

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



7/9/21

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ☒ 1. Date of drawing and/or last revision
- ☒ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- ☒ 3. Bar scale
- ☒ 4. North arrow
- ☒ 5. Legend
- ☒ 6. Scaled vicinity map
- ☒ 7. Property lines (clearly identify)
- ☒ 8. Existing and proposed easements (identify each)
- ☒ 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- ☒ A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- ☒ B. Square footage of each structure
- ☒ C. Proposed use of each structure
- ☒ D. Signs (freestanding) and other improvements
- ☒ E. Walls, fences, and screening: indicate height, length, color and materials
- ☒ F. Dimensions of all principal site elements or typical dimensions
- ☒ G. Loading facilities
- ☒ H. Site lighting (indicate height & fixture type)
- ☒ I. Indicate structures within 20 feet of site
- ☒ J. Elevation drawing of refuse container and enclosure, if applicable.
- ☒ K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- ☒ A. Parking layout with spaces numbered per aisle and totaled.
 - ☒ 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - ☒ 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - ☒ 3. On street parking spaces
- ☒ B. Bicycle parking & facilities
 - ☒ 1. Bicycle racks – location and detail
 - ☒ 2. Other bicycle facilities, if applicable
- ☒ C. Vehicular Circulation (Refer to DPM and IDO)
 - ☒ 1. Ingress and egress locations, including width and curve radii dimensions
 - ☒ 2. Drive aisle locations, including width and curve radii dimensions
 - ☒ 3. End aisle locations, including width and curve radii dimensions
 - ☒ 4. Location & orientation of refuse enclosure, with dimensions
 - ☒ 5. Loading, service area, and refuse service locations and dimensions
- ☒ D. Pedestrian Circulation
 - ☒ 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- ☒ 2. Location and dimension of drive aisle crossings, including paving treatment
- ☒ 3. Location and description of amenities, including patios, benches, tables, etc.
- N/A E. Off-Street Loading
 - N/A 1. Location and dimensions of all off-street loading areas
- N/A F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - N/A 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - N/A 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - N/A 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- ☒ A. Locate and identify adjacent public and private streets and alleys.
 - ☒ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - ☒ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - ☒ 3. Location of traffic signs and signals related to the functioning of the proposal
 - ☒ 4. Identify existing and proposed medians and median cuts
 - ☒ 5. Sidewalk widths and locations, existing and proposed
 - ☒ 6. Location of street lights
 - ☒ 7. Show and dimension clear sight triangle at each site access point
 - ☒ 8. Show location of all existing driveways fronting and near the subject site.
- ☒ B. Identify Alternate transportation facilities within site or adjacent to site
 - ☒ 1. Bikeways and bike-related facilities
 - ☒ 2. Pedestrian trails and linkages
 - ☒ 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- ☒ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- ☒ 1. Scale - must be same as scale on sheet #1 - Site plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Identify nature of ground cover materials
 - ☒ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - ☒ B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - ☒ C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- ☒ 7. Identify type, location and size of plantings (common and/or botanical names).
 - ☒ A. Existing, indicating whether it is to be preserved or removed.
 - ☒ B. Proposed, to be established for general landscaping.
 - ☒ C. Proposed, to be established for screening/buffering.
- ☒ 8. Describe irrigation system – Phase I & II . . .
- ☒ 9. Planting Beds, indicating square footage of each bed
- ☒ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ☒ 11. Responsibility for Maintenance (statement)
- ☒ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ☒ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- ☒ 14. Planting or tree well detail
- ☒ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ☒ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- ☒ 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- ☒ 1. Scale - must be same as Sheet #1 - Site Plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Building footprints
- ☒ 7. Location of Retaining walls

B. Grading Information

- ☒ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ☒ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ☒ 3. Identify ponding areas, erosion and sediment control facilities.
- ☒ 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- ☒ A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- ☒ B. Distribution lines
- ☒ C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ☒ D. Existing water, sewer, storm drainage facilities (public and/or private).
- ☒ E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- ☒ A. Scale
- ☒ B. Bar Scale
- ☒ C. Detailed Building Elevations for each facade
 - ☒ 1. Identify facade orientation
 - ☒ 2. Dimensions of facade elements, including overall height and width
 - ☒ 3. Location, material and colors of windows, doors and framing
 - ☒ 4. Materials and colors of all building elements and structures
 - ☒ 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- ☒ 1. Site location(s)
- ☒ 2. Sign elevations to scale
- ☒ 3. Dimensions, including height and width
- ☒ 4. Sign face area - dimensions and square footage clearly indicated
- ☒ 5. Lighting
- ☒ 6. Materials and colors for sign face and structural elements.
- ☒ 7. List the sign restrictions per the IDO



GRAPHIC SCALE

SCALE: 1"=30'

TRACT A
ATISCO BUSINESS PARK, UNIT 1
FD 10-31-1972, BK. DS. PG. 52

PHASE 1

PHASE 2

PHASE 2

IRACT F-6-A-1
ATHISCO BUSINESS PARK, UNIT 5
RD 12-15-2004, BK 2004C, PL 155

san roque & la serena
457 coors blvd. nw
albuquerque, new mexico 87121

This document is the property of Thomas Development Co. and is prohibited by U.S. and international laws, etc., reproduction, distribution, or disclosure of this document without first obtaining written permission from Thomas Development Co.'s shareholders. This document may not be used in any unauthorized manner. 0002

THERRA WEST, LLC
3571 MEDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.therrawestllc.com




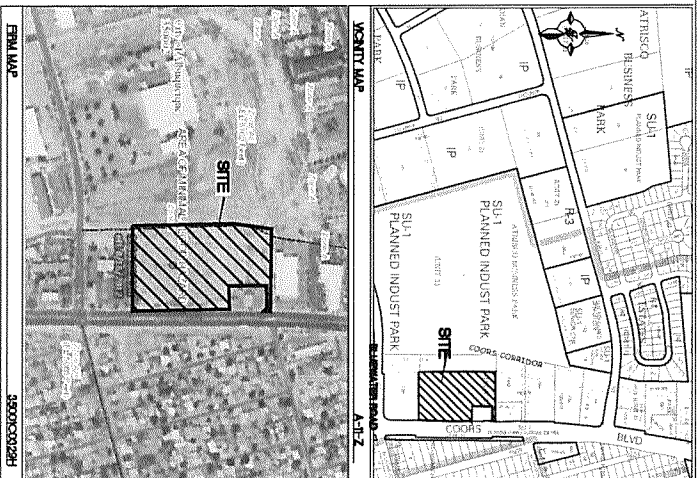
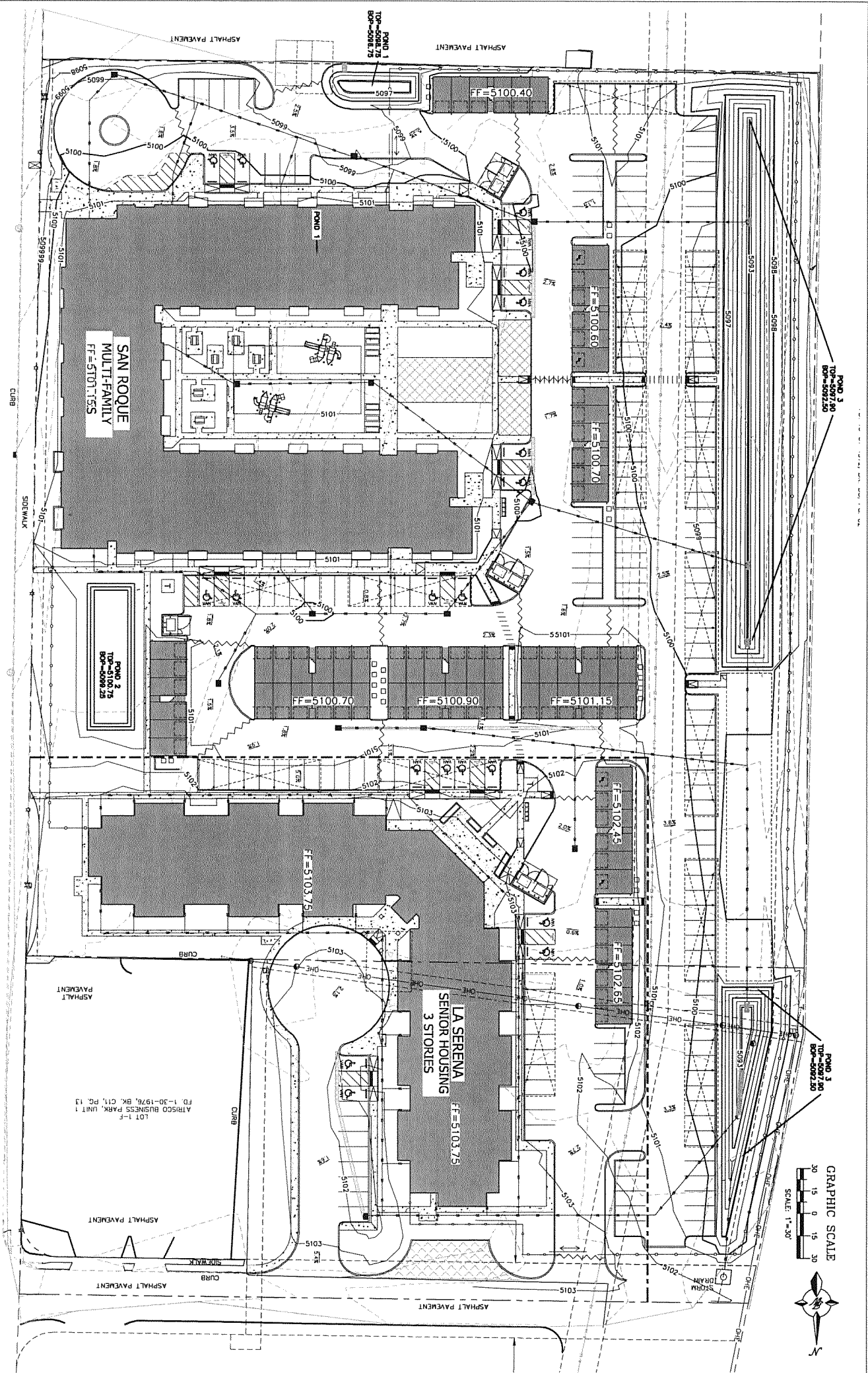
erstad ARCHITECTS, PA
 312 n. 5th street, bosse idaho 83702
 phone: (208) 331-8031 fax: 331-8035 www.erstadarchitects.com

project:	202001
date:	06.10.202
drawn:	vg,b
checked:	v

Permit Set

PHASING PLAN

25



erstadARCHITECTS, PA
310 n. 5th street, hawthorne NJ 07042
phone: (201) 331-9031 fax: 331-9035 www.erstadarchitects.com

THEIRA WEST, LLC
5371 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.theirawestllc.com

It is declared to be
property of the
Government of the
United States and
is protected by U.S. and
international laws. Use,
reproduction, or
modification of this
document without first
obtaining written permission
of the Human Development
Department may not be
used in any unauthorized
manner. (C02)

san roque & la serena
457 coors blvd. nw
albuquerque, new mexico 87121

revision:	no.	desc.	date
-----------	-----	-------	------

Permit Set

**Overall
Grading &
Drainage Plan**

C2.0

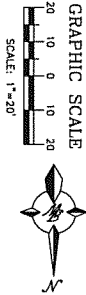
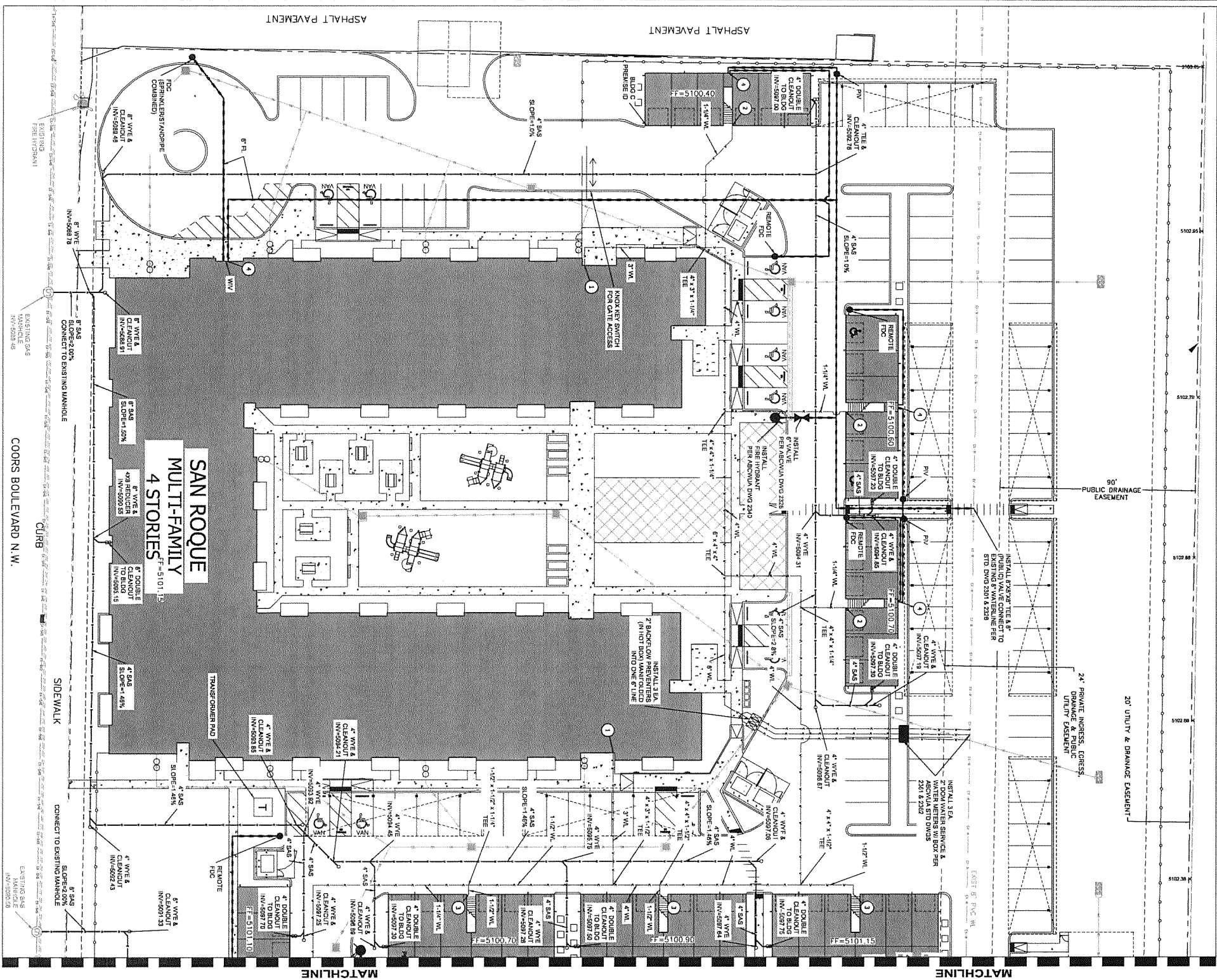
CAUTION: ALL DESIGN UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.

[illegible]

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT CATCHES INTO EXISTING ROAD-OR-WALK.
4. REPAIR OF DAMAGED FACILITIES AND REPAIR OF SEDIMENT FACILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
5. WATER PROTECTED EARTH SURFACES MUST BE PROTECTED FROM ANY PROJECT.



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	STORM DRAIN
	WATER LINE
	FIRE LINE
	SANITARY SEWER
	PROPOSED WATER METER
	PROPOSED BACKFLOW PREVENTER W/ HOBOS
	PROPOSED VALVE
	EXISTING CURB & GUTTER
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE

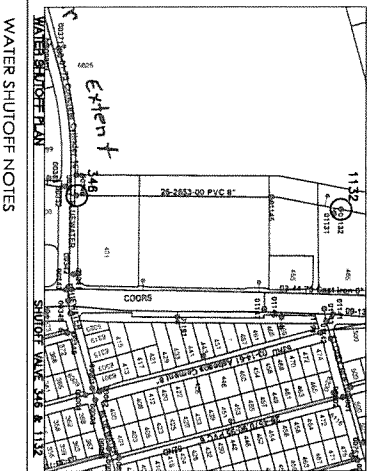
KEYED NOTES

- 3" DOMESTIC WL CONNECTION TO BUILDING (SEE PLUMBING PLANS FOR CONTINUATION)
- 1-1/4" DOMESTIC WL CONNECTION TO BUILDING (SEE PLUMBING PLANS FOR CONTINUATION)
- 1-1/2" DOMESTIC WL CONNECTION TO BUILDING (SEE PLUMBING PLANS FOR CONTINUATION)
- 6" FIRELINE AND/OR FDC CONNECTION TO BUILDING (REFER TO PLAN FOR REMOTE FDC AS NECESSARY)

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM
AUGUST 2019 UTILITY RECORDS. THE CONTRACTOR SHALL
BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH
OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE
CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE
CONTRACTOR TO CONDUCT ALL NECESSARY FIELD
INVESTIGATIONS PRIOR TO ANY CONSTRUCTION. THE
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL
NECESSARY PERMITS PRIOR TO STARTING THE WORK. ANY
CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH
AND APPROVED BY THE OWNER.

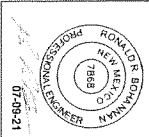
LEGEND

	HEADER CURB
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	PROPOSED WATER METER



WATER SHUTOFF NOTES

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY (CITY OF ALBUQUERQUE) PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER.



san roque & la serena
457 coors blvd. nw
albuquerque, new mexico 87121

revision	no.	desc.	date
----------	-----	-------	------

project: 2020010
drawn: JWB
checked: JWB
date: 05/05/2021
version: 02

Permit Set

Master
Utility Plan
San Roque
c3.0



erstad ARCHITECTS, PA
310 N. 5th Street, Suite 500
phone: (505) 931-9021 fax: 331-9025 www.erstadarchitects.com

The Hilltop
1505 Edison NE,
Albuquerque, NM 87110
Cell: 505-964-6568
FAX: (505) 938-8630
lad@hilltoplandscaping.com

LANDSCAPE ARCHITECT
I hereby certify that I am a duly licensed landscape architect in the State of New Mexico, and that I am the author of the design shown on this plan.

san roque
457 Coors Blvd. NW,
Albuquerque, New Mexico,
87121

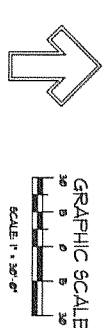
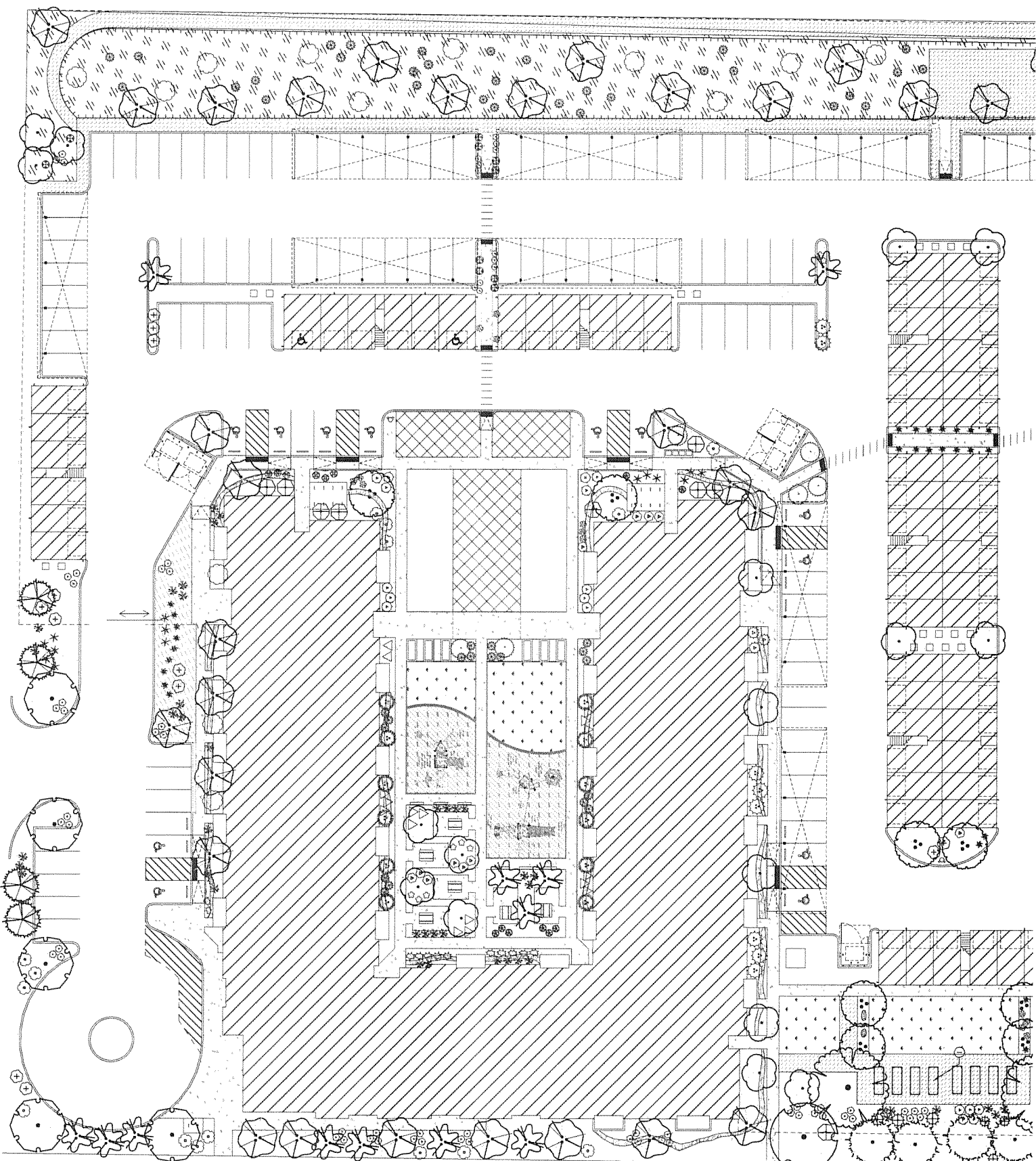
revision:	no.	desc.	date

PROJECT: 200707
DATE: 5/11/21
DRAWN BY: C. Hilltop
CHECKED BY: C. Hilltop

permit set

landscape
plan

L1.10



GENERAL NOTES
LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.
ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH THE ORDINANCE, ZONING CODES, LAND-USE ORDINANCES, AND ENVIRONMENTALLY SOUND LANDSCAPE PRACTICES SHALL BE FOLLOWED IN DESIGN AND INSTALLATION.
WATER MAINTENANCE IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY WATER CONSERVATION LANDSCAPING ORDINANCE AND THE

WATER MAINTENANCE PLANTING RESTRICTION
APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE WATER CONSERVATION LANDSCAPING AND WATER MAINTENANCE RESTRICTIONS.
ALL PLANTS SHALL BE PLANTED 3'-1" LOWER THAN ADJACENT ROAD SURFACES.
PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A CONFLICT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING OR RELOCATING UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DISCUSSION ON HOW TO PROCEED.
POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

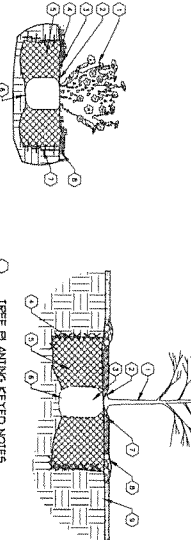
IRRIGATION NOTES
IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT PLANTING OR IRRIGATION EQUIPMENT IS NOT DAMAGED BY ANY OTHER PARTY.
ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE SUBMITTED FOR APPROVAL. TREES SHALL RECEIVE ONE GALLON OF 4:1 FERTILIZER FROM THE PLANTER. TREES SHALL BE WATERED DAILY FOR THE FIRST TWO WEEKS OF PLANTING. TREES SHALL BE WATERED WEEKLY FOR THE FIRST TWO MONTHS OF PLANTING. TREES SHALL BE WATERED WEEKLY FOR THE FIRST TWO YEARS OF PLANTING. TREES SHALL BE WATERED WEEKLY FOR THE FIRST TWO YEARS OF PLANTING.

SHALL BE LOCATED 3 FEET PER SIDE. THE SHALL BE ADJUSTED ACCORDING TO THE REGION. POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE DETERMINED IN THE FIELD. CONTROLLER OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

REGULATORY HANDMAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/OWNER.

SYMBOL	DESCRIPTION	QUANTITY	NOTES
1	1" Caliper Tree	10	10' x 10' x 10'
2	2" Caliper Tree	10	10' x 10' x 10'
3	3" Caliper Tree	10	10' x 10' x 10'
4	4" Caliper Tree	10	10' x 10' x 10'
5	5" Caliper Tree	10	10' x 10' x 10'
6	6" Caliper Tree	10	10' x 10' x 10'
7	7" Caliper Tree	10	10' x 10' x 10'
8	8" Caliper Tree	10	10' x 10' x 10'
9	9" Caliper Tree	10	10' x 10' x 10'
10	10" Caliper Tree	10	10' x 10' x 10'
11	11" Caliper Tree	10	10' x 10' x 10'
12	12" Caliper Tree	10	10' x 10' x 10'
13	13" Caliper Tree	10	10' x 10' x 10'
14	14" Caliper Tree	10	10' x 10' x 10'
15	15" Caliper Tree	10	10' x 10' x 10'
16	16" Caliper Tree	10	10' x 10' x 10'
17	17" Caliper Tree	10	10' x 10' x 10'
18	18" Caliper Tree	10	10' x 10' x 10'
19	19" Caliper Tree	10	10' x 10' x 10'
20	20" Caliper Tree	10	10' x 10' x 10'
21	21" Caliper Tree	10	10' x 10' x 10'
22	22" Caliper Tree	10	10' x 10' x 10'
23	23" Caliper Tree	10	10' x 10' x 10'
24	24" Caliper Tree	10	10' x 10' x 10'
25	25" Caliper Tree	10	10' x 10' x 10'
26	26" Caliper Tree	10	10' x 10' x 10'
27	27" Caliper Tree	10	10' x 10' x 10'
28	28" Caliper Tree	10	10' x 10' x 10'
29	29" Caliper Tree	10	10' x 10' x 10'
30	30" Caliper Tree	10	10' x 10' x 10'
31	31" Caliper Tree	10	10' x 10' x 10'
32	32" Caliper Tree	10	10' x 10' x 10'
33	33" Caliper Tree	10	10' x 10' x 10'
34	34" Caliper Tree	10	10' x 10' x 10'
35	35" Caliper Tree	10	10' x 10' x 10'
36	36" Caliper Tree	10	10' x 10' x 10'
37	37" Caliper Tree	10	10' x 10' x 10'
38	38" Caliper Tree	10	10' x 10' x 10'
39	39" Caliper Tree	10	10' x 10' x 10'
40	40" Caliper Tree	10	10' x 10' x 10'
41	41" Caliper Tree	10	10' x 10' x 10'
42	42" Caliper Tree	10	10' x 10' x 10'
43	43" Caliper Tree	10	10' x 10' x 10'
44	44" Caliper Tree	10	10' x 10' x 10'
45	45" Caliper Tree	10	10' x 10' x 10'
46	46" Caliper Tree	10	10' x 10' x 10'
47	47" Caliper Tree	10	10' x 10' x 10'
48	48" Caliper Tree	10	10' x 10' x 10'
49	49" Caliper Tree	10	10' x 10' x 10'
50	50" Caliper Tree	10	10' x 10' x 10'
51	51" Caliper Tree	10	10' x 10' x 10'
52	52" Caliper Tree	10	10' x 10' x 10'
53	53" Caliper Tree	10	10' x 10' x 10'
54	54" Caliper Tree	10	10' x 10' x 10'
55	55" Caliper Tree	10	10' x 10' x 10'
56	56" Caliper Tree	10	10' x 10' x 10'
57	57" Caliper Tree	10	10' x 10' x 10'
58	58" Caliper Tree	10	10' x 10' x 10'
59	59" Caliper Tree	10	10' x 10' x 10'
60	60" Caliper Tree	10	10' x 10' x 10'
61	61" Caliper Tree	10	10' x 10' x 10'
62	62" Caliper Tree	10	10' x 10' x 10'
63	63" Caliper Tree	10	10' x 10' x 10'
64	64" Caliper Tree	10	10' x 10' x 10'
65	65" Caliper Tree	10	10' x 10' x 10'
66	66" Caliper Tree	10	10' x 10' x 10'
67	67" Caliper Tree	10	10' x 10' x 10'
68	68" Caliper Tree	10	10' x 10' x 10'
69	69" Caliper Tree	10	10' x 10' x 10'
70	70" Caliper Tree	10	10' x 10' x 10'
71	71" Caliper Tree	10	10' x 10' x 10'
72	72" Caliper Tree	10	10' x 10' x 10'
73	73" Caliper Tree	10	10' x 10' x 10'
74	74" Caliper Tree	10	10' x 10' x 10'
75	75" Caliper Tree	10	10' x 10' x 10'
76	76" Caliper Tree	10	10' x 10' x 10'
77	77" Caliper Tree	10	10' x 10' x 10'
78	78" Caliper Tree	10	10' x 10' x 10'
79	79" Caliper Tree	10	10' x 10' x 10'
80	80" Caliper Tree	10	10' x 10' x 10'
81	81" Caliper Tree	10	10' x 10' x 10'
82	82" Caliper Tree	10	10' x 10' x 10'
83	83" Caliper Tree	10	10' x 10' x 10'
84	84" Caliper Tree	10	10' x 10' x 10'
85	85" Caliper Tree	10	10' x 10' x 10'
86	86" Caliper Tree	10	10' x 10' x 10'
87	87" Caliper Tree	10	10' x 10' x 10'
88	88" Caliper Tree	10	10' x 10' x 10'
89	89" Caliper Tree	10	10' x 10' x 10'
90	90" Caliper Tree	10	10' x 10' x 10'
91	91" Caliper Tree	10	10' x 10' x 10'
92	92" Caliper Tree	10	10' x 10' x 10'
93	93" Caliper Tree	10	10' x 10' x 10'
94	94" Caliper Tree	10	10' x 10' x 10'
95	95" Caliper Tree	10	10' x 10' x 10'
96	96" Caliper Tree	10	10' x 10' x 10'
97	97" Caliper Tree	10	10' x 10' x 10'
98	98" Caliper Tree	10	10' x 10' x 10'
99	99" Caliper Tree	10	10' x 10' x 10'
100	100" Caliper Tree	10	10' x 10' x 10'

SYMBOL	DESCRIPTION	QUANTITY	NOTES
1	1" Caliper Tree	10	10' x 10' x 10'
2	2" Caliper Tree	10	10' x 10' x 10'
3	3" Caliper Tree	10	10' x 10' x 10'
4	4" Caliper Tree	10	10' x 10' x 10'
5	5" Caliper Tree	10	10' x 10' x 10'
6	6" Caliper Tree	10	10' x 10' x 10'
7	7" Caliper Tree	10	10' x 10' x 10'
8	8" Caliper Tree	10	10' x 10' x 10'
9	9" Caliper Tree	10	10' x 10' x 10'
10	10" Caliper Tree	10	10' x 10' x 10'
11	11" Caliper Tree	10	10' x 10' x 10'
12	12" Caliper Tree	10	10' x 10' x 10'
13	13" Caliper Tree	10	10' x 10' x 10'
14	14" Caliper Tree	10	10' x 10' x 10'
15	15" Caliper Tree	10	10' x 10' x 10'
16	16" Caliper Tree	10	10' x 10' x 10'
17	17" Caliper Tree	10	10' x 10' x 10'
18	18" Caliper Tree	10	10' x 10' x 10'
19	19" Caliper Tree	10	10' x 10' x 10'
20	20" Caliper Tree	10	10' x 10' x 10'
21	21" Caliper Tree	10	10' x 10' x 10'
22	22" Caliper Tree	10	10' x 10' x 10'
23	23" Caliper Tree	10	10' x 10' x 10'
24	24" Caliper Tree	10	10' x 10' x 10'
25	25" Caliper Tree	10	10' x 10' x 10'
26	26" Caliper Tree	10	10' x 10' x 10'
27	27" Caliper Tree	10	10' x 10' x 10'
28	28" Caliper Tree	10	10' x 10' x 10'
29	29" Caliper Tree	10	10' x 10' x 10'
30	30" Caliper Tree	10	10' x 10' x 10'
31	31" Caliper Tree	10	10' x 10' x 10'
32	32" Caliper Tree	10	10' x 10' x 10'
33	33" Caliper Tree	10	10' x 10' x 10'
34	34" Caliper Tree	10	10' x 10' x 10'
35	35" Caliper Tree	10	10' x 10' x 10'
36	36" Caliper Tree	10	10' x 10' x 10'
37	37" Caliper Tree	10	10' x 10' x 10'
38	38" Caliper Tree	10	10' x 10' x 10'
39	39" Caliper Tree	10	10' x 10' x 10'
40	40" Caliper Tree	10	10' x 10' x 10'
41	41" Caliper Tree	10	10' x 10' x 10'
42	42" Caliper Tree	10	10' x 10' x 10'
43	43" Caliper Tree	10	10' x 10' x 10'
44	44" Caliper Tree	10	10' x 10' x 10'
45	45" Caliper Tree	10	10' x 10' x 10'
46	46" Caliper Tree	10	10' x 10' x 10'
47	47" Caliper Tree	10	10' x 10' x 10'
48	48" Caliper Tree	10	10' x 10' x 10'
49	49" Caliper Tree	10	10' x 10' x 10'
50	50" Caliper Tree	10	10' x 10' x 10'
51	51" Caliper Tree	10	10' x 10' x 10'
52	52" Caliper Tree	10	10' x 10' x 10'
53	53" Caliper Tree	10	10' x 10' x 10'
54	54" Caliper Tree	10	10' x 10' x 10'
55	55" Caliper Tree	10	10' x 10' x 10'
56	56" Caliper Tree	10	10' x 10' x 10'
57	57" Caliper Tree	10	10' x 10' x 10'
58	58" Caliper Tree	10	10' x 10' x 10'
59	59" Caliper Tree	10	10' x 10' x 10'
60	60" Caliper Tree	10	10' x 10' x 10'
61	61" Caliper Tree	10	10' x 10' x 10'
62	62" Caliper Tree	10	10' x 10' x 10'
63	63" Caliper Tree	10	10' x 10' x 10'
64	64" Caliper Tree	10	10' x 10' x 10'
65	65" Caliper Tree	10	10' x 10' x 10'
66	66" Caliper Tree	10	10' x 10' x 10'
67	67" Caliper Tree	10	10' x 10' x 10'
68	68" Caliper Tree	10	10' x 10' x 10'
69	69" Caliper Tree	10	10' x 10' x 10'
70	70" Caliper Tree	10	10' x 10' x 10'
71	71" Caliper Tree	10	10' x 10' x 10'
72	72" Caliper Tree	10	10' x 10' x 10'
73	73" Caliper Tree	10	10' x 10' x 10'
74	74" Caliper Tree	10	10' x 10' x 10'
75	75" Caliper Tree	10	10' x 10' x 10'
76	76" Caliper Tree	10	10' x 10' x 10'
77	77" Caliper Tree	10	10' x 10' x 10'
78	78" Caliper Tree	10	10' x 10' x 10'
79	79" Caliper Tree	10	10' x 10' x 10'
80	80" Caliper Tree	10	10' x 10' x 10'
81	81" Caliper Tree	10	10' x 10' x 10'
82	82" Caliper Tree	10	10' x 10' x 10'
83	83" Caliper Tree	10	10' x 10' x 10'
84	84" Caliper Tree	10	10' x 10' x 10'
85	85" Caliper Tree	10	10' x 10' x 10'
86	86" Caliper Tree	10	10' x 10' x 10'
87	87" Caliper Tree	10	10' x 10' x 10'
88	88" Caliper Tree	10	10' x 10' x 10'
89	89" Caliper Tree	10	10' x 10' x 10'
90	90" Caliper Tree	10	10' x 10' x 10'
91	91" Caliper Tree	10	10' x 10' x 10'
92	92" Caliper Tree	10	10' x 10' x 10'
93	93" Caliper Tree	10	10' x 10' x 10'
94	94" Caliper Tree	10	10' x 10' x 10'
95	95" Caliper Tree	10	10' x 10' x 10'
96	96" Caliper Tree	10	10' x 10' x 10'
97	97" Caliper Tree	10	10' x 10' x 10'
98	98" Caliper Tree	10	10' x 10' x 10'
99	99" Caliper Tree	10	10' x 10' x 10'
100	100" Caliper Tree	10	10' x 10' x 10'

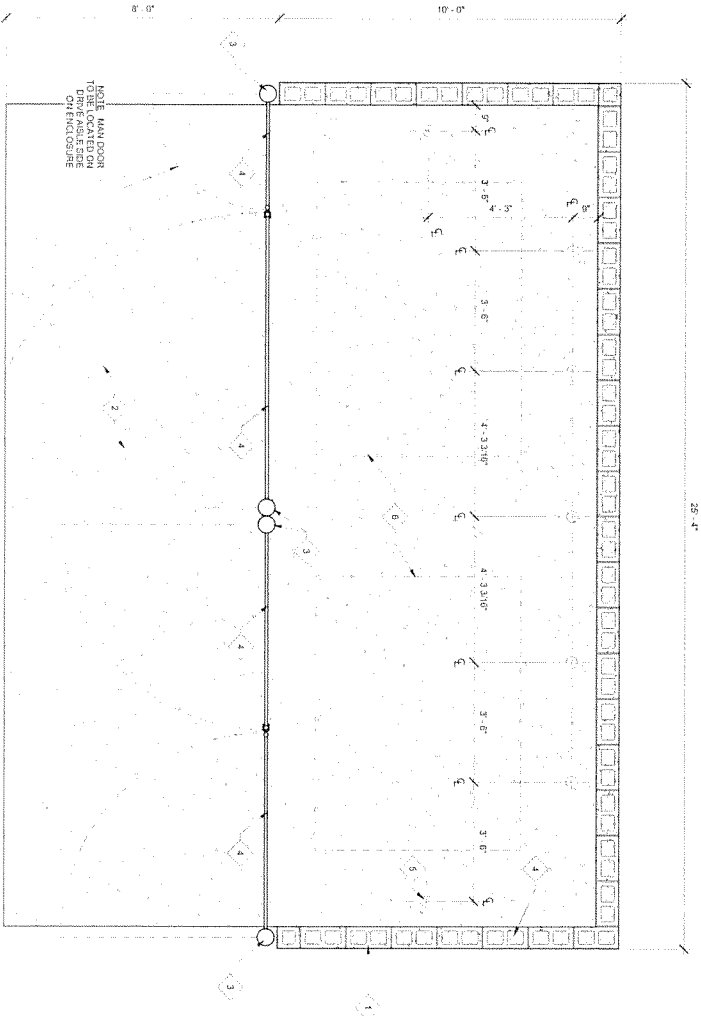


SHRUB PLANTING KEYED NOTES
1. TREE LOCATION, SPECIES, AND QUANTITY AS SHOWN ON THIS PLAN.
2. TREE TO BE PLANTED IN THE SPRING.
3. TREE TO BE PLANTED IN THE FALL.
4. TREE TO BE PLANTED IN THE WINTER.
5. TREE TO BE PLANTED IN THE SUMMER.
6. TREE TO BE PLANTED IN THE EARLY SPRING.
7. TREE TO BE PLANTED IN THE LATE SPRING.
8. TREE TO BE PLANTED IN THE EARLY FALL.
9. TREE TO BE PLANTED IN THE LATE FALL.
10. TREE TO BE PLANTED IN THE WINTER.

TREE PLANTING KEYED NOTES
1. TREE LOCATION, SPECIES, AND QUANTITY AS SHOWN ON THIS PLAN.
2. TREE TO BE PLANTED IN THE SPRING.
3. TREE TO BE PLANTED IN THE FALL.
4. TREE TO BE PLANTED IN THE WINTER.
5. TREE TO BE PLANTED IN THE SUMMER.
6. TREE TO BE PLANTED IN THE EARLY SPRING.
7. TREE TO BE PLANTED IN THE LATE SPRING.
8. TREE TO BE PLANTED IN THE EARLY FALL.
9. TREE TO BE PLANTED IN THE LATE FALL.
10. TREE TO BE PLANTED IN THE WINTER.

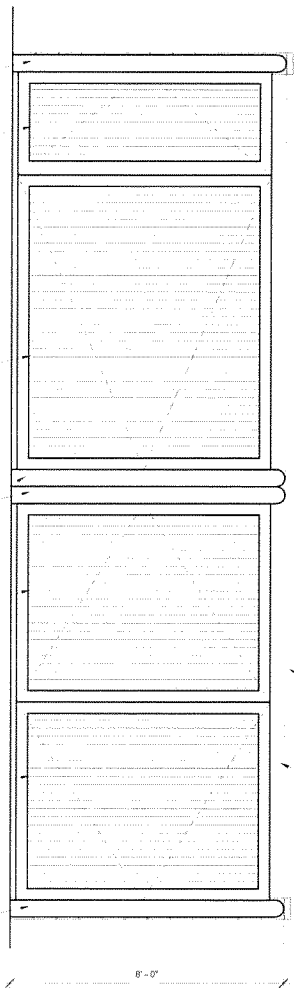
SHRUB PLANTING
1. TREE LOCATION, SPECIES, AND QUANTITY AS SHOWN ON THIS PLAN.
2. TREE TO BE PLANTED IN THE SPRING.
3. TREE TO BE PLANTED IN THE FALL.
4. TREE TO BE PLANTED IN THE WINTER.
5. TREE TO BE PLANTED IN THE SUMMER.
6. TREE TO BE PLANTED IN THE EARLY SPRING.
7. TREE TO BE PLANTED IN THE LATE SPRING.
8. TREE TO BE PLANTED IN THE EARLY FALL.
9. TREE TO BE PLANTED IN THE LATE FALL.
10. TREE TO BE PLANTED IN THE WINTER.

TREE PLANTING
1. TREE LOCATION, SPECIES, AND QUANTITY AS SHOWN ON THIS PLAN.
2. TREE TO BE PLANTED IN THE SPRING.
3. TREE TO BE PLANTED IN THE FALL.
4. TREE TO BE PLANTED IN THE WINTER.
5. TREE TO BE PLANTED IN THE SUMMER.
6. TREE TO BE PLANTED IN THE EARLY SPRING.
7. TREE TO BE PLANTED IN THE LATE SPRING.
8. TREE TO BE PLANTED IN THE EARLY FALL.
9. TREE TO BE PLANTED IN THE LATE FALL.
10. TREE TO BE PLANTED IN THE WINTER.

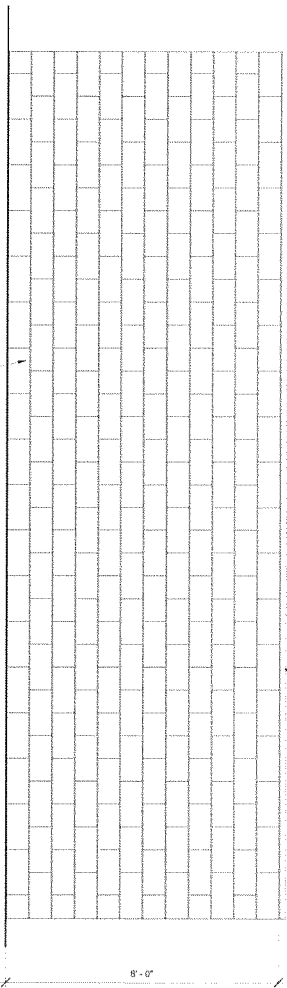


- KEYNOTES
1. CONCRETE PAD, SEE CIVIL DRAWINGS
 2. PAINTED STEEL DOOR, 15' FRAME WITH H&A DECOR
 3. TRASH CONTAINER PROVIDED BY WASTE MANAGEMENT
 4. CONCRETE BOLLARD, 12" DIA
 5. CONCRETE BOLLARD, 12" DIA
 6. CONCRETE BOLLARD, 12" DIA
 7. CONCRETE BOLLARD, 12" DIA

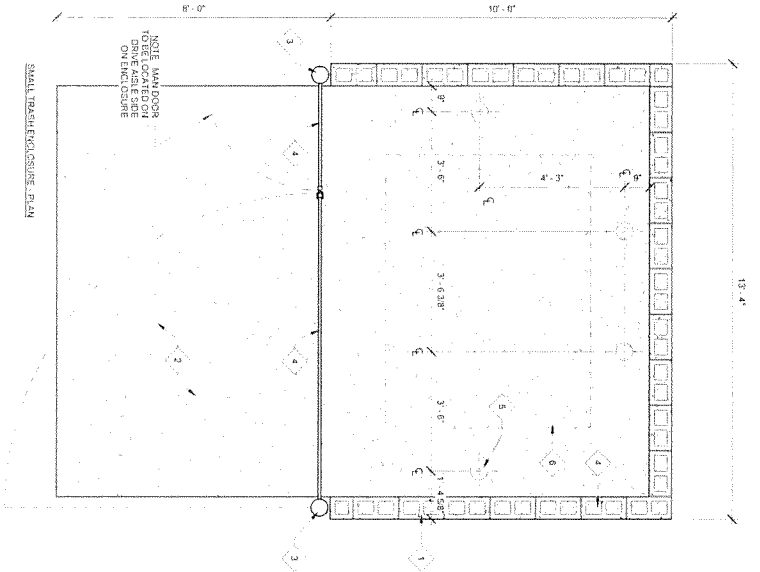
LARGE TRASH ENCLOSURE, PLAN



LARGE TRASH ENCLOSURE, FRONT ELEVATION

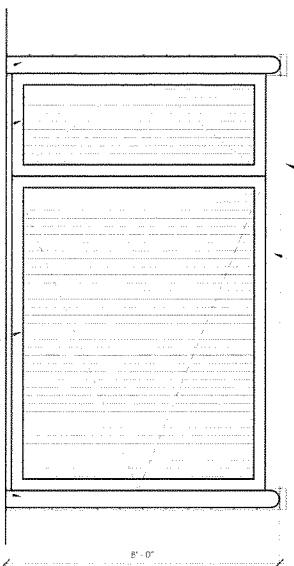


LARGE TRASH ENCLOSURE, SIDE ELEVATION

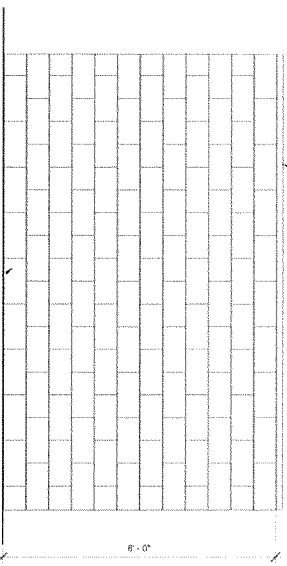


- KEYNOTES
1. CONCRETE PAD, SEE CIVIL DRAWINGS
 2. PAINTED STEEL DOOR, 15' FRAME WITH H&A DECOR
 3. TRASH CONTAINER PROVIDED BY WASTE MANAGEMENT
 4. CONCRETE BOLLARD, 12" DIA
 5. CONCRETE BOLLARD, 12" DIA
 6. CONCRETE BOLLARD, 12" DIA
 7. CONCRETE BOLLARD, 12" DIA

SMALL TRASH ENCLOSURE, PLAN



SMALL TRASH ENCLOSURE, FRONT ELEVATION



SMALL TRASH ENCLOSURE, SIDE ELEVATION

city of albuquerque



erstad ARCHITECTS, PA
210 N. 5th Street, Suite 400 87102
phone: (505) 331-9031 fax: 331-9035 www.erstadarchitects.com

THIS DOCUMENT IS THE PROPERTY OF FIRSTAD ARCHITECTS, PA. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FIRSTAD ARCHITECTS, PA.

la serena
441 coors blvd. nw
albuquerque, new mexico

revision	no	desc	date

project: 200405
date: 06.11.21
drawn: SO
checked: DN
permit set

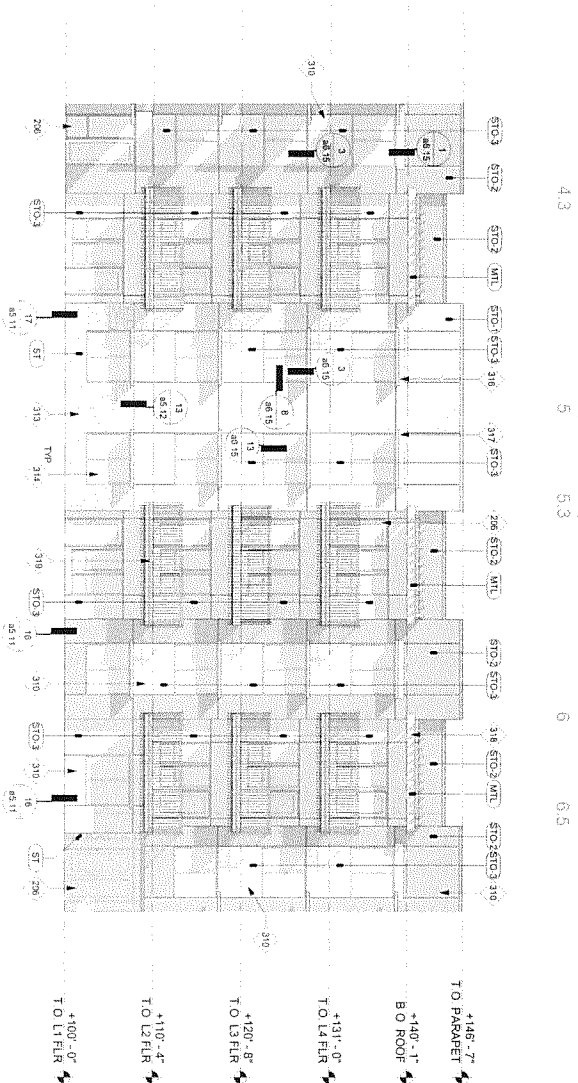
architectural
site details
a1.22

16 a1.22 - large trash enclosure

1/2" = 1'-0"

19 a1.22 - small trash enclosure

1/2" = 1'-0"



111	LINE PICK
226	HIGHFOOT + HEAVE PLAYED
210	ROOF SURFACE (CLOVE TO DRAIN + 2' 12"
310	STUCK
313	MANUFACTURED TO THE VENEER
314	VINYL WINDOW / DARK BRONZE FINISH
317	HARD BOARDED ACCT
318	PREPARED ALUMINUM SHIMMER - RYMAR FINISH
319	WOOD FINISHED / COATED FELSAS
319	WOOD FINISHED WITH A QUADRANT AT BLACKOY
619	PENETRATOR PARTED
619	GUTTER
	SOLAR PANEL ARRAY

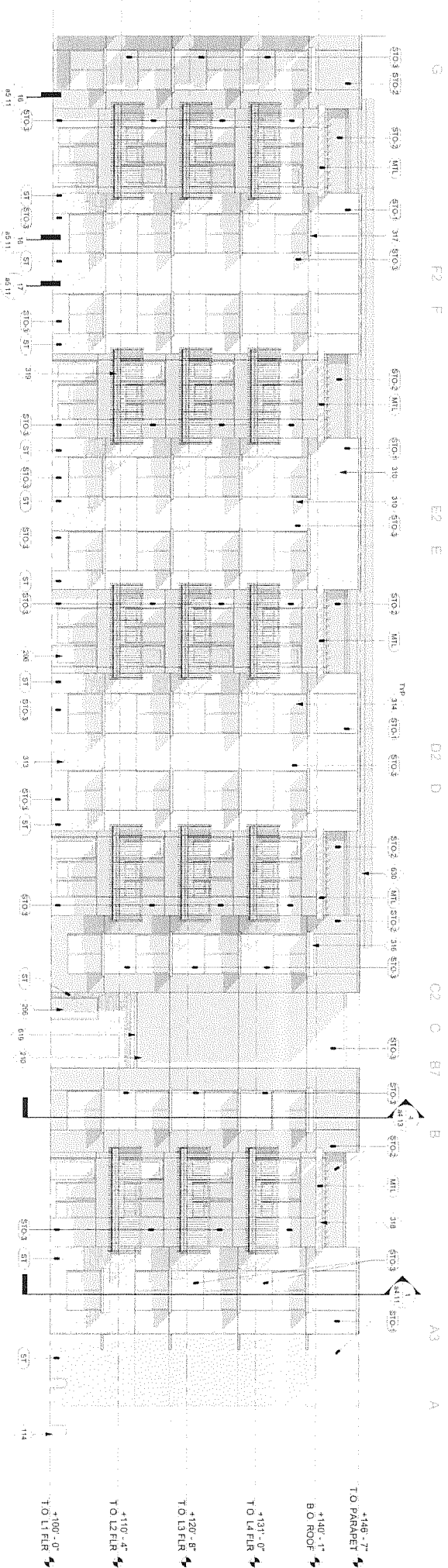
[illegible]

city of albuquerque

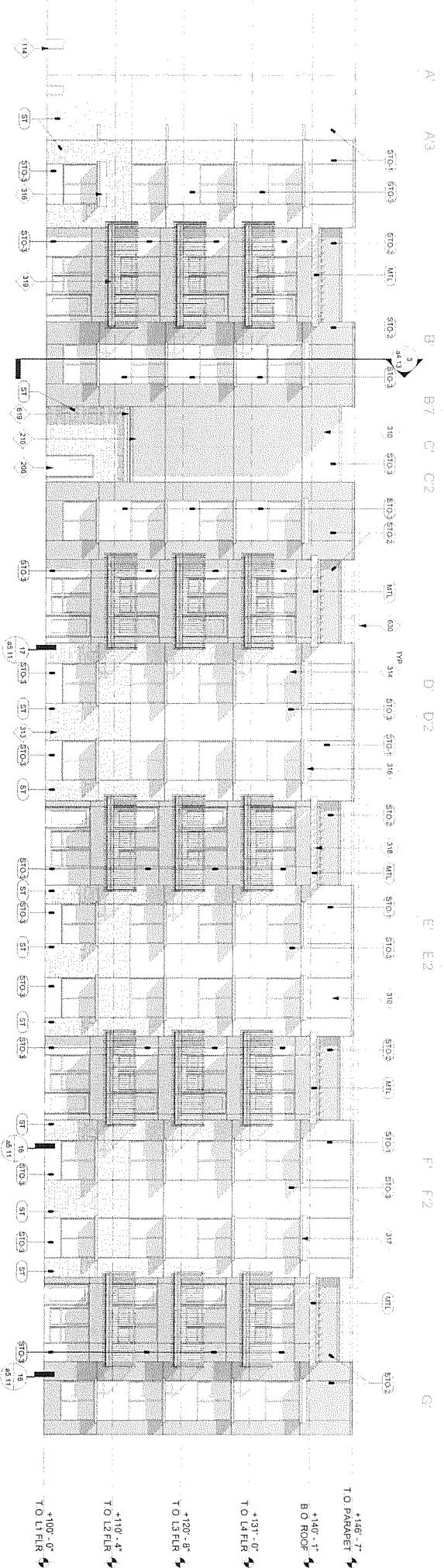


erstad ARCHITECTS, PA
310 N. 5th street, boise idaho 83702
phone: (208) 331-9031 fax: 331-9035 www.erstadarchitects.com

1 exterior elevation - west courtyard

$$1/5^+ = 1 \cdot 0^+$$


2 exterior elevation - north courtyard

$$1/8'' = 1'-0''$$


3 exterior elevation - south courtyard

$$1/8'' = 1'-0''$$

san roque

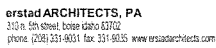
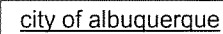
457 coors blvd. nw
albuquerque, new mexico 87121

The Department of the Interior, Bureau of Land Management, is the lead agency for the management of the public lands in the United States. The Department is responsible for the conservation and management of the public lands, and for the regulation of the use of these lands. The Department is also responsible for the regulation of the use of the public lands in the United States.

project: 200207
date: 06.11.2021
drawn: sq, mth
checked: bw

permit set

exterior
elevations



san roque
457 coors blvd. nw
albuquerque, new mexico 87121

```

project: 200207
date: 06.11.2021
drawn: sq,mt,dr
checked: bw

```

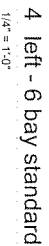
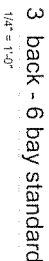
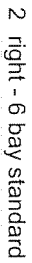
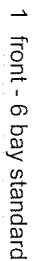
permit set

garage loft
exterior
elevations
a3.15a

exterior material schedule:

keynotes:

general notes:







erstad ARCHITECTS, PA
310 n 5th street, suite 400 albu 87102
phone: (206) 331-9031 fax: 331-9035 www.erstadarchitects.com



THIS DOCUMENT IS THE PROPERTY OF ERSTAD ARCHITECTS, PA. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ERSTAD ARCHITECTS, PA.

san roque

457 coors blvd. nw

albuquerque, new mexico 87121

revision	no	desc	date

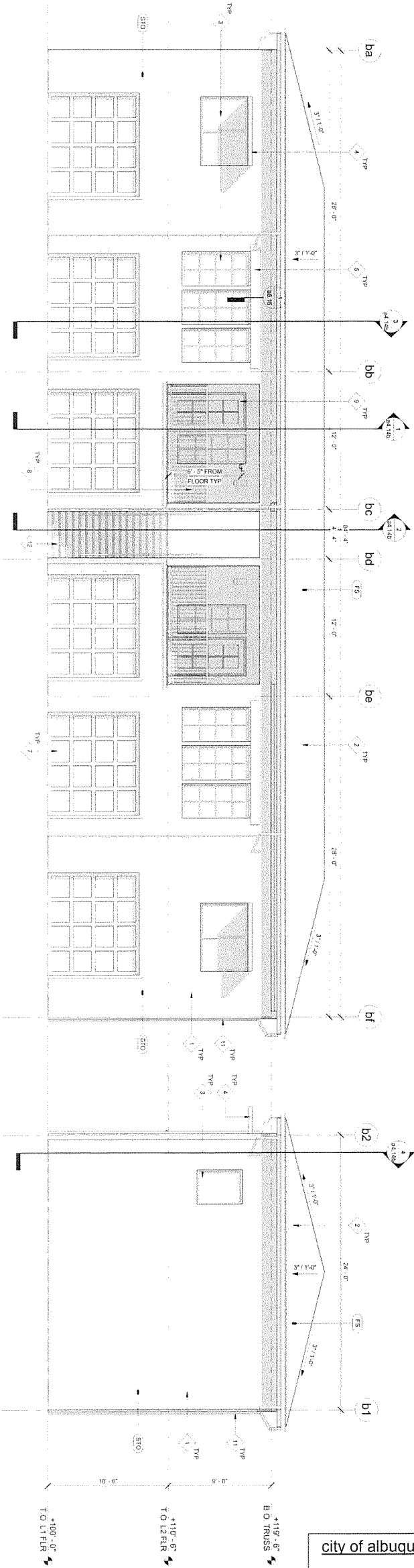
project 200207
date 06.11.2021
drawn 30.mil.ch
checked dw

permit set

garage loft
exterior
elevations

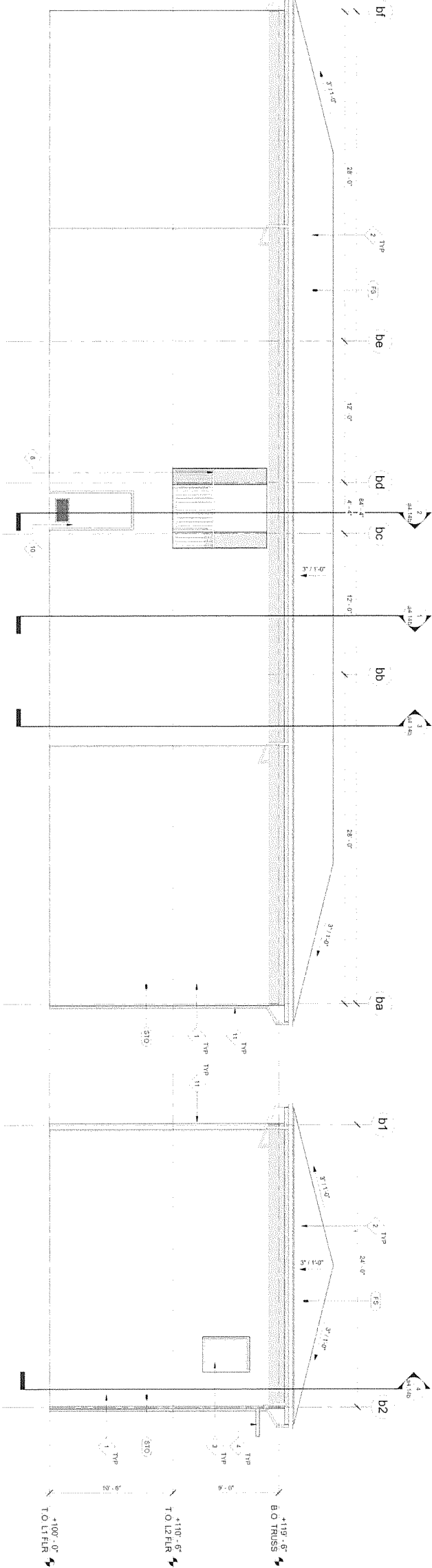
a3.15b

city of albuquerque



1 front - 6 bay ADA

2 right - 6 bay ADA



3 back - 6 bay ADA

4 left - 6 bay ADA

exterior material schedule:

FINISH	KEY	DESCRIPTION
STO-1		PRODUCT: STUCCO FINISH SAND FINISH COLOR: CO-COR 1 (WHITE)
FS		PRODUCT: 20 YR FIBERGLASS ROOF SHINGLES COLOR: TBD

keynotes:

1. STUCCO
2. FIBERGLASS SHINGLE ROOF
3. PAINT: INTERIOR: CO-COR 1 (WHITE) EXTERIOR: CO-COR 1 (WHITE)
4. 1/2" X 4" FIBER CEMENT TRIM BOARD ON 1/2" FIBERGLASS STRIP
5. 1/2" X 4" FIBER CEMENT TRIM BOARD ON 1/2" FIBERGLASS STRIP
6. NOT USED
7. SECTIONAL OPENING DOOR: PAINTED
8. SECTIONAL OPENING DOOR: PAINTED
9. FIBERGLASS DOORS @ JAIL PATIO: PAINTED
10. GUTTER: DOWNPOUTS
11. STAIRS
12. STAIRS

general notes:

- A. DO NOT SCALE MATCH PATTERNS FOR MATERIAL REPRESENTATION
- B. DO NOT SCALE MATCH PATTERNS FOR MATERIAL REPRESENTATION
- C. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- D. THROUGH WALLS, FLOORS AND ROOFS, AND ALONG OTHER SUCH OPENINGS
- E. INTO BUILDINGS SHALL BE SEALED, PAINTED, CASKETS OR
- F. FIBERGLASS DOORS @ JAIL PATIO: PAINTED
- G. GUTTER: DOWNPOUTS
- H. WHEN IN CLOSED POSITION





erstad ARCHITECTS, PA
310 n. 5th street, suite 400 | albuq 87102
phone: (505) 331-4001 | fax: (505) 331-4005 | www.erstadarchitects.com



THIS DOCUMENT IS THE PROPERTY OF ERSTAD ARCHITECTS, PA. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ERSTAD ARCHITECTS, PA. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

san roque
457 coors blvd. nw
albuquerque, new mexico 87121

revision

no

desc.

date

revision	no	desc.	date

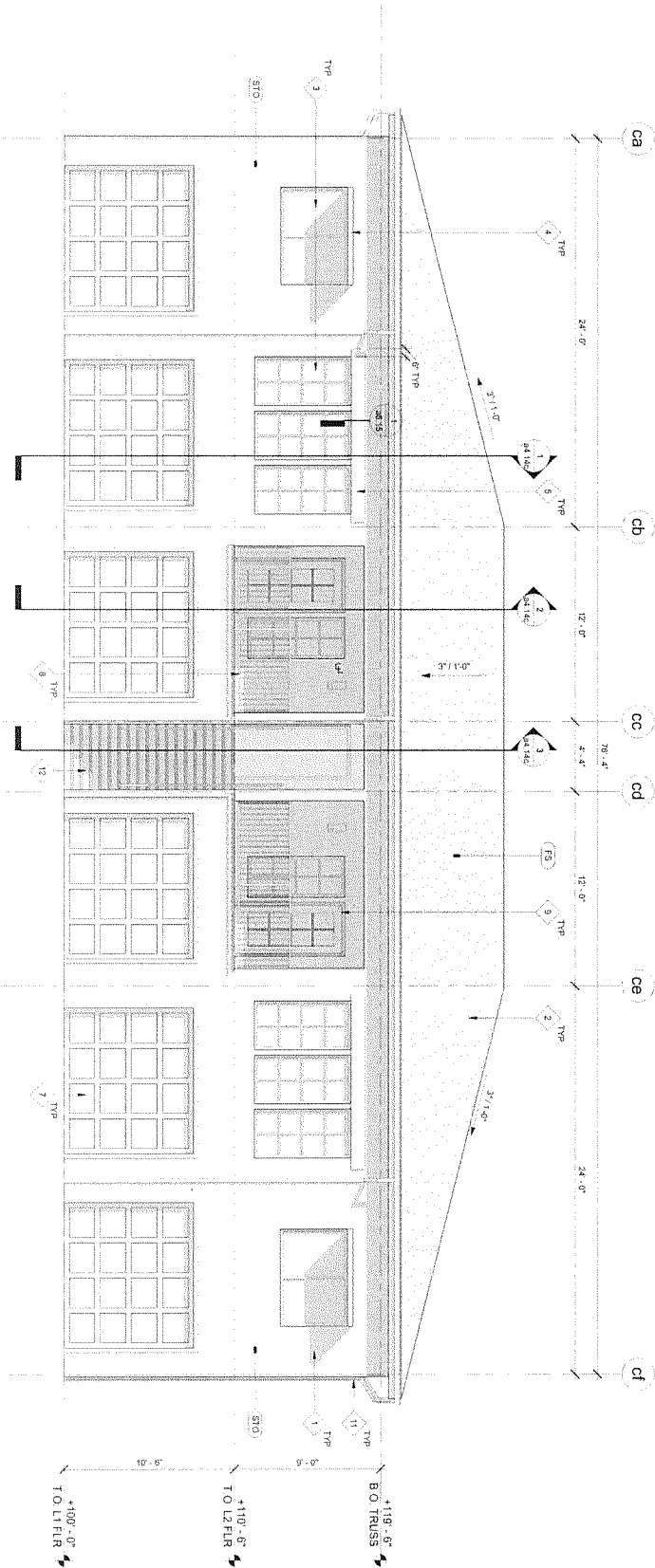
project: 200207
date: 06.11.2021
drawn: sqm,dl
checked: dw

permit set

garage loft
exterior
elevations

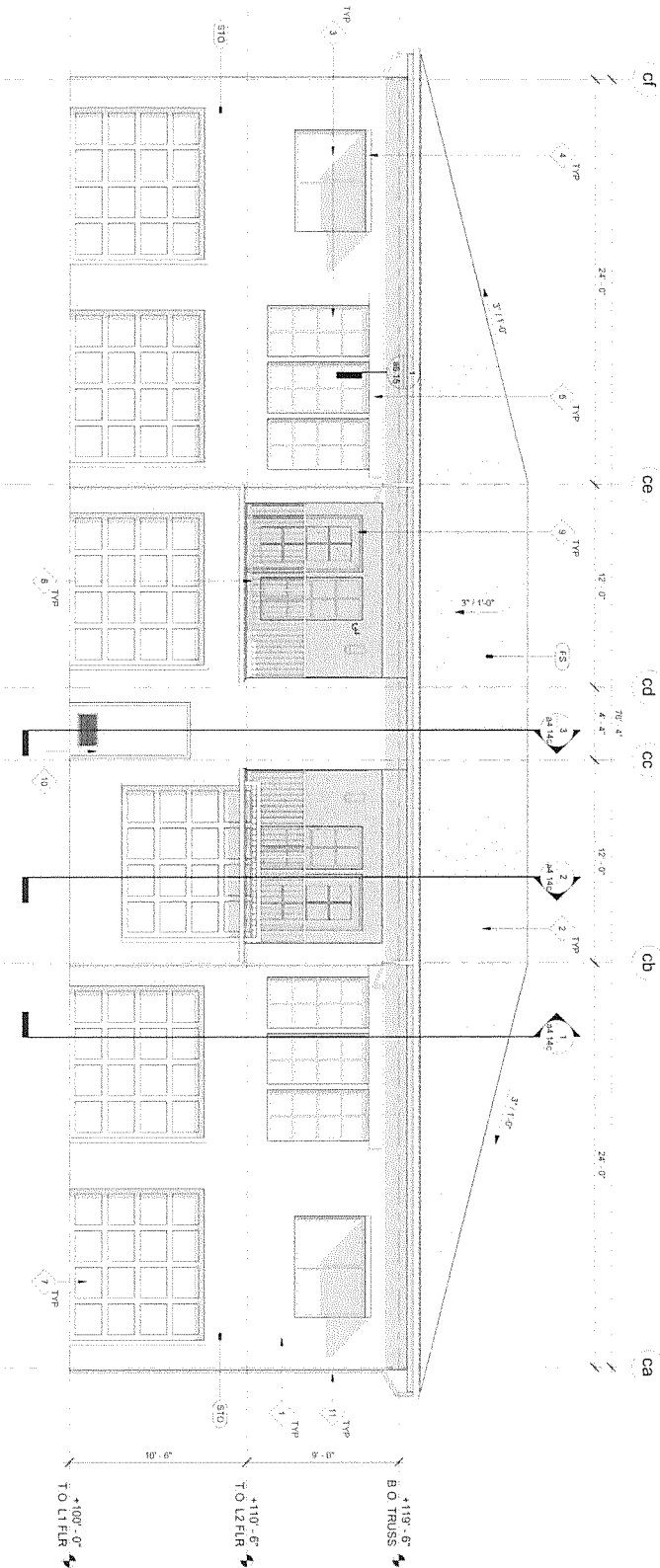
a3.15c

city of albuquerque



1 front - 12 bay standard

1/4" = 1'-0"



2 back - 12 bay standard

1/4" = 1'-0"

exterior material schedule:

FINISH	KEY	DESCRIPTION
STO-1		PAINT: EXTERIOR SURFACES: DARK FINISH
		COLOR: COLOR 11 WHITE
HS		PRODUCT: 2014 FIBERGLASS ROOF SHINGLES
		COLOR: TBO


keynotes:

1. STUCCO
2. FIBERGLASS SHINGLE ROOF
3. PAINT: EXTERIOR SURFACES: DARK FINISH
4. PAINT: EXTERIOR SURFACES: DARK FINISH
5. 12"x4" FIBER CEMENT TRIM BOARD ON 12" FLOORING STRIP
6. NOT USED
7. SECTIONAL GREENWOOD DOOR PAINTED
8. FIBERGLASS ROOF SHINGLES
9. FIBERGLASS ROOF SHINGLES
10. FIBERGLASS ROOF SHINGLES
11. FIBERGLASS ROOF SHINGLES
12. STUCCO

general notes:

- A. DO NOT SCALE: MATCH PATTERNS FOR MATERIAL REPRESENTATION
- B. PAINT: ALL EXTERIOR ROOF FINISHES TO MATCH ROOF
- C. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- D. THROUGH WALLS, FLOORS AND ROOFS AND ALL OTHER SUCH OPENINGS
- E. INTO BUILDINGS SHALL BE SEALED, CALLED, OR SEALED FOR
- F. FIBERGLASS ROOF SHINGLES
- G. FIBERGLASS ROOF SHINGLES
- H. FIBERGLASS ROOF SHINGLES
- I. FIBERGLASS ROOF SHINGLES
- J. FIBERGLASS ROOF SHINGLES
- K. FIBERGLASS ROOF SHINGLES
- L. FIBERGLASS ROOF SHINGLES





erstad ARCHITECTS, PA
310 N. 2th Street, Suite 4200 87102
phone: (505) 331-9031 fax: 331-9035 www.erstadarchitects.com



This document is the property of Erstad Architects, PA. It is to be used for the project and location only. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Erstad Architects, PA.

san roque
457 coors blvd. nw
albuquerque, new mexico 87121

revision	no	desc	date

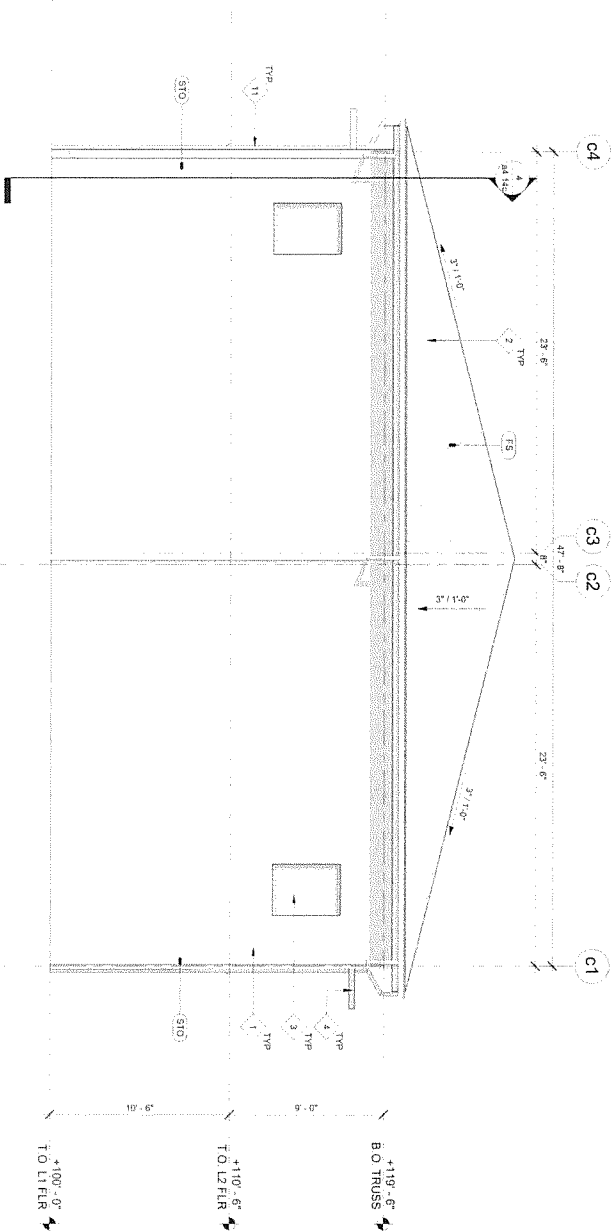
project: 200207
date: 06.11.2021
checked: scott, cw
dw

permit set

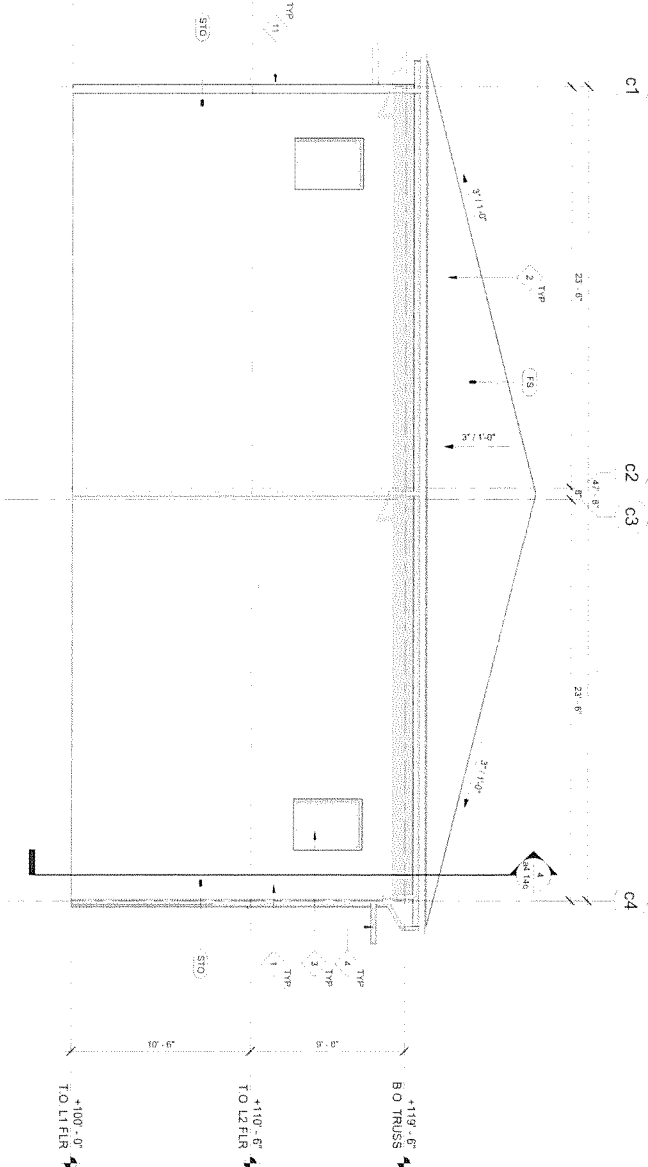
garage loft
exterior
elevations

a3.15d

city of albuquerque



1 right - 12 bay standard
1/4" = 1'-0"



2 left - 12 bay standard
1/4" = 1'-0"

exterior material schedule:

FINISH	KEY	DESCRIPTION
SID-1		PRODUCT 23/12 FIBERGLASS SIDING BOARD ON 1/2" FIBERGLASS STRIP
F.S.		PRODUCT 23/12 FIBERGLASS ROOF SHEATHING

keynotes:

1. FIBERGLASS SINGLE ROOF
2. VINYL WINDOW & DOOR FRAME FINISH
3. VINYL WINDOW & DOOR FRAME FINISH
4. 1/2" X 4" FIBERGLASS TRIM BOARD ON 1/2" FIBERGLASS STRIP
5. PAINTED
6. SECONDARY OVERHEAD DOOR PAINTED
7. SECONDARY OVERHEAD DOOR PAINTED
8. FIBERGLASS DOORS & UNIT PARTS PAINTED
9. PAINTED
10. PAINTED
11. PAINTED
12. STAIRS - CONCRETE

general notes:

- A. DO NOT SCALE HATCH PATTERNS FOR MATERIAL REPRESENTATION
- B. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF
- C. FINISH ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF
- D. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- E. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- F. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- G. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- H. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- I. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- J. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- K. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- L. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF





erstad ARCHITECTS, PA
310 N. 5th Street, Suite 420 • Albuquerque, NM 87102
phone: (505) 331-8031 fax: 331-8035 www.erstadarchitects.com

THIS DOCUMENT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ERSTAD ARCHITECTS, PA. THIS DOCUMENT MAY NOT BE USED FOR ANY OTHER PROJECT.

la serena
441 coors blvd. nw
albuquerque, new mexico

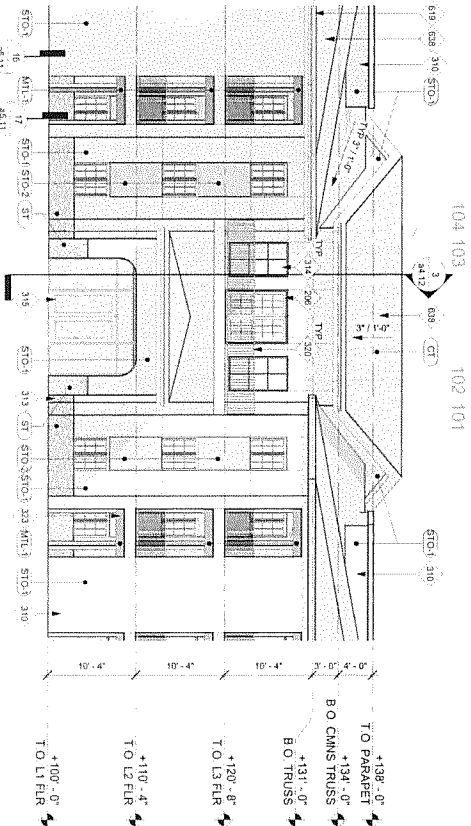
revision	no	date	description

project: 200405
date: 06.11.21
checked: JSA, b/w

permit set

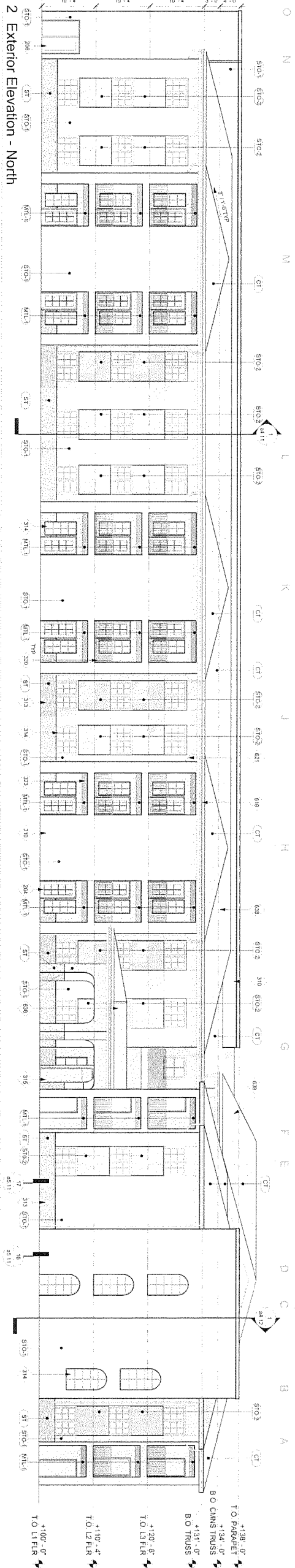
exterior
elevations
a3.16

city of albuquerque



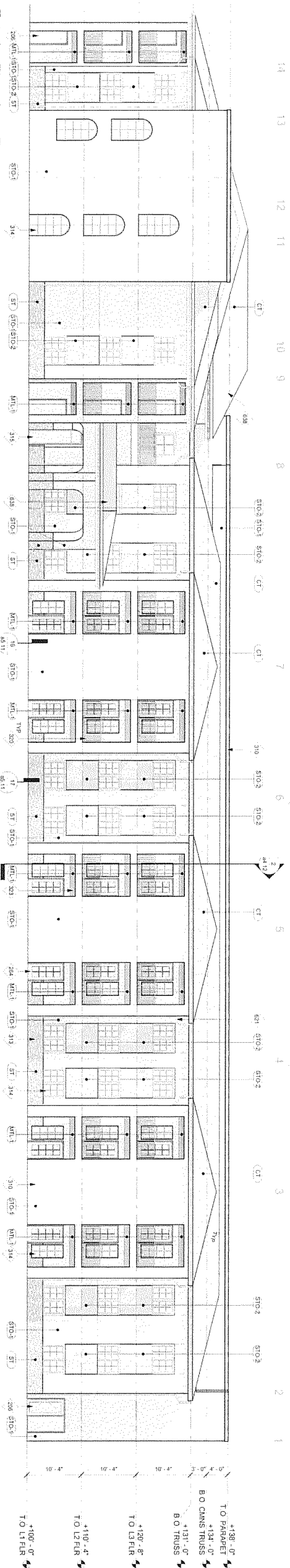
1 Exterior Elevation - Front Entry

1/8" = 1'-0"



2 Exterior Elevation - North

1/8" = 1'-0"



3 Exterior Elevation - East

1/8" = 1'-0"

exterior material schedule:

FINISH	KEY	DESCRIPTION
STO-1		PRODUCT COLORED SAND FINISH
STO-2		PRODUCT STUCCO SMOOTH SAND FINISH
ST		PRODUCT MANUFACTURED STONE VENEER
MTL-1		PRODUCT ALUMINUM KNOCKWOOD FRAMED BEAM
CT		PRODUCT STRAIGHT BARREL MISSION 14" CLAY TILE

keynotes

- 206 HANGROOF FRAME PAINTED
- 207 HANGROOF FRAME PAINTED
- 310 STUCCO
- 313 MANUFACTURED STONE VENEER
- 314 ALUMINUM KNOCKWOOD FRAMED BEAM
- 315 T & P PARAPET WALLING SYSTEM
- 320 ALUMINUM KNOCKWOOD FRAMED BEAM
- 323 DOWNPOUT TIP
- 629 TILE ROOF
- 639

general notes:

- A. SCALE: HATCH PATTERNS FOR MATERIAL REPRESENTATION
- B. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF
- C. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- D. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- E. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- F. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- G. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- H. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- I. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- J. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- K. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- L. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- M. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- N. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- O. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- P. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- Q. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- R. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- S. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- T. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- U. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- V. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- W. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- X. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- Y. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- Z. BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF

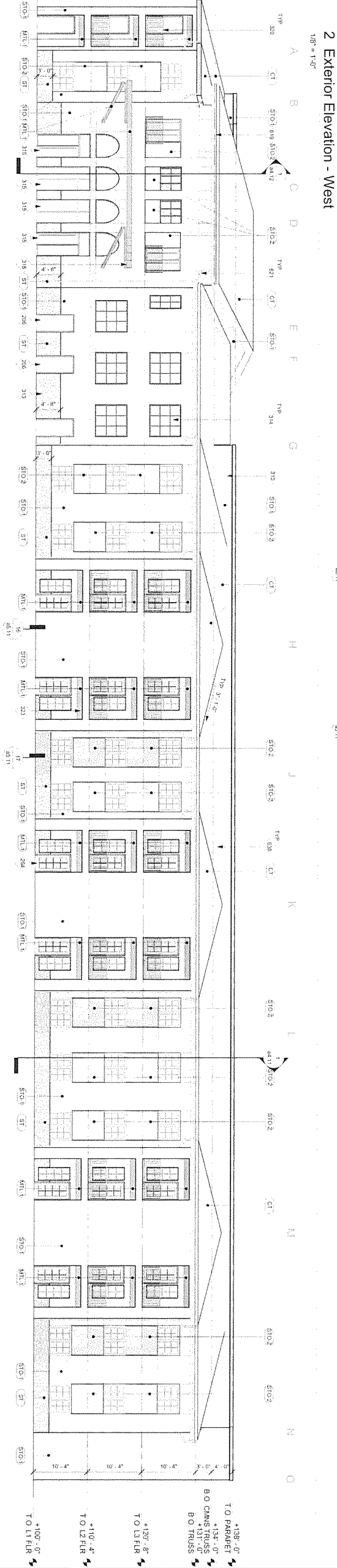
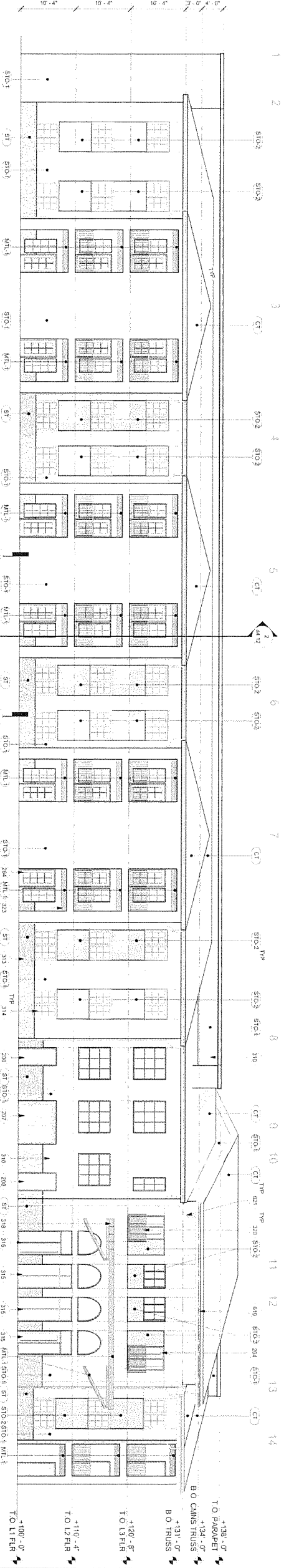
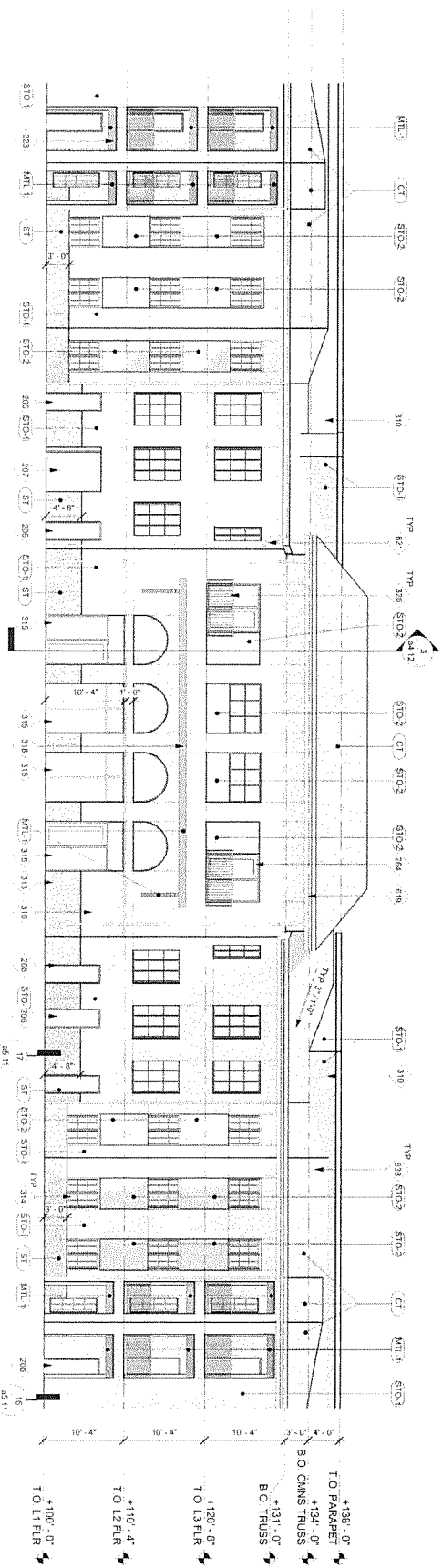




erstad ARCHITECTS, PA
310 N 5th Street, Suite 430
phone: (208) 331-8031 fax: 331-9035 www.erstadarchitects.com

This document is the property of Erstad Architects, P.A. and is not to be reproduced or used in any manner without the prior written consent of Erstad Architects, P.A. The information contained herein is confidential and may not be disclosed to any third party without the prior written consent of Erstad Architects, P.A.

city of albuquerque



exterior material schedule:		
FINISH	KEY	DESCRIPTION
STO-1		PRODUCT STUCCO SMOOTH SAND FINISH
STO-2		PRODUCT STUCCO SMOOTH SAND FINISH
ST		PRODUCT STUCCO SMOOTH SAND FINISH
ML-1		PRODUCT MANUFACTURED STONE VENEER
CT		PRODUCT STUCCO SMOOTH SAND FINISH

keynotes	
206	HAD DOOR FRAME PAINTED
207	GENERAL COORDINATION REPRESENTATION
208	STUCCO
209	MANUFACTURED STONE VENEER
210	ALUMINUM WINDOW FRAME BEAM
211	ALUMINUM WINDOW FRAME BEAM
212	ALUMINUM WINDOW FRAME BEAM
213	ALUMINUM WINDOW FRAME BEAM
214	ALUMINUM WINDOW FRAME BEAM
215	ALUMINUM WINDOW FRAME BEAM
216	ALUMINUM WINDOW FRAME BEAM
217	ALUMINUM WINDOW FRAME BEAM
218	ALUMINUM WINDOW FRAME BEAM
219	ALUMINUM WINDOW FRAME BEAM
220	ALUMINUM WINDOW FRAME BEAM
221	ALUMINUM WINDOW FRAME BEAM
222	ALUMINUM WINDOW FRAME BEAM
223	ALUMINUM WINDOW FRAME BEAM
224	ALUMINUM WINDOW FRAME BEAM
225	ALUMINUM WINDOW FRAME BEAM
226	ALUMINUM WINDOW FRAME BEAM
227	ALUMINUM WINDOW FRAME BEAM
228	ALUMINUM WINDOW FRAME BEAM
229	ALUMINUM WINDOW FRAME BEAM
230	ALUMINUM WINDOW FRAME BEAM
231	ALUMINUM WINDOW FRAME BEAM
232	ALUMINUM WINDOW FRAME BEAM
233	ALUMINUM WINDOW FRAME BEAM
234	ALUMINUM WINDOW FRAME BEAM
235	ALUMINUM WINDOW FRAME BEAM
236	ALUMINUM WINDOW FRAME BEAM
237	ALUMINUM WINDOW FRAME BEAM
238	ALUMINUM WINDOW FRAME BEAM
239	ALUMINUM WINDOW FRAME BEAM
240	ALUMINUM WINDOW FRAME BEAM
241	ALUMINUM WINDOW FRAME BEAM
242	ALUMINUM WINDOW FRAME BEAM
243	ALUMINUM WINDOW FRAME BEAM
244	ALUMINUM WINDOW FRAME BEAM
245	ALUMINUM WINDOW FRAME BEAM
246	ALUMINUM WINDOW FRAME BEAM
247	ALUMINUM WINDOW FRAME BEAM
248	ALUMINUM WINDOW FRAME BEAM
249	ALUMINUM WINDOW FRAME BEAM
250	ALUMINUM WINDOW FRAME BEAM
251	ALUMINUM WINDOW FRAME BEAM
252	ALUMINUM WINDOW FRAME BEAM
253	ALUMINUM WINDOW FRAME BEAM
254	ALUMINUM WINDOW FRAME BEAM
255	ALUMINUM WINDOW FRAME BEAM
256	ALUMINUM WINDOW FRAME BEAM
257	ALUMINUM WINDOW FRAME BEAM
258	ALUMINUM WINDOW FRAME BEAM
259	ALUMINUM WINDOW FRAME BEAM
260	ALUMINUM WINDOW FRAME BEAM
261	ALUMINUM WINDOW FRAME BEAM
262	ALUMINUM WINDOW FRAME BEAM
263	ALUMINUM WINDOW FRAME BEAM
264	ALUMINUM WINDOW FRAME BEAM
265	ALUMINUM WINDOW FRAME BEAM
266	ALUMINUM WINDOW FRAME BEAM
267	ALUMINUM WINDOW FRAME BEAM
268	ALUMINUM WINDOW FRAME BEAM
269	ALUMINUM WINDOW FRAME BEAM
270	ALUMINUM WINDOW FRAME BEAM
271	ALUMINUM WINDOW FRAME BEAM
272	ALUMINUM WINDOW FRAME BEAM
273	ALUMINUM WINDOW FRAME BEAM
274	ALUMINUM WINDOW FRAME BEAM
275	ALUMINUM WINDOW FRAME BEAM
276	ALUMINUM WINDOW FRAME BEAM
277	ALUMINUM WINDOW FRAME BEAM
278	ALUMINUM WINDOW FRAME BEAM
279	ALUMINUM WINDOW FRAME BEAM
280	ALUMINUM WINDOW FRAME BEAM
281	ALUMINUM WINDOW FRAME BEAM
282	ALUMINUM WINDOW FRAME BEAM
283	ALUMINUM WINDOW FRAME BEAM
284	ALUMINUM WINDOW FRAME BEAM
285	ALUMINUM WINDOW FRAME BEAM
286	ALUMINUM WINDOW FRAME BEAM
287	ALUMINUM WINDOW FRAME BEAM
288	ALUMINUM WINDOW FRAME BEAM
289	ALUMINUM WINDOW FRAME BEAM
290	ALUMINUM WINDOW FRAME BEAM
291	ALUMINUM WINDOW FRAME BEAM
292	ALUMINUM WINDOW FRAME BEAM
293	ALUMINUM WINDOW FRAME BEAM
294	ALUMINUM WINDOW FRAME BEAM
295	ALUMINUM WINDOW FRAME BEAM
296	ALUMINUM WINDOW FRAME BEAM
297	ALUMINUM WINDOW FRAME BEAM
298	ALUMINUM WINDOW FRAME BEAM
299	ALUMINUM WINDOW FRAME BEAM
300	ALUMINUM WINDOW FRAME BEAM
301	ALUMINUM WINDOW FRAME BEAM
302	ALUMINUM WINDOW FRAME BEAM
303	ALUMINUM WINDOW FRAME BEAM
304	ALUMINUM WINDOW FRAME BEAM
305	ALUMINUM WINDOW FRAME BEAM
306	ALUMINUM WINDOW FRAME BEAM
307	ALUMINUM WINDOW FRAME BEAM
308	ALUMINUM WINDOW FRAME BEAM
309	ALUMINUM WINDOW FRAME BEAM
310	ALUMINUM WINDOW FRAME BEAM
311	ALUMINUM WINDOW FRAME BEAM
312	ALUMINUM WINDOW FRAME BEAM
313	ALUMINUM WINDOW FRAME BEAM
314	ALUMINUM WINDOW FRAME BEAM
315	ALUMINUM WINDOW FRAME BEAM
316	ALUMINUM WINDOW FRAME BEAM
317	ALUMINUM WINDOW FRAME BEAM
318	ALUMINUM WINDOW FRAME BEAM
319	ALUMINUM WINDOW FRAME BEAM
320	ALUMINUM WINDOW FRAME BEAM
321	ALUMINUM WINDOW FRAME BEAM
322	ALUMINUM WINDOW FRAME BEAM
323	ALUMINUM WINDOW FRAME BEAM
324	ALUMINUM WINDOW FRAME BEAM
325	ALUMINUM WINDOW FRAME BEAM
326	ALUMINUM WINDOW FRAME BEAM
327	ALUMINUM WINDOW FRAME BEAM
328	ALUMINUM WINDOW FRAME BEAM
329	ALUMINUM WINDOW FRAME BEAM
330	ALUMINUM WINDOW FRAME BEAM
331	ALUMINUM WINDOW FRAME BEAM
332	ALUMINUM WINDOW FRAME BEAM
333	ALUMINUM WINDOW FRAME BEAM
334	ALUMINUM WINDOW FRAME BEAM
335	ALUMINUM WINDOW FRAME BEAM
336	ALUMINUM WINDOW FRAME BEAM
337	ALUMINUM WINDOW FRAME BEAM
338	ALUMINUM WINDOW FRAME BEAM
339	ALUMINUM WINDOW FRAME BEAM
340	ALUMINUM WINDOW FRAME BEAM
341	ALUMINUM WINDOW FRAME BEAM
342	ALUMINUM WINDOW FRAME BEAM
343	ALUMINUM WINDOW FRAME BEAM
344	ALUMINUM WINDOW FRAME BEAM
345	ALUMINUM WINDOW FRAME BEAM
346	ALUMINUM WINDOW FRAME BEAM
347	ALUMINUM WINDOW FRAME BEAM
348	ALUMINUM WINDOW FRAME BEAM
349	ALUMINUM WINDOW FRAME BEAM
350	ALUMINUM WINDOW FRAME BEAM
351	ALUMINUM WINDOW FRAME BEAM
352	ALUMINUM WINDOW FRAME BEAM
353	ALUMINUM WINDOW FRAME BEAM
354	ALUMINUM WINDOW FRAME BEAM
355	ALUMINUM WINDOW FRAME BEAM
356	ALUMINUM WINDOW FRAME BEAM
357	ALUMINUM WINDOW FRAME BEAM
358	ALUMINUM WINDOW FRAME BEAM
359	ALUMINUM WINDOW FRAME BEAM
360	ALUMINUM WINDOW FRAME BEAM
361	ALUMINUM WINDOW FRAME BEAM
362	ALUMINUM WINDOW FRAME BEAM
363	ALUMINUM WINDOW FRAME BEAM
364	ALUMINUM WINDOW FRAME BEAM
365	ALUMINUM WINDOW FRAME BEAM
366	ALUMINUM WINDOW FRAME BEAM
367	ALUMINUM WINDOW FRAME BEAM
368	ALUMINUM WINDOW FRAME BEAM
369	ALUMINUM WINDOW FRAME BEAM
370	ALUMINUM WINDOW FRAME BEAM
371	ALUMINUM WINDOW FRAME BEAM
372	ALUMINUM WINDOW FRAME BEAM
373	ALUMINUM WINDOW FRAME BEAM
374	ALUMINUM WINDOW FRAME BEAM
375	ALUMINUM WINDOW FRAME BEAM
376	ALUMINUM WINDOW FRAME BEAM
377	ALUMINUM WINDOW FRAME BEAM
378	ALUMINUM WINDOW FRAME BEAM
379	ALUMINUM WINDOW FRAME BEAM
380	ALUMINUM WINDOW FRAME BEAM
381	ALUMINUM WINDOW FRAME BEAM
382	ALUMINUM WINDOW FRAME BEAM
383	ALUMINUM WINDOW FRAME BEAM
384	ALUMINUM WINDOW FRAME BEAM
385	ALUMINUM WINDOW FRAME BEAM
386	ALUMINUM WINDOW FRAME BEAM
387	ALUMINUM WINDOW FRAME BEAM
388	ALUMINUM WINDOW FRAME BEAM
389	ALUMINUM WINDOW FRAME BEAM
390	ALUMINUM WINDOW FRAME BEAM
391	ALUMINUM WINDOW FRAME BEAM
392	ALUMINUM WINDOW FRAME BEAM
393	ALUMINUM WINDOW FRAME BEAM
394	ALUMINUM WINDOW FRAME BEAM
395	ALUMINUM WINDOW FRAME BEAM
396	ALUMINUM WINDOW FRAME BEAM
397	ALUMINUM WINDOW FRAME BEAM
398	ALUMINUM WINDOW FRAME BEAM
399	ALUMINUM WINDOW FRAME BEAM
400	ALUMINUM WINDOW FRAME BEAM

general notes:

DO NOT SCALE HATCH PATTERNS FOR MATERIAL REPRESENTATION

A. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH

B. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH

C. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH

D. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH

E. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH

F. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH

G. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH

H. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH

I. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH

J. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH

K. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH

L. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH

M. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH

N. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH

O. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF FINISH


exterior elevations
a3.17

permit set

revision	no	desc	date

la serena
441 coors blvd. nw
albuquerque, new mexico





erstad ARCHITECTS, PA
312 n. 5th street, boise idaho 83702
phone: (208) 331-9551 fax: 331-9555 www.erstadarchitects.com



THIS DOCUMENT IS THE PROPERTY OF ERSTAD ARCHITECTS, PA and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Erstad Architects, PA. This document is published for informational purposes only and is not to be used for any other purpose without the prior written permission of Erstad Architects, PA.

la serena
441 coors blvd. nw
albuquerque, new mexico

revision		
no	desc	date

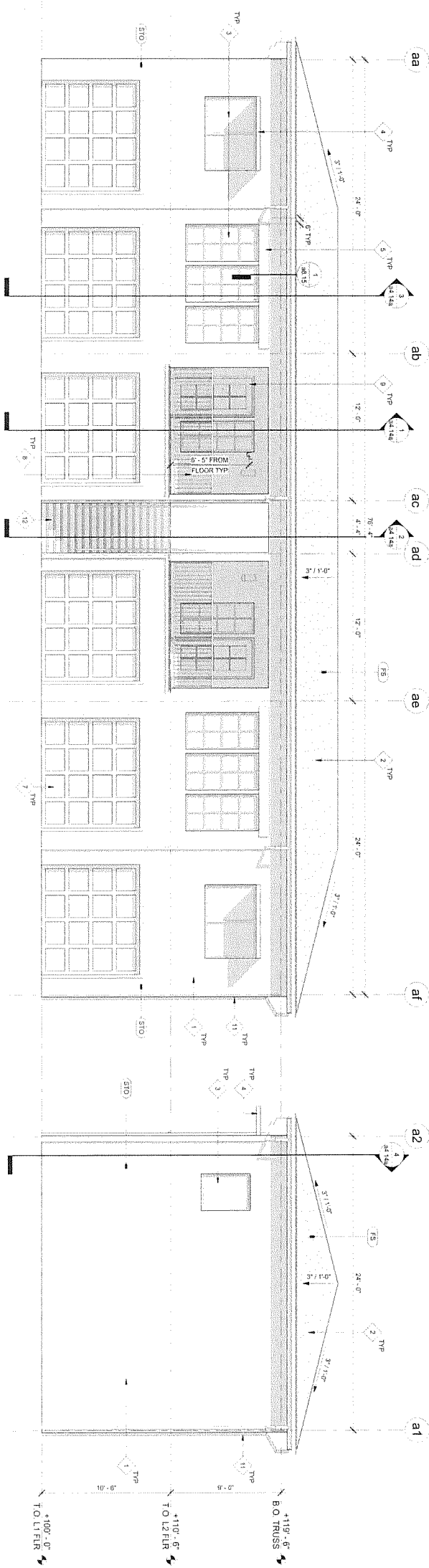
project: 200405
date: 06.11.21
drawn: Author
checked: Checker

permit set

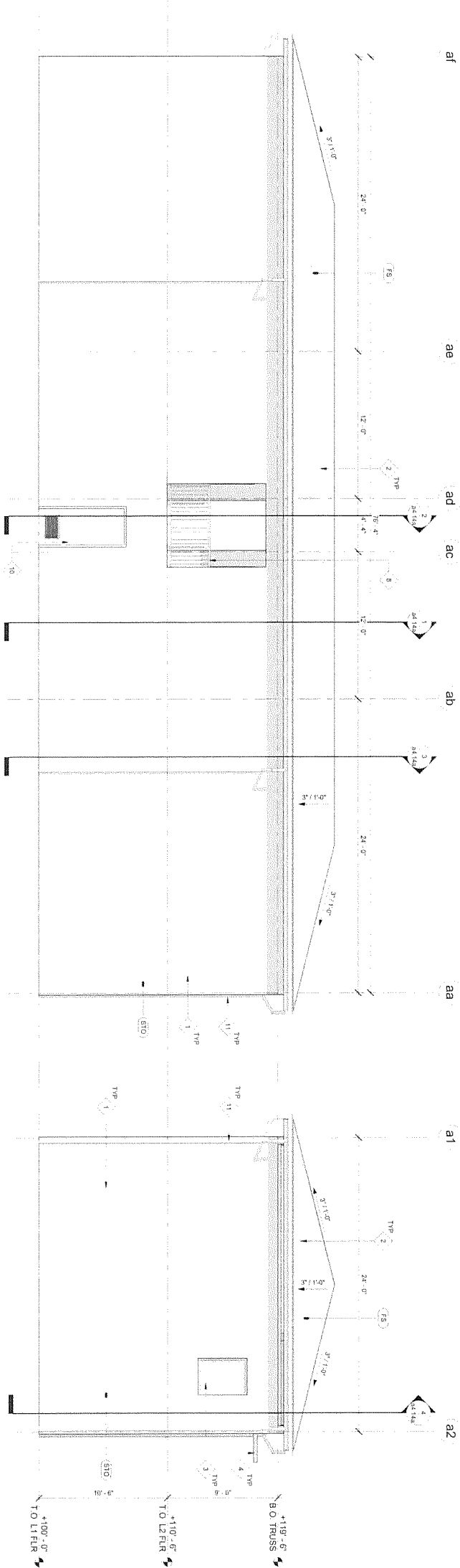
garage loft
exterior
elevations

a3.18a

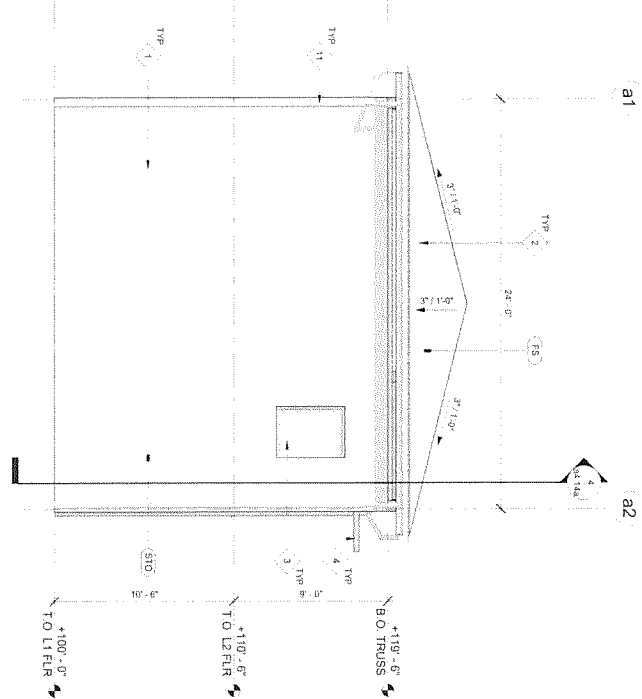
city of albuquerque



1 front - 6 bay standard
1/4" = 1'-0"



2 right - 6 bay standard
1/4" = 1'-0"



4 left - 6 bay standard
1/4" = 1'-0"

3 back - 6 bay standard
1/4" = 1'-0"

exterior material schedule:

FINISH	KEY	DESCRIPTION
STO-1		PRODUCT: STUCCO SMOOTH SAND FINISH COLOR: COLOR 1 (WHITE)
FS		PRODUCT: 20 YR. FIBERGLASS ROOF SHINGLES COLOR: TBD

keynotes:

- STUCCO
- FIBERGLASS SHINGLE ROOF
- PREPARED ALUMINUM SILLING
- PREPARED ALUMINUM SILLING
- PREPARED ALUMINUM SILLING
- PREPARED ALUMINUM SILLING
- PREPARED ALUMINUM SILLING
- PREPARED ALUMINUM SILLING
- PREPARED ALUMINUM SILLING
- PREPARED ALUMINUM SILLING
- PREPARED ALUMINUM SILLING
- PREPARED ALUMINUM SILLING
- PREPARED ALUMINUM SILLING

general notes:

- DO NOT SCALE MATCH PATTERNS FOR MATERIAL REPRESENTATION
- ONLY ALL EXTERIOR ROOF PROJECTIONS TO MATCH ROOF
- EXTERIOR SCENTS AROUND WINDOW AND DOOR FRAMES OPENINGS
- BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF
- THROUGH WALLS, FLOORS AND ROOFS, AND ALL OTHER SUCH OPENINGS
- WATERPROOFING TO BE DONE AROUND ALL OPENINGS AND PERIMETER
- WHEN IN CLOSED POSITION



la serena
441 coors blvd. nw
albuquerque, new mexico

garage loft
exterior
elevations

3.180

DO NOT SCALE HATCH PATTERNS FOR MATERIAL REPRESENTATION.

ONLY

PARTIAL EXPOSED ROOF PENETRATIONS TO MATCH ROOF
EXTENSION JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS
BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF,
BETWEEN WALLS AND PANELS, AT PENETRATIONS OF UTILITY SERVICE
THROUGH WALLS, FLOORS, AND ROOFS, AND ALL OTHER SUCH OPEN-
INGS THROUGH PENETRATIONS SHALL BE SEALED CALLED CASSETTED OR
WEATHERSTRIPPED TO PLUMB AIR LEAKAGE AROUND THEM PERMANENTLY.