

**DEVELOPMENT REVIEW BOARD APPLICATION**

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

| | | |
|---|--|---|
| SUBDIVISIONS | <input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2) | |
| <input type="checkbox"/> Major – Preliminary Plat (Form P1) | <input type="checkbox"/> Amendment to Site Plan (Form P2) | <input type="checkbox"/> Vacation of Public Right-of-way (Form V) |
| <input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2) | MISCELLANEOUS APPLICATIONS | <input checked="" type="checkbox"/> Vacation of Public Easement(s) DRB (Form V) |
| <input type="checkbox"/> Major - Final Plat (Form S1) | <input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1) | <input checked="" type="checkbox"/> Vacation of Private Easement(s) (Form V) |
| <input type="checkbox"/> Amendment to Preliminary Plat (Form S2) | <input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2) | PRE-APPLICATIONS |
| <input type="checkbox"/> Extension of Preliminary Plat (Form S1) | <input type="checkbox"/> Temporary Deferral of SNW (Form V2) | <input type="checkbox"/> Sketch Plat Review and Comment (Form S2) |
| | <input type="checkbox"/> Sidewalk Waiver (Form V2) | |
| SITE PLANS | <input type="checkbox"/> Waiver to IDO (Form V2) | APPEAL |
| <input type="checkbox"/> DRB Site Plan (Form P2) | <input type="checkbox"/> Waiver to DPM (Form V2) | <input type="checkbox"/> Decision of DRB (Form A) |
| BRIEF DESCRIPTION OF REQUEST | | |
| Vacation of Public Easement DRB & Vacation of Private Easement | | |

| | | |
|--|-----------------------|--|
| APPLICATION INFORMATION | | |
| Applicant: LA Mame LLC | | Phone: 505-453-2128 |
| Address: 4310 Wellesley Dr NE | | Email: rabrunacini51@gmail.com |
| City: Albuquerque | State: NM | Zip: 87107 |
| Professional/Agent (if any): Tierra West, LLC | | Phone: 505-858-3100 |
| Address: 5571 Midway Park PI NE | | Email: vperea@tierrawestllc.com |
| City: Albuquerque | State: NM | Zip: 87109 |
| Proprietary Interest in Site: | | List all owners: |
| SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.) | | |
| Lot or Tract No.: TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A TR F-6-A-2 PLAT OF TRACTS F-6-A-1 AND F-6-A-2 | | Block: |
| Subdivision/Addition: Atrisco Business Park | | Unit: 3 |
| MRGCD Map No.: | | UPC Code: 101005847201840605 101005846905940606 |
| Zone Atlas Page(s): J-10-Z | Existing Zoning: MX-M | Proposed Zoning: MX-M |
| # of Existing Lots: 2 | # of Proposed Lots: 2 | Total Area of Site (Acres): 8.94 |
| LOCATION OF PROPERTY BY STREETS | | |
| Site Address/Street: 441 & 457 Coors Blvd | | Between: Coors Blvd NW and: Bluewater Rd NW |
| CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.) | | |
| 1000173, 1003816, PR-2020-004193, PR-2020-004376, VA-2020-00302 | | |

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

| | | | | | |
|------------------------------|--------|---|--------------|--------|------|
| Signature: | | Date: 7/9/21 | | | |
| Printed Name: Vinny Perea | | <input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent | | | |
| FOR OFFICIAL USE ONLY | | | | | |
| Case Numbers | Action | Fees | Case Numbers | Action | Fees |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| Meeting Date: | | | Fee Total: | | |
| Staff Signature: | | | Date: | | |
| | | | Project # | | |

FORM V: Vacations of Easements or Right-of-way- DRB

Please refer to the DRB meeting schedules for dates and deadlines. Your attendance is required.

☐ VACATION OF RIGHT-OF-WAY - DRB

☐ VACATION OF RIGHT-OF-WAY - COUNCIL

___ Interpreter Needed for Meeting? ___ if yes, indicate language: _____

___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form V at the front followed by the remaining documents in the order provided on this form.

___ Zone Atlas map with the entire site clearly outlined and labeled

___ Letter of authorization from the property owner if application is submitted by an agent

___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)

___ Copy of the complete document which created the easement(s) (7 copies, folded)

Not required for City owned public right-of-way.

___ Drawing showing the easement or right-of-way to be vacated (7 copies, not to exceed 8.5" by 11")

___ If easements, list number to be vacated _____

___ Square footage to be vacated (see IDO Section 14-16-6-6(M)) _____

___ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(K) and DPM 2-9-(E)(3)

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ If a meeting was requested/held, copy of sign-in sheet and meeting notes

Required notices with content per IDO Section 14-16-6-4(K)(6)

___ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing

___ Proof of emailed notice to affected Neighborhood Association representatives

___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

___ Sign Posting Agreement - IDO Section 14-16-6-6(K)(4) is satisfied

☒ VACATION OF PRIVATE EASEMENT

☒ VACATION OF PUBLIC EASEMENT

N/A Interpreter Needed for Meeting? ___ if yes, indicate language: _____

☒ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form V at the front followed by the remaining documents in the order provided on this form.

☒ Zone Atlas map with the entire site clearly outlined and labeled

☒ Letter of authorization from the property owner if application is submitted by an agent

☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)

☒ Copy of the complete document which created the easement(s) (7 copies, folded)

☒ Drawing showing the easement to be vacated (7 copies, not to exceed 8.5" by 11")

☒ List number to be vacated 2 Public / 1 Private

☒ Proof of Pre-Application meeting

The vacation must be shown on a DRB approved plat recorded by the County Clerk within one year, or it will expire.

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.

Signature: _____

Date: 7/9/2021

Printed Name: Ronald R. Bohannon

☐ Applicant or ☒ Agent

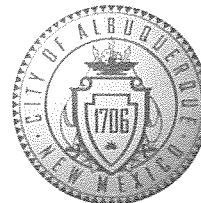
FOR OFFICIAL USE ONLY

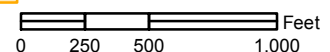
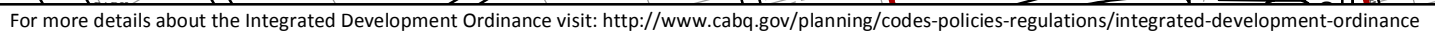
Case Numbers: _____

Project Number: _____

Staff Signature: _____

Date: _____





7/29/2020

Ms. Jolene Wolfley
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: **DRB SUBMITTALS**
TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO BUSINESS PARK
UNIT 3 AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO
BUSINESS PARK UNIT 3
ZONE ATLAS MAP: J-10-Z

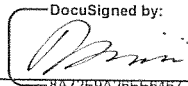
Dear Ms. Wolfley:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Thomas Development Co. pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Richard Brunacini

Print Name

DocuSigned by:



8A72E9A26EE6467...

Signature

manager

Title

7/29/2020

Date



TIERRA WEST, LLC

July 9, 2021

Ms. Jolene Wolfley
Development Review Board
600 Second NW
Albuquerque, NM 87102

**RE: DRB REQUEST FOR VACATION OF PUBLIC & PRIVATE EASEMENTS
APPROVAL**

**TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO BUSINESS PARK UNIT 3
& TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK UNIT 3
ZONE ATLAS PAGE J-10-Z**

Dear Ms. Wolfley:

Tierra West, LLC, on behalf of La Mame, LLC requests approval of a vacation of two public easements and one private easement for the above referenced sites. The two public easements to be vacated are a 90' Public Drainage Easement and a 10' Public Utility Easement. The private easement to be vacated is a 40' x 30' Common Access Easement.

Site and Easement Locations

The development site is located on two tracts of land along the west side of Coors Boulevard NW and north of Bluewater Rd NW and consists of approximately 8.95 acres. Addresses of the site are 441 and 457 Coors Blvd NW. The site is bordered on the north by a Big Lots store, The Bank of Albuquerque to the south, a large 40 acre electrical component manufacturer known as Thomas and Betts on the west, a gas station and emissions testing building to the northeast, and Coors Blvd to the east. To the east of the property across Coors Blvd is R-1B residential. The subject properties are currently undeveloped and are part of the platted Atrisco Business Park.

The 90' Public Drainage Easement to be vacated is located along the west property lines of the site and runs north-south. The 10' Public Utility Easement contains an overhead power service line and underground telephone service line that benefits the gas station/emissions testing property to the northeast, the easement is located just north of the southern property line of Tract F-6-A-2 and runs east-west. The 40' x 30' Private Common Access Easement straddles the property line between Tracts F-4-A and F-6-A-2.

Context /Request

The justification presented below addresses the Vacation of Easement for DRB request requirements pursuant to IDO Section 6-6(M)(3):

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
tierrawestllc.com

6-6(M)(3)(a) The Public welfare does not require that the easement, private way, or public ROW be retained.

Response: The 90' Public Drainage Easement does not currently contain any public drainage infrastructure within it through this property. There is an existing 60" RCP storm drain that ends at the northwest corner of the site and coordination with the Department of Municipal Development has confirmed that there are no plans for expanding that storm drain nor do they have a need for this public drainage easement.

The 40' x 30' Private Common Access Easement is currently between the two subject vacant tracts of land and is not needed for any purpose for the public welfare. The site is being replatted and will be granting a new private access easement to conform to the development plans for this site.

The 10' Public Utility Easement contains an overhead power service line and an underground telephone service line for the sole benefit of the gas station property northeast of the site. This easement does not contain any public infrastructure that would affect the welfare of the Public. The existing service lines for the gas station are to be relocated underground along the north side of Tract F-6-A-2 and the re-platting action of the two subject properties will dedicate a new public utility easement for the benefit of the gas station property. Coordination with the gas station property owner as well as with PNM and CenturyLink/Lumen has all parties agreed with these relocations.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

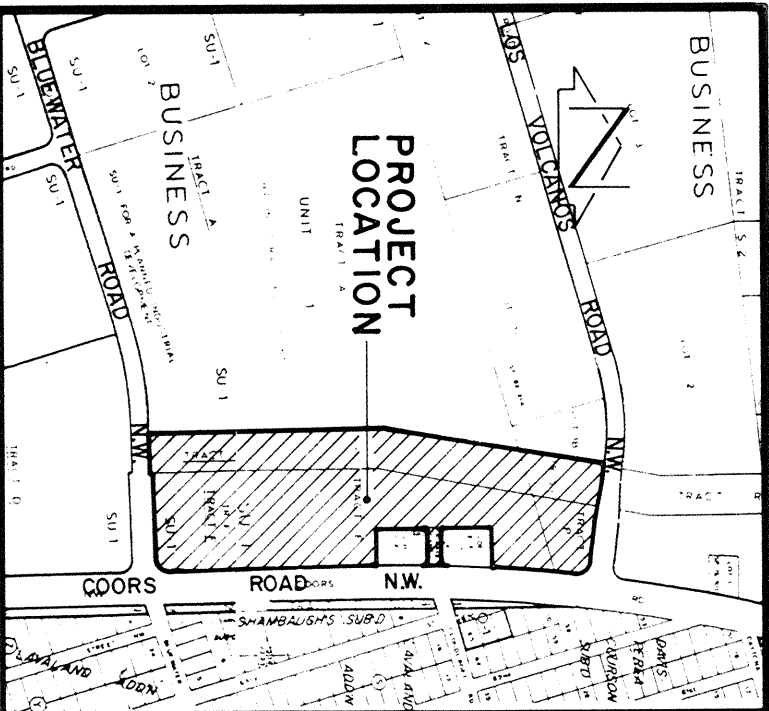
Sincerely,



Vincent Perea, P.E.

cc: Tom Mannschreck, Thomas Development, Co.
Barbara Mannschreck, Thomas Development, Co.
Michelle Landay, Thomas Development, Co.
Andy Erstad, erstad Architects

JN: 2020010
RRB/vp



VICINITY MAP J8 K-10
SCALE: 1" = 800'

State of New Mexico
County of Bernalillo
This instrument was filed for record on
4:00 PM 2-20-86
190
by the County Clerk
L. E. Cordova, County Clerk
Deputy Clerk

CORRECTED
PLAT OF

ATRISCO BUSINESS PARK, UNIT 3

A REPLAT OF

TRACTS E & F, ATRISCO BUSINESS PARK, UNIT 1

AND

TRACTS O & P, ATRISCO BUSINESS PARK, UNIT 2

ALBUQUERQUE, NEW MEXICO

JANUARY, 1986

- Notes:
1. A field survey was performed on 2-24-1986 (N.M.L.S. No. 6401)
 2. No street mileage was created.
 3. All distances are ground distances.
 4. Site located within Section 15, T10N, R2E, N.M.P.M.
 5. Bearing based is replat of "Tract Q of Unit No. 2, Atrisco Business Park" filed April 1, 1985, Book C26, Page 171.
 6. The purpose of this plat is to subdivide the existing parcels into several tracts plus grant the easements as shown hereon.
 7. For information on Coors Blvd, right-of-way refer to Koogle & Poul's plat filed 4-1-85 (C26-171).
 8. Maintenance of the private ingress and egress easements granted by this plat shall be the responsibility of the respective property owner(s).
 9. UTILITY EASEMENTS: Utility easements on the plat are granted for the common and joint use and benefit of:

- a) The City of Albuquerque for installation, service and maintenance of water and sewer lines, valves, pumps and/or other related equipment and facilities reasonably necessary to deliver potable water to the residents of the subdivision and provide a liquid waste disposal system in accordance with the plans and procedures of the City of Albuquerque;
- b) The Public Service Company of New Mexico for installation, maintenance and service of electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service to the residents of the subdivision;
- c) The Gas Company of New Mexico for installation of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas to the residents of the subdivision;
- d) Mountain Bell for the installation, service and maintenance of all telephone lines, switching equipment and other related equipment and facilities reasonably necessary to provide telephone service to the residents of the subdivision;

10. DRAINAGE EASEMENTS - Drainage easements are granted to AMFCA and the City of Albuquerque for the benefit of all owners of the subdivision or indicated on the Plat for the passage, containment or diversion of surface waters; and between individual property owners as indicated on the Plat by reference or notation.

11. ACCESS EASEMENTS: The City of Albuquerque is hereby granted access via private ingress and egress easements shown for the purpose of allowing its various operating departments to provide service to the residents of the subdivision in the same manner to and to the same extent as though the referenced tract were dedicated public streets. "operating departments" as referred to above shall include, but shall not be limited to, the departments of the City providing the following services:

- a) Police protection
- b) Fire protection
- c) Water resources
- d) Solid waste and liquid disposal
- e) Animal control
- f) Planning functions
- g) Traffic engineering and control

12. Within public utility easements, the City of Albuquerque shall have the exclusive right to place underground utility lines within six (6) feet of the centerline of a water or sewer line except for perpendicular crossings or where written approval has been obtained from the City of Albuquerque, Gas Company of New Mexico, Public Service Company of New Mexico and Mountain States Telephone and Telegraph are exempted from compliance with the first sentence in this paragraph.

DESCRIPTION

A certain tract of land located within the Corporate Limits of the City of Albuquerque, New Mexico comprising Tracts E and F, Atrisco Business Park, Unit 1, as shown on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on October 31, 1972 (D05-62), Tract P, Atrisco Business Park, Unit 2, as shown on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 12, 1973 (D05-181), and Tract O-1, Atrisco Business Park, Unit 2, as shown on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 18, 1982 (C20-17), and being more particularly described as follows:

Beginning at the northwest corner of the parcel herein described being a point on the south right-of-way line of Los Volcanos Road N.W. and also being common with the northwest corner of said Tract O-1; thence S 81°55'12" E a distance of 74.02 feet along said right-of-way line; thence S 77°50'14" E a distance of 154.39 feet along said right-of-way line; thence S 81°55'12" E a distance of 150.74 feet along said right-of-way line; thence along the arc of a curve to the right with DELTA = 89°05'14", R = 50.00 feet, and L = 77.74 feet to a point on the west right-of-way line of Coors Boulevard N.W.; thence along the arc of a curve to the left with DELTA = 03°11'39", R = 5789.58 feet, and L = 322.76 feet along said right-of-way line; thence N 89°20'12" W a distance of 159.66 feet; thence S 00°39'38" W a distance of 200.00 feet; thence S 89°20'12" E a distance of 127.18 feet; thence along the arc of a curve to the left with DELTA = 88°25'50", R = 25.00 feet, and L = 38.59 feet to a point on the west right-of-way line of Coors Boulevard N.W.; thence along the arc of a curve to the left with DELTA = 00°59'08", R = 5789.58 feet, and L = 99.59 feet along said right-of-way line; thence along the arc of a curve to the left with DELTA = 90°35'02", R = 25.00 feet, and L = 39.52 feet; thence N 89°20'12" W a distance of 125.30 feet; thence S 00°39'38" W a distance of 200.00 feet; thence S 89°20'12" E a distance of 150.00 feet to a point on the west right-of-way line of Coors Boulevard N.W.; thence S 00°39'38" W a distance of 819.65 feet along said right-of-way line; thence along the arc of a curve to the right with DELTA = 90°00'00", R = 50.00 feet, and L = 78.54 feet to a point on the north right-of-way line of Bluewater Road N.W.; thence N 89°20'12" W a distance of 316.86 feet along said right-of-way line; thence S 00°39'38" W a distance of 11.00 feet along said right-of-way line; thence N 89°20'12" W a distance of 150.00 feet along said right-of-way line; thence N 00°39'38" E a distance of 925.26 feet; thence N 11°13'38" E a distance of 535.32 feet; thence S 74°59'12" W a distance of 22.30 feet; thence N 11°13'38" E a distance of 327.30 feet to the point of beginning and containing 18.0480 acres more or less.

NOTE: THIS PLAT CORRECTED FOR THE PURPOSE OF SHOWING THE CORRECT CONFIGURATION OF FORMER TRACT O-1 AND THE RELATED EXISTING EASEMENT.

104
C30

86 41918

DEDICATION AND FREE CONSENT
The undersigned owners of the land shown hereon do hereby consent to the subdivision of said land in the manner shown on this plat and do hereby dedicate the public rights-of-way, and grant all easements shown hereon including the rights of ingress and egress and the right to plant and maintain trees.

51 L. E. CORDOVA (C.E.O.), WESTLAND DEVELOPMENT COMPANY, INC.

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

The foregoing instrument was acknowledged before me this

day of February, 1986.
Notary Public

SP-86-181

P.R.B. 86-9

APPROVALS:

Planning Director, City of Albuquerque, N.M.

Water Utilities, City of Albuquerque, N.M.

City Engineer, City of Albuquerque

A.M.A.F.C.A.

Traffic Engineer, City of Albuquerque, N.M.

Public Recreation, City of Albuquerque, N.M.

Chief City Surveyor, City of Albuquerque, N.M.

Property Manager, City of Albuquerque, N.M.

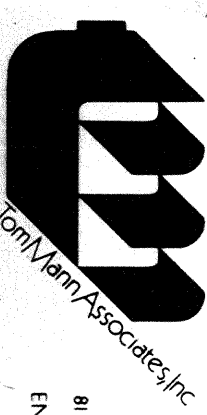
CERTIFICATION
I, Thomas T. Mann, Jr., a registered Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements noted in a title report prepared by FIRST AMERICAN TITLE CO. on OCT. 17, 1985 (47,602 CCCI-TLS) meets the minimum requirements of monumentation, application and surveys of the Albuquerque Subdivision Ordinance, and is true and correct to the best of my knowledge and belief.

Thomas T. Mann, Jr., Registered Professional Engineer, No. 3792

ACKNOWLEDGEMENT
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS
OFFICIAL SEAL
CHARLES G. CALA, JR.
NOTARY PUBLIC, STATE OF NEW MEXICO
My Commission Expires 5-6-89

The foregoing instrument was acknowledged before me on this

day of February, 1986.
Notary Public



811 DALLAS ST. - ALBUQUERQUE, NEW MEXICO 87102
ENGINEERS
JOB NO. 51101

State of New Mexico
County of Bernalillo

6610671

86-41918 CORRECTED
PLAT OF

ATRISCO BUSINESS PARK, UNIT 3

A REPLAT OF

TRACTS E & F, ATRISCO BUSINESS PARK, UNIT 1

AND

TRACTS O & P, ATRISCO BUSINESS PARK, UNIT 2

ALBUQUERQUE, NEW MEXICO

JANUARY, 1986

This instrument was filed for record on

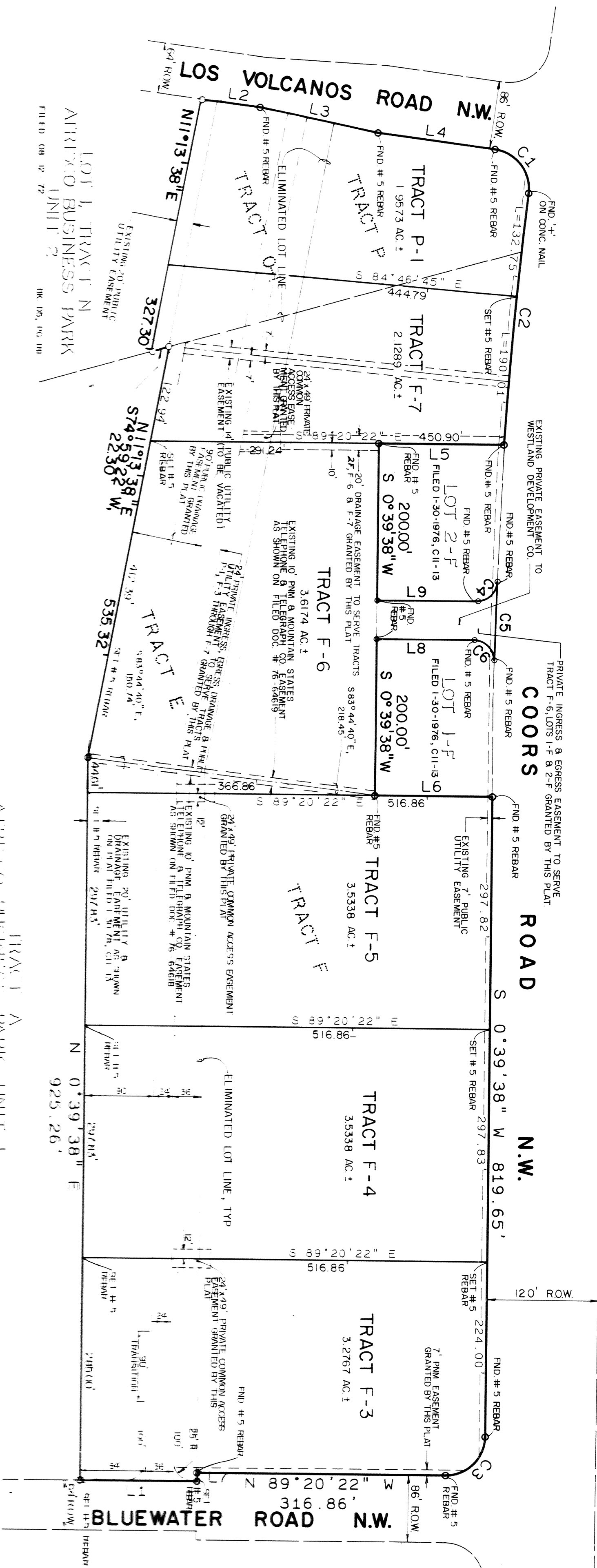
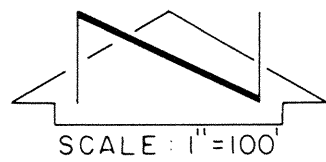
4:06 OCT 27 1986

in book 155

of records of said County.

James P. Wells, Clerk & Recorder

Deputy Clerk



LOT 1, TRACT N
ATRISCO BUSINESS PARK
UNIT 2

TRACT A
ATRISCO BUSINESS PARK, UNIT 1
FILED 10-31-1972, D-5 - 62

| LINE | BEARING | DISTANCE | REMARKS |
|------|-----------------|----------|---------|
| L1 | N 49° 20' 00" W | 150.00 | |
| L2 | S 41° 00' 00" E | 74.02 | |
| L3 | S 77° 00' 00" E | 154.51 | |
| L4 | S 41° 00' 00" E | 150.74 | |
| L5 | N 89° 20' 00" W | 154.16 | |
| L6 | S 49° 20' 00" E | 150.00 | |
| L7 | S 0° 39' 38" W | 11.00 | |
| L8 | N 89° 20' 22" W | 125.30 | |
| L9 | S 89° 20' 22" E | 127.18 | |

| CURVE | ARC | DELTA | RADIUS |
|-------|--------|-------------|---------|
| C1 | 77.74 | 89° 05' 14" | 50.00 |
| C2 | 322.76 | 3° 11' 39" | 5789.58 |
| C3 | 78.54 | 90° 00' 00" | 50.00 |
| C4 | 38.59 | 88° 25' 50" | 25.00 |
| C5 | 99.59 | 0° 59' 08" | 5789.58 |
| C6 | 39.52 | 90° 35' 02" | 25.00 |



BIL DALLAS N.E. - ALBUQUERQUE - NEW MEXICO - 87106
ENGINEERS
JOB NO. 51101

76 64618

EASEMENT

421

THIS INDENTURE made this 22nd day of September, 1976, by and between

Westland Development Company, Inc.

First Parties, and PUBLIC SERVICE COMPANY OF NEW MEXICO, a New Mexico corporation, and THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, a Colorado corporation, authorized to do business in New Mexico, Second Parties, their successors and assigns.

WITNESSETH:

That the said First Parties, for and in consideration of the sum of One Dollar (\$1.00) to them in hand paid, and other valuable considerations, the receipt of which is hereby acknowledged, do hereby give, bargain, sell, grant and convey unto said Second Parties, an easement to build, construct, operate and maintain an electric power transmission and communications line on, over, beneath and across the lands hereinafter described, and to erect all necessary poles, guy wires and other equipment, fixtures and structures necessary to maintain the said power and communications line on, over, beneath and across said lands at or near the points hereinafter designated as the course of said power and communications line on, over, beneath and across said lands; together with free ingress and egress in, from, and over said easement with rights and privileges of going upon, over and across said lands for the purpose of maintaining said line, and trimming any trees which interfere with

the operation of said line; said lands being situate in the County of Bernalillo, State of New Mexico, and more particularly described as follows, to-wit:

An easement within Tract E of ATRISCO BUSINESS PARK UNIT NO. 1, situate in section 15, T.10N., R.2E., N.M.P.M., Bernalillo County, New Mexico, filed for record in the office of the county clerk in Bernalillo County in Plat Book D5, page 62 on October 28, 1972 and being more particularly described as follows:

An easement ten (10) feet wide being five (5) feet on each side of the following described centerline. Beginning at a point in the west boundary line of said Tract E, whence the northwest corner of said Tract E, bears N. 11° 15' 00" E. 533.29 feet distant; running thence as an easement S. 82° 22' 40" E. 150.74 feet to the east boundary line of said Tract E.

First parties shall have the right to use the above described real estate for purposes not inconsistent with the rights hereby granted provided that First Parties shall not erect or construct any building, pool, or other structure thereon, nor drill or operate any well thereon.

The provisions hereof shall inure to the benefit of and bind the heirs, executors, administrators, successors and assigns of the parties hereto.

WITNESS by his hand and seal on this 22nd day of September, 1976
(SEAL) *Ramon S. Herrera* (SEAL)
(SEAL) (SEAL)

ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO

COUNTY OF

The foregoing instrument was acknowledged before me this _____ day of _____, 19____, by _____

My commission expires:
(Seal)

RIGHT-OF-WAY DEPT.
PUBLIC SERVICE COMPANY OF NEW MEXICO
P.O. BOX 2207
ALBUQUERQUE, NEW MEXICO 87103

Notary Public

FOR RECORDER'S USE ONLY

State of New Mexico
County of Bernalillo | SS

This instrument was filed for record on

DEC 7 1976

At _____ o'clock _____ m. Recorded in Vol. 309

of records of said County Folio 421

Emma C. Anger Clerk & Recorder
Deputy Clerk

ACKNOWLEDGEMENT FOR CORPORATION

STATE OF NEW MEXICO

COUNTY OF Bernalillo | SS.

The foregoing instrument was acknowledged before me this 22nd day of September, 1976

by *Ramon S. Herrera* (Name of Officer)

President of Westland Development Co., Inc. (Title of Officer)

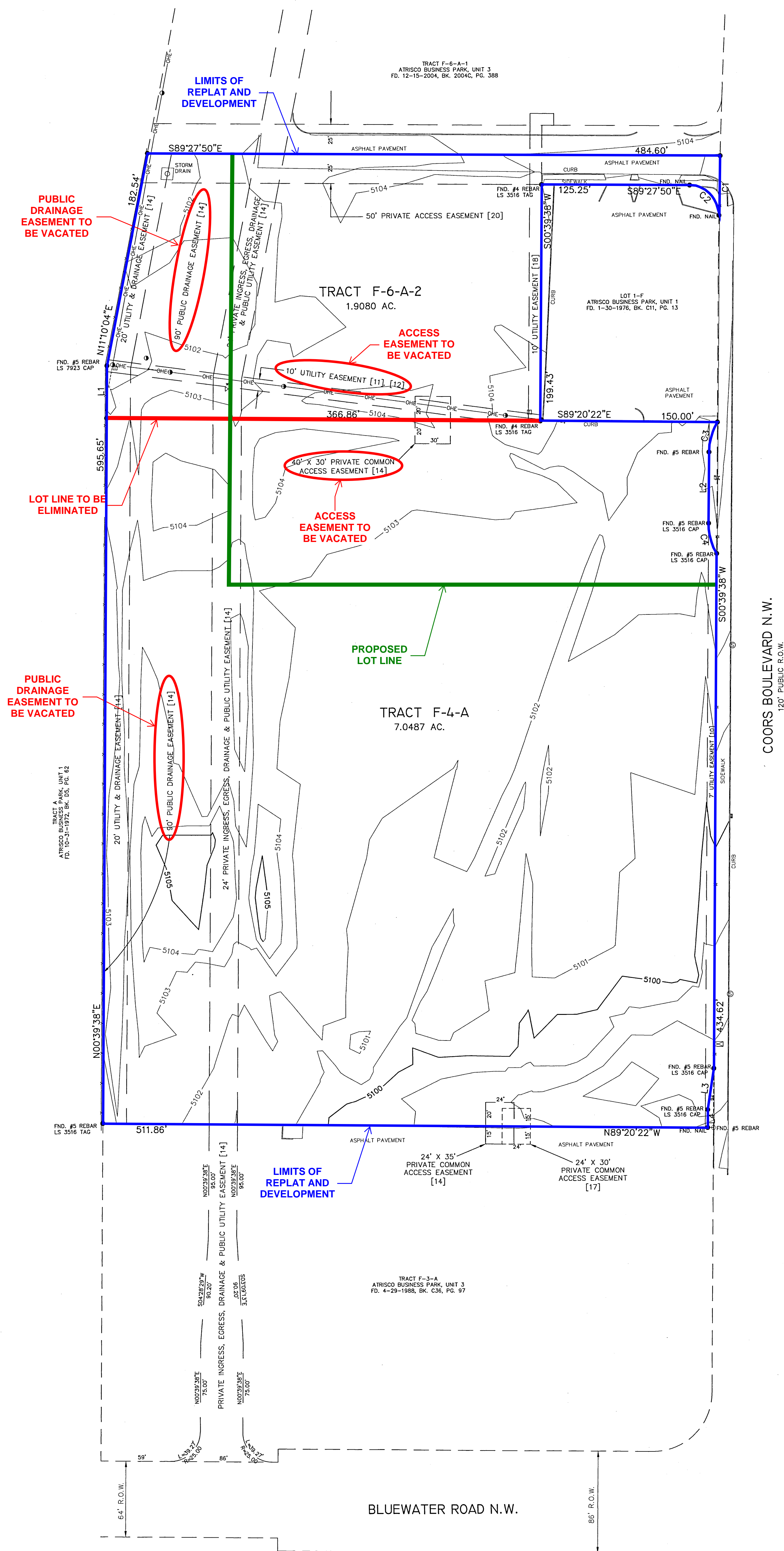
a corporation, on behalf of said corporation. (Corporation Acknowledging)

My commission expires: *Rosella Herrera*
(Seal) Notary Public

My Commission Expires August 19, 1979

PNM 0465 5/75
DEPLETE EARLIER REVISIONS

ALTA/NSPS Land Title Survey
Tracts F-4-A & F-6-A-2,
ATRISCO BUSINESS PARK, UNIT 3
Town of Atrisco Grant
Projected Section 15, T.10N., R.2E., N.M.P.M.
City of Albuquerque
Bernalillo County, New Mexico



LEGAL DESCRIPTION:
Tract F-4-A, of the Plat of Tracts F-3-A, F-4-A & F-6-A, ATRISCO BUSINESS PARK, UNIT 3, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 29, 1988 in Plat Book C36, Folio 97.
AND
Tract F-6-A-2 of ATRISCO BUSINESS PARK, UNIT 3, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 15, 2004 in Plat Bk. 2004C, Page 388.

GROSS AREA OF SURVEY: 8.9567 Ac., more or less.

PROPERTY ADDRESS: (vacant land) on Coors Boulevard N.W., Albuquerque, New Mexico
U.P.C. No. 1-010-058-469-059-406-06
U.P.C. No. 1-010-058-472-018-406-05

1. Distances shown hereon are horizontal ground distances in feet.
2. Bearings are based on the plat of Atascito Business Park Unit 3, (Bk. C36, Pg. 97) as monumented by found corners.
3. Record dimensions are shown in parenthesis (), where record dimensions differ from actual measurements.
4. Property corners noted shown "●" are #4 rebar w/cap stamped "G. Gritsko, PS 8686", unless otherwise noted.
5. Flood Note: The property hereon is located in Zone X, areas of minimal flood hazard, according to the FEMA Flood Hazard Boundary Map of Bemallillo County, New Mexico, Plat No. 350010C0329H, effective date August 16, 2012.
6. ZONING: According to the City of Albuquerque Integrated Development Ordinance, the subject property is within the NR-BP (Non-residential-Business Park). The old zoning district was SU-1 for Planned Industrial Park. No zoning report was provided to the surveyor. No setbacks or other zoning restrictions are shown on the survey.
7. This was no observed evidence of current earth moving work, building construction or building additions.
8. Elevations are referenced to Albuquerque Geographic Reference System Station "9-J10". The published elevation of this station is 5111.55 feet, NAVD 1988 datum.
9. Documents used to determine boundary:
 - a. Old Republic National Title Insurance Co. commitment No. 2000081, dated Feb. 10, 2020.
 - b. Plat of Atascito Business Park Unit 3, filed 4/29/1988 in Bk. C36, Pg. 97.
 - c. Plat of Atascito Business Park Unit 3, filed 12/15/2004 in Bk. 2004C, Pg. 388.
 - d. Adjoining plats and deeds as noted herein.

EASEMENTS: per Schedule B, Part 2 of the Title commitment dated February 10, 2020 [item #]:

- [9] Reservations contained in the Patent from United States of America, filed in Book 35, Page 91. AFFECTS SUBJECT PROPERTY, NOTHING PLOTTED
- [10] Seven feet (7') Public Utility Easement affecting the easterly boundary of Tract F-4-A of the insured premises, as shown and dedicated on the Plat of Unit No. 1, Atrisco Business Park, recorded October 3, 1972 in Volume D5, folio 62, said easement referenced as the Right of Way Easement granted to American Telephone and Telegraph Company recorded May 19, 1930 in Book 112, Page 290; said Right of Way Easement was amended by Modification of Easement recorded February 13, 1973 in Book Miss. 289, Page 635 and assignment to Miami Telephone and Telegraph Company, a Colorado corporation, recorded December 13, 1977 in Book Miss. 575, Page 928, as Document No. 77-77282. AFFECTS SUBJECT PROPERTY, PLOTTED
- [11] Easement granted to Public Service Company of New Mexico and Mountain States Telephone and Telegraph Company, recorded December 7, 1976 in Book Miss. 509, Page 421, as Document No. 76-64618. AFFECTS SUBJECT PROPERTY, PLOTTED
- [12] Easement granted to Public Service Company of New Mexico and Mountain States Telephone and Telegraph Company, recorded December 7, 1976 in Book Miss. 509, Page 422, as Document No. 76-64618. AFFECTS SUBJECT PROPERTY, PLOTTED
- [13] Restrictive Covenants recorded June 2, 1986 in Book Miss. 357-A, Page 616, as Document No. 86-49814 and recorded June 24, 1986 in Book Miss. 356-A, page 63, as Document No. 86-56714. AFFECT SUBJECT PROPERTY, NOTHING PLOTTED
- [14] Twenty feet (20') wide Utility and Drainage Easement along the westerly boundary of Tract F-4-A and Tract F-6-A-2, a Ninety feet (90') Public Drainage Easement affecting the westerly portion of Tract F-4-A and F-6-A-2, and a Thirty-five feet (35') by Twenty-four feet (24') Private Ingress, Egress, Drainage and Public Utility Easement affecting the easterly portion of Tract F-4-A and Tract F-6-A-2, all as shown and dedicated on the Corrected Plat recorded October 27, 1986 in Volume C31, folio 190. AFFECTS SUBJECT PROPERTY, PLOTTED
- [15] Covenants, conditions and restrictions as noted on the Corrected Plat recorded October 27, 1986 in Volume C31, folio 190. AFFECTS SUBJECT PROPERTY, NOTHING PLOTTED
- [16] A Forty feet (40') by Thirty feet (30') Common Access Easement affecting a northerly portion of Tract F-4-A and a southerly portion of Tract F-6-A-2, and a Thirty-five feet (35') by Twenty-four (24') Private Common Access Easement, all as shown and/or dedicated on the Plat recorded April 29, 1988 in Volume C36, folio 191. AFFECTS SUBJECT PROPERTY, PLOTTED
- [17] Creation of a Private Common Access Easement recorded May 24, 1988 in Book Miss. 624-A, Page 617. AFFECTS SUBJECT PROPERTY, PLOTTED
- [18] Underground Easement in favor of Public Service Company of New Mexico and The Mountain States Telephone and Telegraph Company, recorded July 12, 1988 in Book 642-A, Page 538 as Document No. 88-62592; amended by Quitclaim of Easement recorded August 19, 2005 in Book A102, Page 1423 as Document No. 2005121785 and by Quitclaim Deed recorded August 25, 2005 in Book A102, Page 3571 as Document No. 2005123935. AFFECTS SUBJECT PROPERTY, PLOTTED
- [20] A portion of a Fifty-foot Easement affecting a northerly portion of Tract F-6-A-2, as shown and/or dedicated on the Plat recorded December 15, 2004 in Plat 2004C, Page 388. AFFECTS SUBJECT PROPERTY, PLOTTED

SURVEYOR'S CERTIFICATE:

To: Thomas Development Company,
To: La Mame, LLC,
To: Old Republic National Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831

Date of certification: March 1, 2020

Gary E. Gritsko
Gary E. Gritsko, N.M. Professional Surveyor No. 8686



ALPHA PRO SURVEYING LLC
1436 32ND CIRCLE SE, RIO RANCHO, NEW MEXICO 87124
PHONE (505) 892-1076 ALPHAPROSURVEYING.COM
DRAWN BY: GG FILE No.:20-019

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-016 Date: 3/12/21 Time: N/A (sent via email to vperea@tierrawestllc.com)

Address: 441 & 457 Coors Blvd NW

AGENCY REPRESENTATIVES

Planning: Linda Rumpf (lrumpf@cabq.gov)

Zoning/Code Enforcement: Carl Garcia (cagarcia@cabq.gov)

Fire Marshal: Antonio Chinchilla (achinchilla@cabq.gov) or call 505-924-3611 (if needed)

Transportation: Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

Hydrology: Ernest Armijo, P.E. (earmijo@cabq.gov)

Solid Waste: Herman Gallegos (hgallegos@cabq.gov)

Water Authority: David Gutierrez - dggutierrez@abcwua.org or call 505.289.3307; 505.241.9630

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

*Additional research may be necessary to determine the exact type of application and/or process needed.
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

REQUEST:

Request for Preliminary Review Request (PRT) and pre-application meeting for the site at 441 & 457 Coors Blvd NW. The site will be two residential developments: San Roque is Affordable Housing Multi-Family consisting of a 4-story main building with external garage loft units. La Serena will be Affordable Housing Senior Living, consisting of a 3-story main building with external garage loft units. Intended DRB application will be for Site Plan for Building Permit, Replat/Lot Line adjustment to contain each development within it's own lot plus cross-lot easements, and vacation of existing conflicting public/private easements.

SITE INFORMATION:

Zone: ~~MX-M~~ NR-BP

Size: 8.96 acres

Use: Vacant

Overlay zone: (CPO) - Character Protection Overlay
Zone (3-4)-Coors Boulevard – CPO-2

Comp Plan Area of: Change

Comp Plan Corridor: (MT) Major Transit Corridors
660ft-Coors Blvd

Comp Plan Center: x

MPOS or Sensitive Lands: x

Parking: 5-5

MR Area: x

Landscaping: 5-6

Street Trees: 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: Table 5-1-3: Non-residential Zone District Dimensional Standards

*Neighborhood Organization/s: Westside Coalition of NAs, SWAN Coalition; Los Volcanes NA

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods.resources.*

PROCESS:

Type of Action: 6-6-(I) Site Plan DRB

Review and Approval Body: DRB Is this a PRT requirement? Yes

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-016 Date: 3/12/21 Time: N/A (sent via email)

Address: 441 & 457 Coors Blvd NW

QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

Please assist with identifying any dimensional standards, zoning requirements or site plan/plot concerns that may impact approvals during the

DRB process and the Building Permit review.

NOTES:

See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

Download Forms & Applications

<https://www.cabq.gov/planning/online-forms>

New Public Notice Forms

We have created forms for all email/mailed public notice and for Pre-submittal Neighborhood Meetings.

Please complete these forms for public notice:

- Neighborhood Meeting - <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>
- Public Notice - <http://www.cabq.gov/planning/urban-design-development/public-notice>

Records requests

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

Requests to Inspect Public Records

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, lrumpf@cabq.gov

File Submittal

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to PLNDRS@cabq.gov. For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at jrodenbeck@cabq.gov and/or to Maggie Gould at mgould@cabq.gov.

For other questions, please contact the Planning representative at the top of the PRT Notes.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-016 Date: 3/12/21 Time: N/A (sent via email)

Address: 441 & 457 Coors Blvd NW

For Building Safety Plan Review, contact Building Safety at 924-3963. Website:

<https://www.cabq.gov/planning/building-safety-permits>

Master Development Plan

Name: ATRISCO BUSINESS PARK

Case Number: Z-92-57

Zoning Comments

PROPERTY INFORMATION:

- Address: 441 & 457 COORS BLVD NW
- Lot: F4A & F6A2 Block: 0000
- Subdivision: ATRISCO BUSINESS PARK UNIT 3
- Case Numbers
 - PR-2020-004193 - EPC - ZONING MAP AMENDMENT
 - PR-2020-004376 - 1000173,1003816 (Site Plan for Big Lots), Z-84-47-3,DRB-86-9
 - RZ-2020-00020 – for 457 Coors – Zone Map Amendment (Zone Change) to MX-M
Approved on 09/10/2020
 - DRB Case: Y
 - 1003816
- (MT) Major Transit Corridors 660ft
- Type: Change
- Coors Boulevard – **CPO-2**
- Calculated GIS Acres: 6.9207 - Calculated GIS Acres: 1.8774
- Old Zoning Designation: SU-1
- Old Zoning Description: PLANNED INDUST PARK
- Old Zoning Category: INDUSTRIAL / WHOLESALE / MANUFACTURING
- Master Development Plan - ATRISCO BUSINESS PARK
- IDO Zoning: NR-BP

ALLOWABLE USE(S) / USE SPECIFIC STANDARDS / DEFINITIONS

- Dwelling, multi-family – Permissive as per the Zone change to MX-M
- 4-3(B)(7) Dwelling, Multi-family – Use Specific Standard
- Dwelling, Multi-family - A building, multiple buildings, or a portion of a building located on a single lot, containing 3 or more dwelling units, each of which is designed for or occupied by one family only, with separate housekeeping and cooking facilities for each, and that does not meet the definition of a

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-016 Date: 3/12/21 Time: N/A (sent via email)

Address: 441 & 457 Coors Blvd NW

townhouse dwelling. Within mixed-use development, a building containing 2 or more dwelling units is considered multi-family. See also Development Definitions for Multi-family.

- Major Transit (MT) Corridor - A Corridor designation from the Comprehensive Plan. See also Measurement Definitions for Corridor Area.
- Major Transit (MT) Area - Lots within 660 feet in any direction of the centerline of a Major Transit Corridor as designated by the ABC Comp Plan, as amended.

DEVELOPMENT STANDARDS

- 4-3(B)(7) Dwelling, Multi-family
- 4-3(B)(7)(b) – Major Transit Provision Requirement
- 3-4(C) COORS BOULEVARD –CPO 2 All standards apply
- 5-1(D) MIXED-USE ZONE DISTRICTS
- Table 5-1-2: Mixed-use Zone District Dimensional Standards
- 5-3 ACCESS AND CONNECTIVITY
- 5-5 PARKING AND LOADING
- 5-5(C)(5) Parking Reductions
 - 1.5 spaces / DU
- 5-5(F)(2)(a)4 Low-density Residential Development
- 5-6 LANDSCAPING, BUFFERING, AND SCREENING
- 5-7 WALLS AND FENCES
- 5-8 OUTDOOR AND SITE LIGHTING

PROCESS

6-6-(I) Site Plan DRB because of the acreage and Major Public Infrastructure

As always, if you have specific questions pertaining to zoning and/or development standards you are encouraged to reach out to the zoning counter at (505) 924-3857 option 1.

Transportation Development Comments

List of General Guidelines for Transportation Development

For additional information contact Jeanne Wolfenbarger (924-3991)

Curb Cuts

- Follow DPM guidelines for residential and commercial curb cuts.
- Residential curb cut requirements – (12 feet to 22 feet wide for residential, 30 feet only if there is a 3-car garage or parking for RV)

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-016 Date: 3/12/21 Time: N/A (sent via email)

Address: 441 & 457 Coors Blvd NW

- Location of drive with respect to intersection depends on classification of the street. (See attached table.) Classification of street is according to the Long Range Master Plan developed by MRCOG.

Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.
- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.
- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Demonstrate queuing capacity when needed in situations such as for drive-thru facilities. It is imperative to demonstrate that the queuing will not block accessways to the site or cause vehicles to back into the main roadway. Also, provide necessary one-way signage and pavement markings.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)
- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

Traffic Studies and Traffic Signals

1. See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.
2. A proposed new traffic signal needs to A) follow guidelines for traffic signal spacing, B) meet the requirements for a traffic signal warrant study to be in operation and C) be approved by both Planning and by Traffic Operations.

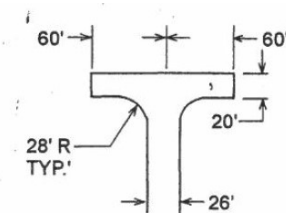
PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-016 Date: 3/12/21 Time: N/A (sent via email)

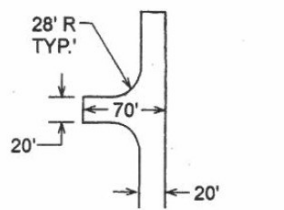
Address: 441 & 457 Coors Blvd NW

Platting and Public Infrastructure Requirements for Roadways

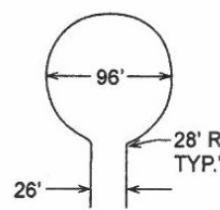
1. When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.
2. All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.
3. Curb and sidewalk is required along entire frontage of property. Follow IDO/DPM for specific width requirements.
4. There is a Bikeway Master Plan that is prepared MRCOG which lays out proposed bicycle facilities including bicycle trails, bike lanes, and bike routes. The site would be required to provide such facilities along the site frontage if they have not been constructed yet. Right-of-way dedication would likely be required.
5. Depending on site's use of an adjacent alleyway and on type of use for proposed site, alleyway improvements are required. This would include paving and/or proper right-of-way dedication to meet current width standards.
6. Follow DPM and MRCOG's Long Range Master Plan for roadway width requirements. Provide roadway cross-section. (New roadway requirements and roadway widening is also coordinated with Department of Municipal Development, depending on what plans or projects they may have on a specific roadway.)
7. If private road is over 150' long, the turnaround shall be per fire code dimensions. Fire Marshall Approval and Solid Waste Approval is required on all site layouts. For dead-ends, see options below for space dedicated to turn-arounds:



120' HAMMERHEAD



ACCEPTABLE ALTERNATIVE
TO 120' HAMMERHEAD



96' DIAMETER
CUL-DE-SAC

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-016 Date: 3/12/21 Time: N/A (sent via email)

Address: 441 & 457 Coors Blvd NW

8. For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
9. Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
10. Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

If you would have additional questions or would like to schedule a follow-up conference call meeting please contact Linda Rumpf at lrumpf@cabq.gov