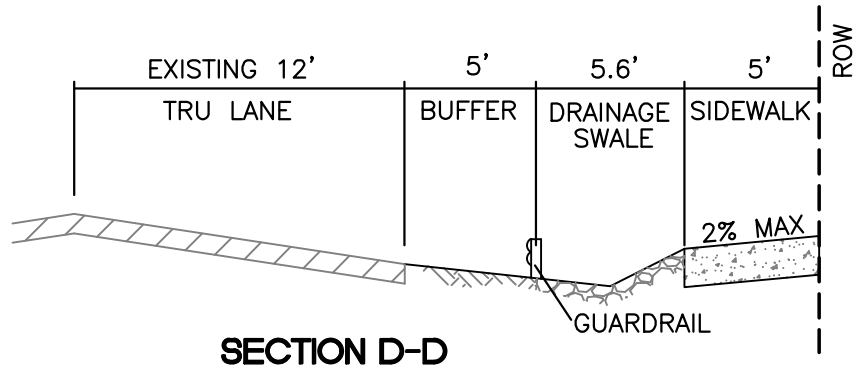
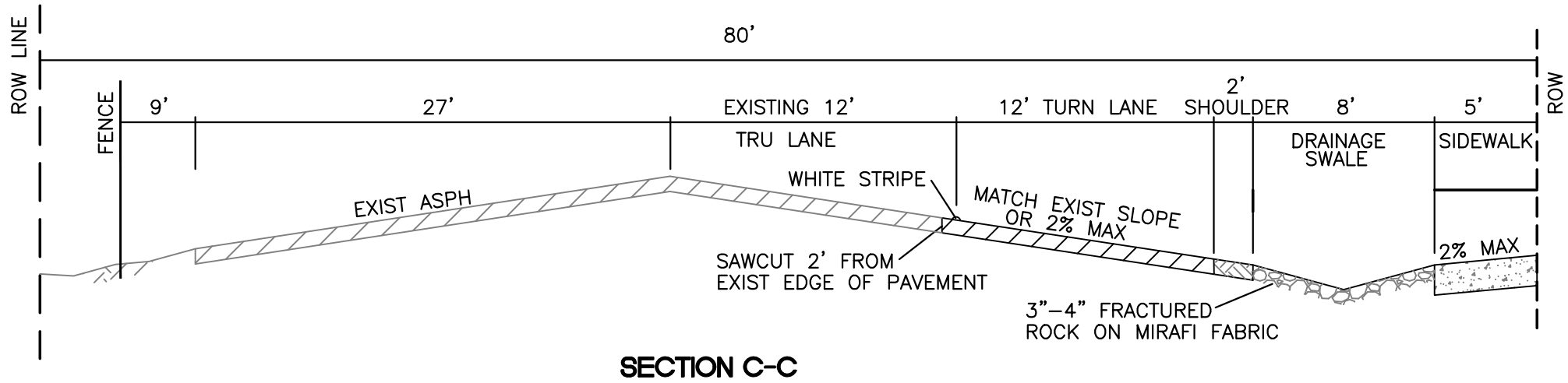
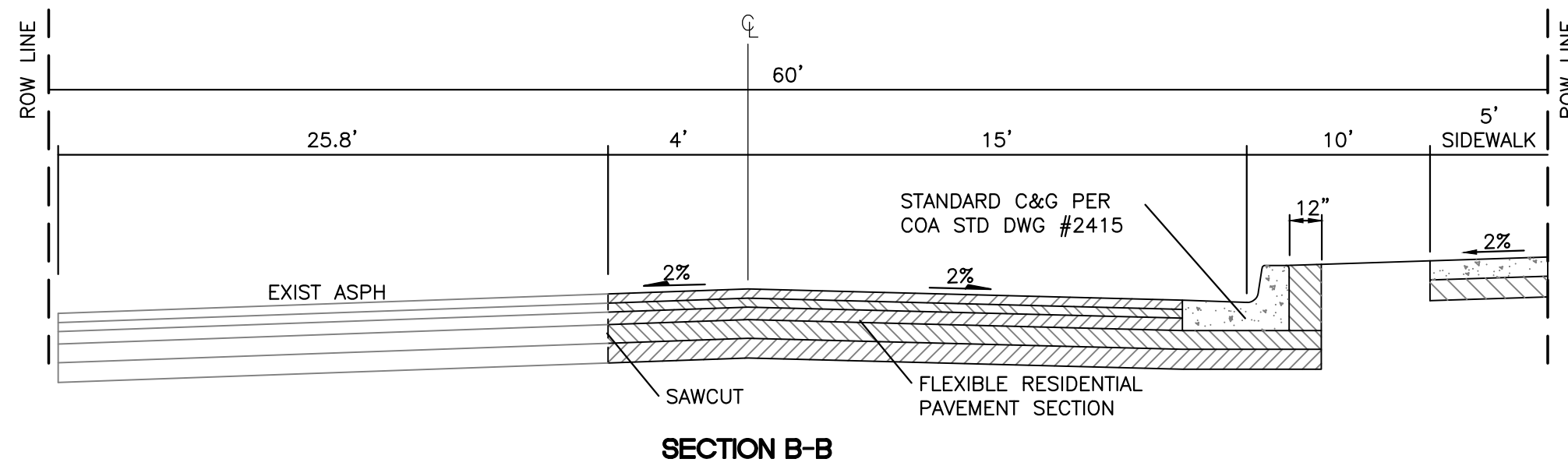
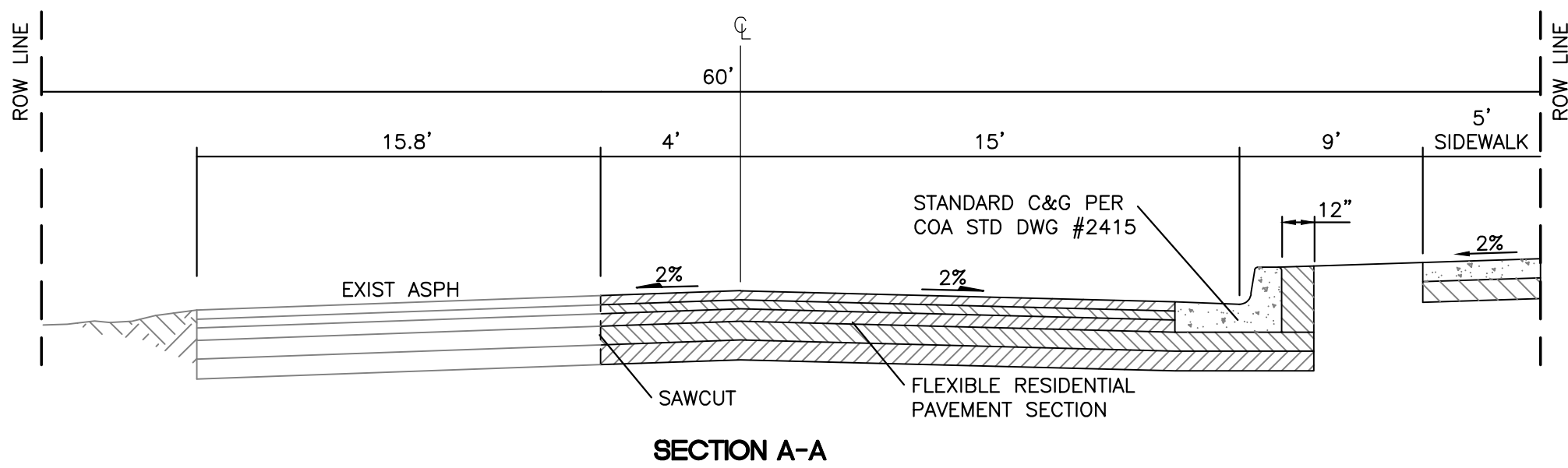
CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

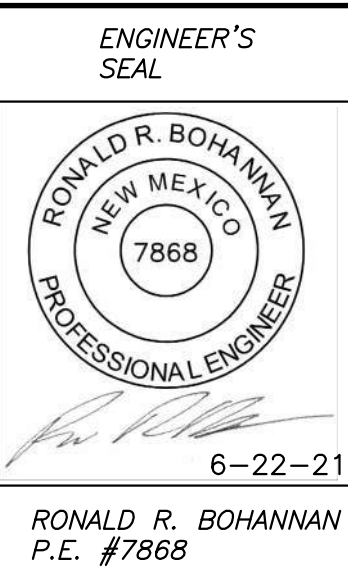
ENGINEER'S SEAL	AUTO NATION ALBUQUERQUE, NM	DRAWN BY pm
 6--22--21		DATE 6--22--21
	GRADING AND DRAINAGE PLAN	DRAWING 2021010--GR
	 <i>TERRA WEST, LLC</i> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858--3100 www.tierrawestllc.com	SHEET # GR-2
RONALD R. BOHANNAN P.E. #7868		JOB # 2021010



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - 5010 CONTOUR MAJOR
 - 5011 CONTOUR MINOR
 - x 5048.25
 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - 5010 EXISTING CONTOUR MAJOR
 - 5011 EXISTING CONTOUR MINOR
 - x 5048.25
 - EXISTING SPOT ELEVATION
 - EXISTING LIGHT STANDARD
 - SAWCUT LINE



CAUTION
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



**AUTO NATION
ALBUQUERQUE, NM**

**GRADING AND DRAINAGE
PLAN**

TERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

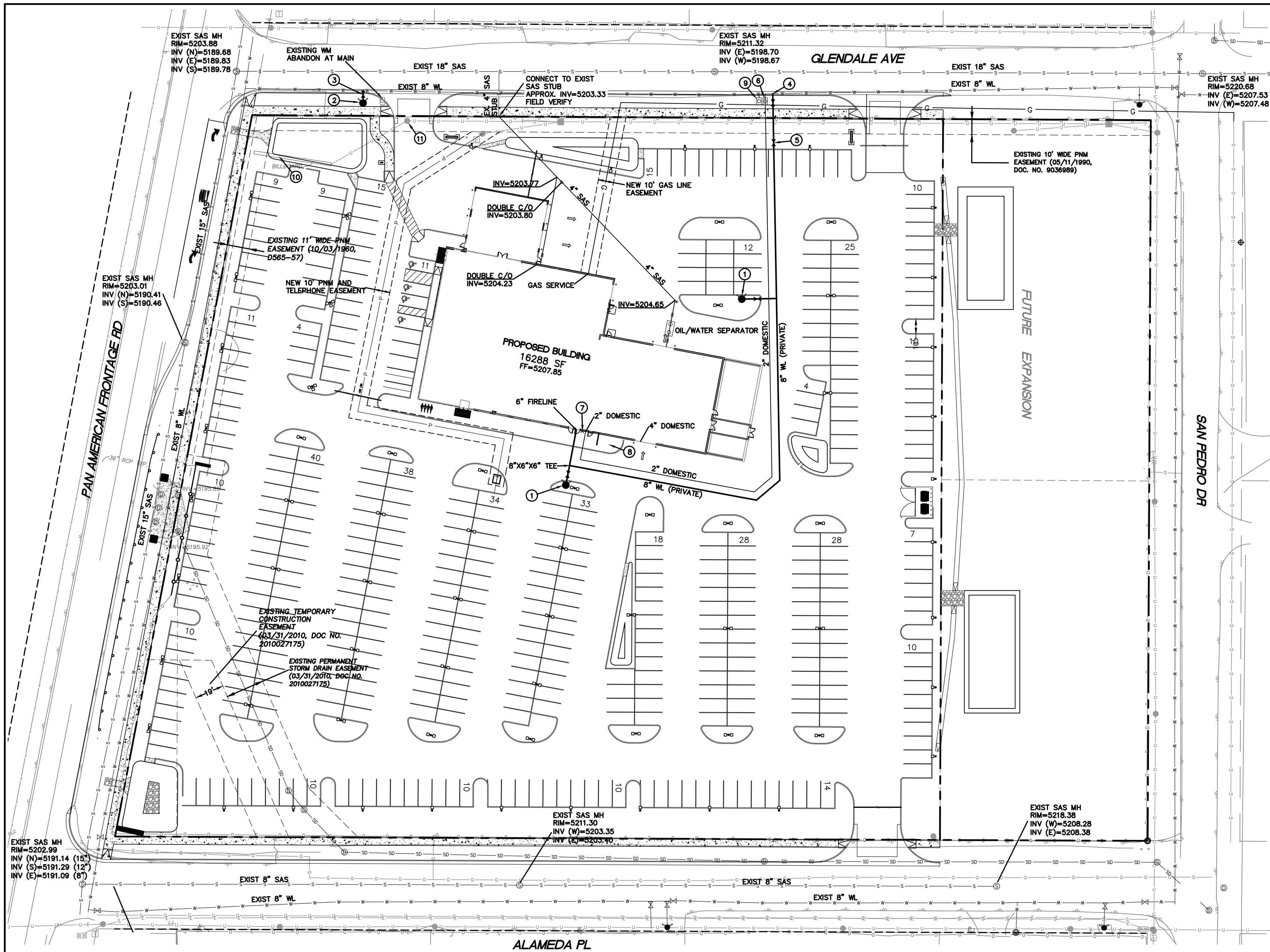
DRAWN BY
pm

DATE
6-22-21

DRAWING
2021010-GR

SHEET #
GR-3

JOB #
2021010



KEYED NOTES

- ① NEW PRIVATE FIRE HYDRANT PER COA STD DWG 2340
- ② NEW PUBLIC FIRE HYDRANT PER COA STD DWG 2340
- ③ 6" GATE VALVE (PUBLIC) PER COA STD DWG 2326
N=_____, E=_____
- ④ 8"x8"x8" TEE
8" GATE VALVE (PUBLIC) PER COA STD DWG 2326
N=_____, E=_____
- ⑤ PIV
- ⑥ 2" WATER METER AND BOX PER CO STD DWG
2301, 2361, 2363, 2367
- ⑦ FDC
- ⑧ TRANSFORMER
- ⑨ 1" LANDSCAPE METER
- ⑩ BILLBOARD TO BE REMOVED
- ⑪ EXISTING POWER POLE TO BE REMOVED

LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- 8" SAS SANITARY SEWER LINE
- 8" WL WATERLINE
- ∞ DOUBLE CLEAN OUT
- PROPOSED HYDRANT
- PROPOSED POWER LINE
- PROPOSED TELEPHONE LINE
- PROPOSED GAS LINE

GENERAL UTILITY NOTES:

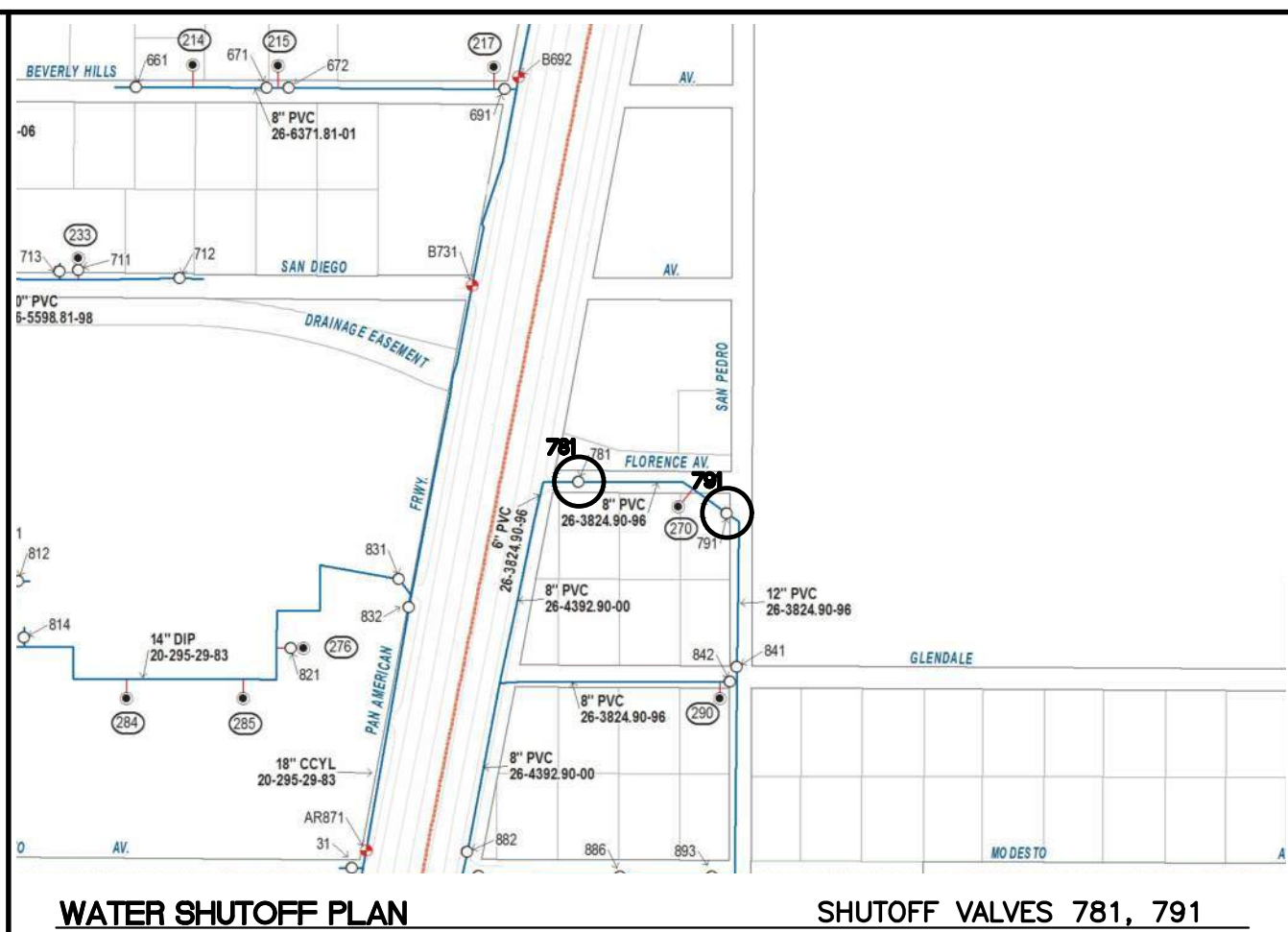
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

INSPECTION NOTE

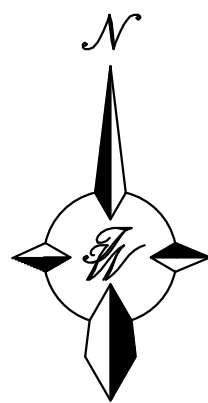
CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

CAUTION

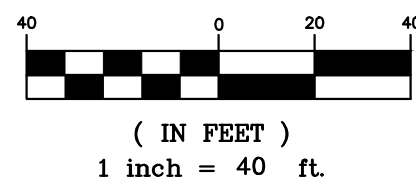
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).



GRAPHIC SCALE



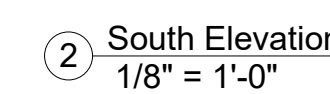
<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	AUTO NATION ALBUQUERQUE, NM	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 6-22-21
	<div> TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>	DRAWING 2021010-SP
		SHEET # MU-1 JOB # 2021010

<p>[GL-1] 1" Insulated with Low-E SolarBan 90 Acuity + Acuity Visible Light Transmittance 53% U-Value Summer 0.29 Winter 0.24 SHGC 0.23</p>	<p>[GL-3] 1/4" Clear [GL-4] 1/4" Clear + Tempered [GL-5] 3/8" Clear + Tempered</p>
<p>[GL-2] 1" Insulated with Low-E SolarBan 90 Acuity + Acuity Tempered Visible Light Transmittance 53% U-Value Summer 0.29 Winter 0.24 SHGC 0.23</p>	

1609.1.2 PROTECTION OF OPENINGS.

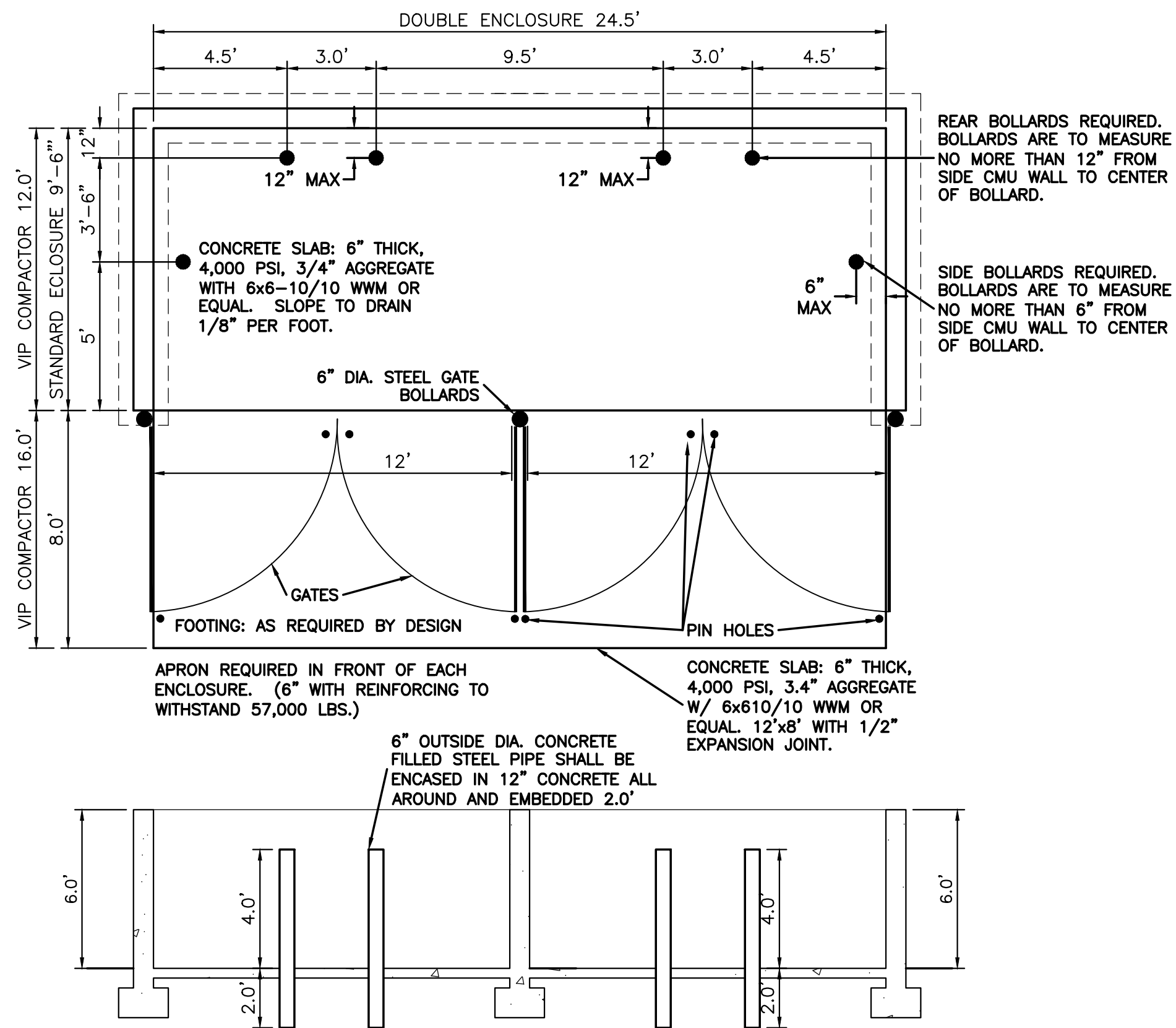
IN WIND-BORNE DEBRIS REGIONS, GLAZING IN BUILDINGS SHALL BE IMPACT RESISTANT OR PROTECTED WITH AN IMPACT-RESISTANT COVERING MEETING THE REQUIREMENTS OF AN APPROVED IMPACT-RESISTANT STANDARD OR ASTM E 1996 AND ASTM E 1886 REFERENCED HEREIN AS FOLLOWS:

- GLAZED OPENINGS LOCATED WITHIN 30 FEET (9144 MM) OF GRADE SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996.
- GLAZED OPENINGS LOCATED MORE THAN 30 FEET (9144 MM) ABOVE GRADE SHALL MEET THE PROVISIONS OF THE SMALL MISSILE TEST OF ASTM E 1996.



Date: 05.12.21

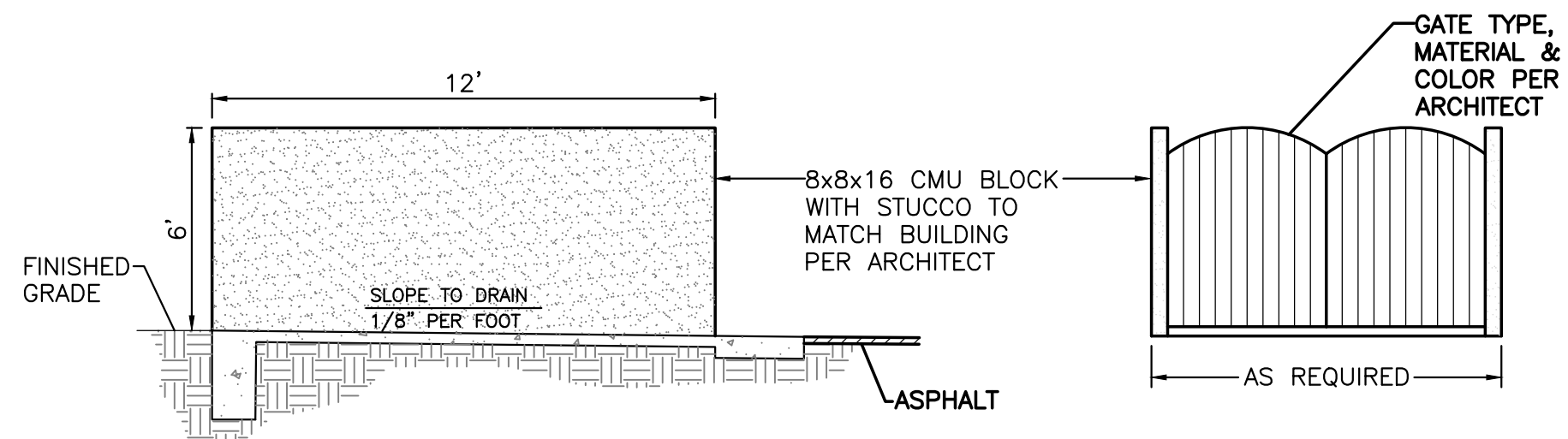
Project No: 202011-467



- NOTE:
1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
 2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.



DOUBLE DUMPSTER - ENCLOSURE DETAIL

NTS



DUMPSTER ENCLOSURE ELEVATION

NTS

<div>ENGINEER'S SEAL</div> <div><div>RONALD R. BOHANNAN P.E. #7868</div></div>	<div>AUTO NATION ALBUQUERQUE, NM</div>	<div>DRAWN BY pm</div>
		<div>DATE 6-22-21</div>
	<div>CONSTRUCTION DETAILS</div>	<div>DRAWING 2021010-DET</div>
		<div>SHEET # DET-2</div>
	<div><div></div><div>TIERRA WEST, LLC</div><div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div></div>	<div>JOB # 2021010</div>

AutoNation USA

Exterior Sign Package

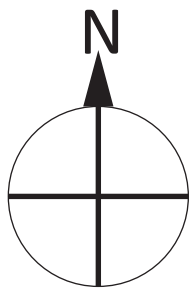
9100 PAN AMERICAN FREEWAY NE
ALBUQUERQUE, NM
S.O. #121410

Creation Date: 05.14.2021

Last Revised: 06.11.2021

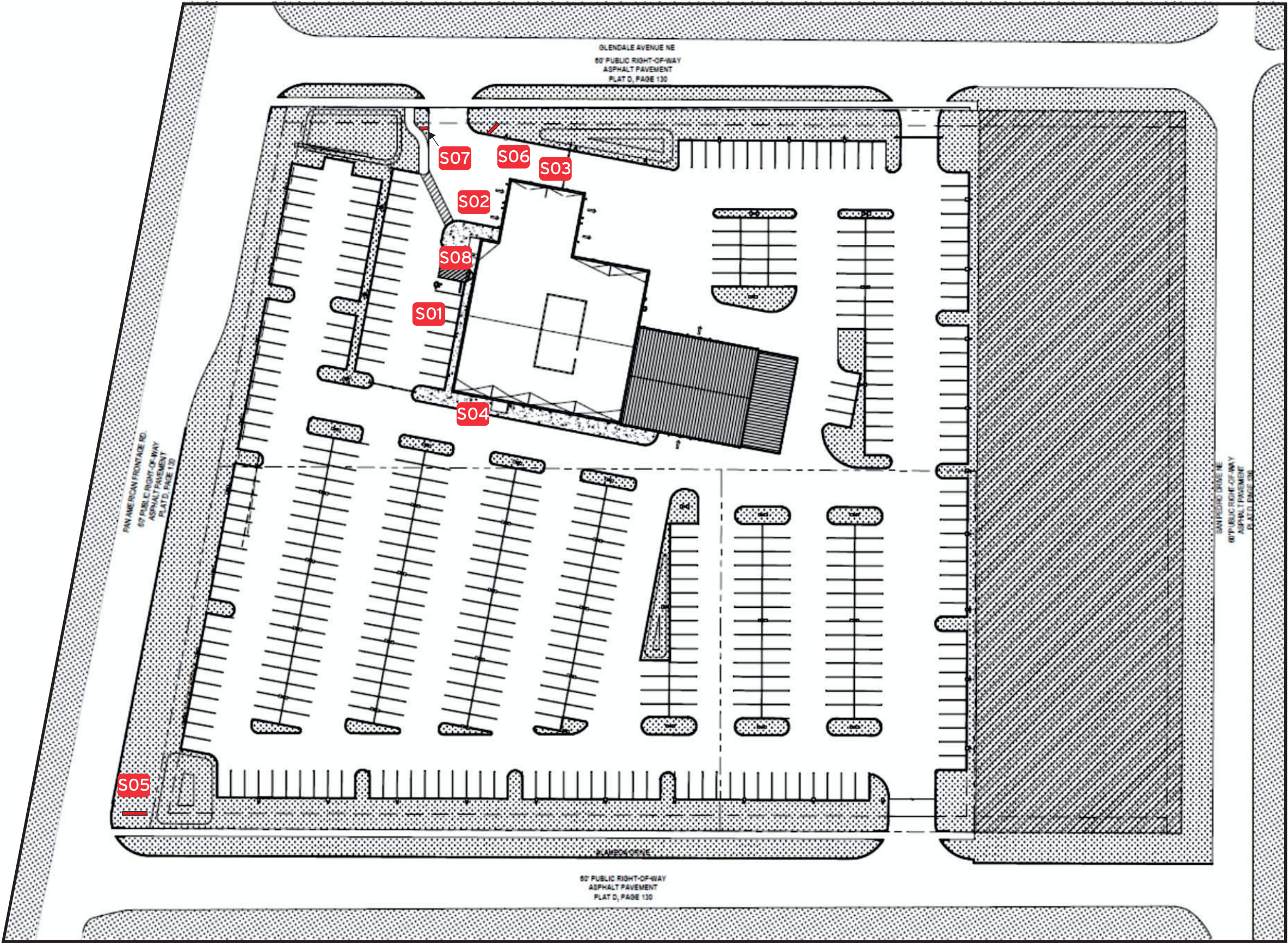


National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtw.com



Exterior Site Plan

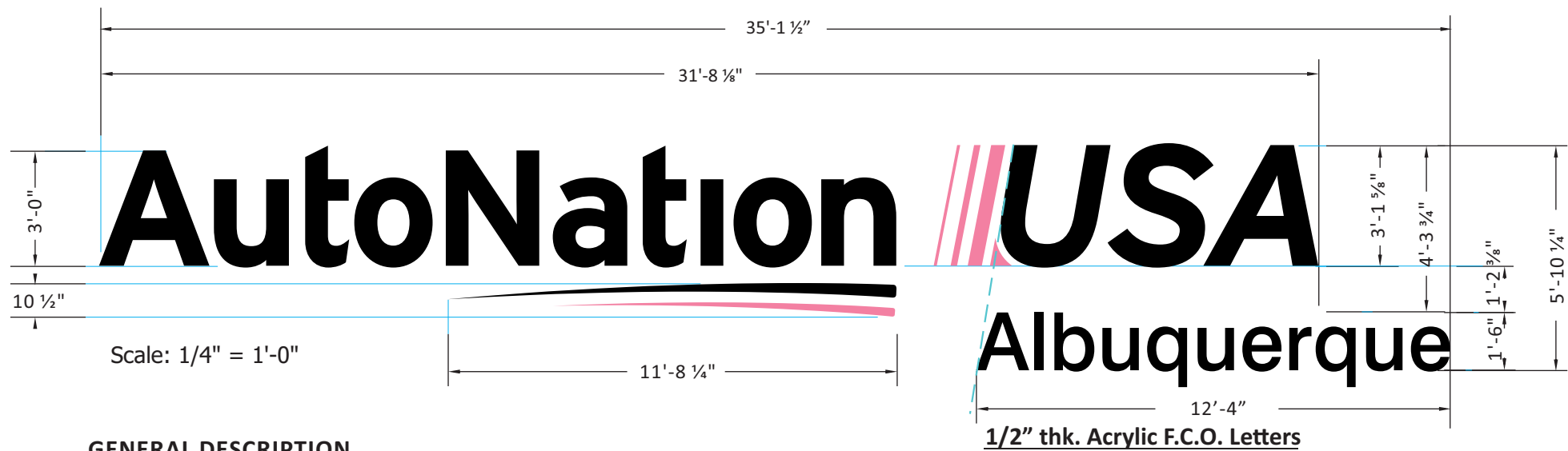
- S01 AutoNation USA C/Ltrs w/DBA FCOs
- S02 We'll Buy Your Car Channel Letters
- S03 AutoNation USA C/Ltrs
- S04 AutoNation USA C/Ltrs
- S05 Pylon Sign
- S06 Monument Sign
- S07 Directional Sign
- S08 Door Hours



Revisions:		
06.02.2021 - Pylon Position revision	...	...
06.11.2021 - Additional C/Ltrs and revisions	...	...

PM: AQ
Drawn By: EVS
Date: 05/24/2021

Address: 9100 Pan American Freeway NE	
City State: Albuquerque, NM	
S.O. # 121410	Page# 2



GENERAL DESCRIPTION

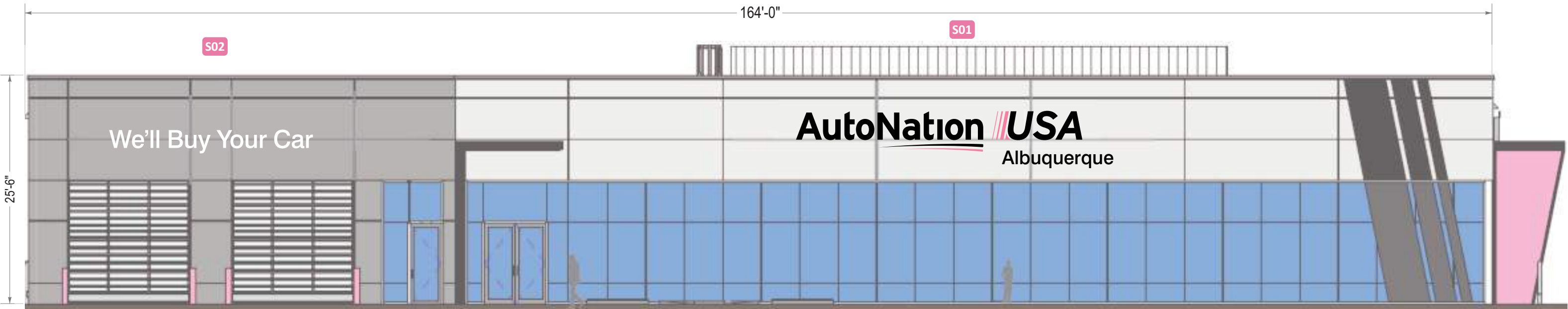
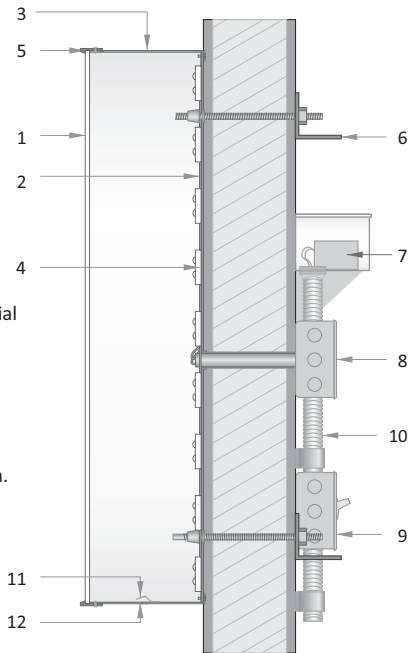
- Channel letters constructed of aluminum: pre-finished black or painted pink returns
- All faces of .177" white (2406) acrylic or polycarbonate
- Pink elements treated with full-coverage, 1st surface application of translucent pink vinyl (see color chart)
- Black elements treated with full-coverage, 1st surface application of perforated black (see color chart)
- Internal illumination of ALL components provided by white LED modules.
- "Denver North"- 1/2" thick Acrylic F.C.O. Letters Painted Black - Stud Mounted.
- All components installed flush to exterior with non-corrosive fasteners (specific hardware TBD)

COLOR SCHEDULE

- All Faces: 2406 White Acrylic or Polycarbonate
- Trimcaps #1: Pre-finished Black
- Trimcaps #2: Painted to match PMS #204 Satin
- Returns #1: Pre-finished (black) Aluminum
- Returns #2: Painted to Match PMS 204 Pink (satin)
- Vinyl Treatment #1 : 3M 3635-222Black Perf. Vinyl
- Vinyl Treatment #2: 3M 3630-68 Rose Mauve

- .177" polycarbonate face
- letter backs to be .080" aluminum
- 4" returns to be .040" aluminum
- illumination to be provided by (see below)
- 1" trim cap
- mounting varies upon location and wall material
- IP67 rated power supply
- junction box
- listed disconnect switch
- primary power source
- weep hole cover to be white pre-finished alum.
- weep hole

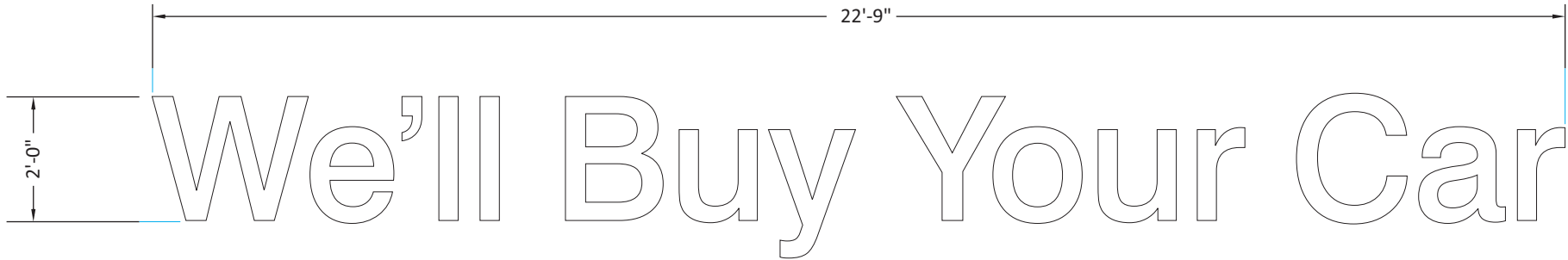
This is a generic detail.
Mounting details and power
supply placement will vary.



WEST ELEVATION
3/32" = 1'-0"

Revisions:	
Q6.02.2021 - Pylon Position revision	...
Q6.11.2021 - Additional C/ltrs and revisions	...
...	...
...	...
...	...

PM: AQ	Address: 9100 PAN AMERICAN FREEWAY NE
Drawn By: EVS	City State: ALBUQUERQUE, NM
Date: 05.24.2021	Drawing Number: 121410
	Page: 3



Scale: 3/8" = 1'-0"

GENERAL DESCRIPTION

- Channel letters constructed of aluminum: pre-finished black returns
- All faces of .177" white (2406) acrylic or polycarbonate
- Internal illumination of ALL components provided by white LED modules.
- All components installed flush to exterior with non-corrosive fasteners (specific hardware TBD)

COLOR SCHEDULE

- All Faces: 2406 White Acrylic or Polycarbonate
- Trimcaps #1: Pre-finished Black
- Returns #1: Pre-finished (black) Aluminum

- 1

.177" polycarbonate face
- 2

letter backs to be .080" aluminum
- 3

4" returns to be .040" aluminum
- 4

illumination to be provided by (see below)
- 5

1" trim cap
- 6

mounting varies upon location and wall material
- 7

IP67 rated power supply
- 8

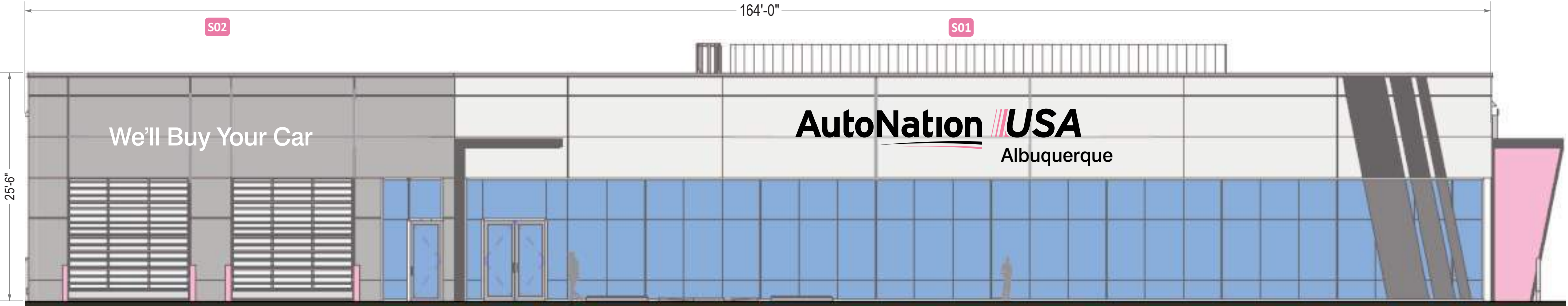
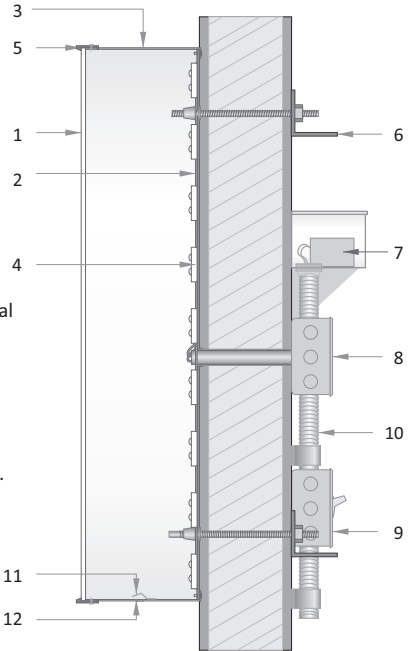
junction box
- 9

listed disconnect switch
- 10

primary power source
- 11

weep hole cover to be white pre-finished alum.
- 12

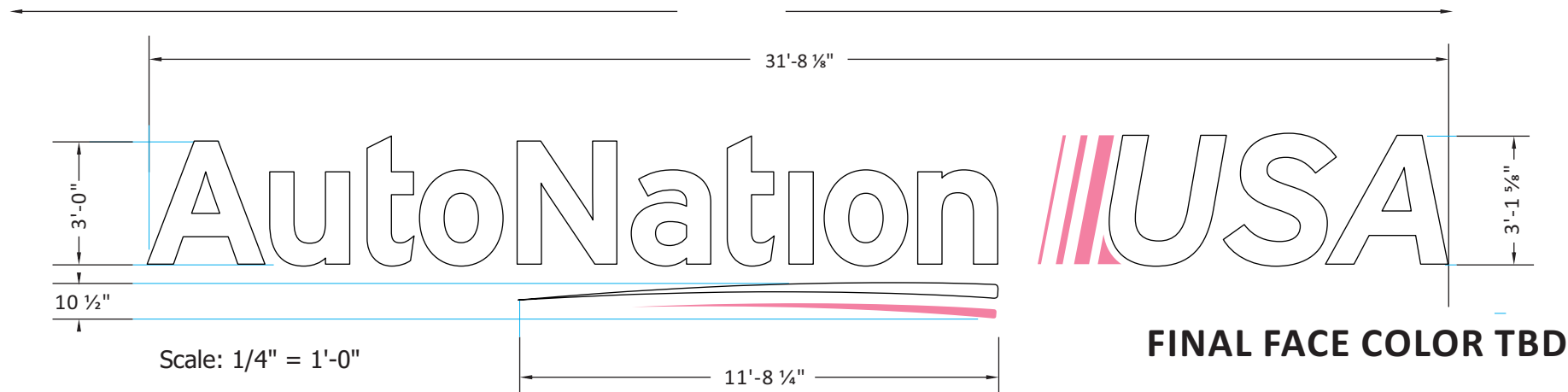
weep hole
- This is a generic detail.
Mounting details and power supply placement will vary.



WEST ELEVATION
3/32" = 1'-0"

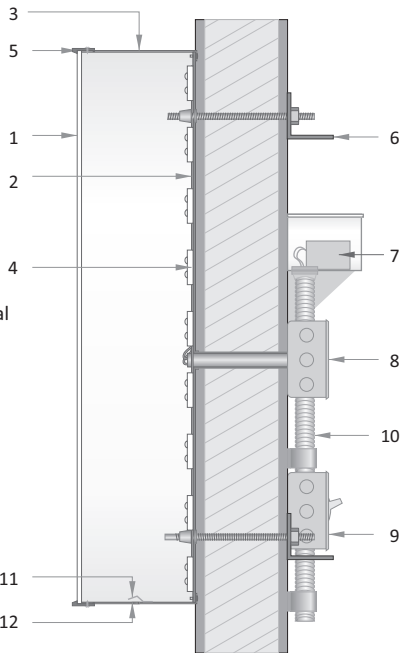
Revisions:	
Q6.02.2021 - Pylon Position revision	...
Q6.11.2021 - Additional C/ltrs and revisions	...
...	...
...	...
...	...

PM: AQ	Address: 9100 PAN AMERICAN FREEWAY NE
Drawn By: EVS	City State: ALBUQUERQUE, NM
Date: 05.24.2021	Drawing Number: 121410
	Page: 4



- 1 .177" polycarbonate face
- 2 letter backs to be .080" aluminum
- 3 4" returns to be .040" aluminum
- 4 illumination to be provided by (see below)
- 5 1" trim cap
- 6 mounting varies upon location and wall material
- 7 IP67 rated power supply
- 8 junction box
- 9 listed disconnect switch
- 10 primary power source
- 11 weep hole cover to be white pre-finished alum.
- 12 weep hole

This is a generic detail.
Mounting details and power
supply placement will vary.

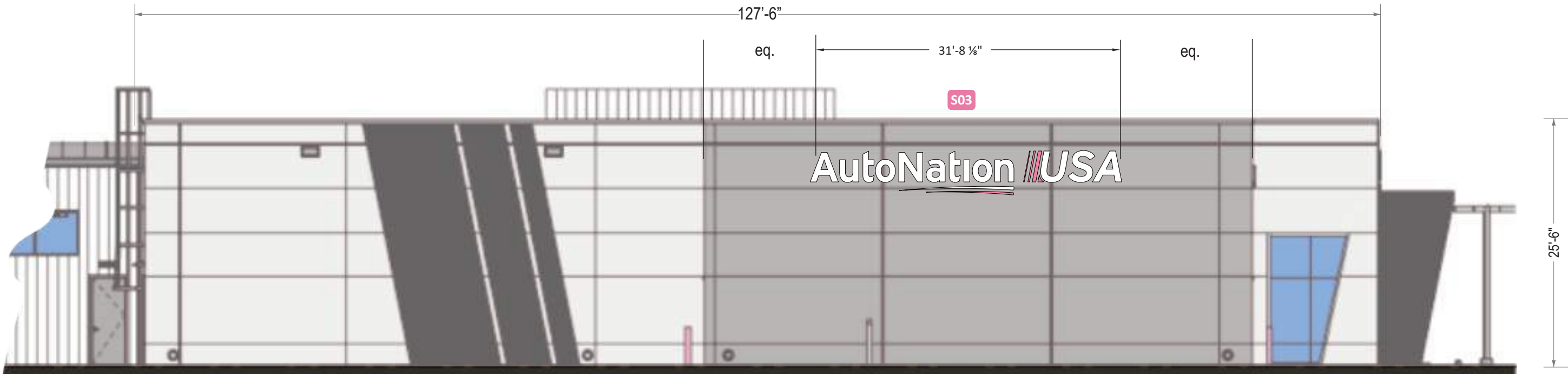


GENERAL DESCRIPTION

- Channel letters constructed of aluminum: pre-finished black or painted pink returns
- All faces of .177" white (2406) acrylic or polycarbonate
- Pink elements treated with full-coverage, 1st surface application of translucent pink vinyl (see color chart)
- Internal illumination of ALL components provided by white LED modules.

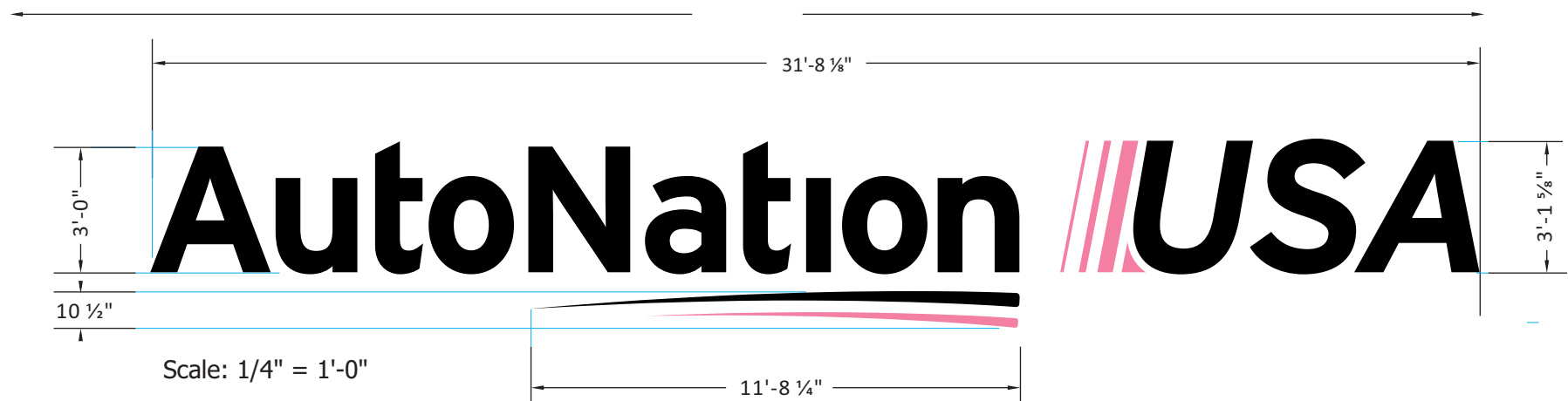
COLOR SCHEDULE

- All Faces: 2406 White Acrylic or Polycarbonate
- Trimcaps #1: Pre-finished Black
- Trimcaps #2: Painted to match PMS #204 Satin
- Returns #1: Pre-finished (black) Aluminum
- Returns #2: Painted to Match PMS 204 Pink (satin)
- Vinyl Treatment #2: 3M 3630-68 Rose Mauve



NORTH ELEVATION
3/32" = 1'-0"

Revisions:		
06.02.2021 - Pylon Position revision	...	...
06.11.2021 - Additional C/ltrs and revisions	...	...



GENERAL DESCRIPTION

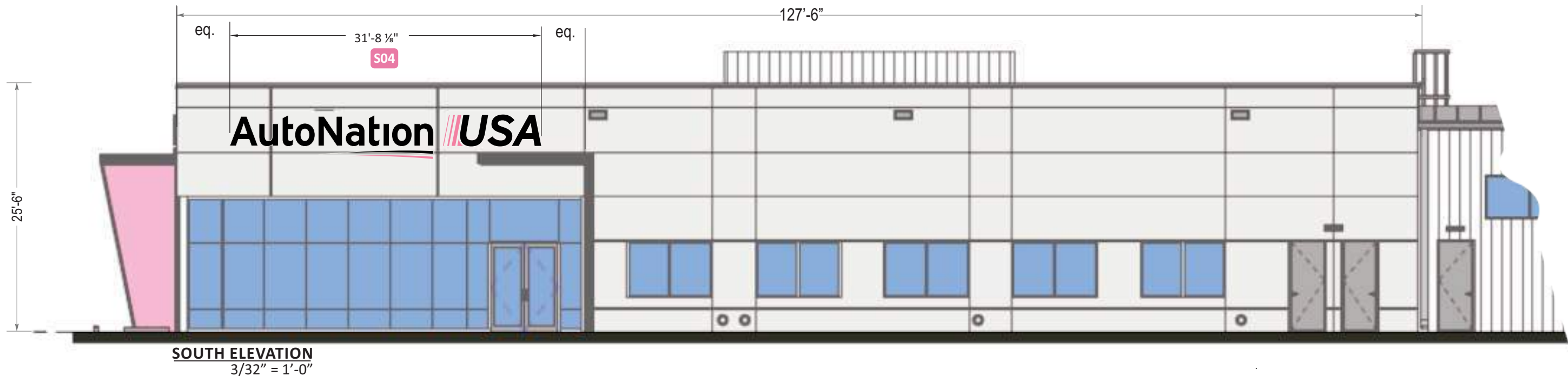
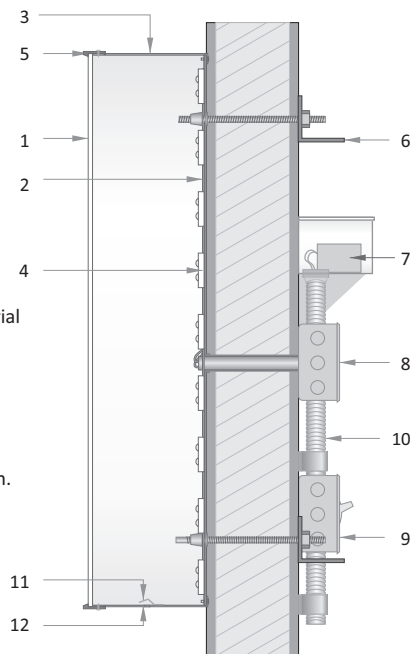
- Channel letters constructed of aluminum: pre-finished black or painted pink returns
- All faces of .177" white (2406) acrylic or polycarbonate
- Pink elements treated with full-coverage, 1st surface application of translucent pink vinyl (see color chart)
- Black elements treated with full-coverage, 1st surface application of perforated black (see color chart)
- Internal illumination of ALL components provided by white LED modules.
- "Denver North"- 1/2" thick Acrylic F.C.O. Letters Painted Black - Stud Mounted.
- All components installed flush to exterior with non-corrosive fasteners (specific hardware TBD)

COLOR SCHEDULE

- All Faces: 2406 White Acrylic or Polycarbonate
- Trimcaps #1: Pre-finished Black
- Trimcaps #2: Painted to match PMS #204 Satin
- Returns #1: Pre-finished (black) Aluminum
- Returns #2: Painted to Match PMS 204 Pink (satin)
- Vinyl Treatment #1 : 3M 3635-222Black Perf. Vinyl
- Vinyl Treatment #2: 3M 3630-68 Rose Mauve

- .177" polycarbonate face
- letter backs to be .080" aluminum
- 4" returns to be .040" aluminum
- illumination to be provided by (see below)
- 1" trim cap
- mounting varies upon location and wall material
- IP67 rated power supply
- junction box
- listed disconnect switch
- primary power source
- weep hole cover to be white pre-finished alum.
- weep hole

This is a generic detail.
Mounting details and power
supply placement will vary.



SOUTH ELEVATION
3/32" = 1'-0"

Revisions:

06.02.2021 - Pylon Position revision	...
06.11.2021 - Additional C/ltrs and revisions	...
	...
	...
	...

PM: AQ

Drawn By: EVS

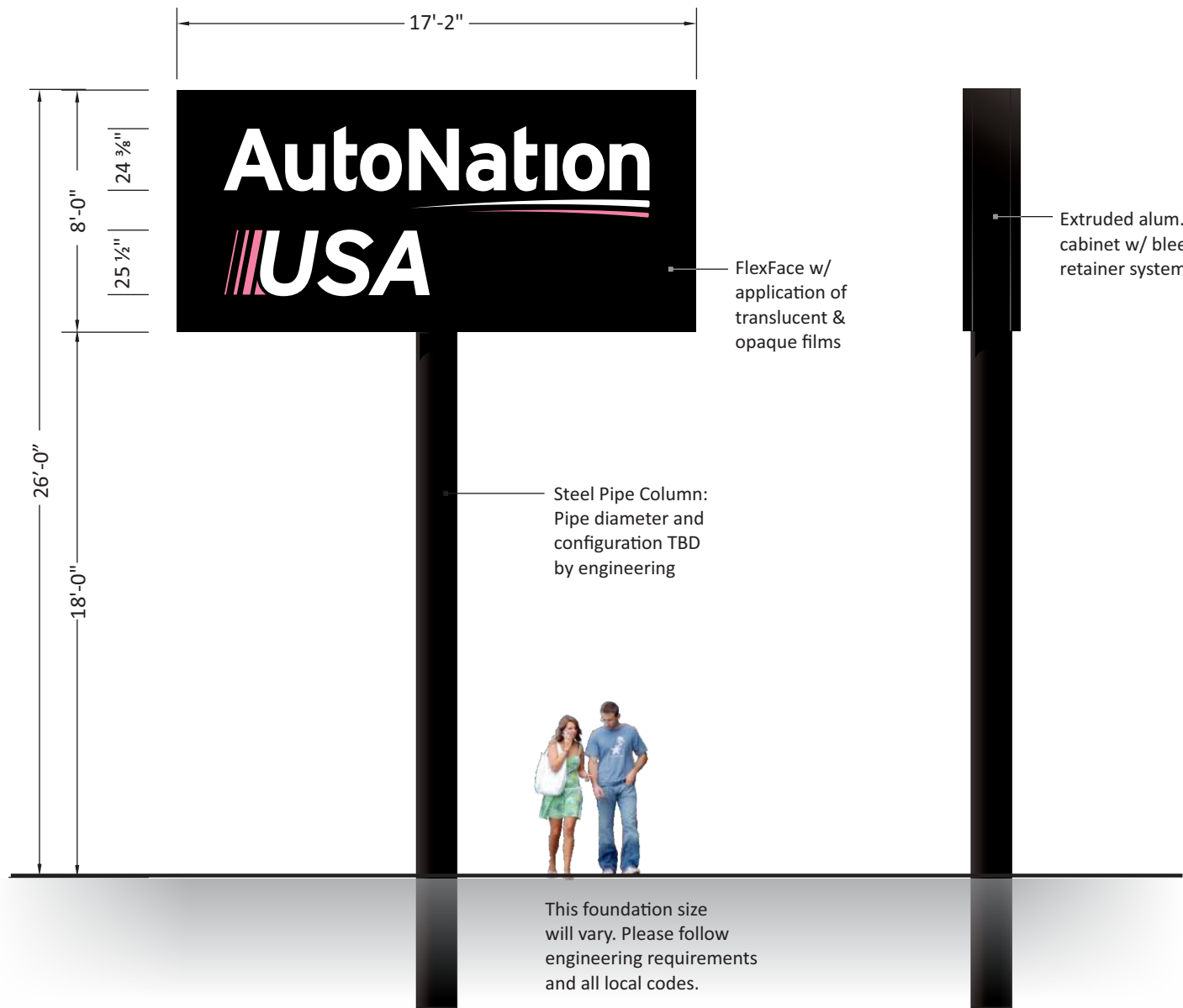
Date: 05/24/2021

Address: 9100 Pan American Freeway NE

City State: Albuquerque, NM

S.O. # 121410

Page# 6



ANU-P-84

GENERAL DESCRIPTION

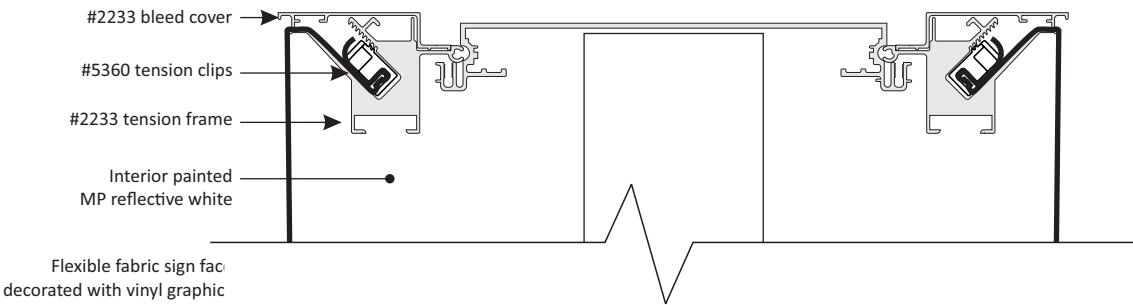
- Double face, internally illuminated pylon sign featuring extruded aluminum cabinet with a bleed retainer and flexible faces.
- Faces of 3M white, flexible substrate with 1st surface application of translucent pink & opaque black films
- Internal illumination by white LED modules
- Cabinet installed onto steel column set in concrete foundation. Size of foundation varies per local codes and criterea

COLOR SCHEDULE

- Painted MP 923SP Black (satin finish)
- Panaflex White Trans. Substrate
- 3M 7725-12 Opaque Black Vinyl
- 3M 3630-68 "Rose Mauve" Trans. Vinyl
- White LED Modules (6500K)

SQUARE FOOTAGE

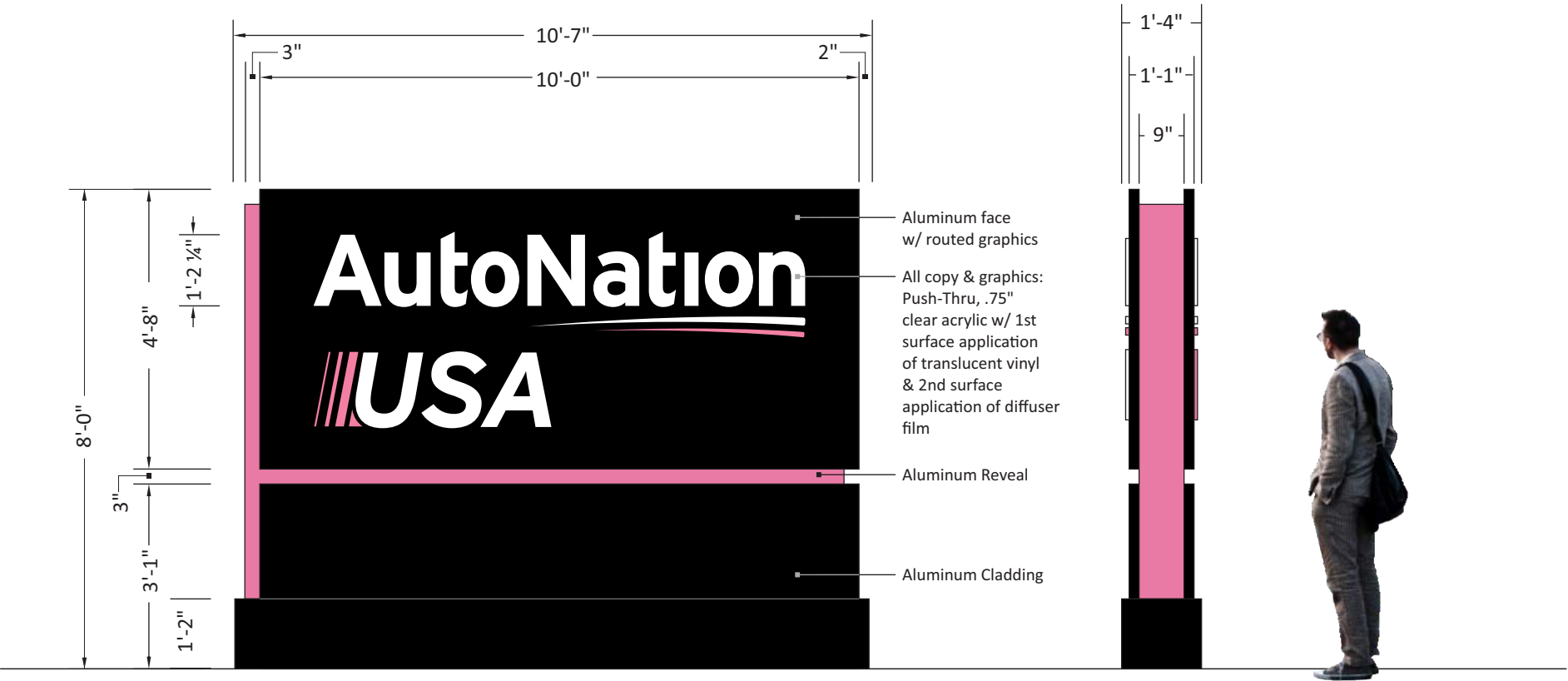
Proposed Sq. Feet: 7'-0" x 15'-0" = 105 Sq Feet



DF Wide Body with Bleed Face Retainer System

Revisions:	
Q6.02.2021 - Pylon Position revision	...
Q6.11.2021 - Additional C/ltrs and revisions	...
...	...
...	...
...	...

PM: AQ	Address: 9100 PAN AMERICAN FREEWAY NE
Drawn By: EVS	City State: ALBUQUERQUE, NM
Date: 05.24.2021	Drawing Number: 121410
	Page: 7



ANU-M-96

GENERAL DESCRIPTION

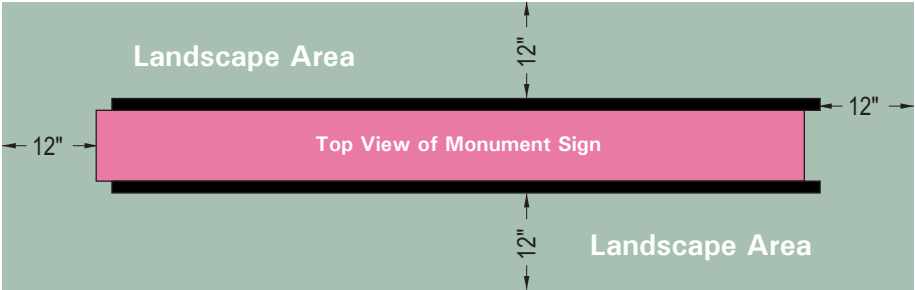
- Double face, internally illuminated monument sign featuring pushed-thru acrylic graphics, and painted aluminum cladding & reveal.
- Faces of aluminum with copy & graphics routed from faces and pushed-thru with .750" clear acrylic with 1st surface application of pink & white translucent film and a 2nd surface application of diffuser film
- 3" Continuous reveal to of aluminum & finished with pink enamel
- Internal illumination by white LED modules
- Skirt/base and all cladding is of painted aluminum
- Monument sign set in concrete foundation(s). Size of foundation varies per
- local codes and criteria

COLOR SCHEDULE

- Painted MP 923SP Black (satin finish)
- Clear Acrylic
- Painted to match PMS 204 (satin finish)
- 3M 3630-20 White Trans. Vinyl
- 3M 3630-68 "Rose Mauve" Trans. Vinyl
- White LED Modules (6500K)

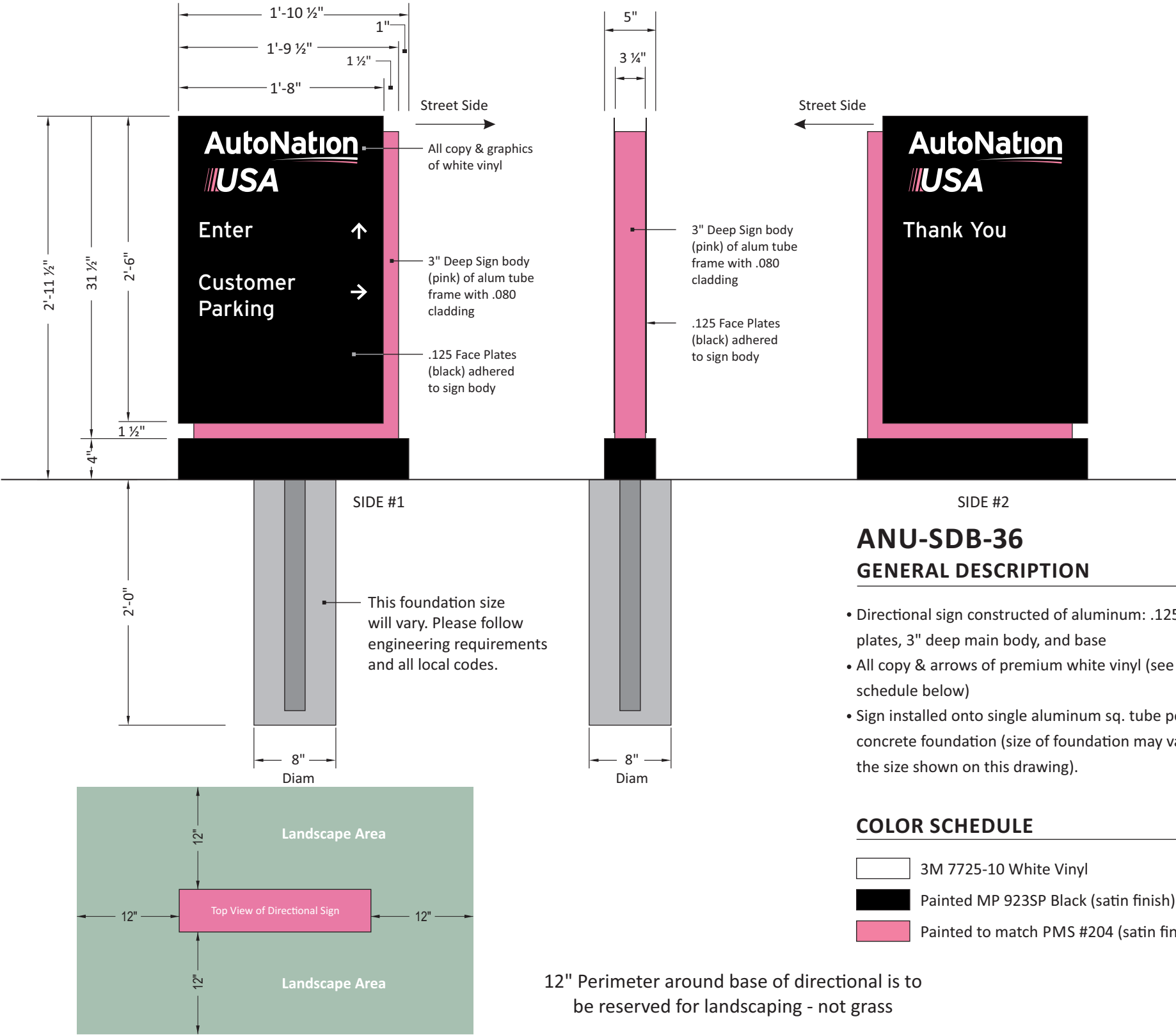
SQUARE FOOTAGE

Proposed Sq. Feet: 4'-8" x 10'-0" = 46.67 Sq Feet



12" Perimeter around base of monument is to be reserved for landscaping - not grass

Revisions:		
06.02.2021 - Pylon Position revision	...	...
06.11.2021 - Additional C/ltrs and revisions	...	...

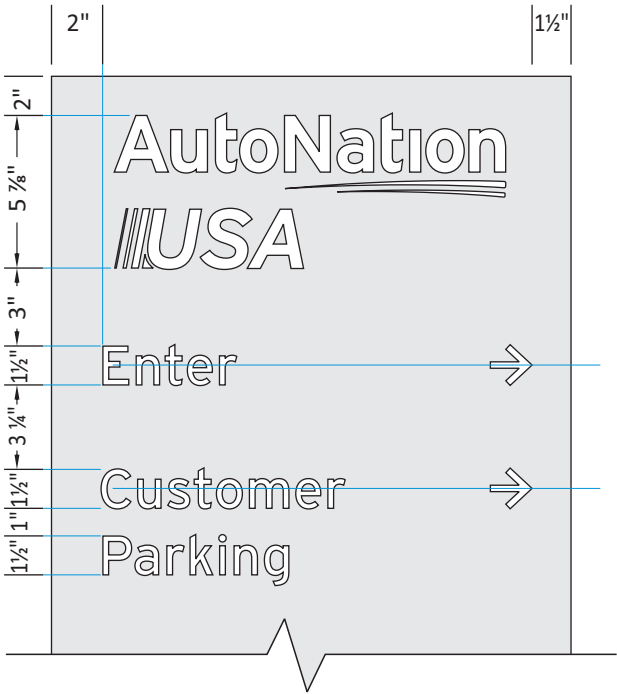
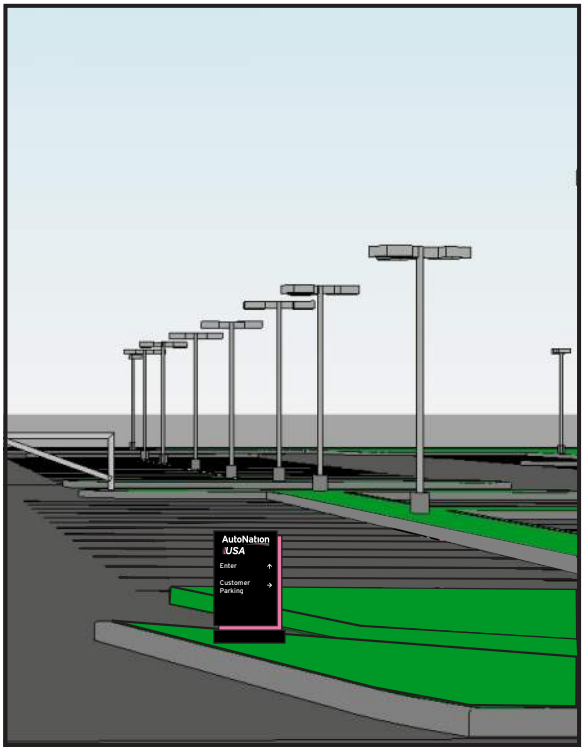


ANU-SDB-36
GENERAL DESCRIPTION

- Directional sign constructed of aluminum: .125" face plates, 3" deep main body, and base
- All copy & arrows of premium white vinyl (see color schedule below)
- Sign installed onto single aluminum sq. tube post set in concrete foundation (size of foundation may vary from the size shown on this drawing).

COLOR SCHEDULE

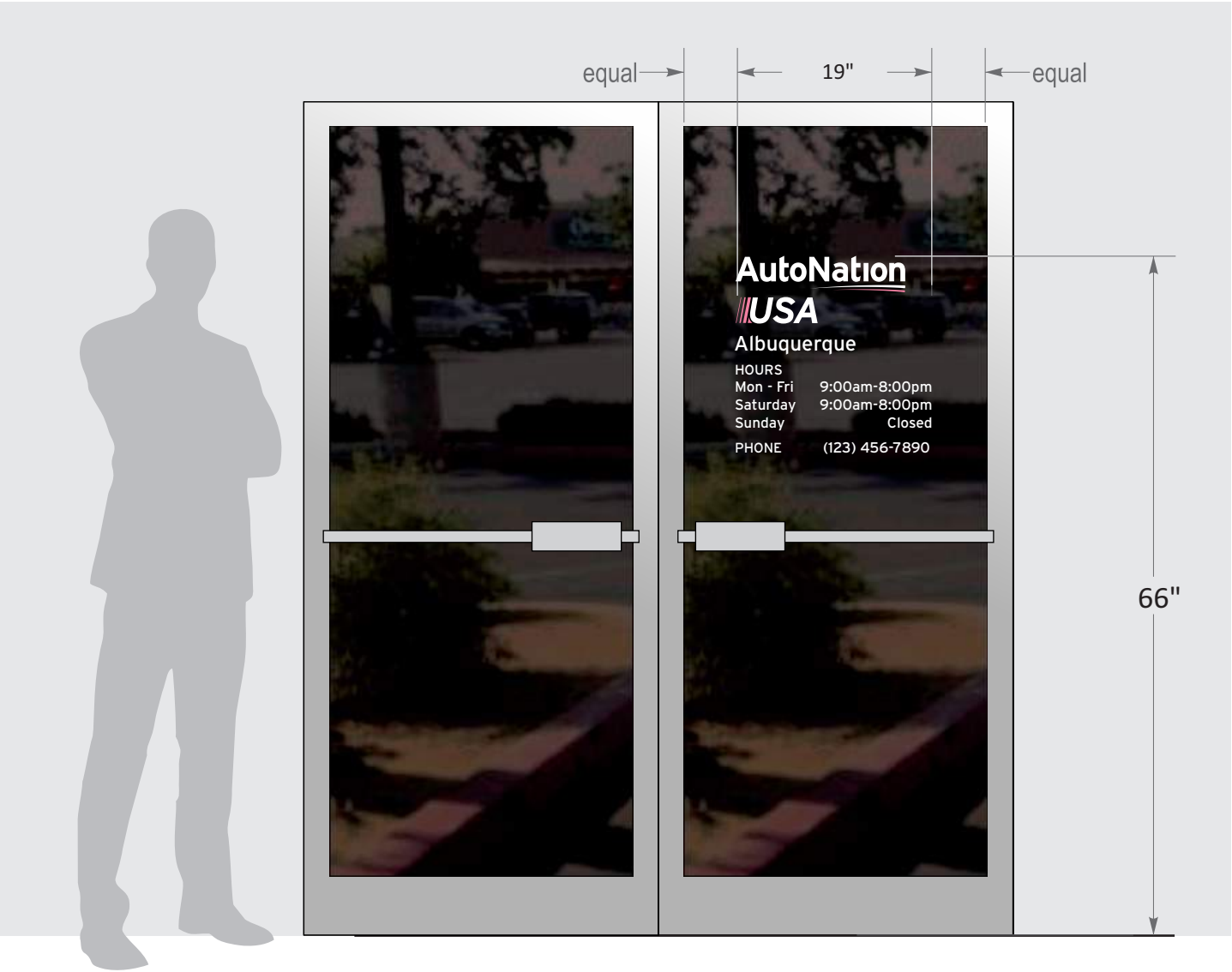
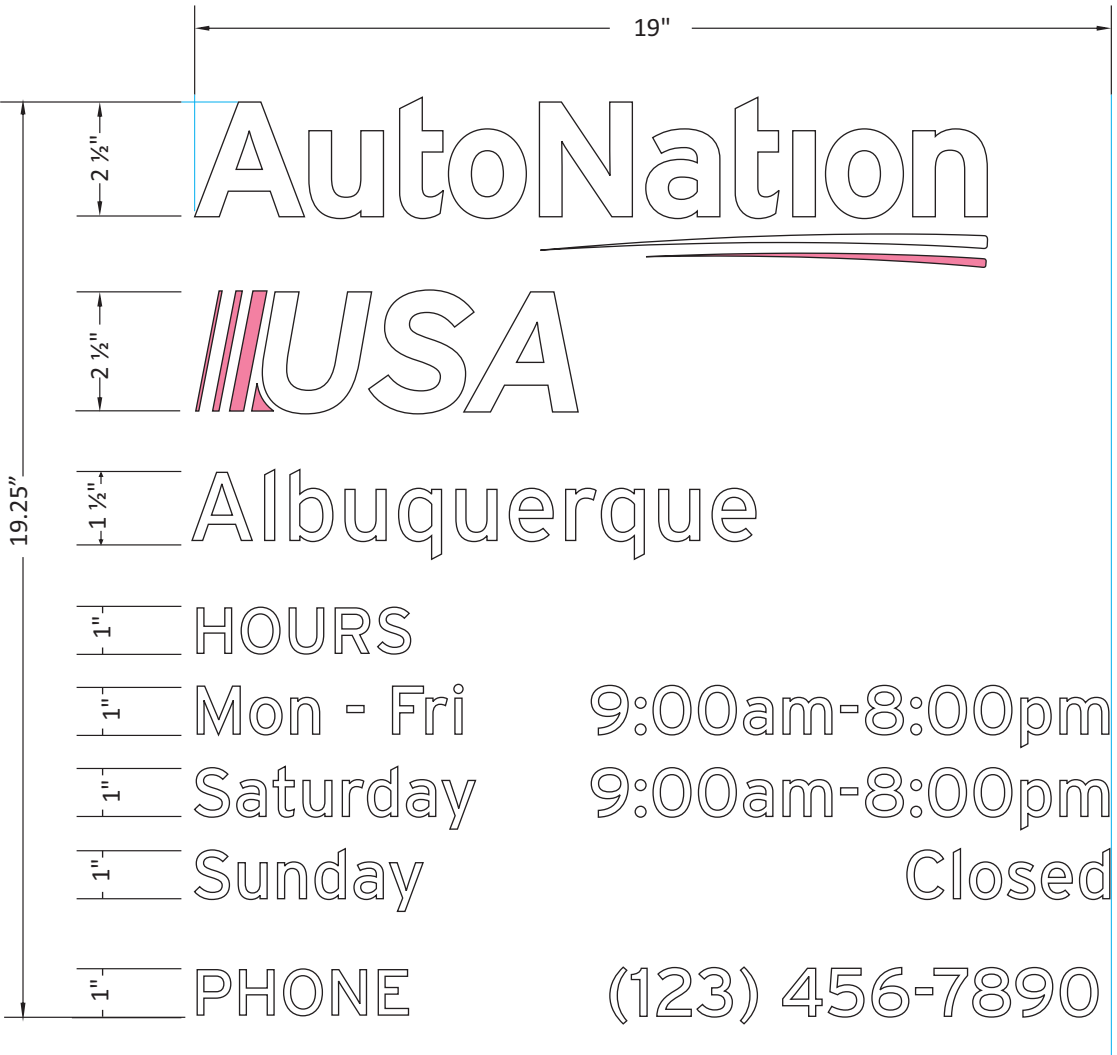
- 3M 7725-10 White Vinyl
- Painted MP 923SP Black (satin finish)
- Painted to match PMS #204 (satin finish)



TYPICAL LETTER HEIGHT AND SPACING

Revisions:		
06.02.2021 - Pylon Position revision	...	...
06.11.2021 - Additional C/ltrs and revisions	...	...

PM: AQ	Address: 9100 Pan American Freeway NE	
Drawn By: EVS	City State: Albuquerque, NM	
Date: 05/24/2021	S.O. # 121410	Page# 9



When there are double-Entry doors, the vinyl graphics will be placed on the right door

General Specificaations

- White with pink vinyl copy and numbers
- Vinyl applied to 1st surface

Color Specificaations

- 3M 7725-10 White vinyl
- 3M 3630-68 Rose Mauve

Revisions:		
06.02.2021 - Pylon Position revision	...	...
06.11.2021 - Additional C/ltrs and revisions	...	...

PM: AQ	Address: 9100 Pan American Freeway NE	
Drawn By: EVS	City State: Albuquerque, NM	
Date: 05/24/2021	S.O. # 121410	Page# 10

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Lot 21-A, Block 8, Tract A, Unit B, North Albuquerque Acres
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Lots 13-15 and Lots 21-23, Block 8, Tract A, Unit B, North Albuquerque Acres
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed		Constructed Under		Size	Type of Improvement	Location	From	To	Construction Certification		
DRC #	DRC #	Private							City Cnst Engineer		
		Inspector		P.E.							
TRANSPORTATION PROPERTY FRONTAGE IMPROVEMENTS											
		15' Lane 4' Transition	Pavement, Curb & Gutter and associated striping	Glendale Ave. NE	Pan American	East Property Line	/	/	/		
		5' Wide	Sidewalk	Glendale Ave. NE	Pan American	455' W. of Pan American	/	/	/		
		15' Lane 4' Transition	Pavement, Curb & Gutter and associated striping	Alameda Place NE	Pan American	East Property Line	/	/	/		
		5' Wide	Sidewalk	Alameda Place NE	Pan American	566' W. of Pan American	/	/	/		
		25' Wide	Access Driveway Plus ADA Ramps Full Access	Glendale Ave. NE	83' East of Pan American	148' East of Pan American	/	/	/		
		24' Wide	Access Driveway Plus ADA Ramps Full Access	Glendale Ave. NE	384' East of Pan American	458' East of Pan American	/	/	/		
		30' Wide	Access Driveway Plus ADA Ramps Full Access	Alamda Place NE	487' East of Pan American	567' East of Pan American	/	/	/		
							/	/	/		
							/	/	/		

Financially Guaranteed DRC #	Constructed Under DRC #	WATER AND SANITARY SEWER IMPROVEMENTS					Construction Certification		
		Size	Type of Improvement	Location	From	To	Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	6"	Fire Hydrant	Glendale Ave. NE	83' East of Pan American	Entrance Curb Return	/	/	/
<input type="text"/>	<input type="text"/>	2"	Domestic Water Service and meter	Glendale Ave. NE	345' East of Pan American	Lot 21-A	/	/	/
<input type="text"/>	<input type="text"/>	1"	Landscape Water Service and meter	Glendale Ave. NE	345' East of Pan American	Lot 21-A	/	/	/
<input type="text"/>	<input type="text"/>	6"	Fire Line	Glendale Ave. NE	345' East of Pan American	Lot 21-A	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
NMDOT PROPERTY FRONTAGE IMPROVEMENTS*									
<input type="text"/>	<input type="text"/>	12'	140' Right Turn Lane + Transition with associated striping	Pan American	Glendale Ave. NE	150' south of Glendale Ave. NE	/	/	/
<input type="text"/>	<input type="text"/>	6' Wide	Sidewalk	Pan American	Alameda Place NE	Glendale Ave. NE	/	/	/
<input type="text"/>	<input type="text"/>	2' Sidewalk Culverts	3- sidewalk culverts and 5'x5' rip-rap pad	Northwest corner of site on Pan American Frontage			/	/	/
<input type="text"/>	<input type="text"/>	2' Sidewalk Culverts	4- sidewalk culverts and 8'x8' rip-rap pad	Northwest corner of site on Pan American Frontage			/	/	/
<input type="text"/>	<input type="text"/>	4'x4'	Drop inlet	Pan American	North side of junciton box		/	/	/
<input type="text"/>	<input type="text"/>	4'x4'	Drop inlet	Pan American	South side of junciton box		/	/	/

*Any additional comments from NMDOT's plan review shall be included.

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1	
2	
3	

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Ronald R. Bohannon

NAME (print)

DRB CHAIR - date

PARKS & RECREATION - date

Tierra West, LLC

FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

SIGNATURE - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER