



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Meri C Fox-Szauter or Jeremy Pollaro, SignPlex LLC		Phone: (505) 341-0213
Address: 4901 Edith BLVD NE		Email: meri@signplex.biz or jeremy@signplex.biz
City: Albuquerque	State: NM	Zip: 87107
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

Installation of 2 non-illuminated acrylic signs and logos on building facade.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: TR 2A1 JEFFERSON OFFICE PLAZA LTS 1A1, 2A1, 2A2 & TR A1A BEING A REPLAT OF JEFFERSON OFFICE PLAZA LTS 1A, 2A & TRA1 CONT 2.9317 AC +/-	Block: 0000	Unit:
Subdivision/Addition: JEFFERSON OFFICE PLAZA	MRGCD Map No.:	UPC Code: 101706133109940501
Zone Atlas Page(s): F-17	Existing Zoning: MX-H (was SU-1)	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 2.94

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 4620 Jefferson Lane	Between: Jefferson ST	and: Lumber AV
--	-----------------------	----------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1997: DRB-97-207, Case #Z-83-41; Current Application: GP-2021-17504

Signature:	Date: 4/30/21
Printed Name: Jeremy Pollaro	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-00649	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project # PR-2021-005435

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled



ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
 - Copy of the Official Notice of Decision associated with the prior approval
 - Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*



Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
 - Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
 - Copy of the Official Notice of Decision associated with the prior approval
 - Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature:	Date: <u>4/30/21</u>
Printed Name: Jeremy Pollaro	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number: PR-2021-005435	Case Numbers SI-2021-00649
Staff Signature:	
Date:	



ABQ Pediatric Dentistry
Audrey Navarro Rawson, DDS
Board Certified Pediatric Dentist
Diplomate, American Board of Pediatric Dentistry

Christian Rawson

Chief Operating Officer

4620-C Jefferson LN NE
Albuquerque, NM 87109
505-888-3520
christian@abqpediatricdentist.com

City of Albuquerque

Justification for Building Signage

May 4, 2021

To Whom It May Concern:

Upon trying to obtain a Permit for Building Signage we received a letter from Sign Plex (performing work on our signage) which stated that the City of Albuquerque (CoA) was requesting a justification for building signage.

Every building within our complex has building signage. We have requested to install signage from the CoA as our building is tucked away in the complex and one has to be right in front to notice it is our building. We have had missed deliveries and patients get lost within our complex due to lack of signage. We are requesting this signage to help direct our patients to our building.

Audrey and myself are also the owners of the building and have received approval from the Association. Thank you for your support and we look forward to the beautification of our building .

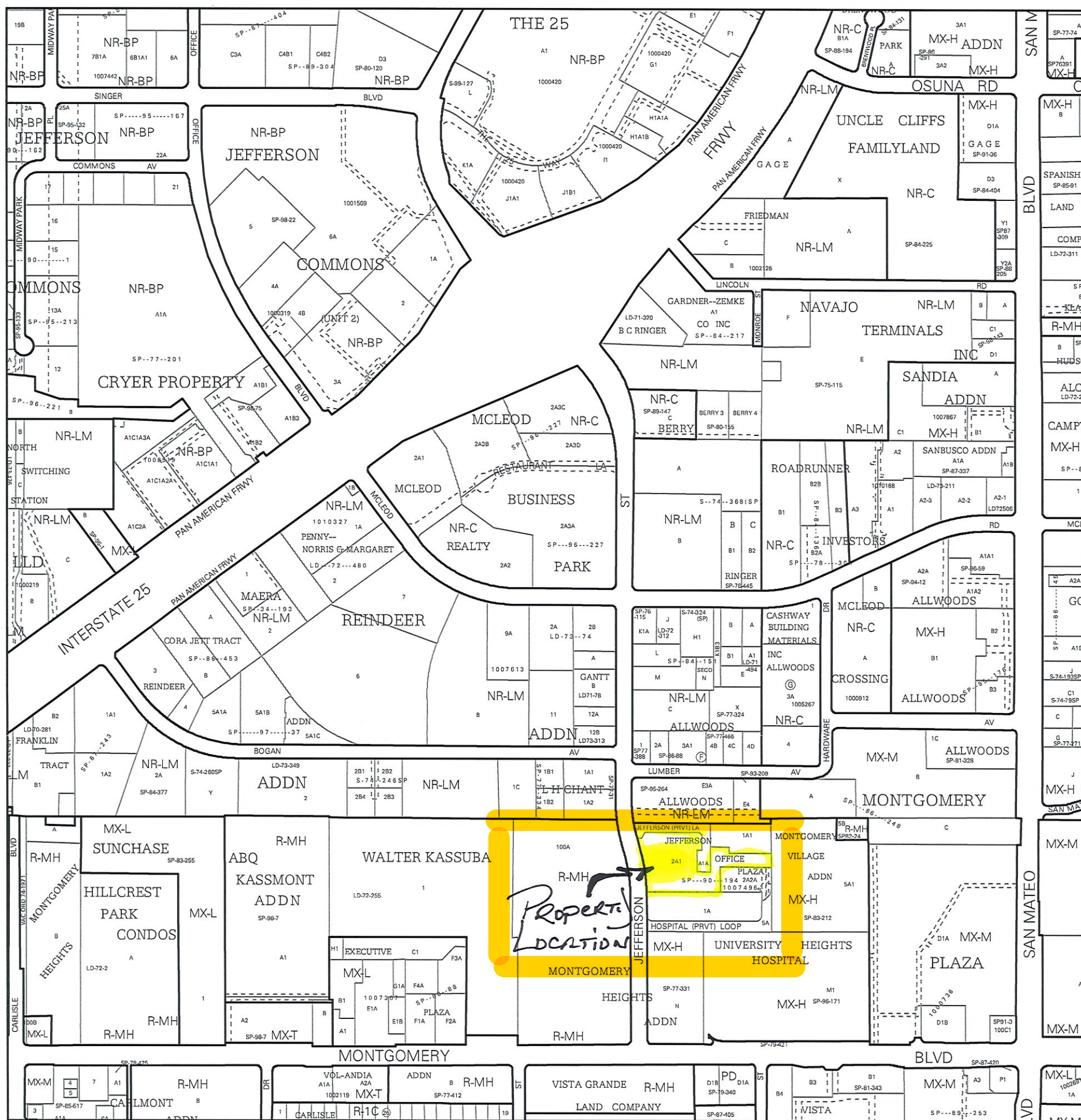
Sincerely,

Audrey and Christian Rawson



ABQ Pediatric Dentistry
Dr. Audrey Navarro Rawson

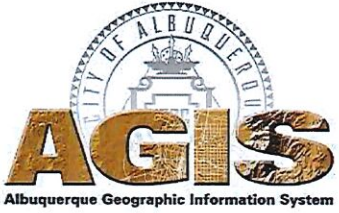
*ASP Redistrict
Deafish*



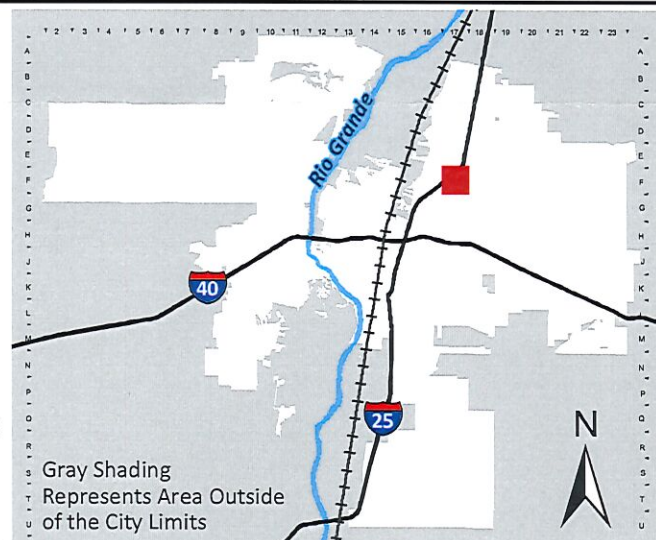
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-17-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

APPLICATION TO THE DEVELOPMENT REVIEW BOARD



APPLICATION FOR:

(CHECK APPLICABLE REQUEST; MORE THAN ONE CATEGORY CAN BE CHECKED)

Minor Subdivision

- Sketch Plat Review and Comment
- Preliminary Plat and Final Plat - (City Surveyor Approval Required)
- Lot Split(" " ")

Vacation (See No. 2)

- Public Right-of-Way
- Public Easement
- Private Easement

Major Subdivision (See No. 3)

- Sketch Plat Review and Comment
- Preliminary Plat Approval
- Final Plat Approval
- Site Development Plan (See No. 4)
 - Review and Comment
 - Final Sign Off for EPC
 - Approval (DRB only-attach checklist)
 - Amended Plan

Subdivision Variance (See No. 5)

- Subdivision Design Standards
- Improvements Guarantee (Bulk Land)
- Sidewalk Variance
- Other (See No. 6)
 - Amended Infrastructure List
 - SIA Extension
 - Sector Plan Review or Sign Off

PRINT OR TYPE IN BLACK INK ONLY. Use additional sheets as necessary. The completed application must be submitted in person to the Planning Division by the applicant or agent. Fees are required at the time of application for Vacations, Site Development Plan Approvals (DRB only), and Preliminary Plat for Major Subdivisions. All attachments must be submitted with the application and, after folding, shall not exceed 8 1/2 x 14 inches. INACCURATE APPLICATIONS WILL DELAY HEARING OR DECISION DATE. For additional information, contact the Planning Division at (505) 768-3860.

APPLICANT INFORMATION

APPLICANT NAME: Chapman Homes Telephone Number: (505) 983-8100
 Mailing Address: 1500 St. Francis Drive
 City: Santa Fe State: NM Zip Code: 87505

Applicant's Proprietary Interest in the Property: owner

Has a List of Owners Been Provided? Yes No (This is Required for Preliminary Plat Application)

AGENT (if Any): Tierra West Development Telephone Number: (505) 883-7592
 Mailing Address: 4421 McLeod Rd. NE Ste D
 City: Albuquerque State: NM Zip Code: 87109

SIGNED (Applicant or Agent): [Signature] (Print) Ronald R. Bohannon

SITE INFORMATION

(a) Property is: within the City Limits of Albuquerque or Outside the City Limits of Albuquerque, but within five (5) miles (this is the extent of Development Review Board Jurisdiction)

(b) Present Zoning: SU-1 Proposed Zoning (Complete Only if Zone Change Request is Anticipated): _____

(c) Existing Buildings? Yes No - If yes, a Site Sketch is required (show buildings, setbacks, and parking on separate sheet if yes, Address(s) (required): _____

(d) Number of Lots Existing: 1 Number Proposed: 1 Total Land Area Covered by Request: (Acres) 2.9 acres

(e) Present Legal Description of the Property: Lot/Tract No.(s): 2A1 Block/Map No.(s) F-17
 Subdivision/Addition: Jefferson Office Complex

(f) Location of Property by Streets - Located on (or near): Jefferson
 between Montgomery Blvd NE and Lumber, NE

(g) Uniform Property Code (18 Digit Number Issued by County Assessor): 1017 0613 3010 040 401

VACATION ONLY: Give reason for request on separate sheet. Sketch/state exactly what is being vacated. Give reasons why vacation should be granted as per Subdivision Ordinance requirements. A copy of the document that created the areas to be vacated is required.

SUBDIVISION ONLY: An Infrastructure List and a completed checklist from the Development Process Manual (DPM) is required for Major Subdivision/Preliminary Plat application. Attach any variances or easements granted for this property which affects platting if applicable. Attach zoning action, Notifications of Decision, or Zone Change Request if applicable.

SITE DEVELOPMENT PLAN ONLY: For final sign off for EPC, Notification of Decision is required. For amended plan, list changes to previous plan.

SUBDIVISION VARIANCE REQUEST: Include letter of request for improvements guarantee (Bulk Land). Other information as required per the Development Process Manual (DPM) and Subdivision Ordinance. For Sidewalk Variance, sketch location and state reason for variance.

AMENDED INFRASTRUCTURE LIST, ETC: Describe and show changes to approved Infrastructure List. For Subdivision Improvement Agreement (SIA) Extension, attach previous DRB approvals (Infrastructure List, Notice of Decision, reduced plat or plan).

SUPPLEMENTAL INFORMATION

- (a) List Cross References to Environmental Planning Commission cases (Z-) if Applicable: Z-83-41-3
- (b) List Cross References to Development Review Board cases (DRB-) if Applicable: _____
- (c) List Any Variance Granted (ZA-) if Applicable Case No.: _____ City _____

PLANNING DIVISION INTERNAL USE ONLY

Application & Fees Accepted By: W. K. Allen GEB
 Advertised Case? Yes No If Yes, Number of Signs Issued: 1 Fee(s): \$ 270.00

Date: 5-2-97
 Map Number: F-17
 Hearing Date: 5-27-97
 S- _____
 V- _____
 DRB- 97-207

FORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME Medical Office Complex

AGIS MAP # F-17

LEGAL DESCRIPTION Lot 2A1 Jefferson Office Complex

DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza del Sol) on March 24, 1997 [date].
F-17 / D-1415

[Signature]
Applicant / Agent

5/2/97
Date

Bernie Montoya
Hydrology Division Representative

5/2/97
Date

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2nd floor Plaza del Sol) on March 26, 1997 [date].

[Signature]
Applicant / Agent

5/2/97
Date

Robert W. Kane
Utilities Division Representative

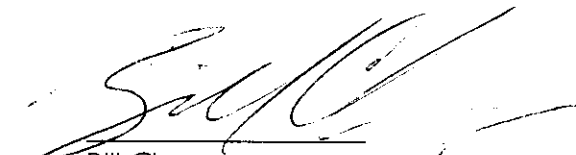
5-2-97
Date

DRB# 97- 207

To Whom It May Concern:

This is to advise you that Ronald R. Bohannon and/or Tierra West Development Management Services is acting on behalf of Chapman Companies with regard to the development and improvements on the Jefferson Office Plaza in Albuquerque, New Mexico.

Chapman Companies



Bill Chapman
Vice President



**Tierra West Development
Management Services**

April 28, 1997

Ms. Kym Dicome, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Medical Office Complex (Z-83-41-3)

Dear Ms. Dicome:

Tierra West Development Management Services on behalf of Chapman Homes is requesting site development approval for a proposed Medical Office Complex. The site is located near Jefferson and Montgomery Boulevard at Jefferson Lane. It is located on Zone Atlas Page F-17 and is zoned SU-1. We are requesting site development plan for building permit purposes approval.

In July of 1983, the Environmental Planning Commission granted a zone change from O-1 and R-3 to SU-1 (Special Use of a Hospital and Related Facilities). The master plan, referenced by Z-83-41-3, and the site development plan for Phase I were approved on September 15, 1988. The master plan was approved with 48,190 square feet. We are proposing to build four new buildings for a total of 31,400 square feet. The two existing buildings on the site bring the total square feet to 51,690. This is a 6.8% increase, which is less than the 10% increase allowed. The new buildings will follow the style, color and materials of the existing structures.

We have submitted the drainage report and the grading plan to Hydrology for their approval. We have also sent a letter requesting water and sewer availability to the City of Albuquerque.

If you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

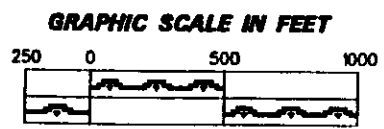
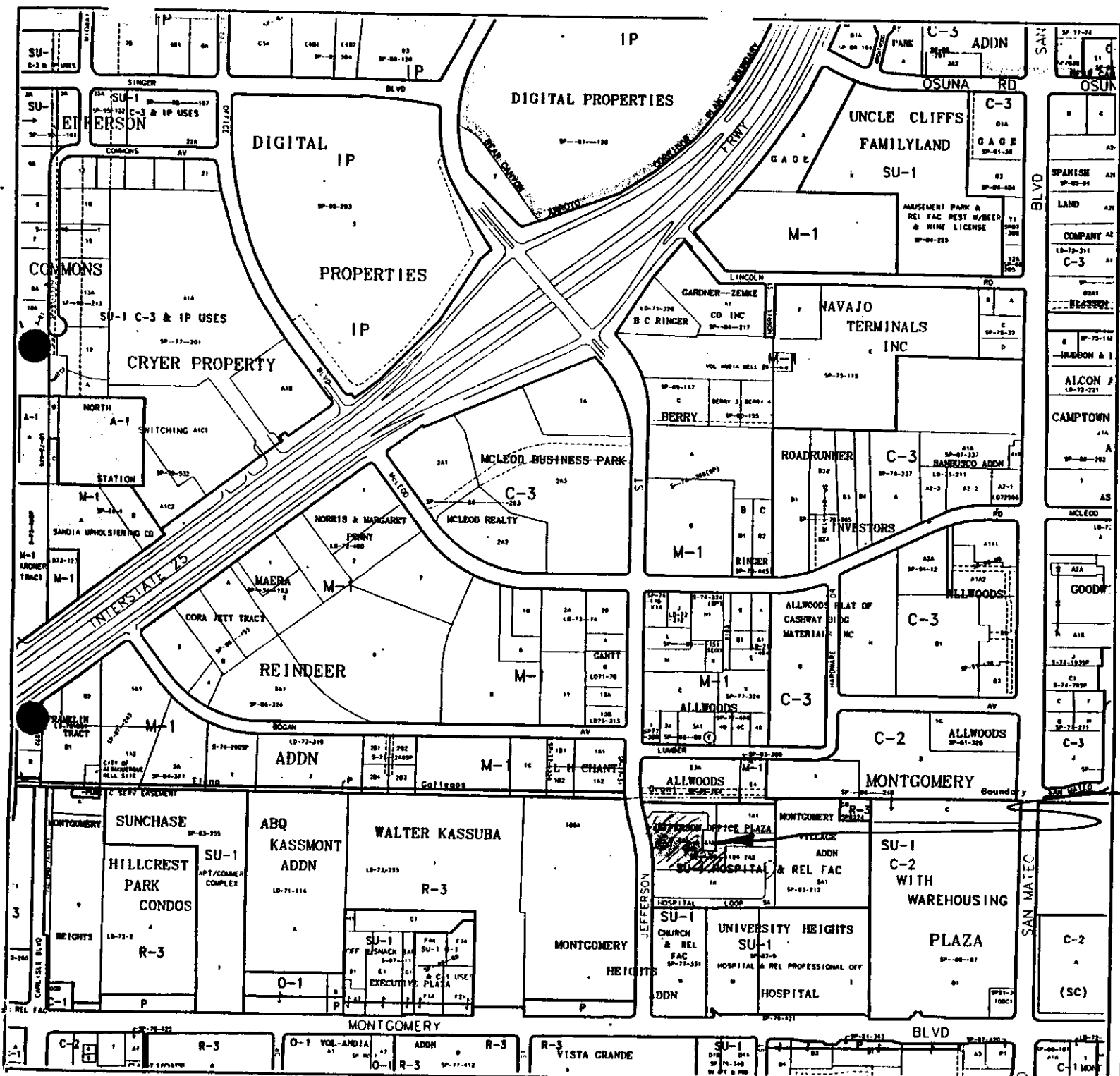
Ronald R. Bohannon, P.E.

Enclosures

cc: Bill Chapman

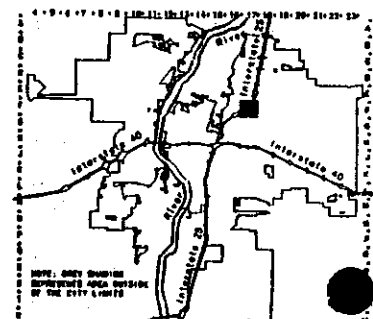
JN: 970012
RRB/scm

970012: DRB.ltr



Albuquerque Planning Department
PLANNING DEPARTMENT
© Copyright 1996

Map Amended through March 28, 1996

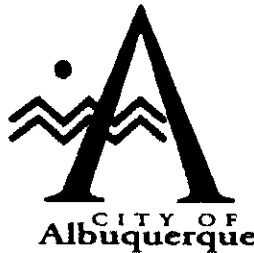


*Chapman Medical
Office Site*

LEGAL DESCRIPTION
T1N
R0E
SEC 38

UNIFORM PROPERTY CODE
1-017-001

F-17-Z



Department of Family & Community Services
Office of Neighborhood Coordination

Martin J. Chávez, Mayor
April 15, 1997

Donna J. Bohannon
Tierra West Development Management Services
4421 McLeod Rd. NE, Suite D/87109
Phone: 883-7592, fax - 883-7034

Dear Donna:

Thank you for your inquiry of **April 15, 1997** requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project of **LOTS 1A1, 2A1, 2A2 AND TRACT A-1-A, zone map page(s) F-17.**

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

HODGIN N.A.
Cathy Intemann
3816 Delamar NE/87110 888-4227 (h) 764-2011 (w)
David L. Bleakly
3813 Monroe NE/87110 888-4608 (h).

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** your application filing will be accepted by the Planning Department. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.**

If you have any questions about the information provided, please contact our office at (505) 768-3790.

Sincerely,

Stephani Winklepleck
NEIGHBORHOOD COORDINATION

Planning - RNA Form (12/9/96)

Good for You. Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103





Tierra West Development Management Services
 4421 McLeod Road, N.E., Suite D
 Albuquerque, New Mexico 87109
 505-883-7592
 Fax-883-7034

FACSIMILE TRANSMITTAL

To: OFFICE OF NEIGHBORHOOD COORDINATION FAX: 768-3791
 TOTAL OF (2) PAGES
 From: DONNA J. BOHANNAN
 Subject: HOMEOWNER'S ASSOCIATION INFORMATION JN: 970012
 Date: April 15, 1997

PLEASE FORWARD INFORMATION ON ANY HOMEOWNER ASSOCIATIONS IN THE

AREA OF THE PROPERTY DESCRIBED AS Lots 1A1, 2A1, 2A2 & Tract "A-1-A",
LEGAL DESCRIPTION
 LOCATED ON Jefferson Street,
STREET NAME OR OTHER IDENTIFYING LANDMARK
 BETWEEN Montgomery Boulevard AND Jefferson Lane,
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS SHEET (F-17).
ZONE ATLAS #
 PLEASE CALL IF YOU HAVE ANY QUESTIONS.

SHOULD YOU HAVE ANY QUESTIONS REGARDING THIS TRANSMITTAL OR ANY OTHER
 ITEMS PERTAINING TO THIS PROJECT, PLEASE DO NOT HESITATE TO CONTACT OUR
 OFFICE.

C:\NEIGHBOR.REQ

IF YOU DO NOT RECEIVE ALL PAGES OF THIS TRANSMITTAL, OR IF MATERIAL IS NOT LEGIBLE, PLEASE
 CONTACT OUR OFFICE FROM 8:00 AM TO 5:00 PM, MST, MONDAY THROUGH FRIDAY. THANK YOU.

is your RETURN ADDRESS completed on the reverse side?

SENDER:

- Complete items 1 and/or 2 for additional services.
- Complete items 3, 4a, and 4b.
- Print your name and address on the reverse of this form so that we can return this card to you.
- Attach this form to the front of the mailpiece, or on the back if space does not permit.
- Write "Return Receipt Requested" on the mailpiece below the article number.
- The Return Receipt will show to whom the article was delivered and the date delivered.

I also wish to receive the following services (for an extra fee):

- 1. Addressee's Address
- 2. Restricted Delivery

Consult postmaster for fee.

3. Article Addressed to:
 David L. Bleakly
 3813 Monroe NE
 Albuquerque NM 87110

4a. Article Number

4b. Service Type

- Registered Certified
- Express Mail Insured
- Return Receipt for Merchandise COD

7. Date of Delivery

5. Received By: (Print Name)

8. Addressee's Address (Only if requested and fee is paid)

6. Signature: (Addressee or Agent)

X

PS Form 3811, December 1994

Domestic Return Receipt

Thank you for using Return Receipt Service.

P 551 146 850

US Postal Service

Receipt for Certified Mail

No Insurance Coverage Provided.

Do not use for International Mail (See reverse)

Sent to	
David L. Bleakly	
Street Number	
3813 Monroe NE	
City, State, ZIP+4	
Albuquerque NM 87110	
Postage	\$
Certified Fee	
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to Whom & Date Delivered	
Return Receipt Showing to Whom, Date, & Addressee's Address	
TOTAL Postage & Fees	\$
Postmark or Date	

PS Form 3800, April 1995

Fold at line over top of envelope to the right of the return address

CERTIFIED

P 551 146 850

Is your RETURN ADDRESS completed on the reverse side?

SENDER:
 ■ Complete items 1 and/or 2 for additional services.
 ■ Complete items 3, 4a, and 4b.
 ■ Print your name and address on the reverse of this form so that we can return this card to you.
 ■ Attach this form to the front of the mailpiece, or on the back if space does not permit.
 ■ Write "Return Receipt Requested" on the mailpiece below the article number.
 ■ The Return Receipt will show to whom the article was delivered and the date delivered.

I also wish to receive the following services (for an extra fee):
 1. Addressee's Address
 2. Restricted Delivery
 Consult postmaster for fee.

3. Article Addressed to:
 Cathy Intemann
 3816 Delamar NE
 Albuquerque NM 87110

5. Received By: (Print Name)

6. Signature: (Addressee or Agent)
 X

4a. Article Number

4b. Service Type
 Registered Certified
 Express Mail Insured
 Return Receipt for Merchandise COD

7. Date of Delivery

8. Addressee's Address (Only if requested and fee is paid)

Thank you for using Return Receipt Service.

PS Form 3811, December 1994

Domestic Return Receipt

PS Form 3800, April 1995

US Postal Service
Receipt for Certified Mail
 No Insurance Coverage Provided.
 Do not use for International Mail (See reverse)

Sent to Cathy Intemann 3816 Delamar NE Albuquerque, NM 87110	
Postage	\$
Certified Fee	
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to Whom & Date Delivered	
Return Receipt Showing to Whom, Date, & Addressee's Address	
TOTAL Postage & Fees	\$
Postmark or Date	

Fold at line over top of envelope to the right of the return address

CERTIFIED

P 551 146 849

MAIL

COY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: Tierra West Development Date of request: 4/23/97 Zone atlas page(s): F-17

CURRENT:

Zoning SU-1

Legal Description -

Lot or Tract # 2A1 Block # _____

Parcel Size (acres / sq.ft.) 2.9 acres

Subdivision Name Jefferson Office Complex

REQUESTED CITY ACTION(S): 5.5 total

Annexation [] Sector Plan []
Comp. Plan Zone Change []
Amendment [] Conditional Use []

Site Development Plan:
a) Subdivision [] Building Permit []
b) Build'g Purposes [X] Access Permit []
c) Amendment [] Other []

PROPOSED DEVELOPMENT:

No construction / development []
New Construction [X]
Expansion of existing development []

GENERAL DESCRIPTION OF ACTION: 1

of units - _____
Building Size - 51690 (sq. ft.) - INCLUDES 31,400 NEW
31400 new

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative Sara MacCollom Date 4-24-97
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

PUBLIC WORKS DEPT. Transportation Development Div. 3rd Floor / Room 304 City Hall 768-2680

THRESHOLDS MET? YES [] NO [X] Mitigating reasons for not requiring TIS: Previously studied: []

Notes: ORIGINALLY MASTER PLANNED IN THE 1980'S AND APPROVED AS MEDICAL OFFICE. NEW SQUARE FOOTAGE WILL BE GENERAL OFFICE (IE. LESS TRIPS).

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Tony Lopez 4-23-97
TRAFFIC ENGINEER DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES [] NO [X] BORDERLINE []

ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 768-2600

THRESHOLDS MET? YES [] NO [X] Mitigating reasons for not requiring AQIA: Previously studied: []

Notes:

IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

[Signature] 4/21/97
ENVIRONMENTAL HEALTH DATE

Required TIS and / or AQIA **must be completed prior to applying to the EPC.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS	- SUBMITTED	___/___/___	_____	_____
	- FINALIZED	___/___/___	TRAFFIC ENGINEER	DATE
AQIA	- SUBMITTED	___/___/___	_____	_____
	- FINALIZED	___/___/___	ENVIRONMENTAL HEALTH	DATE

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH

**DEVELOPMENT REVIEW BOARD (DRB)
FRONT COUNTER CHECK - OFF FOR MAJOR
SUBDIVISIONS**

DRB NUMBER # DRB 97-257

PREVIOUS DRB # Other numbers 2-85-41-3

**PRELIMINARY PLAT, SITE DEVELOPMENT PLAN, VACATIONS, AND
BULK LAND VARIANCES (BLV) FOR PUBLIC HEARING.**

YES NO

- | | | |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | APPLICATION |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | OWNER'S SIGNATURE OR LETTER OF AUTHORIZATION |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | DRAINAGE REPORT / WATER & SEWER AVAILABLE |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | NEIGHBORHOOD NOTIFICATION |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | REASON FOR REQUEST |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | NUMBER OF PRINTS (24 COPIES) |
| <input type="checkbox"/> | <input type="checkbox"/> | INFRASTRUCTURE LIST ? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | ZONE ATLAS SHEET WITH SITE CIRCLED |

DEADLINE FRIDAY AT 12 NOON. FEES TO BE PAID.

PLANNER: _____ DATE: _____

APPLICANT/ AGENT: _____ DATE: _____

ATTENDANCE IS REQUIRED AT DRB MEETING.

SITE DEVELOPMENT PLAN CHECKLIST

This checklist will be used by the Planning Department to verify the completeness of site development plans submitted for review by the Environmental Planning Commission. Since development proposals vary in type and scale, there may be application requirements that are not included here. Site development plan submittals will ordinarily be composed of the following plan sheets:

1. Site Plan
2. Landscaping Plan
3. Grading Plan
4. Building Elevations
5. Utility Plan (where needed)

Submittals shall be organized in the above manner. In addition, 8½" by 11" transparencies must be included with plan submittals. The following checklist describes the minimum information necessary for each element.

SHEET #1 - Site Plan

A. General Information

- ✓ 1. Scale

under 1.0 acre	1" = 10'
1.0 - 5.0 acres	1" = 20'
over 5 acres	1" = 50'
over 20 acres	1" = 100'
- ✓ 2. Graphic Scale
- ✓ 3. North Arrow
- ✓ 4. Vicinity Map (1" = 400')
- ✓ 5. Existing structures on site and sites adjacent to the proposal that impact, or are impacted by the project
- ✓ 6. Property lines
- ✓ 7. Existing and proposed easements (identify each)

B. Proposed Development

1. Structural
 - ✓ a. Location and orientation of existing and proposed structures on the property and on the adjacent properties including privacy and retaining walls
 - ✓ b. Square footage of each structure
 - ✓ c. Proposed use of each structure
 - ✓ d. Temporary structures, sign and other improvements
 - N/A e. Wall(s) location, height, and length, and cross-sections for retaining walls
 - N/A f. Screening or buffering
 - ✓ g. Dimensions of all principal site elements
 - N/A h. Loading facilities
 - ✓ i. Site lighting (type and height)

2. Non-Structural and Parking

- a. Parking design with spaces numbered per aisle and totaled
 - (1) Location
 - (2) Arrangement
 - (3) Dimensions
 - (4) Turning spaces
 - (5) Drives
 - (6) Aisles
 - (7) Ingress
 - (8) Egress
 - (9) Number of spaces required: 206
provided: 256
 - (10) Handicapped parking, spaces required: 8 (1 van)
provided: 9 (1 van)
- b. Bicycle racks
- c. Refuse container

C. Streets and Circulation

- 1. Identification and location of public or private streets and alleys with proper name, existing and proposed width dimensions.
- N/A 2. Curve radii
- 3. Right-of-way width
- 4. Pavement widths, flow line to flow line including medians and median cuts
- 5. Sidewalk widths and locations, existing and proposed
- N/A 6. Rail spurs, if any
- 7. Location of traffic signs and signals related to the functioning of the proposal
- N/A 8. Bikeways
- N/A 9. Bus facilities, including bays and shelters where required
- N/A 10. Curb cut size and type

D. Utilities

- 1. Fire hydrant locations, existing and proposed
- 2. Distribution lines
- 3. Right of way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions
- 4. Existing water, sewer, storm drainage facilities (public and/or private)
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

E. Energy Conservation Features

- N/A 1. Siting for solar access
- N/A 2. Provisions for non-auto transportation, including transit and bicycle related improvements and pedestrian linkage
- N/A 3. Energy conservation elements

F. Phasing

- N/A 1. Proposed phasing of improvements and provision for interim facilities

SHEET #2 - Landscaping Plan

A. General Information

1. Scale - must be same as scale on Sheet #1 - Site Plan
2. Graphic scale
3. North arrow
4. Property lines
5. Existing and proposed easements
6. Identify nature of ground cover materials
 - a. Impervious areas (pavements, sidewalks, slope pavings, curb and gutters, etc.)
 - b. Pervious areas (planting beds, grass areas, ground cover vegetation, etc.)
 - c. Ponding areas either for drainage or landscaping/recreational use
7. Identify nature, location and size of shrubbery and trees (common and/or botanical names)
 - a. Existing, indicating whether it is to be preserved or removed
 - b. Proposed, to be established for general landscaping
 - c. Proposed, to be established for screening/buffering
8. Irrigation system
9. Planting beds
10. Grass areas
11. Responsibility for maintenance
12. Landscaped area requirement, in square feet: _____
13. Landscaped area provided, in square feet: _____

SHEET #3 - Grading Plan

A. General Information

1. Scale - should be same as Sheet #1 - Site Plan
2. Graphic scale
3. North arrow
4. Existing topography and structural improvements within at least 25 feet beyond property boundaries (more may be required)
5. Property lines
6. Existing and proposed easements
7. Proposed contours and/or spot elevations

B. Proposal

1. Grading submittals, ponding areas, erosion and sediment control facilities
 - a. Conceptual grading and drainage plan
 - b. Drainage plan
 - c. Drainage report
- a. Cross Sections
Provide a cross section for all perimeter property lines at the point of the greatest grade change: where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the referenced point.
- b. Spot Elevations
Provide spot elevations existing and proposed within 20 feet of both sides of the property line, not to exceed intervals of 100 feet.

c. Grade Changes

Identify grade changes on the site greater than 2 feet with shading or a single cross-hatch [/////]. Identify grade changes greater than 4 feet with darker shading or a double cross-hatch [xxxxxxx].

Alternatively, cross sections (existing and proposed profile) taken through the site, at a scale appropriate to identify grade changes in excess of 2' vertical, shall be prepared in each principal direction, running between the property lines and including a representation of the adjacent streets and adjacent properties. These cross sections should be taken through the points of highest cut, highest fill, or principal involvement of grade changes, which would clearly illustrate to the Planning Commission those areas within the site that are to be subjected to consequential earth moving and retaining wall construction procedures.

SHEET #4 - Building elevations to scale

A. General Information

- ___ 1. Scale
- ___ 2. Graphic scale
- ___ 3. Facade orientation (elevations of all sides of the building(s) required)
- ___ 4. Dimensions, to scale if not shown in plan including overall height and width, and dimensions of major facade elements
- ___ 5. Location of windows and building entrances
- ___ 6. Building materials and Colors

B. Signage

- ___ 1. Elevations
- ___ 2. Location
- ___ 3. Height and width
- ___ 4. Sign face area
- ___ 5. lighting
- ___ 6. materials and colors

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 5-12-97 to 5-27-97.

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for 15 days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

(Applicant or Agent)

(Date)

I issued 1 signs for this application, 5-2-97
(Date)

LAG
(Staff Member)

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO: 97-207

AGENDA ITEM NO: 2

SUBJECT:

- | | | |
|--------------------------|----------------------------|-----------------------------|
| ___(01) Sketch Plat | ___(02) Bulk Land Variance | ___(03) Sidewalk Variance |
| ___(04) Preliminary Plat | ___(05) S. Dev. for Subd. | ___(06) S. Dev. for B.P. |
| ___(07) Vacation | ___(08) Final Plat | ___(09) Infrastructure List |
| ___(10) Sector Dev Plan | ___(11) Grading Plan | ___(12) Other |

ACTION REQUESTED:

REV/CMT: () APP: () SIGN-OFF: () EXTN: () AMEND: (6)

ENGINEERING COMMENTS:

See DRB comments dated 5/27/97

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

SIGNED-OFF: (Sec-Pln) (SP-Sub) (SP-BP) (FP) BY: (WUD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (Sec-Pln) (SP-Sub) (SP-BP) (FP) TO: (WUD) (CE) (TRANS) (PRKS) (PLNG)

FOR: RESOLVING BEARER'S COMMENTS DATED 5-29-97

SIGNED: Fred J. Aguirre
City Engineer/AMAFCA Designee

DATE: 6/3/97

DEVELOPMENT REVIEW BOARD
SIGN-IN SHEET
(ALL PERSONS WISHING TO SPEAK MUST SIGN IN)

AGENDA ITEM NO. 2

DATE: 6-3

CASE NO. ORB-97-207

PLEASE PRINT CLEARLY

1. NAME: For E. Martin NAME: _____
1. ADDRESS: 4421 West 50th St ADDRESS: _____
RF109
2. NAME: _____ NAME: _____
2. ADDRESS: _____ ADDRESS: _____
3. NAME: _____ NAME: _____
3. ADDRESS: _____ ADDRESS: _____
4. NAME: _____ NAME: _____
4. ADDRESS: _____ ADDRESS: _____
5. NAME: _____ NAME: _____
5. ADDRESS: _____ ADDRESS: _____
6. NAME: _____ NAME: _____
6. ADDRESS: _____ ADDRESS: _____
7. NAME: _____ NAME: _____
7. ADDRESS: _____ ADDRESS: _____
8. NAME: _____ NAME: _____
8. ADDRESS: _____ ADDRESS: _____
9. NAME: _____ NAME: _____
9. ADDRESS: _____ ADDRESS: _____
10. NAME: _____ NAME: _____
10. ADDRESS: _____ ADDRESS: _____

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO: 97-207

AGENDA ITEM NO: 4

SUBJECT:

___(01) Sketch Plat	___(02) Bulk Land Variance	___(03) Sidewalk Variance
___(04) Preliminary Plat	___(05) S. Dev. for Subd.	___(06) S. Dev. for B.P.
___(07) Vacation	___(08) Final Plat	___(09) Infrastructure List
___(10) Sector Dev Plan	___(11) Grading Plan	___(12) Other

ACTION REQUESTED:

REV/CMT: () APP: () SIGN-OFF: () EXTN: () AMEND: (6)

ENGINEERING COMMENTS:

See DRB comments dated 5/27/97

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

SIGNED-OFF: (Sec-Pln) (SP-Sub) (SP-BP) (FP) BY: (WUD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (Sec-Pln) (SP-Sub) (SP-BP) (FP) TO: (WUD) (CE) (TRANS) (PRKS) (PLNG)

FOR: _____

SIGNED: Fred J. Aguirre
City Engineer/AMAFCA Designee

DATE: 5/27/97

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION

DEVELOPMENT REVIEW BOARD
May 27, 1997
DRB-97-207

DRB-97-207 Tierra West Development Management Services, agents for Chapman Homes, request Site Development Plan Amendment for Tract 2A1, Jefferson Office Complex, zoned SU-1 (City) and located on the east side of Jefferson St NE between Montgomery Blvd NE and Lumber Ave NE containing approximately 2.9 acres. (F-17)

AMAFCA Storm drain facilities operated and maintained by COA. See COA comments.

COG No adverse comments.

Zoning Enforcement No comments received.

Neighborhood Coord. Letter sent to Hodgin Neighborhood Association.

Office of Econ. Develop. No adverse comments.

APS No adverse comments.

Police Department No adverse comments.

PNM Gas Approves.

PNM Electric No comments.

Jones Intercable No adverse comments.

U.S. West Communications No comments received.

Environmental Health

Prior to any earthmoving or surface alteration activities involving a parcel of 3/4 of an acre or more, a Surface Disturbance Permit must be obtained from the City's Environmental Health Department pursuant to Albuquerque/Bernalillo County Air Quality Control Board Regulation, Part 20. Revegetation or stabilization of disturbed areas can be coordinated as part of the permitting process. Contact Larry Caudill (768-2600).

Parks Design & Development No adverse comments.

Utilities Development

Per the availability statement, each building must have separate metered water service. Please provide a copy of the Fire Marshal's stamped blue line "approved" site plan. Also, please provide updated flow requirements if different than those submitted in the availability statement. If additional fire hydrants are required, they must be identified on an infrastructure list installed at the developer's expense.

City Engineer

An approved conceptual grading and drainage plan is required for site plan sign-off by the City Engineer/AMAFCA.

Transportation Development

This site has an apparent parking shortage as it exists today. How is the additional parking needs to be alleviated? The need of a decel lane for this facility appears to be warranted.

Planning Department

1. A copy of the originally approved site plan must be included in the packet as Sheet 1. This is actually an amendment to the site plan for subdivision as well as a site plan for building permit for Phase II. 2. Signature block must state that the #1 sheet is approval of site development plan building permit for Phase II. 3. Revise Note 3 of sheet 1/8 to state that any changes to the building footprints or elevations will require an amendment of this plan through DRB, as long as the total square feet does not increase more than 10%. 4. Must have a copy of the originally approved plan to adequately review this site plan. Did that plan actually delegate site plan for building permit to DRB? 5. Show complete parking calculations; how you arrived at the required number. If subdividing this property, each tract must stand alone or cross parking/access easements must be provided. 6. Refuse Division must sign off on the site plan. 7. Metal roof material reflective or non-reflective? Should be labeled. Also windows? 8. Materials and colors to be called out on building elevation sheets, including building mounted signage. Also the area of building mounted signage. 9. How many monument signs are proposed? Sheet 4 shows numerous. Are these directional? What is allowed under the originally approved site plan? 10. Sheet 1 calls the buildings out as D, E, F, and C and the building elevation sheets calls them out as 1-4? Need to match. 11. Delegation can not be accepted by Planning because of the amount of missing information which may generate more comments and the amount of comments.

many

directional

IT IS REQUESTED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING


cc: Chapman Homes, 1500 St Francis Dr, Santa Fe, NM 87505
Tierra West Development Mgmt., Services, 4421 McLeod Rd NE, Ste D, 87109

**NOTICE OF PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Administration Conference Room, 3rd Floor, Planning Department, Plaza del Sol Building, 600 2nd St NW**, on Tuesday, May 27, 1997, beginning at 9:00 a.m., for the purpose of considering the following:

- DRB-94-552 Ellery Biathrow, agent for Paradise West Inc., requests Preliminary Plat approval for Units 4 and 5 and Final Plat approval for Tract 3 of Unit 1, Quintessence, proposed Unit 4, zoned R-D (City) and located on the west side of Eubank Blvd NE between Coronado Ave NE and Santa Monica Ave NE containing approximately 40.83 acres. (D-21)
S-94-74
- DRB-96-544 Protec Consulting, agents for Adil Rizvi, request Vacation (closing) of a portion of Public Right-of-Way for Hanover Rd NW, plus Preliminary Plat approval and a Sidewalk Variance for Tracts 231 and 232, Airport Unit, Town of Atrisco Grant, zoned R-D (City) and located on the south edge of Hanover Rd NW between 76th St NW and 80th St NW containing approximately 7.27 acres. (J-10)
V-97-62
SV-97-37
- DRB-97-125 Harris Surveying Inc., agents for Dayton Hudson Corp., request Vacation (voiding) of a Public Waterline Easement on Lot 1, Montgomery Crossing Addition, Phase II, zoned C-2 (City) and located on Montgomery Blvd NE between Wyoming Blvd NE and Moon St NE containing approximately 9.84 acres. (G-20)
V-97-65
- DRB-97-206 Andrews, Asbury & Robert Inc., agents for Albuquerque Metropolitan Arroyo Flood Control Authority (AMAFCA), request Vacation (closing) of Public Right-of-Way and Vacation (voiding) of Public Easement for Existing A.M.A.F.C.A. Right-of-Way parcels, being the North Diversion Channel between Montgomery Blvd NE and Menaul Blvd NE containing approximately 58.50 acres. (G-16)
V-97-64
- ~~DRB-97-207~~ Tierra West Development Management Services, agents for Chapman Homes, request Site Development Plan Amendment for Tract 2A1, Jefferson Office Complex, zoned SU-1 (City) and located on the east side of Jefferson St NE between Montgomery Blvd NE and Lumber Ave NE containing approximately 2.9 acres. (F-17)
- DRB-97-208 Jeff Mortensen & Associates, agents for Tim Townes and Paul Brennan, request Vacation (voiding) of a Railroad Spur Easement and portions of a Private Easement plus Sketch Plat Review and Comment for Tract 1B and 3, Dorsar Industrial Park, zoned M-1 (City) and located on the east side of Second St NW between Mescalero Rd NW and Griegos Rd NW containing approximately 4 acres. (G-14/G-15)
V-97-66

Details of the application(s) may be examined at the Development Services Division of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays - INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Koopman, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-2478 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Kym E. Dicome, Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 12, 1997.

PROPERTY OWNERSHIP LIST

ALBUQUERQUE/BERNALILLO COUNTY
PLANNING DEPARTMENT

ZA-	Z-
AX-	V-
CZ-	CSU-
DRB- 97-207	S-
SD-	

Meeting Date: 5-27-97

Index Map: F-17

Notification Radius: 100 ft.

Cross Refernce and
Location: _____

Applicant: Chapman Homes

Address: 1500 St. Francis Drive Santa Fe, Nm 87505

Agent: Tierra West Development

Address: 4421 McCleod Rd. NE Ste D Albg, Nm 87109

SPECIAL INSTRUCTIONS

Notices must be mailed from the
City 15 days prior to the meeting

Date Mailed: 5-16-97

Signature: CP.

DEVELOPMENT REVIEW BOARD

SIGN-IN SHEET

(ALL PERSONS WISHING TO SPEAK MUST SIGN IN)

AGENDA ITEM NO. 4

DATE: 5-27-97

CASE NO. DRB-97-207

PLEASE PRINT CLEARLY

- | | | | |
|--------------|----------------------------|----------|--|
| 1. NAME: | <u>Ron Bohannon</u> | NAME: | |
| 1. ADDRESS: | <u>4471 McLeod Seale D</u> | ADDRESS: | |
| 2. NAME: | | NAME: | |
| 2. ADDRESS: | | ADDRESS: | |
| 3. NAME: | | NAME: | |
| 3. ADDRESS: | | ADDRESS: | |
| 4. NAME: | | NAME: | |
| 4. ADDRESS: | | ADDRESS: | |
| 5. NAME: | | NAME: | |
| 5. ADDRESS: | | ADDRESS: | |
| 6. NAME: | | NAME: | |
| 6. ADDRESS: | | ADDRESS: | |
| 7. NAME: | | NAME: | |
| 7. ADDRESS: | | ADDRESS: | |
| 8. NAME: | | NAME: | |
| 8. ADDRESS: | | ADDRESS: | |
| 9. NAME: | | NAME: | |
| 9. ADDRESS: | | ADDRESS: | |
| 10. NAME: | | NAME: | |
| 10. ADDRESS: | | ADDRESS: | |

APPLICATION TO THE DEVELOPMENT REVIEW BOARD

APPLICATION FOR:

(CHECK APPLICABLE REQUEST; MORE THAN ONE CATEGORY CAN BE CHECKED)

Minor Subdivision

- Sketch Plat Review and Comment
- Preliminary Plat and Final Plat -
- (City Surveyor Approval Required)
- Lot Split (" " ")

Vacation (See No. 2)

- Public Right-of-Way
- Public Easement
- Private Easement

Major Subdivision (See No. 3)

- Sketch Plat Review and Comment
- Preliminary Plat Approval
- Final Plat Approval

Site Development Plan (See No. 4)

- Review and Comment
- Final Sign Off for EPC
- Approval (DRB only-attach checklist)
- Amended Plan

Subdivision Variance (See No. 5)

- Subdivision Design Standards
- Improvements Guarantee (Bulk Land)
- Sidewalk Variance

Other (See No. 6)

- Amended Infrastructure List
- SIA Extension
- Sector Plan Review or Sign Off

PRINT OR TYPE IN BLACK INK ONLY. Use additional sheets as necessary. The completed application must be submitted in person to the Planning Division by the applicant or agent. Fees are required at the time of application for Vacations, Site Development Plan Approvals (DRB only), and Preliminary Plat for Major Subdivisions. All attachments must be submitted with the application and, after folding, shall not exceed 8 1/2 x 14 inches. INACCURATE APPLICATIONS WILL DELAY HEARING OR DECISION DATE. For additional information, contact the Planning Division at (505) 768-3860.

APPLICANT INFORMATION

APPLICANT NAME: Chapman Homes Telephone Number: (505) 983-8100
 Mailing Address: 1500 St. Francis Drive
 City: Santa Fe State: NM Zip Code: 87505
 Applicant's Proprietary Interest in the Property: OWNER
 Has a List of Owners Been Provided? Yes No (This is Required for Preliminary Plat Application)
 AGENT (if Any): Tierra West Development Telephone Number: (505) 883-7592
 Mailing Address: 4421 McLeod Rd. NE Ste D
 City: Albuquerque State: NM Zip Code: 87109
 SIGNED (Applicant or Agent): [Signature] (Print) Ronald R. Bohannon

1. SITE INFORMATION

- (a) Property is: within the City Limits of Albuquerque or Outside the City Limits of Albuquerque, but within five (5) miles (This is the extent of Development Review Board Jurisdiction)
- (b) Present Zoning: SU-1 Proposed Zoning (Complete Only if Zone Change Request is Anticipated): _____
- (c) Existing Buildings? Yes No - If yes, a Site Sketch is required (show buildings, setbacks, and parking on separate sheet); If yes, Address(s) (required): _____
- (d) Number of Lots Existing: 1 Number Proposed: 1 Total Land Area Covered by Request: (Acres) 2.9 acres
- (e) Present Legal Description of the Property: Lot/Tract No.(s): 2A1 Block/Map No.(s) F-17
 Subdivision/Addition: Jefferson Office Complex
- (f) Location of Property by Streets - (located on far near): Jefferson
 between Montgomery Blvd NE and Lumber, NE
- (g) Uniform Property Code (18 Digit Number Issued by County Assessor): 1017 0613 3010 040 401

- 2. VACATION ONLY: Give reason for request on separate sheet. Sketch/state exactly what is being vacated. Give reasons why vacation should be granted as per Subdivision Ordinance requirements. A copy of the document that created the areas to be vacated is required.
- 3. SUBDIVISION ONLY: An Infrastructure List and a completed checklist from the Development Process Manual (DPM) is required for Major Subdivision/Preliminary Plat application. Attach any variances or easements granted for this property which affects platting if applicable. Attach zoning action, Notification of Decision, or Zone Change Request if applicable.
- 4. SITE DEVELOPMENT PLAN ONLY: For final sign off for EPC, Notification of Decision is required. For amended plan, list changes to previous plan.
- 5. SUBDIVISION VARIANCE REQUEST: Include letter of request for improvements guarantee (Bulk Land). Other information as required per the Development Process Manual (DPM) and Subdivision Ordinance. For Sidewalk Variance, sketch location and state reason for variance.
- 6. AMENDED INFRASTRUCTURE LIST, ETC: Describe and show changes to approved Infrastructure List. For Subdivision Improvement Agreement (SIA) Extension, attach previous DRB approvals (Infrastructure List, Notice of Decision, reduced plat or plan).

SUPPLEMENTAL INFORMATION

- (a) List Cross References to Environmental Planning Commission cases (2-) if Applicable: Z-83-41-3
- (b) List Cross References to Development Review Board cases (DRB-) if Applicable: _____
- (c) List Any Variance Granted (2A-) if Applicable Case No.: _____ City _____ County _____

PLANNING DIVISION INTERNAL USE ONLY

Application & Fees Accepted By: W. Kuten CEB Date: 5-2-97
 Advertised Case? Yes No If Yes, Number of Signs Issued: 1 Fee(s): \$ 270.00
 Map Number: F-17
 Hearing Date: 5-27-97
 S- _____
 V- _____
 DRB - 97-207

FORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME Medical Office Complex

AGIS MAP # F-17

LEGAL DESCRIPTION Lot 2A1 Jefferson Office Complex

DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza del Sol) on April 24 1997 [date].

F-17 / D1415

[Signature]
Applicant / Agent

5/2/97
Date

Bernie Montoya
Hydrology Division Representative

5/2/97
Date

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2nd floor Plaza del Sol) on March 26, 1997 [date].

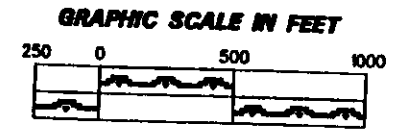
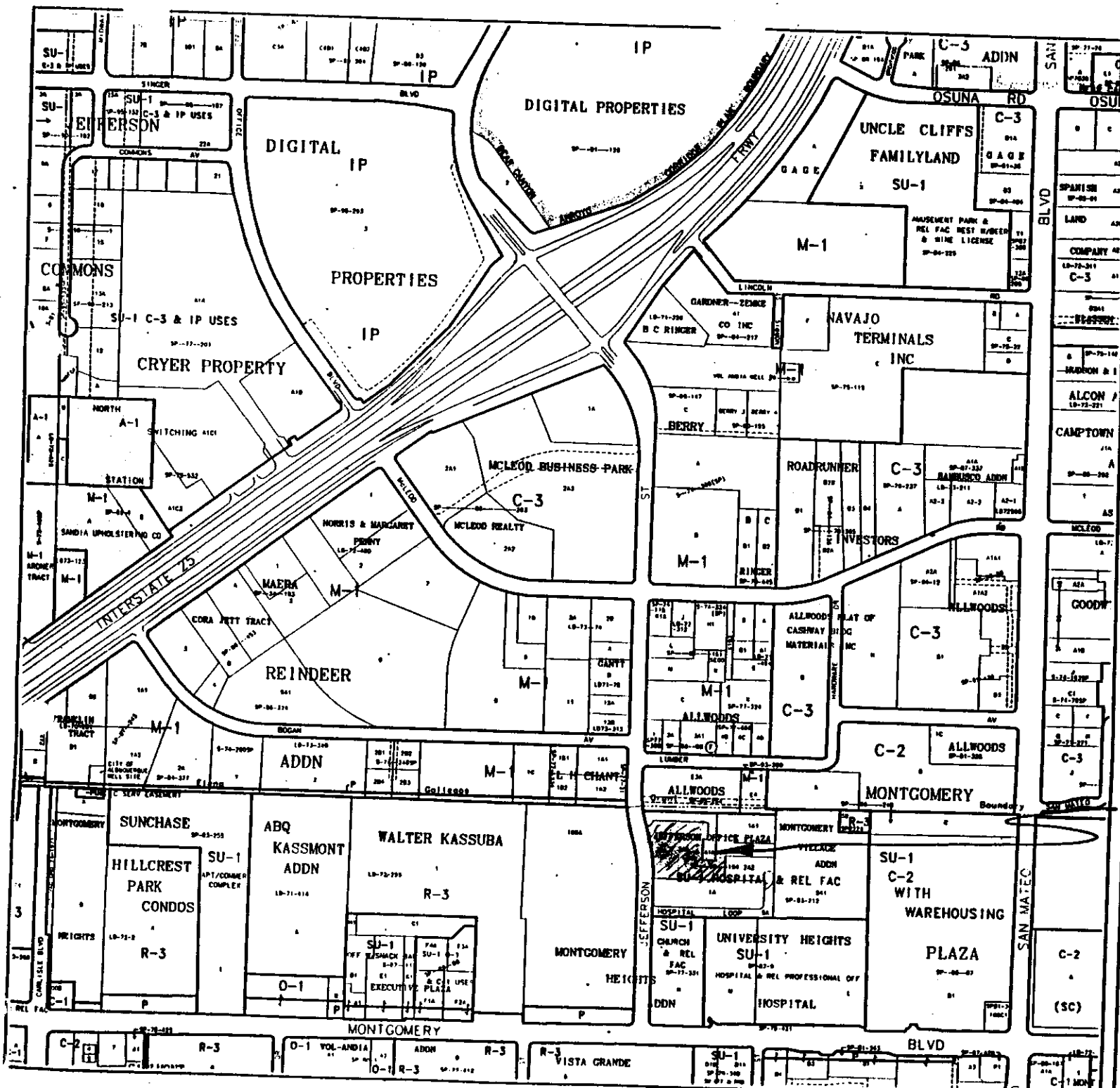
[Signature]
Applicant / Agent

5/2/97
Date

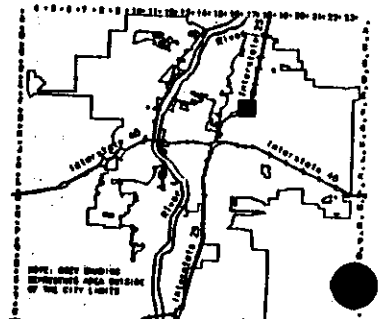
Robert W. Kane
Utilities Division Representative

5-2-97
Date

DRB# 97- 207



Map Amended through March 28, 1996



*Chapman Medical
 Office Site*

LEGAL DESCRIPTION
 T10N
 R9E
 SEC 36

UNIFORM PROPERTY CODE
 1-07-001

F-17-Z



Department of Family & Community Services
Office of Neighborhood Coordination

Martin J. Chávez, Mayor
April 15, 1997

Donna J. Bohannan
Tierra West Development Management Services
4421 McLeod Rd. NE, Suite D/87109
Phone: 883-7592, fax - 883-7034

Dear Donna:

Thank you for your inquiry of April 15, 1997 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project of LOTS 1A1, 2A1, 2A2 AND TRACT A-1-A, zone map page(s) F-17.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

HODGIN N.A.
Cathy Intemann
3816 Delamar NE/87110 888-4227 (h) 764-2011 (w)
David L. Bleakly
3813 Monroe NE/87110 888-4608 (h).

Please note that according to O-92 you are required to notify each of these contact persons by *certified mail, return receipt requested, before* your application filing will be accepted by the Planning Department. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.**

If you have any questions about the information provided, please contact our office at (505) 768-3790.

Sincerely,

Stephani Winklepleck
NEIGHBORHOOD COORDINATION

Planning - RNA Form (12/9/96)

Good for You, Albuquerque!



DRB97-207

101706133010040401 LEGAL: LOT 2A1 JEFFERSON OFFICE PLAZA LTS 1A1, 2A1, 2A2 & LAND USE:
 PROPERTY ADDR: 00000 N/A N/A
 OWNER NAME: RADIATION ONCOLOGY ASSOC P A
 OWNER ADDR: 04650 JEFFERSON LN NE ALBUQUERQUE NM 87109

101706136011240403 LEGAL: LOT 1A1 JEFFERSON OFFICE PLAZA LTS 1A1, 2A1, 2A2 & LAND USE:
 PROPERTY ADDR: 00000 N/A ALBUQUERQUE
 OWNER NAME: RADIATION ONCOLOGY ASSOC P A
 OWNER ADDR: 04650 JEFFERSON LN NE ALBUQUERQUE NM 87109

101706136409440405 LEGAL: LOT 2A2 JEFFERSON OFFICE PLAZA LTS 1A1, 2A1, 2A2 & LAND USE:
 PROPERTY ADDR: 04640 JEFFERSON NE N/A
 OWNER NAME: WMS-MESA LIMITED PARTNERSHIP
 OWNER ADDR: 04640 JEFFERSON NE ALBUQUERQUE NM 87109

101706135907740101 LEGAL: *1-A COR RECTED REPL OF LTS 1-4, LTS 5-A & 5-B & LT LAND USE:
 PROPERTY ADDR: 00101 HOSPITAL LP NE ALBUQUERQUE
 OWNER NAME: LEVY LARRY ETUX ETAL
 OWNER ADDR: 00000 P O BOX 14731 ALBUQUERQUE NM 87191

101706139709640112 LEGAL: LT 5 -A-1 CORRECTED REPL OF LTS 1-4, LTS 5-A & 5-B LAND USE:
 PROPERTY ADDR: 00103 HOSPITAL LP NE ALBUQUERQUE
 OWNER NAME: H C A PSYCHIATRIC COMPANY
 OWNER ADDR: 00103 HOSPITAL LP NE ALBUQUERQUE NM 87109

101706129306530119 LEGAL: TR B EING A POR OF TR 100A MONTGOMERY HTS ADD'N CON LAND USE:
 PROPERTY ADDR: 04401 MONTGOMERY BL NE ALBUQUERQUE
 OWNER NAME: KASSUBA W REALTY CORP ETAL
 OWNER ADDR: 04401 MONTGOMERY NE ALBUQUERQUE NM 87109

101706133211440404 LEGAL: TR A 1A J EFFERSON OFFICE PLAZA LTS 1A1, 2A1, 2A2 & LAND USE:
 PROPERTY ADDR: 00000 N/A ALBUQUERQUE
 OWNER NAME: RADIATION ONCOLOGY ASSOC P A
 OWNER ADDR: 04650 JEFFERSON LN NE ALBUQUERQUE NM 87109

101706129913130126 LEGAL: *1A2 REP LAT OF LOT 1-A OF L H CHANT ADD LAND USE:
 PROPERTY ADDR: 00000 JEFFERSON ST NE N/A
 OWNER NAME: HUEY JUDITH M
 OWNER ADDR: 00800 DULCINEA EL PASO TX 79722

101706132913340402 LEGAL: TR E -3-A PLAT OF TR E-3-A ALLWOOD'S SUBD BEING A R LAND USE:
 PROPERTY ADDR: 04700 JEFFERSON LN NE ALBUQUERQUE
 OWNER NAME: CHANT GEORGE A & JUDITH W
 OWNER ADDR: 08701 LA SALA DEL SUR NE ALBUQUERQUE NM 87111

RECORDS W I T

**NOTICE OF PUBLIC HEARING-
DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Administration Conference Room, 3rd Floor, Planning Department, Plaza del Sol Building, 600 2nd St NW**, on **Tuesday, May 27, 1997**, beginning at 9:00 a.m., for the purpose of considering the following:

DRB-94-552
S-94-74

Ellery Biathrow, agent for Paradise West Inc., requests Preliminary Plat approval for Units 4 and 5 and Final Plat approval for Tract 3 of Unit 1, Quintessence, proposed Unit 4, zoned R-D (City) and located on the west side of Eubank Blvd NE between Coronado Ave NE and Santa Monica Ave NE containing approximately 40.83 acres. (D-21)

DRB-96-544
V-97-62
SV-97-37

Protect Consulting, agents for Adil Rizvi, request Vacation (closing) of a portion of Public Right-of-Way for Hanover Rd NW, plus Preliminary Plat approval and a Sidewalk Variance for Tracts 231 and 232, Airport Unit, Town of Atrisco Grant, zoned R-D (City) and located on the south edge of Hanover Rd NW between 76th St NW and 80th St NW containing approximately 7.27 acres. (J-10)

DRB-97-125
V-97-65

Harris Surveying Inc., agents for Dayton Hudson Corp., request Vacation (voiding) of a Public Waterline Easement on Lot 1, Montgomery Crossing Addition, Phase II, zoned C-2 (City) and located on Montgomery Blvd NE between Wyoming Blvd NE and Moon St NE containing approximately 9.84 acres. (G-20)

DRB-97-206
V-97-64

Andrews, Asbury & Robert Inc., agents for Albuquerque Metropolitan Arroyo Flood Control Authority (AMAFCA), request Vacation (closing) of Public Right-of-Way and Vacation (voiding) of Public Easement for Existing A.M.A.F.C.A. Right-of-Way parcels, being the North Diversion Channel between Montgomery Blvd NE and Menaul Blvd NE containing approximately 58.50 acres. (G-16)

DRB-97-207

Tierra West Development Management Services, agents for Chapman Homes, request Site Development Plan Amendment for Tract 2A1, Jefferson Office Complex, zoned SU-1 (City) and located on the east side of Jefferson St NE between Montgomery Blvd NE and Lumber Ave NE containing approximately 2.8 acres. (F-17)

DRB-97-208
V-97-66

Jeff Mortensen & Associates, agents for Tim Townes and Paul Brennard, request Vacation (voiding) of a Railroad Spur Easement and portions of a Private Easement plus Sketch Plat Review and Comment for Tract 1B and 3, Dorsar Industrial park, zoned M-1 (City) and located on the east side of Second St NW between Mes-calero Rd NW and Griegos Rd NW containing approximately 4 acres. (G-14/G-15)

Details of the application(s) may be examined at the Development Services Division of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays - INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Koopman, Planning Director at (505) 243-3333.

924-3946 (VOICE) or teletypewriter (TTY) 924-2478 - TTY users may also access the Voice number via the New Mexico Relay Network by dialing toll free 1-800-659-8331.
Kym E. Diggins, Chair
Development Review Board
Journal: May 12, 1997

**STATE OF NEW MEXICO
County of Bernalillo SS**

Bill Tafoya, being duly sworn, declares and says that he is Classified Advertising Manager of **The Albuquerque Journal**, and that this newspaper is duly qualified to publish legal notices or advertisements within the meaning of Section 3, Chapter 167, Session Laws of 1937, and that payment therefore has been made of assessed as court cost; that the notice, copy of which is hereto attached, was published in said paper in the regular daily edition, for One times, the first publication being on the 18 day of May, 1997 and the subsequent consecutive publications on _____, 1997.

OFFICIAL SEAL
Corrina Duncan
NOTARY PUBLIC
STATE OF NEW MEXICO
Commission Expires 12-31-99

Bill Tafoya
Sworn and subscribed to before me, a Notary Public, in and for the County of Bernalillo and State of New Mexico, this day of May 18, 1997

PRICE 48.14

Statement to come at end of month.

ACCOUNT NUMBER 020583

CLA-22-A (R-1/93)

Non Illuminated Acrylic Letters

Existing Conditions:
No signs on Building Facade



ABQ Pediatric Dentistry

Not to Scale

Address: 4620 Jefferson Lane NE
City/State: Albuquerque NM 87109
Phone: Dr. Christian Rawson, (808-312-0254)

 **SignPlex**[™]
Indoor - Outdoor Innovations
P: 505-341-0213 F: 505-341-3291
4901 Edith BLVD NE, Albuquerque NM 87107
License Number: 368298 EE98 & GS23

Sign 1 - Sign Details

A Quantity 1: Non-lit Acrylic Logo and Lettering
Sign Size: 9' 1" L x 2' 1" H **Sign sq/ft:** 18 sq/ft

B Quantity 1: Non-lit Acrylic Logo and Lettering **(see following page)*
Sign Size: 7' 5" L x 1' 9.5" H **Sign sq/ft:** 14.06 sq/ft

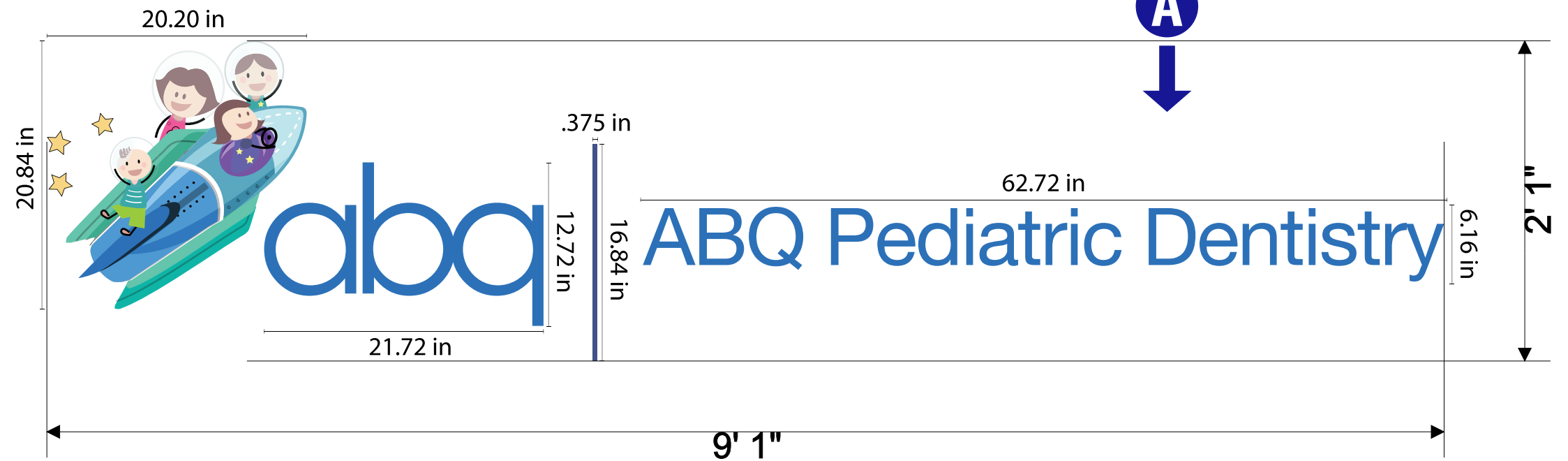
Total Sign Sq/FT: 32.06 sq/ft

Building Facade sq/ft: 22' 2" L x 14' 9"H = 329.11 sq/ft

Signs are: 10 % of the Facade



A Custom painted, 3/8" thick, acrylic NON-illuminated, logo and letters. Flush mounted with studs.



ABQ Pediatric Dentistry

Not to Scale

Address: 4620 Jefferson Lane NE
City/State: Albuquerque NM 87109
Phone: Dr. Christian Rawson, (808-312-0254)

SignPlex[™]
 Indoor - Outdoor Innovations
 P: 505-341-0213 F: 505-341-3291
 4901 Edith BLVD NE, Albuquerque NM 87107
 License Number: 368298 EE98 & GS23

Sign 2 - Sign Details

B Quantity 1: Non-lit Acrylic Logo and Lettering.
Sign Size: 7' 5" L x 1' 9.5" H **Sign sq/ft:** 14.06 sq/ft

A Quantity 1: Non-lit Acrylic Logo and Lettering **(see previous page)*
Sign Size: 9' 1" L x 2' 1" H **Sign sq/ft:** 18 sq/ft

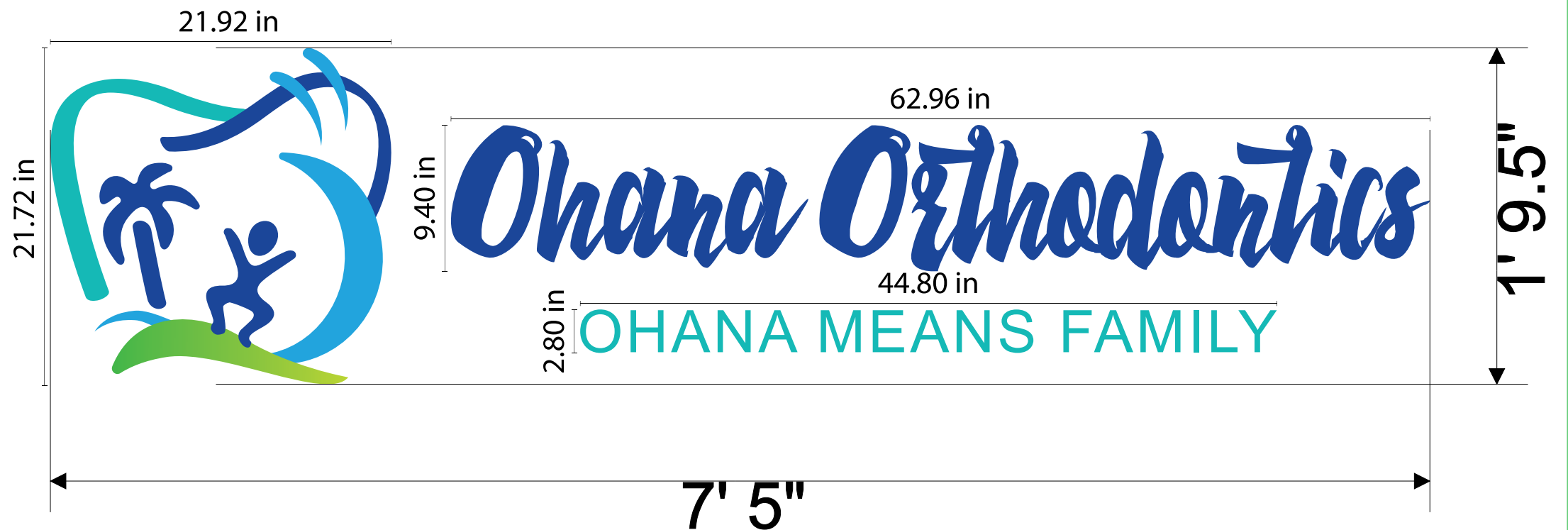
Total Sign Sq/FT: 32.06 sq/ft

Building Facade sq/ft: 22' 2" L x 14' 9"H = 329.11 sq/ft

Signs are: 10 % of the Facade



B Custom painted, 3/8" thick, acrylic NON-illuminated, logo and letters. Flush mounted with studs.



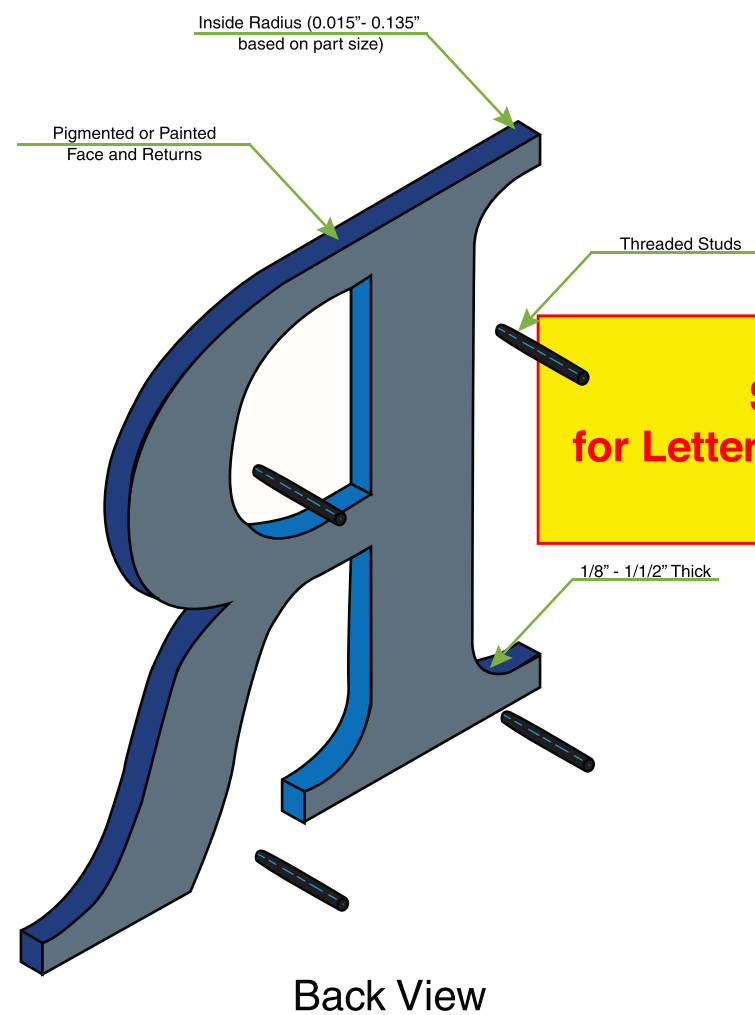
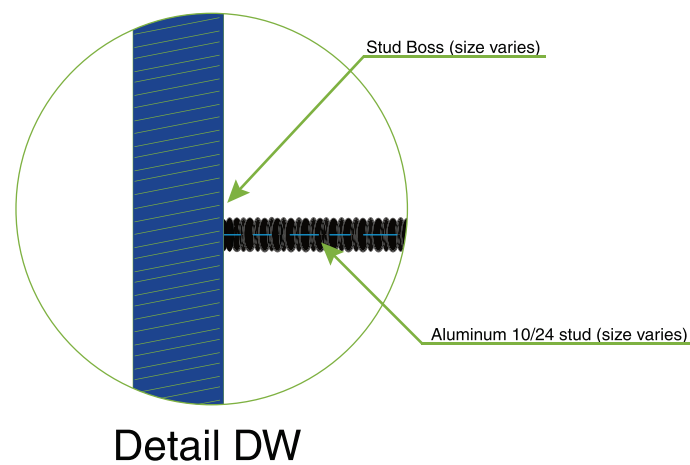
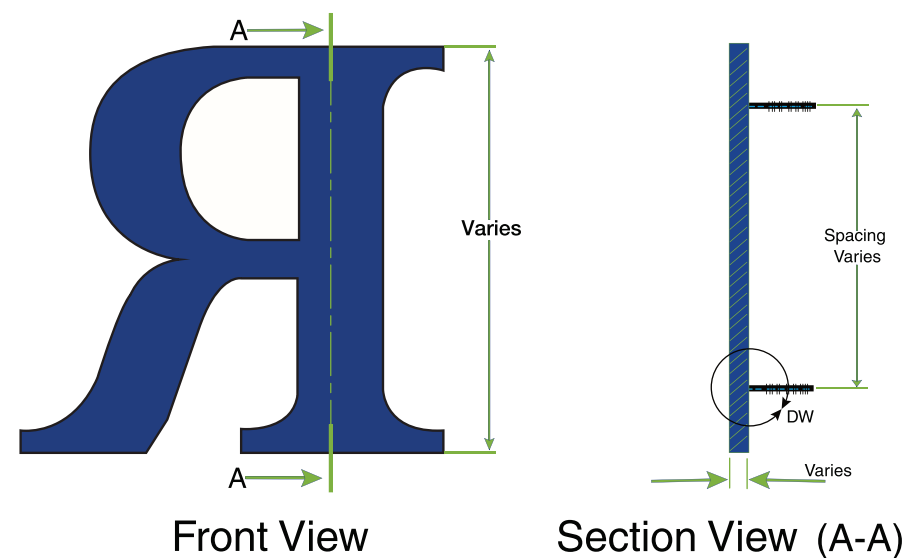
ABQ Pediatric Dentistry

Address: 4620 Jefferson Lane NE
City/State: Albuquerque NM 87109
Phone: Dr. Christian Rawson, (808-312-0254)

Not to Scale

SignPlex[™]
 Indoor - Outdoor Innovations
 P:505-341-0213 F:505-341-3291
 4901 Edith BLVD NE, Albuquerque NM 87107
 License Number: 368298 EE98 & GS23

Mounting Details

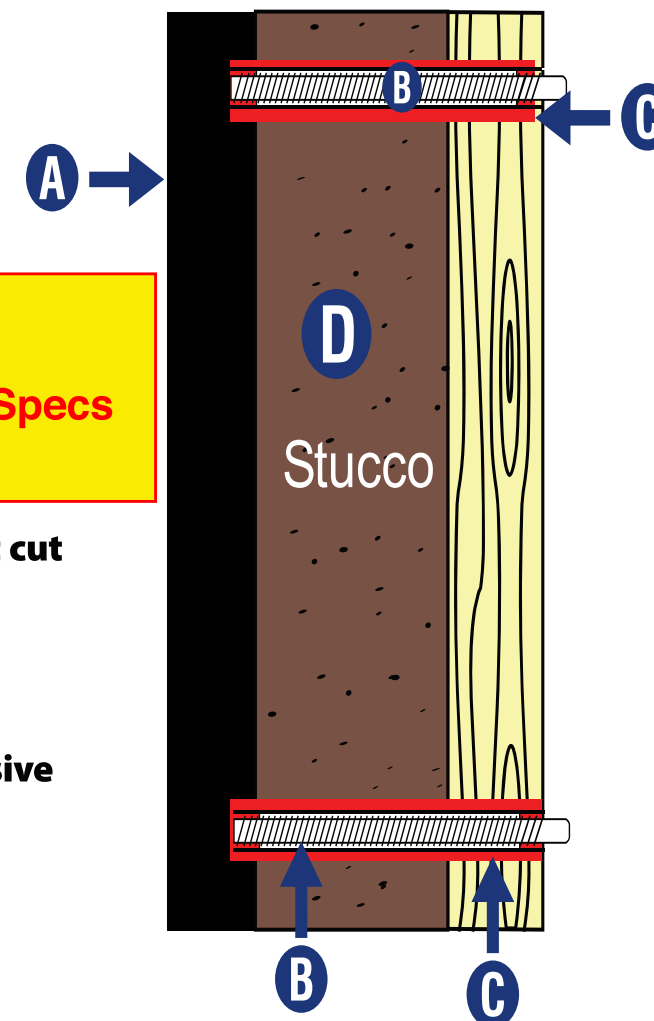


Not to Scale

See Following Page
for Letter Specs and Mounting Specs

Profile View

Flush/Stud Mount Side View



- A** 3/8" Thick flat cut acrylic letters
- B** 3/16" Studs
- C** Red indicates silicone adhesive
- D** Stucco wall with plywood back

ABQ Pediatric Dentistry

Address: 4620 Jefferson Lane NE
 City/State: Albuquerque NM 87109
 Phone: Dr. Christian Rawson, (808-312-0254)

NOTE: All bolts shall be embedded at least 5" as per H111.2 2015 IBC


SignPlex[™]
 Indoor - Outdoor Innovations
 P: 505-341-0213 F: 505-341-3291
 4901 Edith BLVD NE, Albuquerque NM 87107
 License Number: 368298 EE98 & GS23

Letter & Mounting Specs from Vendor

LASER CUT ACRYLIC Letters & Logos Specifications

Rev. 9/27/19

Part I – General

1.1 Scope

A. Furnish letters and hardware necessary to install Laser Cut Acrylic, shown on drawings and herein specified.

1.2 Submittals

- A. Manufacturer's illustrated product literature and specifications.
- B. Installation instructions

1.3 Quality Assurance

- A. Manufacturer to have a minimum of 25 years experience in manufacturing letters.
- B. All letters to be manufactured by one manufacturer.

Part II – Products

2.1 Acceptable Manufacturer or Manufacturer's Representative

- A. Gemini Incorporated
103 Mensing Way
Cannon Falls, MN 55009
Phone: 800-538-8377 or 507-263-3957
Fax: 800-421-1256 or 507-263-4887
Email: sales@geminisignproducts.com
Web: www.geminisignproducts.com

2.2 Materials (Impact-modified acrylic)

- A. Gemini manufactures impact-modified extruded acrylic sheet, in multiple standard pigmented colors 1/8" to 1/2" thick and 3/4" – 1-1/2" thick Cast Acrylic sheet that can be liquid painted. Gemini's acrylic offers good rigidity, tensile strength, and is resistant to chemicals & corrosion - UV inhibitors help prevent colors from fading - Impact modifiers added to help prevent material from breaking.

2.3 General Construction.

- A. Gemini's Laser cut acrylic letters & logos are cut from impact modified extruded acrylic sheet, pigmented or painted. Extruded gauges: 1/8", 3/16", 1/4", 3/8", and 1/2" thickness. Pigmented or painted, standard or custom colors. Cast gauges: 3/4", 1" & 1-1/2" thickness. Painted any standard or custom color.
- B. Laser cut with a slight radius on all inside and outside corners. Filet sizes are based on part sizes and gauge. This radius helps to prevent letters from cracking during shipment and installation. Radius average = .050".
- C. Computerized vector files are imported and cleaned to properly cut a quality product. The degree of cleaning is more critical with a laser to produce a quality finished product.
- D. Largest single piece that can be laser cut and shipped is 46" x 93". Larger shapes can be cut in pieces. Letters can be laser cut as small as 3/4" high (with 1/8" thick material). Larger letters will typically require a thicker gauge material.
- E. Laser cutting will produce a smooth edge (return). Edge finish will vary based on pigmented color or paint.
- F. Laser cut acrylic panels and logos are available painted or custom printed with 1200 dpi resolution – UV resistant ink.
- G. Impact Strength of 1.2, with a HN Flammability Rating. Vicat Softening Temperature of 227°F. Flame Spread Index 115. Smoke Develop Index 550. Self Ignition Temperature 833.

2.4 Mounting Hardware

- A. Mounting options: plain, double face 25mil tape, studs, pads, or a combination of the two for typical mounting options. Letters 3/8" and thicker can be precision drilled & tapped for a Flush Stud mount. Optional spacers available.
- B. Studs: Laser cut acrylic letters and logos are typically stud mounted with 6-32 or 10-24 studs. 5056 Aluminum alloy studs are standard. Stainless Steel 302 alloy studs - optional. 2" long studs are standard – longer studs available upon request.
- C. Decorative Metal Stand-Offs, available for mounting acrylic panels. Clear Anodized Aluminum Stand-Offs are 1/2" or 1" diameter, with 3/4" or 1-1/2" stand-off options.

2.5 Manufacture

- A. Letters/Logos shall be made of Laser Cut Acrylic.
- B. Letter shall be _____ letter style and shall be _____ inches high, as indicated on drawings.
- C. Mounting shall be _____ and a perfect pattern or drill pattern, designating stud locations are / are not required for mounting on a _____ surface.

Part III – Execution

3.1 Installation

- A. A qualified installer shall install Laser Cut Acrylic Letters and Logos.

3.2 Warranty

- A. Letters should be guaranteed for the life of the business against defects.

3.3 Maintenance

- A. Cleaning as needed per manufacturer recommendations.



WIND LOAD CALCULATIONS - PLASTIC LETTERS

F1-TECH-Q16

Rev. 9/11/19

General plastic windload information provided below.

More job specific calculations and certifications available upon request.

Plastic Letters - Combination ALL Mount

The following data was calculated in May 2004, and reaffirmed 2012, using Gemini's Formed plastic letters, thermoformed out of CAB (Cellulose Acetate Butyrate). Testing and Calculations done and confirmed by David Schmitt, VP Operations, BSME, MMSE.

Assumptions and facts:

Numbers are based on a wind force of 144 mph - this equals 82.7 lb/sq. ft. Samples used for testing were Helvetica (a common style) Mounting hardware for the letters was a Combination All mount (stud through pad) with an injection molded plastic block used to receive the threaded stud.

Max. depth of the letters was as follows:

12" UC	1-1/2" deep
18" UC	2" deep
24" UC	2-1/2" deep
36" UC	3" deep

Tensile strength at break for CAB (Cellulose Acetate Butyrate) is 1800 psi
Tensile strength of Chemcaulk Silicone Adhesive is 350 psi
Thread area for shear of a 10-24 plastic block is 0.048 sq. in.
Average face area of a sign letter is .6 x height squared

The following numbers are the result of actual tests, and theoretical information, gathered from the manufacturers of the component parts. This chart is designed to show how much force our mounting hardware will withstand, when used on a standard letter.

Letter Height	144 wind Face Load lbs. Force	144 wind Side Load lbs. Force	Block Shear Strength lbs force	Silicone/Pad Shear Stren. lbs. Force
12"	50 lbs.	11 lbs.	346	3360
18"	112 lbs.	22 lbs.	518	14700
24"	198 lbs.	36 lbs.	518	14700
36"	447 lbs.	65 lbs.	691	19600

Ex: A 24" letter will have 36 lbs. of force pushing on the letter's side, with 144 mph winds. A 24" letter will have 198 lbs. of force pushing on the letter's face, with 144 mph winds. This 24" letter's hardware (threaded block) will not fail until the force equals 518 lbs. of force. This 24" letter's pad with silicone will not fail until the force equals 14,700 lbs. of force

Gemini Letter Data

Letter Height	Face Area Square in.	Side Area Square in.	Pads/letter	Pad Area Sq. in. ea.	Total Pad Area Sq.in.	Plastic Block Thread Area	Total Block Thread area
12"	86.4	18	4	2.4	9.6	0.048	0.192
18"	194.4	36	6	7	42	0.048	0.288
24"	345.6	60	6	7	42	0.048	0.288
36"	777.6	108	8	7	56	0.048	0.384

Assumptions and Facts

The point of failure will be the Aluminum screws in shear, at the minor thread diameter. 144 mph wind speed is equal to 82.7 lb./sq.ft. (0.574 lbs./sq.in.) Tensile strength at break for 3003 Aluminum is 16,000 psi. Minor thread area in shear of a 10-24 Aluminum Screw is .015 sq.in. at 2 threads depth. Therefore, each screw has a holding force in shear of 240 pounds. Average face area of a sign letter is .6 x height squared. Maximum depth of letters is 1.0" at 6"high, 1.5" at 12"high, 2.0" at 18"high, 2.5" at 24"high, and 3.0" at 36"high.

ABQ Pediatric Dentistry

Address: 4620 Jefferson Lan NE

City/State: Albuquerque NM 87109

Phone: Dr. Christian Rawson, (808-312-0254)

Not to Scale



Indoor - Outdoor Innovations
P:505-341-0213 F:505-341-3291
4901 Edith BLVD NE, Albuquerque NM 87107
License Number: 368298 EE98 & GS23

4620 Jefferson Lane NE
Albuquerque NM 87109

Site Plan

