

KEYED NOTES

- 1 ACCESSIBLE PARKING PER ADA STANDARDS W/ SIGN & PARALLEL CURB RAMPS (SEE DETAILS SHT. C7.0)
- 2 ON-SITE STANDARD CURB & GUTTER (SEE DETAIL SHT. C7.1)
- 3 CONCRETE SIDEWALK (SEE DETAIL SHT. C7.1)
- 4 DUMPSTER (SEE ARCHITECTURAL PLANS)
- 5 BICYCLE RACKS & BICYCLE SPACES (SEE DETAIL SHT. C7.0)
- 6 TRANSFORMER
- 7 EXISTING SIDEWALK
- 8 DRIVABLE SURFACE FOR FIRE ACCESS (SEE ARCHITECTURAL PLANS)
- 9 GARAGE LOFT BUILDING—SAN ROQUE—6 BAY STANDARD (SEE ARCHITECTURAL PLANS)
- 10 GARAGE LOFT BUILDING—SAN ROQUE—6 BAY ADA (SEE ARCHITECTURAL PLANS)
- 11 GARAGE BUILDING—LA SERENA—6 BAY STANDARD (SEE ARCHITECTURAL PLANS)
- 12 GARAGE BUILDING—LA SERENA—6 BAY ADA (SEE ARCHITECTURAL PLANS)
- 13 MOUNTABLE CURB FOR FIRE ACCESS
- 14 ELECTRIC VEHICLE PARKING SPACES
- 15 PARALLEL CURB RAMP (SEE DETAIL SHT. C7.0)
- 16 FLAIED CURB RAMP (SEE DETAIL SHT. C7.0)
- 17 REMOVE & REPLACE EX. SIDEWALK W/ 6' WIDE SIDEWALK
- 18 MOTORCYCLE PARKING SPACE (4'x8' TYP.) PLUS SIGNAGE

TRASH COMPACTOR NOTES:

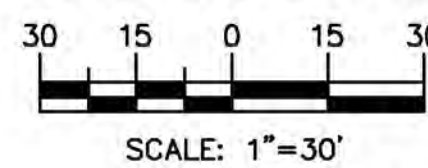
1. SAN ROQUE MAIN BUILDING TO HAVE TWO (2) INTERNAL TRASH CHUTE COMPACTOR ROOMS.
2. LA SERENA MAIN BUILDING TO HAVE ONE (1) INTERNAL TRASH CHUTE COMPACTOR ROOM.
3. EACH EXTERNAL DOUBLE ENCLOSURE SHOWN ON PLAN ARE TO HOUSE ONE (1) TYPICAL EXTERNAL DUMPSTER AND FOR STORAGE OF (1) 2-YARD ROLL-OUT DUMPSTER THAT SERVICES INTERNAL TRASH CHUTE COMPACTORS WITHIN THE SAN ROQUE AND LA SERENA MAIN BUILDINGS.
4. MAINTENANCE STAFF WILL BE REQUIRED TO PLACE 2-YARD DUMPSTERS FROM COMPACTORS IN THE EXTERNAL DOUBLE TRASH ENCLOSURES ON SERVICE DAY.

RECYCLABLES NOTES:

1. RECYCLABLES FOR SAN ROQUE AND LA SERENA MAIN BUILDINGS TO BE COLLECTED IN 90-GALLON BINS, STORED IN THE TRASH CHUTE ROOMS AND TO BE ROLLED OUT TO EXTERNAL ENCLOSURES BY MAINTENANCE STAFF ON SERVICE DAY.
2. 90-GALLON BINS TO BE PLACED IN EACH EXTERNAL ENCLOSURE FOR COLLECTION OF RECYCLABLES FROM THE GARAGE LOFT UNITS.



GRAPHIC SCALE



SAN ROQUE OPEN SPACE REQUIREMENTS

1-BEDROOM:	24 UNITS
2-BEDROOM:	90 UNITS
3-BEDROOM:	23 UNITS
OPEN SPACE REQUIRED:	(225 x 24) + (285 x 90) + (350 x 23) = 39,100 SF
OPEN SPACE PROVIDED:	48,126 SF

LA SERENA OPEN SPACE REQUIREMENTS

1-BEDROOM:	60 UNITS
2-BEDROOM:	40 UNITS
OPEN SPACE REQUIRED:	(225 x 60) + (285 x 40) = 24,900 SF
OPEN SPACE PROVIDED:	38,436 SF

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GENERAL NOTES

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
6. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
7. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C. TYP.
8. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
9. ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF.
10. MOTORCYCLE PARKING SPACES SHALL BE DESIGNATED BY ITS OWN CONSPICUOUSLY POSTED UPRIGHT SIGN, EITHER FREE-STANDING OR WALL MOUNTED PER THE ZONING CODE.
11. ALL ASPHALT IS LIGHT DUTY UNLESS OTHERWISE NOTED.

PROJECT NUMBER: PR-2021-005414
APPLICATION NUMBER: SI-2023-01357

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

OFF SITE DEVELOPMENT PLAN APPROVAL:

Ernest Amaya Traffic Engineer, Transportation Division	Date Sep 28, 2023
Willy Bala Parks & Recreation Department	Date Oct 27, 2023
Hydrology Code Enforcement	Date Sep 29, 2023
Environmental Health Department (conditional)	Date
Solid Waste Management	Date Oct 27, 2023
Planning Department	Date

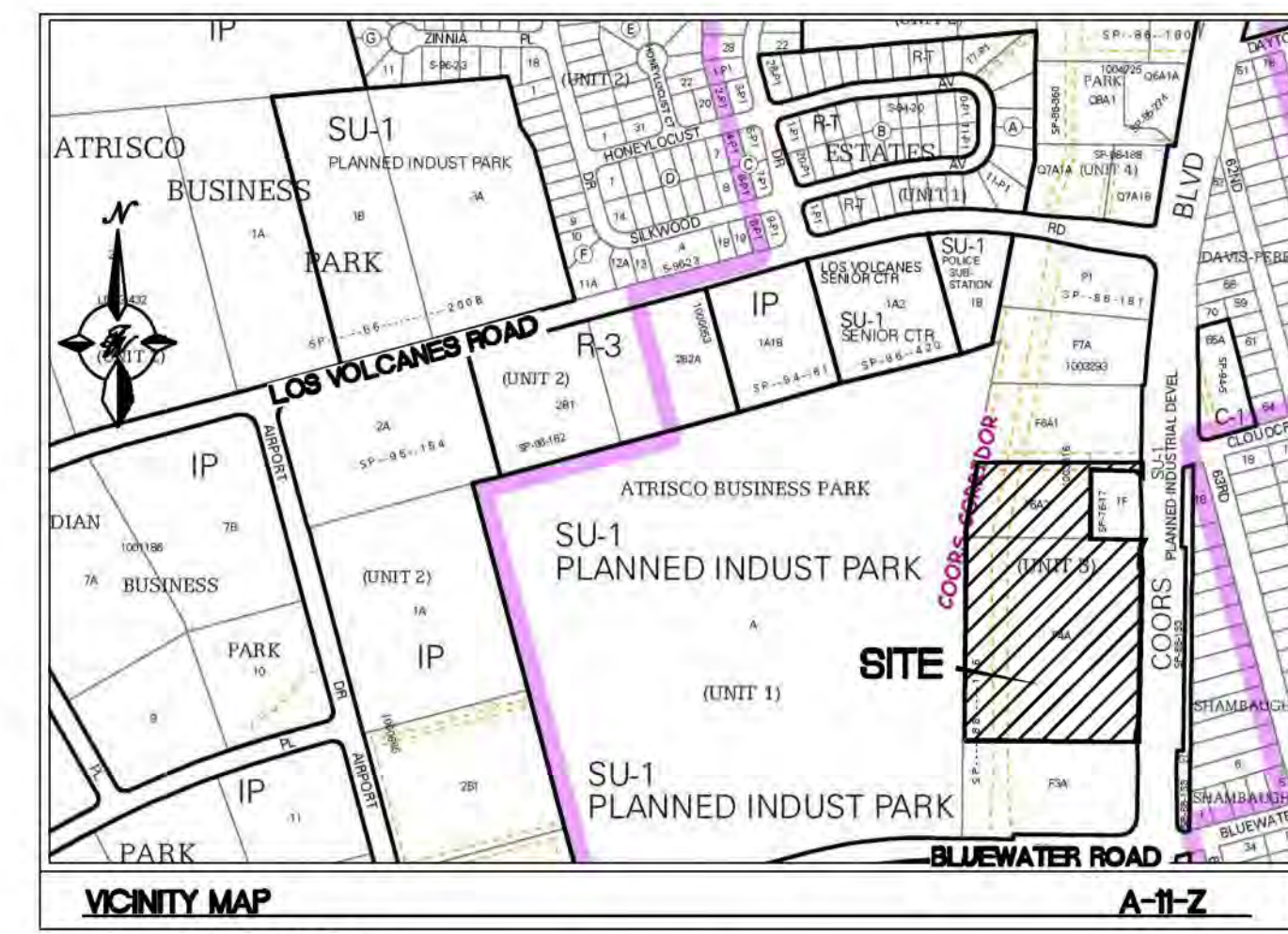
* Environmental Health, if necessary

CLEAR SIGHT TRIANGLE NOTE:

LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

SENIOR HOUSING NOTE:

ALL UNITS ASSOCIATED WITH THE LA SERENA DEVELOPMENT ARE INTENDED TO BE SENIOR HOUSING AND WILL BE REQUIRED AS SUCH.



VICINITY MAP
LEGAL DESCRIPTION:
 PROPERTY ADDRESS: (vacant land) on 441 & 457 Coors Boulevard N.W., Albuquerque, New Mexico
 U.P.C. No. 1-010-058-469-059-406-06
 U.P.C. No. 1-010-058-472-018-406-05

LEGAL DESCRIPTION:
 TRACTS F-6-A-2-A & F-4-A-1, UNIT 3, ATRISCO BUSINESS PARK WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 15, T10N, R2E, NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 GROSS AREA OF SURVEY: 8.9567 Ac., more or less.



09/20/2023



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san roque & la serena
 441 & 457 coors blvd. nw
 albuquerque, new mexico 87121

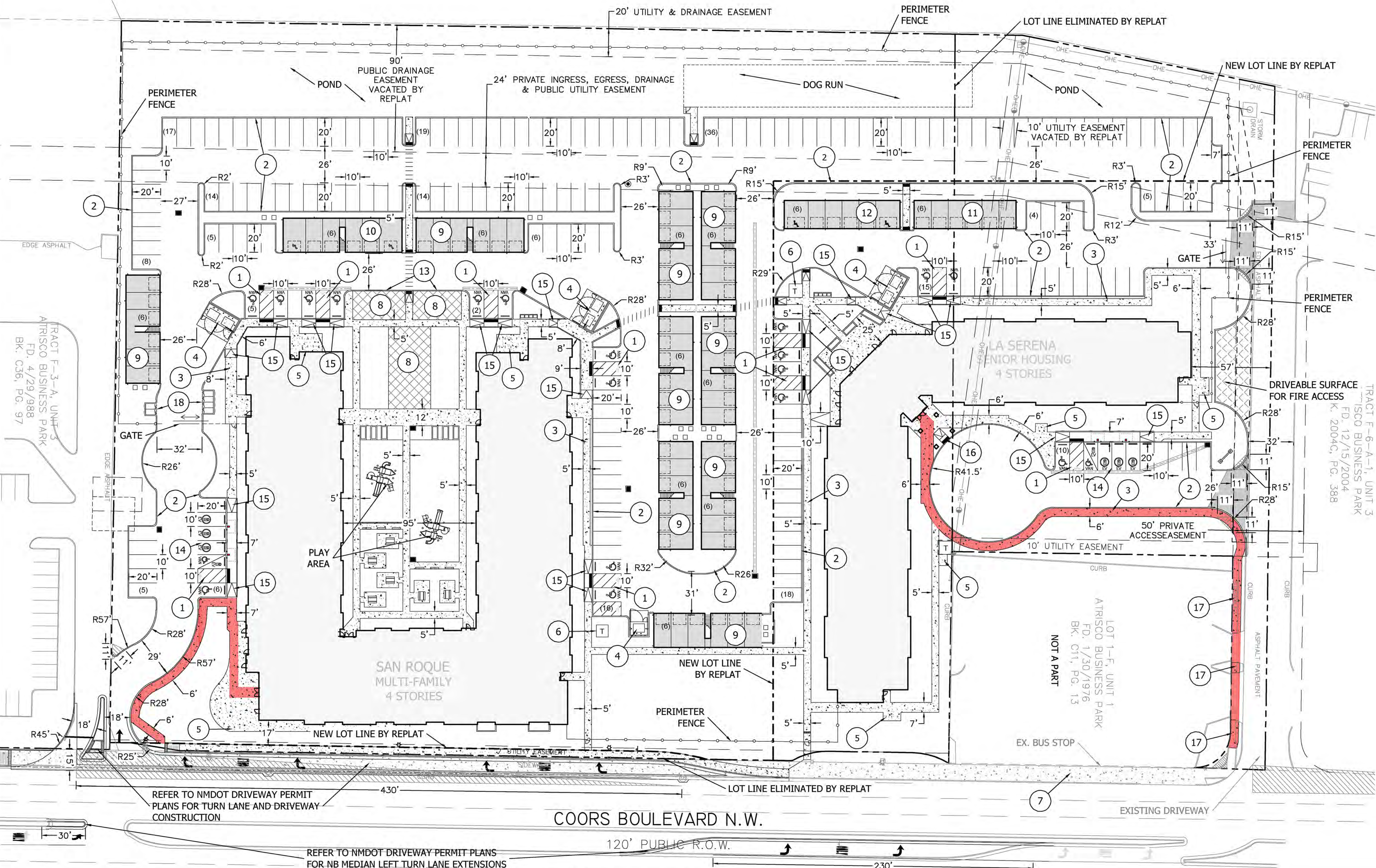
revision:
 no. desc. date

project: 2020010
 date: 08.02.2023
 drawn: vb
 checked:

revised permit set

Site Plan for Building Permit

c1.0



SITE DATA - SAN ROQUE

PROPOSED USAGE:	MULTI-FAMILY AFFORDABLE HOUSING
IDO CLASSIFICATION:	RESIDENTIAL MULTI-FAMILY
PROPOSED LOT AREA:	6.22 ACRES (270,843 SF)
MAIN BUILDING AREA:	161,282 SF
GARAGE BLDG AREA (EA):	6-BAY STANDARD = 1,775 SF
6-BAY ADA = 1,969 SF	
TOTAL BUILDING AREA:	179,226 SF
MAIN BUILDING UNITS:	117 UNITS
GARAGE LOFT UNITS:	20 UNITS
TOTAL UNITS:	137 UNITS
PARKING REQUIRED:	215 SPACES (1.2 SPACES/1BR DU) + (1.6 SPACES/2BR DU) + (1.8 SPACES/3BR DU)
W/ 30% REDUCTION (TRANSIT PROXIMITY + MIT CORRIDOR IN AREA OF CHANGE):	215-(215*0.3) = 151 SPACES

SITE DATA - LA SERENA

PROPOSED USAGE:	SENIOR LIVING AFFORDABLE HOUSING
IDO CLASSIFICATION:	RESIDENTIAL MULTI-FAMILY
PROPOSED LOT AREA:	2.73 ACRES (119,313 SF)
MAIN BUILDING AREA:	100,881 SF
GARAGE BLDG AREA (EA):	6-BAY STANDARD = 1,450 SF
6-BAY ADA = 1,642 SF	
TOTAL BUILDING AREA:	103,973 SF
MAIN BUILDING UNITS:	100 UNITS
TOTAL UNITS:	100 UNITS
PARKING REQUIRED:	136 SPACES (1.2 SPACES/1BR DU) + (1.6 SPACES/2BR DU) + (1.8 SPACES/3BR DU)
W/ 30% REDUCTION (TRANSIT PROXIMITY + MIT CORRIDOR IN AREA OF CHANGE):	136-(136*0.3) = 96 SPACES

SITE PARKING DATA - OVERALL

TOTAL PARKING REQUIRED:	151 + 96 = 247 SPACES
TOTAL PARKING PROVIDED:	277 SPACES
ADA PARKING SPACES REQUIRED:	8 SPACES
ADA PARKING SPACES PROVIDED:	20 SPACES
VAN ACCESSIBLE REQUIRED:	2 SPACES
VAN ACCESSIBLE PROVIDED:	20 SPACES
ELECTRIC VEHICLE SPACES REQUIRED:	6 SPACES
ELECTRIC VEHICLE SPACES PROVIDED:	8 SPACES
BICYCLE PARKING REQUIRED:	28 SPACES
BICYCLE PARKING PROVIDED:	96 SPACES
MOTORCYCLE PARKING REQUIRED:	6 SPACES
MOTORCYCLE PARKING PROVIDED:	6 SPACES

LEGEND

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	BUILDING
	SIDEWALK
	PERIMETER FENCE
	EXISTING CURB & GUTTER
	PROPOSED BOUNDARY LINE
	CONCRETE VALLEY GUTTER
	PARKING COUNT
	EV CHARGING STATION
	DRAINAGE INLET
	CLEAR SIGHT TRIANGLE
	ADA ROUTE FROM ROW

CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



The Hubcap
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la serena
 457 coors blvd. nw
 albuquerque, new mexico 87121

revision:	no.	desc.	date
	01	CITY ZONING	07.19.23
	02	CITY ZONING	08.02.23
	03	REVISED	08.02.23
	04	REVISED	08.02.23
	05	REVISED	08.02.23
	06	REVISED	08.02.23
	07	REVISED	08.02.23
	08	REVISED	08.02.23
	09	REVISED	08.02.23
	10	REVISED	08.02.23

project: 200405
 date: 08.02.2023

revised permit set

Landscape Plan
 LS.02

LA SERENA LANDSCAPE LEGEND

SYMB	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	SIZE (MATURE H/W)	WATER USE	COVER (EA)	TOTAL
TREES							
8	2x	Trunks w/ 2" Combined Cal.	Desert Willow <i>Quercus agrifolia</i>	20' x 20'	L	625	9000
7	2x	Trunks w/ 2" Combined Cal.	New Mexico Olive <i>Forsythia neomexicana</i>	15' x 15'	M	225	1075
7	2x	Trunks w/ 2" Combined Cal.	Honey Locust <i>Gleditsia triacanthos inermis</i>	50' x 40'	M+	2025	14175
4	2x	Cal	Texas Red Oak <i>Quercus buckleyi</i>	40' x 40'	M	1600	4400
12	6"	Height	Prunus <i>Prunus</i>	30' x 20'	M+	400	4800
11	6"	Height	Australian Pine <i>Pinus nigra</i>	30' x 20'	M+	625	6875
1	2x	Cal	Chinese Pistache <i>Pistacia chinensis</i>	40' x 30'	M	900	900
8	2x	Cal	Autumn Blaze Pear <i>Pyrus calleryana 'Autumn Blaze'</i>	30' x 30'	M+	900	7200
3	2x	Cal	Allee Elm <i>Ulmus parviflorus 'Tone 1'</i>	40' x 40'	L+	1600	4800
10	2x	Trunks w/ 2" Combined Cal.	Cholla Tree <i>Mylar agave-coahuila</i>	20' x 20'	M	400	4000
71			Trees				Coverage: 55725
Shrubs & Groundcover							
14	5	Gal	Blue Mist Spirea <i>Coronilla x canadensis</i>	3' x 3'	L+	9	126
14	5	Gal	Cut-Led Mountain Mahoeberry <i>Conocarpus helidifolius</i>	15' x 15'	L+	225	3150
17	5	Gal	Fernbach <i>Chamaelirium luteolum</i>	6' x 6'	L+	336	5712
14	5	Gal	Daniella <i>Chrysanthemum indicum</i>	3' x 3'	L+	4	56
10	5	Gal	Sola <i>Daphne genkwa</i>	5' x 5'	RW	25	250
14	5	Gal	Turpentine Bush <i>Chamaelirium luteolum</i>	3' x 3'	L+	9	126
11	5	Gal	Apache Flame <i>Fuchsia paniculata</i>	6' x 7'	L+	49	539
20	5	Gal	Red Yucca <i>Hesperaloe parviflora</i>	3' x 3'	L+	9	180
10	5	Gal	Althea / Rose of Sharon <i>Hibiscus syriacus</i>	10' x 10'	M	100	1000
15	5	Gal	Blue Holly <i>Ilex</i>	7' x 5'	M+	25	375
7	5	Gal	Spartan Juniper <i>Juniperus chinensis 'Spartan'</i>	15' x 6'	L+	36	252
17	5	Gal	Butterfly Juniper <i>Juniperus chinensis 'Butterfly'</i>	1' x 6'	L+	64	1088
8	5	Gal	Morning Light Hedergera <i>Hedergera</i>	5' x 5'	M	25	200
15	5	Gal	Deer Grass <i>Muhlenbergia stricta var.</i>	4' x 4'	L+	16	240
50	5	Gal	Bear Grass <i>Muhlenbergia rigens</i>	5' x 6'	RW	36	1800
20	5	Gal	Salt-tolerant <i>Halimolobos</i>	4' x 4'	M	16	320
20	5	Gal	Patentia <i>Panicum virgatum</i>	3' x 3'	M	9	180
12	5	Gal	Three-Led Spine <i>Althea</i>	6' x 6'	L+	36	432
10	5	Gal	Pink Double Knock Out <i>Rosa</i>	4' x 4'	M	16	160
23	5	Gal	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 2'	L+	9	207
321			Shrubs				Coverage: 16383

Other Materials

SYMB	QTY	TYPE
12310	SF	Crusher Stone Over Aggregate Basecourse
28775	SF	Landscape Gravel A with Filter Fabric Color and Size, 1/2"
6890	SF	Overlaid Landscape Gravel / No Filter Fabric 2" x 4" Angular Cobble/Spillies
		Concrete
		See site plan
		Asphalt Paving Area and Driveways
		See site plan
		Stormwater Management Depression

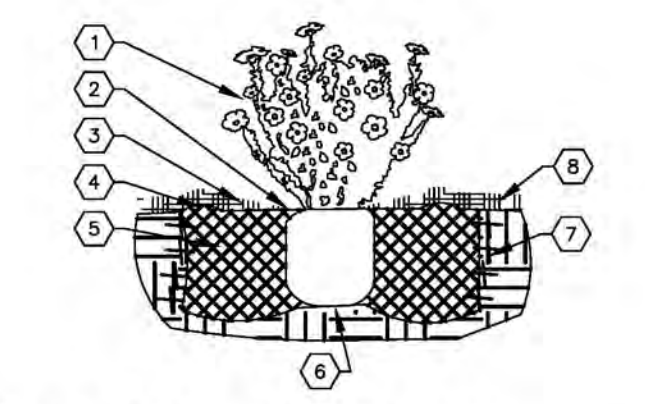
LANDSCAPE CALCULATIONS

ZONING	X
APPLICABLE REGULATION(S)	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994
TOTAL LOT AREA (ACRES)	4.86
TOTAL LOT AREA (SF)	211702
BUILDING AREA (SF)	49745
NET LOT AREA (SF)	161,957
REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	24293
LANDSCAPE PROVIDED (SF)	125830
VEGETATIVE COVER (% - REQ)	75.0
VEGETATIVE COVER (SF - REQ)	94373
VEGETATIVE COVER (SF - PROV.)	108400
REQ. TREES - 1ST AND 2ND STORY UNITS	75
PROVIDED UNIT TREES	180
GROUND COVER (% - REQ)	25.00
GROUND COVER (SF - REQ)	27100
GROUND COVER (SF - PROV.)	33761
PARKING LOT AREA (SF)	79550
REQ. PARKING LANDSCAPE 10% (SF)	7955
PROV. PARKING LANDSCAPE (SF)	35644
REQ. PARKING TREES (1/10 SPOTS)	27
PROV. PARKING TREES	54
COOL SEASON GRASS (SF)	5139
COOL SEASON GRASS (% OF LANDSCAPE)	4.1
REQUIRED STREET TREES	24
PROVIDED STREET TREES	27.0

COORS BOULEVARD N.W.

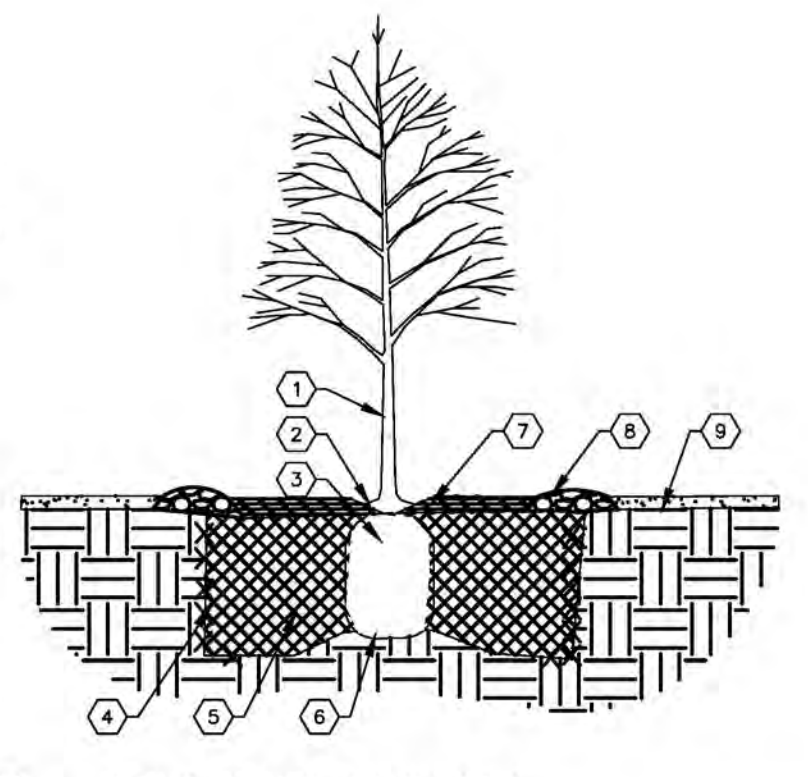
SHEET KEYED NOTES

CODE	DESCRIPTION
1.	Raised Planter Beds
2.	Landscaping, Signage, Walls, Fences, Trees and Shrubbery



SHRUB PLANTING KEYED NOTES

1. SHRUB LOCATION, SPECIES, AND QUANTITY AS PER PLAN.
2. REMOVE EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLANK. INSTALL WITH ROOT FLANK FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
3. INSTALL TREE FLANK REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE, AND/OR ROPE FROM TO BACKFILL. REMOVE SHRUB EXCEPT FROM BOTTOM OF ROOT BALL.
4. SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
5. BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VIDS AND AIR POCKETS.
6. UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
7. INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND BELOW DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
8. 4" HIGH X 18" WIDE COBBLE BEAM AT DRIP LINE.
9. MULCH - SEE PLANTING PLAN.

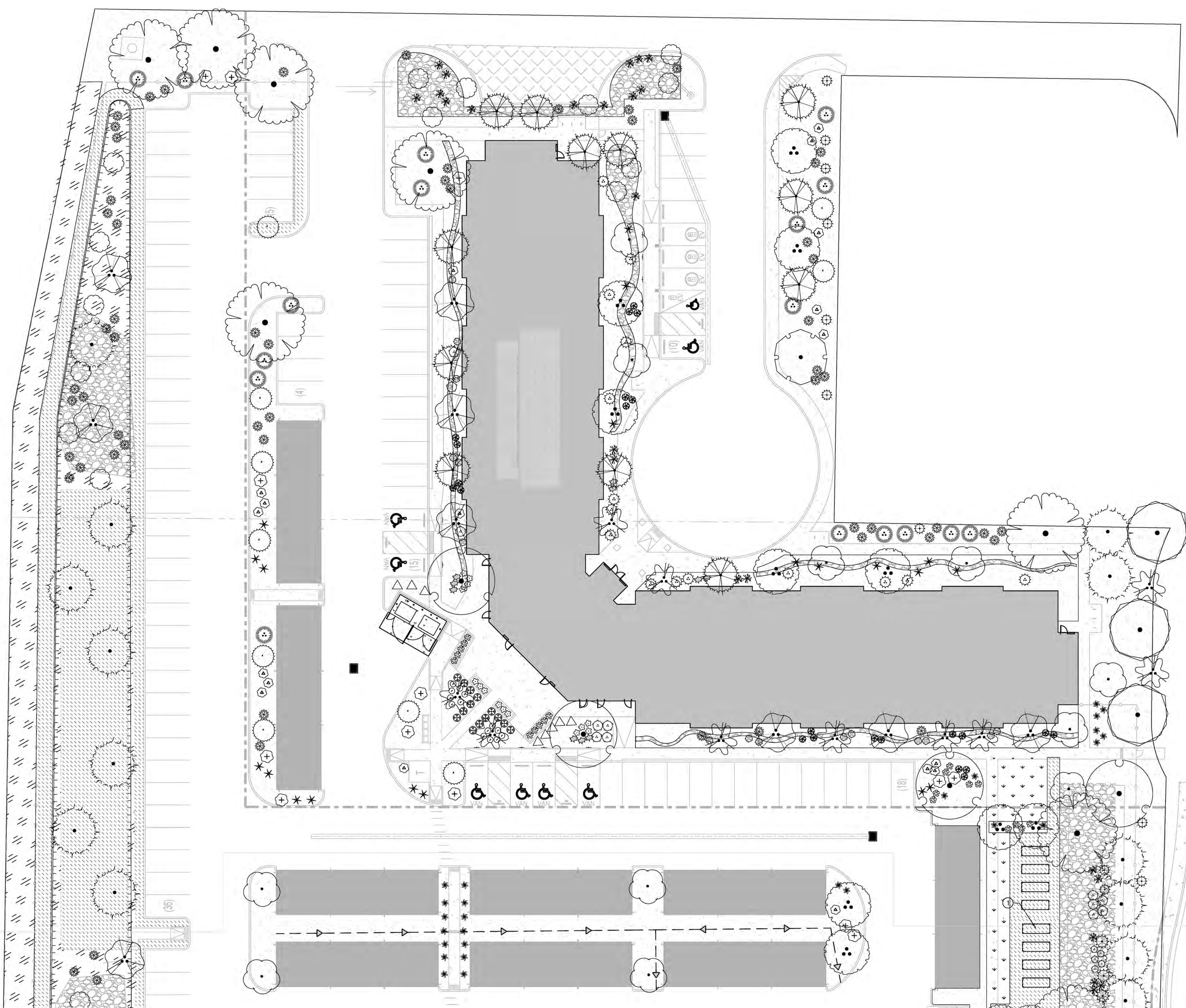


TREE PLANTING KEYED NOTES

1. TREE LOCATION, SPECIES, AND QUANTITY AS PER PLAN.
2. REMOVE EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLANK. INSTALL WITH ROOT FLANK FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
3. INSTALL TREE FLANK REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE, AND/OR ROPE FROM TO BACKFILL. REMOVE SHRUB EXCEPT FROM BOTTOM OF ROOT BALL.
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8. 4" HIGH X 18" WIDE COBBLE BEAM AT DRIP LINE.
9. MULCH - SEE PLANTING PLAN.

SHRUB PLANTING DETAIL

TREE PLANTING DETAIL



PLANTING NOTES

ALL PLANTS TO CONTAIN BARK MULCH AROUND THE ROOTBALL, TO THE EXTENT TO COVER THE DRIP LINES.

GENERAL NOTES

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE, ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY WATER CONSERVATION LANDSCAPING ORDINANCE AND THE WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

ALL GRAVEL SHALL BE PLACED .5"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

NETAFM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF .6 GPH. SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNERS RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, PINNED IN PLACE.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 1.5 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

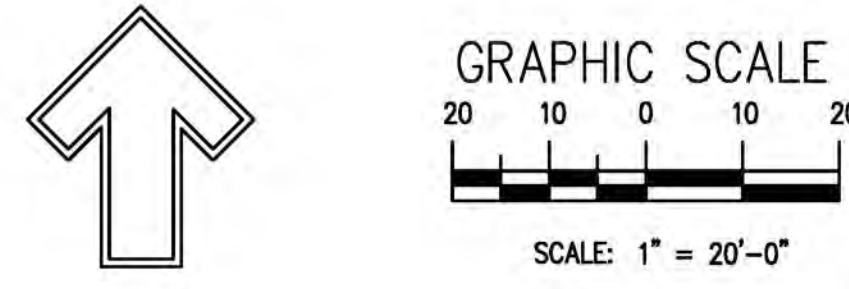
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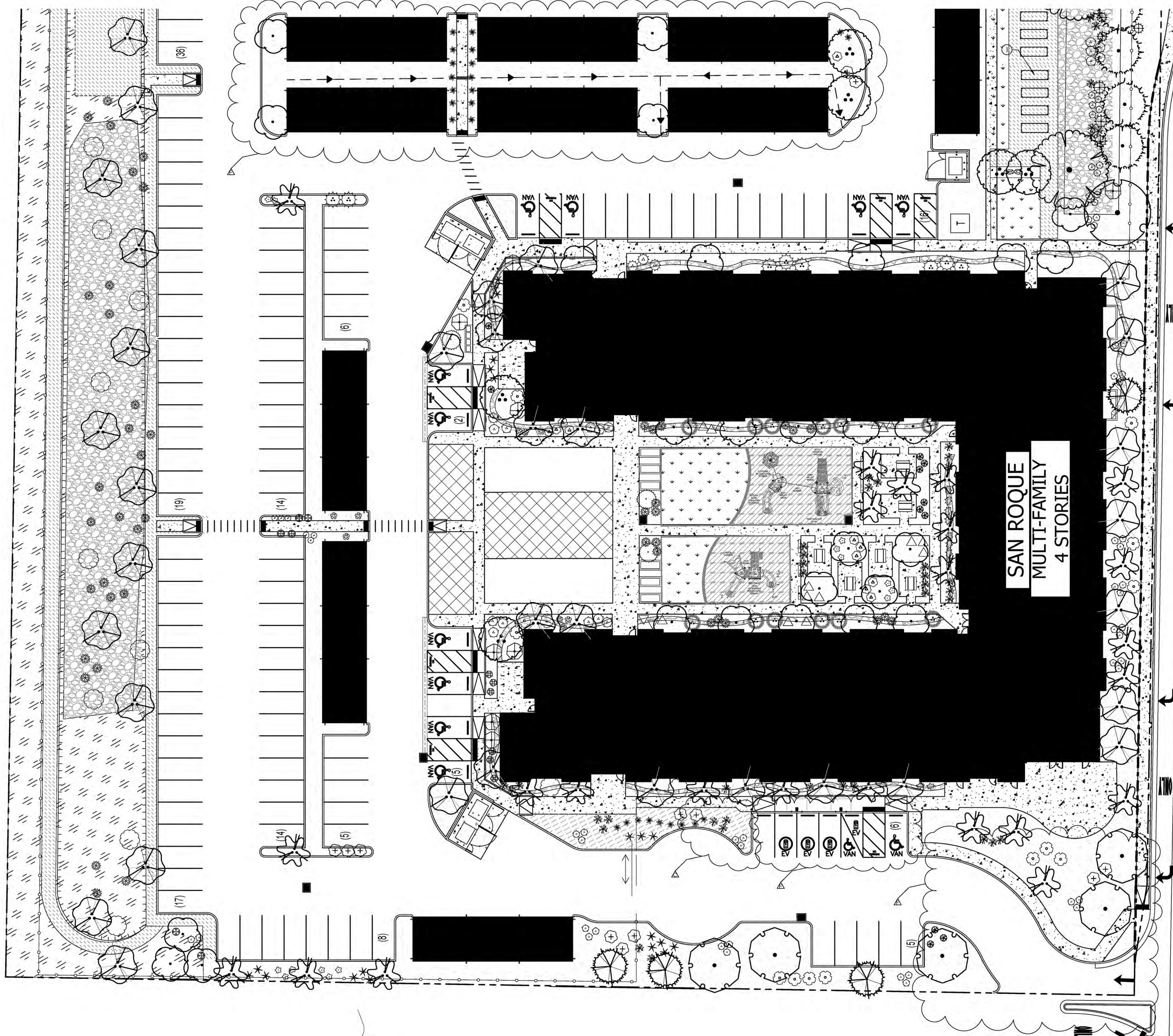
IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.



GRAPHIC SCALE

SCALE: 1" = 20'-0"



LANDSCAPE LEGEND

SYMBOL	QTY	SIZE (INSTALL)	CORRESPONDING	SIZE (MATURE 100%)	WATER USE	COVER (EA)	TOTAL
(Symbol)	43	2" Trunk w/ 2" Combined Cal.	Desert Yucca Cholla Beams	30" x 20"	L	425	26475
(Symbol)	21	2" Trunk w/ 2" Combined Cal.	New Mexico Olive Forestiera neomexicana	8" x 8"	M	225	6475
(Symbol)	6	2" Cal	Honey Locust Gleditsia inaequalis Inermis	30" x 40"	M	3025	18000
(Symbol)	2	2" Cal	Texas Red Oak Quercus buckleyi	40" x 40"	M	1600	1600
(Symbol)	4	6'-8" Height	Pinon Pine Pinus edulis	30" x 30"	M	400	1600
(Symbol)	4	6'-8" Height	Aspen Pine Pinus rigida	30" x 30"	M	400	2800
(Symbol)	3	2" Cal	Chinese Pistache Platanus chinensis	40" x 30"	M	300	4800
(Symbol)	3	2" Cal	Asian Bittersweet Forsythia albertana 'Aurum Bicolor'	30" x 30"	M	300	1200
(Symbol)	24	2" Trunk w/ 2" Combined Cal.	Crepe Tree Vitex agnus-castus	30" x 30"	M	400	1600
(Symbol)	04	Tree				Coverage	1650
IRRIGATION							
(Symbol)	9	9 Gal	Blue Plat Spruce Cedrus x cinnamomea	3" x 3"	L	9	36
(Symbol)	16	9 Gal	Cut-Leaf Flowering Dogwood Cornus florida	6" x 6"	L	225	475
(Symbol)	6	9 Gal	Fernbush Chamaecrista alleghaniensis	6" x 6"	L	36	360
(Symbol)	6	9 Gal	Chamaecrista nictitans	3" x 3"	L	4	24
(Symbol)	9	9 Gal	Gray-Led Ceanothus Ceanothus bartramianus/glaucophyllus	6" x 6"	M	100	500
(Symbol)	21	9 Gal	Solid	3" x 3"	M	25	675
(Symbol)	6	9 Gal	Turquoise Bush Rhus glabra	3" x 3"	L	9	54
(Symbol)	9	9 Gal	Horseshoe Broomrape Sarcocolla	6" x 6"	M	36	540
(Symbol)	9	9 Gal	Burgundy Amaranthus Amaranthus	6" x 6"	L	49	606
(Symbol)	14	9 Gal	Red Yucca Yucca parviflora	3" x 3"	L	9	162
(Symbol)	9	9 Gal	Temperature sensitive Rhus glabra	3" x 3"	M	100	600
(Symbol)	1	9 Gal	Blue Holly Ilex	7" x 9"	M	20	270
(Symbol)	1	9 Gal	Red Yucca Yucca parviflora	6" x 6"	L	36	232
(Symbol)	14	9 Gal	Burgundy Amaranthus Amaranthus	7" x 9"	L	64	896
(Symbol)	11	9 Gal	Hanging Light Red Yucca Yucca filamentosa var.	3" x 3"	M	20	43
(Symbol)	6	9 Gal	Dark Green Rhus glabra	4" x 4"	L	16	96
(Symbol)	43	9 Gal	Dark Green Rhus glabra	3" x 3"	M	36	2484
(Symbol)	42	9 Gal	Red Yucca Yucca parviflora	4" x 4"	M	16	672
(Symbol)	12	9 Gal	Potentilla Potentilla fruticosa (Clematis L)	3" x 3"	M	9	117
(Symbol)	10	9 Gal	Three-Leaf Yucca Yucca filamentosa	6" x 6"	L	36	2100
(Symbol)	1	9 Gal	Phlox Double Knock Out Rose Phlox 'Double Knock Out'	4" x 4"	M	16	76
(Symbol)	1	9 Gal	Autumn Cherry Sage Salvia greggii	3" x 3"	L	9	93
(Symbol)	46	Grass				Coverage	1644

Other Materials

SYMBOL	QTY	TYPE
(Symbol)	2	Large Boulder (6-8') 18" Round
(Symbol)	420	Crusher Free Over Aggregate Basecourse
(Symbol)	2050	Landscape Gravel A with Filter Fabric Color and Size, 1/2"
(Symbol)	850	Landscape Gravel C with Filter Fabric Color and Size, 1/2"
(Symbol)	23700	Overlaid Landscape Gravel / No Filter Fabric 1/4" Angular Cobblestone
(Symbol)	280	Playground Surface By Owner
(Symbol)	305	Painted Sidewalk Pop-Up Irrigation
(Symbol)	1950	Native Seed Area High Desert Mix
(Symbol)	194	Concrete See site plan
(Symbol)		Asphalt Parking Areas and Driveways See site plan
(Symbol)	88	Landscape Curb
(Symbol)		Nonlinear Management Depression

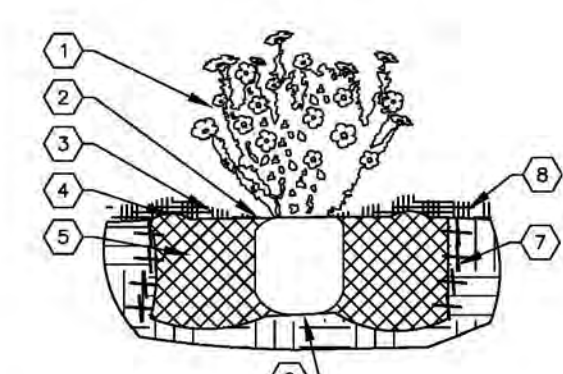
LANDSCAPE CALCULATIONS

ZONING	APPLICABLE REGULATION(S)		
		X	
	UDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994		
TOTAL LOT AREA (ACRES)	4.86	GROUND COVER (% - REQ)	25.00
TOTAL LOT AREA (SF)	21702	GROUND COVER (SF - REQ)	31458
BUILDING AREA (SF)	49145	GROUND COVER (SF - PROV.)	33761
NET LOT AREA (SF)	161957		
REQUIRED LANDSCAPE (%)	15	PARKING LOT AREA (SF)	19550
REQUIRED LANDSCAPE (SF)	24293	REQ. PARKING LANDSCAPE 10% (SF)	1955
LANDSCAPE PROVIDED (SF)	125630	PROV. PARKING LANDSCAPE (SF)	33644
		REQ. PARKING TREES (1/10 SPOTS)	21
		PROV. PARKING TREES	54
VEGETATIVE COVER (% - REQ)	75.0		
VEGETATIVE COVER (SF - REQ)	94373	COOL SEASON GRASS (SF)	9199
VEGETATIVE COVER (SF - PROV.)	117150	COOL SEASON GRASS (% OF LANDSCAPE)	41
REQ. TREES - 1ST AND 2ND STORY UNITS	15	REQUIRED STREET TREES	24
PROVIDED UNIT TREES	180	PROVIDED STREET TREES	210

COORS BOULEVARD N.W.

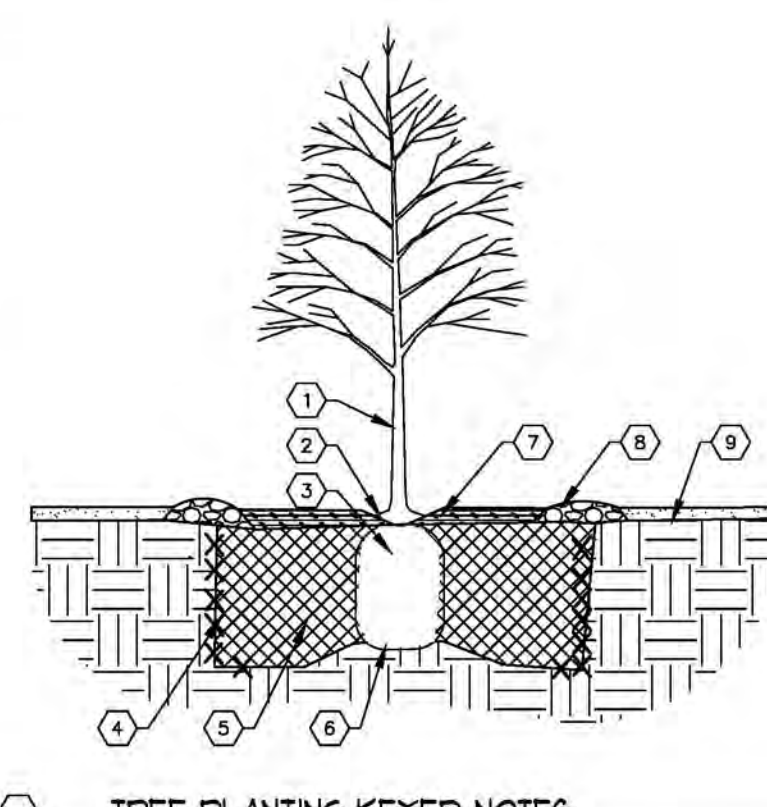
SHEET KEYED NOTES

- CODE DESCRIPTION
1. Raised Planter Beds
 2. Landscaping, Signage, Walls, Fences, Trees and Shrubs; Exclusion 3' and 8' Tall (As Measured From Gutter Pan) are Not Allowed Within The Clear Sight Triangles.



SHRUB PLANTING KEYED NOTES

1. SHRUB LOCATION, SPECIES, AND CONDITION AS PER PLAN.
2. INSTALL 1/2" TOP OF ROOT BALL PLUG WITH SUBGRADE (BOTTOM OF PLUG) FROM TREES AND STEPS.
3. 1/2" TOP OF ROOT BALL PLUG WITH SUBGRADE (BOTTOM OF PLUG) FROM TREES AND STEPS.
4. UNCOVERED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING. GENERALLY MULCH SHOULD BE HELD AT BACK FROM TREE TRUNK AT 1/2" TO 1" SEE COVER SHEET AT DRIP LINE.
5. MULCH - SEE PLANTING PLAN.



TREE PLANTING KEYED NOTES

1. TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
2. UNCOVERED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING. GENERALLY MULCH SHOULD BE HELD AT BACK FROM TREE TRUNK AT 1/2" TO 1" SEE COVER SHEET AT DRIP LINE.
3. MULCH - SEE PLANTING PLAN.
4. TREE PLANTING DETAIL.
5. TREE PLANTING DETAIL.

PLANTING NOTES

ALL PLANTS TO CONTAIN BARK MULCH AROUND THE ROOTBALL, TO THE EXTENT TO COVER THE DRIP LINES.

GENERAL NOTES

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE, ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY WATER CONSERVATION LANDSCAPING ORDINANCE AND THE

WATER WASTE ORDINANCE PLANTING RESTRICTION

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

ALL GRAVEL SHALL BE PLACED 3"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSTITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAPIM SPIRAL (50' LENGTH WITH 3 LOOPS AT A FINAL RADIUS OF 45' FROM TREE TRUNK, FINED IN PLACE. NETAPIM SHALL HAVE EMITTERS 2' O.C. WITH A FLOW OF 6 GPH. SHRUBS TO RECEIVE (2) 1/2 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE

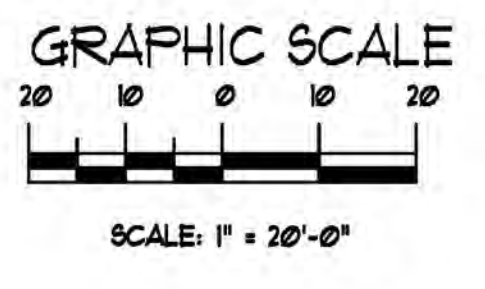
SHALL RUN 15 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.



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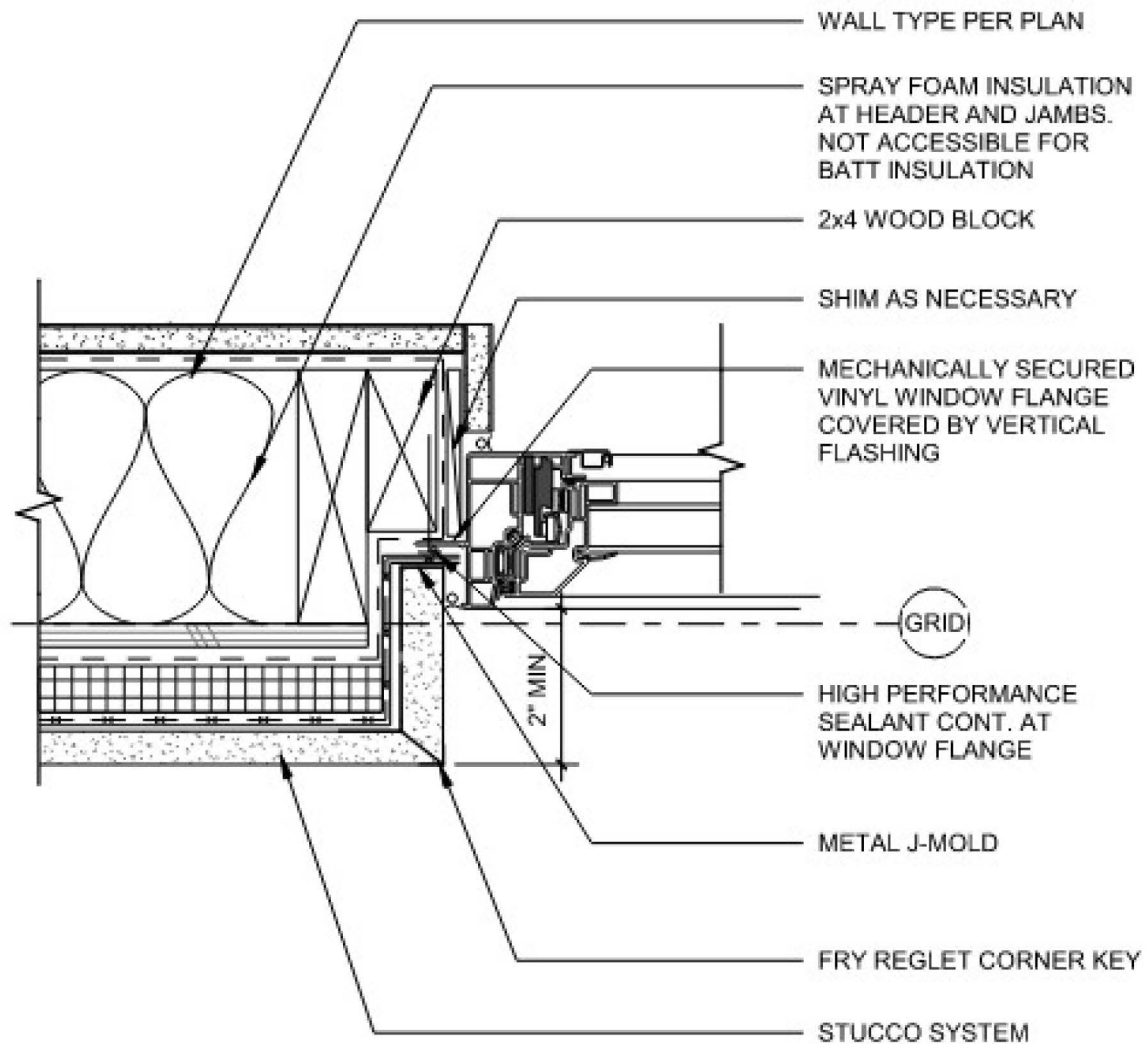
San roque
457 Coors Blvd. NW,
Albuquerque, New Mexico,
87121

revision:
no. desc. date
C City Comm 7.21.21
F VE/ES/CC 12.17.21

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date: 12/13/21
drawn: jll
checked: Checker

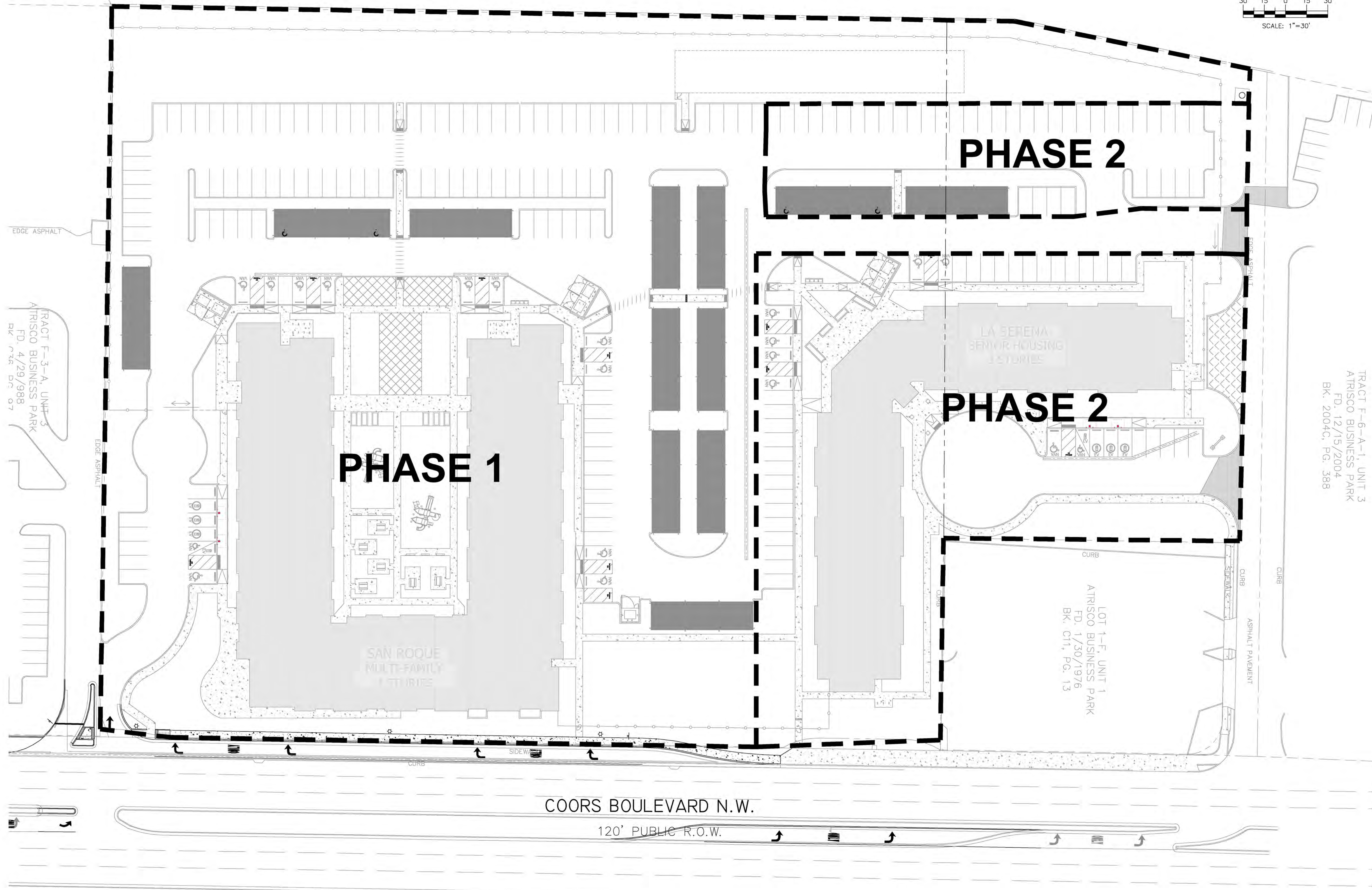
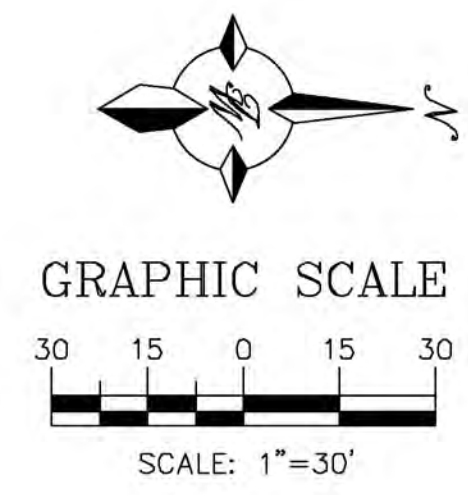
permit set

landscape plan
L1.10



9 vinyl window jamb @ stucco
 3" = 1'-0"

ATRISCO BUSINESS PARK
 FD. 10/31/1972
 BK. D5, PG. 62



TRACT F-3-A, UNITS 3
 ATRISCO BUSINESS PARK
 FD. 4/29/988
 BK. C3A, PG. 07

TRACT F-6-A-1, UNIT 3
 ATRISCO BUSINESS PARK
 FD. 12/15/2004
 BK. 2004C, PG. 388

LOT 1-F, UNIT 1
 ATRISCO BUSINESS PARK
 FD. 1/30/1976
 BK. C11, PG. 13

COORS BOULEVARD N.W.
 120' PUBLIC R.O.W.

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 albuquerque, new mexico 87121

no.	desc.	date

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 date: 09-08-2022
 drawn: vp, bf
 checked: vp

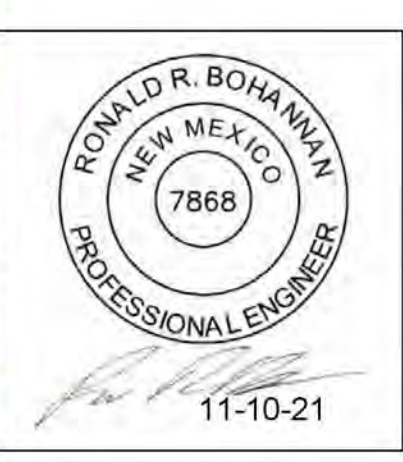
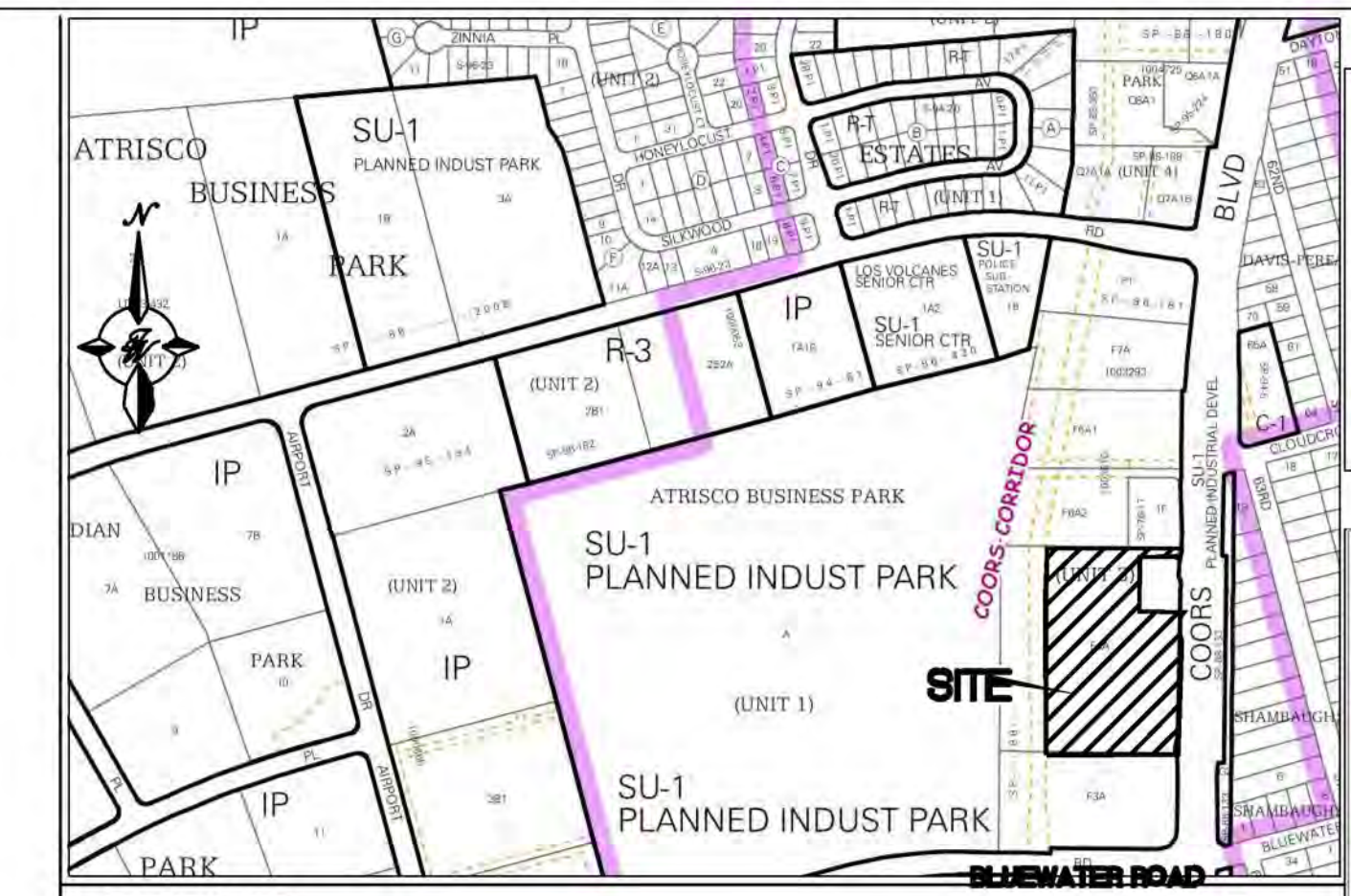
Permit Set

PHASING PLAN

c1.2

AGRS STATION "9_K10"
NM STATE PLANE COORDINATES
N=1495617.623, E=1498430.817
UNITS: US SURVEY FEET
CENTRAL ZONE (NAD 83)
G-C FACTOR: 0.999682230
MAPPING ANGLE: -0°16'22.01"

TRACT A, UNIT 1
ATRISCO BUSINESS PARK
FD. 10/31/1972
BK. D5, PG. 62

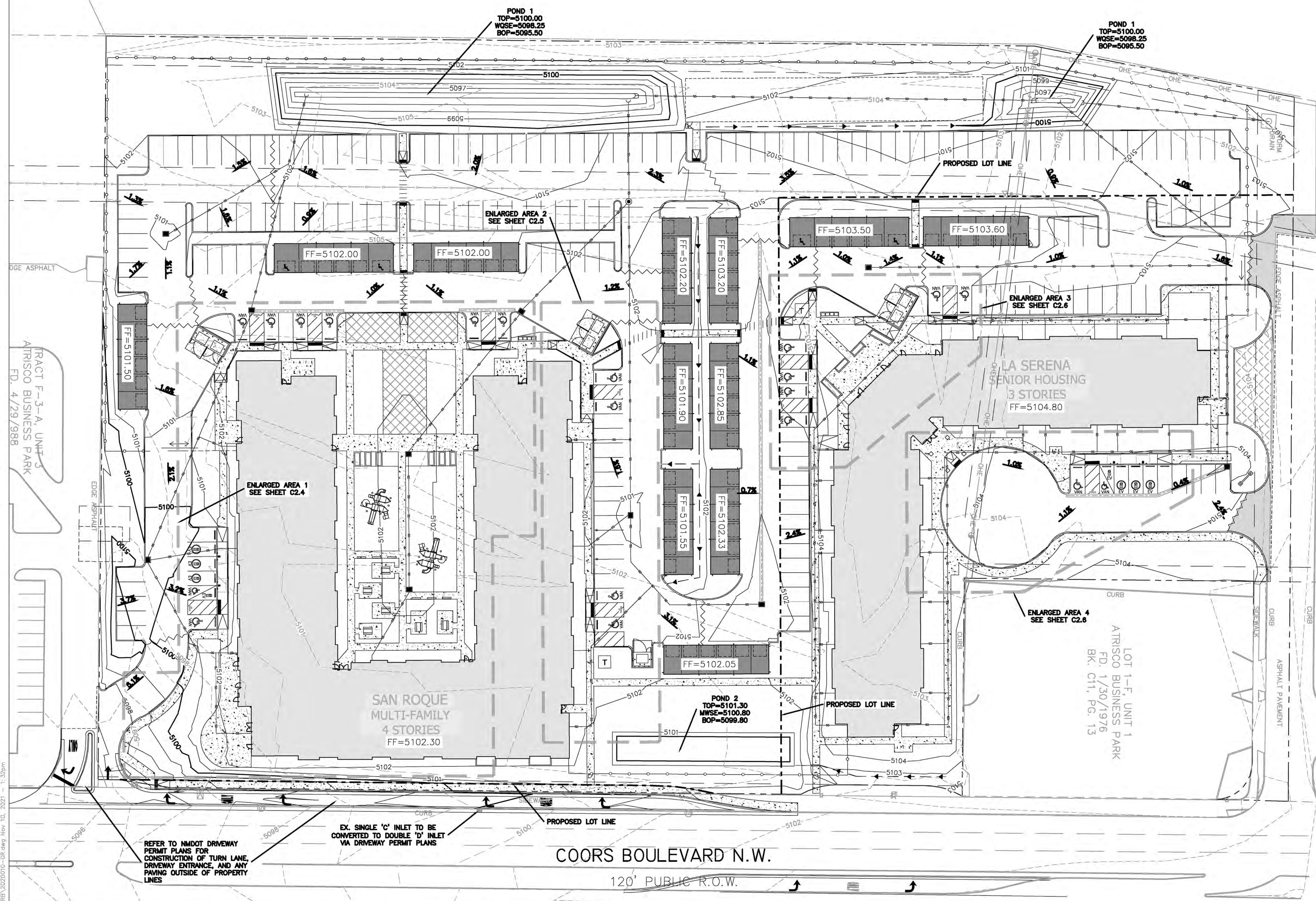


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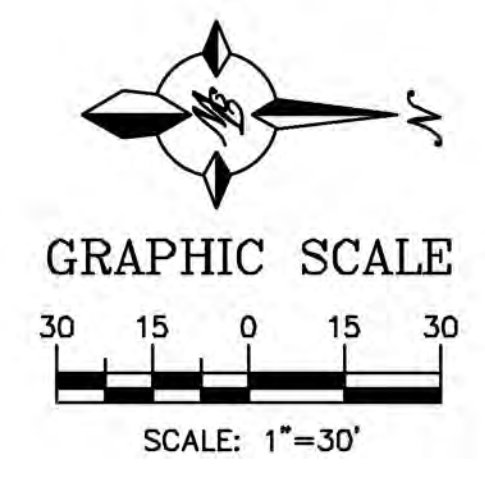
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albuquerque, new mexico 87121



LEGEND

(Symbol)	PROPOSED CURB & GUTTER
(Symbol)	BOUNDARY LINE
(Symbol)	BUILDING
(Symbol)	SIDEWALK
(Symbol)	STORM DRAIN
(Symbol)	WATER LINE
(Symbol)	FIRE LINE
(Symbol)	SANITARY SEWER
(Symbol)	WATER BLOCK
(Symbol)	CONTOUR MAJOR
(Symbol)	CONTOUR MINOR
(Symbol)	SPOT ELEVATION
(Symbol)	FLOW ARROW
(Symbol)	EXISTING CURB & GUTTER
(Symbol)	PROPOSED BOUNDARY LINE
(Symbol)	EXISTING CONTOUR MAJOR
(Symbol)	EXISTING CONTOUR MINOR
(Symbol)	EXISTING WATER LINE
(Symbol)	CONCRETE VALLEY GUTTER
(Symbol)	SAWCUT EXISTING ASPHALT
(Symbol)	LANDSCAPE SWALE



\\TMSA_Z_Drive\2020\2020010 Coors and Blawater Zone Change\Map\081\2020010-08.dwg, Nov 10, 2021 - 1:32pm

REFER TO NMDOT DRIVEWAY PERMIT PLANS FOR CONSTRUCTION OF TURN LANE, DRIVEWAY ENTRANCE, AND ANY PAVING OUTSIDE OF PROPERTY LINES

EX. SINGLE 'C' INLET TO BE CONVERTED TO DOUBLE 'D' INLET VIA DRIVEWAY PERMIT PLANS

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

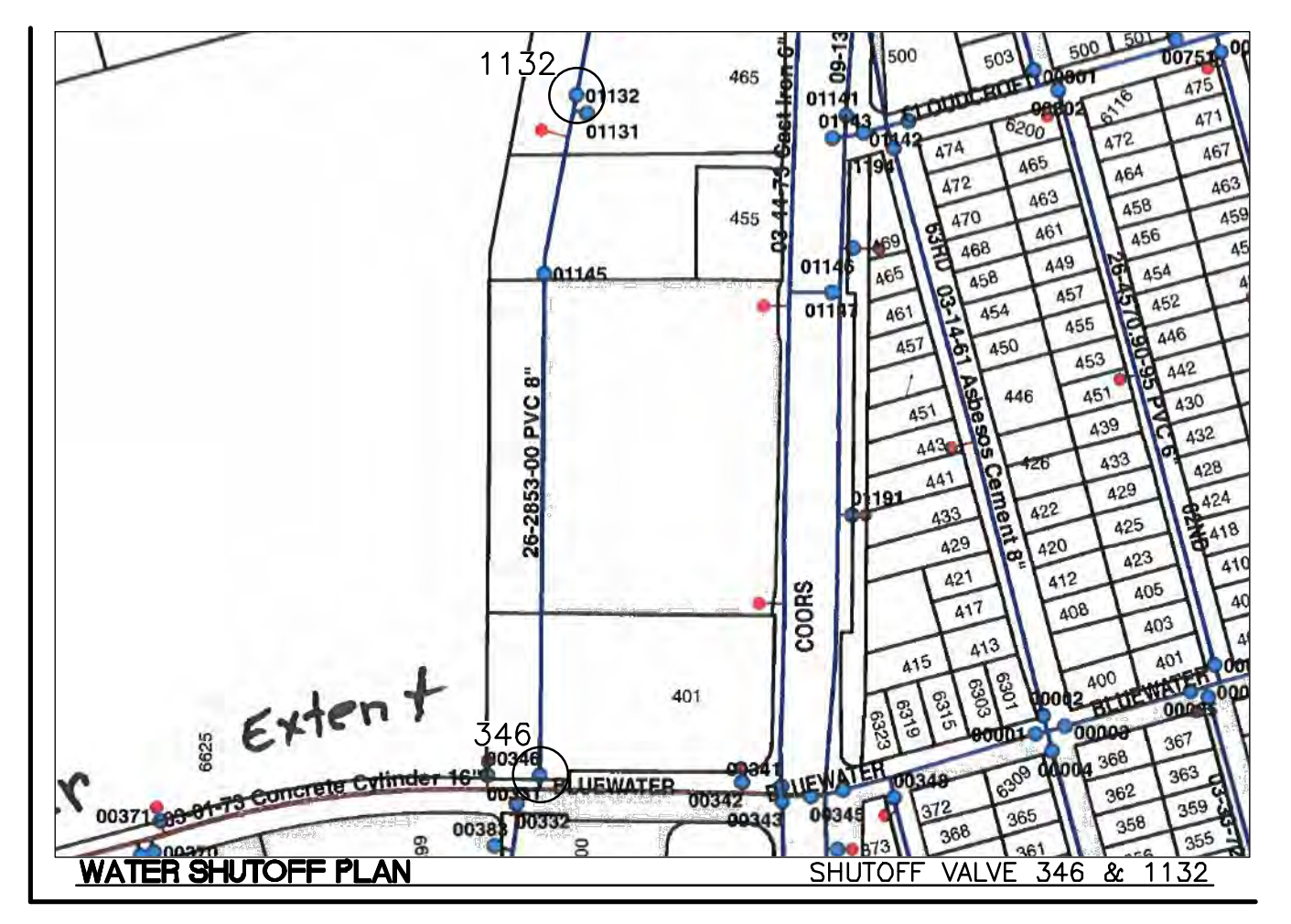
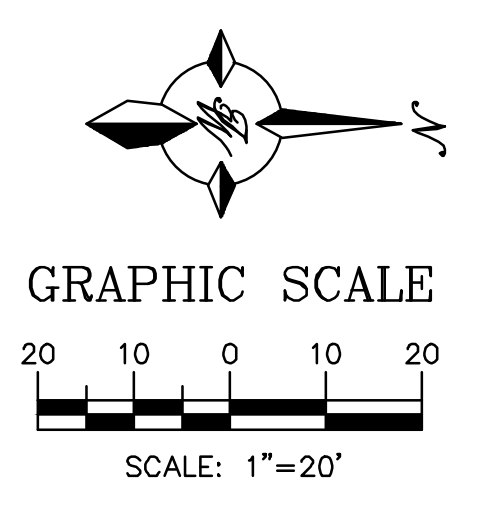
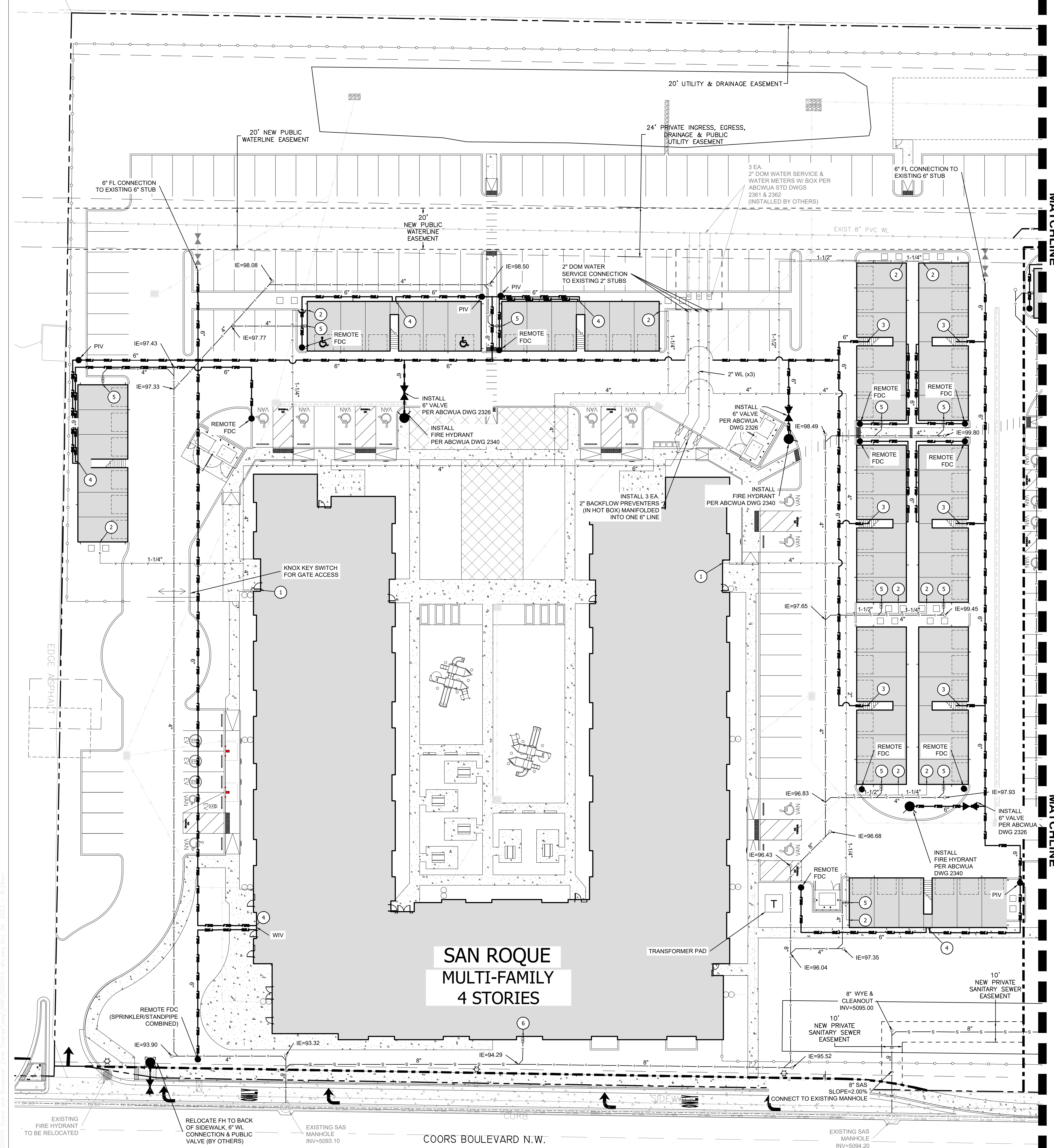
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no. desc. date

project: 2020010
date: 11.10.2021
drawn: vp, bf
checked: vp, bf

Permit Set

Overall Grading & Drainage Plan

c2.0



WATER SHUTOFF NOTES

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://WWW.ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://www.abcwua.org/water_shut_off_and_turn_on_procedures.aspx).

LEGEND

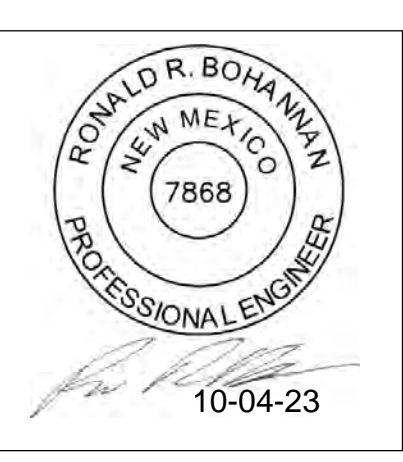
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	STORM DRAIN
	DOMESTIC WATER LINE
	6" FIRE LINE
	SANITARY SEWER
	PROPOSED WATER METER
	PROPOSED BACKFLOW PREVENTER W/ HOTBOX
	PROPOSED FIRE HYDRANT
	EXISTING CURB & GUTTER
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING SS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE

- KEYED NOTES**
- 4" DOMESTIC WL CONNECTION TO BUILDING (SEE PLUMBING PLANS FOR CONTINUATION)
 - 1-1/4" DOMESTIC WL CONNECTION TO BUILDING (SEE PLUMBING PLANS FOR CONTINUATION)
 - 6" FIRELINE CONNECTION TO BLDG RISER ROOM AND WALL INDICATOR VALVE (WV)
 - 6" FIRELINE AND FDC CONNECTION TO BLDG RISER ROOM (REFER TO PLAN FOR REMOTE FDC AS NECESSARY)
 - 4" SANITARY SEWER SERVICE CONNECTION TO BUILDING. INV=-3.4' BELOW F.F.E.
 - 8" SANITARY SEWER SERVICE CONNECTION TO BUILDING. INV=-6.6' BELOW F.F.E.

- GENERAL UTILITY NOTES:**
- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC UTILITY CONSTRUCTION, 1986 EDITION (UPDATE NO 6) INCLUDING AMENDMENT NO 1.
 - 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
 - IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
 - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 - ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
 - PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
 - ALL ONSITE FIRE HYDRANTS ARE PRIVATE AND PAINTED "SAFETY ORANGE"

CROSS CONNECTION NOTE:
COORDINATION WITH THE WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO THE RELEASE OF THE METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-286-3454.

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



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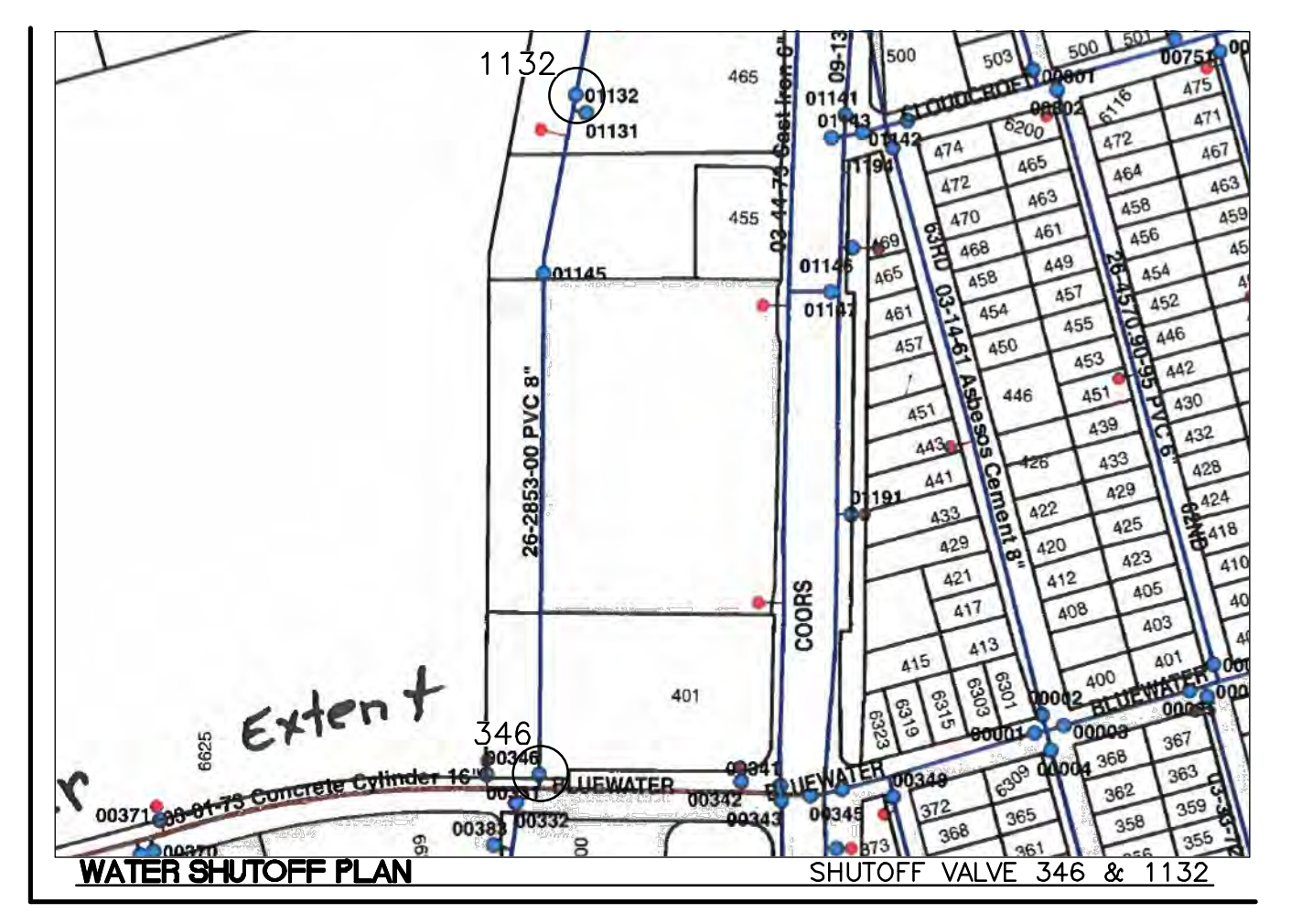
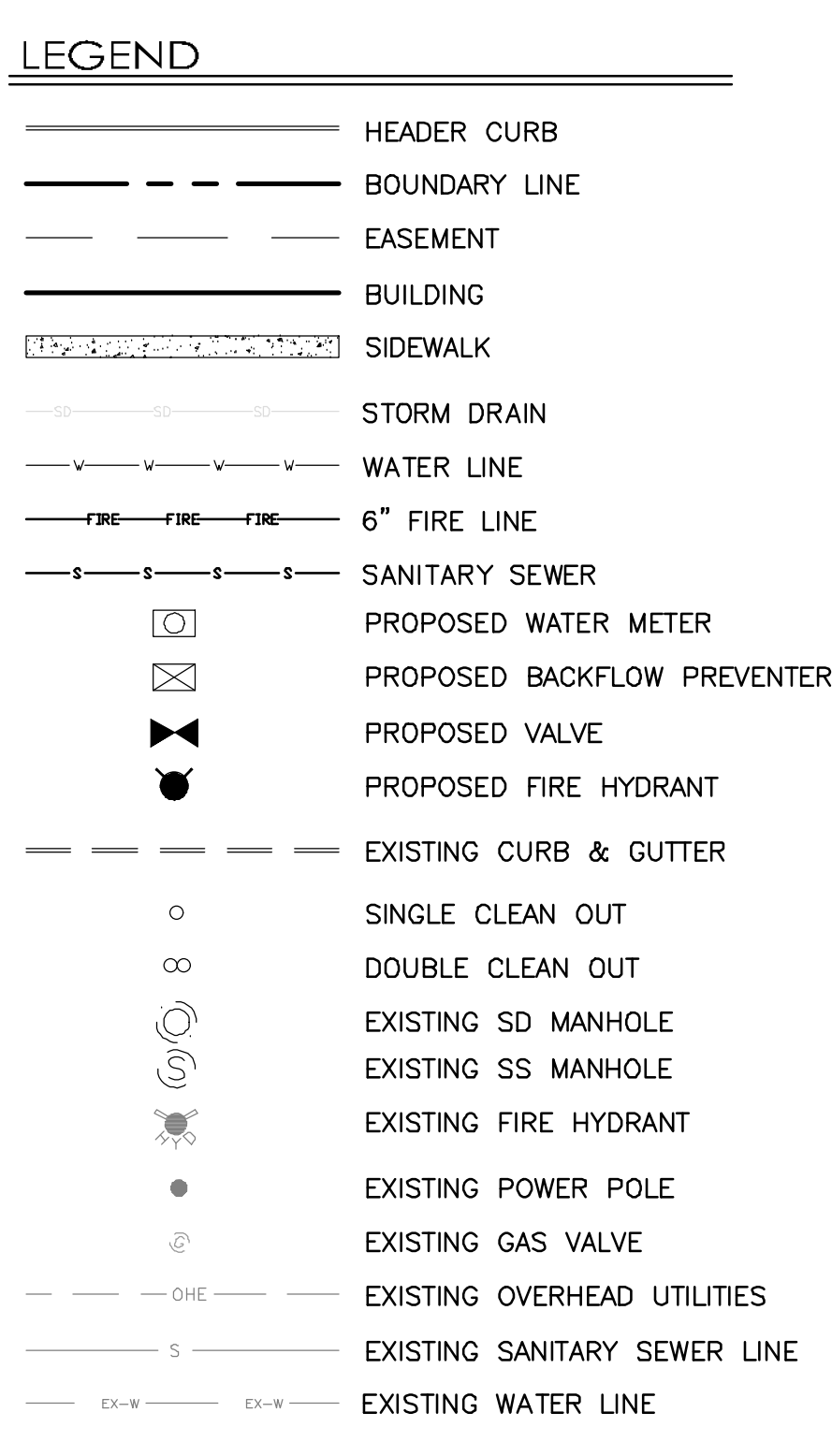
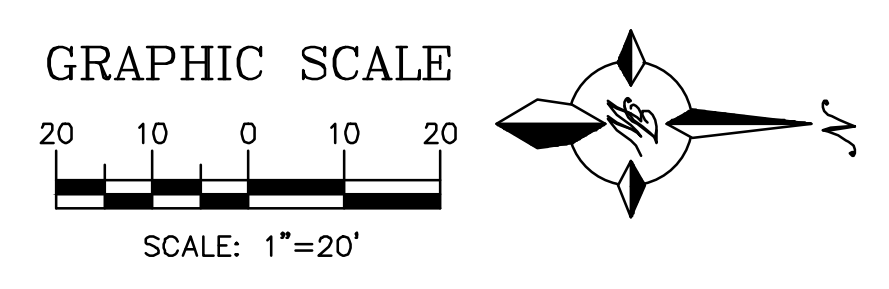
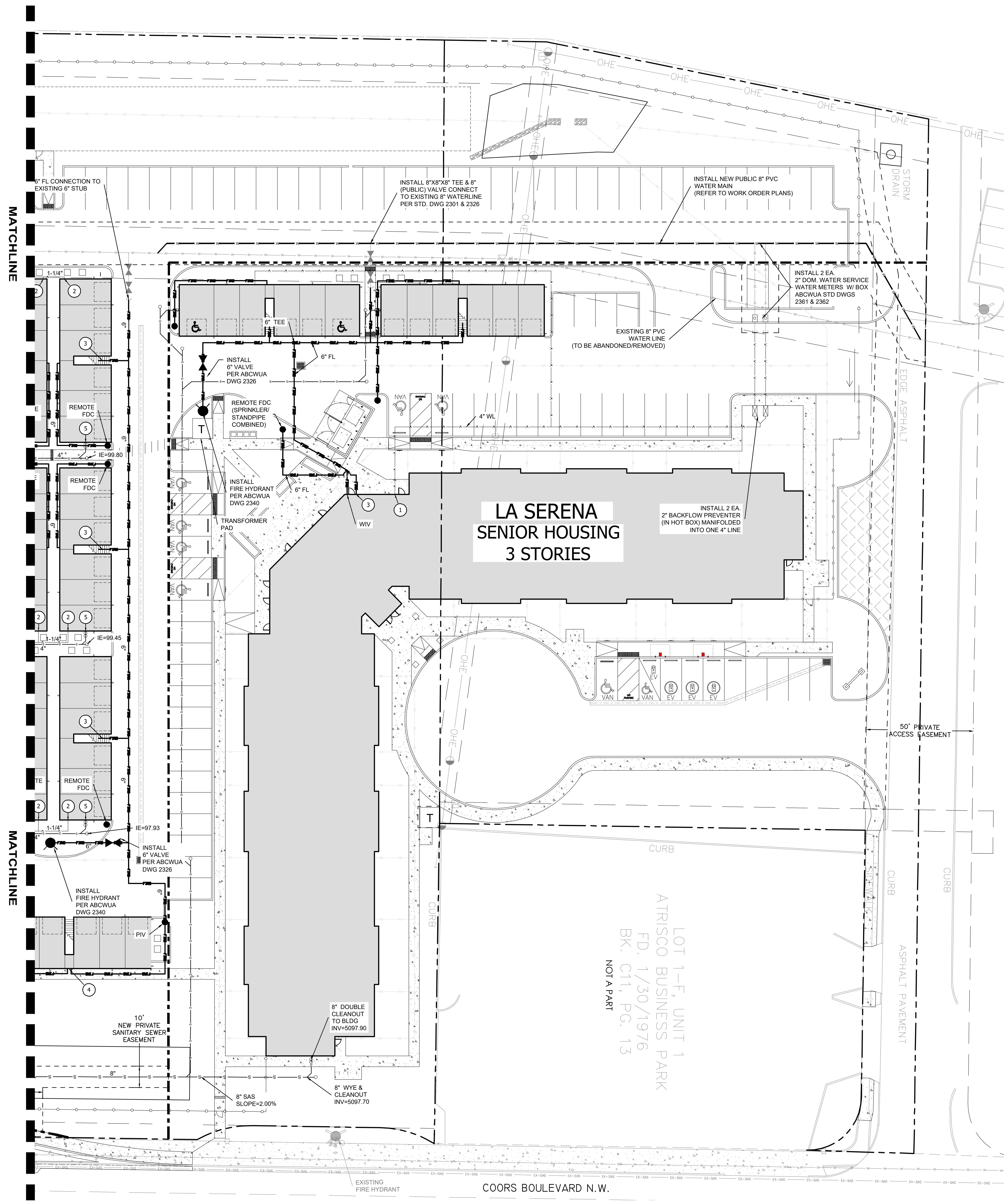
revision:

no.	desc.	date

project: 2020010
date: 10.04.2023
drawn: rp
checked: vb

revised permit set

Master Utility Plan San Roque c3.0



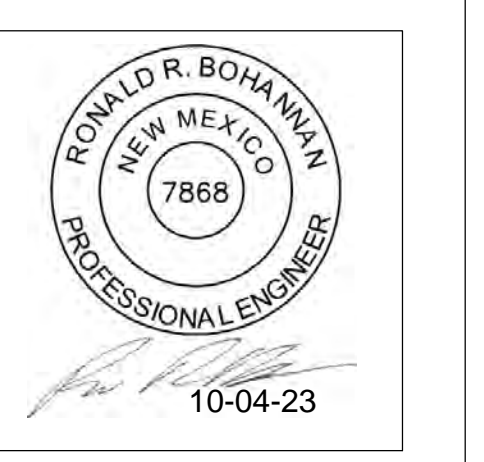
WATER SHUTOFF NOTES
 THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://WWW.ABQWA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://www.abqwa.org/water_shut_off_and_turn_on_procedures.aspx).

- KEYED NOTES**
- ① 4" DOMESTIC WL CONNECTION TO BUILDING (SEE PLUMBING PLANS FOR CONTINUATION)
 - ② 1-1/4" DOMESTIC WL CNNTION TO BUILDING (SEE PLUMBING PLANS FOR CONTINUATION)
 - ③ 6" FIRELINE AND/OR FDC CONNECTION TO BLDG RISER ROOM (REFER TO PLAN FOR REMOTE FDC AS NECESSARY)

CROSS CONNECTION NOTE:
 COORDINATION WITH THE WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO THE RELEASE OF THE METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.

- GENERAL UTILITY NOTES:**
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC UTILITY CONSTRUCTION, 1986 EDITION (UPDATE NO 8) INCLUDING AMENDMENT NO 1.
 2. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
 6. IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
 7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 8. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
 9. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
 10. ALL ONSITE FIRE HYDRANTS ARE PRIVATE AND PAINTED "SAFETY ORANGE"

CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



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no.	desc.	date
F	VE/ES/CC	12.13.21

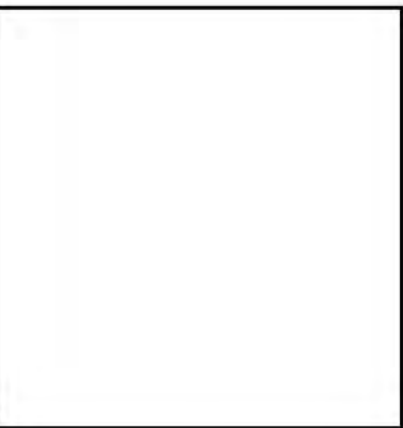
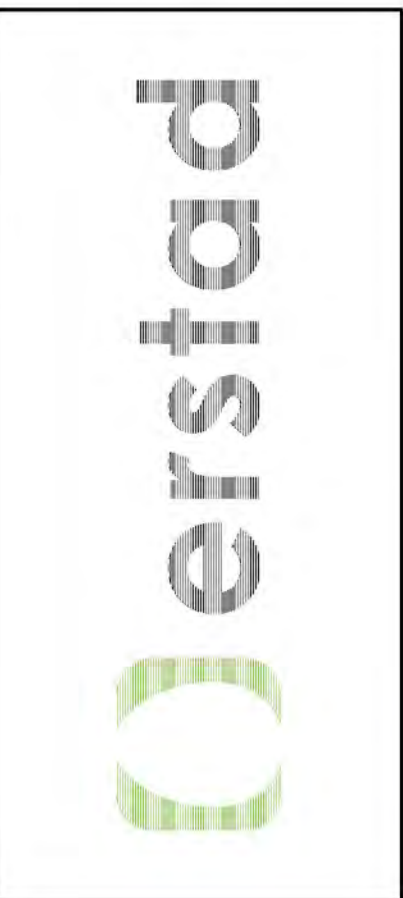
project: 2020010
 date: 10.04.2023
 drawn: rp
 checked: vb

revised permit set

Master Utility Plan
La Serena
c3.1

LOT 1-F, UNIT 1
 ATRISCO BUSINESS PARK
 FD. 1/30/1976
 BK. C11, PG. 13
 NOT A PART

COORS BOULEVARD N.W.



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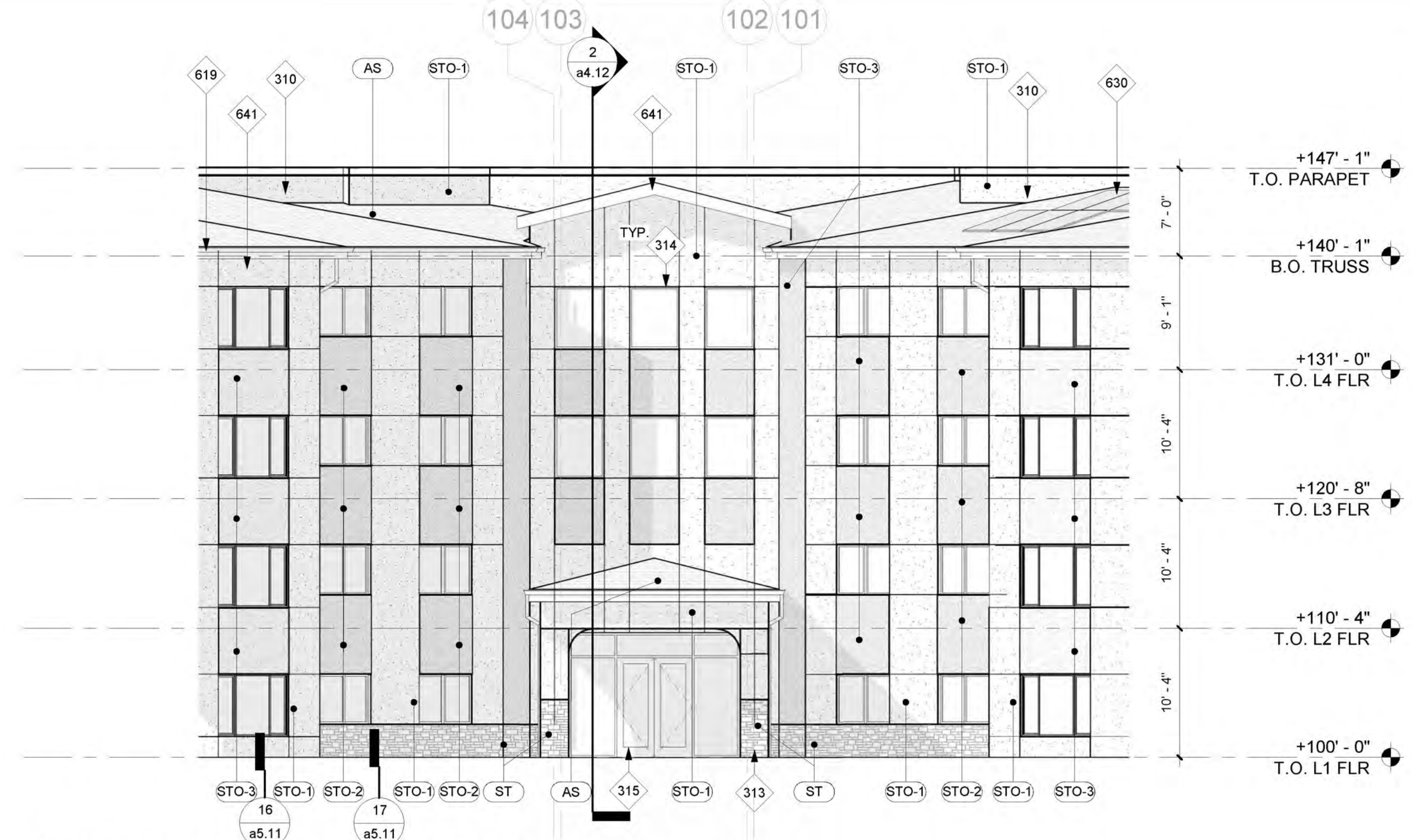
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A	RFI #1	06.29.21

project: 200405
date: 08.02.2023

revised permit set

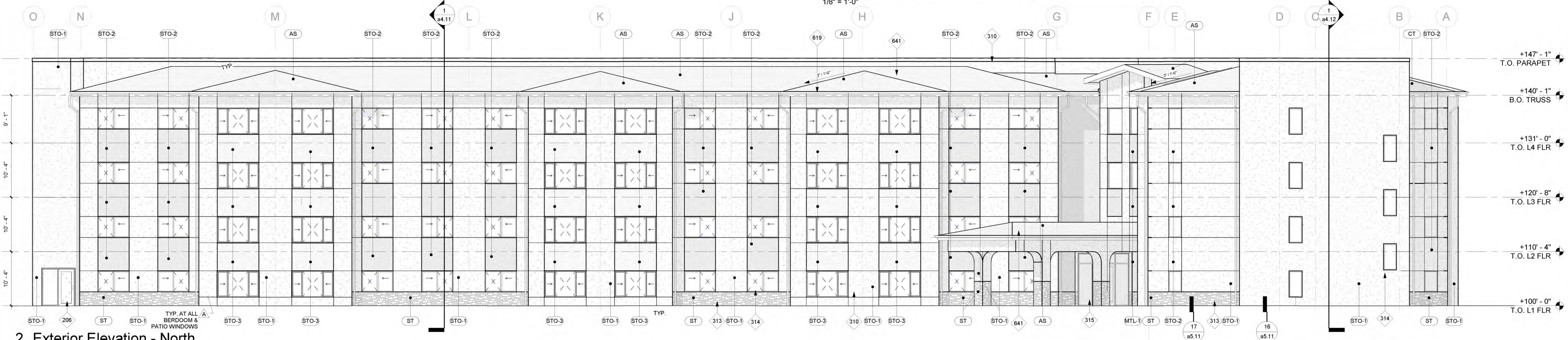
exterior elevations
a3.11

city of albuquerque



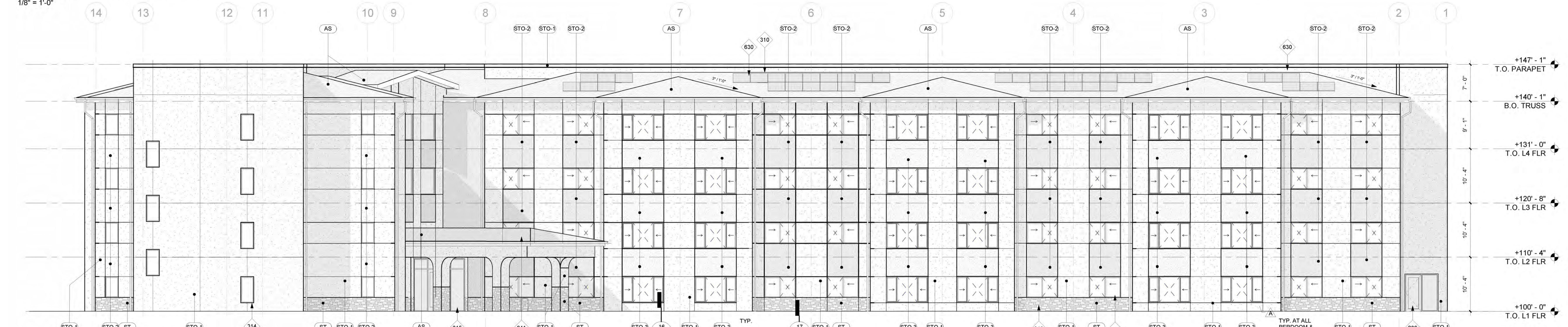
1 Exterior Elevation - Front Entry

1/8" = 1'-0"



2 Exterior Elevation - North

1/8" = 1'-0"



3 Exterior Elevation - East

1/8" = 1'-0"

exterior material schedule:

FINISH	KEY	DESCRIPTION	FINISH	KEY	DESCRIPTION
STO-1		PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 1 / WHITE (SW 7551)	ST		PRODUCT: MANUFACTURED STONE VENEER COLOR: TEXAS WHITE STRIPSTONE
STO-2		PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 2 / BEIGE (SW 7688)	MTL-1		PRODUCT: ALUMWRAP KNOTWOOD FRAMED BEAM COLOR: WOOD GRAIN
STO-3		PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 3 / BLUE (SW 6225)	AS		PRODUCT: ASPHALT SHINGLE ROOF COLOR: TBD

206	HM DOOR + FRAME, PAINTED
310	STUCCO
313	MANUFACTURED STONE VENEER
314	VINYL WINDOW, DARK BRONZE FINISH
315	ANODIZED ALUMINUM STOREFRONT SYSTEM
619	GUTTER
630	SOLAR PANEL ARRAY
641	ASHPALT SHINGLE ROOF

general notes:

- DO NOT SCALE HATCH PATTERNS. FOR MATERIAL REPRESENTATION ONLY.
- PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES. OPENINGS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF, BETWEEN WALLS AND PANELS, AT PENETRATIONS OF UTILITY SERVICE THROUGH WALLS, FLOORS, AND ROOFS, AND ALL OTHER SUCH OPENINGS INTO BUILDING SHALL BE SEALED, CAULKED, GASKETED, OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE AROUND THEIR PERIMETER WHEN IN CLOSED POSITION.



city of albuquerque

erstadARCHITECTS, PA
300 n. 5th street, suite 400, albu. 87102
phone: (505) 331-1501 fax: 331-1505 www.erstadarchitects.com

1 Exterior Elevation - Front Entry
1/8" = 1'-0"



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2 Exterior Elevation - North
1/8" = 1'-0"

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albuquerque, new mexico



revision:
no. desc. date
A RFJ #1 06.29.21

project: 200405
date: 05.24.23

3 Exterior Elevation - East
1/8" = 1'-0"

permit set

exterior material schedule:

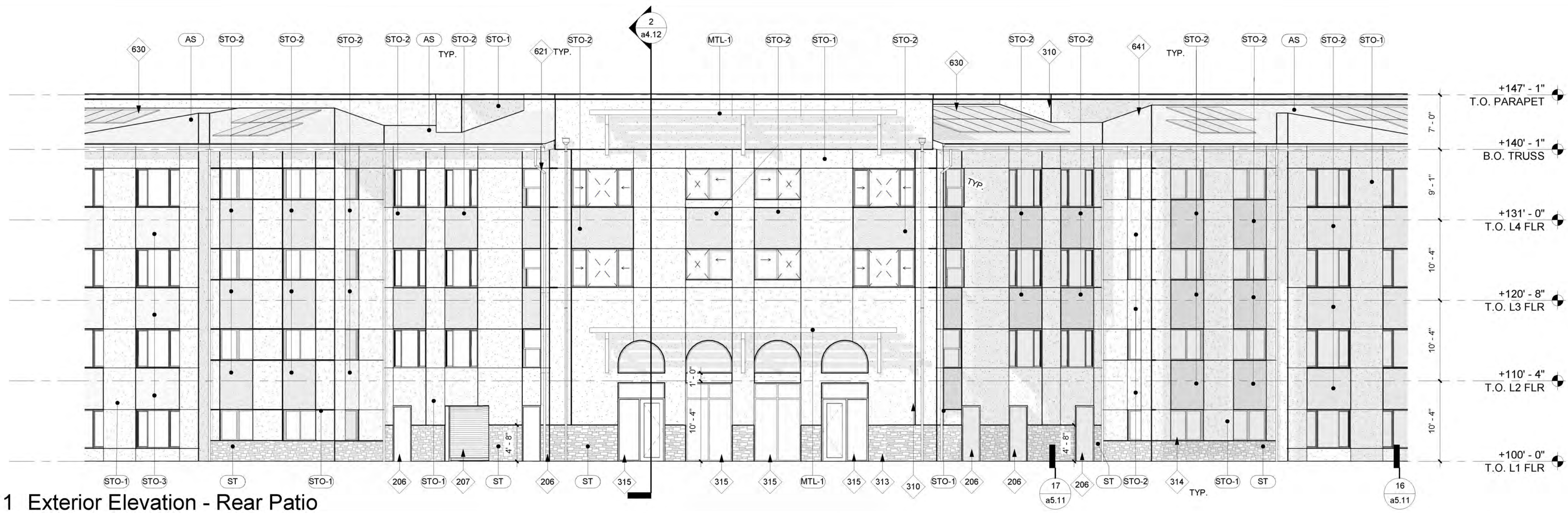
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keynotes

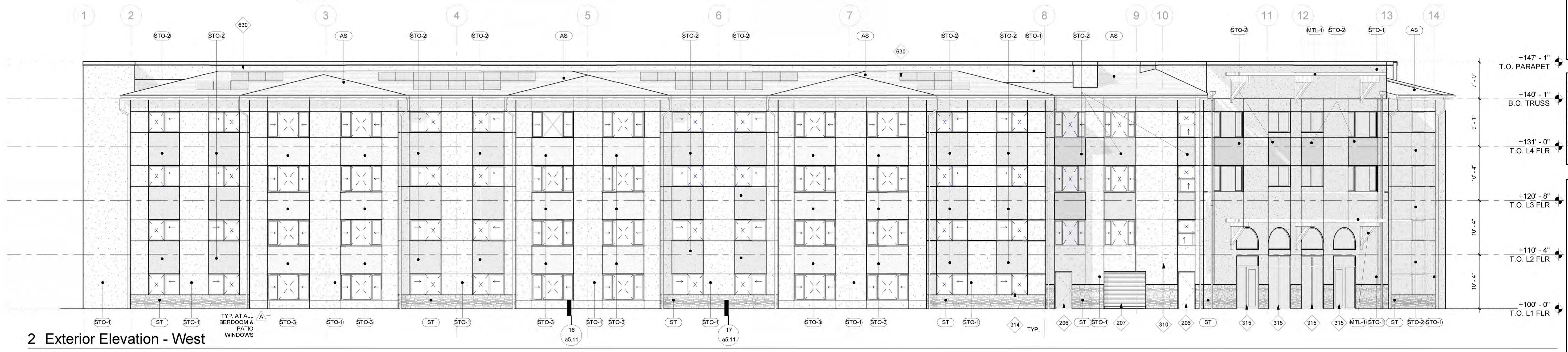
general notes:

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B. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF.
C. EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF, BETWEEN WALLS AND PANELS, AT PENETRATIONS OF UTILITY SERVICE THROUGH WALLS, FLOORS, AND ROOFS, AND ALL OTHER SUCH OPENINGS INTO BUILDING SHALL BE SEALED, CAULKED, GASKETED, OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE AROUND THEIR PERIMETER WHEN IN CLOSED POSITION.

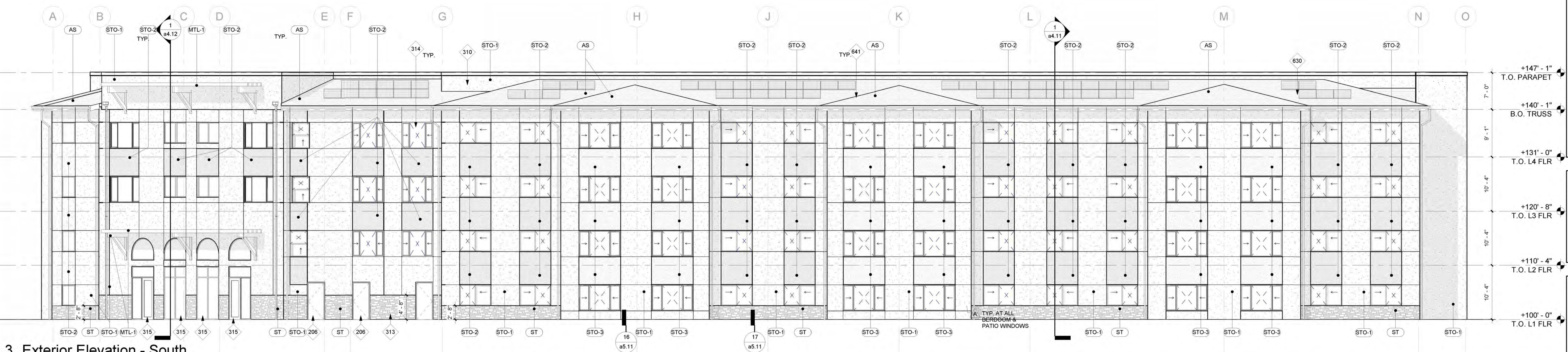
exterior elevations
a3.11



1 Exterior Elevation - Rear Patio
1/8" = 1'-0"



2 Exterior Elevation - West
1/8" = 1'-0"



3 Exterior Elevation - South
1/8" = 1'-0"

exterior material schedule:

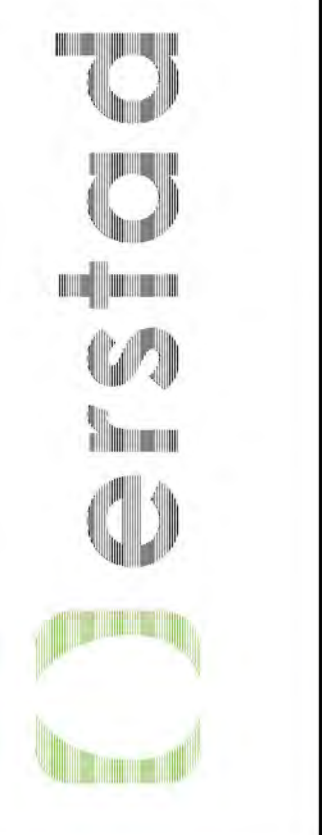
FINISH	KEY	DESCRIPTION	FINISH	KEY	DESCRIPTION
STO-1		PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 1 / WHITE (SW 7551)	ST		PRODUCT: MANUFACTURED STONE VENEER COLOR: TEXAS WHITE STRIPSTONE
STO-2		PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 2 / BEIGE (SW 7688)	MTL-1		PRODUCT: ALUMINUM WRAP KNOTWOOD FRAMED BEAM COLOR: WOOD GRAIN
STO-3		PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 3 / BLUE (SW 6225)	AS		PRODUCT: ASPHALT SHINGLE ROOF COLOR: TBD

- 206 HM DOOR + FRAME, PAINTED
- 207 OVERHEAD COILING DOOR, PREFINISHED
- 310 STUCCO
- 313 MANUFACTURED STONE VENEER
- 314 VINYL WINDOW, DARK BRONZE FINISH
- 315 ANODIZED ALUMINUM STOREFRONT SYSTEM
- 621 DOWNSPOUT, TYP.
- 630 SOLAR PANEL ARRAY
- 641 ASPHALT SHINGLE ROOF

general notes:

- A. DO NOT SCALE HATCH PATTERNS. FOR MATERIAL REPRESENTATION ONLY.
- B. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF.
- C. EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF, BETWEEN WALLS AND PANELS, AT PENETRATIONS OF UTILITY SERVICE THROUGH WALLS, FLOORS, AND ROOFS, AND ALL OTHER SUCH OPENINGS INTO BUILDINGS SHALL BE SEALED, CALKED, GASKETED, OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE AROUND THEIR PERIMETER WHEN IN CLOSED POSITION.

city of albuquerque



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A	RFI #1		06.29.21

project: 200405
date: 08.02.2023

revised permit set

exterior elevations

a3.12



1 Exterior Elevation - Rear Patio
1/8" = 1'-0"

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2 Exterior Elevation - West
1/8" = 1'-0"

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3 Exterior Elevation - South
1/8" = 1'-0"

no.	desc.	date
A	RFI #1	06.29.21

project: 200405
date: 05.24.23

permit set

exterior material schedule:			exterior material schedule:		
FINISH	KEY	DESCRIPTION	FINISH	KEY	DESCRIPTION
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STO-2	[Key]	PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 2 / BEIGE	MTL-1	[Key]	PRODUCT: ALUMNWRAP KNOTWOOD FRAMED BEAM COLOR: WOOD GRAIN
STO-3	[Key]	PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 3 / BLUE	CT	[Key]	PRODUCT: ASPHALT SHINGLE ROOF COLOR: TBD

keynotes

general notes:
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exterior elevations
a3.12









PR-2021-005414_SI-2023-01357_Site_Plan_Aproved_9-26-23

Final Audit Report

2023-10-27

Created:	2023-10-26
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAzJ7vAJ02EDdOpWSYMfeqpnIMs4j1dxnT

"PR-2021-005414_SI-2023-01357_Site_Plan_Approved_9-26-23" History

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