

VICINITY MAP
MAP NO. G-16-Z GRAPHIC SCALE

SITE DATA

Address: 3300 VASSAR DRIVE NE ALBUQUERQUE NM 87107
 Legal Description: THE SOUTH 100 FEET OF THE NORTH 330 FEET OF WEST 1/2 OF TRACT J OF COLE'S INDUSTRIAL SUBDIVISION #2 (Mortuary) Conditional Use # VA-2021-00134.
 Acres: 0.3948
 Current Zoning: NR-LM
 Proposed Zoning: NR-SU
 Building Square Footage:
 -Mortuary & Admin: 10,000
 -Crematorium: 2,500
 12,500 sq. ft.

Parking and Loading

Required Spaces: 12 Spaces
 Mortuary - 1 Space / 1,000 sq. ft. GFA or 1 space/ 4 seats in main assembly area, whichever is greater. = 10,000 sq. ft. / 1,000 = 10
 Crematorium - 1 Space / 1,000 sq. ft. GFA. = 2,500 sq. ft. / 1,000 = +2.5
 Existing Spaces Provided: 14 Spaces
 Required: 12
 Required ADA Space: 1 Space
 Provided ADA Space: 1 Space

PROJECT NUMBER: 2021-005426
 Application Number: SI-2021-00185

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

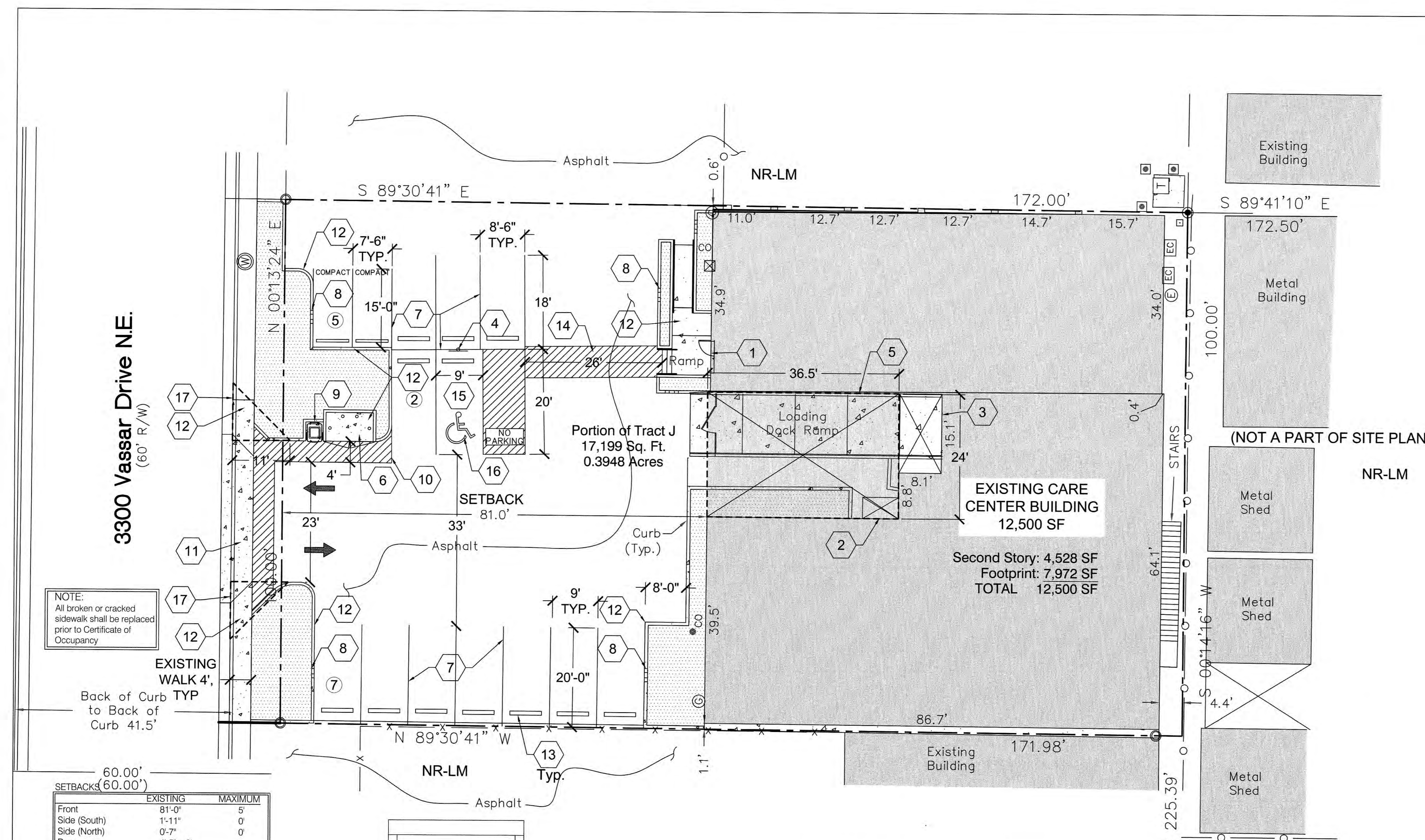
<i>Jeanne Wolfenbarger</i>	Jun 6, 2022
Traffic Engineering, Transportation Division	Date
<i>Blaine Carter</i>	Jun 7, 2022
ABQWVA	Date
<i>Chris Bump</i>	Jun 7, 2022
Parks and Recreation Department	Date
<i>Ernest Armijo</i>	Jun 6, 2022
City Engineer/Hydrology	Date
<i>Al Plan</i>	Jun 6, 2022
Code Enforcement	Date

*Environmental Health Department (conditional)	Date
Herman Gallegos <i>Herman Gallegos</i>	05-16-22
Solid Waste Management	Date
<i>[Signature]</i>	Jun 8, 2022
DRB Chairperson, Planning Department	Date

**CARE CENTER (MORTUARY & CREMATORIUM)
3300 VASSAR DRIVE NE
SITE PLAN**

Prepared For: SMI - ABQ Assets, LLC
1000 Louisiana St., Suite 400
Houston, TX 77002-5005

Prepared By: Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM, 87102



NOTE:
All broken or cracked sidewalk shall be replaced prior to Certificate of Occupancy

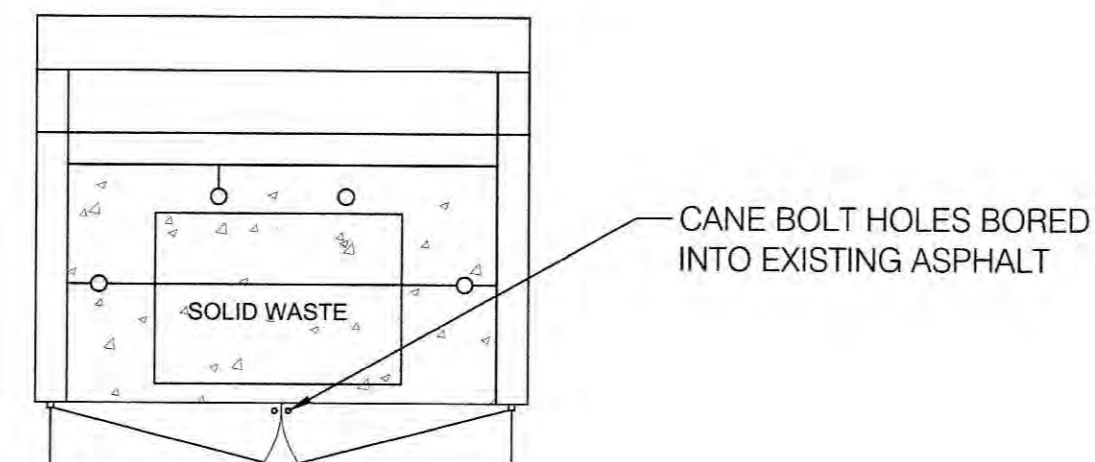
	EXISTING	MAXIMUM
Front	81'-0"	5'
Side (South)	1'-11"	0'
Side (North)	0'-7"	0'
Rear	4'-5"	0'

KEY NOTES

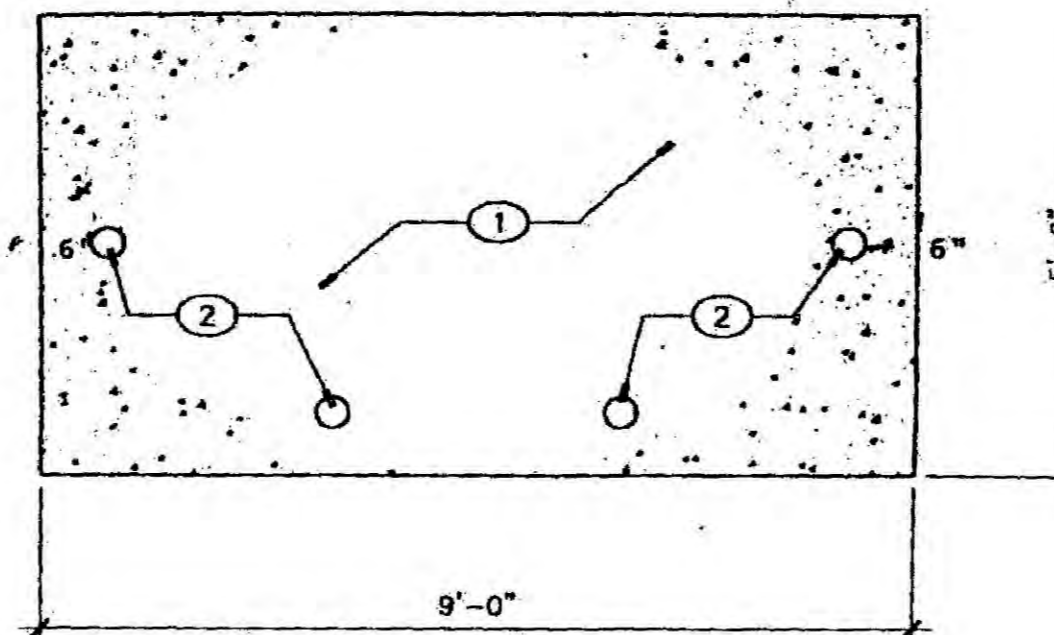
- Public Entrance
- Staff Entrance
- Deliveries
- Relocated ADA Sign, see detail 2/L500
- Porte Cochere / Porch Cover: 876 SF.
- New Refuse Enclosure
- Updated Parking Dimensions, TYP.
- Curb Cut; Location Shall be Made in Response to Best Placement in the Field as Parking / Site Grading Allows
- Recycle Bin Nook
- New Traffic Grade Striping
- New Concrete Drive Pad, per COA Standard DWG. 2425B. (with 4' ADA Striped Crossing along Property Line)
- New Concrete Curb, ADA Ramp and Sidewalk
- Relocated Parking Bumper, see detail 4/L500
- 6' wide ADA Cross Walk, Painted with Traffic Grade Paint
- Van Accessible Parking space, see detail 1/L500
- Universal Accessible parking symbol, see detail 3/L500
- Site Triangle

GENERAL NOTES:

- No new site lighting is included.
- Existing signage on building will be updated.
- No utility changes.
- Mini site triangle (11' on each side starting at back of sidewalk and then extending to flow line of curb per development process manual figure 7.4.94) For illustrative purposes only.
- Landscaping, signage, walls fences, trees and shrubbery between 3' and 8' tall (as measured from the gutter pan) are not allowed within the clear site triangle.



1 REFUSE ENCLOSURE CONCRETE PAD SCALE: 1/4"=1'-0"



2 REFUSE ENCLOSURE CONCRETE PAD SCALE: N.T.S.

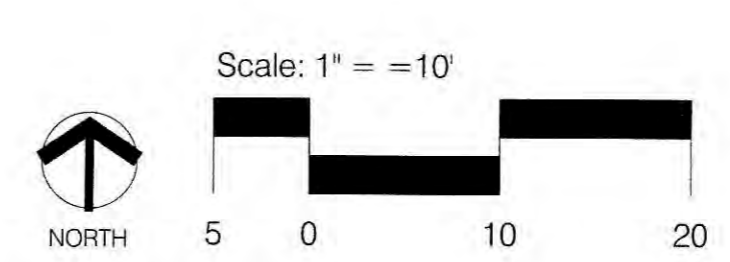
- KEYED NOTES:**
- CONCRETE SLAB: 4" THICK 3,000 PSI (28 DAYS) WITH AGGREGATE AND 4X4X1.4X1.4 WWF.
 - 4" O.D. STEEL PIPE FILLED WITH CONCRETE AND ENCASED IN A 6" THICK CONCRETE MINIMUM ALL AROUND BELOW GRADE. CONCRETE TO BE A MINIMUM 30" BELOW GRADE AND POSTS TO BE ABOVE SLAB.

NOTE: ADDITIONAL INFORMATION CONCERNING THESE SPECIFICATIONS MAY BE OBTAINED BY CALLING THE SOLID WASTE MANAGEMENT DEPARTMENT @ 761-8100.

Dimensional Standards Analysis for 3300 Vassar - As Built Conditions per the NR-LM Standards IDO Table 5-1-3:

Standard	Required	Provided
Front Setback	5 Feet Minimum No Maximum (N/A)	81 Feet
Side Setback	0 Feet	1.1 Feet (south), and 6 Feet (north)
Rear Setback	0 Feet	4.4 Feet
Height	65 Feet Maximum	Approximately - 28 Feet 8 Inches

Approved for access by the Solid Waste Department for a single trash enclosure
Herman Gallegos 05-16-22 *Herman Gallegos*



PROJECT TITLE

ACC VASSAR

ALBUQUERQUE, NEW MEXICO

REVISIONS:

NO.	DATE	DESCRIPTION

MK DATE DESCRIPTION
DRAWN BY: NCA CHECKED BY: LR

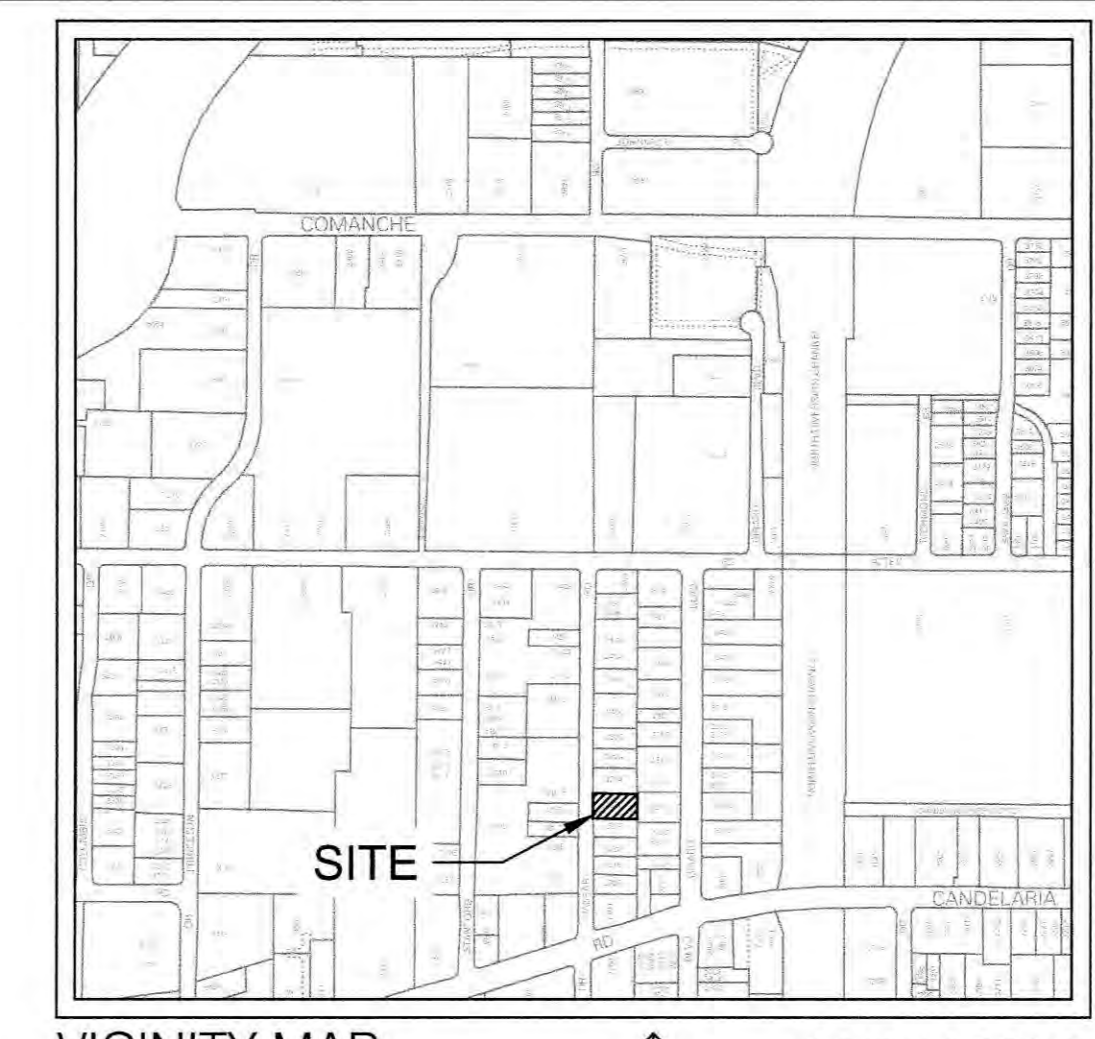
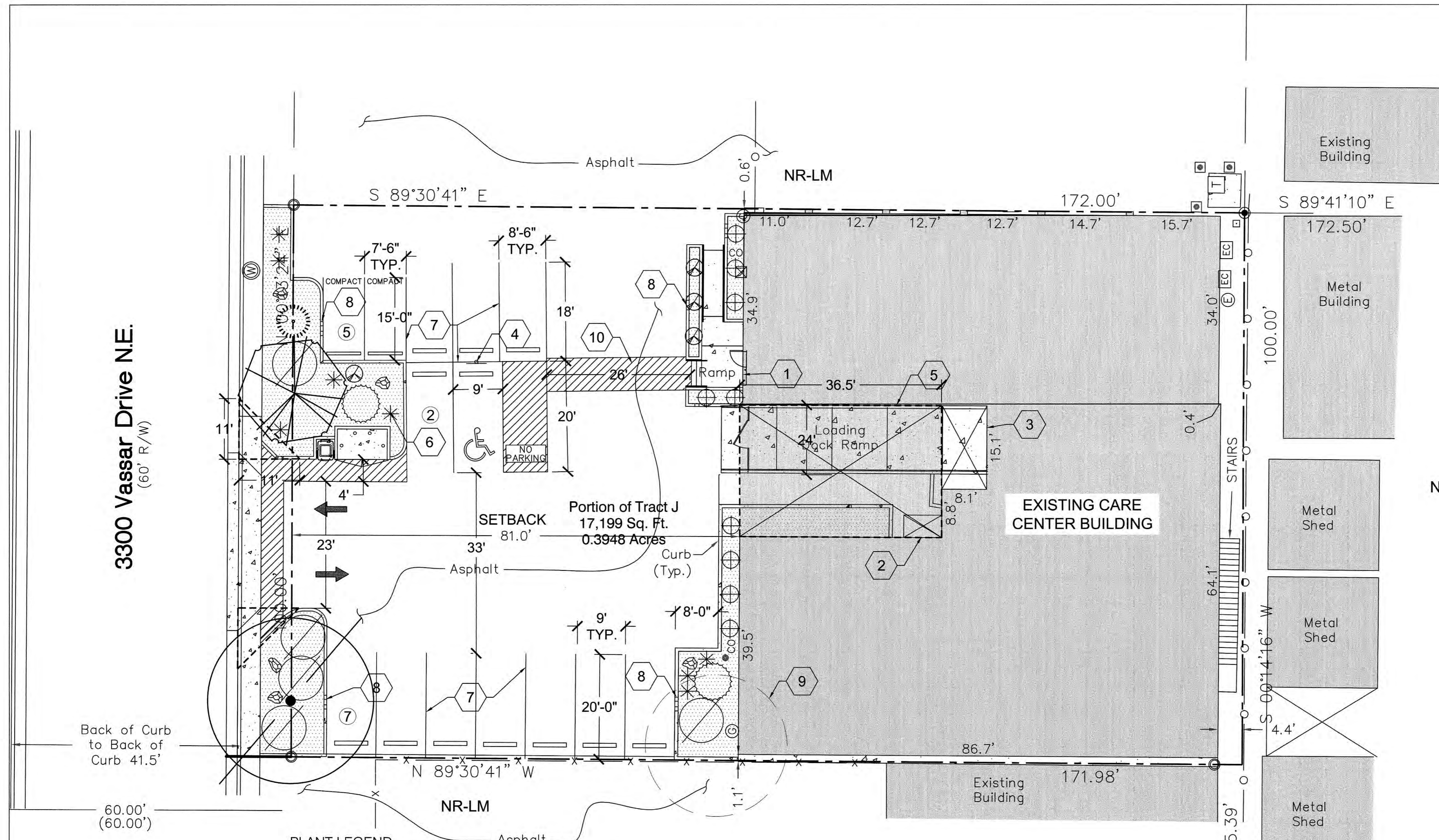
PROJECT NUMBER:
A22.09

DATE:
MARCH 2022

SHEET TITLE:

SITE PLAN

SHEET NO.:



VICINITY MAP
MAP NO. G-16-Z
GRAPHIC SCALE

GENERAL LANDSCAPE NOTES
LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH CRUSHER FINES, 3/4" GRAY ROCK MULCH, 1"-3" ROCK MULCH, OR SIMILAR MATERIAL. CONCRETE HEADERS SHALL BE PROVIDED TO SEPARATE TURF AREAS FROM PLANTING AREAS.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
NO HIGH WATER USE TURF IS PERMITTED. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING
SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

PLANT LEGEND

QTY	SYMBOL	SCIENTIFIC NAME (WATER USE)	COMMON NAME	SIZE	MATURE SIZE
TREES					
1		PISTACIA CHINENSIS (M+)	CHINESE PISTACHE	2.5' B&B	40' HT. X 30' SPR.
1		CELTIS RETICULATA (LOW)	NET LEAF HACKBERRY	2.5' B&B	25' HT X 25' SPR.
SHRUBS					
4		CHAMAEBATIARIA MILLEFOLIUM (L+)	FERNBUSH	5-GAL	PER PLAN 5' HT. X 5' SPR.
5		JUNIPERUS SABINA 'BUFFALO' (L+)	BUFFALO JUNIPER (Female only)	5-GAL	PER PLAN 12' HT X 10' SPR.
1		PINUS MUGO VAR. PUMILIO (M)	DWARF MUGO PINE	5-GAL	PER PLAN 5' HT X 6' SPR.
9		SALVIA GREGGII 'FERMAN'S RED' (L+)	FERMAN'S RED AUTUMN SAGE	5-GAL	PER PLAN 2 HT X 3' SPR.
2		SPARTIUM JUNCEUM (M)	SPANISH BROOM	5-GAL	PER PLAN 8' HT X 8' SPR.
8		HESPERALOE PARVIFLORA (L)	RED YUCCA	5-GAL	PER PLAN 3' HT. X 3' SPR.
MULCHES AND BOULDERS					
5		AMARETTO BROWN CRUSHER FINES	(3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)	1,411 SF	

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA: (AREA NOT INCLUDING BUILDING)	9,227 SF (.21 AC)
NET AREA	9,227 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	1,384 SF
PROVIDED LANDSCAPE AREA	1,411 SF (16%)

LANDSCAPE LIVE VEGETATIVE COVERAGE:
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE OF THE REQUIRED LANDSCAPE AREA. A MINIMUM OF 25% COVERAGE OF THE TOTAL LANDSCAPED AREA SHALL BE ACHIEVED BY GROUND-LEVEL PLANTS.

PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE: 2,175- SF (154% OF LS AREA)
PROVIDED GROUND COVERAGE: 722- SF (33% OF LS AREA)

PARKING LOT TREES
THE PROJECT IS PROVIDING 14 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 1
PARKING LOT TREES PROVIDED: 2

STREET TREES
VASSAR IS A LOCAL STREET.

STREET TREES REQUIRED: 0
STREET TREES PROVIDED: 2

- KEY NOTES**
- Public Entrance
 - Staff Entrance
 - Deliveries
 - Relocated ADA Sign
 - Porte Cochere / Porch Cover: less than 1,000 SF.
 - New Refuse Enclosure
 - Updated Parking Dimensions, TYP.
 - Curb cut, placement shall be made in response to best placement in the field as parking grading allows
 - Existing Evergreen Trees to Remain
 - 6' wide ADA cross walk, painted with traffic grade paint

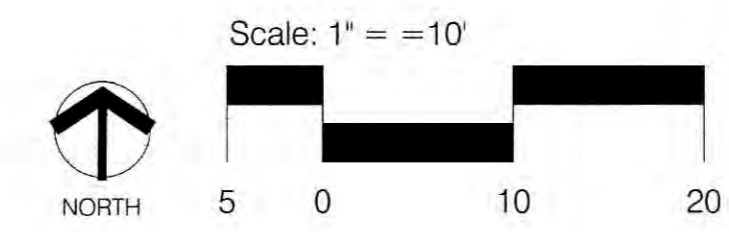
NOTE:
New landscape areas shall be depressed 12" to allow storm-water from curb cuts to reach the landscape areas for water harvesting. IDO section 5-6 (C) (13) - Stormwater Management.

Regarding planting near existing utilities requirements under IDO section 5-6 (C) (10) - Planting Near Utilities shall be met.

Organic mulch under trees is required per IDO 5-6 (C)(5)(e).

Mini site triangle (11' on each side starting at back of sidewalk and then extending to flow line of curb per development process manual figure 7.4.94) For illustrative purposes only.

Landscaping, signage, walls fences, trees and shrubbery between 3' and 8' tall (as measured from the gutter pan) are not allowed within the clear site triangle.



**CARE CENTER (MORTUARY & CREMATORIUM)
3300 VASSAR DRIVE NE
LANDSCAPE PLAN**

Prepared For: SMI - ABQ Assets, LLC
1000 Louisiana St., Suite 400
Houston, TX 77002-5005

Prepared By: Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM, 87102

April, 2022

MK	DATE	DESCRIPTION

DRAWN BY: NCA CHECKED BY: LR

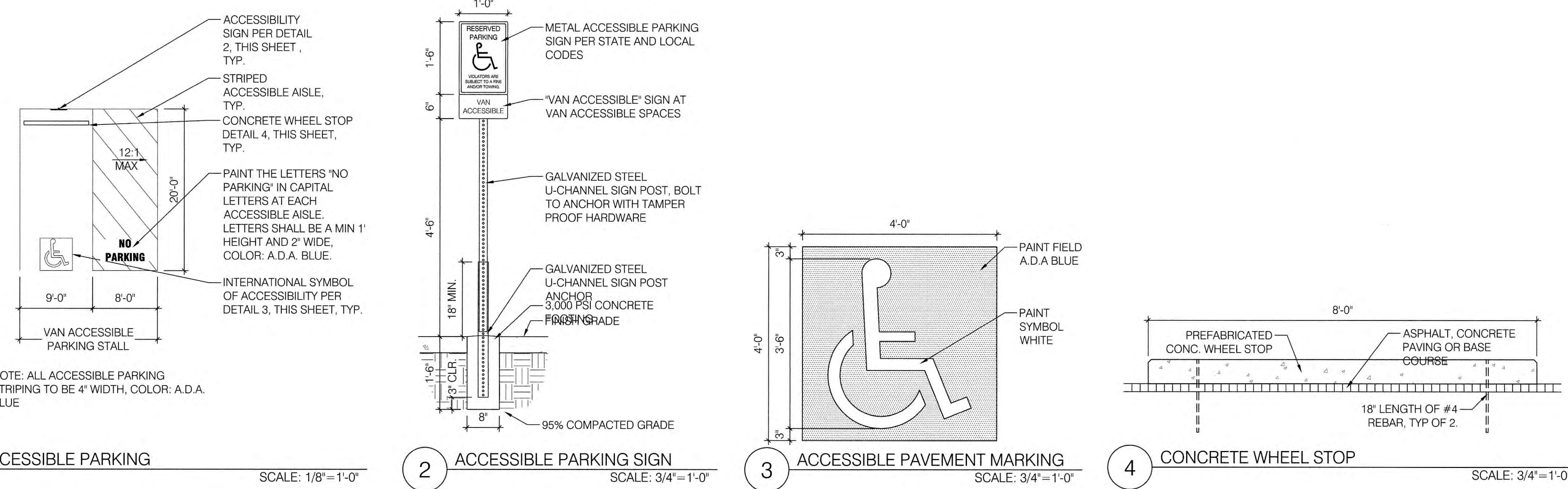
PROJECT NUMBER: A22.09

DATE: MARCH 2022

SHEET TITLE: SITE DETAILS

SHEET NO:

Sheet 3 of 5



**CARE CENTER (MORTUARY &
 CREMATORIUM)
 3300 VASSAR DRIVE NE
 LANDSCAPE PLAN**

Prepared For: SMI - ABQ Assets, LLC
 1000 Louisiana St., Suite 400
 Houston, TX 77002-5005

Prepared By: Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM, 87102

CHRISTOPHER J. GREEN
 #234
 REGISTERED ARCHITECT

CONSENSUS PLANNING
 April, 2022

GENERAL NOTES

- A. ALL EXISTING EXTERIOR CMU WALL FINISHES TO REMAIN.
- B. NO NEW SITE LIGHTING INCLUDED.
- C. EXISTING SIGNAGE ON BUILDING TO BE REPLACED. NEW SIGNAGE WILL REMAIN THE SAME SIZE AS EXISTING SIGNAGE SQUARE FOOTAGE.
- D. NO UTILITY CHANGES.
- E. ONLY NORTH AND EAST ELEVATIONS AFFECTED BY PROPOSED ELEVATIONS.
- F. EXISTING BUILDING LIGHTING TO REMAIN.

KEYED NOTES

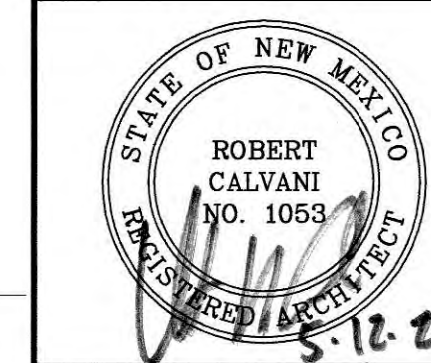
- 1. GRADE OR PAVING. SEE SITE PLAN.
- 2. NEW DOOR AND FRAME.
- 3. NEW GLASS AND FRAME.
- 4. INFILL EXISTING OPENING WITH CMU WALL TO MATCH EXISTING ADJACENT CMU WALL TO REMAIN.
- 5. REPLACE EXISTING BUILDING SIGNAGE WITH NEW BUILDING SIGNAGE TO BE SAME SIZE AS EXISTING SIGNAGE SQUARE FOOTAGE.
- 6. REMOVE AND DISPOSE OF EXISTING GATE.
- 7. REMOVE AND DISPOSE OF EXISTING FENCE.
- 8. NEW CANOPY, PORTE/COCHERE STRUCTURE (POSTS, BEAMS, DECK, ROOF). PAINT EXPOSED STEEL. SEE STRUCTURAL.
- 9. EXISTING CMU WALL TO REMAIN. PAINT.
- 10. EXISTING STEEL STAIR/ RAILING TO REMAIN. PAINT ALL EXPOSED STEEL.
- 11. REMOVE AND DISPOSE OF EXISTING ENTRY STEEL CANOPY. PATCH AND REPAIR/ FINISH AREA OF DEMOLITION TO MATCH EXISTING SURROUND TO REMAIN.
- 12. EXISTING DOOR AND FRAME TO REMAIN. PAINT.
- 13. EXISTING WINDOW TO REMAIN.
- 14. EXISTING OVERHEAD DOOR TO REMAIN. PAINT.
- 15. NEW 1.5" STEEL HANDRAIL. PAINT.
- 16. NEW CONCRETE CURB (FOR PLANTER). SEE SITE PLAN.
- 17. NEW CONCRETE RAMP. SEE SITE PLAN.
- 18. NEW CONCRETE STAIR. SEE SITE PLAN.
- 19. REMOVE AND DISPOSE OF EXISTING ROOF CANOPY. PATCH AND REPAIR/ FINISH AREA OF DEMOLITION TO MATCH EXISTING SURROUND TO REMAIN.



ARCHITECTS - PLANNERS - AIA

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ARCHITECT



CONSULTANT

PROJECT TITLE

ACCC VASSAR

**ALBUQUERQUE,
NEW MEXICO**

REVISIONS:

NO.	DATE	DESCRIPTION

DR	DATE	DESCRIPTION

CHK	DATE	DESCRIPTION

NCA	LR

PROJECT NUMBER:

A22.09

DATE:

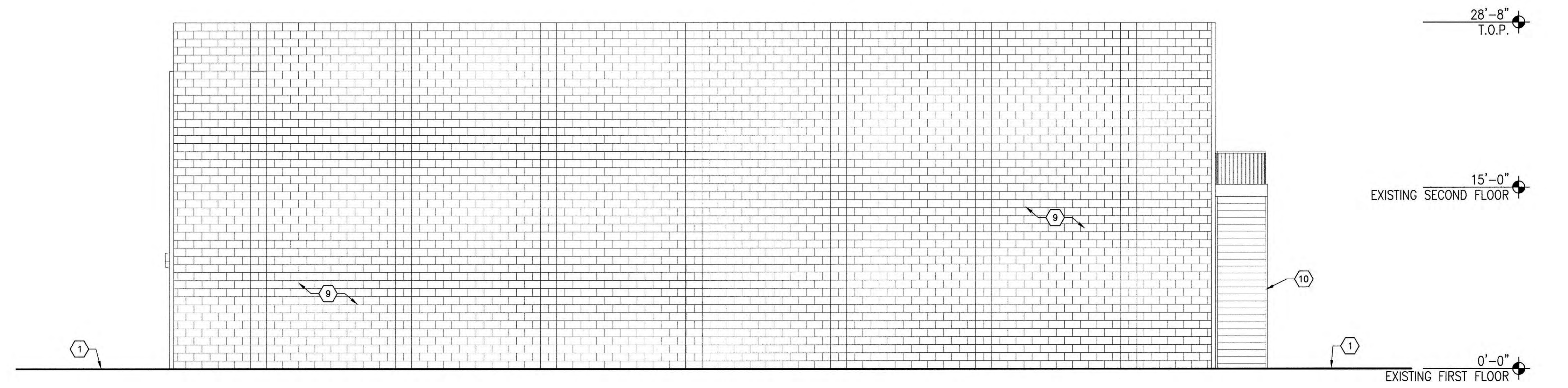
MARCH 2022

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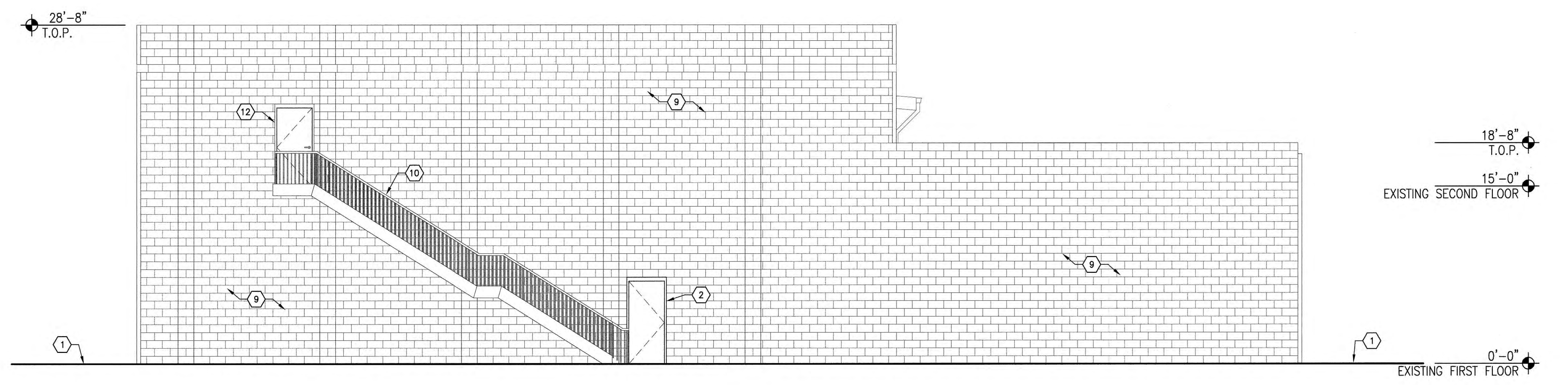
EXTERIOR ELEVATIONS

SHEET NO:

Sheet 4 of 5



B2 SOUTH ELEVATION



A2 EAST ELEVATION

GENERAL NOTES

- ALL EXISTING EXTERIOR CMU WALL FINISHES TO REMAIN.
- NO NEW SITE LIGHTING INCLUDED.
- EXISTING SIGNAGE ON BUILDING TO BE REPLACED. NEW SIGNAGE WILL REMAIN THE SAME SIZE AS EXISTING SIGNAGE SQUARE FOOTAGE.
- NO UTILITY CHANGES.
- ONLY NORTH AND EAST ELEVATIONS AFFECTED BY PROPOSED ELEVATIONS.
- EXISTING BUILDING LIGHTING TO REMAIN.

KEYED NOTES

- GRADE OR PAVING. SEE SITE PLAN.
- NEW DOOR AND FRAME.
- NEW GLASS AND FRAME.
- INFILL EXISTING OPENING WITH CMU WALL TO MATCH EXISTING ADJACENT CMU WALL TO REMAIN.
- REPLACE EXISTING BUILDING SIGNAGE WITH NEW BUILDING SIGNAGE TO BE SAME SIZE AS EXISTING SIGNAGE SQUARE FOOTAGE.
- REMOVE AND DISPOSE OF EXISTING GATE.
- REMOVE AND DISPOSE OF EXISTING FENCE.
- NEW CANOPY, PORTE-COCHERE STRUCTURE (POSTS, BEAMS, DECK, ROOF). PAINT EXPOSED STEEL. SEE STRUCTURAL.
- EXISTING CMU WALL TO REMAIN. PAINT.
- EXISTING STEEL STAIR/ RAILING TO REMAIN. PAINT ALL EXPOSED STEEL.
- REMOVE AND DISPOSE OF EXISTING ENTRY STEEL CANOPY. PATCH AND REPAIR/ FINISH AREA OF DEMOLITION TO MATCH EXISTING SURROUND TO REMAIN.
- EXISTING DOOR AND FRAME TO REMAIN. PAINT.
- EXISTING WINDOW TO REMAIN.
- EXISTING OVERHEAD DOOR TO REMAIN. PAINT.
- NEW 1.5" STEEL HANDRAIL. PAINT.
- NEW CONCRETE CURB (FOR PLANTER). SEE SITE PLAN.
- NEW CONCRETE RAMP. SEE SITE PLAN.
- NEW CONCRETE STAIR. SEE SITE PLAN.
- REMOVE AND DISPOSE OF EXISTING ROOF CANOPY. PATCH AND REPAIR/ FINISH AREA OF DEMOLITION TO MATCH EXISTING SURROUND TO REMAIN.

SIGNAGE

STANDARD	REQUIRED	PROVIDED
WALL SIGN (BUILDING MOUNTED)	2500 SF 25% MAX FACADE 625 SF ALLOWED	NORTH SIGN: 12 SF SOUTH SIGN: 19 SF



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ARCHITECT



CONSULTANT

PROJECT TITLE

**ACCC
VASSAR**

ALBUQUERQUE,
NEW MEXICO

REVISIONS:

NO.	DATE	DESCRIPTION

DATE DESCRIPTION

DRAWN BY: CHECKED BY:

NCA LR

PROJECT NUMBER:

A22.09

DATE:

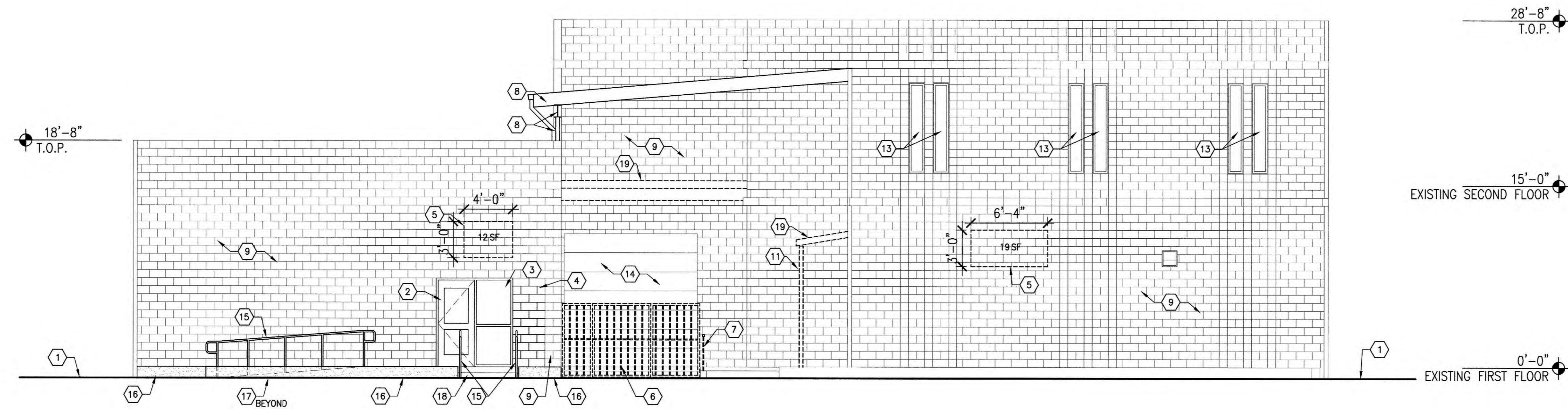
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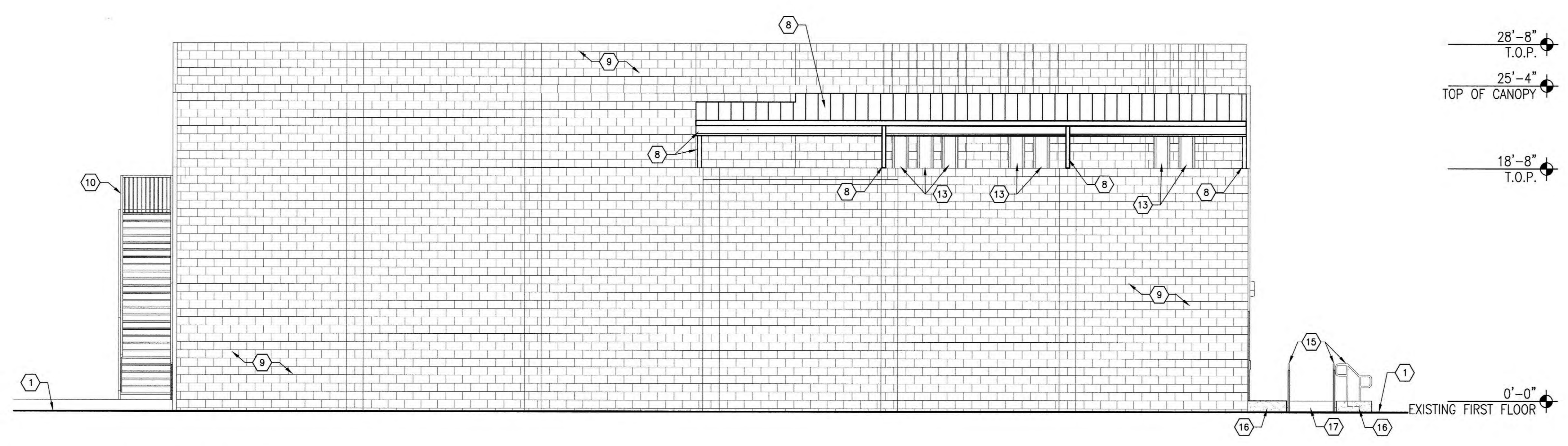
**EXTERIOR
ELEVATIONS**

SHEET NO:

Sheet 5 of 5



B2 WEST ELEVATION



A2 NORTH ELEVATION











PR-2021-005426_SI-2021-00185_Site_Plan_Aproved_2-2-22


Final Audit Report

2022-06-08

Created:	2022-06-06
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAmQedrP9g6S5LiDE4CPE17-11_JhM2BTp

"PR-2021-005426_SI-2021-00185_Site_Plan_Aproved_2-2-22" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
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-  Document emailed to Jeanne Wolfenbarger (jwolfenbarger@cabq.gov) for signature
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 Document e-signed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)

Signature Date: 2022-06-08 - 6:44:54 PM GMT - Time Source: server

 Agreement completed.

2022-06-08 - 6:44:54 PM GMT