

LEGAL DESCRIPTION:
 JEFFERSON OFFICE PLAZA LOT 2A1 (LOTS 1A1, 2A2, TRACT "A-1-A")
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 FILED OCT 17, 1990, VOLUME 90C, COUNTY FOLIO 257

DRB-97-207

CASE NUMBER: Z-83-41

This plan is approval of site development plan for Phase II only.

SITE DEVELOPMENT PLAN

Paul Dan 6-23-97
 Traffic Engineer, Transportation Division Date

Michael J. Hays 6-3-97
 Planning and Development, CIP Date

John M. Hays 6-3-97
 Public Works, Water Utilities Division Date

Paul J. Hays 7-7-97
 City Engineer, Engineering Division / AMAFCA Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

Kevin L. Hays 7-10-97
 City Planner, Albuquerque / Bernalillo Date

County Planning Division

PLNZ (10706) 4/96

in planning file

SOLID WASTE APPROVAL _____ DATE _____

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- PROPOSED SIDEWALK
- PROPOSED BUILDING
- EXISTING ELEMENTS
- PROPOSED CURB AND GUTTER
- SETBACK

- SHEET INDEX**
1. AMMENDED PHASE II SITE PLAN
 - 1A. ORIGINAL APPROVED OVERALL SITE PLAN
 - 1B. ORIGINAL APPROVED PHASE II SITE PLAN
 2. LANDSCAPING PLAN
 3. GRADING PLAN
 4. BUILDING ELEVATIONS
 5. BUILDING ELEVATIONS
 6. MASTER UTILITY PLAN

ACS BRASS CAP STA "M-5A"
 N.M. STATE PLANE COOR. SYSTEM
 (CENTRAL ZONE)
 Y=1,503,065.00
 X=396,865.92
 Δ=0°11'55"
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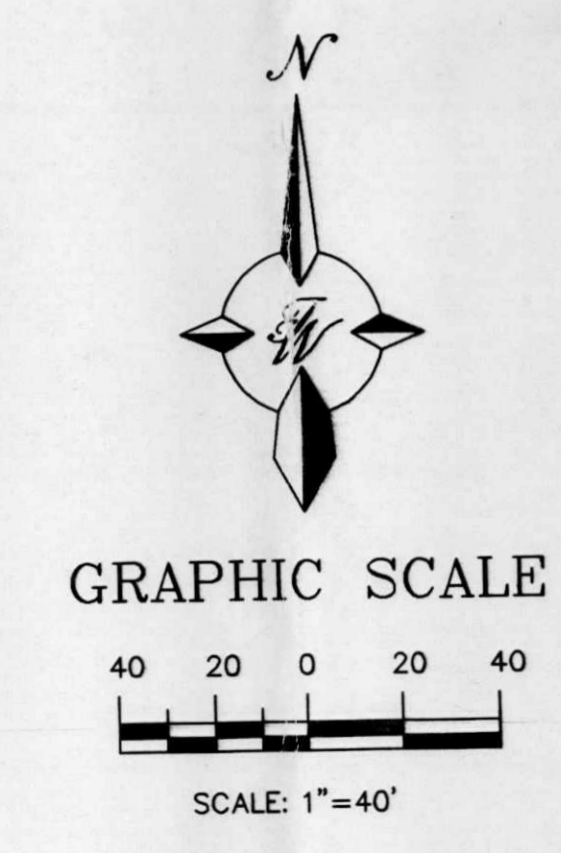
- NOTES:**
1. WATER SERVICE AND METER SIZES TO BE VERIFIED WITH ARCHITECT.
 2. BUILDINGS WILL BE TRADITIONAL OR SOUTHWEST STYLE WITH FLAT ROOFS. BUILDING WILL BE STUCCO WITH COLORS BEING EARTHTONE WITH ACCENTS.
 3. ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACT 2A-1 THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 4. SITE LIGHTING WILL CONSIST OF A COMBINATION OF BUILDING MOUNTED HPS FIXTURES, WALKWAY AREA LIGHTS, AND POST MOUNTED LIGHT FIXTURES.
 5. ALL SIGNAGE SHALL CONFORM TO THE CITY OF ALBUQUERQUE SIGN CODE. THE PROJECT SHALL HAVE ILLUMINATED PROJECT IDENTIFICATION SIGNAGE AT THE MAIN ENTRANCE. MAXIMUM MONUMENT SIGNAGE AREA SHALL BE 100 SQ. FT., EACH FACE. SIGNAGE SHALL ADHERE TO O-1 (OFFICE) ZONE REQUIREMENTS (SECTION 14-16-2-15(A)(18)) AND SHALL BE INTERNALLY ILLUMINATED WITH INDIVIDUAL LETTERING. THE AMOUNT OF MONUMENT SIGNS SHALL ALSO MEET THE REQUIREMENTS OF THE O-1 ZONE.
 6. ALL SIDEWALKS ON SITE SHALL BE MONOLITHIC TURNDOWN OTHERWISE SHOWN, ALL THE SIDEWALKS ARE TO BE CONSTRUCTED WITH EACH BUILDING.

MINIMUM BUILDING SETBACKS:

FROM NORTHERN PROPERTY LINE:	15 FEET
FROM SOUTHERN PROPERTY LINE:	15 FEET
FROM EASTERN PROPERTY LINE:	15 FEET
FROM WESTERN PROPERTY LINE:	25 FEET
FROM ANY CURB:	15 FEET
BETWEEN BUILDINGS:	25 FEET

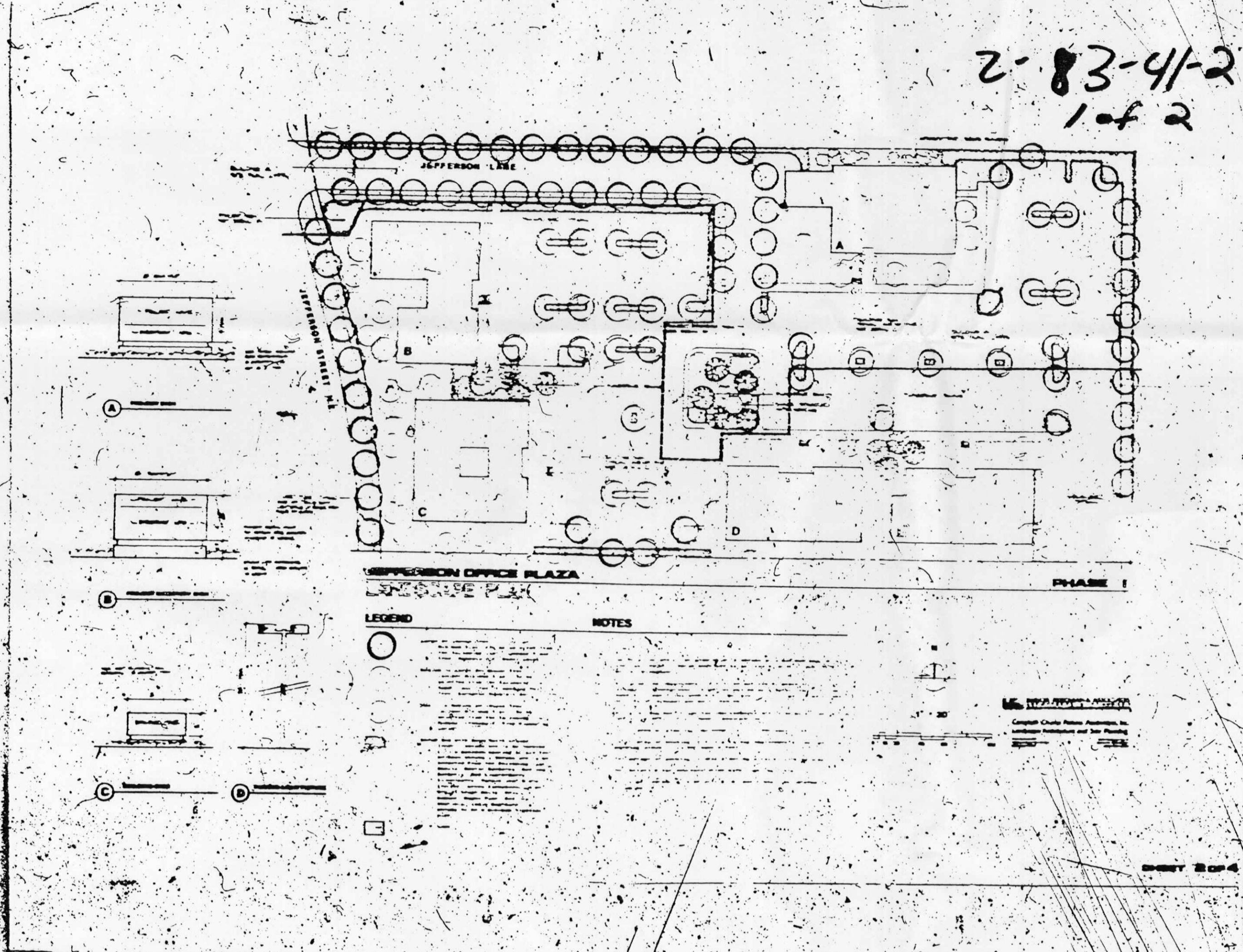
SITE DATA

PROPOSED USAGE:	OFFICE PARK
TOTAL LOT AREA:	241,766.86 SF (5.5502 ACRES)
TRACT 2A1 AREA:	127,702.46 SF (2.9316 ACRES)
BUILDING AREA:	EXISTING BUILDING A: 9,200 SF EXISTING BUILDING B: 11,090 SF PROPOSED BUILDING C: 7,880 SF PROPOSED BUILDING D: 9,358 SF PROPOSED BUILDING E: 6,082 SF PROPOSED BUILDING F: 8,080 SF TOTAL BUILDING AREA: 51,690 SF TOTAL APPROVED AREA: 48,190 SF 3,500 SF INCREASE
BUILDING TYPE:	TYPE VN, W/ TWO HOUR FIRE RATED PARTY WALLS
PARKING/DRIVEWAY:	EXISTING: 72,769.91± SF PROPOSED: 32,276.52± SF TOTAL: 104,746.43± SF
SIDEWALKS:	EXISTING: 8,231.04± SF PROPOSED: 6,369.04± SF TOTAL: 14,600.08± SF
LANDSCAPE AREA:	EXISTING: 39,168.63± SF PROPOSED: 31,561.72± SF TOTAL: 70,730.35± SF
LANDSCAPING REQUIRED:	15% OF NET LOT AREA = 28,590± SF
PARKING PROVIDED:	EXISTING: 170 SPACES PROPOSED: 91 SPACES TOTAL: 261 SPACES
PARKING REQUIRED:	51,690 SF/200 SF=259 SPACES
HC PARKING PROVIDED:	9 SPACES
HC PARKING REQUIRED:	8 SPACES 1 SPACE VAN ACCESSIBLE



DRB-97-207

ENGINEER'S SEAL	JEFFERSON OFFICE PLAZA	DRAWN BY JDN
		DATE 04-15-97
		SITE PLAN
	TIERRA VEST DEVELOPMENT MANAGEMENT SERVICES	SHEET #
	4421 McLEDD ROAD N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	1 OF 6
	RONALD R. BOHANNAN P.E. #7868	JOB # 970012



CITY OF ALBUQUERQUE
 THIS MICROFILM IS THE BEST
 AVAILABLE REPRODUCTION AND
 IS THE PROPERTY OF THE
 NATIONAL ARCHIVES.

DATE: 11-11-77

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 THIS MICROFILM IS THE BEST
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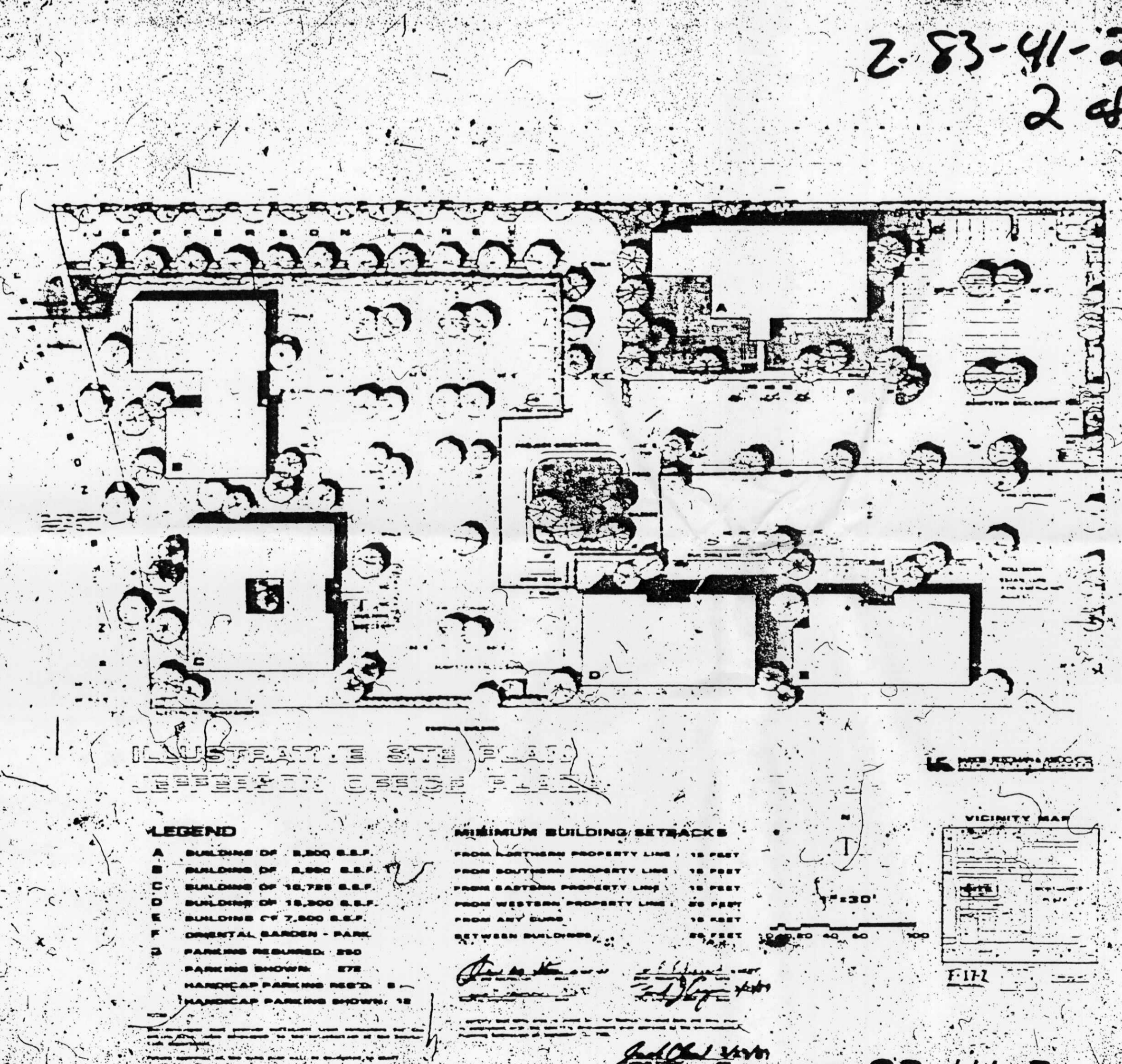
The photographic process used
 meets the Basic Requirements
 of the National
 Micrographics Association
 (ANSI Z39.18-1977)

Albino Smith
Albino Smith

PLANS/PLATS ON FILE
 FILE DESC: Z-83-41-2

PLANS/PLATS 2
 REN
 C

CITY OF ALBUQUERQUE



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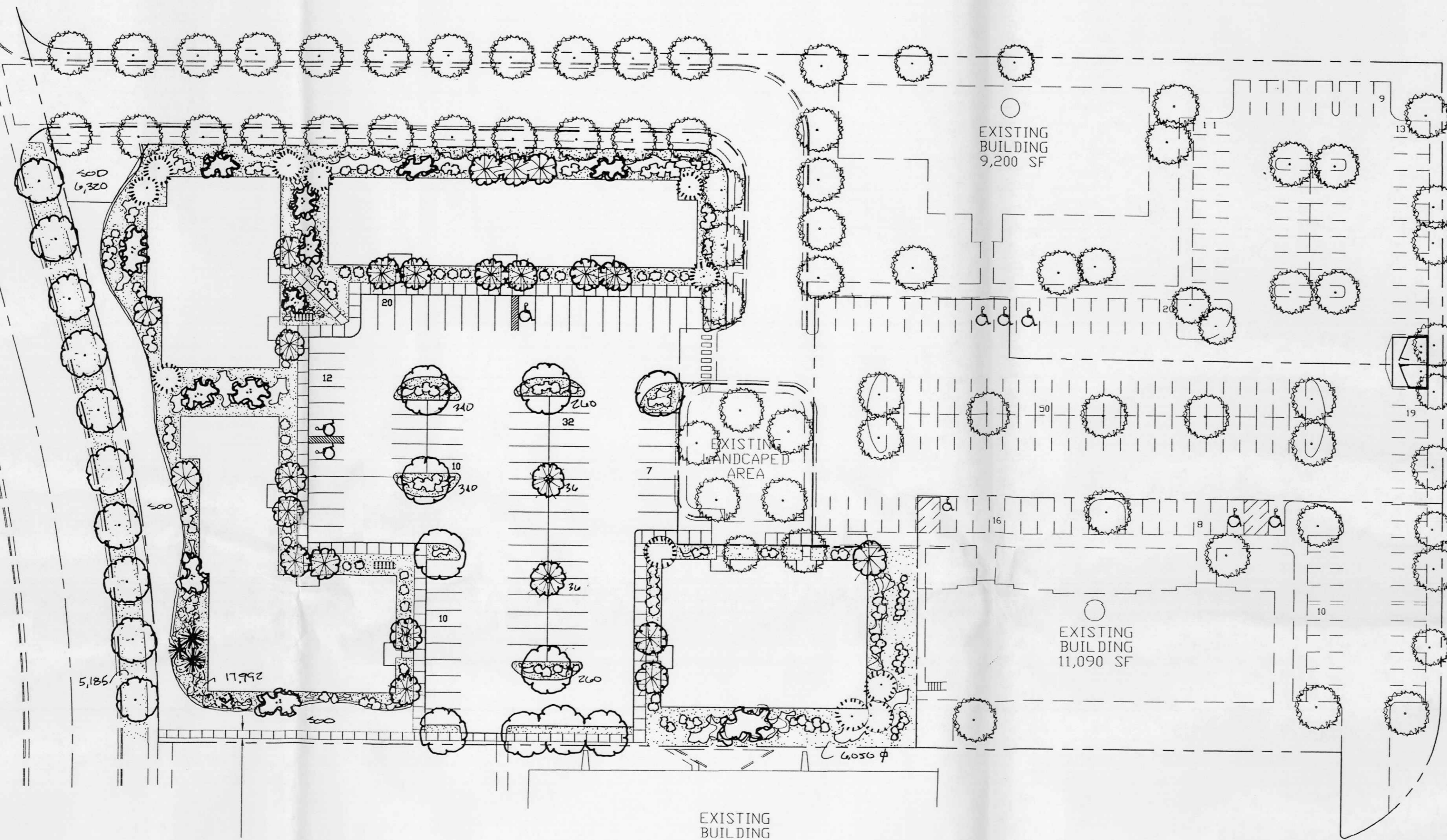
Albino Smith
Albino Smith

B
 A

Z-83-41-2

CITY OF ALBUQUERQUE

1A OF 6



LANDSCAPE LEGEND

- 2 1/2" CAL. SHADE TREES (H) (18 TOTAL)
HEAT, MAPLE
- 15' CANOP. FLOWERING ORNAMENTAL TREES (H) (27 TOTAL)
PRAIRIE PEAR, PEBBLE
- 15' CANOP. EVERGREEN TREES (H) (11 TOTAL)
AUSTRALIAN PINE
- 8-10' MULTI-TRUNK ACCENT TREE (M-H) (11 TOTAL)
PINON, WASHINGTON HAWTHORNE, FERRUGINEO, MAPLE
- PALM THUMB (3 TOTAL)
- 5' CANOP. SHRUBS (183 TOTAL)
RHODIA-M, BATHOLEPS-M, HOLLY-M, BOXWOOD-M, CHAMISA-L, RUSSIAN SAGE-M, BLUEWIST SPRUCE-M, MOUNTAIN SAGE-M, MANHATTAN-M, SILVERBERRY-M
- 5' CANOP. GROUNDCOVERS (93 TOTAL)
BUFFED JUNIPER-M, HONEYSCUCKLE-M, TAM JUNIPER-M
- SANTA FE BROWN GRAVEL / FILTER FABRIC
- SOD LAWN
- COMMERCIAL GRADE STEEL EDGING
- OVERSIZE COBBLE PATTERNS / BOUNDARIES

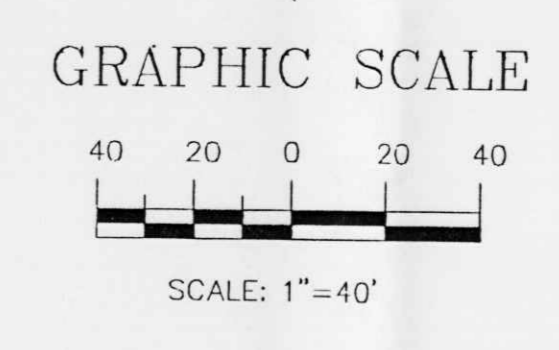
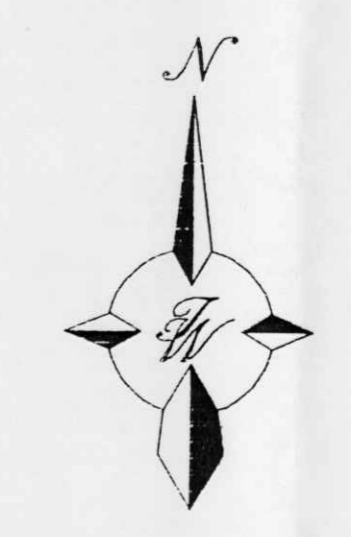
LANDSCAPE CALCULATIONS

	TOTAL	THIS PHASE
TOTAL SITE NEED	241,767 sq ft	121,702 sq ft
TOTAL BUILDING NEED	- 51,690 sq ft	- 31,400 sq ft
* OFFSITE LANDSCAPING PROPOSED	- 5,185 sq ft	- 5,185 sq ft
NET LOT NEED	184,892 sq ft	91,117 sq ft
LANDSCAPE REQUIREMENT	.15	
TOTAL LANDSCAPING REQUIRED	27,733 sq ft	13,667 sq ft
TOTAL LANDSCAPING PROVIDED	70,730	
TOTAL LANDSCAPE EXISTING	39,168	
TOTAL LANDSCAPE PROPOSED	31,562 + 0.5185 = 31,741	
TOTAL SOD PROPOSED (17%)	6,320	
TOTAL BED PROPOSED	11,992	

LANDSCAPE NOTES

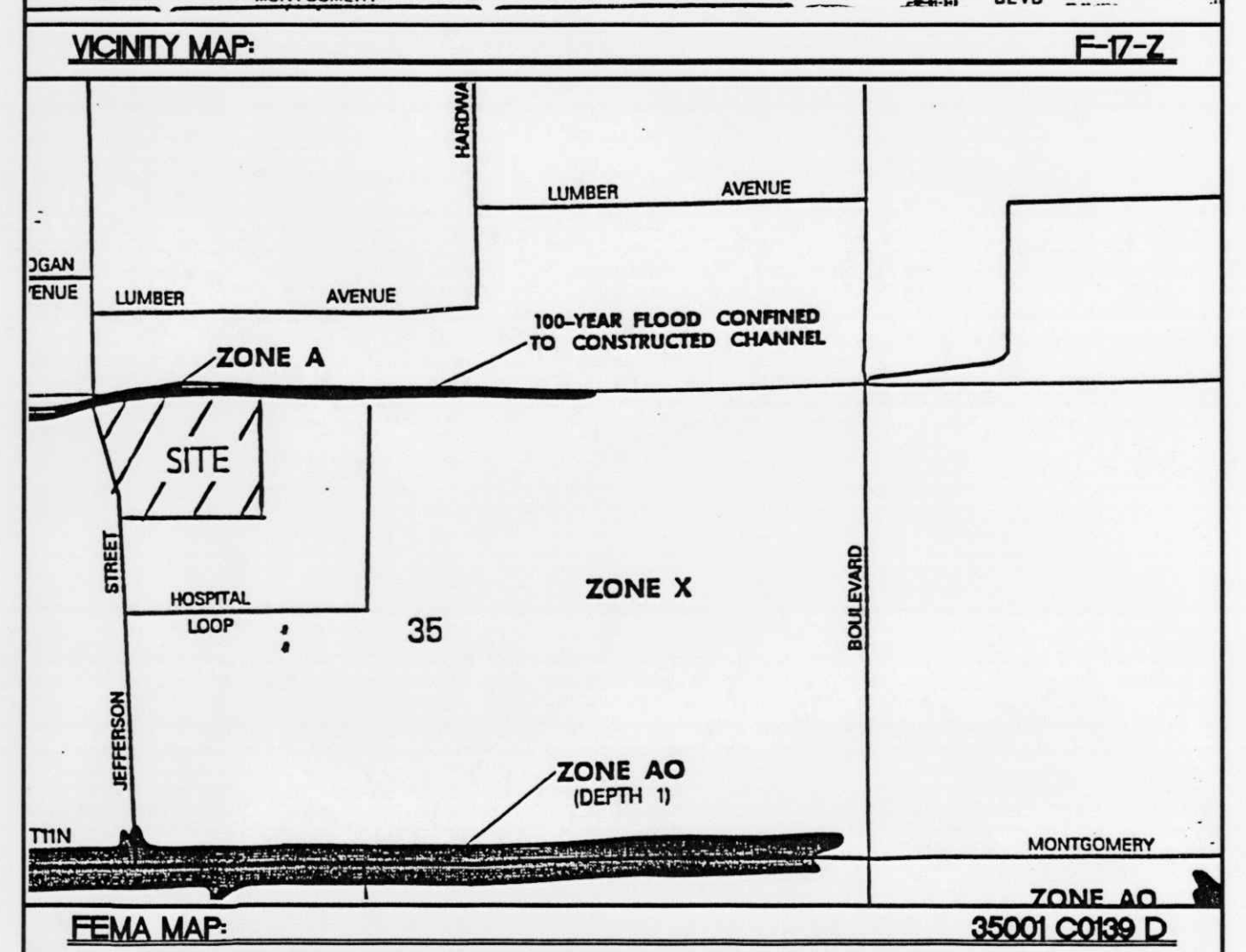
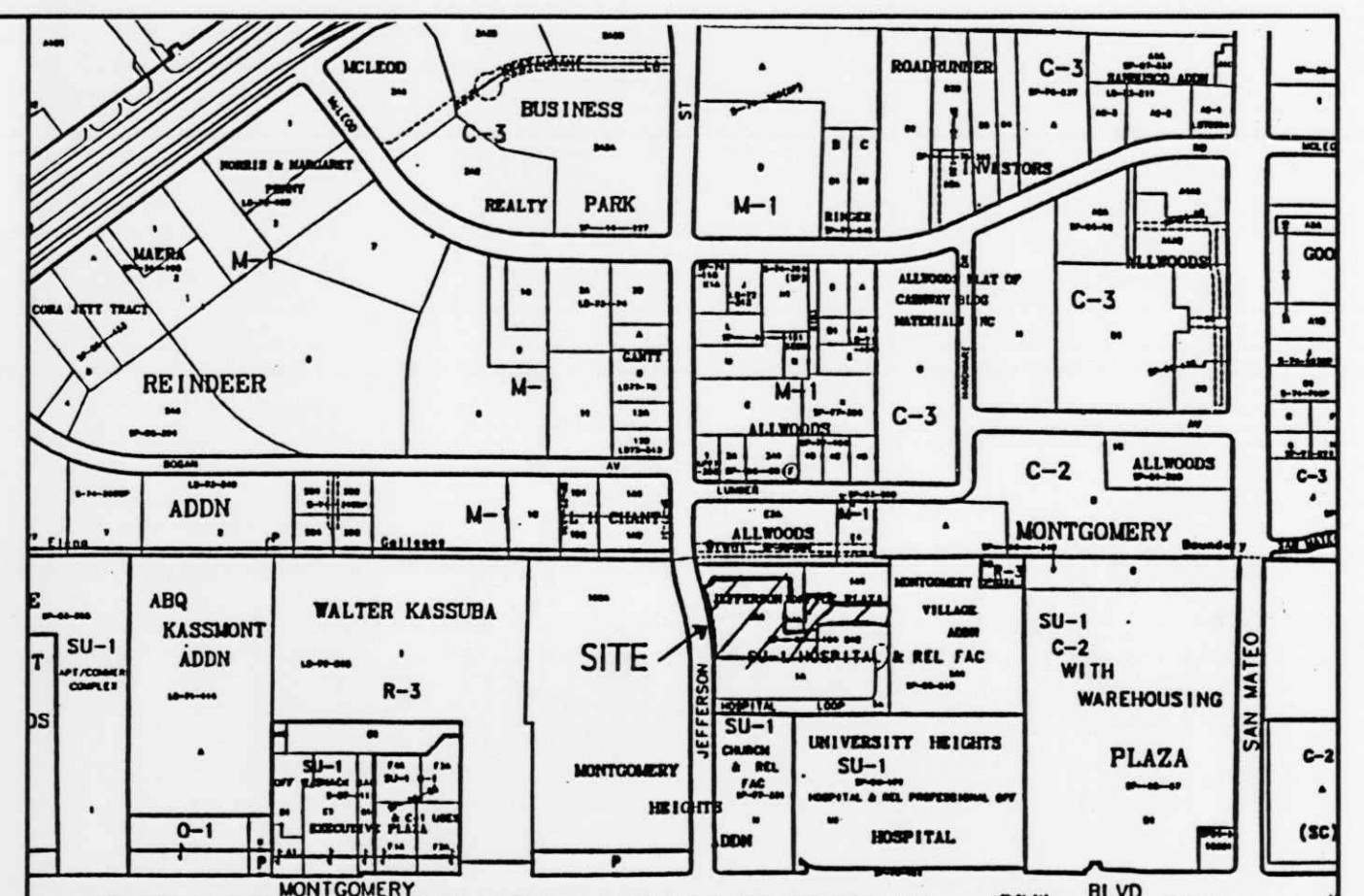
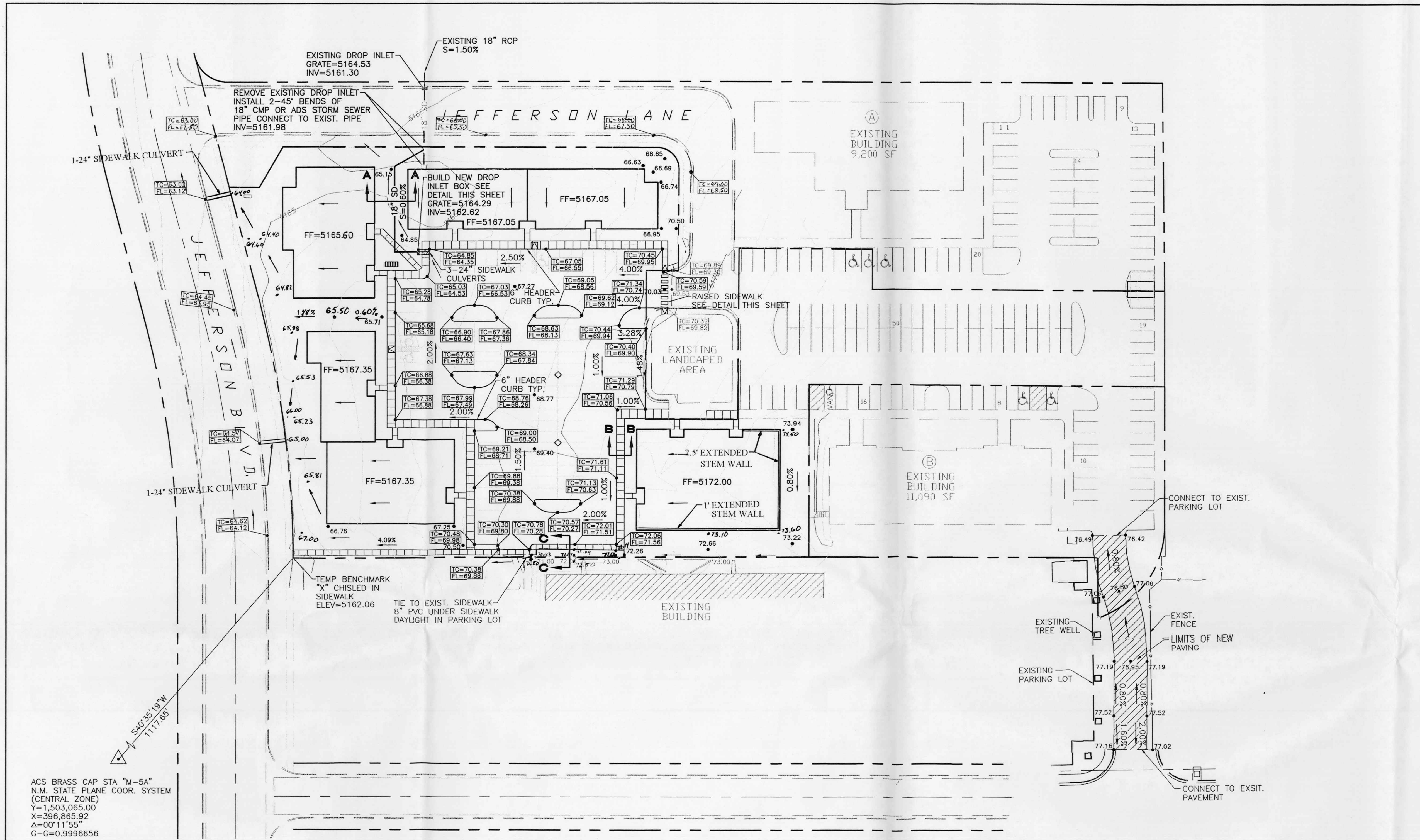
ALL LANDSCAPING SHALL BE WATERED BY A COMPLETE UNDERGROUND IRRIGATION SYSTEM CREATED BY AUTOMATIC TIMER. PER. UP SPRAY HEADS TO SOD LAWN. BUBBLERS TO TREES AND DRIP IRRIGATION TO SHRUBS. IRRIGATION SYSTEM MAINTENANCE TO BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

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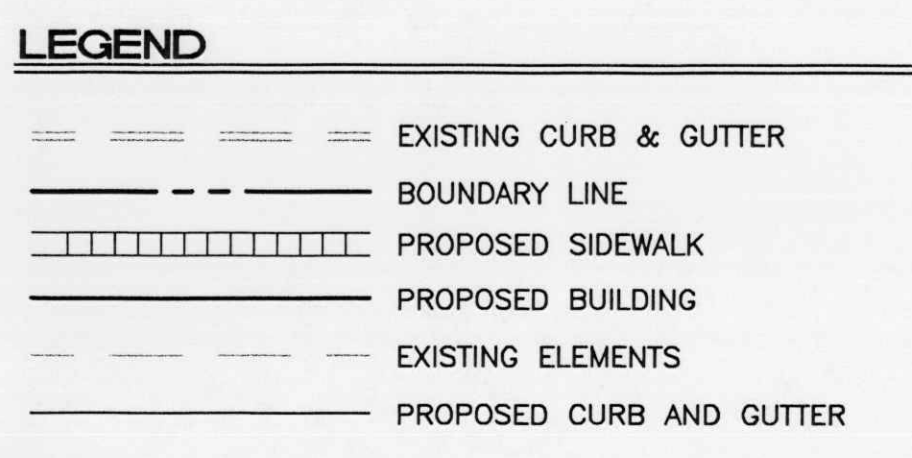
GENERAL NOTES:
 ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBMISSION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED LOT 2A1 THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD.
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ENGINEER'S SEAL	JEFFERSON OFFICE PLAZA	DRAWN BY JDN
	LANDSCAPE PLAN	DATE 04-21-97
	TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES	9712LAND.DWG
	4421 McLEDD ROAD N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	SHEET # 2 OF 6
RONALD R. BOHANNAN P.E. #7868		JOB # 970012



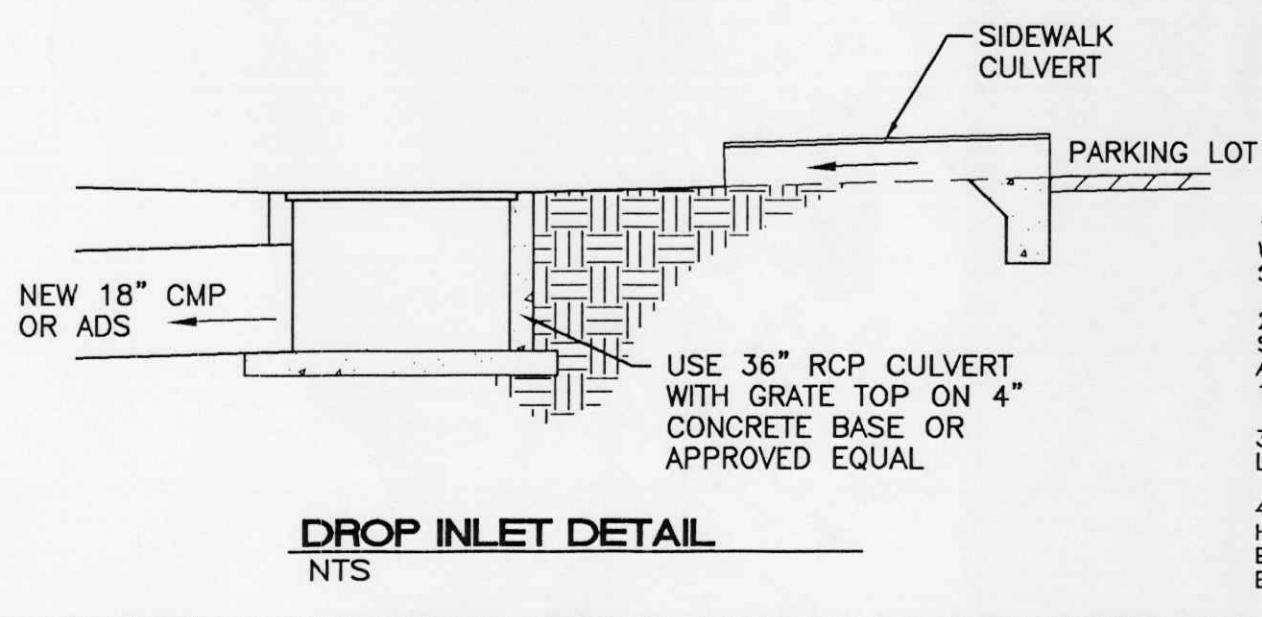
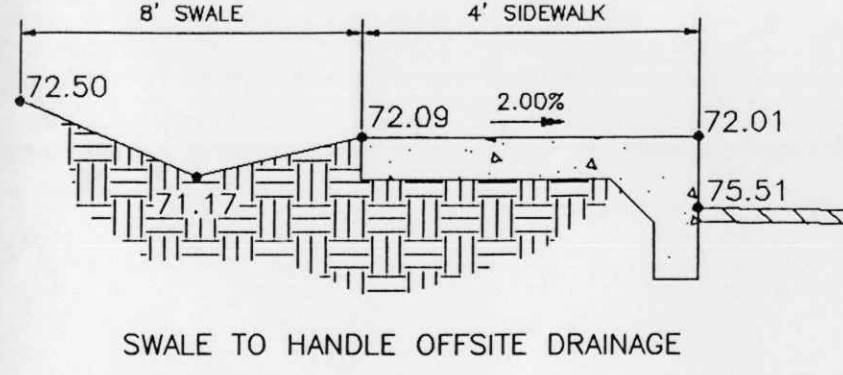
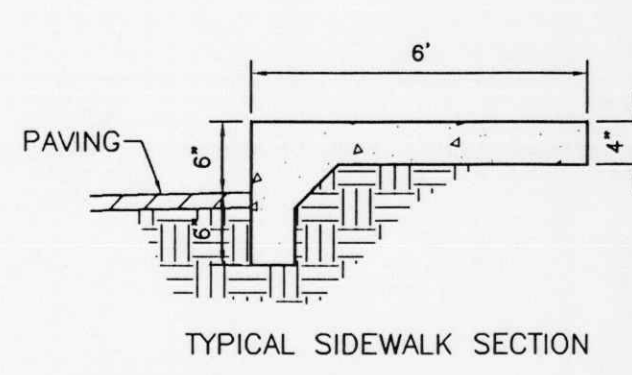
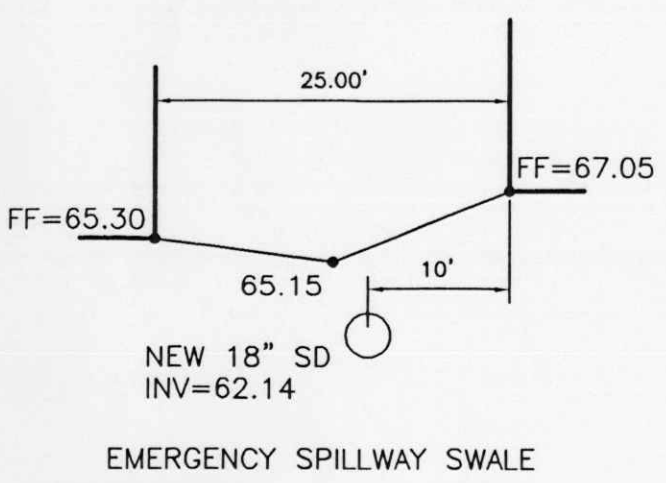
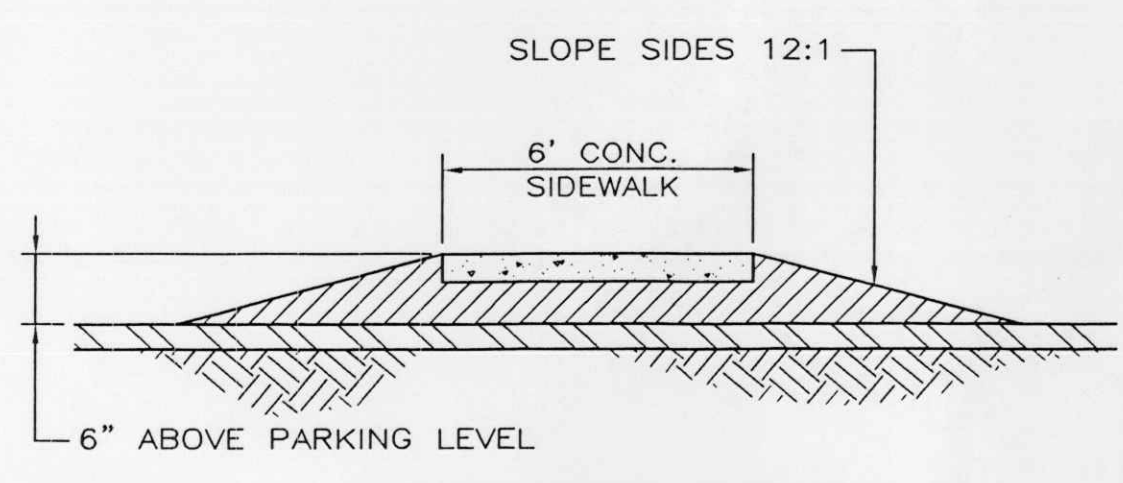
ROUGH GRADING APPROVAL _____ DATE _____

- EROSION CONTROL PLAN NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED UTILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:
 JEFFERSON OFFICE PLAZA LOT 2A1 (LOTS 1A1, 2A2, TRACT "A-1-A")
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 FILED OCT 17, 1990, VOLUME 90C, COUNTY FOLIO 257

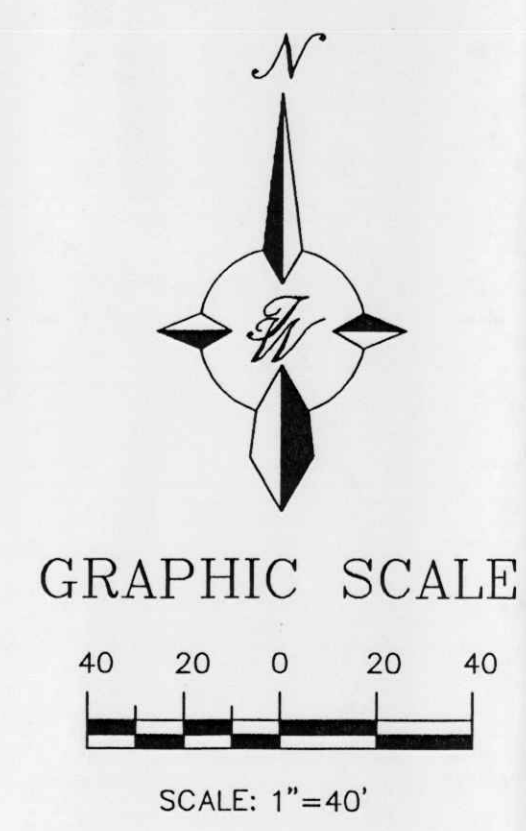
ACS BRASS CAP STA "M-5A"
 N.M. STATE PLANE COOR. SYSTEM
 (CENTRAL ZONE)
 Y=1,503,065.00
 X=396,865.92
 Δ=0°11'55"
 G-G=0.9996656



- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1995.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 789-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

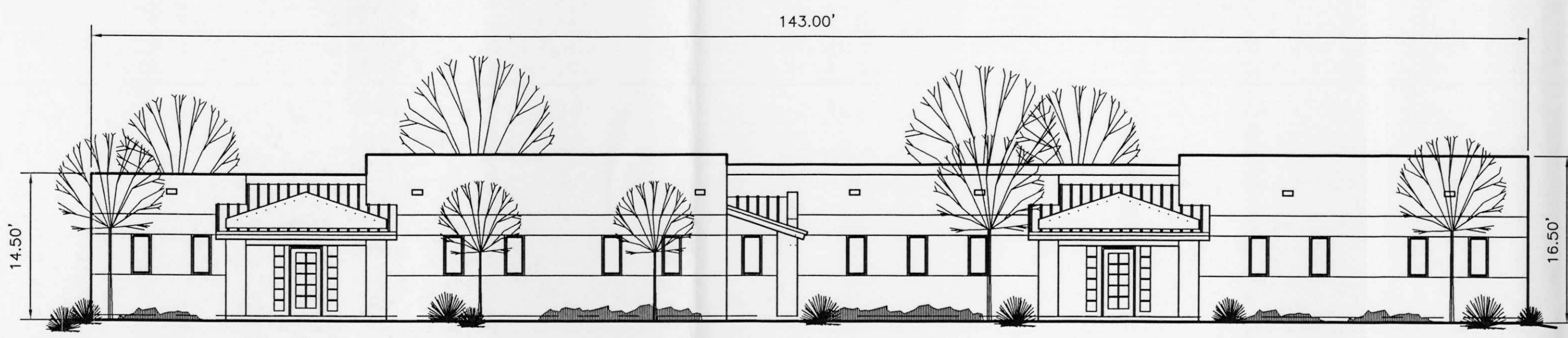
APPROVALS	NAME	DATE
HYDROLOGY		
INSPECTOR		
A.C.E./FIELD		

- NOTES:**
- ADD 5100 TO ALL SPOT ELEVATIONS

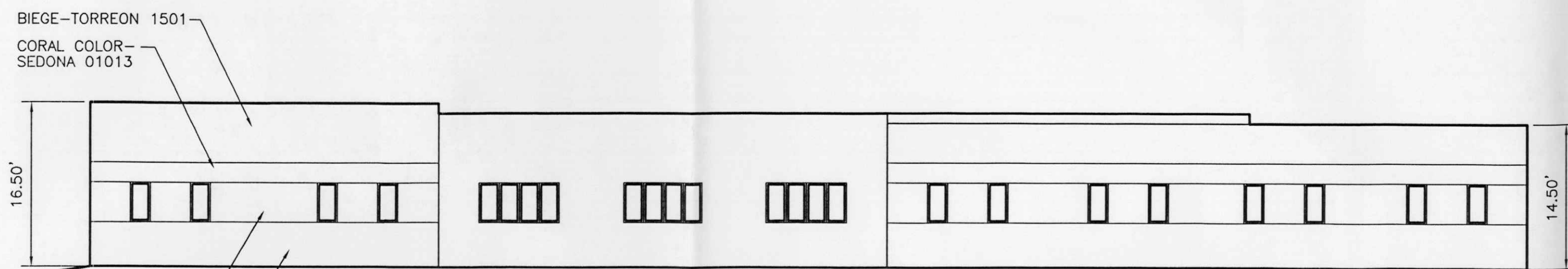


40/970012/9712GR.DWG/JDN/05-30-97

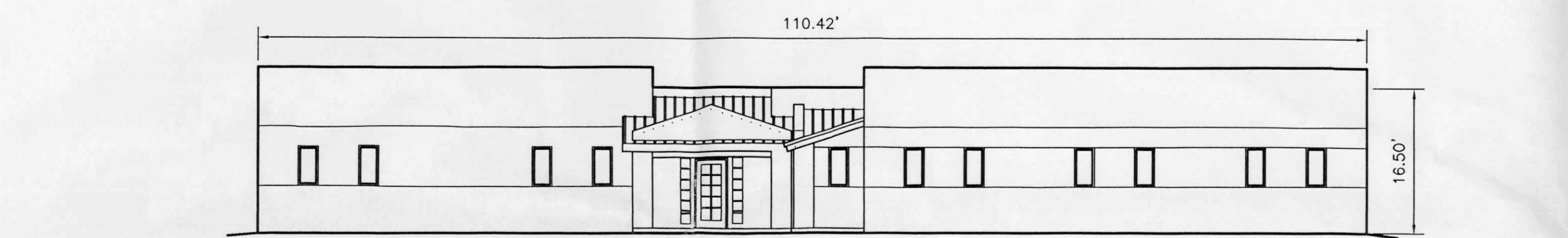
	JEFFERSON OFFICE PLAZA GRADING AND DRAINAGE PLAN	DRAWN BY JDN DATE 04-15-97 9712GR.DWG
	TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES 4421 McLEDD ROAD N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	SHEET # 3 OF 6 JOB # 970012



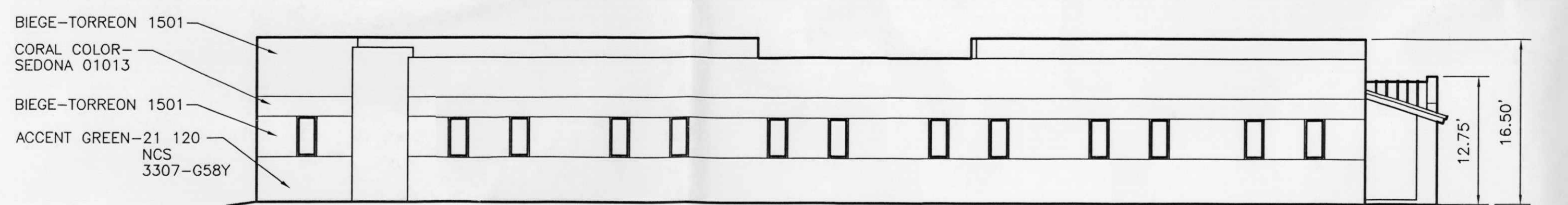
EAST ELEVATION
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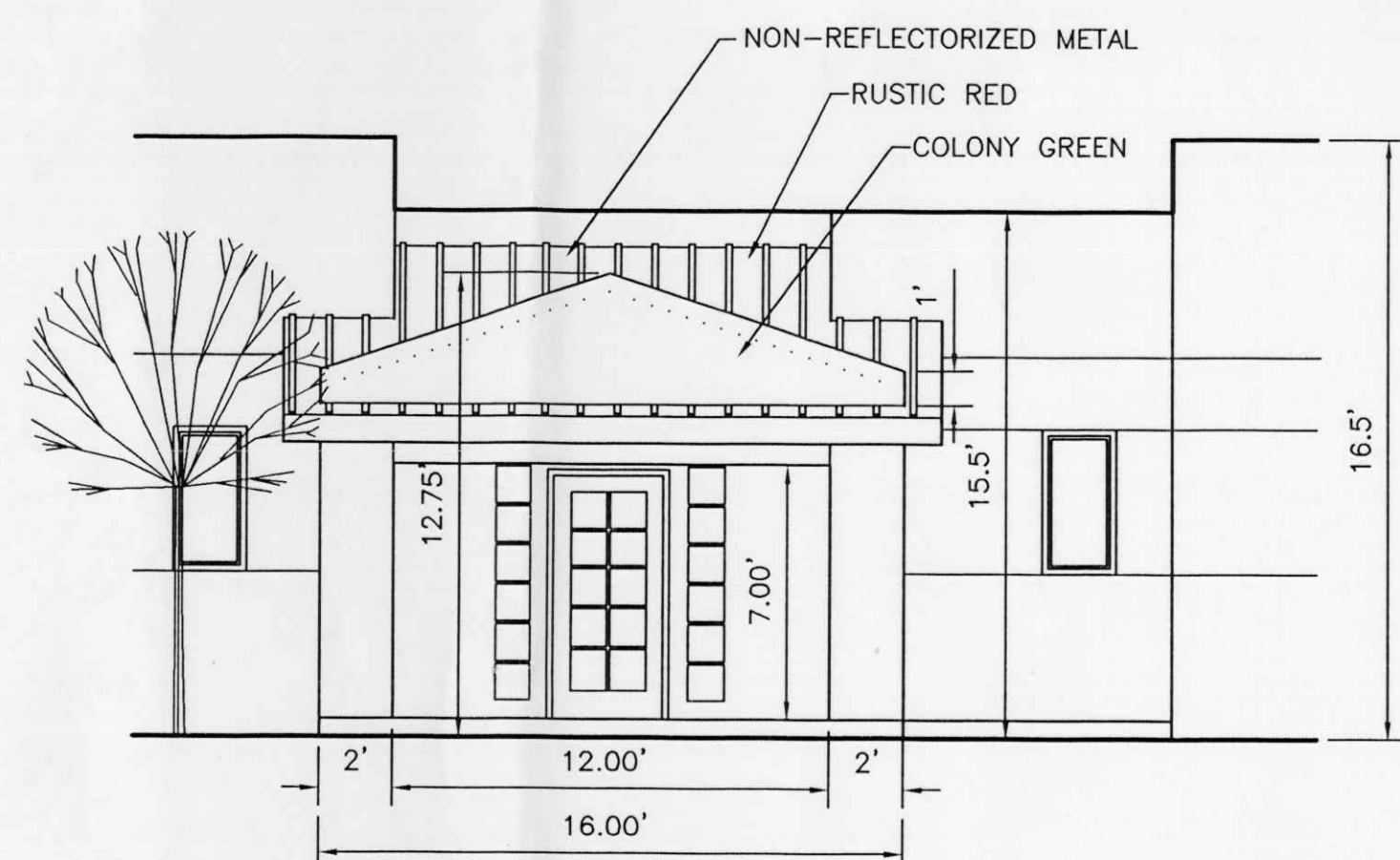
WEST ELEVATION
(BUILDING "D")



NORTH ELEVATION
(BUILDING "D")

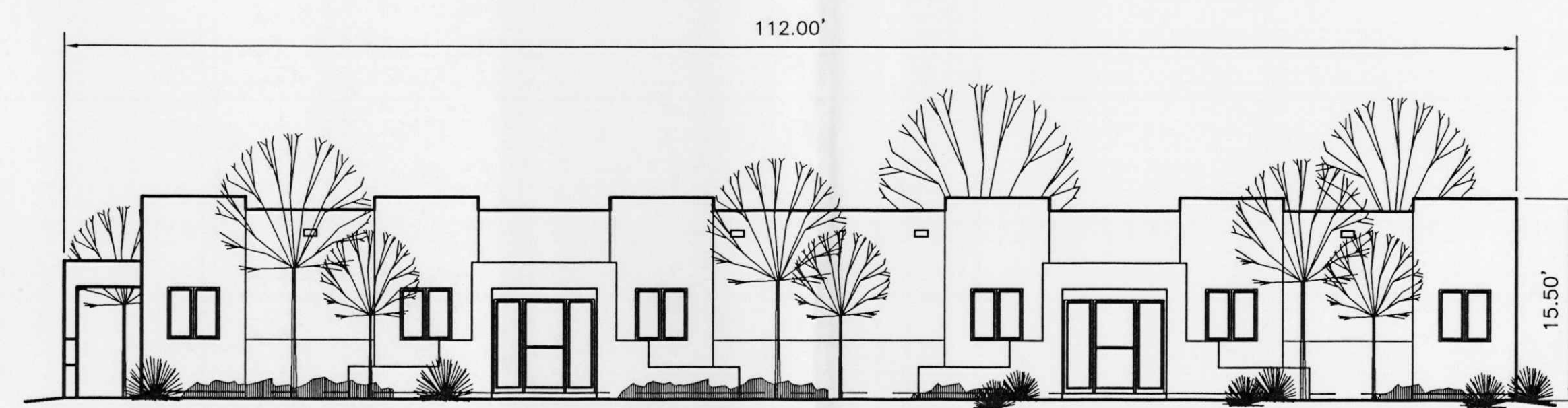


SOUTH ELEVATION
(BUILDING "D")



NORTH ELEVATION
(BUILDING "D")

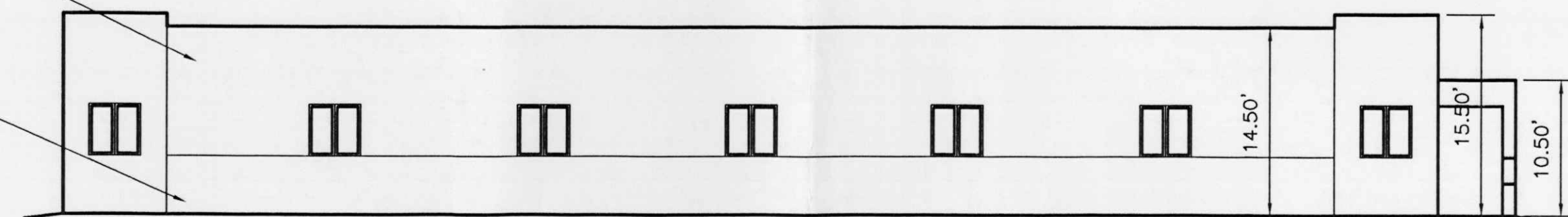
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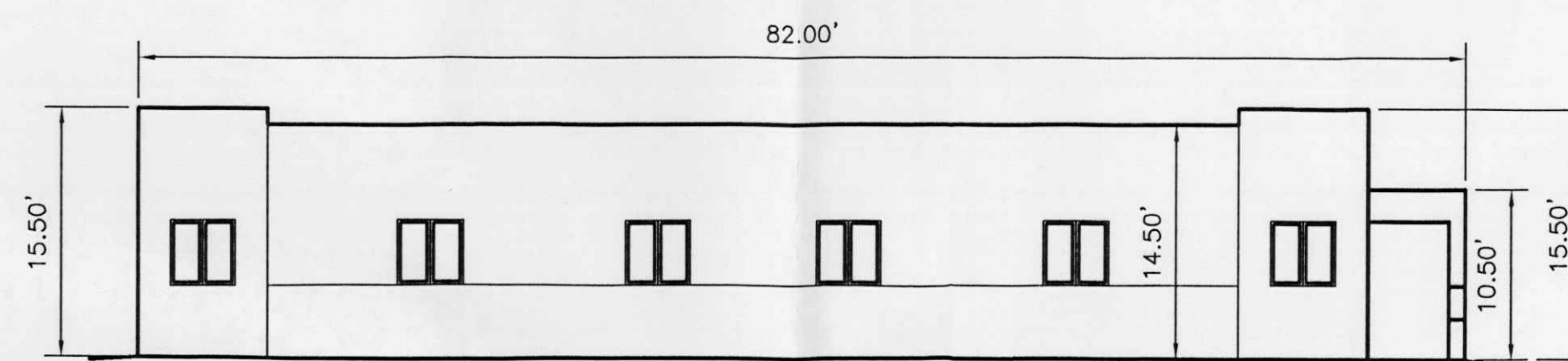
NORTH ELEVATION
(BUILDING "C")

BIEGE-TORREON 1501

CORAL COLOR-
SEDONA 01013



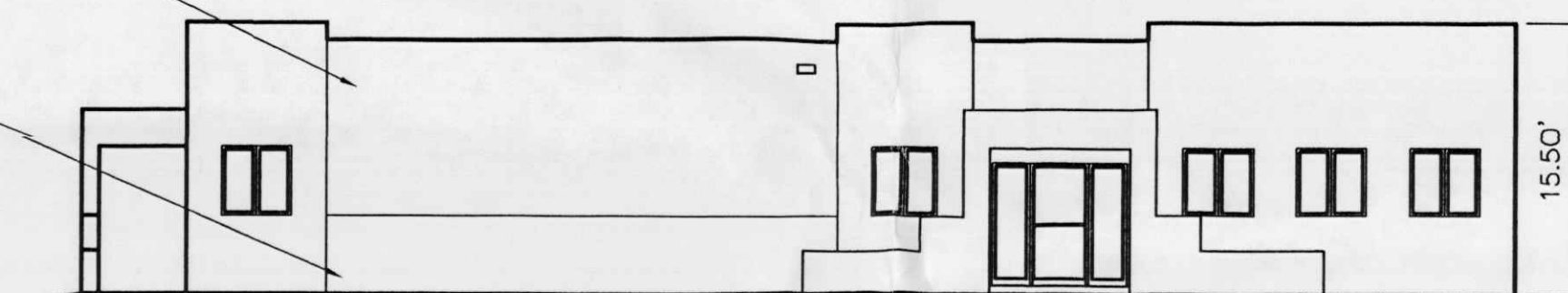
SOUTH ELEVATION
(BUILDING "C")



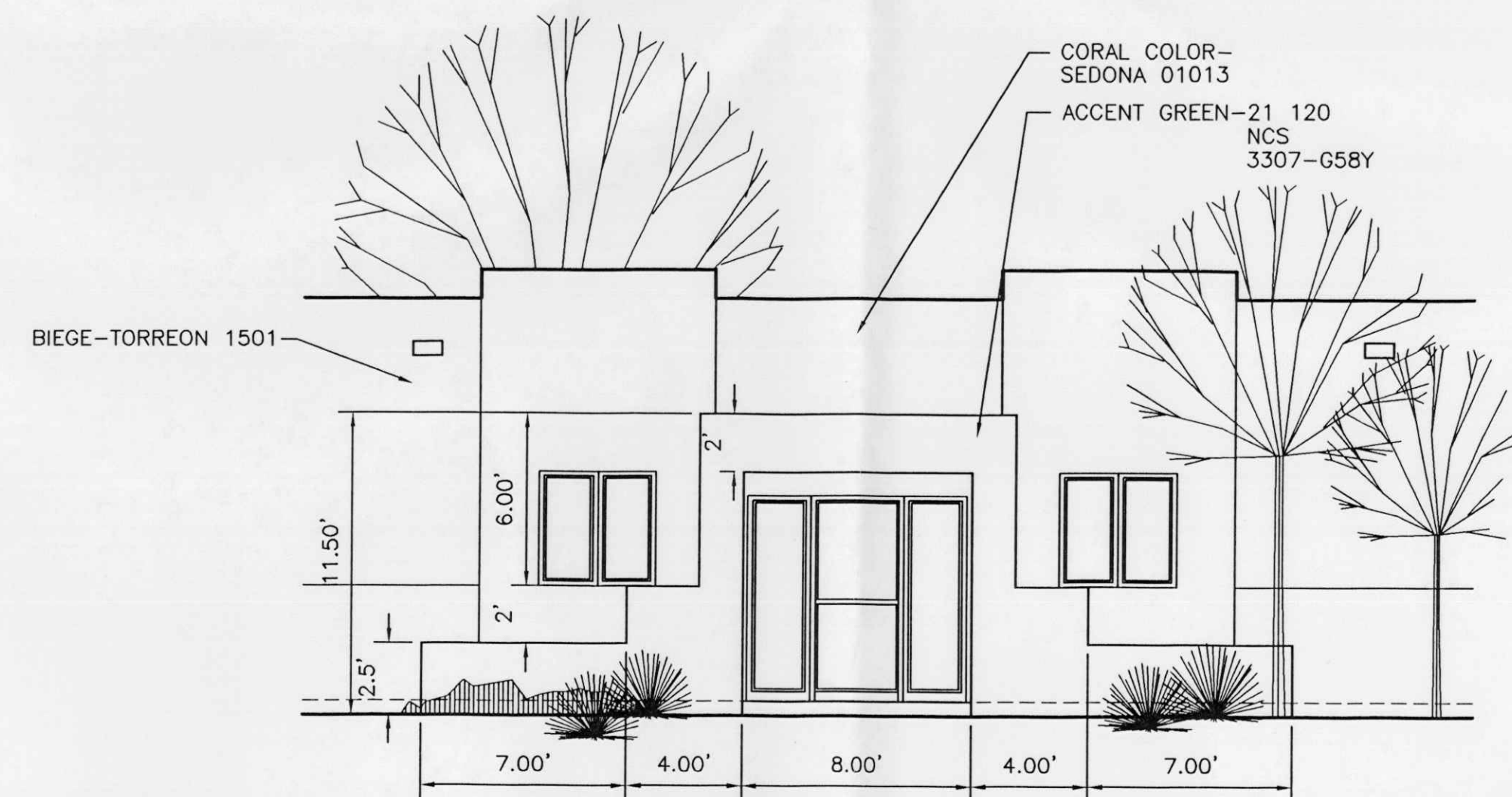
EAST ELEVATION
(BUILDING "C")

BIEGE-TORREON 1501

CORAL COLOR-
SEDONA 01013



WEST ELEVATION
(BUILDING "C")



NORTH ELEVATION
(BUILDING "C")

BUILDING "C"

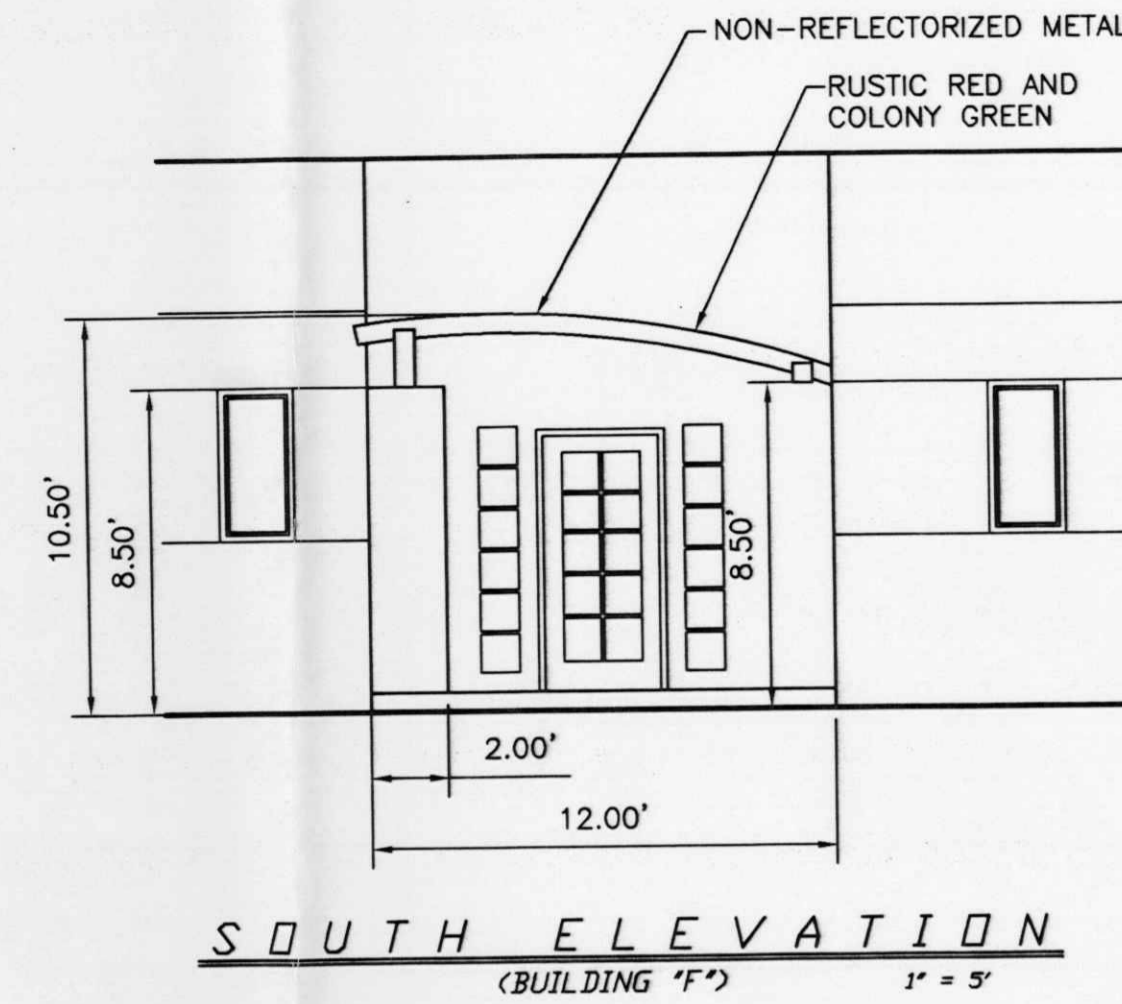
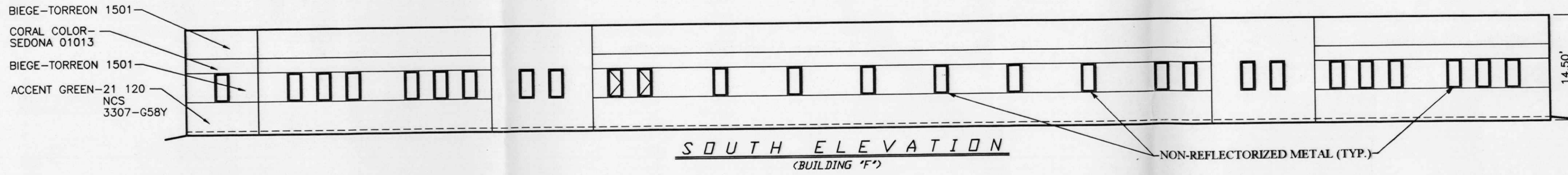
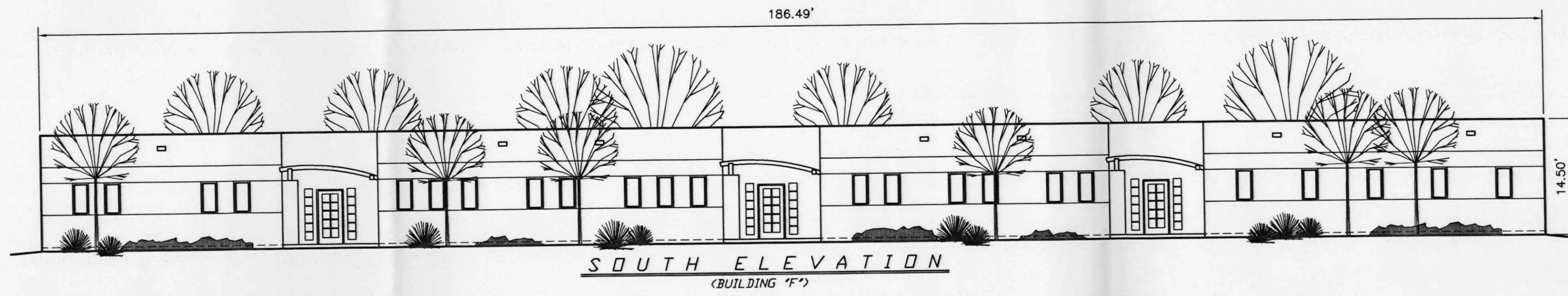
GRAPHIC SCALE



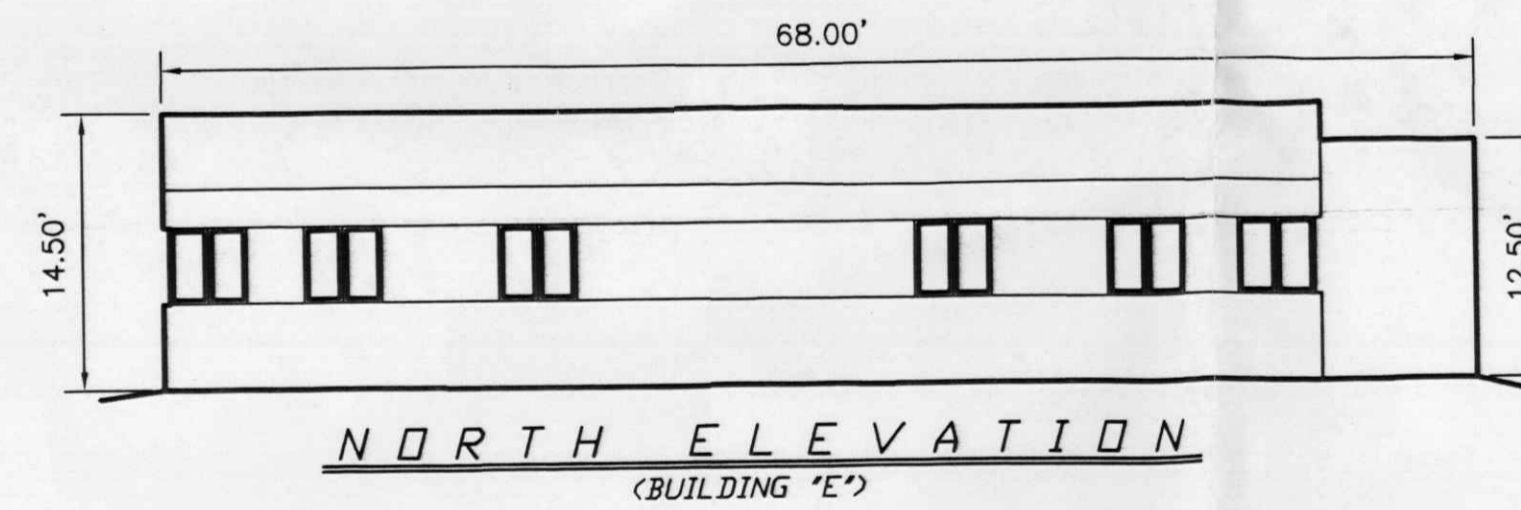
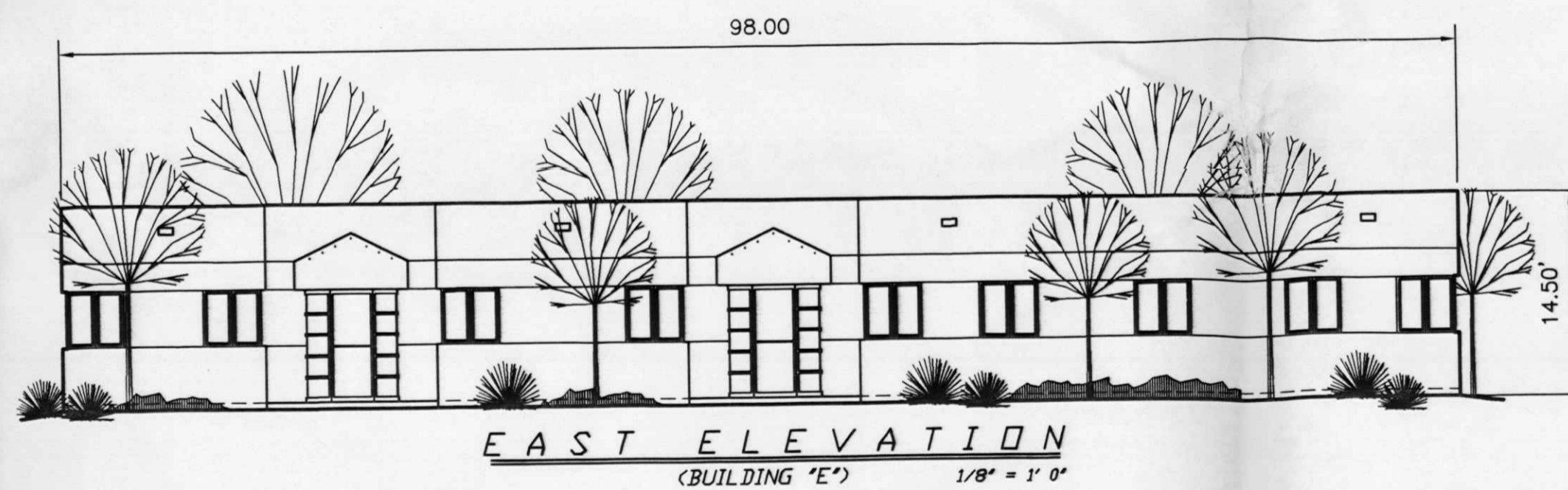
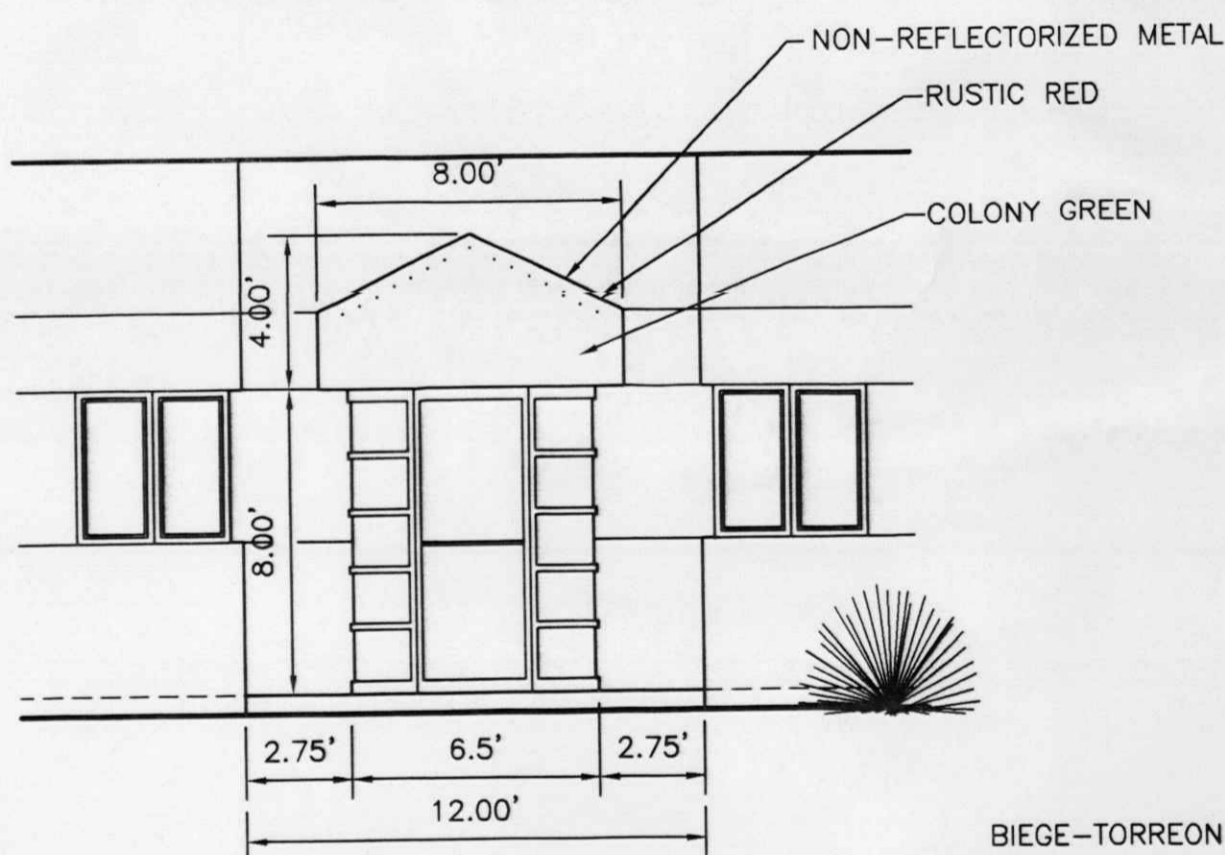
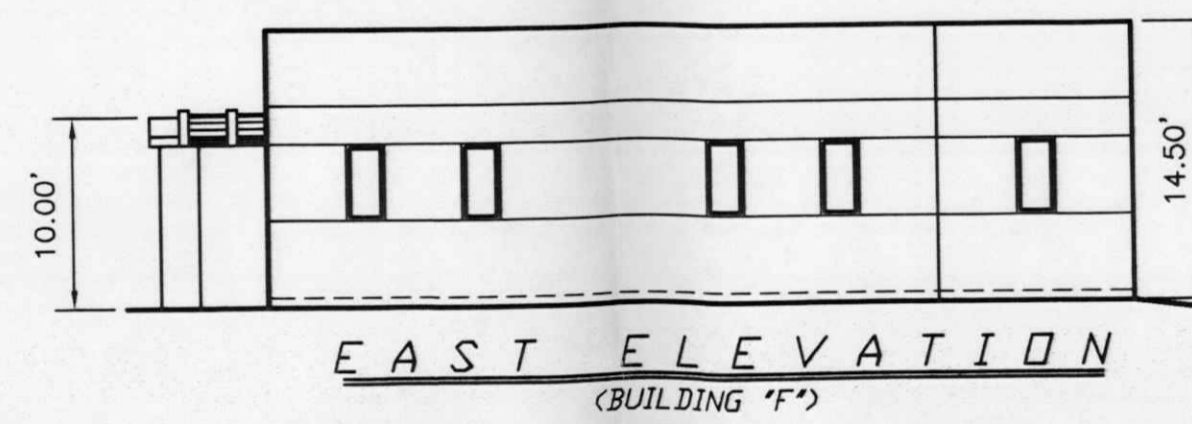
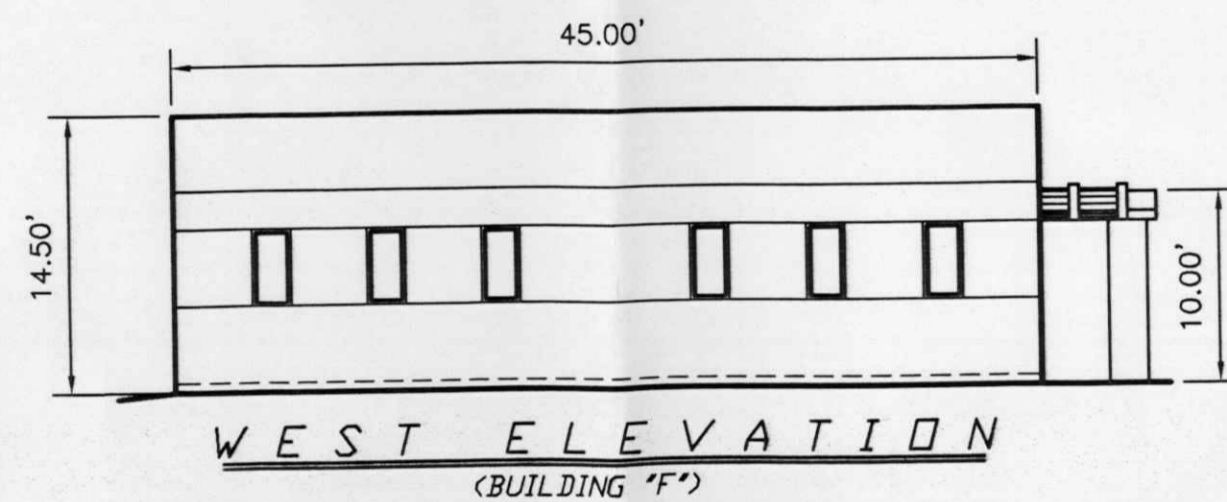
SCALE: 1"=10'

Chapman Companies
SANTA FE (505) 983-8100 BUILDERS SINCE 1966
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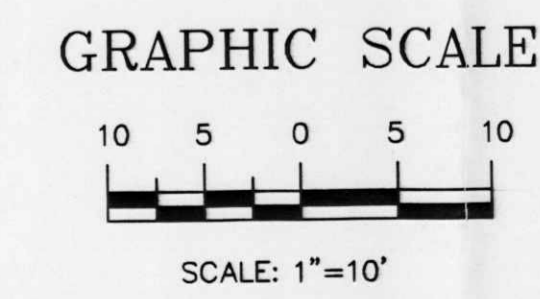
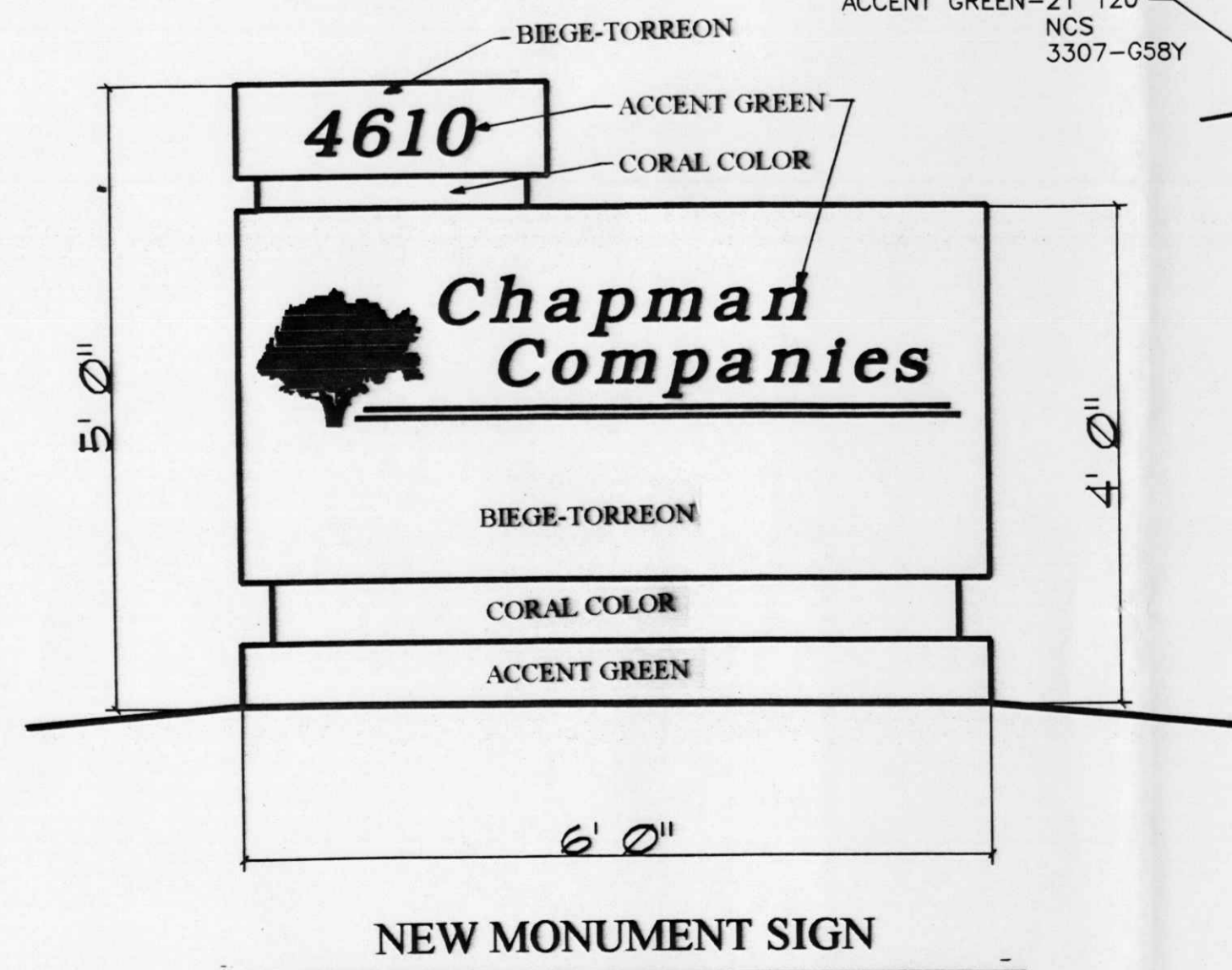
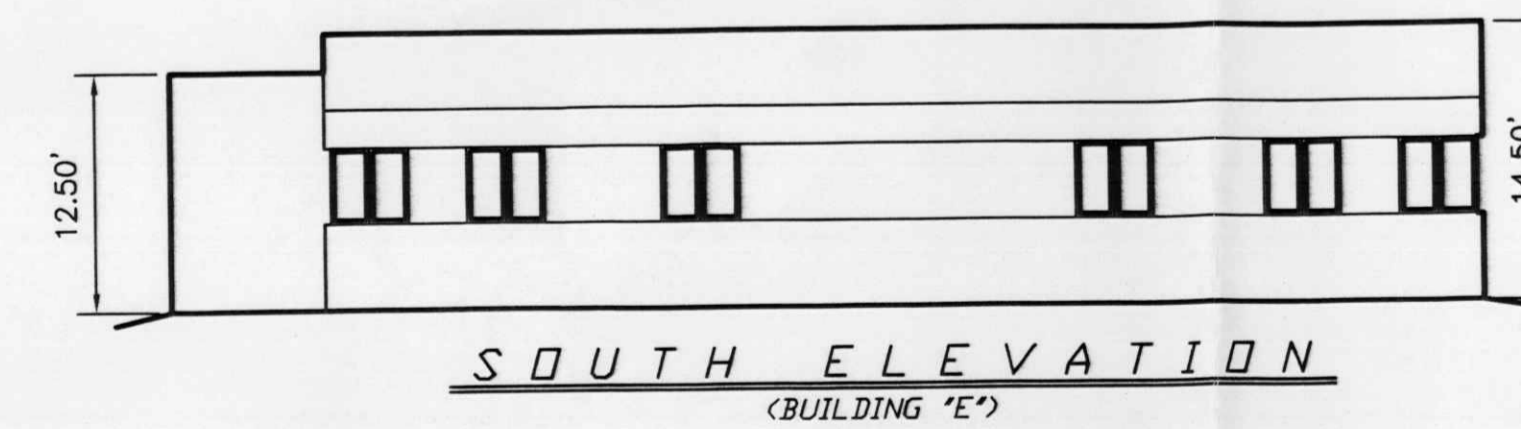
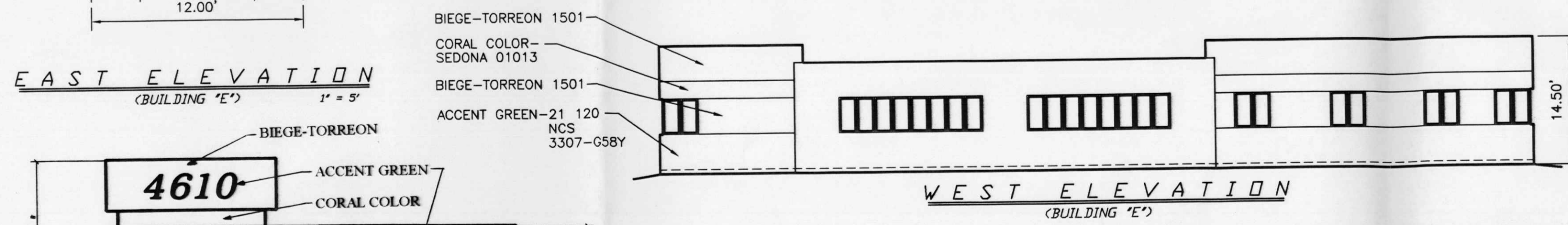
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		BUILDING ELEVATIONS	DATE 05-26-97
		TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES	9712ELEV1.DWG
		4421 McLEDD ROAD N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	SHEET # 4 OF 6
			JOB # 970012



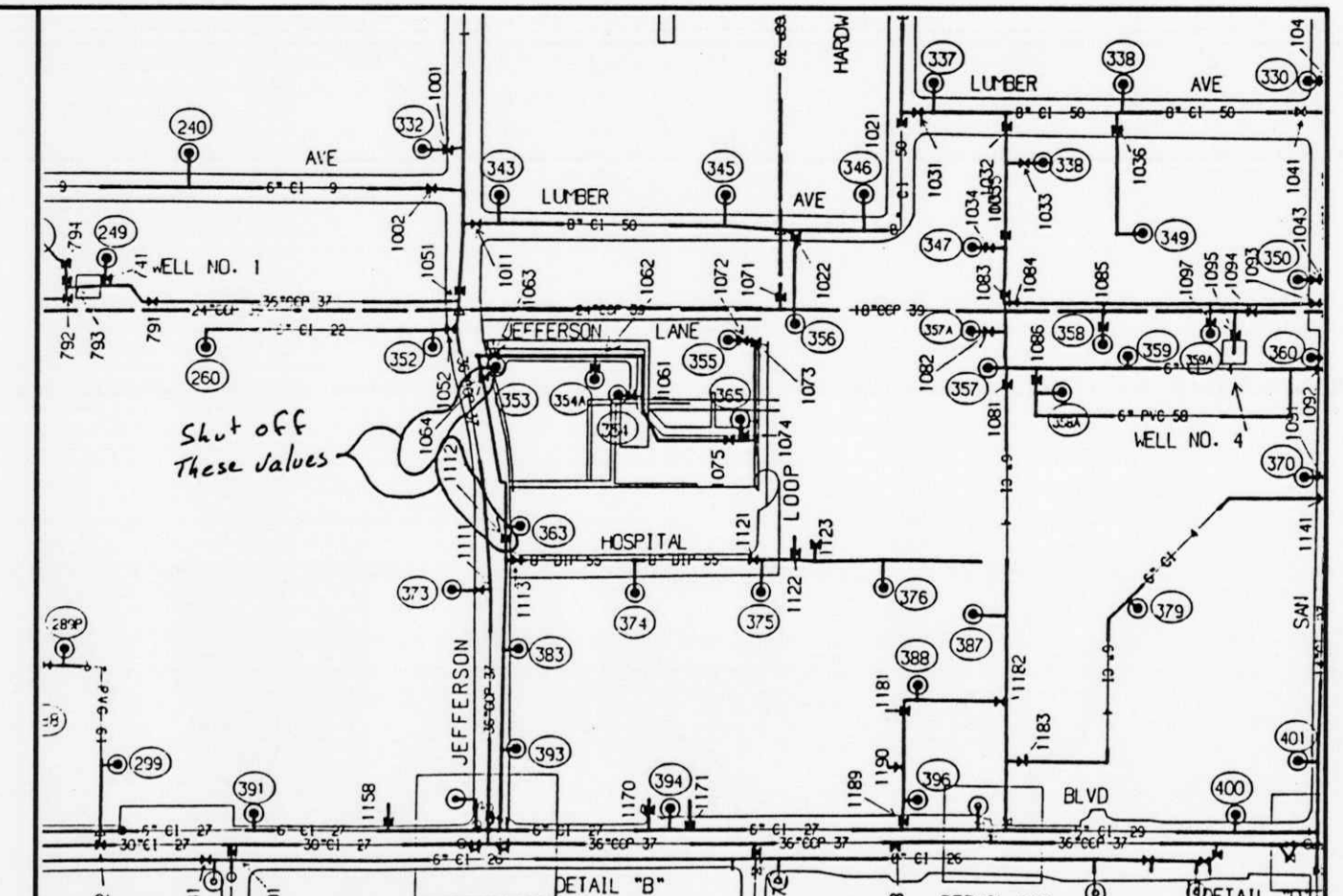
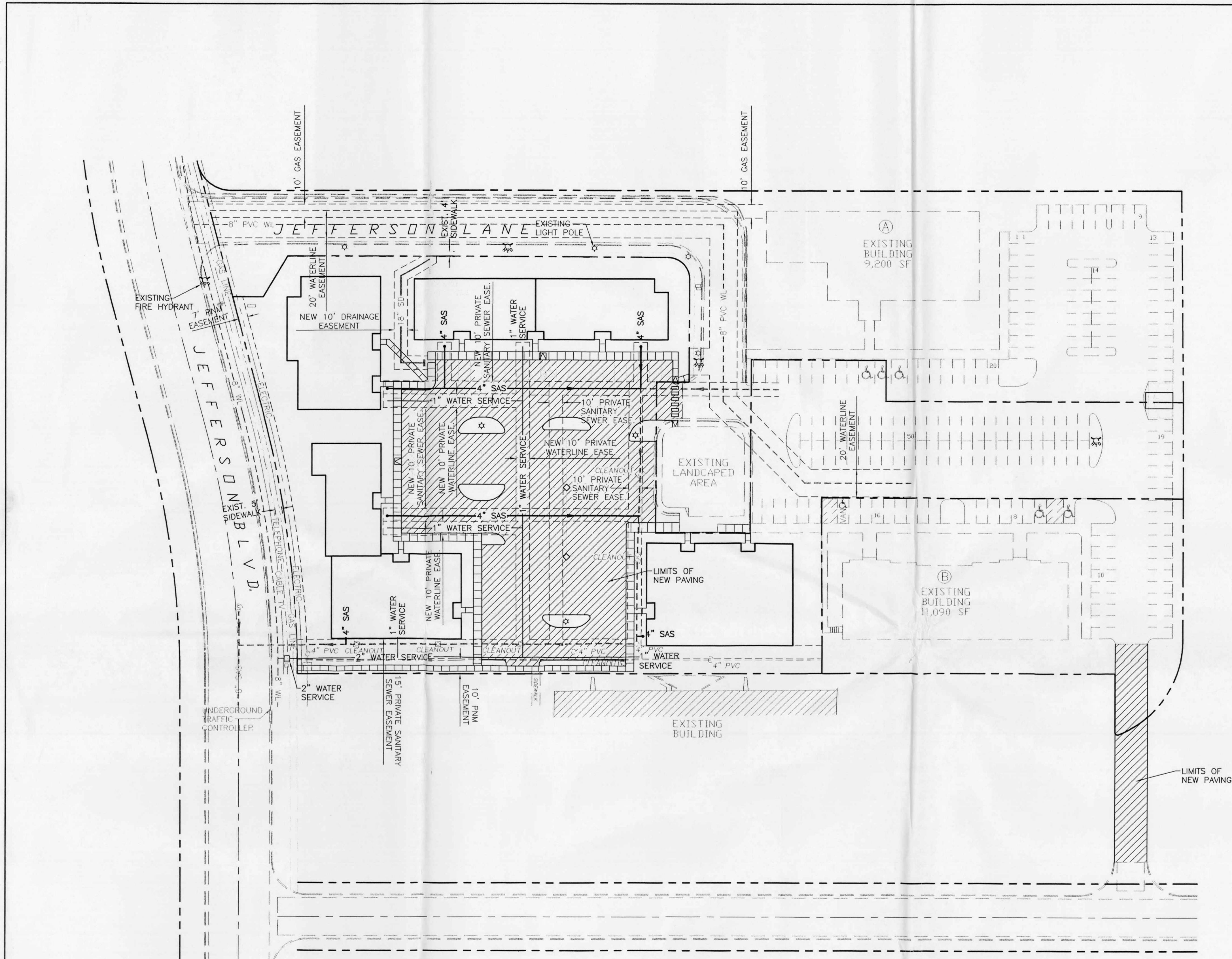
BUILDING 'F'



BUILDING 'E'



ENGINEER'S SEAL	JEFFERSON OFFICE PLAZA	DRAWN BY JDN
		DATE 05-26-97
		BUILDING ELEVATIONS
	TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES	SHEET # 5 OF 6
	4421 McLEDD ROAD NE., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505) 883-7592	JOB # 970012
RONALD R. BOHANNAN P.E. #7868		

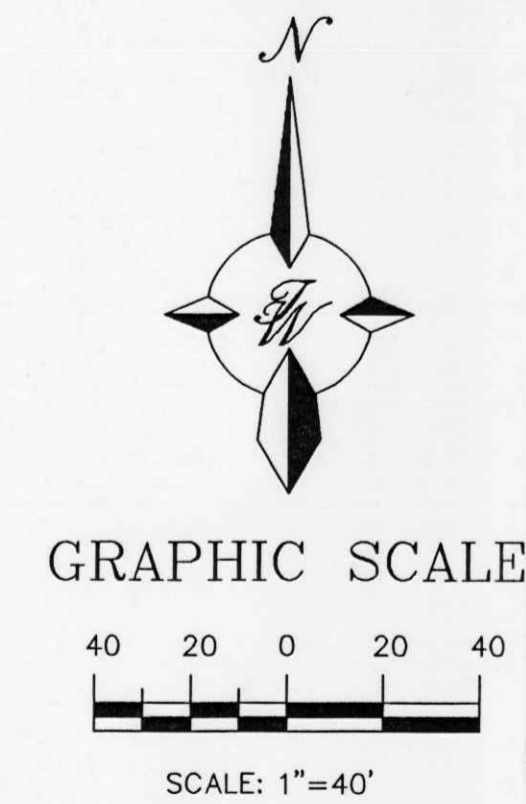


WATER SHUT OFF PLAN: SHUT OFF VALVES: #1112, #1064

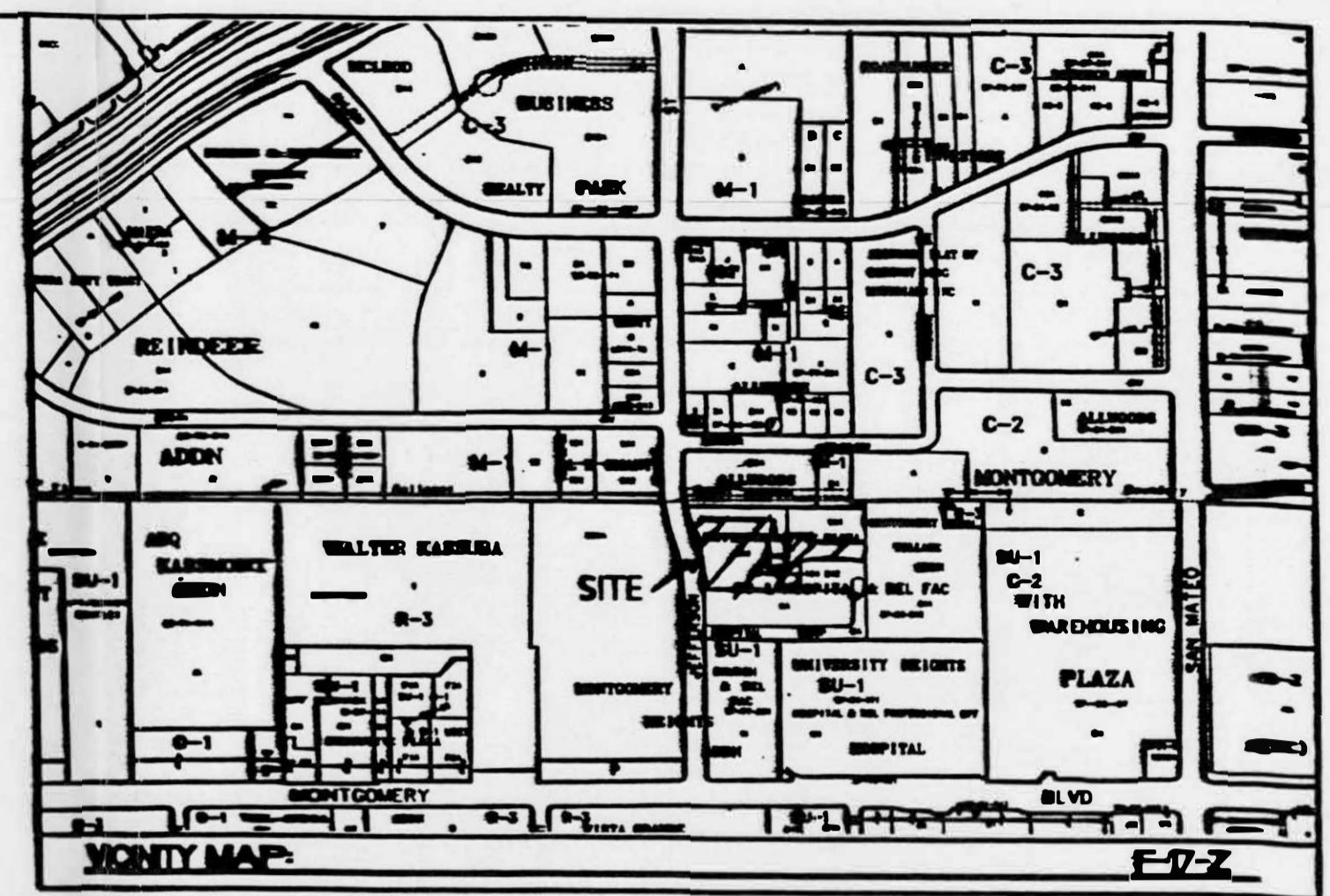
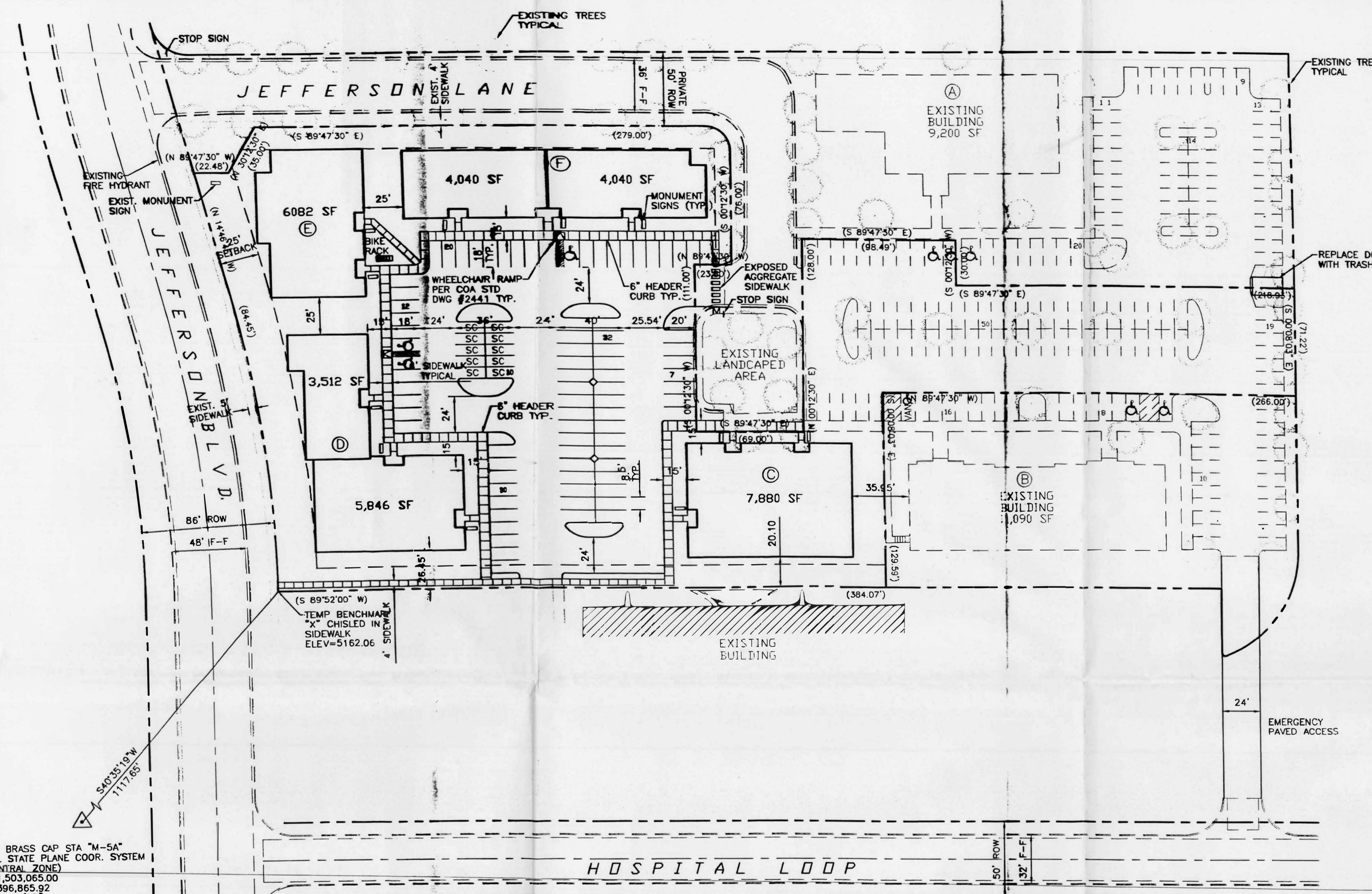
- GENERAL NOTES:**
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES
 2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE) 857-8200 FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS
 4. SHUTOFF VALVES INDICATED IN THE ABOVE PLAN

LEGEND

	EXISTING SAS MANHOLE
	EXISTING LIGHT POLE
	PROPOSED LIGHT POLE
	EXISTING FIRE HYDRANT
	EXISTING CLEAN OUT
	PROPOSED 2" WATER METER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING TELEPHONE LINE
	EXISTING CABLE TV
	EXISTING GAS LINE
	EXISTING STORM DRAIN
	EXISTING ELECTRIC
	EXISTING TRAFFIC CONTROLLER
	EXISTING CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	NEW PAVING AREA



ENGINEER'S SEAL 	JEFFERSON OFFICE PLAZA MASTER UTILITY AND PAVING PLAN TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES 4421 McLEDD ROAD N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	DRAWN BY JDN DATE 04-21-97 9712MUDWG
		SHEET # 6 OF 6 JOB # 970012



LEGAL DESCRIPTION:
 JEFFERSON OFFICE PLAZA LOT 2A1 (LOTS 1A1, 2A2, TRACT "A-1-A")
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 FILED OCT 17, 1990, VOLUME 90C, COUNTY FOLIO 257

CASE NUMBER: Z-83-41
 This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [] and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:
SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Design and Development, CIP	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo
 County Planning Division
 PLNZ (10706) 4/96

Sam Gibson
SOLID WASTE APPROVAL 5-29-97
 DATE

- LEGEND**
- ===== EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - PROPOSED SIDEWALK
 - PROPOSED BUILDING
 - EXISTING ELEMENTS
 - PROPOSED CURB AND GUTTER
 - SETBACK

SHEET INDEX

1. SITE PLAN
2. LANDSCAPING PLAN
3. GRADING PLAN
4. BUILDING ELEVATIONS
5. BUILDING ELEVATIONS
6. BUILDING ELEVATIONS
7. BUILDING ELEVATIONS
8. MASTER UTILITY PLAN

CS BRASS CAP STA "M-5A"
 M. STATE PLANE COOR. SYSTEM
 CENTRAL ZONE
 -1,503,065.00
 -396,865.92
 -001°11'55"
 -0=0.9996656

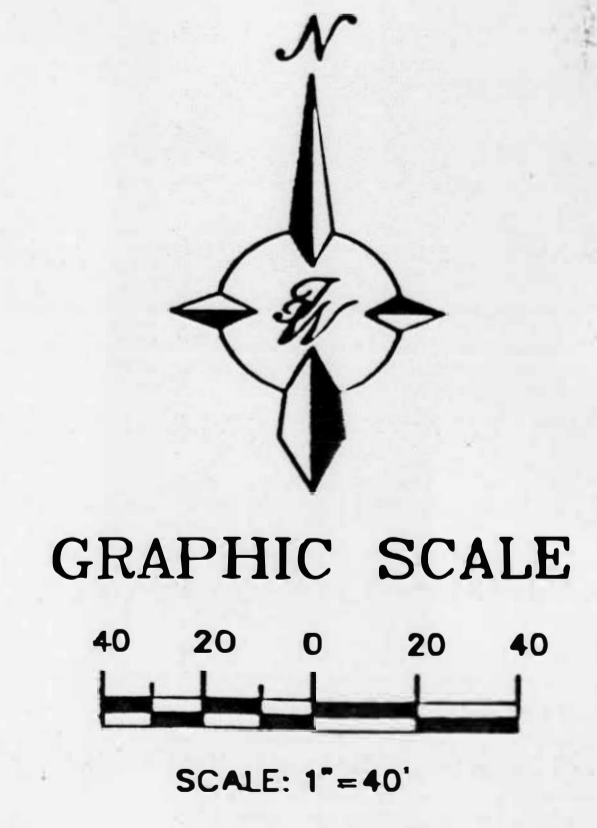
MINIMUM BUILDING SETBACKS:

FROM NORTHERN PROPERTY LINE:	15 FEET
FROM SOUTHERN PROPERTY LINE:	15 FEET
FROM EASTERN PROPERTY LINE:	15 FEET
FROM WESTERN PROPERTY LINE:	25 FEET
FROM ANY CURB:	15 FEET
BETWEEN BUILDINGS:	25 FEET

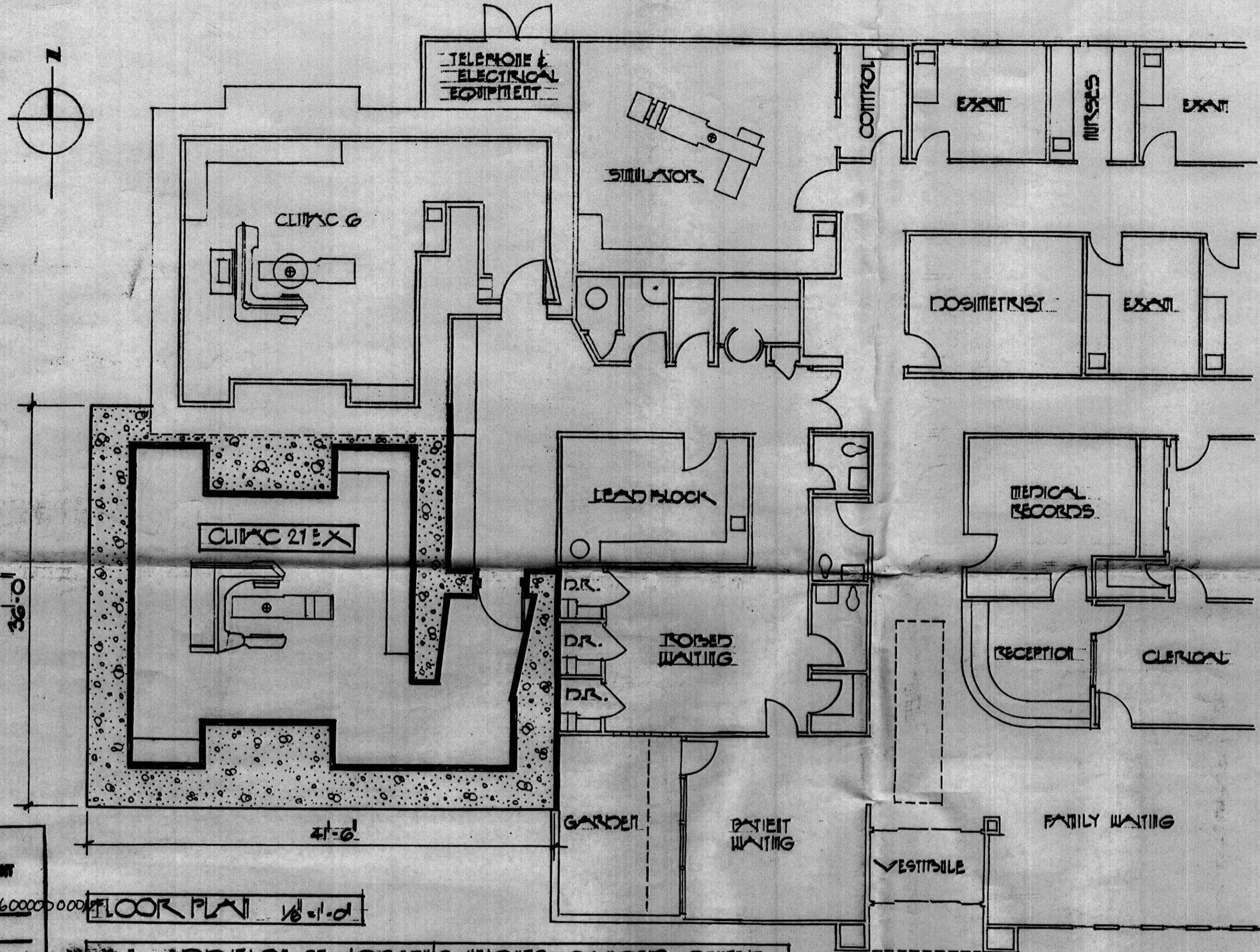
- NOTES:**
1. WATER SERVICE AND METER SIZES TO BE VERIFIED WITH ARCHITECT.
 2. BUILDINGS WILL BE TRADITIONAL OR SOUTHWEST STYLE WITH FLAT ROOFS. BUILDING WILL BE STUCCO WITH COLORS BEING EARTHTONE WITH ACCENTS.
 3. BUILDINGS WILL BE BUILT ON A SITE BY SITE BASIS. SHOWN ARE SCHEMATIC FOOT PRINTS ONLY. EXACT BUILDING FOOT PRINTS WILL NOT EXCEED TOTAL SITE FLOOR AREA.
 4. SITE LIGHTING WILL CONSIST OF A COMBINATION OF BUILDING MOUNTED HPS FIXTURES, WALKWAY AREA LIGHTS, AND POST MOUNTED LIGHT FIXTURES IN THE ENTRY AND PARKING AREAS, TO THE GREATEST EXTENT POSSIBLE, LIGHTING SHALL BE BUILDING MOUNTED.
 5. ALL SIGNAGE SHALL CONFORM TO THE CITY OF ALBUQUERQUE SIGN CODE. THE PROJECT SHALL HAVE ILLUMINATED PROJECT IDENTIFICATION SIGNAGE AT THE MAIN ENTRANCE. MAXIMUM MONUMENT SIGNAGE AREA SHALL BE 100 SQUARE FEET, EACH FACE.
 6. ALL SIDEWALKS ON SITE SHALL BE MONOLITHIC TURNDOWN OTHERWISE SHOWN. ALL THE SIDEWALKS ARE TO BE CONSTRUCTED WITH EACH BUILDING.

SITE DATA

PROPOSED USAGE:	OFFICE PARK
TOTAL LOT AREA:	241,766.86 SF (5.5502 ACRES)
TRACT 2A1 AREA:	127,702.46 SF (2.9316 ACRES)
BUILDING AREA:	EXISTING BUILDING A: 9,200 SF EXISTING BUILDING B: 11,090 SF PROPOSED BUILDING C: 7,880 SF PROPOSED BUILDING D: 9,358 SF PROPOSED BUILDING E: 6,082 SF PROPOSED BUILDING F: 8,080 SF TOTAL BUILDING AREA: 51,690 SF TOTAL APPROVED AREA: 48,190 SF 3,500 SF INCREASE
BUILDING TYPE:	TYPE VN, W/ TWO HOUR FIRE RATED PARTY WALLS
PARKING/DRIVEWAY:	EXISTING: 72,769.91± SF PROPOSED: 32,276.52± SF TOTAL: 104,746.43± SF
SIDEWALKS:	EXISTING: 8,231.04± SF PROPOSED: 6,369.04± SF TOTAL: 14,600.08± SF
LANDSCAPE AREA:	EXISTING: 39,168.63± SF PROPOSED: 31,561.72± SF TOTAL: 70,730.35± SF
LANDSCAPING REQUIRED:	15% OF NET LOT AREA = 28,590± SF
PARKING PROVIDED:	EXISTING: 170 SPACES PROPOSED: 91 SPACES TOTAL: 261 SPACES
PARKING REQUIRED:	259 SPACES
HC PARKING PROVIDED:	9 SPACES
HC PARKING REQUIRED:	8 SPACES 1 SPACE VAN ACCESSIBLE

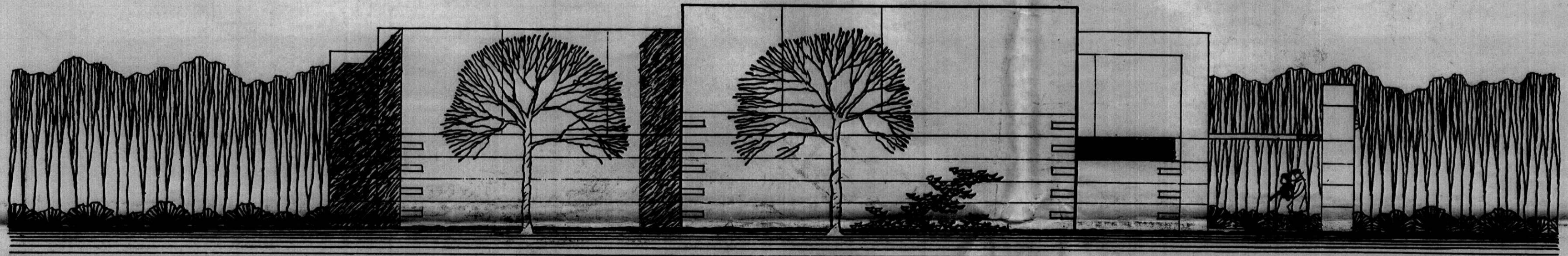


	JEFFERSON OFFICE PLAZA SITE PLAN	DRAWN BY JDN DATE 04-15-97 9712SP.DWG
	TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES 4421 McLEOD ROAD NE., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	SHEET # 1 OF 8 JOB # 970012

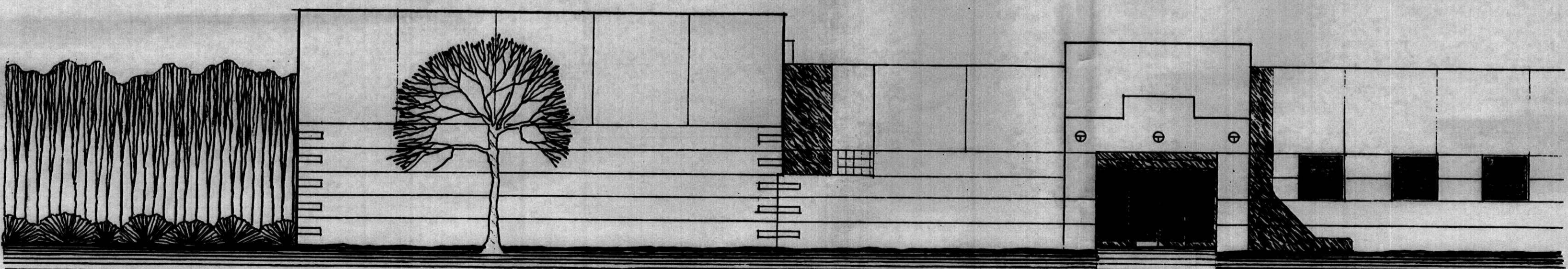


07/27/72
 ADMINISTRATIVE
 DEVELOPMENT PLAN AMENDMENT
 FILE NO. AA-002360000000000000
 1590 SF Addition
 Planning Director: *Richard D. Mc...*
 DATE:

FLOOR PLAN 1/8" = 1'-0"
 ADDITION ST. JOSEPH'S HEIGHTS CANCER CENTER
 4500 JEFFERSON LANE, N.E.
 ALBUQUERQUE, NEW MEXICO



WEST ELEVATION



SOUTH ELEVATION