



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

**(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2021-005442  
Application No. SI-2021-01714

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: 10/20/2021 HEARING DATE OF DEFERRAL: 11/17/2021

SUBMITTAL DESCRIPTION: Revised drawings in response to agency comments.

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CONTACT NAME: Anthony Santi

TELEPHONE: 505-761-9700 EMAIL: anthonys@dpsdesign.org

RECORDING REQUESTED BY  
AND AFTER RECORDING RETURN TO:

Stoel Rives LLP  
600 University St. Ste. 3600  
Seattle, WA 98101  
Attn: Sallie Lin

**DECLARATION OF ACCESS EASEMENT**

THIS DECLARATION OF ACCESS EASEMENT ("**Declaration**") is made as of \_\_\_\_\_, 2021 (the "**Effective Date**"), by Sedona West, LLC, a New Mexico limited liability company ("**Declarant**").

**RECITALS**

- A. Declarant is the owner of a parcel of real property in Bernalillo County, New Mexico, which real property is legally described on the attached Exhibit A (the "**Property**").
- B. Declarant intends to construct a multi-family residential project (the "**Project**") on the Property. For the purposes of this Declaration, the Project includes any revisions or modifications to the Project.
- C. Declarant intends to declare a vehicular access easement over and across a portion of the Property (the "**Access Drive**"), as more particularly described herein. After completion of construction of the Access Drive and the Project, the general public and emergency vehicles shall be permitted to use the Access Drive for the limited purposes described herein, subject to the terms and conditions herein.

**DECLARATION**

NOW, THEREFORE, Declarant covenants and agrees, on behalf of itself and its heirs, successors, and assigns, as follows:

1. Grant of Easement. Declarant hereby declares a non-exclusive ingress and egress access easement (the "**Easement**") over, upon, and across the Access Drive, as legally described in the attached as Exhibit B ("**Easement Area**"), subject to the terms, conditions, and limitations contained herein. The Easement may only be used by (a) emergency vehicles, (b) vehicles of the general public that are accessing the shopping center located on Coors Boulevard (the "**Easement Users**"). Pedestrians are not permitted to use the Access Drive. Use of the Easement is subject to the rights of any other users and permittees of the Easement Area, including but not limited to the residents and occupants of the Project.

2. Limitations on Use of the Easement Area. The Easement is limited as follows:
- (a) The speed limit for all vehicles is 15 miles per hour. Declarant may post signs indicating the speed limit.
  - (b) In order to discourage non-permitted cut-through traffic, Declarant may post signs indicating that cut-through traffic is not permitted.
  - (c) Traffic calming measures, including but not limited to speed humps, speed table, and textured paving, may be installed by Declarant at any time.
  - (d) Commercial trucks are prohibited. Declarant may post signs indicating no commercial vehicles are permitted.
  - (e) Hours of use of the Easement Area may be limited to normal business hours only. Declarant may post signs indicating permitted hours of use (e.g. 7 AM to 10 PM).
  - (f) No vehicular parking is permitted.

Declarant reserves the right to impose additional limitations on the use of the Easement Area, as may be needed to avoid adverse impacts to the condition of the Access Drive or the safety and/or security of residents and occupants of the Project.

3. Covenants Running with Land. The Easement and the restrictions hereby imposed shall be deemed easements, restrictions and covenants running with the land and shall inure to the benefit of and be binding upon, Declarant and its successors and assigns; provided, however, and notwithstanding the foregoing, the Easement and rights granted hereunder may be terminated by Declarant and its successors and assigns, pursuant to any misuse, expansion of use, adverse use, or overburdening of, the Easement Area, as determined in the sole discretion of Declarant, and its successors and assigns, including, without limitation, pursuant to limitations of the Easement described in Section 2 above.

4. Assumption of Risk; No Warranty. Declarant is providing the Easement Area AS-IS, WHERE-IS and WITHOUT WARRANTY. The use of the Easement shall be limited to the uses set forth in this Declaration, and the Easement User's rights under this Declaration shall not be exercised in any manner which (exigent circumstances, to the extent necessary, excepted), unreasonably interferes with (i) any other purposes for which the Property is being, or will be, used, or (ii) with any and all existing rights and easements relating to Declarant or the Property or any part thereof. Any use of the Easement Area is at the Easement Users sole risk.

5. Term. This Declaration shall commence on the date of its recording.

6. Access During Construction. The Project and the Access Drive have not yet been constructed on the Property. During construction of the Project and the Access Drive, any rights to use the Easement Area shall be subject to the requirements of the construction of the Project and the Access Drive. After the completion of the construction of the Project and the Access Drive, Declarant may record an update to this Declaration to provide the as-built location of the Access Drive to the extent reconstructed or modified in the Easement Area.

7. Governing Law. This Declaration shall be governed by and construed in accordance with the internal laws of the State of New Mexico.

8. Not a Public Dedication. Nothing herein contained shall be deemed to be a gift or dedication of any portion of the Property, the Easement Area, or the Access Drive to the general public or for any public purposes whatsoever, it being the intention of the Declarant that this Declaration shall be strictly limited to and for the purposes herein expressed. The right of the public or any person to make any use whatsoever of the Easements, or any portion thereof (other than any use expressly allowed by a written or recorded map, agreement, deed or dedication) is by permission, and subject to the control of the owner of the affected Property in accordance in this Declaration. This Declaration does not create any rights in any third party.

*[No further text.]*

DRAFT



IN WITNESS WHEREOF, this Declaration is executed on the day and year first above written.

DECLARANT:

**Sedona West, LLC,**  
a New Mexico limited liability company

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

STATE OF NEW MEXICO

COUNTY OF BERNILILLO

This record was acknowledged before me on \_\_\_\_\_, 2021, by  
\_\_\_\_\_, as \_\_\_\_\_ of Sedona West, LLC, a  
New Mexico limited liability company.

\_\_\_\_\_  
Notary Public for the State of New Mexico  
My commission expires: \_\_\_\_\_

## EXHIBIT A

### Legal Description of the Property

The land referred to herein below is situated in the County of Bernalillo, State of NM, and is described as follows:

Tract A-2-A-A, of The Plaza at Paseo Del Norte, City of Albuquerque, Town of Alameda Grant, Bernalillo County, New Mexico, as shown on the Plat of Tracts A-2-A-A & B-1-A The Plaza at Paseo Del Norte, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on December 18, 2007, in Plat Book 2007C, Page 347, as Document No. 2007169358.

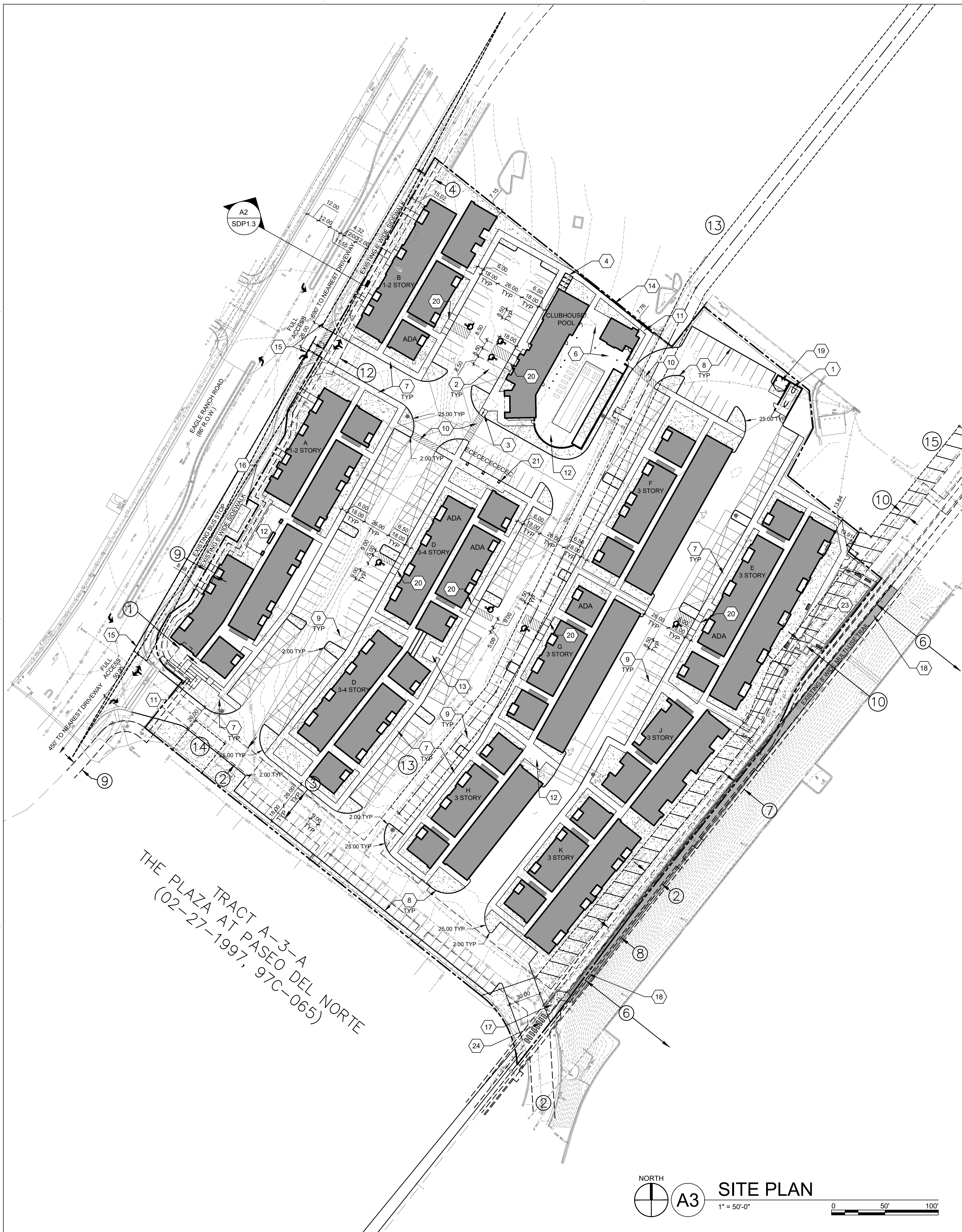
EXHIBIT B

Legal Description of Easement Area

*[to be attached]*

DRAFT





### SHEET KEYED NOTES

- TRASH COMPACTOR ENCLOSURE WITH GATE, REF: C1/SDP1.2
- ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2
- ACCESSIBLE RAMP, REF: D5/SDP1.2
- BIKE PARKING PER IDO SECTION 5-5(E) AND DPM STANDARDS, 10% OF REQUIRED OFF-STREET PARKING AND DPM STANDARD WITH TWO-POINT BIKE LOCKING, REF: B5/SDP1.2
- NOT USED
- SHADE STRUCTURE
- 6' WIDE CONCRETE SIDEWALK PER COA IDO STANDARDS, REF: B4/SDP1.2
- NEW CONCRETE CURB AND GUTTER, REF: A2/SDP1.2
- PARKING STRIPING 4" WIDE, COLOR WHITE
- 6' WIDE PAINTED CROSSWALK
- 6' WIDE ACCESSIBLE PATHWAY FROM PUBLIC R.O.W. 5% MAX SLOPE WITH 2% MAX CROSS SLOPE
- OUTDOOR GRILLING AREA
- OUTDOOR SEATING AREA
- CMU RETAINING WALL, SEE CIVIL AND B2/SDP1.2
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- NEW TRANSIT SHELTER TO BE CONSTRUCTED PER CITY STANDARD DETAIL 2535.
- PROVIDE ADA ACCESSIBLE CONNECTION FROM THE PRIVATE DRIVE TO THE EXISTING ASPHALT TRAIL.
- RESURFACE EXISTING TRAIL ADJACENT TO THIS PROPERTY AND AS INDICATED BY THE SOLID GRAY HATCH, REF: C4/SDP1.3
- RECYCLE ENCLOSURE, REF: D5/SDP1.2
- ACCESSIBLE RAMP, REF: D5/SDP1.3
- ELECTRICAL VEHICLE CHARGING STATION.
- FOR PATIO WALLS AT GRADE, REF: A4/SDP1.2
- DOG PARK, ABCWUA IS NOT RESPONSIBLE FOR REPLACING OR REPAIRING DAMAGED TURF OR OTHER SITE FEATURES IF MAINTENANCE IS REQUIRED IN THE EASEMENT.
- PAINTED CROSSWALK, REF: D3/SDP1.3

### EASEMENT NOTES

- 10' ABCWUA EASEMENT (06-28-1990, 90C-151)
- 20' ABCWUA EASEMENT (06-28-1990, 90C-151)
- 30' ABCWUA EASEMENT (06-28-1990, 90C-151)
- 10' PUE (07-25-1988, C37-012)
- 10' PUE (06-28-1990, 90C-151)
- 100' PNM POWERLINE EASEMENT (05-06-1957, D385-303) EASEMENT ENCROACHMENT AGREEMENT (01-23-1990, 1990005847) EASEMENT ENCROACHMENT AGREEMENT (02-10-2005, 2005020108)
- 12' BIKE PATH EASEMENT (02-27-1997, 97C-065)
- 15' PUE (02-10-1992, 1992011652)
- 10' PUE (06-28-1990, 90C-151)
- 10' NMCO EASEMENT (03-21-1991, 1991019534)
- 30' PRIVATE ACCESS EASEMENT (06-03-1999, 99C-133)
- PUBLIC SIDEWALK EASEMENT (12-18-2007, 2007C-347)
- 20' ABCWUA PUBLIC WATERLINE EASEMENT (GRANTED TO ABCWUA BY THIS PLAN)
- 35' X 35' ABCWUA PUBLIC WATERLINE EASEMENT (GRANTED TO ABCWUA BY THIS PLAN)
- ABCWUA PUBLIC WATERLINE AND SANITARY SEWER EASEMENT (GRANTED TO ABCWUA BY THIS PLAN)

PROJECT NUMBER: PR-2021-005442

Application Number: SI-2021-01714

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

#### DRB SITE DEVELOPMENT PLAN APPROVAL:

|  |      |
|--|------|
| Traffic Engineering, Transportation Division   | Date |
| ABCWUA   | Date |
| Parks and Recreation Department                | Date |
| City Engineer/Hydrology                        | Date |
| Code Enforcement                               | Date |
| *Environmental Health Department (conditional) | Date |
| Solid Waste Management                         | Date |
| DRB Chairperson, Planning Department           | Date |

\*Environmental Health, if necessary  
2/16/2018

### GENERAL SHEET NOTES

- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.
- APPLICATION TO EPC WAS SUBMITTED ON MAY 6, 2021. THE 2019 INTEGRATED DEVELOPMENT ORDINANCE GOVERNS.

### PROJECT DATA

**ZONING:**  
IDO - MIXED-USE - MEDIUM INTENSITY ZONE DISTRICT (MX-M)

**LEGAL DESCRIPTION:** TR A-2-A-A PLAT OF TRACTS A-2-A-A & B-1-A THE PLAZA AT PASEO DEL NORTE CONT 7,067 AC

**SITE AREA:** 7.08 ACRES  
**ZONE ATLAS:** C-13-Z  
**SETBACKS:** FRONT=5' MIN, INTERIOR=0', REAR=15'

**BUILDING HEIGHT:**  
MAXIMUM ALLOWED: 48'-0"  
ACTUAL HEIGHT: 48'-0"

**SPRINKLED:** YES, NFPA 13R  
**BUILDING OCCUPANCY:** R-2  
**CONSTRUCTION TYPE:** TYPE VA  
**PARKING CALCULATIONS:** (TABLE 5-5-1)  
{1.5 SPACES / DWELLING UNITS: 218 X 1.5 = 327 SPACES MINUS PARKING CREDIT OF 5% FOR TRANSIT RIDER SHELTER = 327.05 - 17, 327.17 = 310 SPACES REQUIRED}

ELECTRIC VEHICLE CHARGING STATIONS REQUIRED: 6 SPACES  
CHARGING STATION CREDIT = 8x2 = 12 SPACES  
**REQUIRED SPACES = 288 SPACES**  
**PROVIDED PARKING = 303 TOTAL SPACES** (34 GARAGE, 98 COVERED)

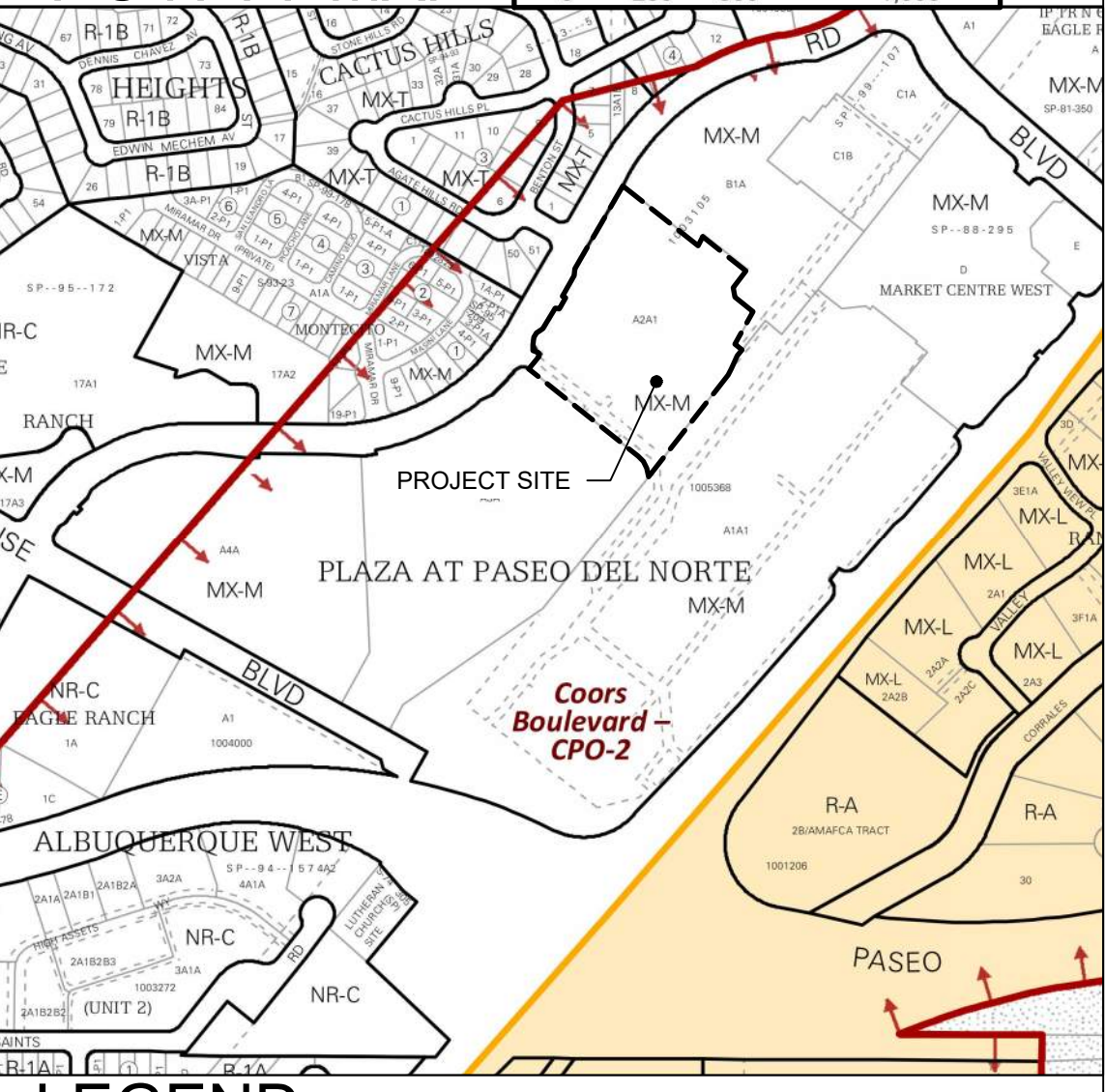
ADA PARKING REQUIRED: 1 SPACE PER UNIT REQUIRED TO BE ADA  
218 UNITS X .02 = 4.36 = 5 SPACES REQUIRED  
ADA PARKING PROVIDED = 6 SPACES

BICYCLE PARKING REQUIRED = 30 SPACES  
(10% OF OFF STREET PARKING = 304 X 0.10 = 30 SPACES)  
BICYCLE PARKING PROVIDED = 30 SPACES

### OPEN SPACE CALCULATIONS

| TABLE 2-4-5 / MX-M ZONING   |                                      |
|-----------------------------|--------------------------------------|
| USABLE OPEN SPACE           |                                      |
| 1 BD: 225 SF PER UNIT       | 225 SF x 119 UNITS = 26,775 SF       |
| 2 BD: 285 SF PER UNIT       | 285 SF x 72 UNITS = 20,520 SF        |
| 3 BD: 350 SF PER UNIT       | 350 SF x 27 UNITS = 9,450 SF         |
| <b>TOTAL</b>                | <b>56,745 SF REQUIRED OPEN SPACE</b> |
| <b>PROVIDED OPEN SPACE:</b> | <b>80,740 SF</b>                     |

### VICINITY MAP



### LEGEND

- LANDSCAPE AREA
- PROPERTY LINE
- FIRE HYDRANT
- BIKE RACK
- SIDEWALK RAMP (ARROW POINTS DOWN)
- TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
- PERIMETER FENCE
- ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2
- COMPACT PARKING, REF: D5/SDP1.3
- LIGHT POLE
- 6" BOLLARD WITH SIGN

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION



ENGINEER

PROJECT

SEDONA WEST  
EAGLE RANCH ROAD  
ALBUQUERQUE, NM 87114

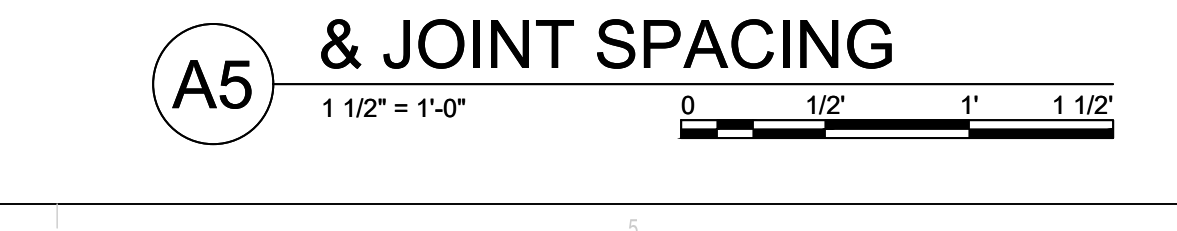
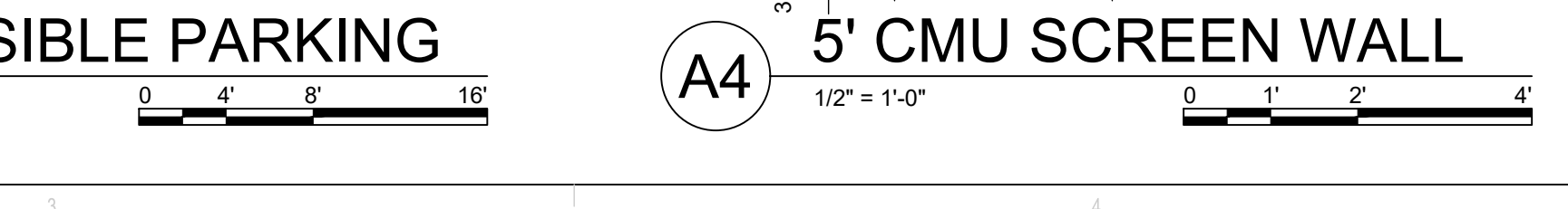
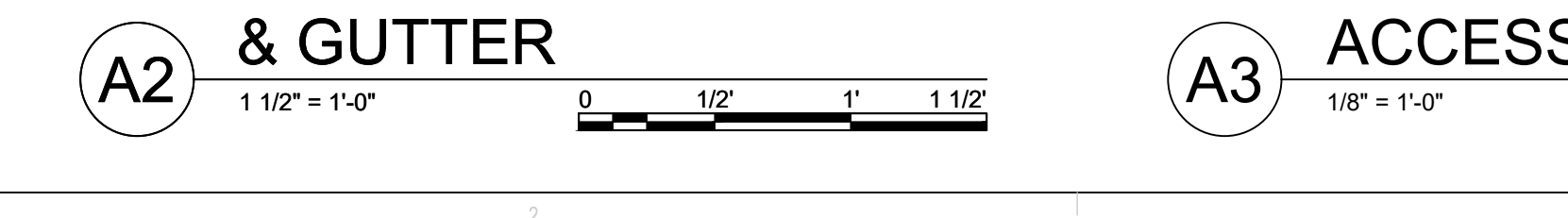
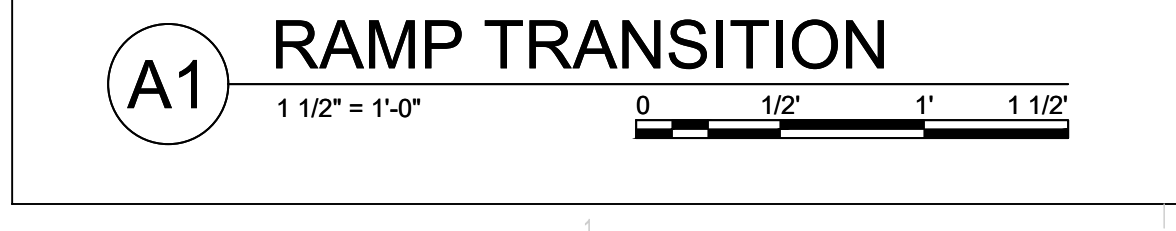
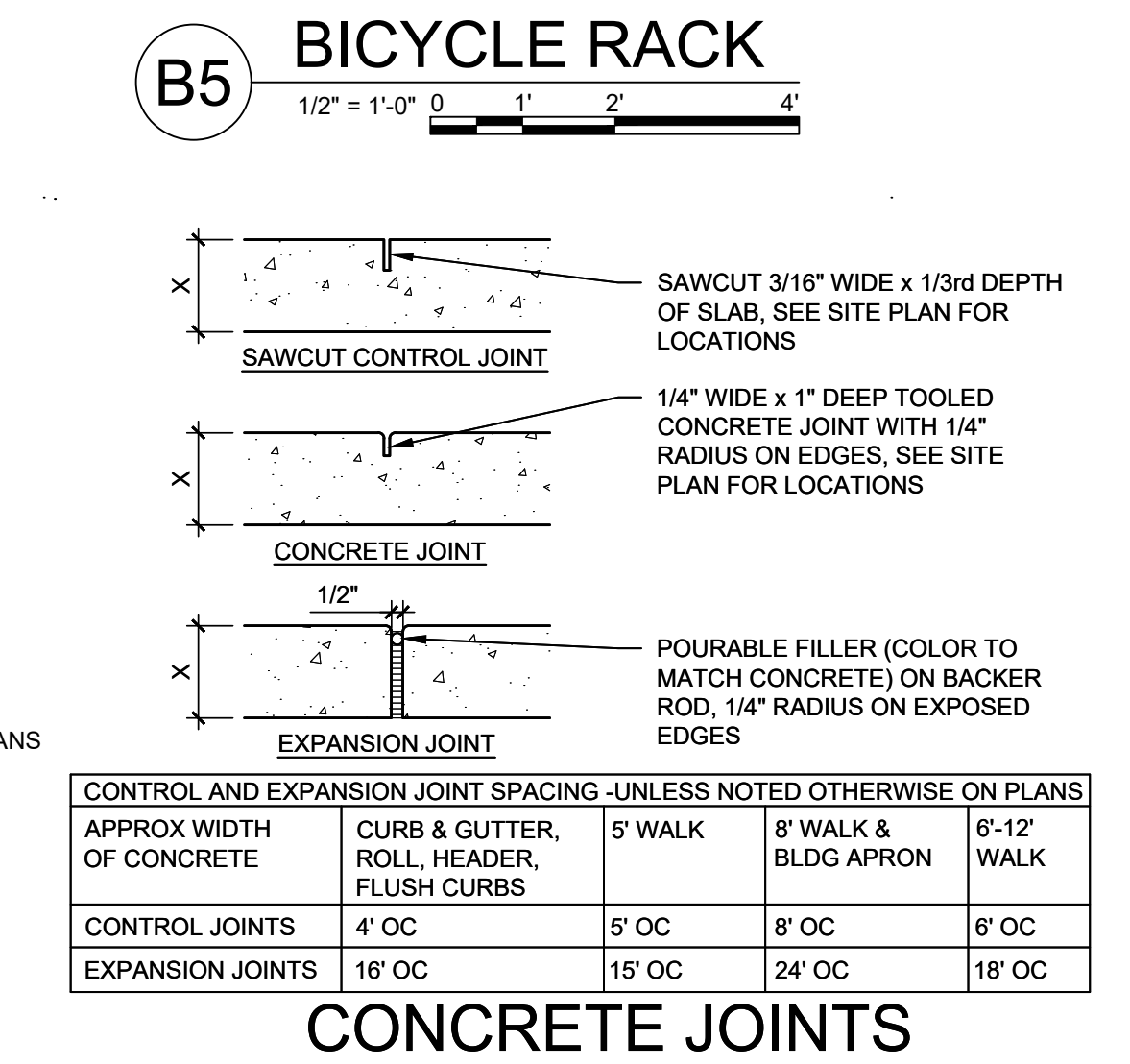
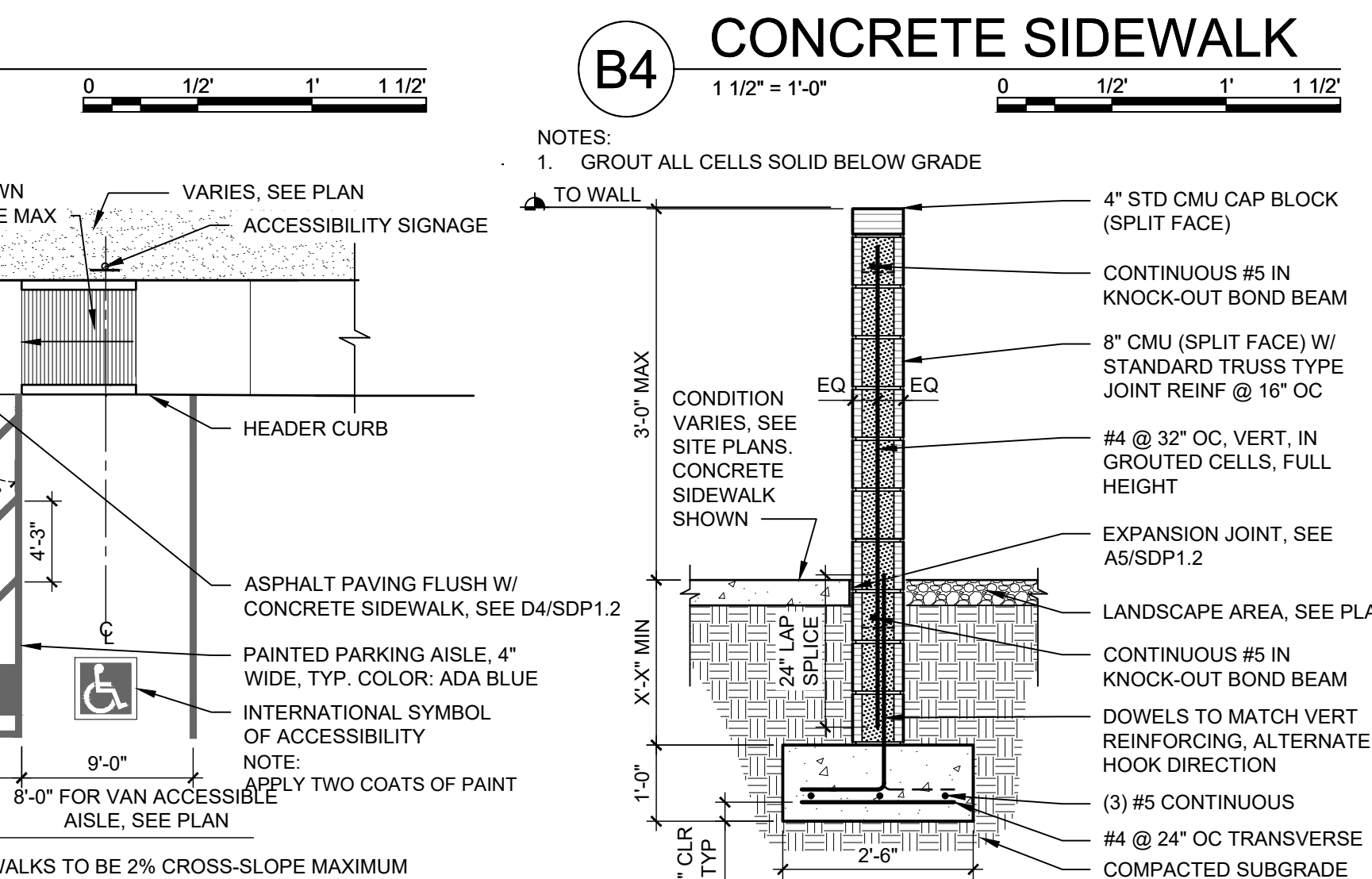
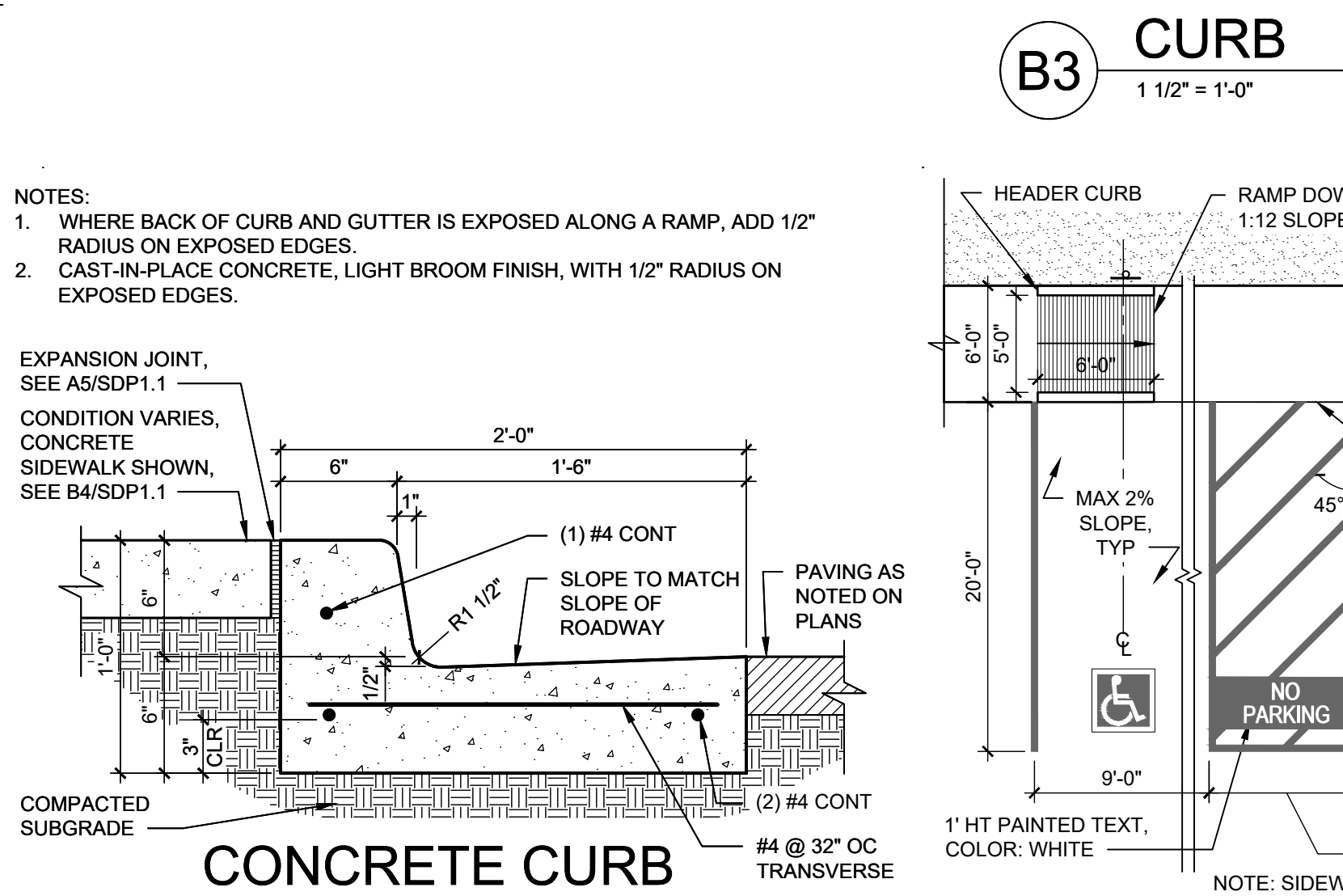
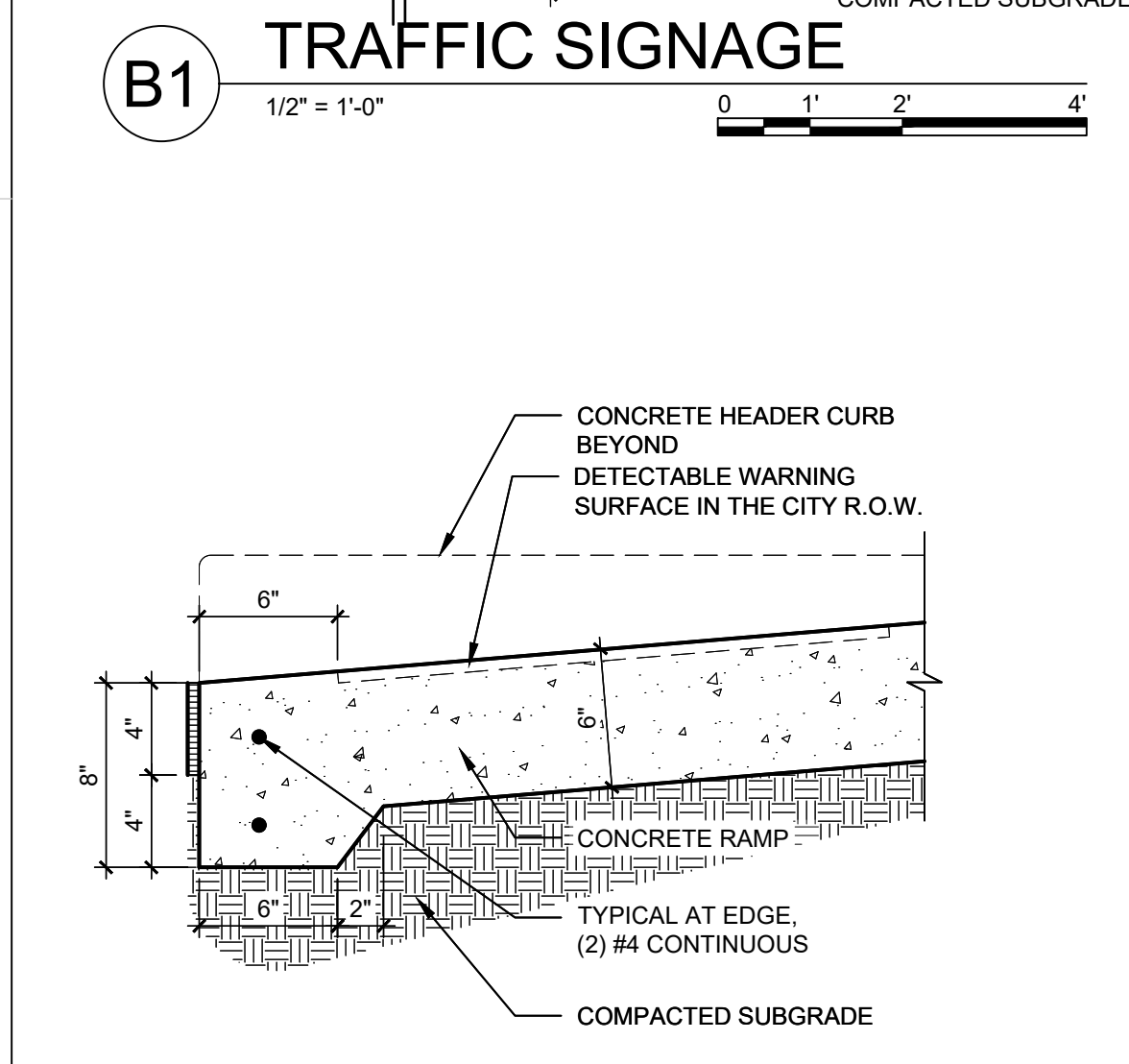
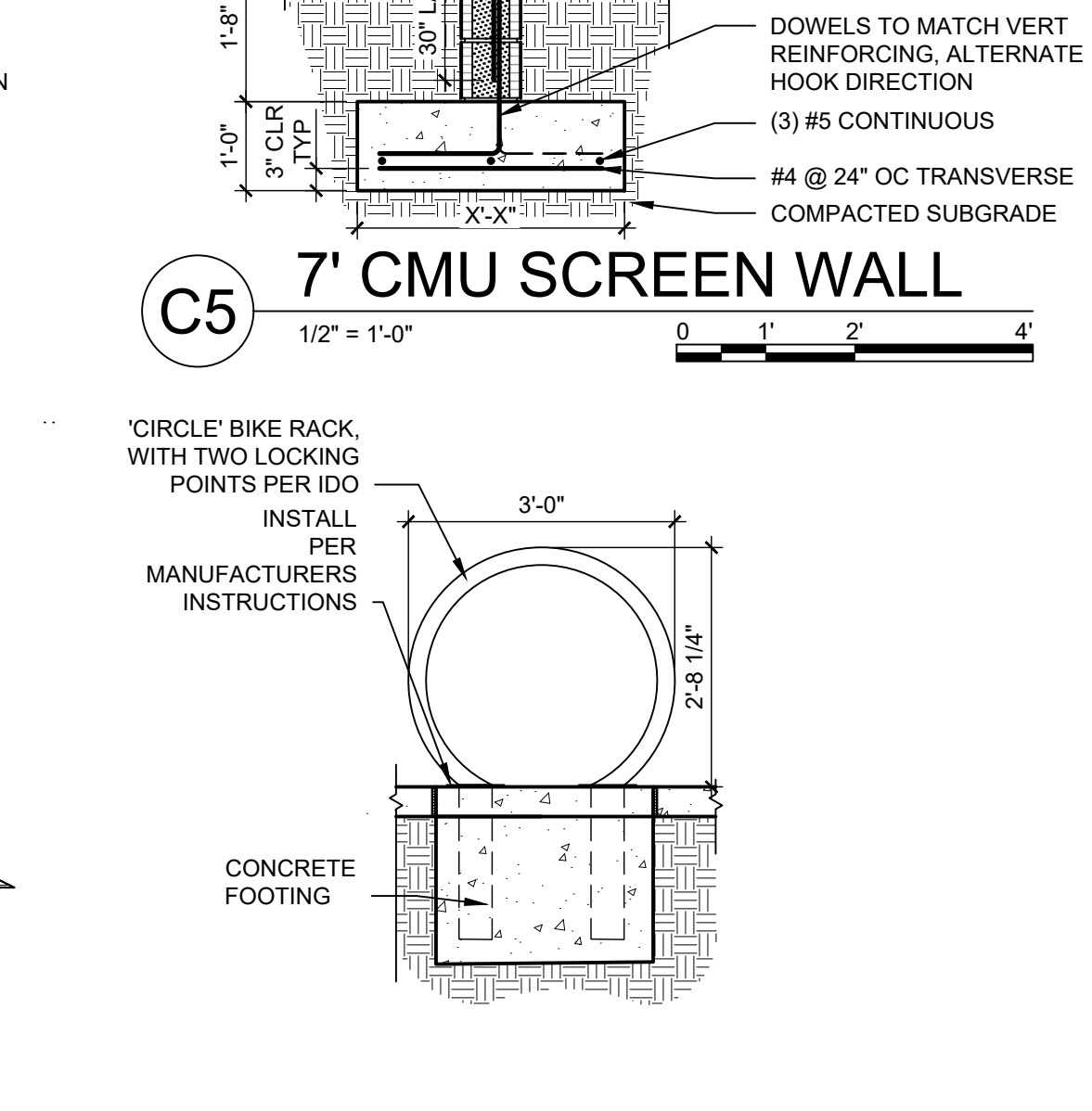
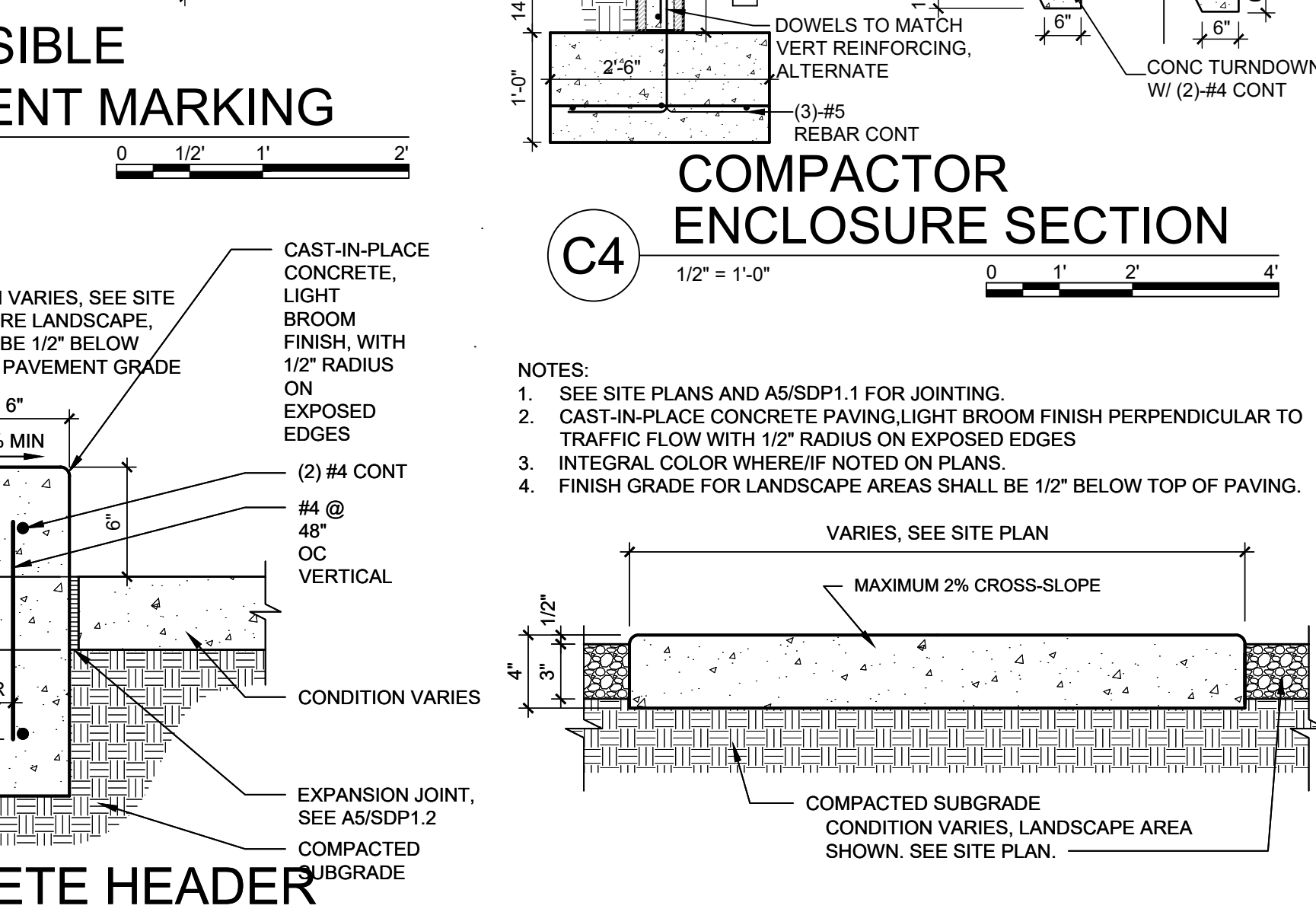
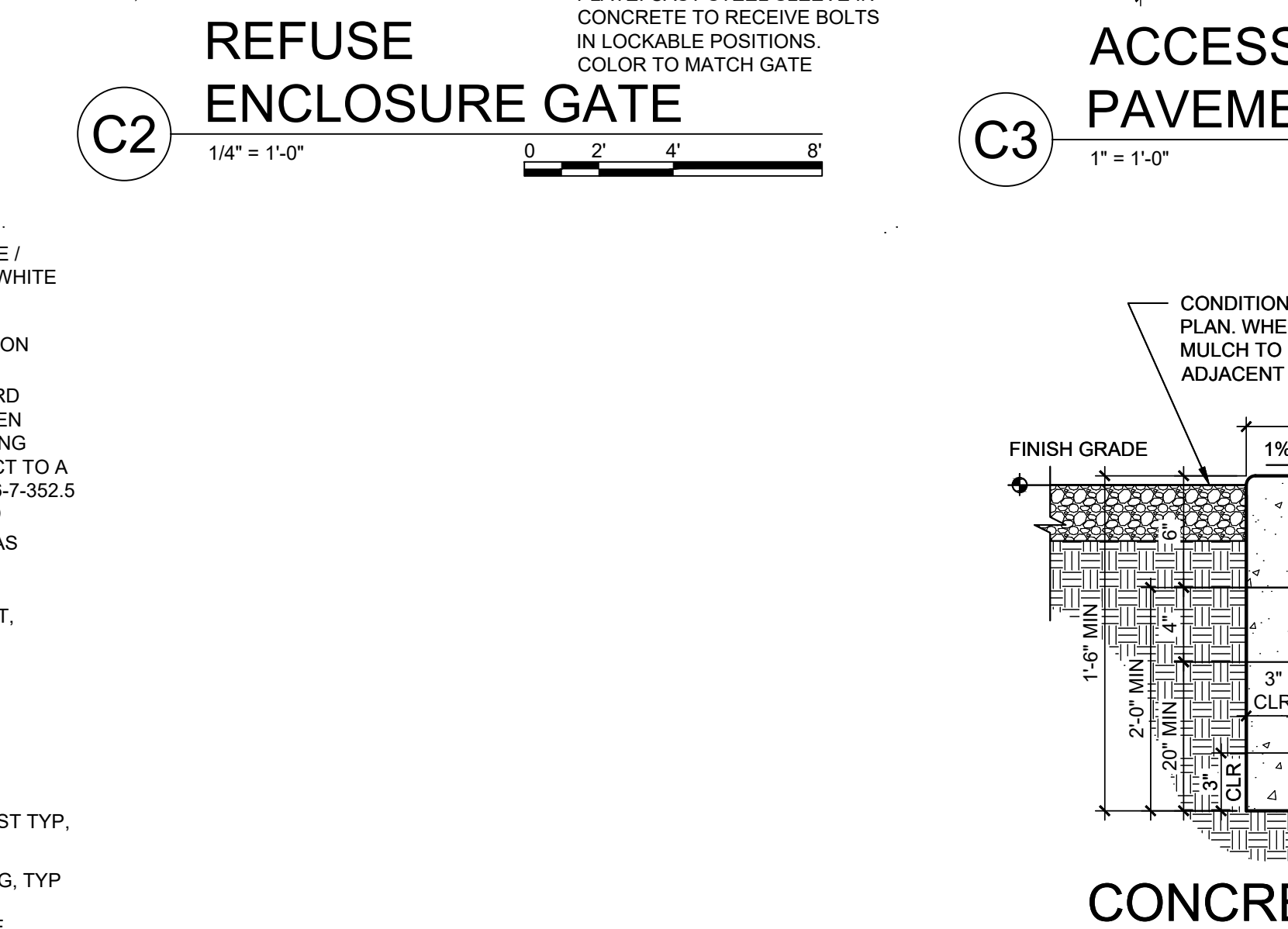
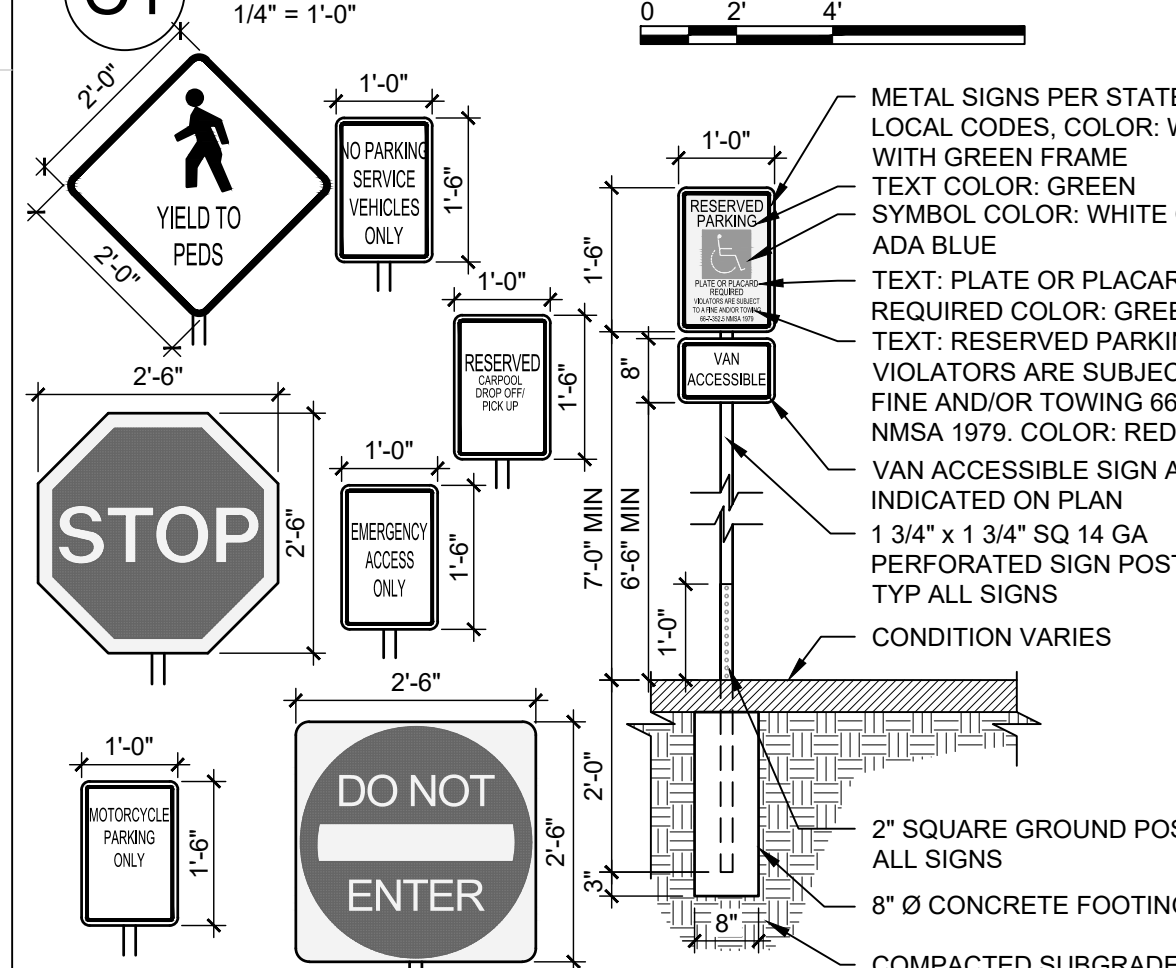
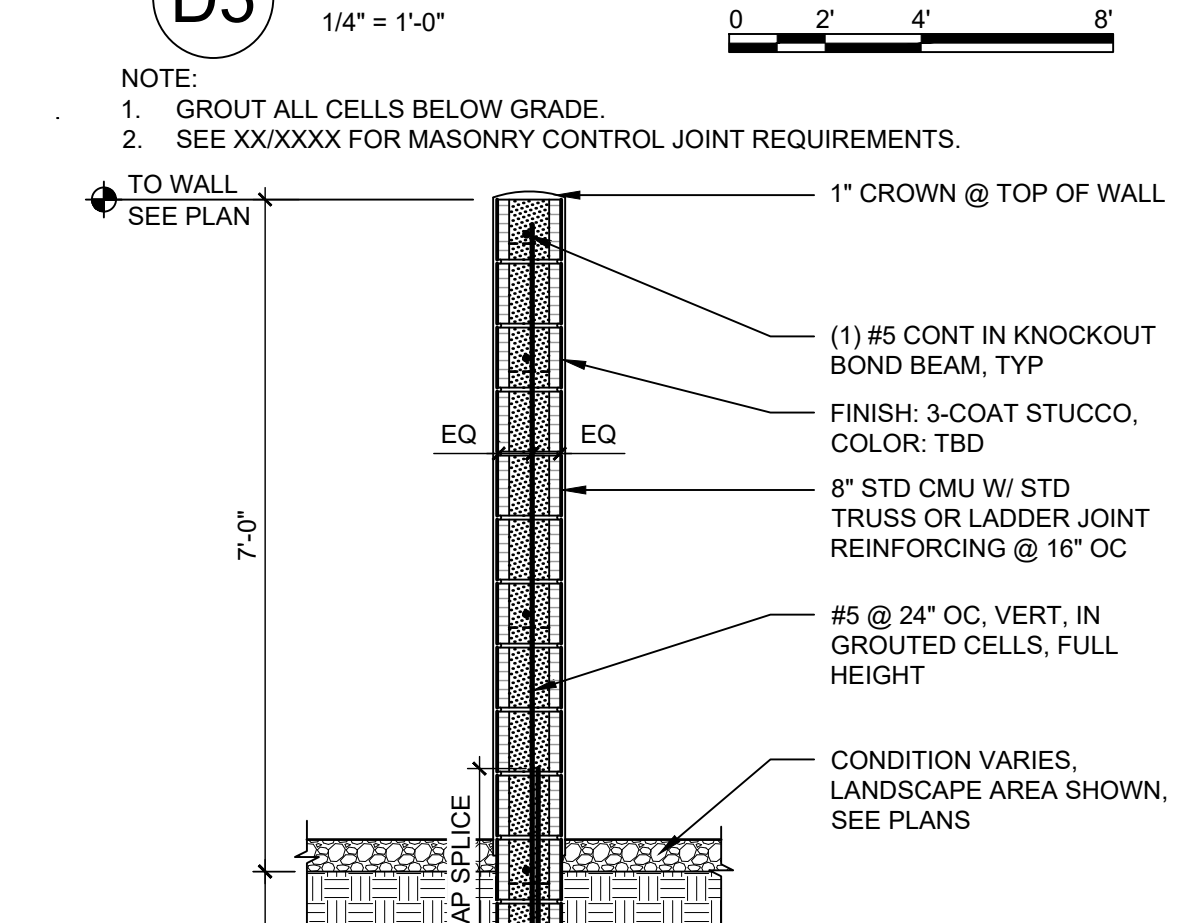
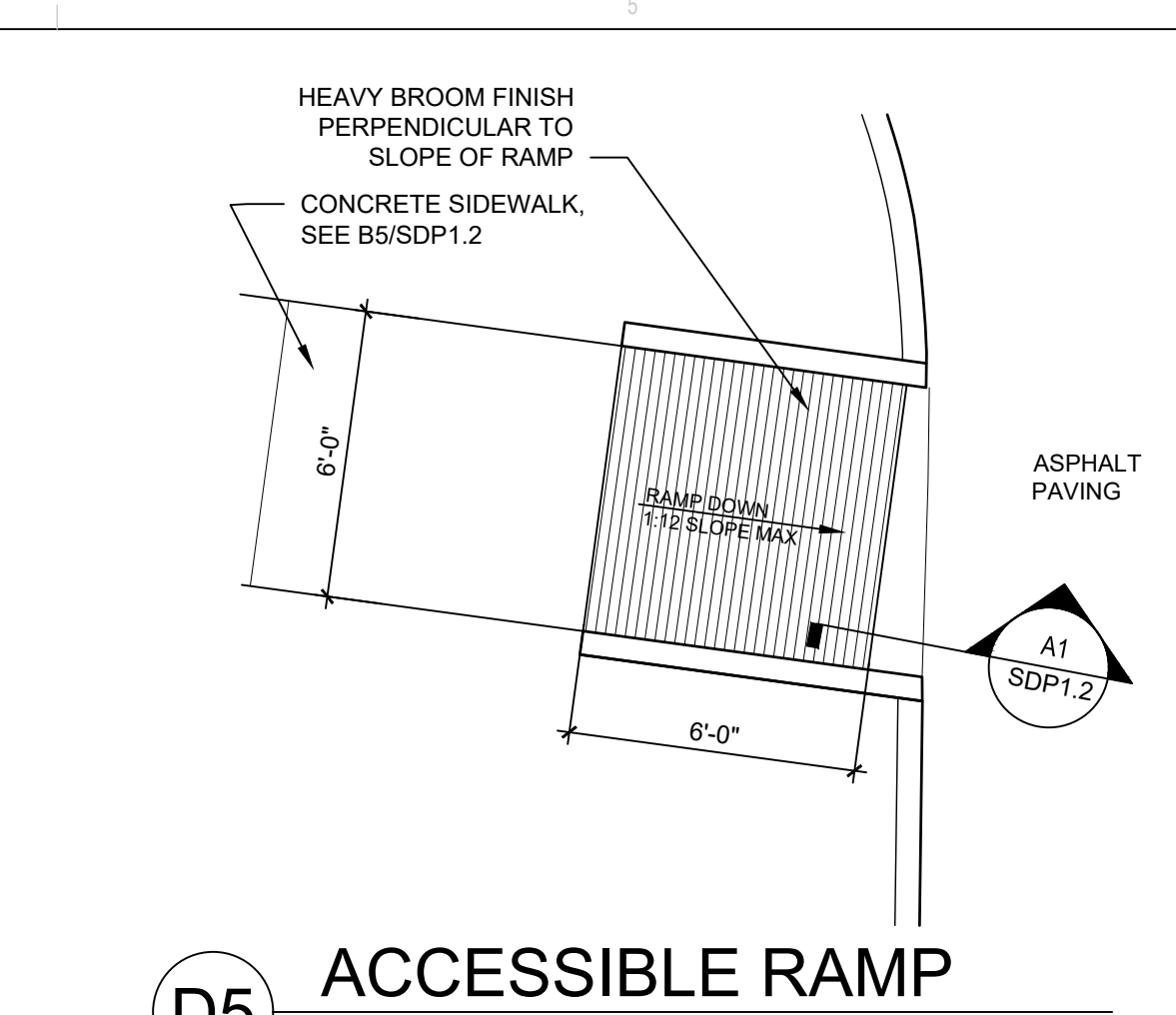
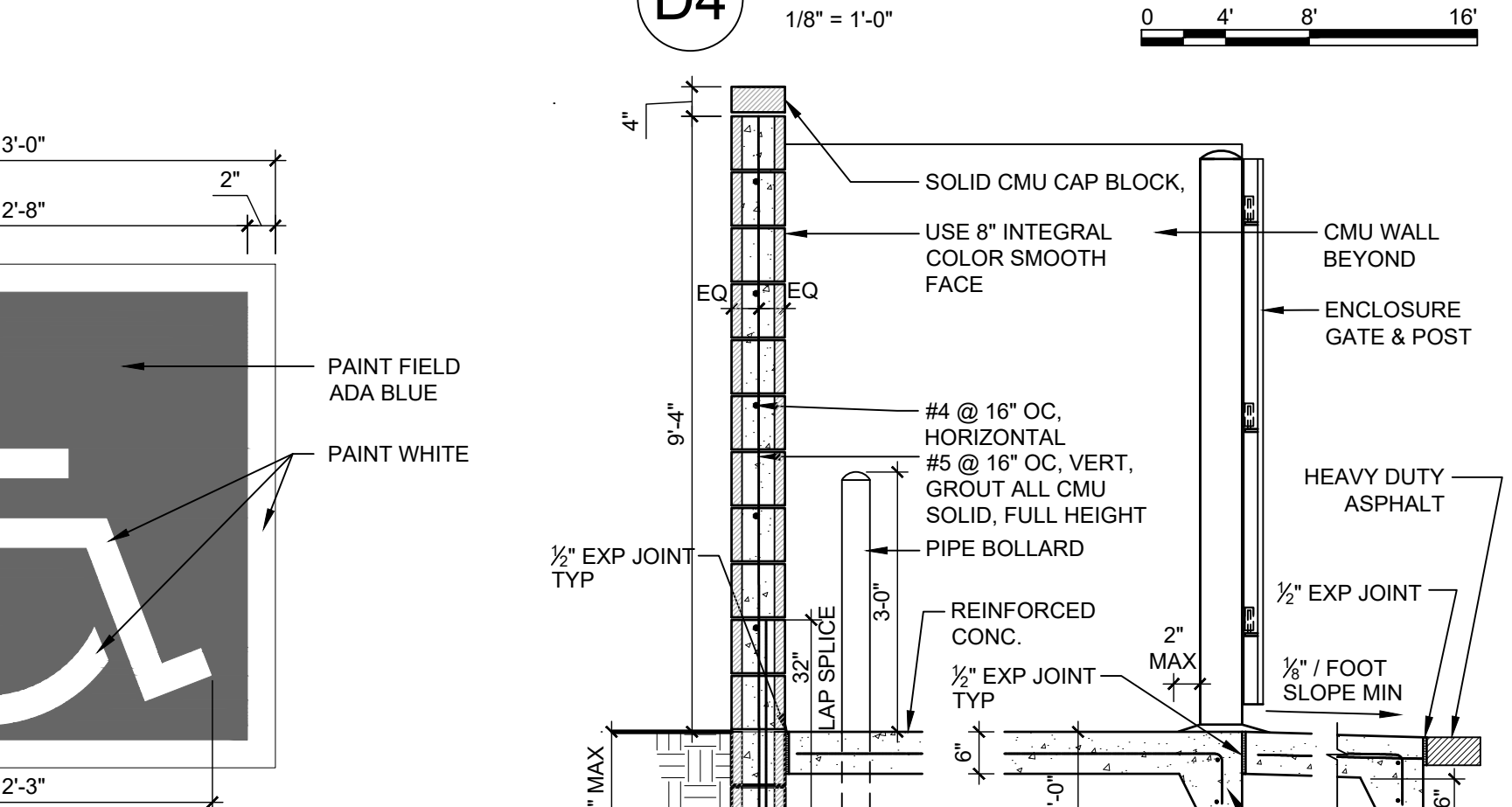
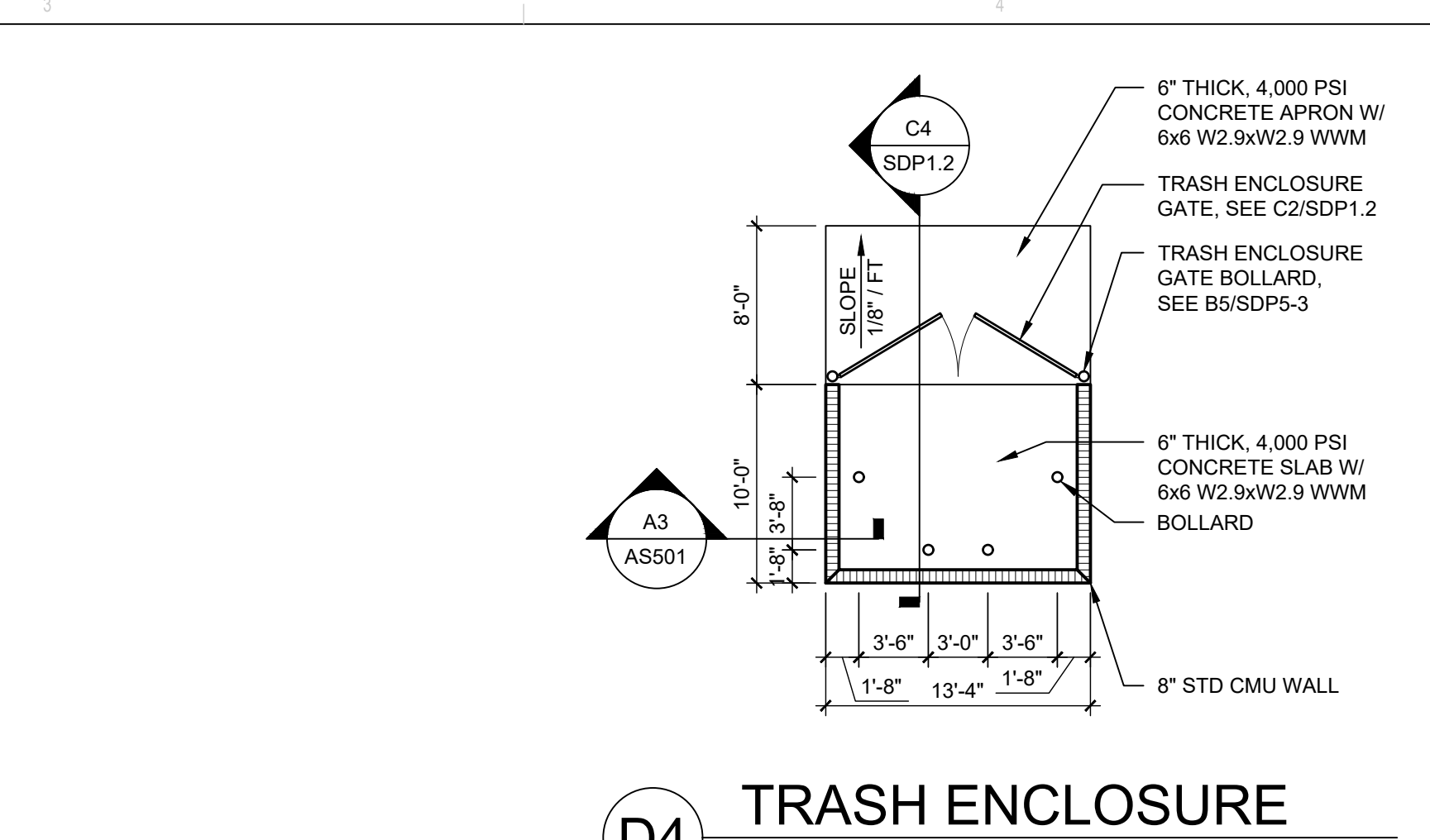
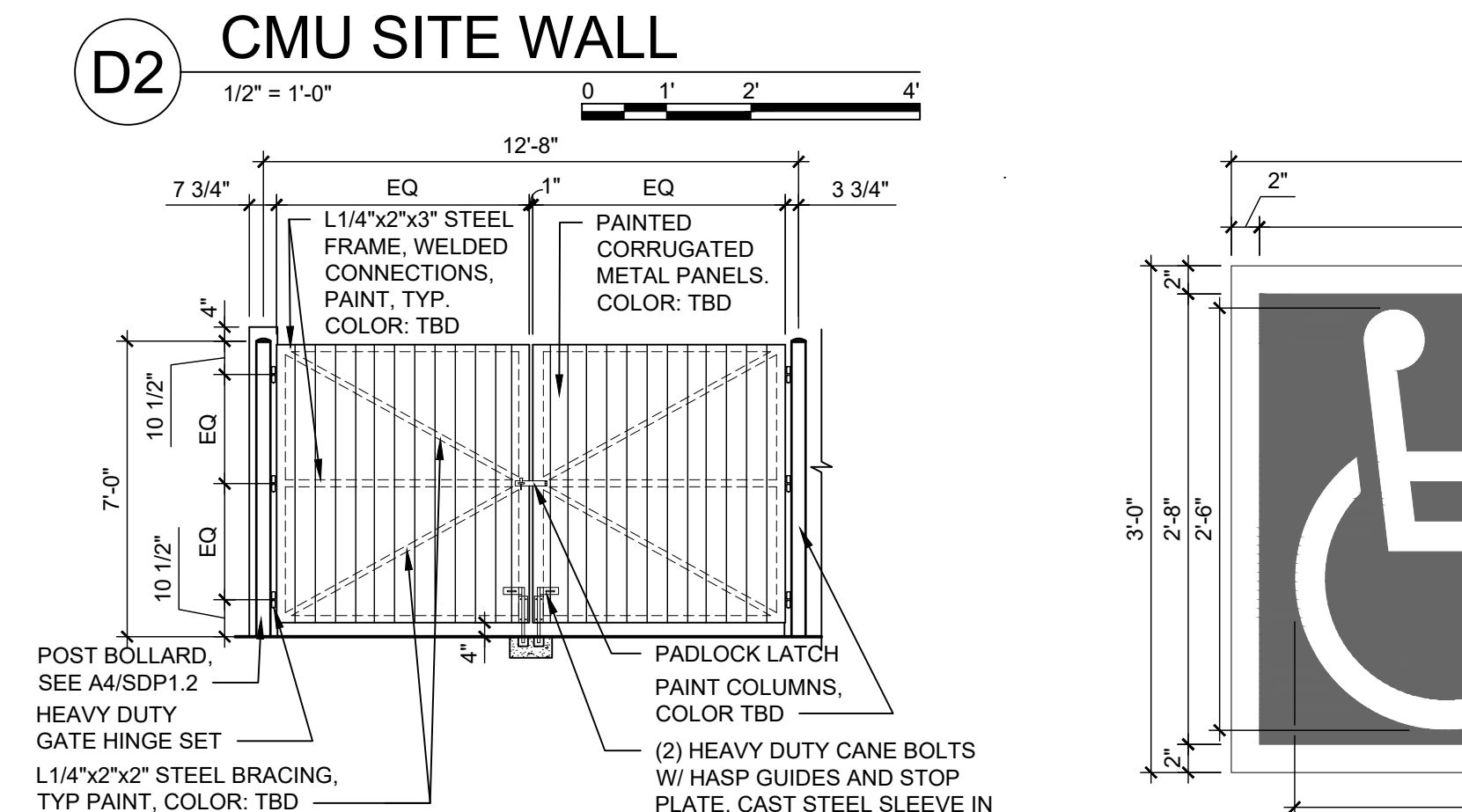
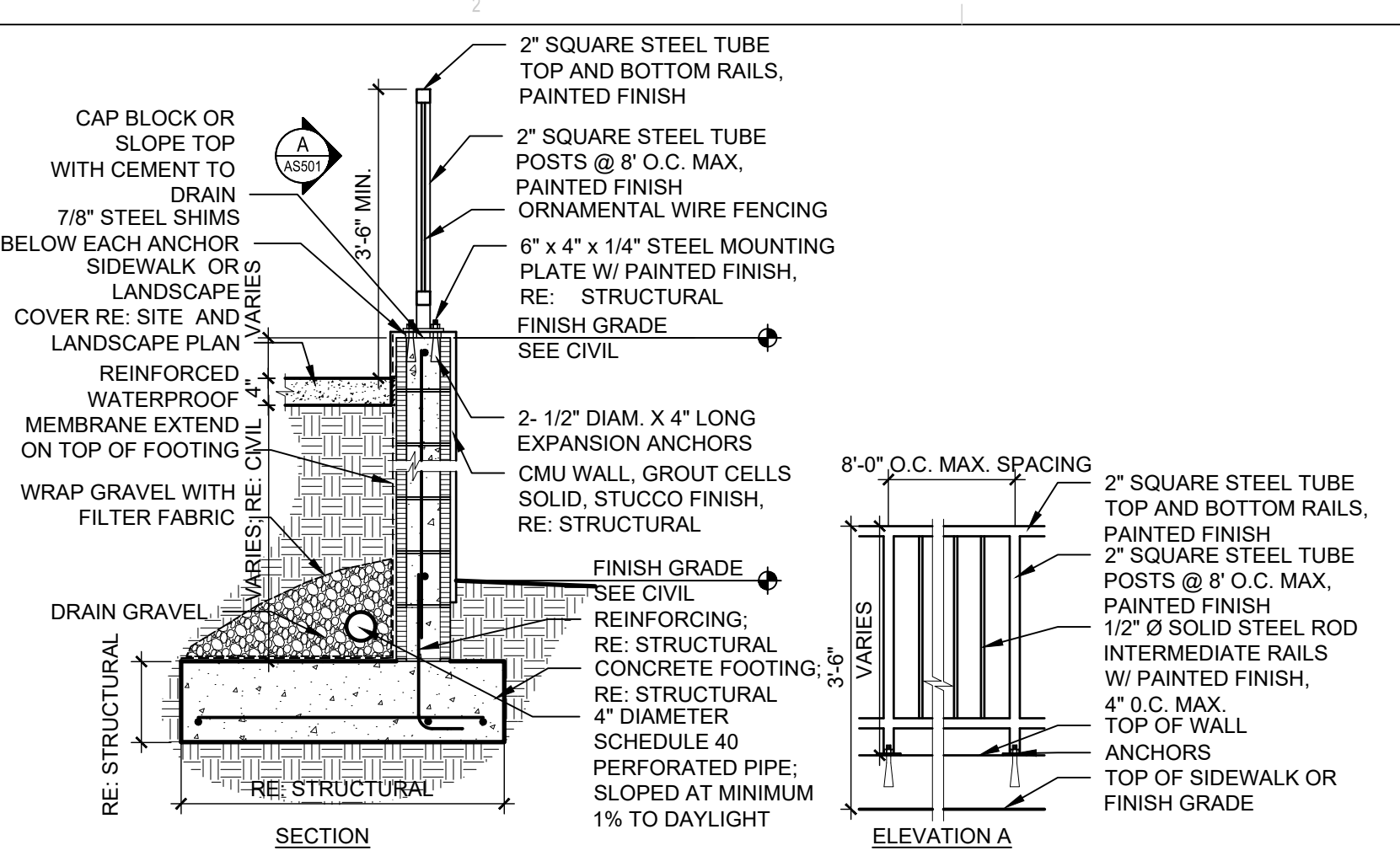
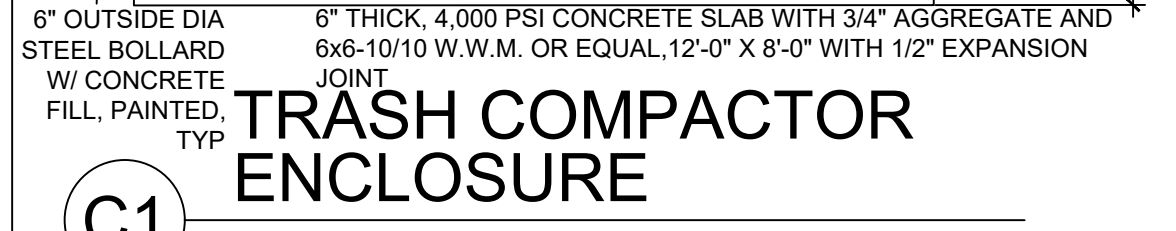
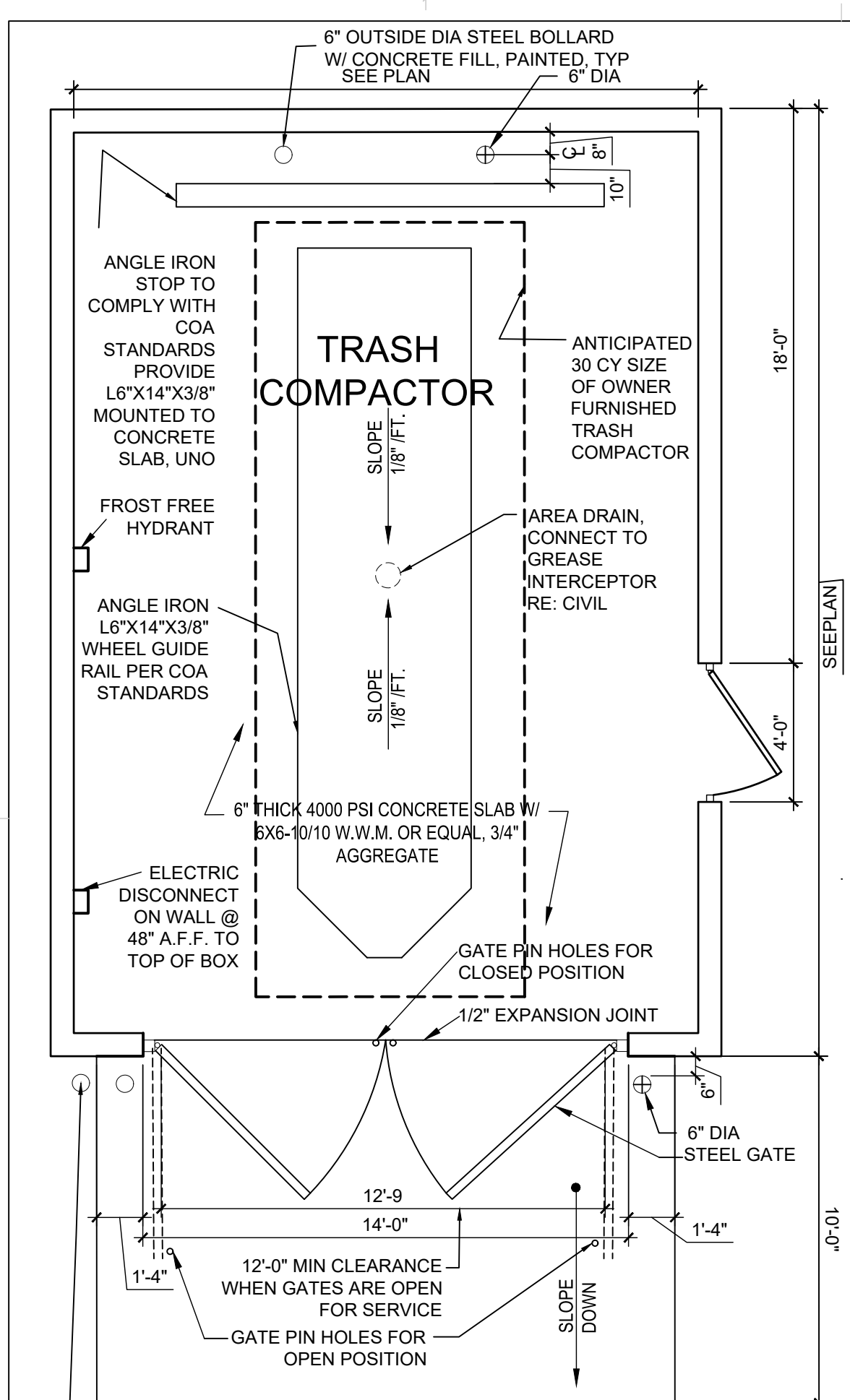
| REVISIONS |                            |
|-----------|----------------------------|
| △         | 10.12.2021 MAJOR AMENDMENT |
| △         |                            |
| △         |                            |
| △         |                            |

DRAWN BY: AG, JF  
REVIEWED BY: RAW, HFG  
DATE: 10/29/2021  
PROJECT NO.: 20-0286  
DRAWING NAME:

### SITE PLAN

SHEET NO.  
**SDP1.1**  
OF





REVISIONS

|           |                 |
|-----------|-----------------|
| 6/12/2021 | MAJOR AMENDMENT |
|-----------|-----------------|

DRAWN BY: D/P/S  
REVIEWED BY: D/P/S  
DATE: 10/29/2021  
PROJECT NO.: 20-0286  
DRAWING NAME:

SITE DETAILS

| APPROX WIDTH OF CONCRETE | CURB & GUTTER, ROLL, HEADER, FLUSH CURBS | 5' WALK | 8' WALK & BLDG APRON | 6'-12" WALK |
|--------------------------|--|---------|----------------------|-------------|
| CONTROL JOINTS           | 4' OC                                    | 5' OC   | 8' OC                | 6' OC       |
| EXPANSION JOINTS         | 16' OC                                   | 15' OC  | 24' OC               | 18' OC      |

SHEET NO. **SDP1.2**





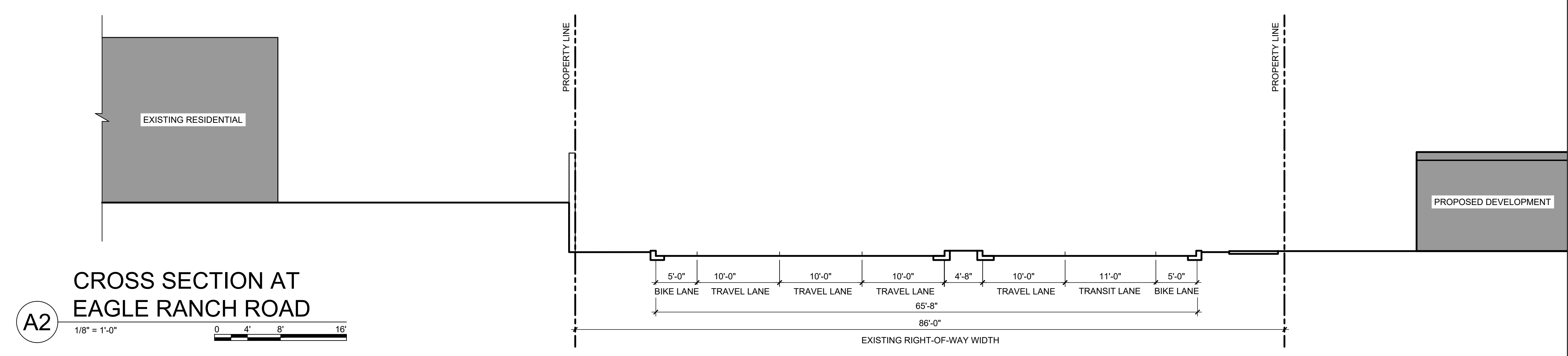
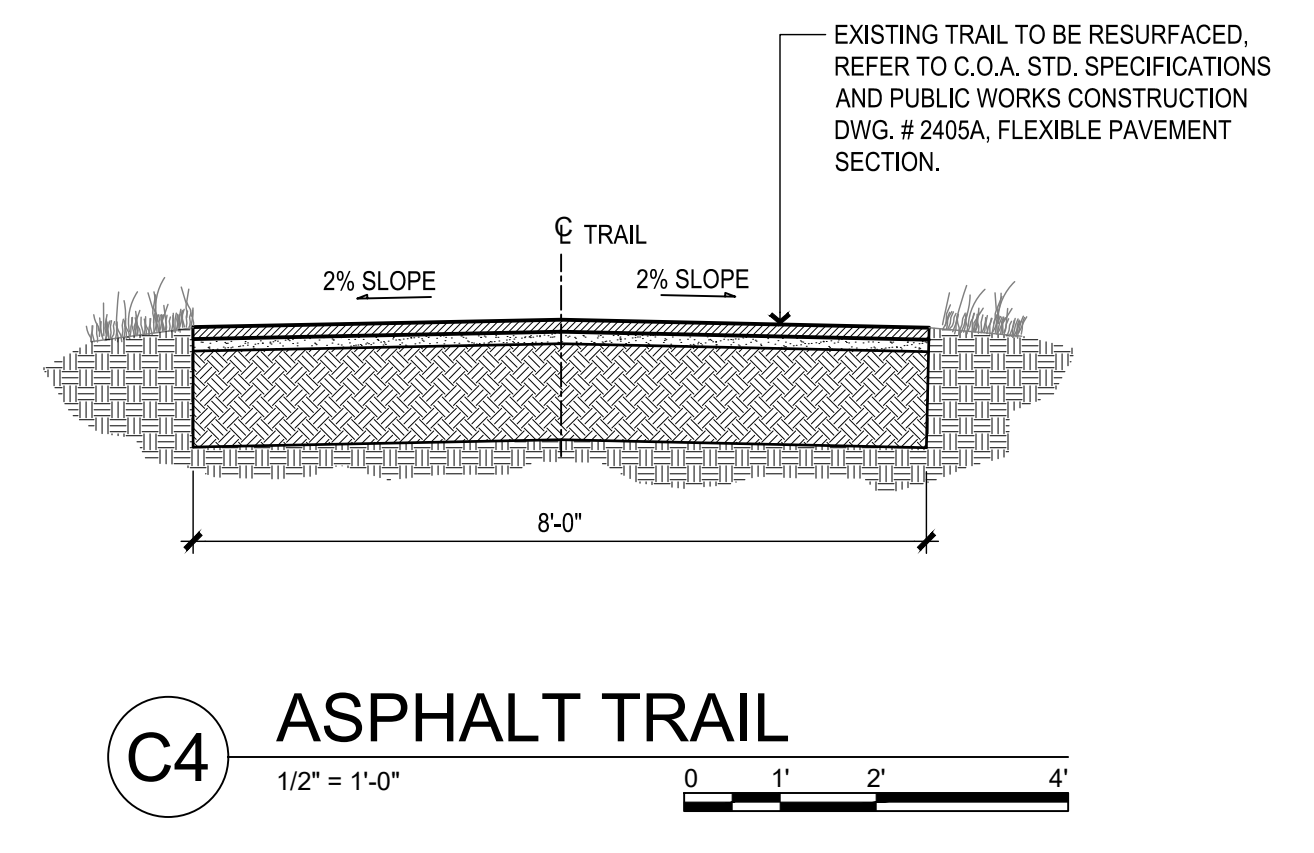
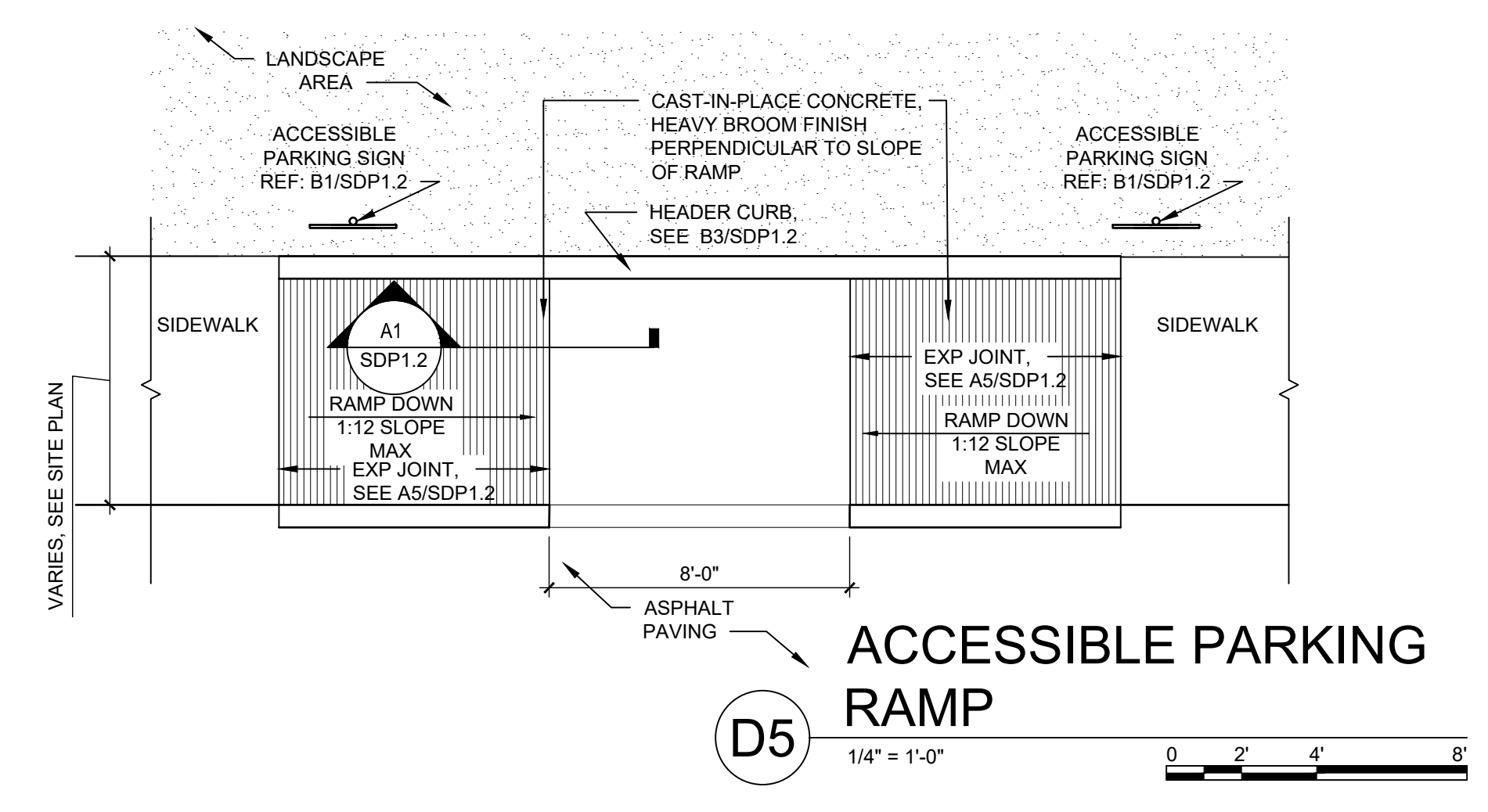
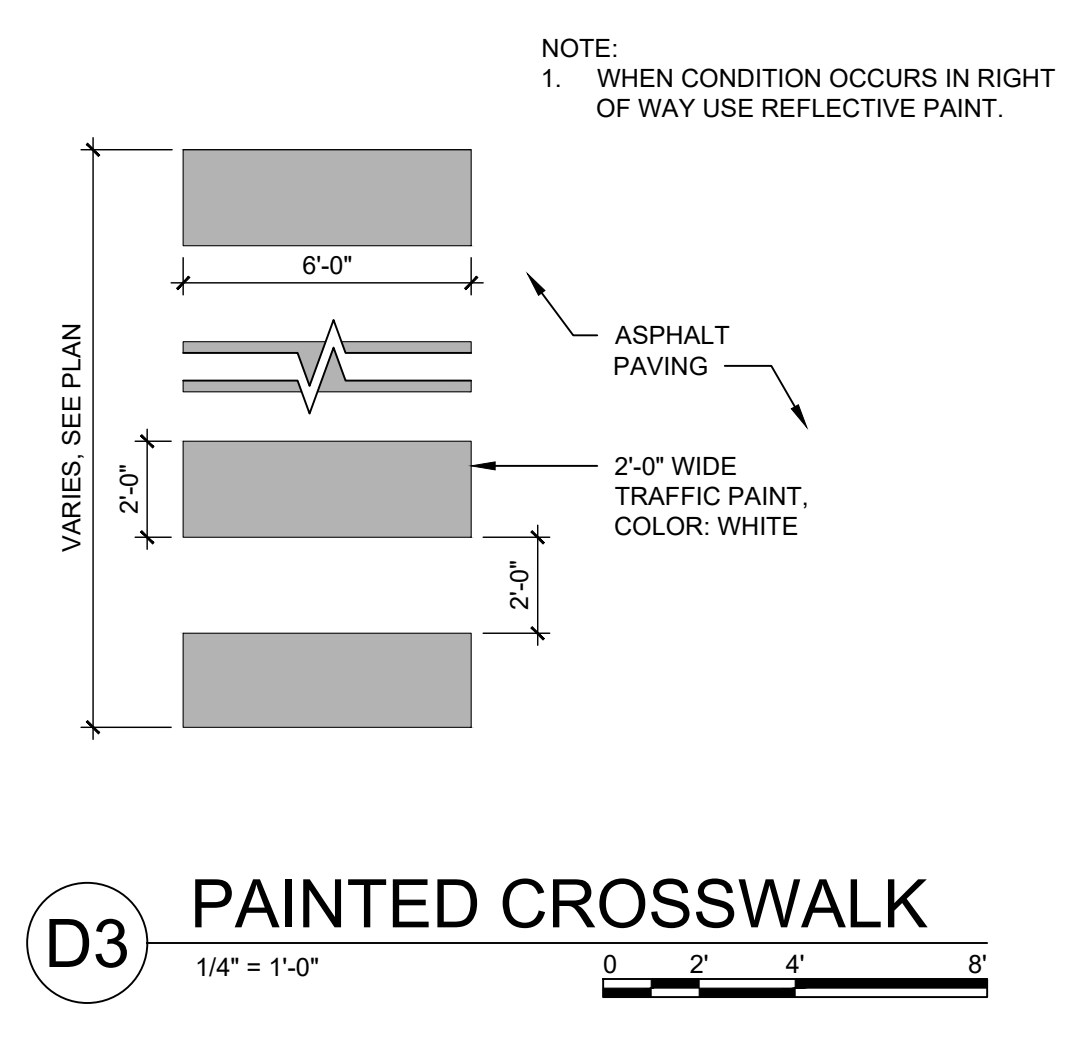
**SEDONA WEST**  
EAGLE RANCH ROAD  
ALBUQUERQUE, NM 87114

REVISIONS

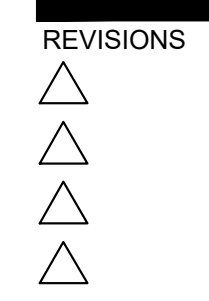
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| △ | 6/1/2021 | MAJOR AMENDMENT |
| △ |          |                 |
| △ |          |                 |
| △ |          |                 |

|              |            |
|--------------|------------|
| DRAWN BY     | D/P/S      |
| REVIEWED BY  | D/P/S      |
| DATE         | 10/29/2021 |
| PROJECT NO.  | 20-0286    |
| DRAWING NAME |            |

**SITE  
DETAILS**







|              |            |
|--------------|------------|
| DRAWN BY     | J.Y.R.     |
| REVIEWED BY  | G.M.       |
| DATE         | 08/06/2021 |
| PROJECT NO.  | 19-0058    |
| DRAWING NAME |            |

**EASEMENTS**

- 10' PNM AND US WEST EASEMENT GRANTED BY PLAT FILED JULY 25, 1988, BOOK C37, PAGE 12.
- 10' PNM AND US WEST EASEMENT GRANTED BY PLAT FILED JUNE 28, 1990, BOOK 90C, PAGE 151.
- 10' EASEMENT GRANTED TO N.M. UTILITIES BY PLAT FILED JUNE 28, 1990, BOOK 90C, PAGE 151.
- 20' EASEMENT GRANTED TO N.M. UTILITIES BY PLAT FILED JUNE 28, 1990, BOOK 90C, PAGE 151.
- 30' EASEMENT GRANTED TO N.M. UTILITIES BY PLAT FILED JUNE 28, 1990, BOOK 90C, PAGE 151.
- APPROXIMATE LOCATION OF 100' PNM POWER LINE EASEMENT FILED MAY 06, 1957, BOOK D385, PAGE 3031. SUBJECT TO EASEMENT ENCROACHMENT AGREEMENT BETWEEN PNM AND N.M. UTILITY CO., FILED JANUARY 23, 1990, BOOK 90-2, PAGES 1325-1327, DOC. # 905847.
- 15' UTILITY EASEMENT GRANTED HORIZON-ALBUQUERQUE PROPERTIES AND PNM DATED MARCH 27, 1961, RECORDED FEBRUARY 10, 1992, BOOK 92-3, PAGE 4164. N.M. UTILITIES DISCLAIMS ALL INTEREST TO ABOVE REFERENCED EASEMENT RECORDED JUNE 01, 1988, DOC. # 8849100.
- 8' BIKE LANE AND ASSOCIATED 12' EASEMENT, REFERENCED BY PREVIOUS PLATTING ACTIONS, AND SITE DEVELOPMENT PLAN DATED 06-19-2007, FILE NO. 2-83-93-1, ALSO REFERENCED BY ENCROACHMENT AGREEMENT BETWEEN THE CITY OF ALBUQUERQUE AND PNM, FILED FEBRUARY 10, 2005, BOOK A-92, PAGE 31, DOC. #2005020108.
- 10' GAS COMPANY OF NEW MEXICO EASEMENT, FILED MARCH 21, 1991, BOOK A91-4, PAGE 7909, DOC. #91019534.
- APPROXIMATE LOCATION PUBLIC SIDEWALK EASEMENT GRANTED BY PLAT FILED DECEMBER 18, 2007, BOOK 2007C, PAGE 347, DOC. #2007169358. EXACT LOCATION CANNOT BE DETERMINED BASED UPON EASEMENT ANNOTATION.
- POSSIBLE LOCATION OF 50' ROADWAY EASEMENT RESERVED BY WARRANTY DEED FILED NOVEMBER 19, 1959, BOOK D-513, PAGE 189. EASEMENT NOT DEPICTED OR REFERENCED BY PLATS OF RECORD REFERENCED HEREON.

**PROJECT BENCHMARK**

AN 3 1/4" AGRS ALUMINUM DISK STAMPED "11\_C13", SET FLUSH IN THE NORTHEAST CONCRETE BRIDGE ABUTMENT OF PASEO DEL NORTE OVER COORS BOULEVARD NW. ELEVATION = 5031.88 FEET (NAVD 1988)

**TEMPORARY BENCHMARK #201 (T.B.M.)**  
A 60d NAIL, SET IN CONCRETE JOINT NEAR THE NORTHWEST CORNER OF THE PROJECT SITE APPROXIMATELY 22.8' SOUTHWEST OF THE NORTHWEST PROPERTY CORNER, AS SHOWN ON THIS SHEET.  
ELEVATION = 5072.42 FEET (NAVD 1988)

**TEMPORARY BENCHMARK #202 (T.B.M.)**  
A 60d NAIL, SET IN CONCRETE JOINT NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE APPROXIMATELY 21.3' NORTHEAST OF THE TOP OF A WHEEL CHAIR RAMP, AS SHOWN ON THIS SHEET.  
ELEVATION = 5076.20 FEET (NAVD 1988)

**TEMPORARY BENCHMARK #203 (T.B.M.)**  
A MAG NAIL W/WASHER, SET IN ASPHALT PAVEMENT NEAR THE CENTER OF THE PROJECT SITE APPROXIMATELY 1.1' EAST OF THE EAST ASPHALT CURB, AS SHOWN ON THIS SHEET.  
ELEVATION = 5056.78 FEET (NAVD 1988)

**TEMPORARY BENCHMARK #204 (T.B.M.)**  
A MAG NAIL W/WASHER, SET IN ASPHALT PAVEMENT NEAR THE NORTHEAST CORNER OF THE PROJECT SITE APPROXIMATELY 26.6' SOUTH OF THE SOUTHEAST CORNER OF A CONCRETE PAD, AS SHOWN ON THIS SHEET.  
ELEVATION = 5052.58 FEET (NAVD 1988)

**TEMPORARY BENCHMARK #205 (T.B.M.)**  
A MAG NAIL W/WASHER, SET IN ASPHALT PAVEMENT NEAR THE SOUTHEAST CORNER OF THE PROJECT SITE APPROXIMATELY 1.4' SOUTHWEST OF THE END OF A CONCRETE CURB LIP, AS SHOWN ON THIS SHEET.  
ELEVATION = 5049.36 FEET (NAVD 1988)

**GRADING AND DRAINAGE:**

THE PROJECT SITE CURRENTLY SLOPES FROM NORTHEAST TO SOUTHWEST. THE STORMWATER RUNOFF FROM THE WEST HALF OF THE SITE IS INTERCEPTED BY AN EXISTING PAVED, CURBED ACCESS ROAD THAT DRAINS TO TWO (2) EXISTING STORM DRAIN INLETS. THESE INLETS DISCHARGE TO AN EXISTING 24" PUBLIC SUBSURFACE STORM DRAIN SYSTEM THAT EXTENDS THROUGH THE SITE FROM NORTH TO SOUTH, ENLARGING TO A 36" RCP STORM DRAIN ALONG THE SOUTH PERIMETER OF THE PROPERTY. THIS PUBLIC STORM DRAIN SYSTEM CONTINUES SOUTHWEST OF THE PROJECT SITE AND ULTIMATELY DISCHARGES TO A PUBLIC STORMWATER DETENTION BASIN AT THE PLAZA AT PASEO DEL NORTE UPPER DETENTION POND, LOCATED NEAR THE SOUTHWEST TERMINATION OF PARADISE BLVD NW, AND IMMEDIATELY SOUTH OF THE EAGLE RANCH APARTMENTS COMPLEX. THE EXISTING PUBLIC STORM DRAIN SYSTEM AND STORMWATER DETENTION POND FACILITY WAS DEVELOPED PER THE 1989 MARKET CENTER WEST (PLAZA AT PASEO DEL NORTE) MASTER PLAN (UPDATED 2007) AND CONSTRUCTED AS PART OF THE PHASE 1 DEVELOPMENT FOR THIS SITE IN 1990. THE STORMWATER DETENTION POND IS SIZED TO ACCEPT THE FULLY DEVELOPED STORMWATER RUNOFF GENERATED BY THIS SITE (DENOTED AS PORTIONS OF BASIN A IN THE MASTER PLAN DRAINAGE REPORT). IN THE MASTER PLAN, BASINS A-1, A-2 AND A-3 WERE CALCULATED TO GENERATE 24.6 CFS, 16.6 CFS, AND 4.5 CFS RESPECTIVELY (TOTAL = 45.7 CFS) IN THE FULLY DEVELOPED CONDITION THAT IS FREE DISCHARGE TO THE EXISTING PUBLIC STORM DRAIN IMPROVEMENTS. THIS PROPOSED 2021 SEDONA WEST DEVELOPMENT SITE IS 7.1 AC, 65% OF THE BASIN A 11 AC SITE. THEREFORE, THE ALLOWABLE DISCHARGE FOR THIS SITE IS 65% OF THE 45.7 CFS ALLOWABLE FREE DISCHARGE RATE, EQUAL TO 29.7 CFS.

THE PROPOSED SITE DEVELOPMENT WILL MAINTAIN THE GENERAL DRAINAGE PATTERNS FOR THE SITE WITH OVERALL SITE GRADE SLOPING FROM NORTHEAST TO SOUTH WEST. ROOF DRAINAGE AND LOCALIZED PAVEMENT AREAS WILL BE SERVED BY NEW PRIVATE SUBSURFACE PIPED STORM DRAIN SYSTEMS THAT WILL OUTFALL TO THE EXISTING PUBLIC STORM DRAIN SYSTEM. THE PROJECT WILL RESULT IN AN INCREASE IN DEVELOPED STORMWATER RUNOFF GENERATED DUE TO THE NEW IMPERVIOUS AREAS. CALCULATIONS BASED ON THE CURRENT DPM PROCEDURE FOR A 40 ACRE OR SMALLER SITE SHOWN BELOW DEMONSTRATE THAT THE PROPOSED PEAK DISCHARGE FOR A 100 YEAR, 6 HOUR STORM EVENT GENERATED BY THE FULLY DEVELOPED SITE WILL BE 26.9 CFS, WHICH IS LESS THAN THE ALLOWABLE MASTER PLAN FREE DISCHARGE RATE OF 29.7 CFS NOTED ABOVE.

DUE TO THE GENERAL SLOPE OF THE SITE FROM WEST TO EAST, AND COORDINATION COMPROMISES TO THE SITE DEVELOPMENT WITH THE NEIGHBORING PROPERTY OWNERS, THIS SITE AS FULLY DEVELOPED WILL NOT BE ABLE TO INCLUDE PONDING IMPROVEMENTS NECESSARY TO COMPLY WITH THE CITY OF ALBUQUERQUE DPM AND CURRENT STORMWATER QUALITY ORANLY REQUIREMENTS TO CAPTURE AND TREAT THE FIRST FLUSH STORM EVENT GENERATED BY THE SITE. CALCULATIONS INCLUDED BELOW DEMONSTRATE THE REQUIRED STORMWATER QUALITY VOLUME GENERATED BY THE DEVELOPED SITE TO BE 8,510 CF. AS SUCH, THIS PROJECT ANTICIPATES UTILIZING THE ALTERNATIVE "PAYMENT-IN-LIEU" OPTION NOTED IN THE COA DPM SECTION 6-12(C)(1), TO BE COORDINATED WITH THE CITY HYDROLOGY ENGINEER.

**CALCULATIONS:**

**I. SITE CHARACTERISTICS**

|                                   |         |      |    |
|-----------------------------------|---------|------|----|
| A. PRECIPITATION ZONE =           | 1       | 2.17 | IN |
| B. $P_{100,6HR} = P_{60} =$       |         |      |    |
| C. TOTAL PROJECT AREA ( $A_T$ ) = | 310,241 | SF   |    |
|                                   | 7.12    | AC   |    |

**D. LAND TREATMENTS**

| PROJECT SITE | EXISTING LAND TREATMENT |     | DEVELOPED LAND TREATMENT |     |
|--------------|-------------------------|-----|--------------------------|-----|
|              | AREA (SF/AC)            | %   | AREA (SF/AC)             | %   |
| A            | 263,079 SF              | 85% | 33,621 SF                | 11% |
| B            | 6.04 AC                 |     | 0.77 AC                  |     |
| C            | 47,162 SF               | 15% | 243,000 SF               | 78% |
| D            | 1.08 AC                 |     | 5.58 AC                  |     |

**HYDROLOGY**

**A. EXISTING CONDITION 100 YEAR STORM**

1. PROJECT SITE  
a. VOLUME 100-YR, 6-HR  
 $WT_E = (E_A \cdot A_A + E_B \cdot A_B + E_C \cdot A_C + E_D \cdot A_D) / A_T$   
 $= (0.55 \cdot 0.00 + 0.73 \cdot 6.04 + 0.95 \cdot 0.00 + 0.24 \cdot 1.08) / 7.12 = 0.96$  IN  
 $V_{100,6HR} = (E_T / 12) \cdot A_T = (0.96 / 12) \cdot 7.12 = 0.5698$  AC-FT = 24,820 CF

b. PEAK DISCHARGE 100-YR  
 $Q_{100} = Q_A \cdot A_A + Q_B \cdot A_B + Q_C \cdot A_C + Q_D \cdot A_D$   
 $= (1.54 \cdot 0.00 + 2.16 \cdot 6.04 + 2.87 \cdot 0.00 + 4.12 \cdot 1.08) = 17.5$  CFS

**B. DEVELOPED CONDITION 100 YEAR STORM**

1. PROJECT SITE  
a. VOLUME 100-YR, 6-HR  
 $WT_E = (E_A \cdot A_A + E_B \cdot A_B + E_C \cdot A_C + E_D \cdot A_D) / A_T$   
 $= (0.55 \cdot 0.00 + 0.73 \cdot 0.77 + 0.95 \cdot 0.77 + 0.24 \cdot 5.58) / 7.12 = 1.94$  IN  
 $V_{100,6HR} = (E_T / 12) \cdot A_T = (1.94 / 12) \cdot 7.12 = 1.1514$  AC-FT = 50,160 CF

b. STORM WATER QUALITY VOLUME (FIRST FLUSH) GENERATED  
 $V_{SWQV} = ((P_{SWQV}) / 12) \cdot A_D$   
 $= (0.42 / 12) \cdot (5.58) = 0.1952$  AC-FT = 8,510 CF

c. STORM WATER QUALITY - PAYMENT IN LIEU VARIANCE REQUEST  
 $= \$8.00$  PER CF OF FIRST FLUSH GENERATE x 8510 CF = \$68,080.00

d. PEAK DISCHARGE 100-YR  
 $Q_{100} = Q_A \cdot A_A + Q_B \cdot A_B + Q_C \cdot A_C + Q_D \cdot A_D$   
 $= (1.54 \cdot 0.00 + 2.16 \cdot 0.77 + 2.87 \cdot 0.77 + 4.12 \cdot 5.58) = 26.9$  CFS

**C. COMPARISON 100 YEAR STORM**

|                          |                                      |        |                |
|--------------------------|--------------------------------------|--------|----------------|
| 1. PROJECT SITE          |                                      |        |                |
| a. VOLUME 100-YR, 6-HR   | $V_{PROJECT SITE} = 50160 - 24820 =$ | 25,340 | CF (INCREASE)  |
| b. PEAK DISCHARGE 100-YR | $\Delta Q_{100} = 26.9 - 17.5 =$     | 9.4    | CFS (INCREASE) |

\*29.7 CFS FREE DISCHARGE ALLOWED PER PLAZA AT PASEO DEL NORTE MASTER PLAN > DEVELOPED 26.9 CFS GENERATE

**NOTE:**

THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT-OF-WAY LINES, OR PROPERTY LINES AS SHOWN ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS, OR DEEDS REFERENCED HEREON AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 03/24/2021 (2021.012.1). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, DATED 03/24/2021 (2021.012.1).

2021.012.2



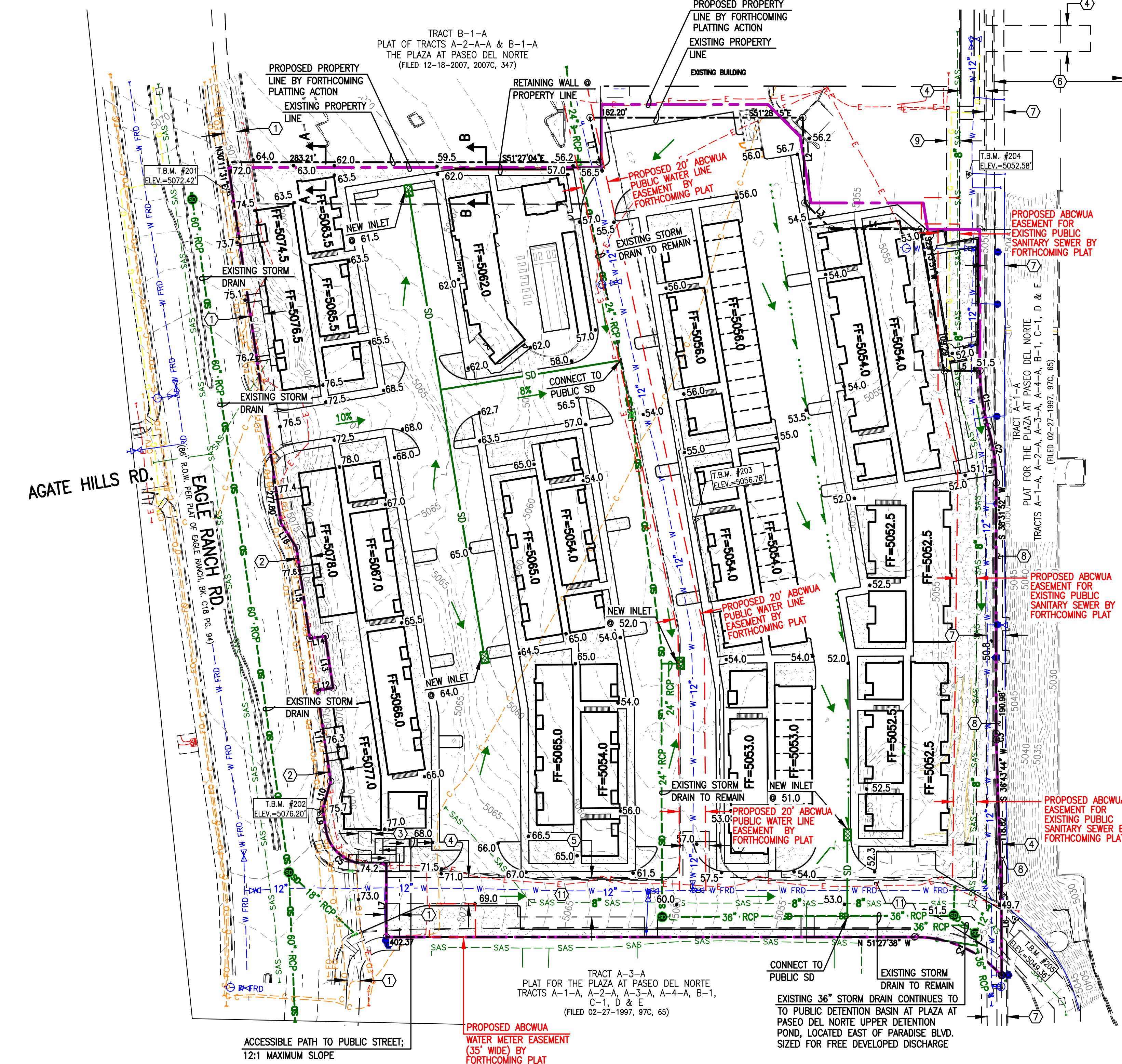
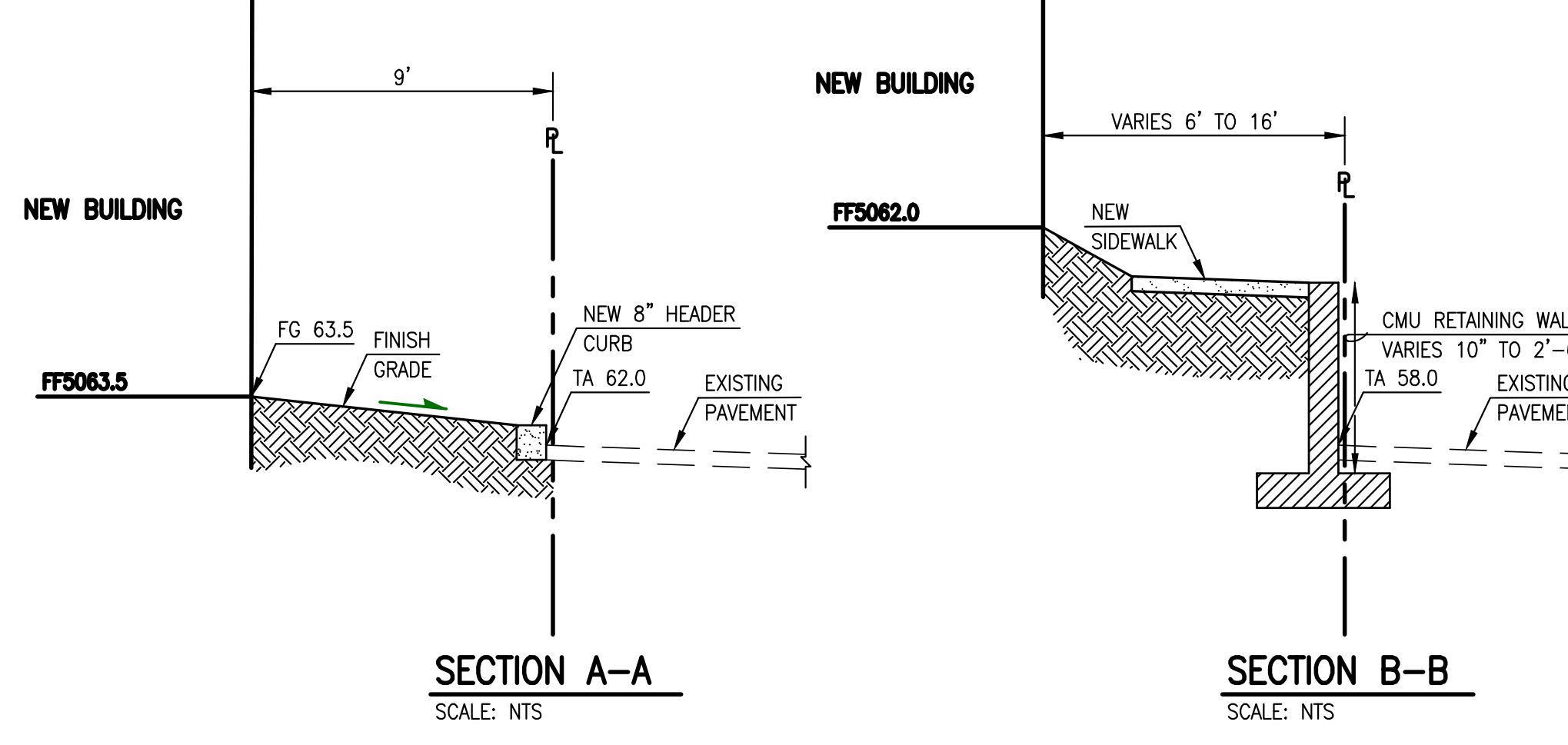
6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109  
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesagroup.com

**APWA UTILITY COLOR CODE**

- RED - ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES
- YELLOW - GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS
- ORANGE - COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT
- GREEN - COMMUNICATION, FIBER OPTIC LINES
- BLUE - POTABLE WATER
- W FRD - WATER FROM RECORD DWG
- SAS - SANITARY SEWER AND DRAIN LINES
- SAS FRD - SANITARY SEWER FROM RECORD DWG
- SD - STORM DRAIN LINES

**LEGEND:**

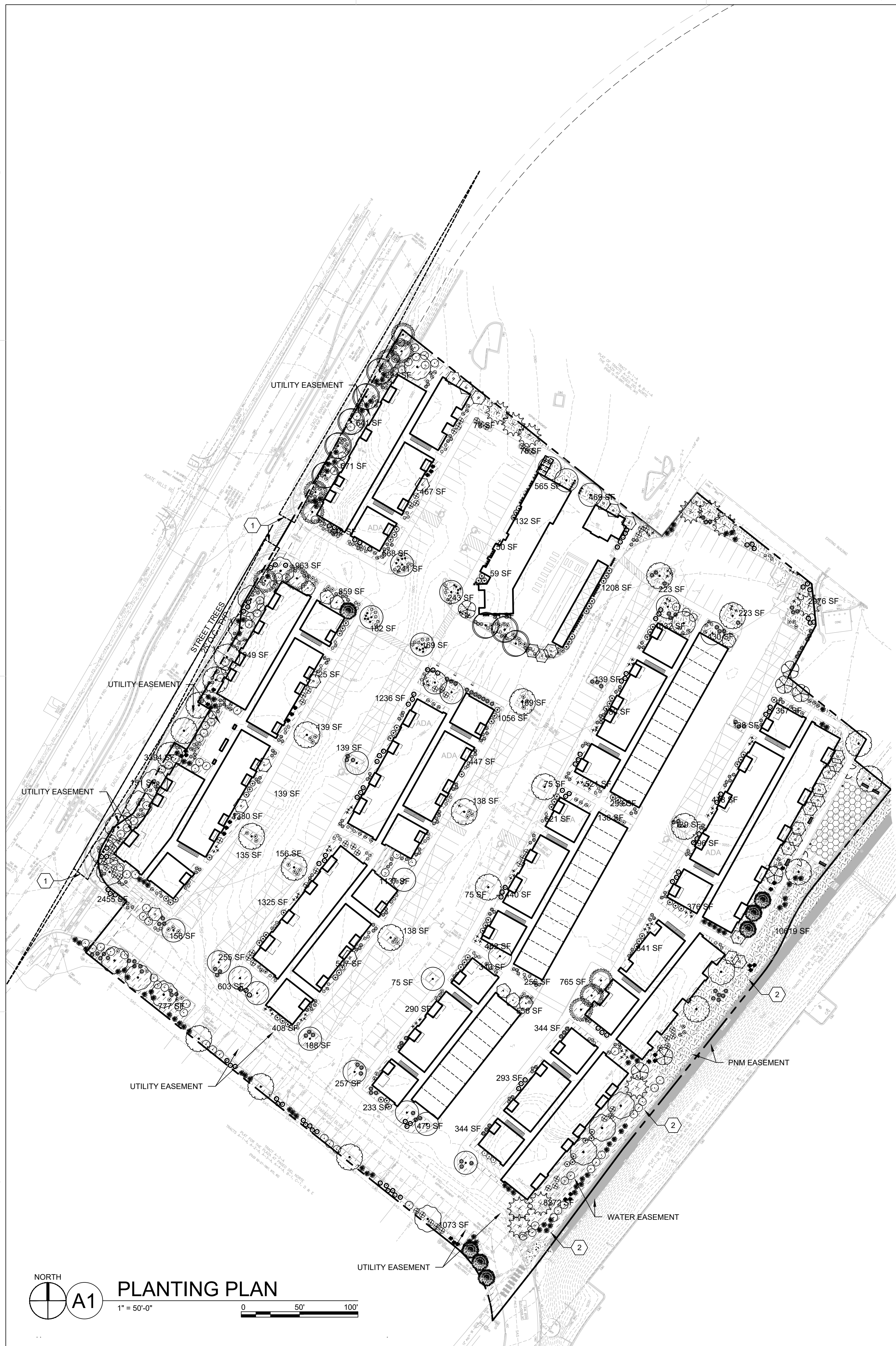
- SD - PROPOSED STORM DRAIN
- SD - EXISTING STORM DRAIN
- SD - PROPOSED MANHOLE
- SD - PROPOSED INLET
- SD - EXISTING CONTOUR
- 57.0 - PROPOSED ELEVATION
- SD - PROPOSED DIRECTION OF FLOW
- SD - EXISTING EASEMENT LINE
- SD - PROPOSED EASEMENT LINE
- SD - EXISTING BOUNDARY LINE
- SD - PROPOSED BOUNDARY LINE
- SD - PROPOSED RETAINING WALL
- SD - PROPOSED FLOW LINE











### PLANT SCHEDULE

| TREES         | BOTANICAL NAME                             | COMMON NAME                |
|---------------|--|----------------------------|
|               | ACER NEGUNDO 'SENSATION'                   | SENSATION BOX ELDER        |
|               | CERCOCARPUS MONTANUS                       | MOUNTAIN MAHOGANY          |
|               | CHILOPSIS LINEARIS 'BURGUNDY'              | DESERT WILLOW              |
|               | CUPRESSUS ARIZONICA 'BLUE ICE'             | BLUE ICE ARIZONA CYPRESS   |
|               | FORESTIERA NEOMEXICANA                     | NEW MEXICO OLIVE           |
|               | FRAXINUS PENNSYLVANICA 'URBANITE'          | URBANITE ASH               |
|               | KOELREUTERIA PANICULATA                    | GOLDEN RAIN TREE           |
|               | PINUS ELДАРICA                             | AFGHAN PINE                |
|               | ULMUS PROPINQUA 'EMERALD SUNSHINE'         | EMERALD SUNSHINE ELM       |
|               | VITEX AGNUS-CASTUS                         | CHASTE TREE                |
| SHRUBS        | BOTANICAL NAME                             | COMMON NAME                |
|               | BACCHARIS X 'STAR' TM                      | STAR THOMPSON COYOTE BRUSH |
|               | ERICAMERIA LARICIFOLIA 'AGUIRRE'           | TURPENTINE BUSH            |
|               | LAVANDULA X INTERMEDIA 'GROSSO'            | GROSSO LAVENDER            |
|               | LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY'    | LYNN'S LEGACY TEXAS SAGE   |
|               | RHUS TRILOBATA 'AUTUMN AMBER'              | PROSTRATE SUMAC            |
|               | ROSMARINUS OFFICINALIS 'ARP'               | ARP ROSEMARY               |
|               | SALVIA GREGGII 'ULTRA VIOLET'              | ULTRA VIOLET AUTUMN SAGE   |
| GRASSES       | BOTANICAL NAME                             | COMMON NAME                |
|               | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' | 'KARL FOERSTER' GRASS      |
|               | MUHLENBERGIA EMERSLEYI EL TORO             | EL TORO MUHLY GRASS        |
|               | MUHLENBERGIA RIGENS                        | DEER GRASS                 |
| DESERT ACCENT | BOTANICAL NAME                             | COMMON NAME                |
|               | EPHEDRA Equisetina                         | BLUESTEM EPHEDRA           |
|               | HESPERALOE PARVIFLORA                      | RED YUCCA                  |
|               | NOLINA MICROCARPA                          | BEARGRASS                  |
|               | YUCCA RUPICOLA                             | TWISTED LEAF YUCCA         |

### GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY MAINTENANCE PERIOD. FOLLOWING SUBstantial COMPLETION, THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND/OR MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIPLINE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 5-6-1 OF THE IDO.
- AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- NO EXISTING PLANT MATERIAL IS TO BE PRESERVED ON THE PROPERTY. ALL PLANT MATERIALS ILLUSTRATED ARE NEW.

### IRRIGATION NOTES

- PLANTS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING, AND LOADING AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED BY THE OWNER ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.

### LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 7.12 AC = 310,147 SF  
 AREA OF LOT COVERED BY BUILDINGS = 91,826 SF  
 NET LOT AREA = 218,321 SF

REQUIRED LANDSCAPE  
 REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 32,749 SF  
 PROVIDED LANDSCAPE AREA = 64,215 SF = 29%

REQUIRED TREES  
 TOTAL NUMBER OF PARKING SPACES = 304 SPACES  
 REQUIRED PARKING LOT TREES (1 TREE PER 10 SPACES) = 31 TREES  
 PROVIDED NUMBER OF PARKING LOT TREES = 34 TREES  
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = 21 placed at 25' on center (53% of street frontage)  
 PROVIDED STREET TREES = 23

REQUIRED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 135 TREES  
 1 TREE PER GROUND FLOOR DWELLING UNIT (57) AND 1 TREE PER SECOND-STORY UNIT (78)  
 PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 137 TREES

REQUIRED VEGETATIVE COVERAGE  
 REQUIRED GROUND COVERAGE = 47,535 SF = 75% OF PROVIDED LANDSCAPE AREA  
 A MINIMUM 25% OF REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS  
 PROVIDED TOTAL GROUND COVERAGE = 76,966 SF  
 TREE CANOPY COVERAGE = 57,648 SF  
 GROUND PLANT COVERAGE = 13,207 SF = 27% OF REQUIRED VEGETATIVE COVERAGE

PARKING LOT AREA = 194,500 SF  
 PARKING LOT LANDSCAPING PROVIDED = 29,175 SF = 15%  
 MIN. 15% OF PARKING LOT AREA TO BE LANDSCAPED

GROUND COVER MATERIAL  
 TOTAL ROCK MULCH GROUND COVER = 43,736 SF = 68%  
 TOTAL ORGANIC MULCH GROUND COVER = 20,479 SF = 32%  
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-6(C)(5)(d)

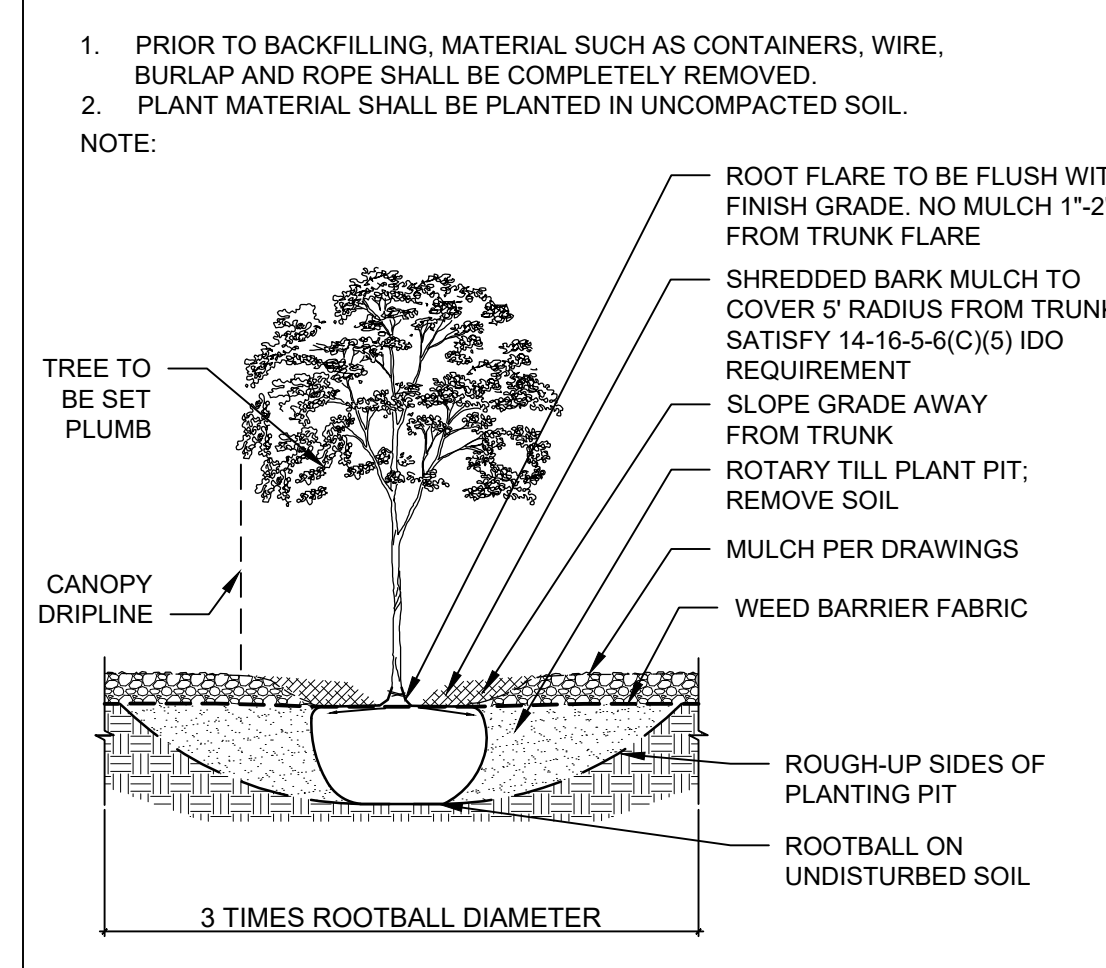
### SHEET KEYED NOTES

| CODE | DESCRIPTION  |
|------|--|
| 1    | CLEAR SIGHT TRIANGLE; LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. |
| 2    | 5'-0" CLEAR AREA TO BE PROVIDED BETWEEN TRAIL AND PLANT MATERIAL.  |

### LEGEND

| SYMBOL | NOTES  | EST QTY   |
|--------|--|-----------|
|        | 3/4" Ø ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC | 43,736 SF |
|        | 4" DEPTH SHREDDED BARK MULCH OVER FILTER FABRIC        | 20,479 SF |
|        | ARTIFICIAL TURF  | 1,835 SF  |
|        | PROPERTY LINE  |           |

### TREE PLANTING DETAIL



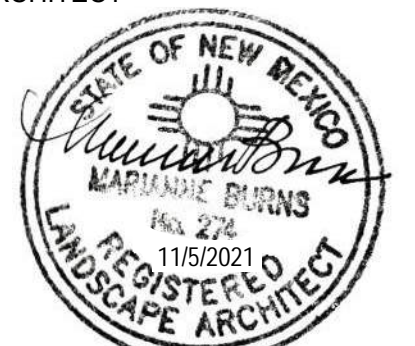
NORTH  
**A1**  
 1" = 50'-0"  
 0 50' 100'

### PLANTING PLAN

**DEKKER  
 PERICH  
 SABATINI**

ARCHITECTURE  
 DESIGN  
 INSPIRATION

ARCHITECT

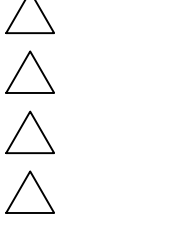


ENGINEER

PROJECT

**SEDONA WEST**  
 EAGLE RANCH ROAD  
 ALBUQUERQUE, NM 87114

REVISIONS



DRAWN BY

REVIEWED BY

DATE 10/29/2021

PROJECT NO. 20-0286

DRAWING NAME

**PLANTING PLAN**

SHEET NO.

**SDP2.1**  
 OF



**GENERAL SHEET NOTES**

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.
- E. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.

**SHEET KEYNOTES**

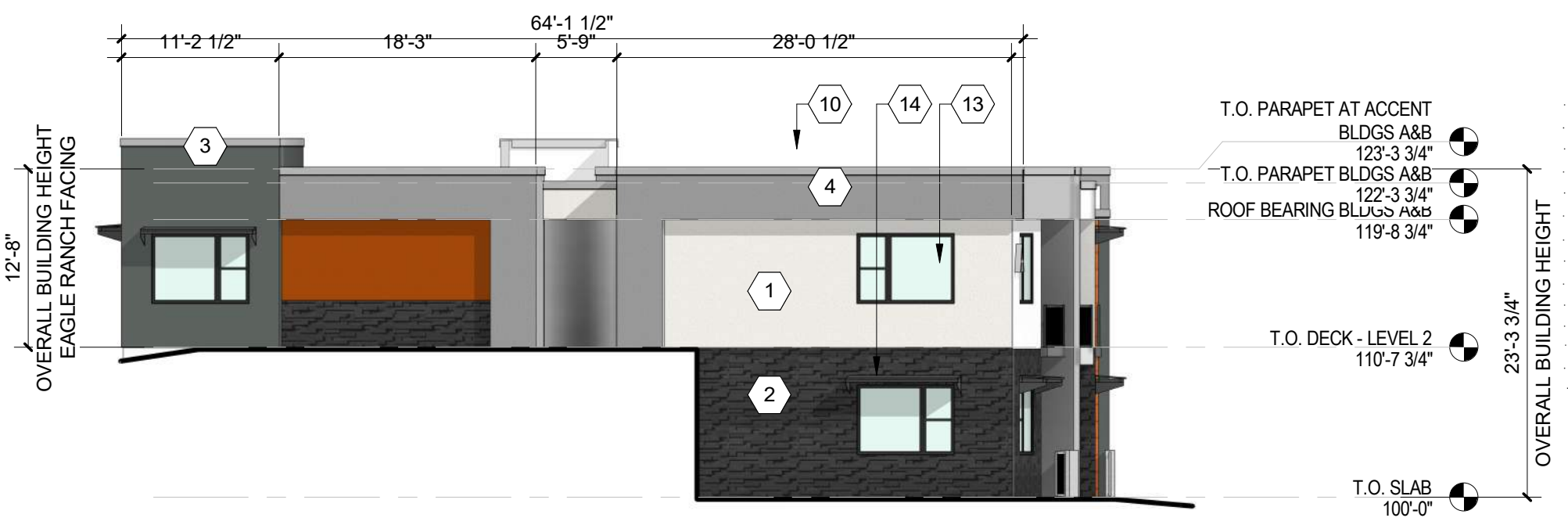
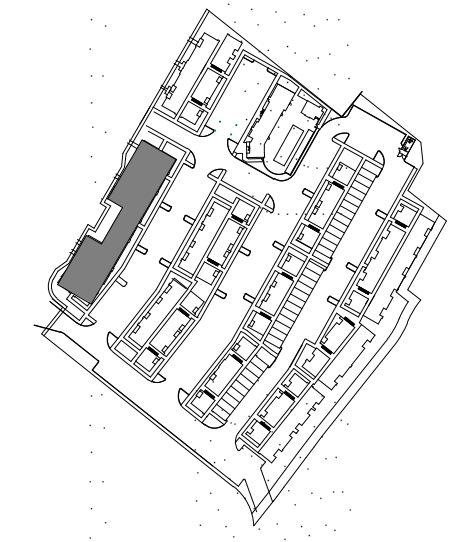
- 1. FIELD COLOR - NEUTRAL WARM WHITE - STUCCO FINISH MATERIAL
- 2. ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER
- 3. ACCENT COLOR/MATERIAL #2 - DARK GRAY - ACCENT PANELIZED FIBER CEMENT BOARD
- 4. ACCENT COLOR #3 - LIGHT GRAY - ACCENT STUCCO FINISH
- 5. ACCENT COLOR #4 - RUST TONE - ACCENT STUCCO FINISH
- 6. ACCENT COLOR #5- BLUE TONE - ACCENT STUCCO FINISH
- 7. NOT USED
- 8. ACCENT COLOR #7 - YELLOW TONE - ACCENT STUCCO FINISH
- 9. FIBER CEMENT BOARD FACIA - TO MATCH MASONRY VENEER
- 10. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR

- 11. GUARDRAIL - METAL CUSTOM FABRICATED
- 12. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING
- 13. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS) - FRAME COLOR: BLACK
- 14. WINDOW AWNING - METAL CUSTOM FABRICATED
- 15. PATIO WALL - CMU
- 16. GARAGE OVERHEAD DOOR
- 17. METAL UNIT ENTRY DOOR
- 18. METAL PATIO GATE
- 19. STEEL COLUMN PAINTED
- 20. STEEL DOWNSPOUT
- 21. EXTERIOR STEEL STAIR
- 22. PATIO DOOR WITH LIGHT
- 23. ALUMINUM STOREFRONT

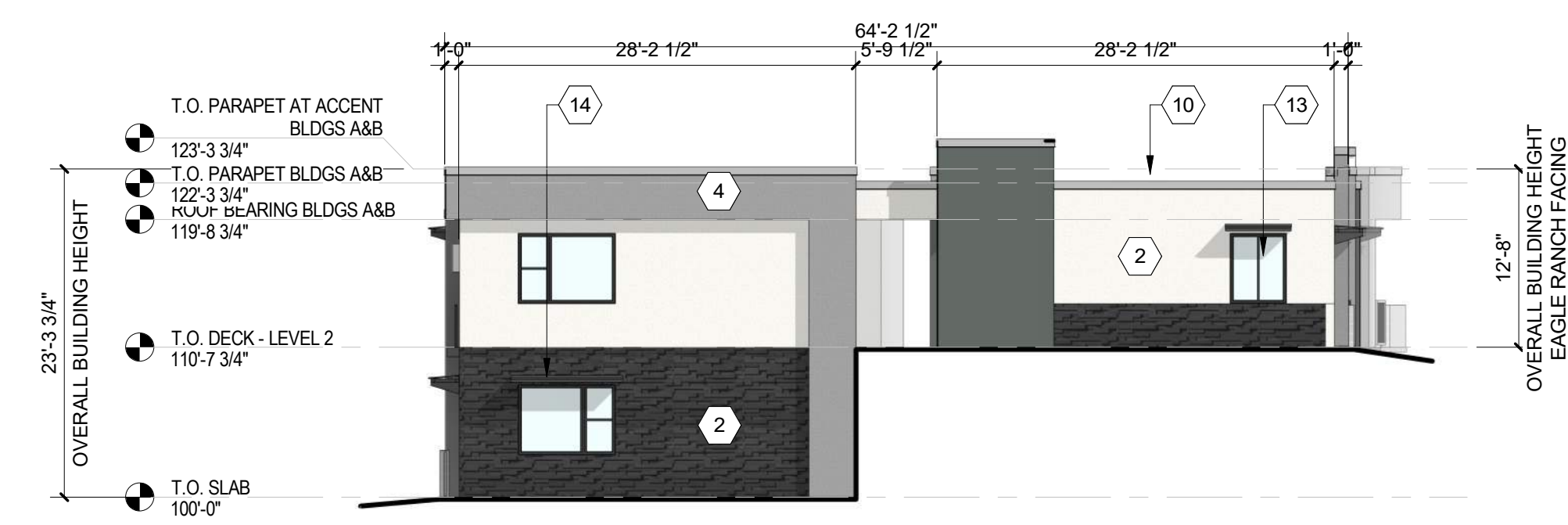
**LEGEND**

|  |  |  |   |
|--|--|--|---|
|  | FIELD COLOR - NEUTRAL WARM WHITE STUCCO FINISH                           |  | ACCENT COLOR #6 - BURNT ORANGE ACCENT STUCCO FINISH |
|  | ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER                           |  | ACCENT COLOR #4 - RUST ACCENT STUCCO FINISH         |
|  | ACCENT COLOR/MATERIAL #2 - DARK GRAY ACCENT PANELIZED FIBER CEMENT BOARD |  | ACCENT COLOR #5 - DUSTY BLUE ACCENT STUCCO FINISH   |
|  | ACCENT COLOR #3 - LIGHT GRAY ACCENT STUCCO FINISH                        |  |   |

**KEY PLAN**



**C1 BUILDING A - SOUTH ELEVATION**  
3/32" = 1'-0"

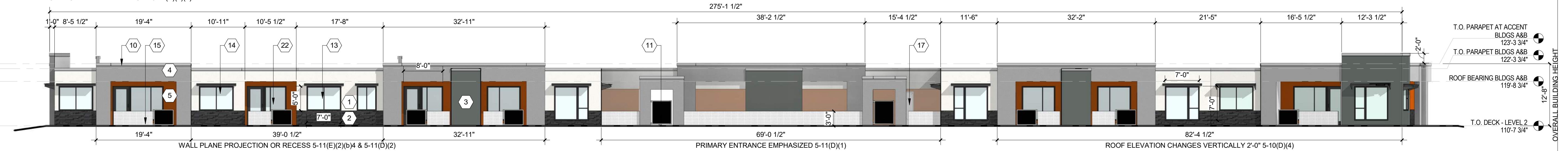


**C4 BUILDING A - NORTH ELEVATION**  
3/32" = 1'-0"

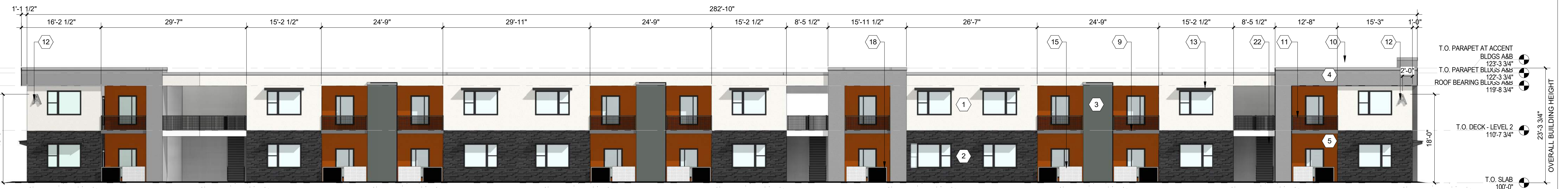
COMPLIANCE WITH SECTION 5-7(D):  
CMU WALLS 3'-0" IN HEIGHT 5-7(D)(1)

COMPLIANCE WITH SECTION 5-11(D):  
PRIMARY BUILDING ENTRANCE COMPLIES WITH 5-11(D)(1)  
RECESSED WINDOWS 2" WITH 2" CASING 5-11(D)(3)

COMPLIANCE WITH SECTION 5-11(E)(2):  
PROVIDE WINDOWS ON UPPER FLOORS 5-11(E)(2)(a&b)2&3  
PROVIDE AWNINGS OVER WINDOWS 5-11(E)(2)(a&b)2&3  
CHANGE IN COLOR EVERY 50 FT 5-11(E)(2)(a)3  
RECESSED WINDOWS 2" AT UPPER FLOORS 5-11(E)(2)(b)1  
GROUND FLOOR STREET-FACING FACADE CONTAINS MINIMUM OF 30 PERCENT TRANSPARENT WINDOWS/DOORS 5-11(E)(2)(b)2  
CHANGE IN COLOR EVERY 25 FT 5-11(E)(2)(b)4  
CHANGE IN PARAPET HEIGHT 5-11(E)(2)(b)4



**B1 BUILDING A - WEST ELEVATION (STREET-FACING FACADE)**  
3/32" = 1'-0"



**A1 BUILDING A - EAST ELEVATION**  
3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION



SEDONA WEST  
EAGLE RANCH ROAD  
ALBUQUERQUE, NM 87114

DESIGN REVIEW BOARD (DRB)  
MINOR SITE PLAN  
AMENDMENT

- REVISIONS
- △
  - △
  - △
  - △
  - △
  - △

DRAWN BY: VM, AG  
REVIEWED BY: HFG  
DATE: 10/12/2021  
PROJECT NO: 20-0286

DRAWING NAME  
**EXTERIOR ELEVATIONS - BUILDING A**

SHEET NO  
**SDP5.1**



**GENERAL SHEET NOTES**

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.
- E. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.

**SHEET KEYNOTES**

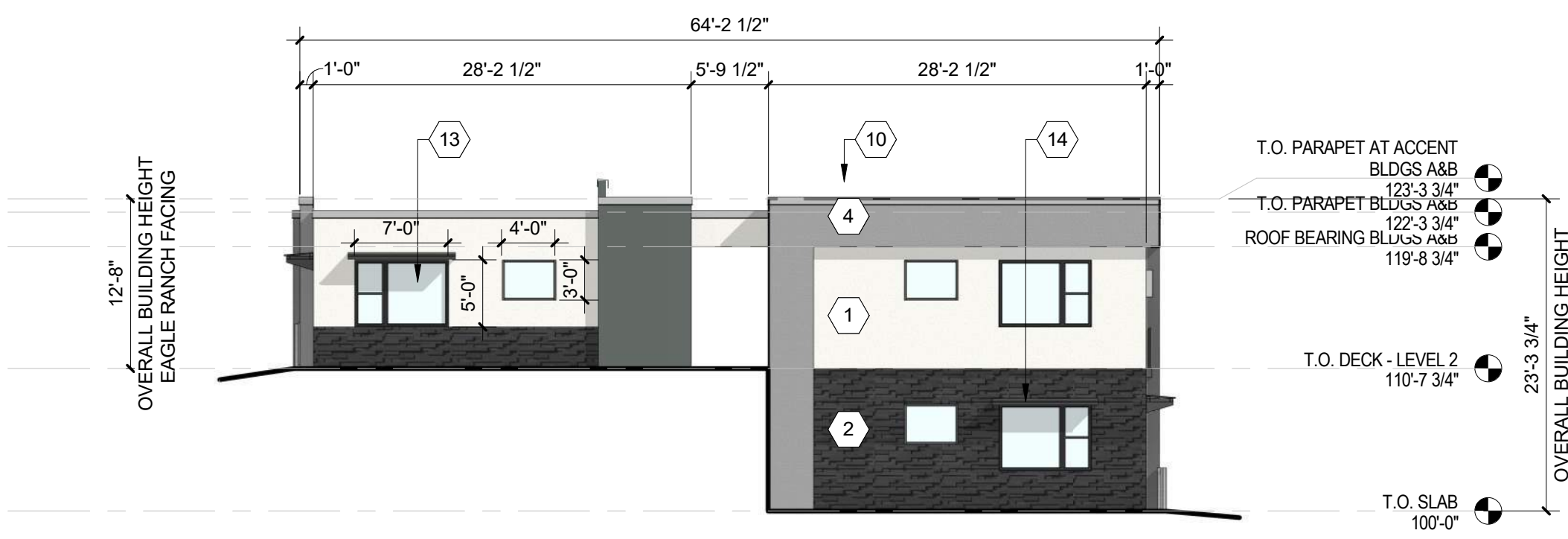
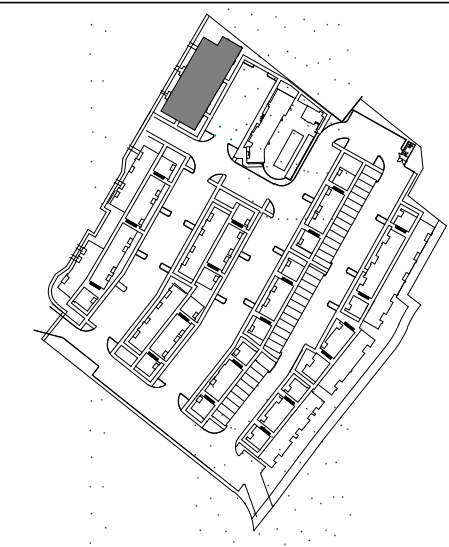
- 1. FIELD COLOR - NEUTRAL WARM WHITE - STUCCO FINISH MATERIAL
- 2. ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER
- 3. ACCENT COLOR/MATERIAL #2 - DARK GRAY - ACCENT PANELIZED FIBER CEMENT BOARD
- 4. ACCENT COLOR #3 - LIGHT GRAY - ACCENT STUCCO FINISH
- 5. ACCENT COLOR #4 - RUST TONE - ACCENT STUCCO FINISH
- 6. ACCENT COLOR #5 - BLUE TONE - ACCENT STUCCO FINISH
- 7. NOT USED
- 8. ACCENT COLOR #7 - YELLOW TONE - ACCENT STUCCO FINISH
- 9. FIBER CEMENT BOARD FACIA - TO MATCH MASONRY VENEER
- 10. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR

- 11. GUARDRAIL - METAL CUSTOM FABRICATED
- 12. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING
- 13. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS) - FRAME COLOR: BLACK
- 14. WINDOW AWNING - METAL CUSTOM FABRICATED
- 15. PATIO WALL - CMU
- 16. GARAGE OVERHEAD DOOR
- 17. METAL UNIT ENTRY DOOR
- 18. METAL PATIO GATE
- 19. STEEL COLUMN PAINTED
- 20. STEEL DOWNSPOUT
- 21. EXTERIOR STEEL STAIR
- 22. PATIO DOOR WITH LIGHT
- 23. ALUMINUM STOREFRONT

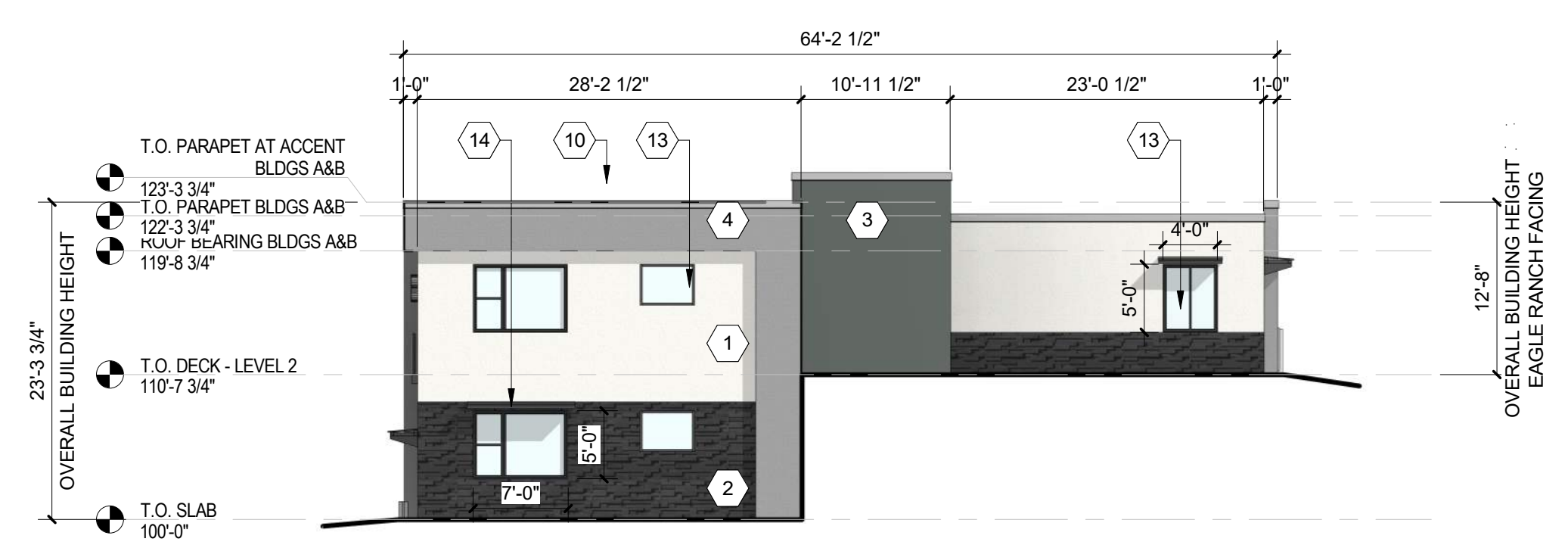
**LEGEND**

|  |  |  |   |
|--|--|--|---|
|  | FIELD COLOR - NEUTRAL WARM WHITE STUCCO FINISH                           |  | ACCENT COLOR #6 - BURNT ORANGE ACCENT STUCCO FINISH |
|  | ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER                           |  | ACCENT COLOR #4 - RUST ACCENT STUCCO FINISH         |
|  | ACCENT COLOR/MATERIAL #2 - DARK GRAY ACCENT PANELIZED FIBER CEMENT BOARD |  | ACCENT COLOR #5 - DUSTY BLUE ACCENT STUCCO FINISH   |
|  | ACCENT COLOR #3 - LIGHT GRAY ACCENT STUCCO FINISH                        |  |   |

**KEY PLAN**



**C1 BUILDING B - SOUTH ELEVATION**  
3/32" = 1'-0"

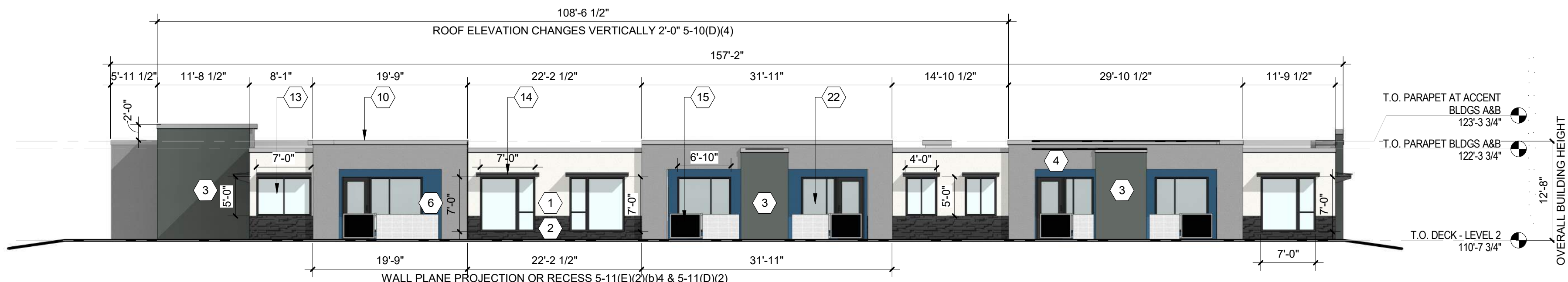


**C4 BUILDING B - NORTH ELEVATION**  
3/32" = 1'-0"

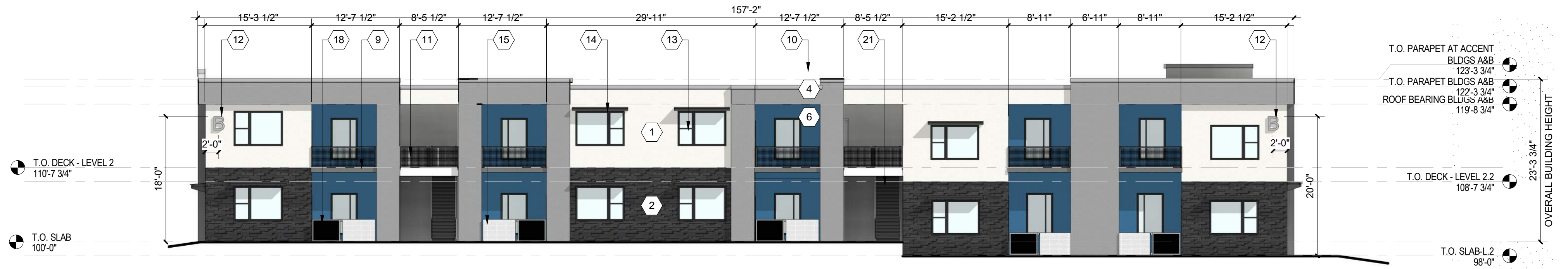
COMPLIANCE WITH SECTION 5-7(D):  
CMU WALLS 3'-0" IN HEIGHT 5-7(D)(1)

COMPLIANCE WITH SECTION 5-11(D):  
PRIMARY BUILDING ENTRANCES COMPLY WITH 5-11(D)(1)  
RECESSED WINDOWS 2" WITH 2" CASING 5-11(D)(3)

COMPLIANCE WITH SECTION 5-11(E)(2):  
PROVIDE WINDOWS ON UPPER FLOORS 5-11(E)(2)(a&b)2&3  
PROVIDE AWNINGS OVER WINDOWS 5-11(E)(2)(a&b)2&3  
CHANGE IN COLOR EVERY 50 FT 5-11(E)(2)(a)3  
RECESSED WINDOWS 2" AT UPPER FLOORS 5-11(E)(2)(b)1  
GROUND FLOOR STREET-FACING FACADE CONTAINS MINIMUM OF 30 PERCENT TRANSPARENT WINDOWS/DOORS 5-11(E)(2)(b) 2  
CHANGE IN COLOR EVERY 25 FT 5-11(E)(2)(b)4  
CHANGE IN PARAPET HEIGHT 5-11(E)(2)(b)4



**B2 BUILDING B - WEST ELEVATION (STREET-FACING FACADE)**  
3/32" = 1'-0"



**A2 BUILDING B - EAST ELEVATION**  
3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION



SEDONA WEST  
EAGLE RANCH ROAD  
ALBUQUERQUE, NM 87114

DESIGN REVIEW  
BOARD (DRB)  
MINOR SITE PLAN  
AMENDMENT

- REVISIONS
- △
  - △
  - △
  - △
  - △
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DRAWN BY: VM, AG  
REVIEWED BY: HFG  
DATE: 10/12/2021  
PROJECT NO: 20-0286

DRAWING NAME  
**EXTERIOR  
ELEVATIONS -  
BUILDING B**

SHEET NO  
**SDP5.2**



**GENERAL SHEET NOTES**

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.
- E. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.

**SHEET KEYNOTES**

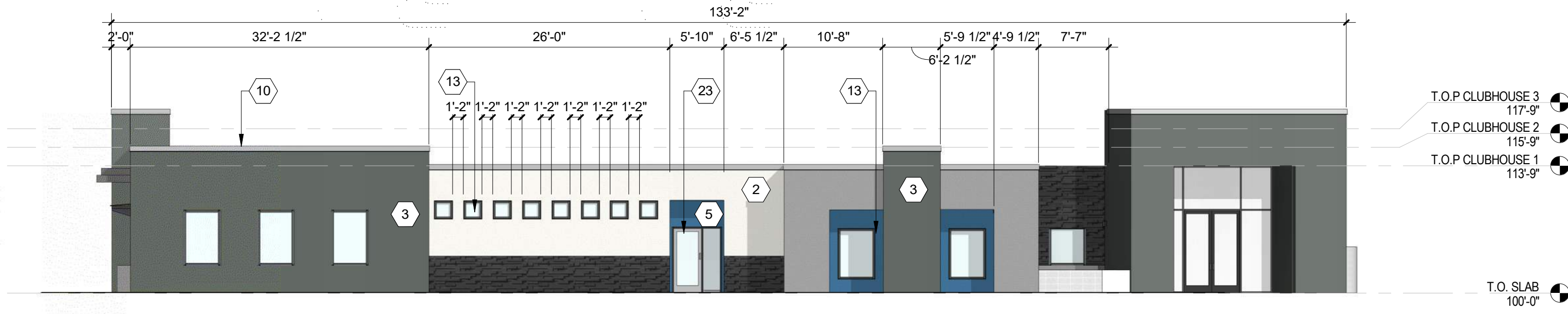
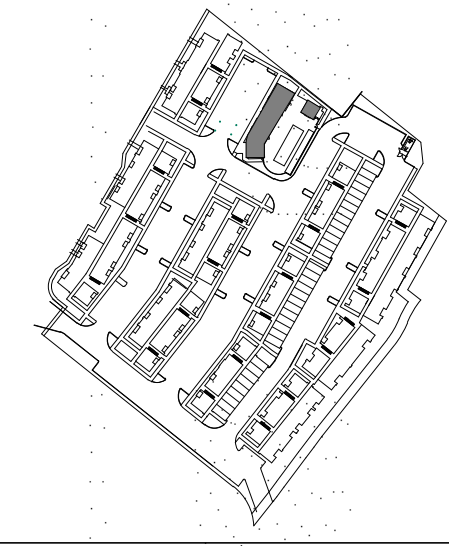
- 1. FIELD COLOR - NEUTRAL WARM WHITE - STUCCO FINISH MATERIAL
- 2. ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER
- 3. ACCENT COLOR/MATERIAL #2 - DARK GRAY - ACCENT PANELIZED FIBER CEMENT BOARD
- 4. ACCENT COLOR #3 - LIGHT GRAY - ACCENT STUCCO FINISH
- 5. ACCENT COLOR #4 - RUST TONE - ACCENT STUCCO FINISH
- 6. ACCENT COLOR #5 - BLUE TONE - ACCENT STUCCO FINISH
- 7. NOT USED
- 8. ACCENT COLOR #7 - YELLOW TONE - ACCENT STUCCO FINISH
- 9. FIBER CEMENT BOARD FACIA - TO MATCH MASONRY VENEER
- 10. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR

- 11. GUARDRAIL - METAL CUSTOM FABRICATED
- 12. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING
- 13. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS) - FRAME COLOR: BLACK
- 14. WINDOW AWNING - METAL CUSTOM FABRICATED
- 15. PATIO WALL - CMU
- 16. GARAGE OVERHEAD DOOR
- 17. METAL UNIT ENTRY DOOR
- 18. METAL PATIO GATE
- 19. STEEL COLUMN PAINTED
- 20. STEEL DOWNSPOUT
- 21. EXTERIOR STEEL STAIR
- 22. PATIO DOOR WITH LIGHT
- 23. ALUMINUM STOREFRONT

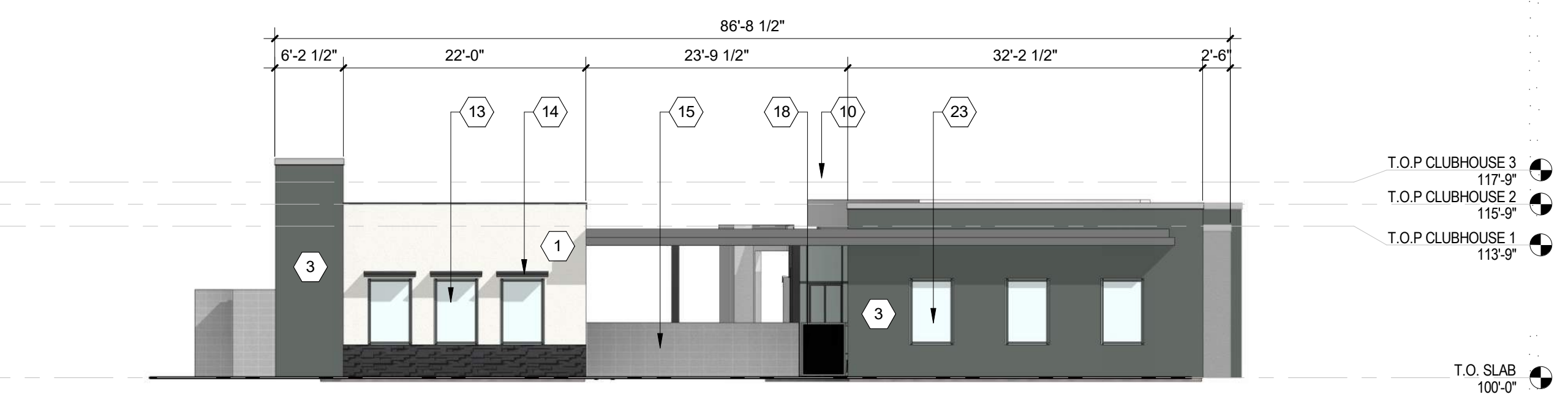
**LEGEND**

|  |  |  |   |
|--|--|--|---|
|  | FIELD COLOR - NEUTRAL WARM WHITE STUCCO FINISH                           |  | ACCENT COLOR #6 - BURNT ORANGE ACCENT STUCCO FINISH |
|  | ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER                           |  | ACCENT COLOR #4 - RUST ACCENT STUCCO FINISH         |
|  | ACCENT COLOR/MATERIAL #2 - DARK GRAY ACCENT PANELIZED FIBER CEMENT BOARD |  | ACCENT COLOR #5 - DUSTY BLUE ACCENT STUCCO FINISH   |
|  | ACCENT COLOR #3 - LIGHT GRAY ACCENT STUCCO FINISH                        |  |   |

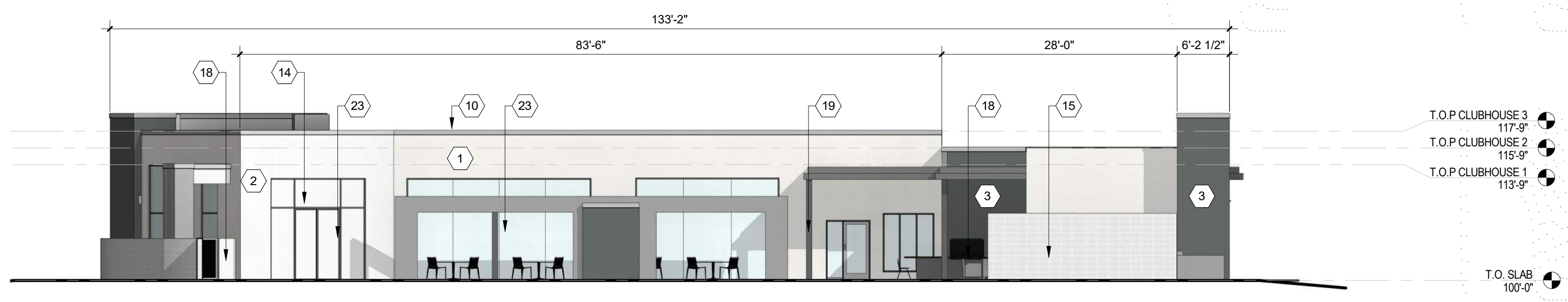
**KEY PLAN**



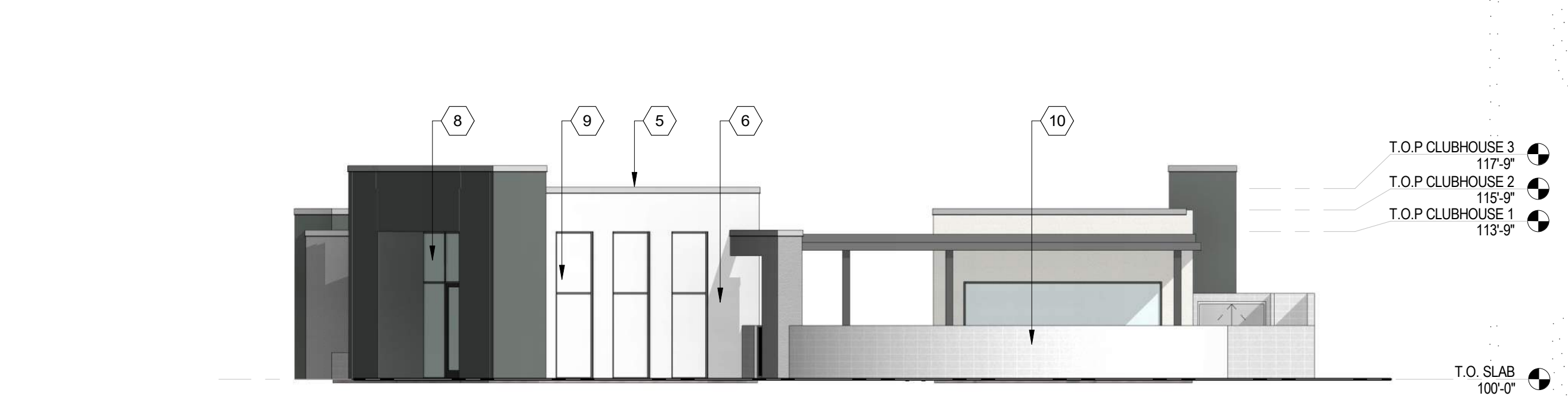
**B2 CLUBHOUSE - NORTH ELEVATION**  
3/32" = 1'-0"



**C4 CLUBHOUSE - EAST ELEVATION**  
3/32" = 1'-0"



**A2 CLUBHOUSE - WEST ELEVATION**  
3/32" = 1'-0"



**1 BLDG C WEST ELEVATION-DRB**  
3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION



SEDONA WEST  
EAGLE RANCH ROAD  
ALBUQUERQUE, NM 87114

DESIGN REVIEW  
BOARD (DRB)  
MINOR SITE PLAN  
AMENDMENT

- REVISIONS
- △
  - △
  - △
  - △
  - △
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|-------------|------------|
| DRAWN BY    | Author     |
| REVIEWED BY | Approver   |
| DATE        | 10/12/2021 |
| PROJECT NO: | 20-0286    |

DRAWING NAME  
**EXTERIOR  
ELEVATIONS -  
CLUBHOUSE**

SHEET NO  
**SDP5.3**



**GENERAL SHEET NOTES**

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.
- E. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.

**SHEET KEYNOTES**

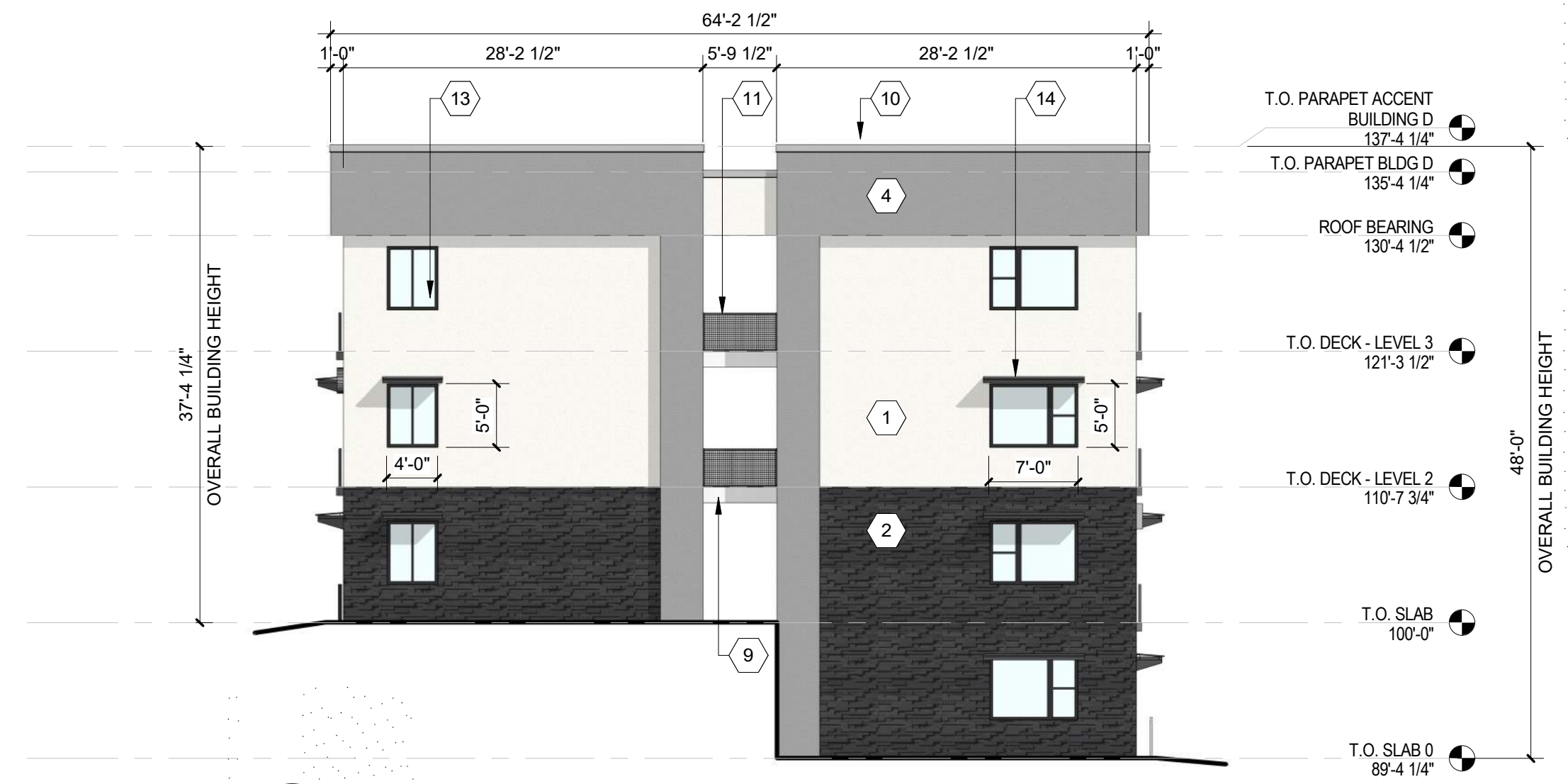
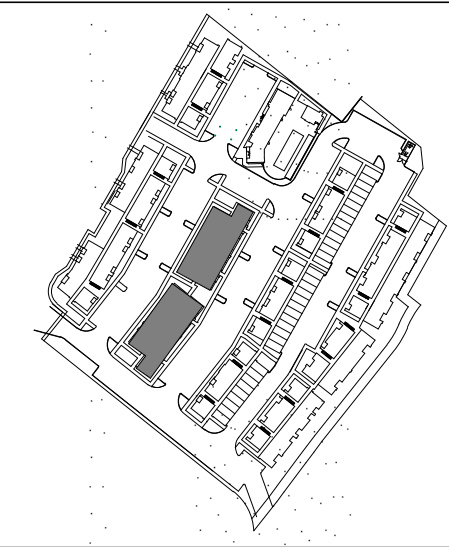
- 1. FIELD COLOR - NEUTRAL WARM WHITE - STUCCO FINISH MATERIAL
- 2. ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER
- 3. ACCENT COLOR/MATERIAL #2 - DARK GRAY - ACCENT PANELIZED FIBER CEMENT BOARD
- 4. ACCENT COLOR #3 - LIGHT GRAY - ACCENT STUCCO FINISH
- 5. ACCENT COLOR #4 - RUST TONE - ACCENT STUCCO FINISH
- 6. ACCENT COLOR #5- BLUE TONE - ACCENT STUCCO FINISH
- 7. NOT USED
- 8. ACCENT COLOR #7 - YELLOW TONE - ACCENT STUCCO FINISH
- 9. FIBER CEMENT BOARD FACIA - TO MATCH MASONRY VENEER
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- 11. GUARDRAIL - METAL CUSTOM FABRICATED
- 12. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING
- 13. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS) - FRAME COLOR: BLACK
- 14. WINDOW AWNING - METAL CUSTOM FABRICATED
- 15. PATIO WALL - CMU
- 16. GARAGE OVERHEAD DOOR
- 17. METAL UNIT ENTRY DOOR
- 18. METAL PATIO GATE
- 19. STEEL COLUMN PAINTED
- 20. STEEL DOWNSPOUT
- 21. EXTERIOR STEEL STAIR
- 22. PATIO DOOR WITH LIGHT
- 23. ALUMINUM STOREFRONT

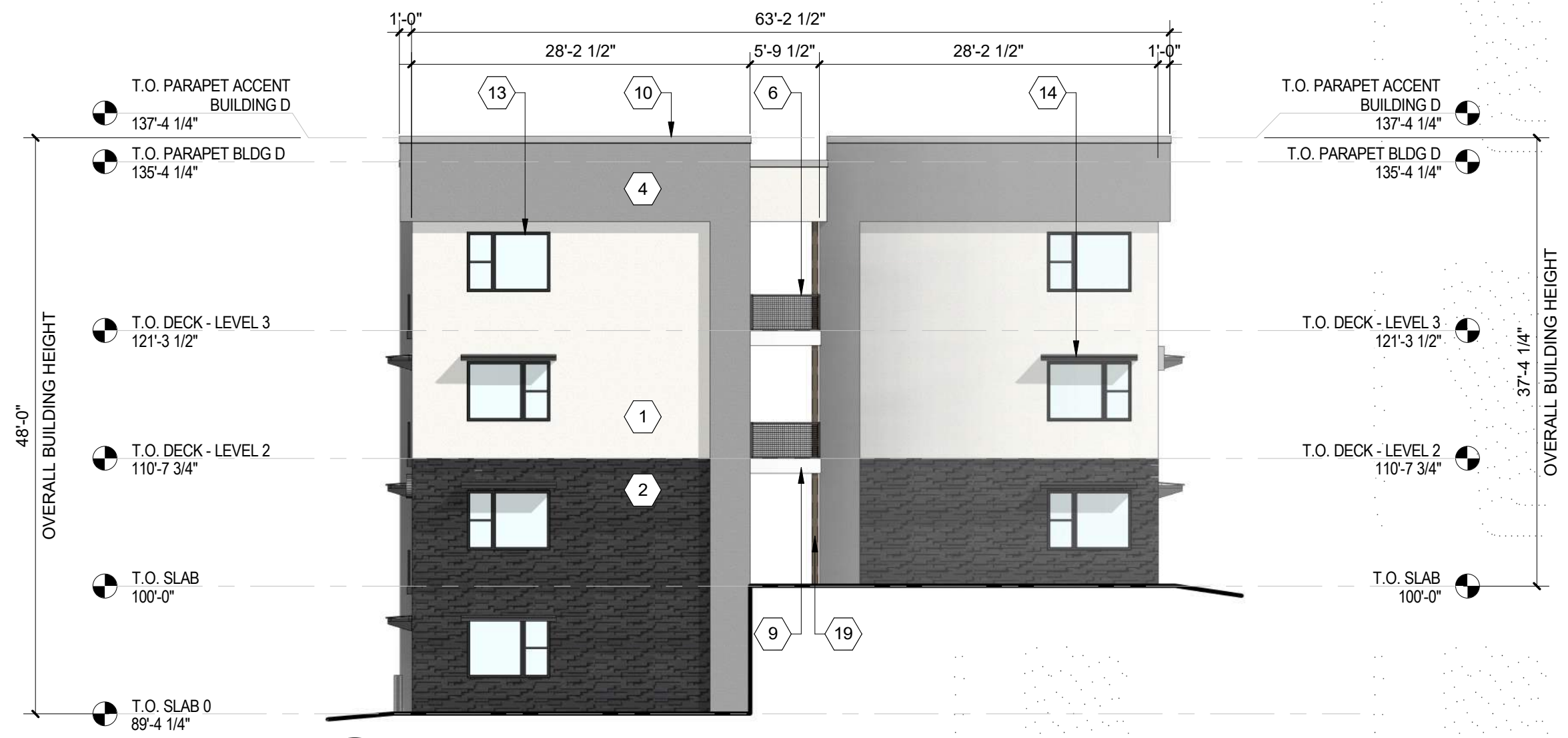
**LEGEND**

|  |  |  |   |
|--|--|--|---|
|  | FIELD COLOR - NEUTRAL WARM WHITE STUCCO FINISH                           |  | ACCENT COLOR #6 - BURNT ORANGE ACCENT STUCCO FINISH |
|  | ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER                           |  | ACCENT COLOR #4 - RUST ACCENT STUCCO FINISH         |
|  | ACCENT COLOR/MATERIAL #2 - DARK GRAY ACCENT PANELIZED FIBER CEMENT BOARD |  | ACCENT COLOR #5 - DUSTY BLUE ACCENT STUCCO FINISH   |
|  | ACCENT COLOR #3 - LIGHT GRAY ACCENT STUCCO FINISH                        |  |   |

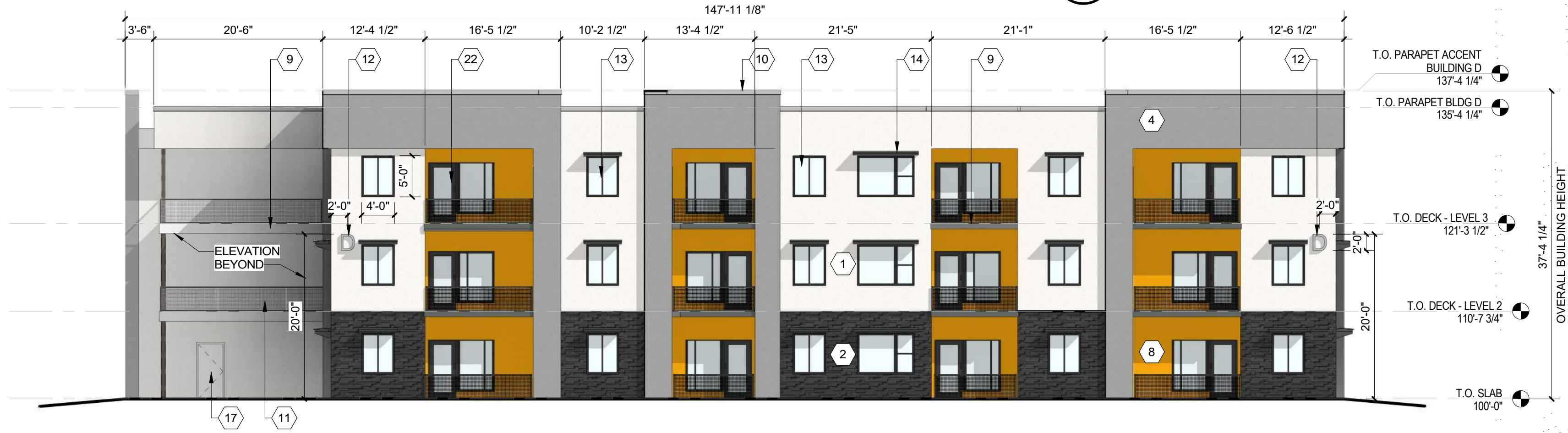
**KEY PLAN**



**C1** BUILDING D - SOUTH ELEVATION  
3/32" = 1'-0"



**C4** BUILDING D - SOUTH ELEVATION  
3/32" = 1'-0"



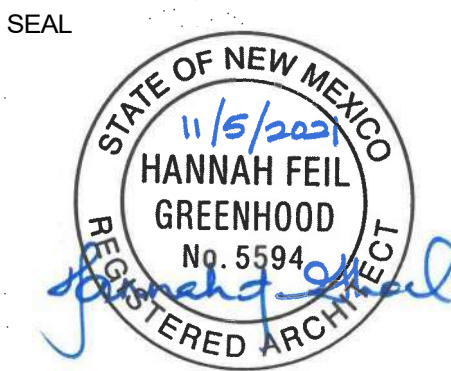
**B2** BUILDING D - WEST ELEVATION  
3/32" = 1'-0"



**A2** BUILDING D - EAST ELEVATION  
3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION



SEDONA WEST  
EAGLE RANCH ROAD  
ALBUQUERQUE, NM 87114

DESIGN REVIEW  
BOARD (DRB)  
MINOR SITE PLAN  
AMENDMENT

- REVISIONS
- △
  - △
  - △
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  - △

DRAWN BY: VM, AG  
REVIEWED BY: HFG  
DATE: 10/12/2021  
PROJECT NO: 20-0286

DRAWING NAME  
EXTERIOR  
ELEVATIONS -  
BUILDING D

SHEET NO  
**SDP5.4**



**GENERAL SHEET NOTES**

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.
- E. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.

**SHEET KEYNOTES**

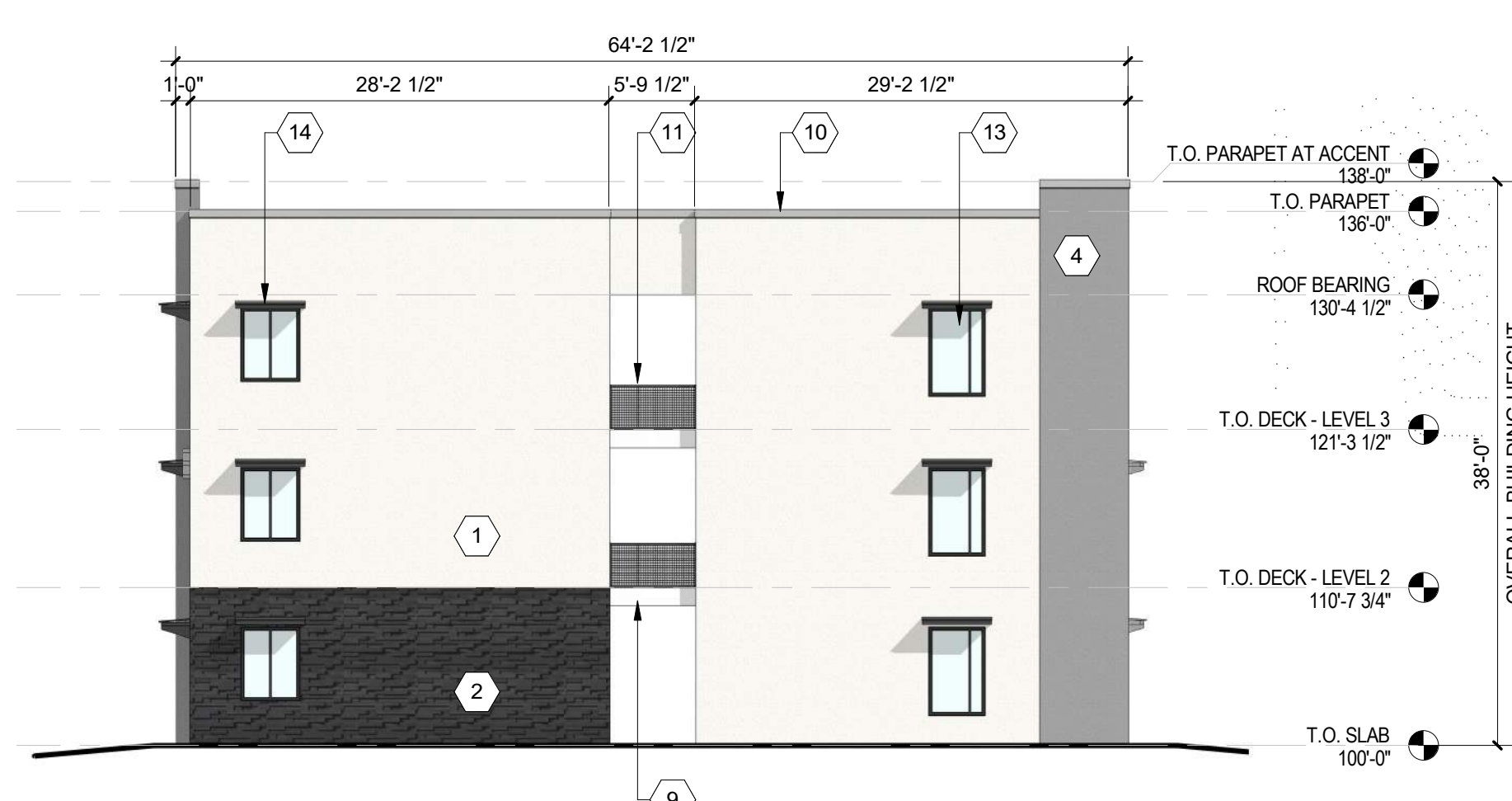
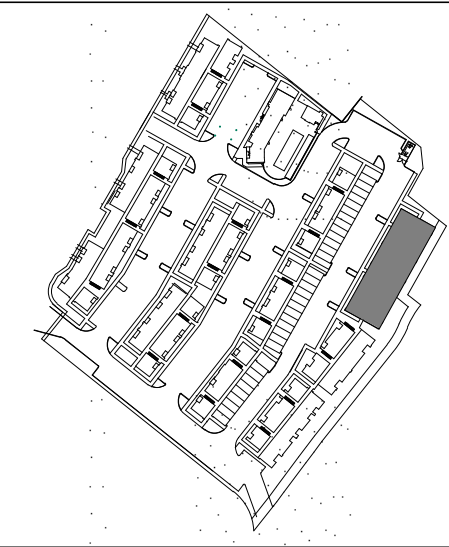
- 1. FIELD COLOR - NEUTRAL WARM WHITE - STUCCO FINISH MATERIAL
- 2. ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER
- 3. ACCENT COLOR/MATERIAL #2 - DARK GRAY - ACCENT PANELIZED FIBER CEMENT BOARD
- 4. ACCENT COLOR #3 - LIGHT GRAY - ACCENT STUCCO FINISH
- 5. ACCENT COLOR #4 - RUST TONE - ACCENT STUCCO FINISH
- 6. ACCENT COLOR #5 - BLUE TONE - ACCENT STUCCO FINISH
- 7. NOT USED
- 8. ACCENT COLOR #7 - YELLOW TONE - ACCENT STUCCO FINISH
- 9. FIBER CEMENT BOARD FACIA - TO MATCH MASONRY VENEER
- 10. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR

- 11. GUARDRAIL - METAL CUSTOM FABRICATED
- 12. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING
- 13. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS) - FRAME COLOR: BLACK
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- 20. STEEL DOWNSPOUT
- 21. EXTERIOR STEEL STAIR
- 22. PATIO DOOR WITH LIGHT
- 23. ALUMINUM STOREFRONT

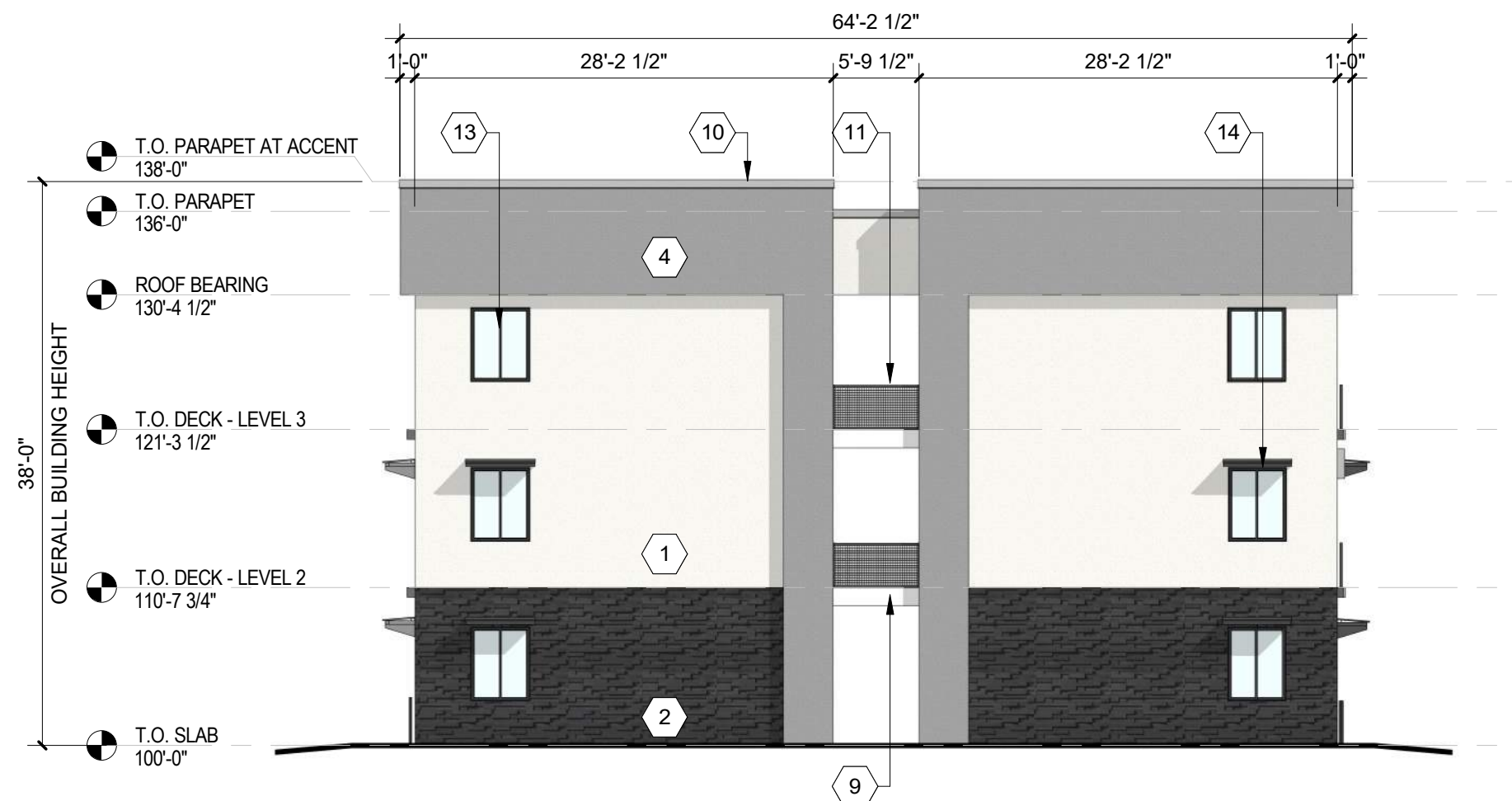
**LEGEND**

|  |  |  |   |
|--|--|--|---|
|  | FIELD COLOR - NEUTRAL WARM WHITE STUCCO FINISH                           |  | ACCENT COLOR #6 - BURNT ORANGE ACCENT STUCCO FINISH |
|  | ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER                           |  | ACCENT COLOR #4 - RUST ACCENT STUCCO FINISH         |
|  | ACCENT COLOR/MATERIAL #2 - DARK GRAY ACCENT PANELIZED FIBER CEMENT BOARD |  | ACCENT COLOR #5 - DUSTY BLUE ACCENT STUCCO FINISH   |
|  | ACCENT COLOR #3 - LIGHT GRAY ACCENT STUCCO FINISH                        |  |   |

**KEY PLAN**



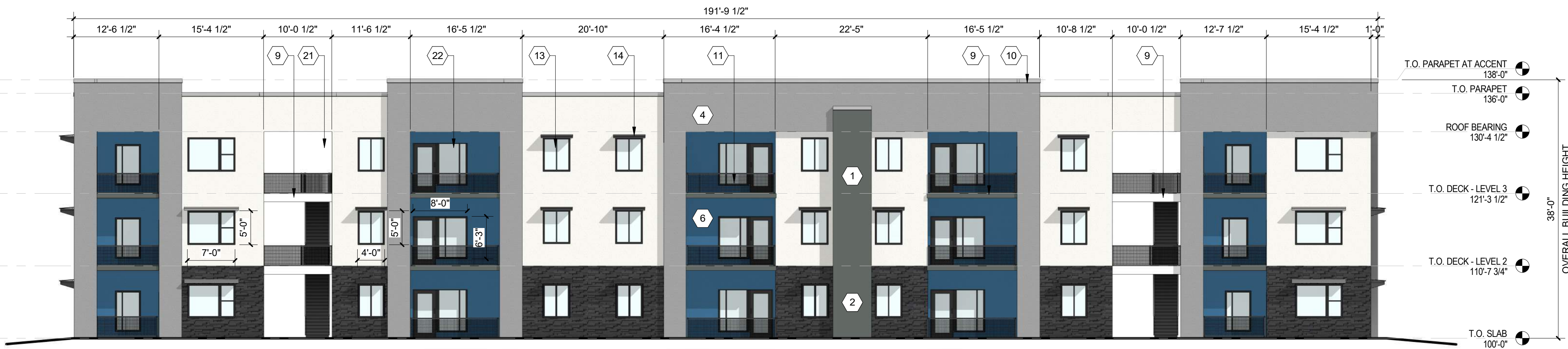
**C2** BUILDING E - SOUTH ELEVATION  
3/32" = 1'-0"



**C4** BUILDING E - NORTH ELEVATION  
3/32" = 1'-0"



**B2** BUILDING E - WEST ELEVATION  
3/32" = 1'-0"



**A2** BUILDING E - EAST ELEVATION  
3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

SEAL



PROJECT

**SEDONA WEST**  
**EAGLE RANCH ROAD**  
**ALBUQUERQUE, NM 87114**

DESIGN REVIEW  
BOARD (DRB)  
MINOR SITE PLAN  
AMENDMENT

REVISIONS

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|             |            |
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| DRAWN BY    | VM         |
| REVIEWED BY | HFG        |
| DATE        | 10/12/2021 |
| PROJECT NO: | 20-0286    |

DRAWING NAME  
**EXTERIOR  
ELEVATIONS -  
BUILDING E**

SHEET NO  
**SDP5.5**



**GENERAL SHEET NOTES**

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.
- E. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.

**SHEET KEYNOTES**

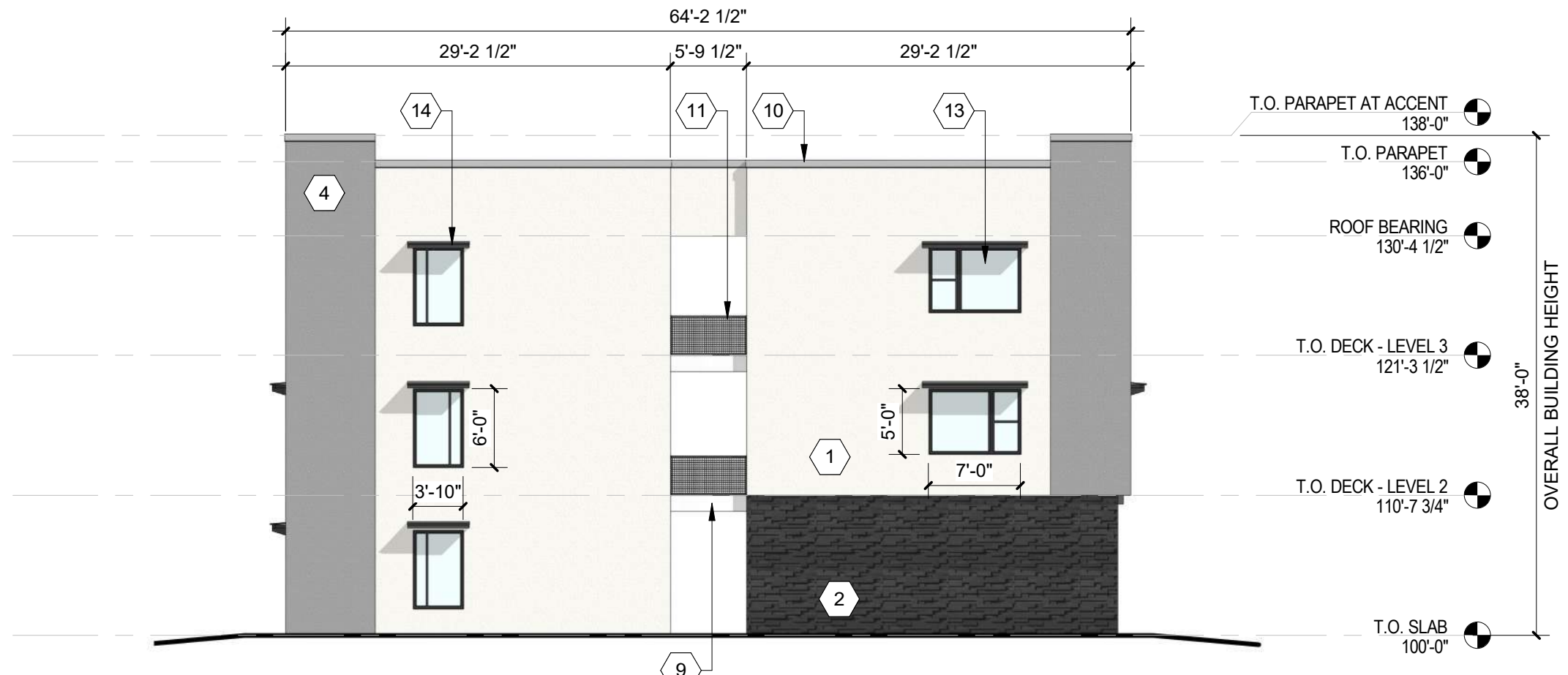
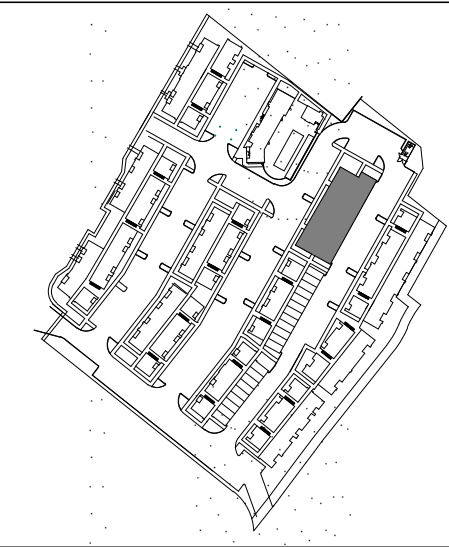
- 1. FIELD COLOR - NEUTRAL WARM WHITE - STUCCO FINISH MATERIAL
- 2. ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER
- 3. ACCENT COLOR/MATERIAL #2 - DARK GRAY - ACCENT PANELIZED FIBER CEMENT BOARD
- 4. ACCENT COLOR #3 - LIGHT GRAY - ACCENT STUCCO FINISH
- 5. ACCENT COLOR #4 - RUST TONE - ACCENT STUCCO FINISH
- 6. ACCENT COLOR #5 - BLUE TONE - ACCENT STUCCO FINISH
- 7. NOT USED
- 8. ACCENT COLOR #7 - YELLOW TONE - ACCENT STUCCO FINISH
- 9. FIBER CEMENT BOARD FACIA - TO MATCH MASONRY VENEER
- 10. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR

- 11. GUARDRAIL - METAL CUSTOM FABRICATED
- 12. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING
- 13. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS) - FRAME COLOR: BLACK
- 14. WINDOW AWNING - METAL CUSTOM FABRICATED
- 15. PATIO WALL - CMU
- 16. GARAGE OVERHEAD DOOR
- 17. METAL UNIT ENTRY DOOR
- 18. METAL PATIO GATE
- 19. STEEL COLUMN PAINTED
- 20. STEEL DOWNSPOUT
- 21. EXTERIOR STEEL STAIR
- 22. PATIO DOOR WITH LIGHT
- 23. ALUMINUM STOREFRONT

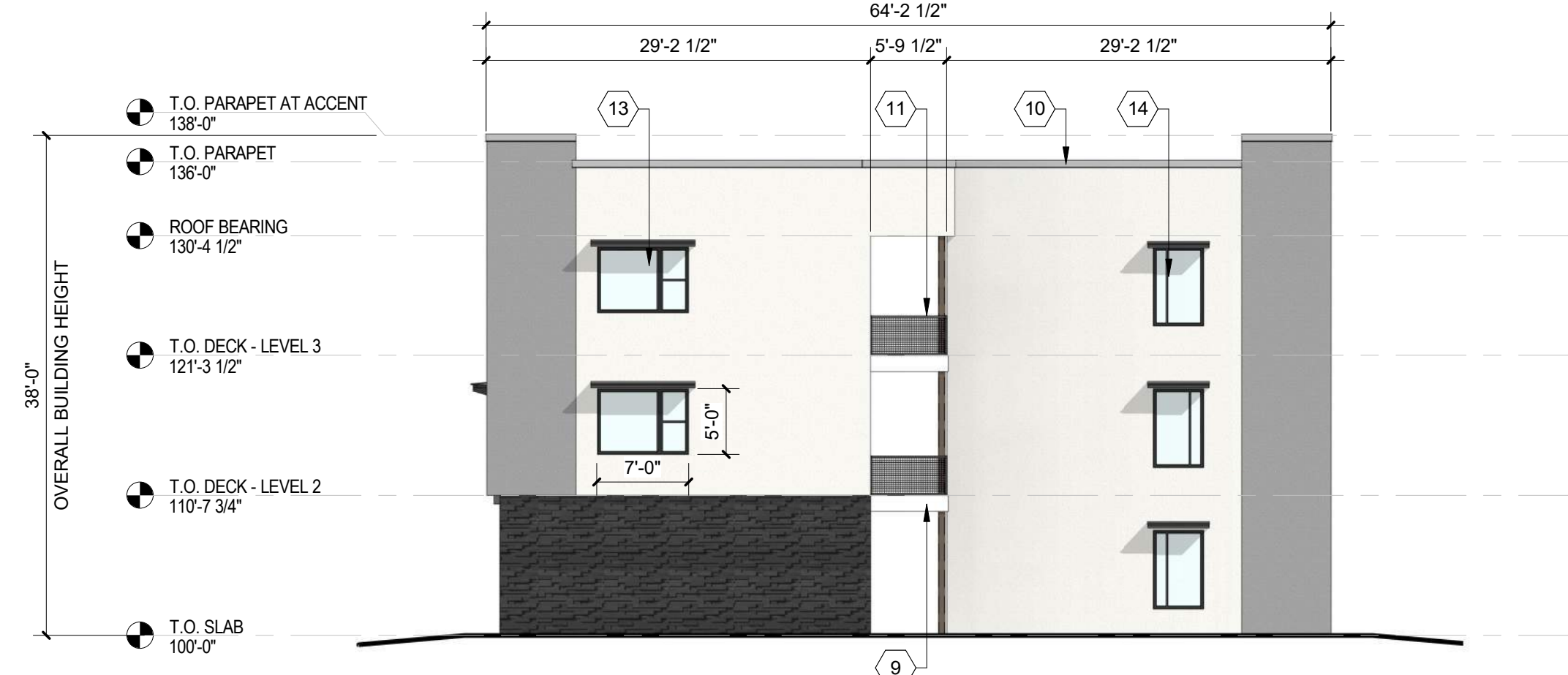
**LEGEND**

|  |  |  |   |
|--|--|--|---|
|  | FIELD COLOR - NEUTRAL WARM WHITE STUCCO FINISH                           |  | ACCENT COLOR #6 - BURNT ORANGE ACCENT STUCCO FINISH |
|  | ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER                           |  | ACCENT COLOR #4 - RUST ACCENT STUCCO FINISH         |
|  | ACCENT COLOR/MATERIAL #2 - DARK GRAY ACCENT PANELIZED FIBER CEMENT BOARD |  | ACCENT COLOR #5 - DUSTY BLUE ACCENT STUCCO FINISH   |
|  | ACCENT COLOR #3 - LIGHT GRAY ACCENT STUCCO FINISH                        |  |   |

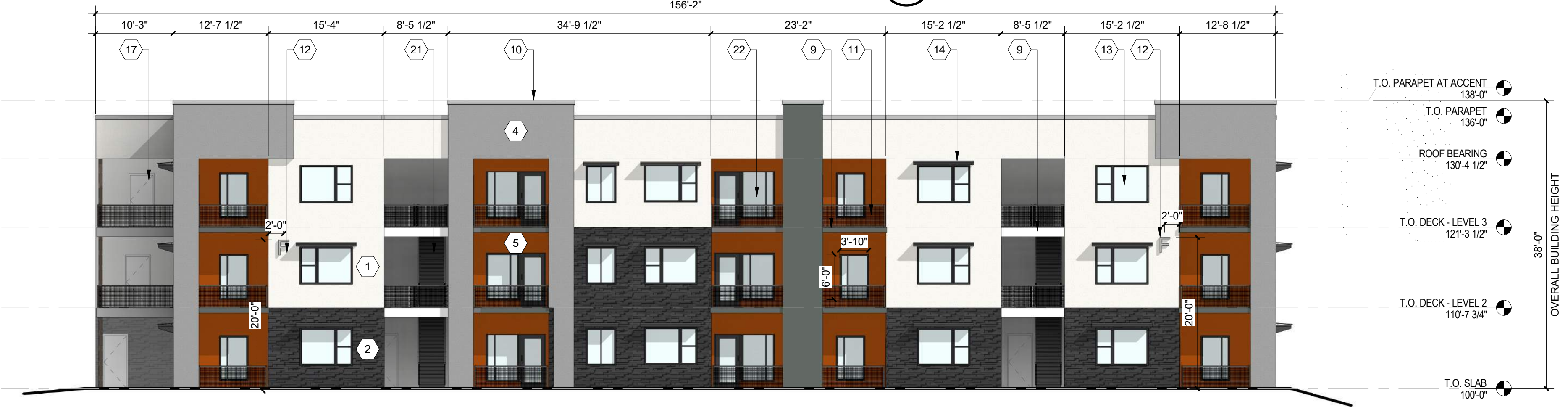
**KEY PLAN**



**C2** BUILDING F - SOUTH ELEVATION  
3/32" = 1'-0"



**C4** BUILDING F - NORTH ELEVATION  
3/32" = 1'-0"



**B2** BUILDING F - WEST ELEVATION  
3/32" = 1'-0"



**A2** BUILDING F - EAST ELEVATION  
3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

SEAL



PROJECT

**SEDONA WEST**  
**EAGLE RANCH ROAD**  
**ALBUQUERQUE, NM 87114**

DESIGN REVIEW  
BOARD (DRB)  
MINOR SITE PLAN  
AMENDMENT

REVISIONS

- △
- △
- △
- △
- △

DRAWN BY: VM  
 REVIEWED BY: HFG  
 DATE: 10/12/2021  
 PROJECT NO: 20-0286

DRAWING NAME  
**EXTERIOR  
 ELEVATIONS -  
 BUILDING F**

SHEET NO  
**SDP5.6**



**GENERAL SHEET NOTES**

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.
- E. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.

**SHEET KEYNOTES**

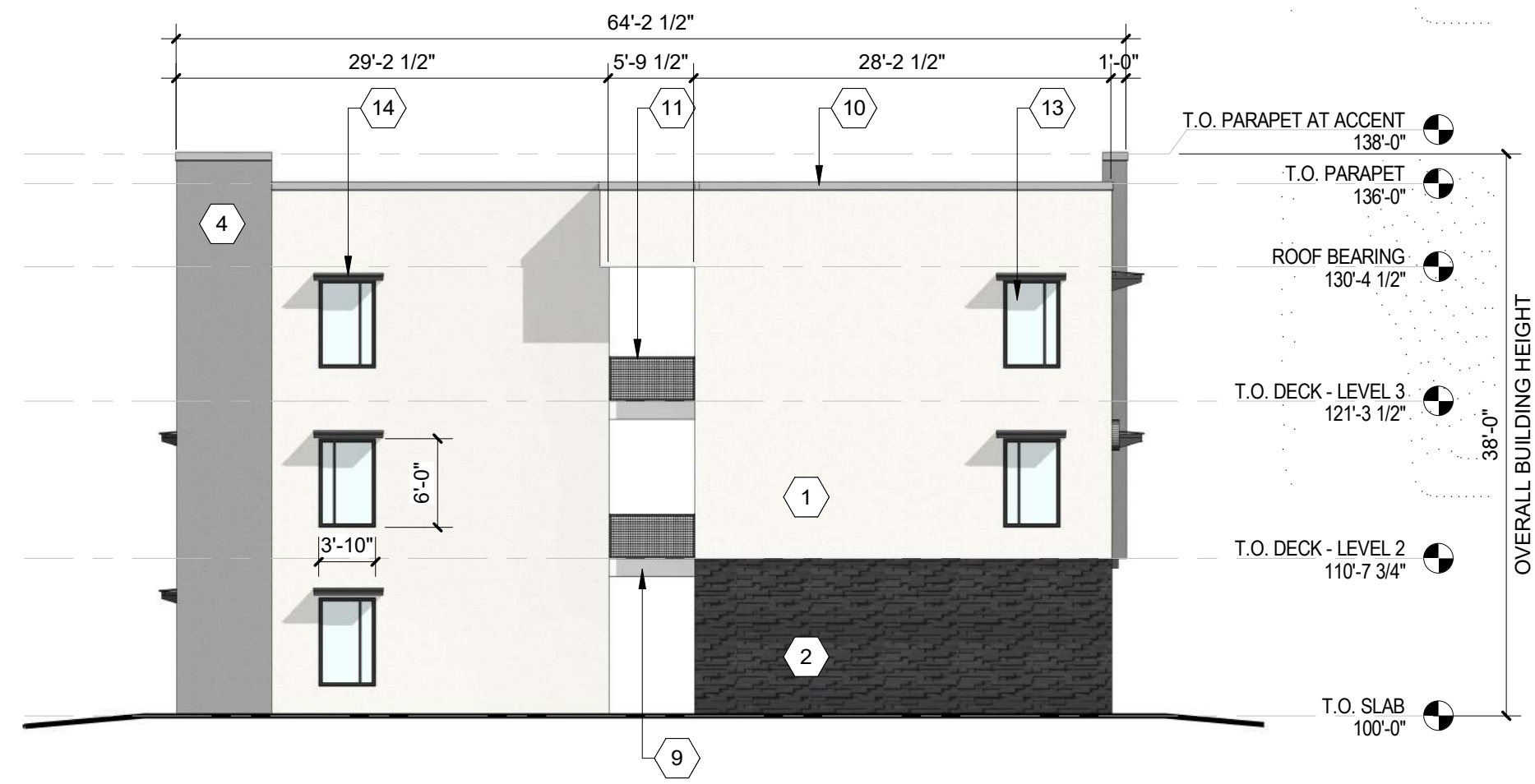
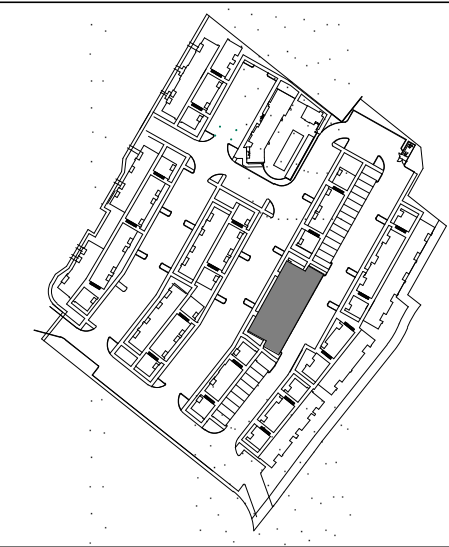
- 1. FIELD COLOR - NEUTRAL WARM WHITE - STUCCO FINISH MATERIAL
- 2. ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER
- 3. ACCENT COLOR/MATERIAL #2 - DARK GRAY - ACCENT PANELIZED FIBER CEMENT BOARD
- 4. ACCENT COLOR #3 - LIGHT GRAY - ACCENT STUCCO FINISH
- 5. ACCENT COLOR #4 - RUST TONE - ACCENT STUCCO FINISH
- 6. ACCENT COLOR #5 - BLUE TONE - ACCENT STUCCO FINISH
- 7. NOT USED
- 8. ACCENT COLOR #7 - YELLOW TONE - ACCENT STUCCO FINISH
- 9. FIBER CEMENT BOARD FACIA - TO MATCH MASONRY VENEER
- 10. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR

- 11. GUARDRAIL - METAL CUSTOM FABRICATED
- 12. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING
- 13. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS) - FRAME COLOR: BLACK
- 14. WINDOW AWNING - METAL CUSTOM FABRICATED
- 15. PATIO WALL - CMU
- 16. GARAGE OVERHEAD DOOR
- 17. METAL UNIT ENTRY DOOR
- 18. METAL PATIO GATE
- 19. STEEL COLUMN PAINTED
- 20. STEEL DOWNSPOUT
- 21. EXTERIOR STEEL STAIR
- 22. PATIO DOOR WITH LIGHT
- 23. ALUMINUM STOREFRONT

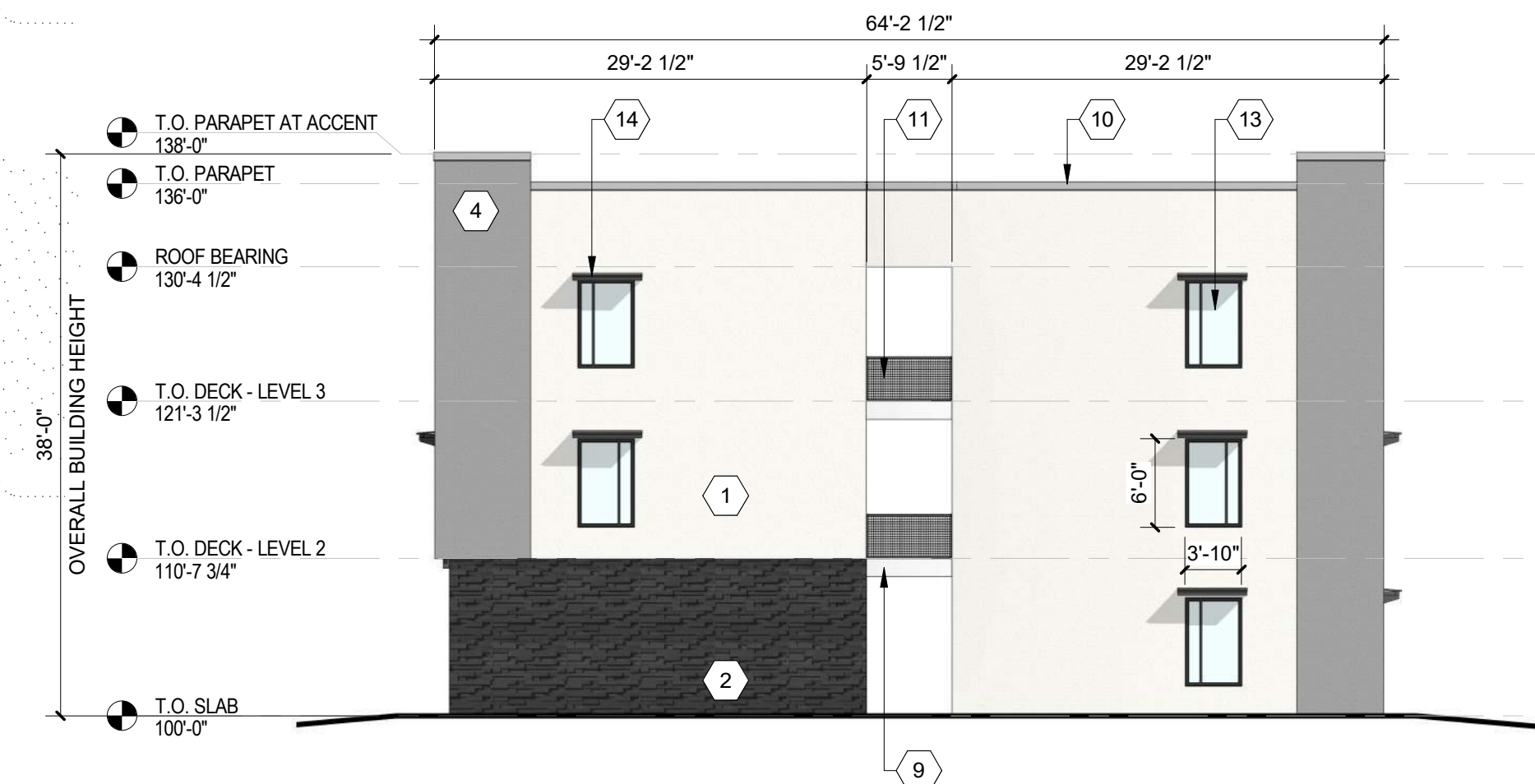
**LEGEND**

|  |  |  |   |
|--|--|--|---|
|  | FIELD COLOR - NEUTRAL WARM WHITE STUCCO FINISH                           |  | ACCENT COLOR #6 - BURNT ORANGE ACCENT STUCCO FINISH |
|  | ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER                           |  | ACCENT COLOR #4 - RUST ACCENT STUCCO FINISH         |
|  | ACCENT COLOR/MATERIAL #2 - DARK GRAY ACCENT PANELIZED FIBER CEMENT BOARD |  | ACCENT COLOR #5 - DUSTY BLUE ACCENT STUCCO FINISH   |
|  | ACCENT COLOR #3 - LIGHT GRAY ACCENT STUCCO FINISH                        |  |   |

**KEY PLAN**



**C1 BUILDING G - SOUTH ELEVATION**  
3/32" = 1'-0"



**C4 BUILDING G - NORTH ELEVATION**  
3/32" = 1'-0"



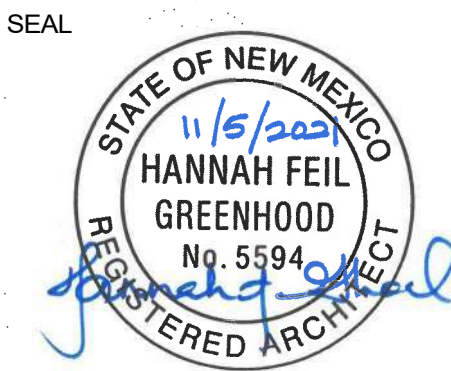
**B2 BUILDING G - WEST ELEVATION**  
3/32" = 1'-0"



**A2 BUILDING G - EAST ELEVATION**  
3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION



SEDONA WEST  
EAGLE RANCH ROAD  
ALBUQUERQUE, NM 87114

DESIGN REVIEW  
BOARD (DRB)  
MINOR SITE PLAN  
AMENDMENT

- REVISIONS
- △
  - △
  - △
  - △
  - △

DRAWN BY: VM  
REVIEWED BY: HFG  
DATE: 10/12/2021  
PROJECT NO: 20-0286

DRAWING NAME  
**EXTERIOR  
ELEVATIONS -  
BUILDING G**

SHEET NO  
**SDP5.7**



**GENERAL SHEET NOTES**

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.
- E. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.

**SHEET KEYNOTES**

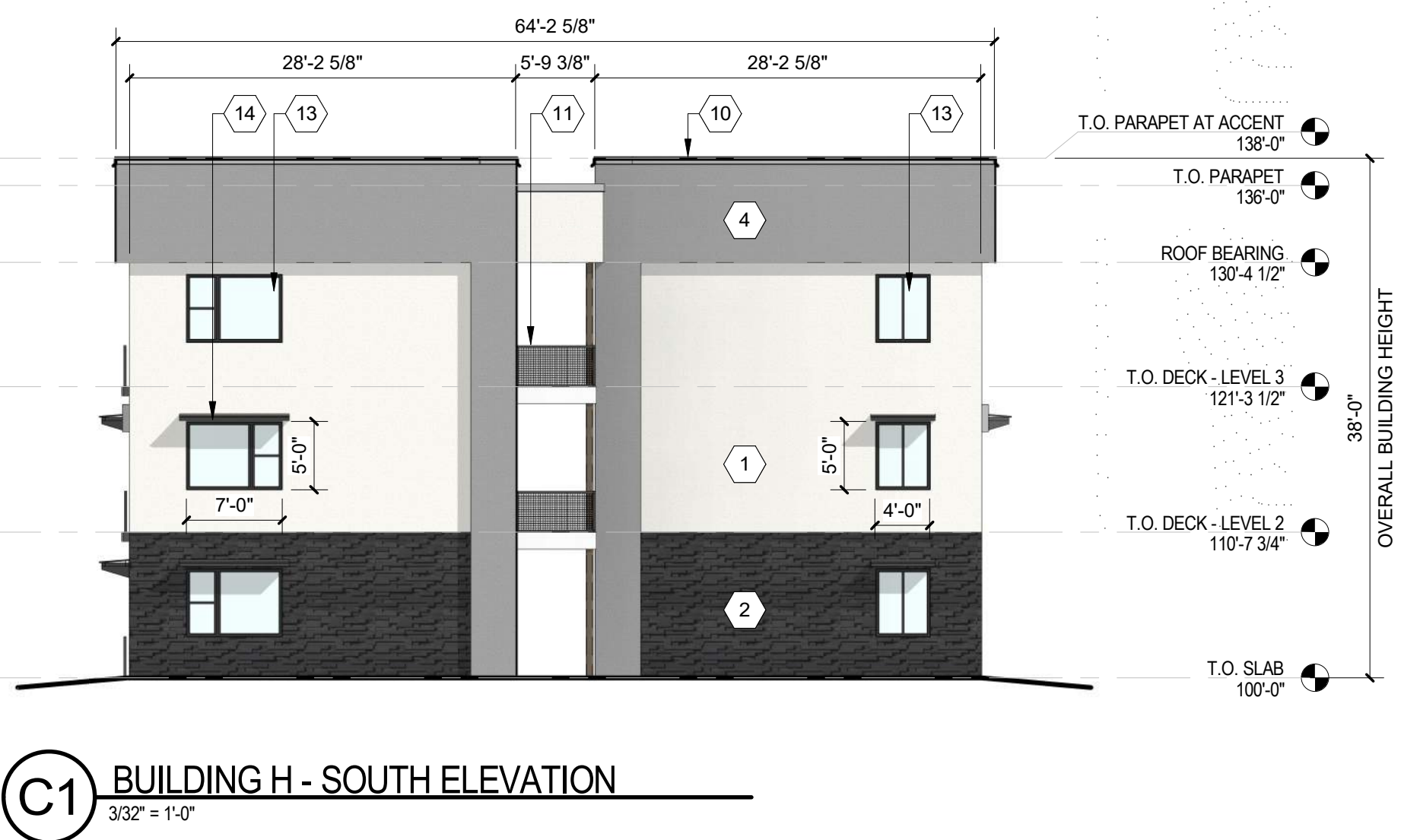
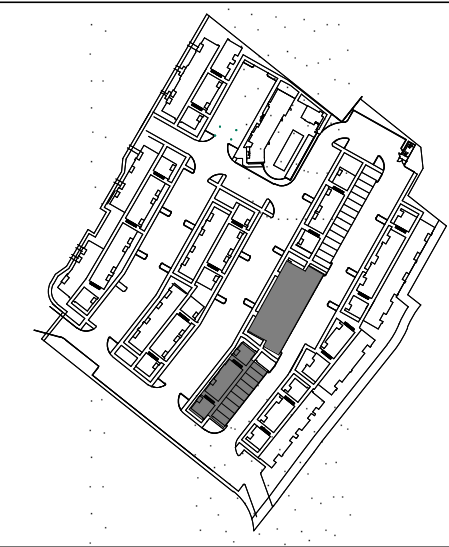
- 1. FIELD COLOR - NEUTRAL WARM WHITE - STUCCO FINISH MATERIAL
- 2. ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER
- 3. ACCENT COLOR/MATERIAL #2 - DARK GRAY - ACCENT PANELIZED FIBER CEMENT BOARD
- 4. ACCENT COLOR #3 - LIGHT GRAY - ACCENT STUCCO FINISH
- 5. ACCENT COLOR #4 - RUST TONE - ACCENT STUCCO FINISH
- 6. ACCENT COLOR #5 - BLUE TONE - ACCENT STUCCO FINISH
- 7. NOT USED
- 8. ACCENT COLOR #7 - YELLOW TONE - ACCENT STUCCO FINISH
- 9. FIBER CEMENT BOARD FACIA - TO MATCH MASONRY VENEER
- 10. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR

- 11. GUARDRAIL - METAL CUSTOM FABRICATED
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- 18. METAL PATIO GATE
- 19. STEEL COLUMN PAINTED
- 20. STEEL DOWNSPOUT
- 21. EXTERIOR STEEL STAIR
- 22. PATIO DOOR WITH LIGHT
- 23. ALUMINUM STOREFRONT

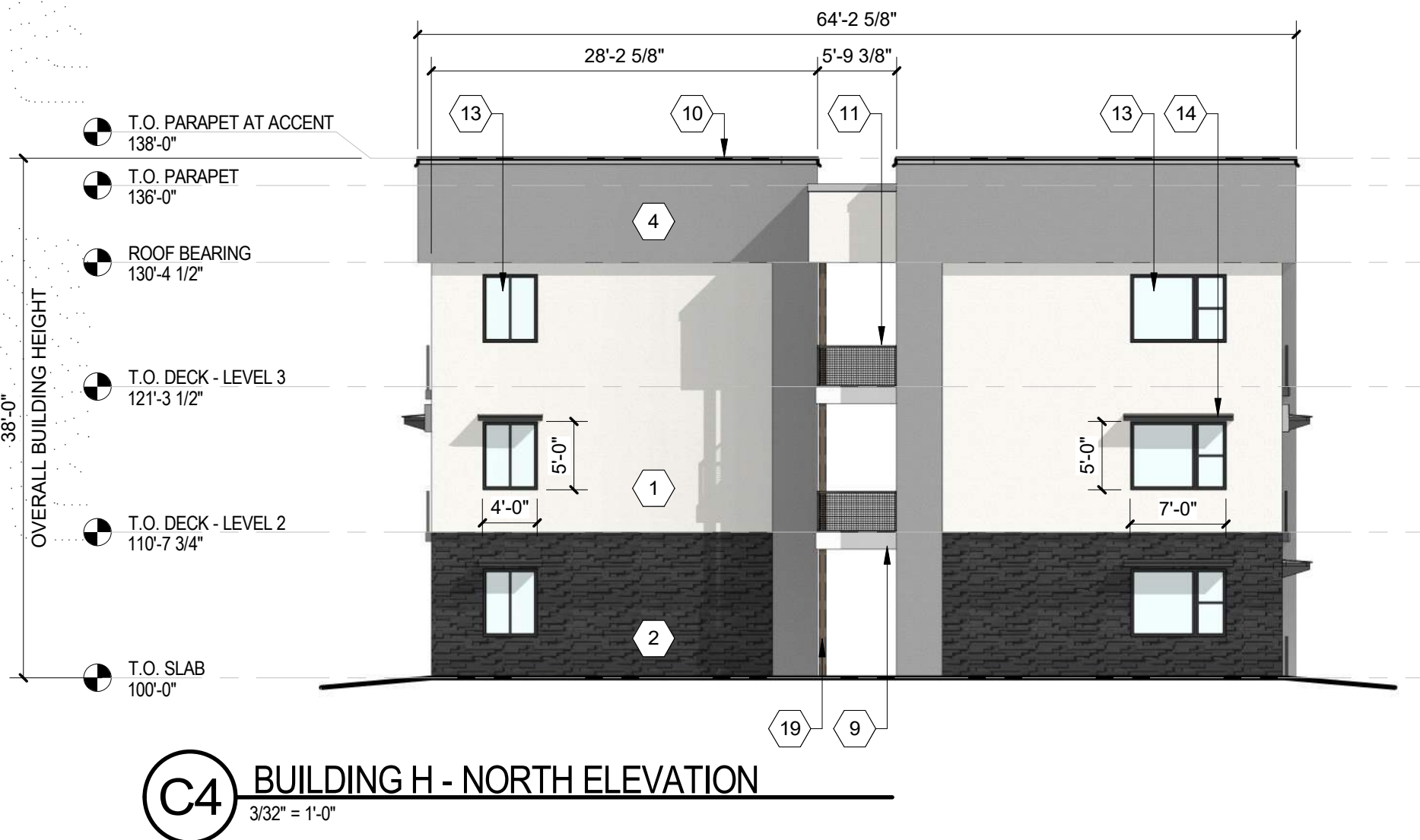
**LEGEND**

|  |  |  |   |
|--|--|--|---|
|  | FIELD COLOR - NEUTRAL WARM WHITE STUCCO FINISH                           |  | ACCENT COLOR #6 - BURNT ORANGE ACCENT STUCCO FINISH |
|  | ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER                           |  | ACCENT COLOR #4 - RUST ACCENT STUCCO FINISH         |
|  | ACCENT COLOR/MATERIAL #2 - DARK GRAY ACCENT PANELIZED FIBER CEMENT BOARD |  | ACCENT COLOR #5 - DUSTY BLUE ACCENT STUCCO FINISH   |
|  | ACCENT COLOR #3 - LIGHT GRAY ACCENT STUCCO FINISH                        |  |   |

**KEY PLAN**



**C1** BUILDING H - SOUTH ELEVATION  
3/32" = 1'-0"



**C4** BUILDING H - NORTH ELEVATION  
3/32" = 1'-0"



**B2** BUILDING H WEST ELEVATION  
3/32" = 1'-0"



**A2** BUILDING H - EAST ELEVATION  
3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

SEAL



PROJECT

**SEDONA WEST  
EAGLE RANCH ROAD  
ALBUQUERQUE, NM 87114**

DESIGN REVIEW  
BOARD (DRB)  
MINOR SITE PLAN  
AMENDMENT

REVISIONS



|             |            |
|-------------|------------|
| DRAWN BY    | Author     |
| REVIEWED BY | Approver   |
| DATE        | 10/12/2021 |
| PROJECT NO: | 20-0286    |

DRAWING NAME  
**EXTERIOR  
ELEVATIONS -  
BUILDING H**

SHEET NO  
**SDP5.8**



**GENERAL SHEET NOTES**

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.
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- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.
- E. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.

**SHEET KEYNOTES**

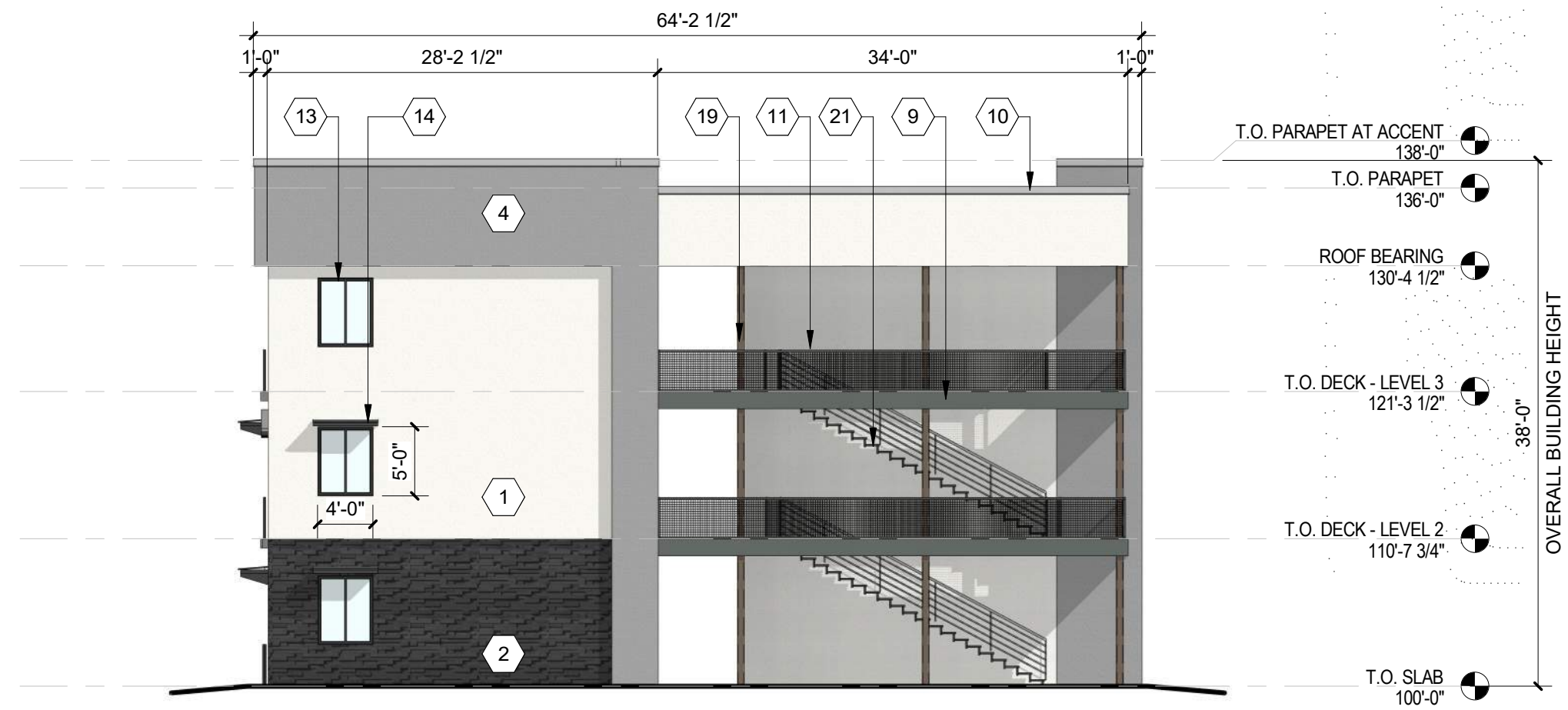
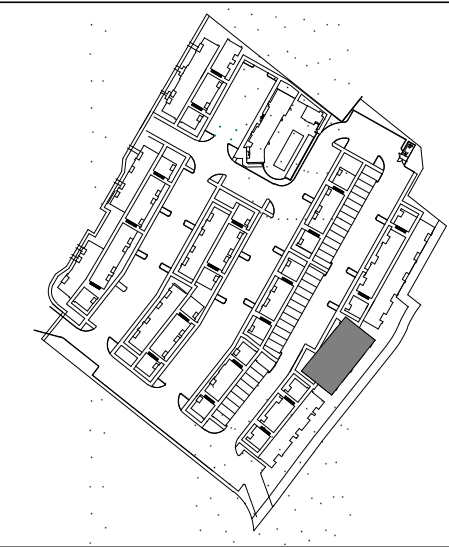
- 1. FIELD COLOR - NEUTRAL WARM WHITE - STUCCO FINISH MATERIAL
- 2. ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER
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- 4. ACCENT COLOR #3 - LIGHT GRAY - ACCENT STUCCO FINISH
- 5. ACCENT COLOR #4 - RUST TONE - ACCENT STUCCO FINISH
- 6. ACCENT COLOR #5 - BLUE TONE - ACCENT STUCCO FINISH
- 7. NOT USED
- 8. ACCENT COLOR #7 - YELLOW TONE - ACCENT STUCCO FINISH
- 9. FIBER CEMENT BOARD FACIA - TO MATCH MASONRY VENEER
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- 16. GARAGE OVERHEAD DOOR
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- 19. STEEL COLUMN PAINTED
- 20. STEEL DOWNSPOUT
- 21. EXTERIOR STEEL STAIR
- 22. PATIO DOOR WITH LIGHT
- 23. ALUMINUM STOREFRONT

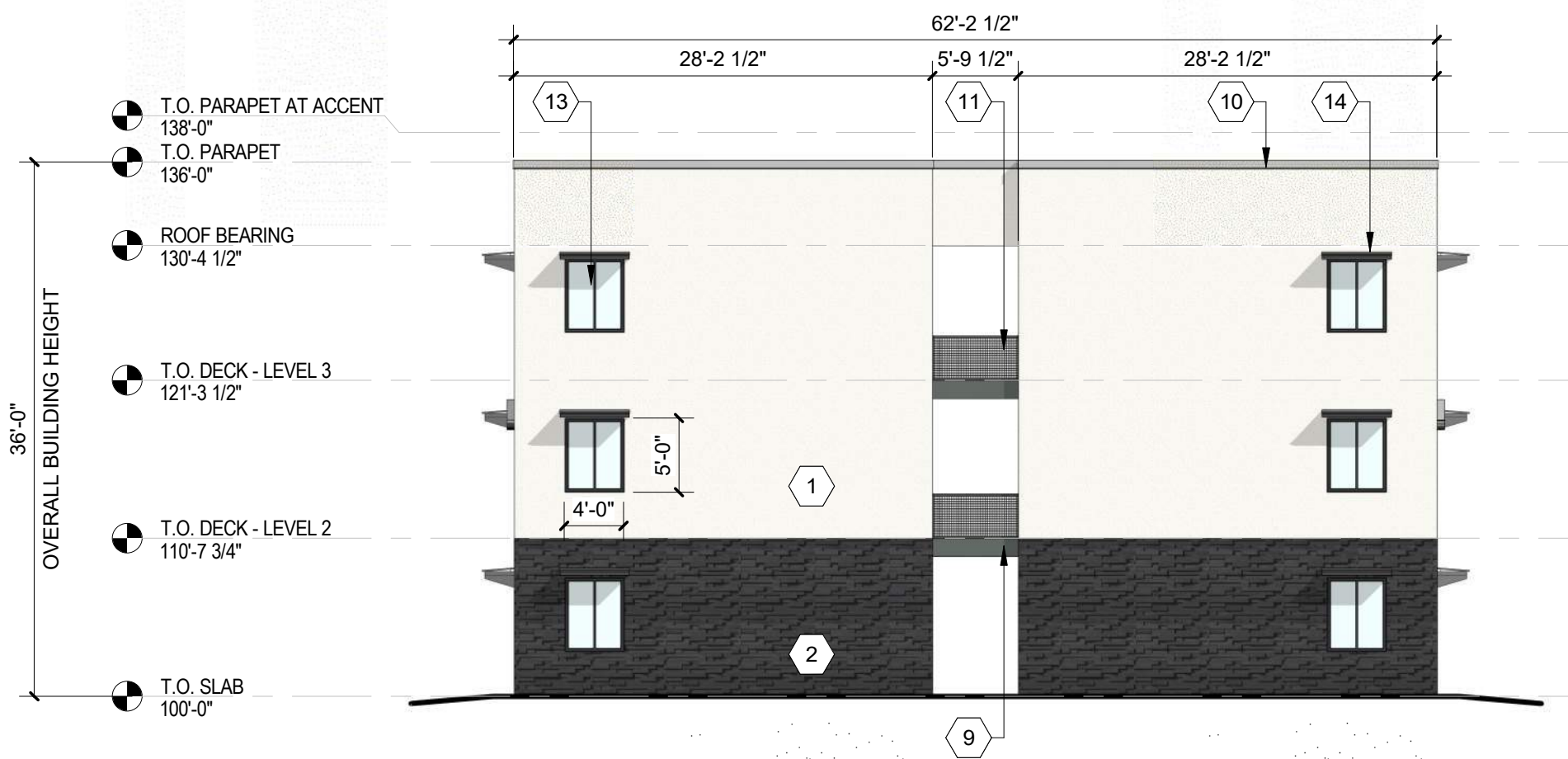
**LEGEND**

|  |  |  |   |
|--|--|--|---|
|  | FIELD COLOR - NEUTRAL WARM WHITE STUCCO FINISH                           |  | ACCENT COLOR #6 - BURNT ORANGE ACCENT STUCCO FINISH |
|  | ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER                           |  | ACCENT COLOR #4 - RUST ACCENT STUCCO FINISH         |
|  | ACCENT COLOR/MATERIAL #2 - DARK GRAY ACCENT PANELIZED FIBER CEMENT BOARD |  | ACCENT COLOR #5 - DUSTY BLUE ACCENT STUCCO FINISH   |
|  | ACCENT COLOR #3 - LIGHT GRAY ACCENT STUCCO FINISH                        |  |   |

**KEY PLAN**



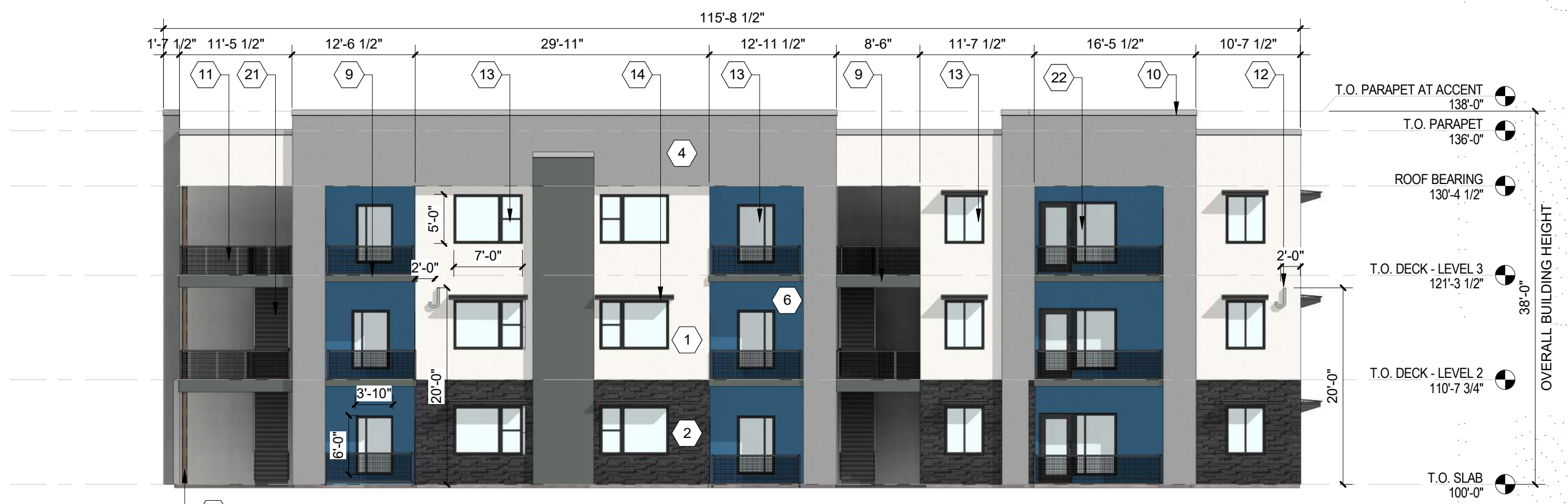
**C2 BUILDING J - SOUTH ELEVATION**  
3/32" = 1'-0"



**C4 BUILDING J - NORTH ELEVATION**  
3/32" = 1'-0"



**B2 BUILDING J - WEST ELEVATION**  
3/32" = 1'-0"



**A2 BUILDING J - EAST ELEVATION**  
3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

SEAL



PROJECT

**SEDONA WEST**  
**EAGLE RANCH ROAD**  
**ALBUQUERQUE, NM 87114**

DESIGN REVIEW  
BOARD (DRB)  
MINOR SITE PLAN  
AMENDMENT

REVISIONS

- △
- △
- △
- △
- △

DRAWN BY: VM, JF  
REVIEWED BY: HG  
DATE: 10/12/2021  
PROJECT NO: 20-0286

DRAWING NAME  
**EXTERIOR  
ELEVATIONS -  
BUILDING J**

SHEET NO  
**SDP5.9**



**GENERAL SHEET NOTES**

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.
- E. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.

**SHEET KEYNOTES**

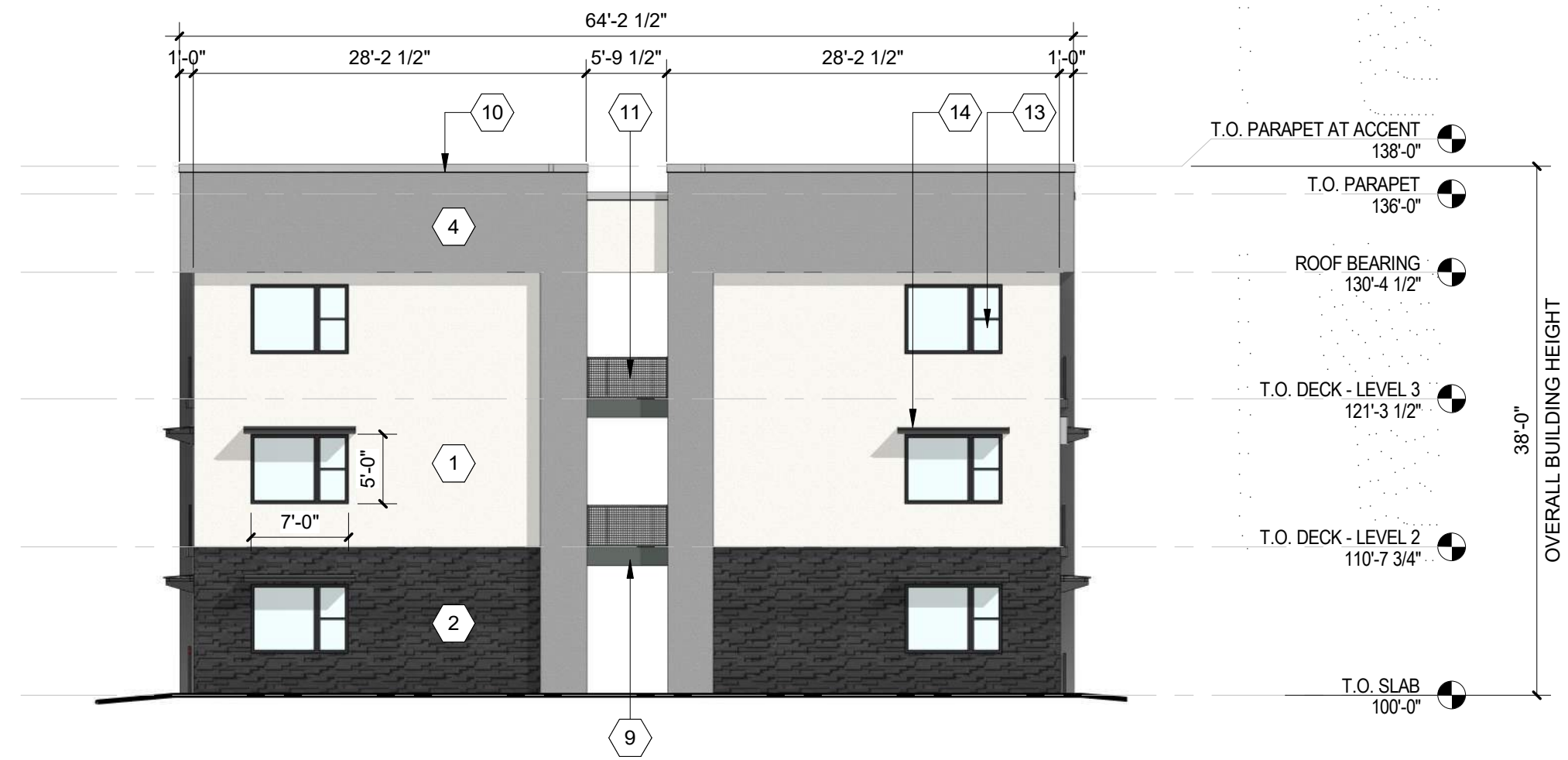
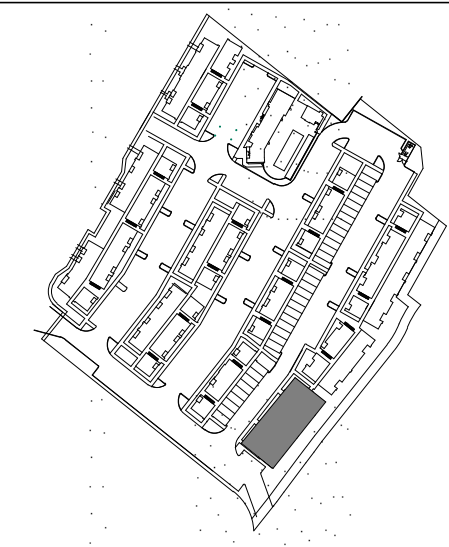
- 1. FIELD COLOR - NEUTRAL WARM WHITE - STUCCO FINISH MATERIAL
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- 3. ACCENT COLOR/MATERIAL #2 - DARK GRAY - ACCENT PANELIZED FIBER CEMENT BOARD
- 4. ACCENT COLOR #3 - LIGHT GRAY - ACCENT STUCCO FINISH
- 5. ACCENT COLOR #4 - RUST TONE - ACCENT STUCCO FINISH
- 6. ACCENT COLOR #5- BLUE TONE - ACCENT STUCCO FINISH
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- 8. ACCENT COLOR #7 - YELLOW TONE - ACCENT STUCCO FINISH
- 9. FIBER CEMENT BOARD FACIA - TO MATCH MASONRY VENEER
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- 17. METAL UNIT ENTRY DOOR
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- 19. STEEL COLUMN PAINTED
- 20. STEEL DOWNSPOUT
- 21. EXTERIOR STEEL STAIR
- 22. PATIO DOOR WITH LIGHT
- 23. ALUMINUM STOREFRONT

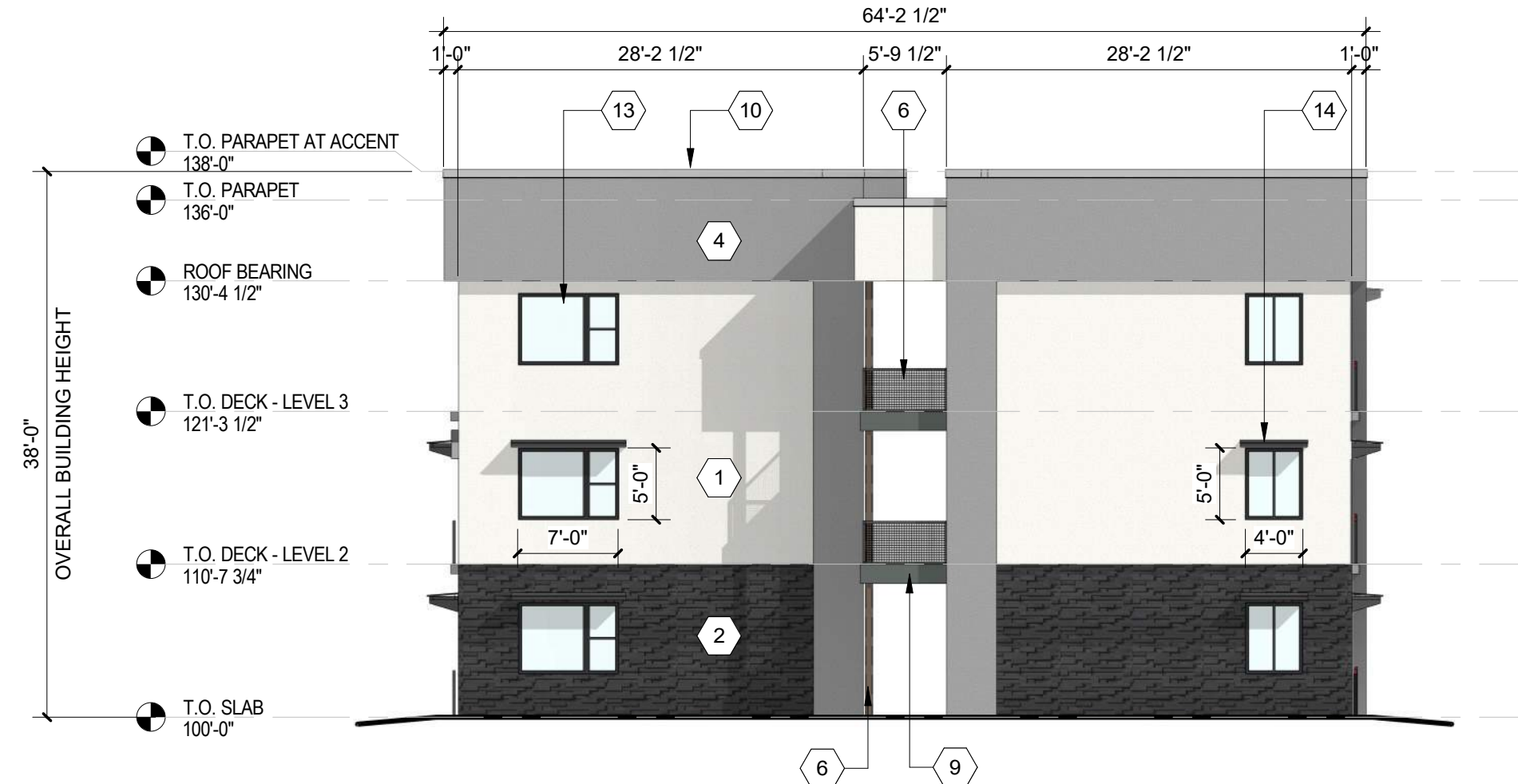
**LEGEND**

|  |  |  |   |
|--|--|--|---|
|  | FIELD COLOR - NEUTRAL WARM WHITE STUCCO FINISH                           |  | ACCENT COLOR #6 - BURNT ORANGE ACCENT STUCCO FINISH |
|  | ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER                           |  | ACCENT COLOR #4 - RUST ACCENT STUCCO FINISH         |
|  | ACCENT COLOR/MATERIAL #2 - DARK GRAY ACCENT PANELIZED FIBER CEMENT BOARD |  | ACCENT COLOR #5 - DUSTY BLUE ACCENT STUCCO FINISH   |
|  | ACCENT COLOR #3 - LIGHT GRAY ACCENT STUCCO FINISH                        |  |   |

**KEY PLAN**



**C1** BUILDING K - NORTH ELEVATION  
3/32" = 1'-0"



**C4** BUILDING K - SOUTH ELEVATION  
3/32" = 1'-0"



**A2** BUILDING K - WEST ELEVATION  
3/32" = 1'-0"



**B2** BUILDING K - EAST ELEVATION  
3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

SEAL



PROJECT

SEDONA WEST  
 EAGLE RANCH ROAD  
 ALBUQUERQUE, NM 87114

DESIGN REVIEW  
BOARD (DRB)  
MINOR SITE PLAN  
AMENDMENT

REVISIONS

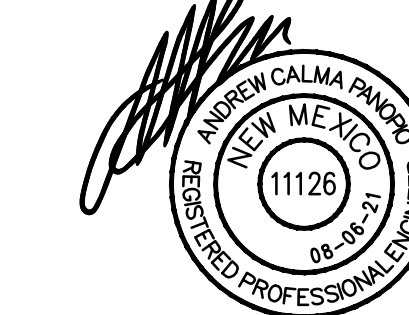
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DRAWN BY: VM  
 REVIEWED BY: HFG  
 DATE: 10/12/2021  
 PROJECT NO: 20-0286

DRAWING NAME  
 EXTERIOR  
 ELEVATIONS -  
 BUILDING K

SHEET NO  
**SDP5.10**





**SEDONA WEST**  
EAGLE RANCH ROAD  
ALBUQUERQUE, NM 87114

**SITE DEVELOPMENT  
PLAN**

REVISIONS

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- △
- △
- △

DRAWN BY

REVIEWED BY

DATE 04/16/2021

PROJECT NO. 19-0058

DRAWING NAME

**ELECTRICAL SITE  
LIGHTING  
PLAN**

SHEET NO.

**E1**  
OF

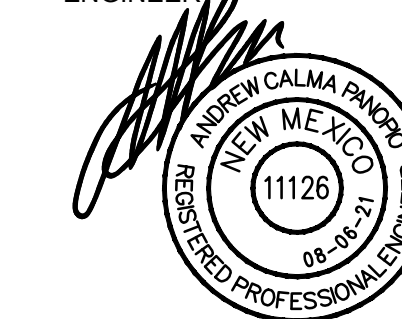
| Symbol | Label | Catalog Number  | Description  | Lamp               |
|--------|-------|---|--|--------------------|
| □      | P3    | EATON - LUMARK<br>PRV C15 UNV T3 SA<br>BZ 7030 HSS.<br>BRONZE FINISH.               | LED AREA LIGHT, FULLY<br>CUTOFF, TYPE 3 OPTIC.<br>HOUSE SIDE SHIELD.<br>POLE MOUNT AT +15'<br>T.O.F. | 52W LED<br>3000K   |
| □      | P3HS  | EATON - LUMARK<br>PRV C15 UNV T3 SA<br>BZ 7030 HSS.<br>BRONZE FINISH.               | LED AREA LIGHT, FULLY<br>CUTOFF, TYPE 3 OPTIC.<br>HOUSE SIDE SHIELD.<br>POLE MOUNT AT +15'<br>T.O.F. | 52W LED<br>3000K   |
| □      | P4    | EATON - LUMARK<br>PRV C15 UNV T4 SA<br>BZ 7030.<br>BRONZE FINISH.                   | LED AREA LIGHT, FULLY<br>CUTOFF, TYPE 4 OPTIC.<br>POLE MOUNT AT +15'<br>T.O.F.                       | 52W LED<br>3000K   |
| ○      | BO    | LITHONIA LIGHTING<br>DSXB LED 16C 700 30K<br>SYM 120 SF 00BK<br>DARK BRONZE FINISH. | LED BOLLARD LIGHT,<br>FULLY CUTOFF, TYPE 5<br>OPTIC. +42" HIGH.                                      | 39W LED<br>3000K   |
| —      | CA    | COLUMBIA LIGHTING<br>MPS 4 30 XWHE C W E<br>U.                                      | 4 FT. LINEAR LENSED<br>LED LIGHT, U.L. LISTED<br>FOR DAMP LOCATIONS.                                 | 20W LED<br>3000K   |
| □      | W9    | HUBBELL OUTDOOR<br>LIGHTING<br>LNC2 SL 3K 070 4 1<br>DBT. BRONZE FINISH.            | WALL LED LIGHT, FULLY<br>CUTOFF, TYPE 4, WALL<br>MOUNT AT +7'-6" B.O.F.                              | 21W LED<br>3000K   |
| □      | WS    | WAC LIGHTING<br>WS-W52614 3000K BZ.<br>BRONZE FINISH.                               | WALL LED LIGHT, FULLY<br>CUTOFF, WALL MOUNT<br>AT +8" B.O.F.   | 17.5W LED<br>3000K |

T.O.F. MOUNTING HEIGHT IS MEASURED AT TOP OF FIXTURE TO  
ABOVE FINISHED FLOOR.  
B.O.F. MOUNTING HEIGHT IS MEASURED AT BOTTOM OF FIXTURE TO  
ABOVE FINISHED FLOOR.



**ELECTRICAL SITE LIGHTING PLAN**  
1" = 50' - 0"

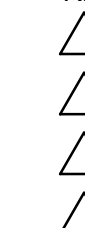




SEDONA WEST  
EAGLE RANCH ROAD  
ALBUQUERQUE, NM 87114

SITE DEVELOPMENT  
PLAN

REVISIONS



DRAWN BY

REVIEWED BY

DATE 04/16/2021

PROJECT NO. 19-0058

DRAWING NAME

ELECTRICAL SITE  
PHOTOMETRIC  
PLAN

SHEET NO.

**E2**  
OF

| LUMINAIRE SCHEDULE |       |     |  |  |                    |               |
|--------------------|-------|-----|--|--|--------------------|---------------|
| Symbol             | Label | Qty | Catalog Number   | Description  | Lamp               | Lumens LLF    |
| □                  | P3    | 2   | EATON - LUMARK<br>PRV C15 UNV T3 SA<br>BZ 7030 HSS.<br>BRONZE FINISH.                | LED AREA LIGHT, FULLY<br>CUTOFF, TYPE 3 OPTIC.<br>HOUSE SIDE SHIELD.<br>POLE MOUNT AT +15'<br>T.O.F. | 52W LED<br>3000K   | Absolute 0.88 |
| □                  | P3HS  | 28  | EATON - LUMARK<br>PRV C15 UNV T3 SA<br>BZ 7030 HSS.<br>BRONZE FINISH.                | LED AREA LIGHT, FULLY<br>CUTOFF, TYPE 3 OPTIC.<br>HOUSE SIDE SHIELD.<br>POLE MOUNT AT +15'<br>T.O.F. | 52W LED<br>3000K   | Absolute 0.88 |
| □                  | P4    | 1   | EATON - LUMARK<br>PRV C15 UNV T4 SA<br>BZ 7030.<br>BRONZE FINISH.                    | LED AREA LIGHT, FULLY<br>CUTOFF, TYPE 4 OPTIC.<br>POLE MOUNT AT +15'<br>T.O.F.                       | 52W LED<br>3000K   | Absolute 0.88 |
| ○                  | BO    | 4   | LITHONIA LIGHTING<br>DSXB LED 16C 700 30K<br>SYM 120 SF 0080K<br>DARK BRONZE FINISH. | LED BOLLARD LIGHT,<br>FULLY CUTOFF, TYPE 5<br>OPTIC. +42" HIGH.                                      | 39W LED<br>3000K   | Absolute 0.95 |
| —                  | CA    | 53  | COLUMBIA LIGHTING<br>MPS 4 30 WHE C W E<br>U.  | 4 FT. LINEAR LENSED<br>LED LIGHT, U.L. LISTED<br>FOR DAMP LOCATIONS.                                 | 20W LED<br>3000K   | Absolute 0.90 |
| □                  | W9    | 35  | HUBBELL OUTDOOR<br>LIGHTING<br>LWZ2 SL 3K 070 4 1<br>DBT. BRONZE FINISH.             | WALL LED LIGHT, FULLY<br>CUTOFF, TYPE 4, WALL<br>MOUNT AT +7'-6" B.O.F.                              | 21W LED<br>3000K   | Absolute 0.90 |
| □                  | WS    | 108 | WAC LIGHTING<br>WS-W52614 3000K BZ.<br>BRONZE FINISH.                                | WALL LED LIGHT, FULLY<br>CUTOFF, WALL MOUNT<br>AT +8' B.O.F.   | 17.5W LED<br>3000K | 1255 0.95     |

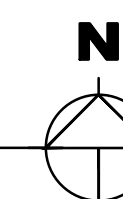
T.O.F. MOUNTING HEIGHT IS MEASURED AT TOP OF FIXTURE TO  
ABOVE FINISHED FLOOR.  
B.O.F. MOUNTING HEIGHT IS MEASURED AT BOTTOM OF FIXTURE TO  
ABOVE FINISHED FLOOR.

| STATISTICS                                   |        |        |         |        |         |         |
|--|--------|--------|---------|--------|---------|---------|
| Description                                  | Symbol | Avg    | Max     | Min    | Max/Min | Avg/Min |
| SITE CALCS                                   | +      | 2.0 fc | 37.6 fc | 0.0 fc | N/A     | N/A     |
| SPILL LIGHT AT +6 FT.<br>ABOVE PROPERTY LINE | X      | 0.1 fc | 0.7 fc  | 0.0 fc | N/A     | N/A     |



ELECTRICAL SITE PHOTOMETRIC PLAN

1" = 50' - 0"









**HUBBELL** Outdoor Lighting  
**HUBBELL** Custom Lighting

DATE: LOCATION:  
TYPE: PROJECT:  
CATALOG #:

**LNC**  
COMPACT LED LITEPAK

**TYPE: W9**

**FEATURES**

- Compact LNC LED is designed for perimeter illumination and available in 3 lumen packages for safety, security and identity
- 3000K, 4000K, 5000K and Amber color temperatures
- Up to 41 spacing to mounting height ratio means fewer fixtures to install
- Acrylic diffuser included! Use for applications near entrances or locations where reduced brightness is desired. (Maximum spacing with diffuser 30%)
- Die-cast aluminum housing with decorative Laredo styling
- Full cut-off neighbor friendly
- Listed to UL1598 for use in wet locations

**RELATED PRODUCTS**

LNC-5L LNC-7L  
LNC-9L With diffuser  
LNC2 LNC3 LNC4

**CERTIFICATIONS**

- UL Listed
- Lighting Facts
- DLC
- Energy Star
- 1000K and warmer CCTs only

**INSTALLATION**

- Quick mount adapter provides quick installation, designed for recessed box 4" square junction box
- 60,000 hours minimum LED life at L96 rating per IESNA TM-21-11
- Minimum operating temperature is -40°C/-40°F
- 0-10V dimming 120-277V only
- LNC5L - 5 LEDs, Types II, III or IV available, see page 2 for electrical details
- LNC7L - 7 LEDs, Type II, III or IV available, see page 2 for electrical details
- LNC9L - 9 LEDs, Types II, III or IV available, see page 2 for electrical details

**CONSTRUCTION**

- Decorative die-cast aluminum housing and door
- Rugged design protects internal components and provides excellent thermal management for long life
- Powder paint finishes provide lasting appearance in outdoor environments
- Full cut-off distribution: Ambient diffuser included, use for applications near entrances or locations where reduced brightness is desired

**OPTICS**

- Drivers are 120-277V, 50/60Hz Type II and Type IV lenses provide wide lateral spread
- 3000K - 80 CRI, 4000K - 70 CRI, and 5000K - 70 CRI, CCT nominal
- Drivers have greater than 90 power factor and less than 20% Total Harmonic Distortion

**REPLACEMENT PARTS AND ACCESSORIES**

| Catalog Number | Description  |
|----------------|--|
| 93039574       | Frosted comfort shield, improved uniformity with only 5% reduction |

**PERFORMANCE DATA**

| # Of LEDs | Nominal Wattage | System Watts | Dist. Type | 5K (5000K NOMINAL 70 CRI) |      | 4K (4000K NOMINAL 70 CRI) |      | 3K (3000K NOMINAL 80 CRI) |     | AM (<580 nm wave-length) |              |      |
|-----------|-----------------|--------------|------------|---------------------------|------|---------------------------|------|---------------------------|-----|--------------------------|--------------|------|
|           |                 |              |            | Lumens                    | LPW* | Lumens                    | LPW  | Lumens                    | LPW | Lumens                   | System Watts | LPW* |
| 5         | 15W             | 2            | 2          | 1150                      | 88.5 | 1052                      | 81   | 893                       | 68  | -                        | -            |      |
|           |                 |              | 3          | 1132                      | 87   | 1077                      | 83   | 833                       | 64  | -                        | -            |      |
|           |                 |              | 4          | 1146                      | 88   | 1053                      | 81   | 849                       | 65  | -                        | -            |      |
| 7         | 17W             | 3            | 2          | 1515                      | 89   | 1369                      | 90.5 | 1272                      | 75  | -                        | -            |      |
|           |                 |              | 3          | 1500                      | 88   | 1539                      | 90.5 | 1392                      | 82  | 268                      | 6.6          | 59   |
|           |                 |              | 4          | 1557                      | 91.5 | 1535                      | 90   | 1425                      | 84  | -                        | -            | -    |
| 9         | 22W             | 4            | 2          | 2069                      | 94   | 2033                      | 92   | 1588                      | 72  | -                        | -            |      |
|           |                 |              | 3          | 2024                      | 92   | 1989                      | 90   | 1623                      | 74  | -                        | -            |      |
|           |                 |              | 4          | 2095                      | 95   | 2059                      | 93.5 | 1680                      | 76  | 382                      | 8.3          | 46   |

**KEY DATA**

|                                |            |
|--------------------------------|------------|
| Lumen Range                    | 800-2100   |
| Wattage Range                  | 13-22      |
| Efficacy Range (LPW)           | 64-95      |
| Fixture Projected Life (Hours) | L96-60K    |
| Weights lbs. (kg)              | 9.6 (2.45) |

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**HUBBELL** Outdoor Lighting

DATE: LOCATION:  
TYPE: PROJECT:  
CATALOG #:

**LNC**  
COMPACT LED LITEPAK

**TYPE: W9**

**ORDERING GUIDE**

Example: LNC-SL-U-3K-2-BLT-PCU

**ORDERING INFORMATION**

| Series               | # LEDs                              | Voltage  | CCT/CRI   | IES Distribution                     | Finish  | Mounting                      |
|----------------------|-------------------------------------|--|---|--------------------------------------|---|-------------------------------|
| LNC LNC Zero Uplight | 5L 5 LEDs<br>7L 7 LEDs<br>9L 9 LEDs | U 120-277V<br>1 120V<br>2 208V<br>3 240V<br>4 277V | 3K 3000K nominal, 70 CRI<br>4K 4000K nominal, 70 CRI<br>5K 5000K nominal, 70 CRI<br>AM Amber 600 nm available for "Turtle Friendly" / observatory applications, 350mA (corrected factory) | 2 Type II<br>3 Type III<br>4 Type IV | BLT Black Matte Textured<br>BLS Black Gloss Smooth<br>DBT Dark Bronze Matte Textured<br>DBS Dark Bronze Gloss Smooth<br>GTT Graphite Matte Textured<br>LGS Light Grey Gloss Smooth<br>PSS Platinum Silver Smooth<br>WHT White Matte Textured<br>WHS White Gloss Smooth<br>VST Verde Green Textured<br>CC Custom Color | PCU Universal Button Protocol |

**REPLACEMENT PARTS AND ACCESSORIES**

| Catalog Number | Description  |
|----------------|--|
| 93039574       | Frosted comfort shield, improved uniformity with only 5% reduction |

**PERFORMANCE DATA**

| # Of LEDs | Nominal Wattage | System Watts | Dist. Type | 5K (5000K NOMINAL 70 CRI) |      | 4K (4000K NOMINAL 70 CRI) |      | 3K (3000K NOMINAL 80 CRI) |     | AM (<580 nm wave-length) |              |      |
|-----------|-----------------|--------------|------------|---------------------------|------|---------------------------|------|---------------------------|-----|--------------------------|--------------|------|
|           |                 |              |            | Lumens                    | LPW* | Lumens                    | LPW  | Lumens                    | LPW | Lumens                   | System Watts | LPW* |
| 5         | 15W             | 2            | 2          | 1150                      | 88.5 | 1052                      | 81   | 893                       | 68  | -                        | -            |      |
|           |                 |              | 3          | 1132                      | 87   | 1077                      | 83   | 833                       | 64  | -                        | -            |      |
|           |                 |              | 4          | 1146                      | 88   | 1053                      | 81   | 849                       | 65  | -                        | -            |      |
| 7         | 17W             | 3            | 2          | 1515                      | 89   | 1369                      | 90.5 | 1272                      | 75  | -                        | -            |      |
|           |                 |              | 3          | 1500                      | 88   | 1539                      | 90.5 | 1392                      | 82  | 268                      | 6.6          | 59   |
|           |                 |              | 4          | 1557                      | 91.5 | 1535                      | 90   | 1425                      | 84  | -                        | -            | -    |
| 9         | 22W             | 4            | 2          | 2069                      | 94   | 2033                      | 92   | 1588                      | 72  | -                        | -            |      |
|           |                 |              | 3          | 2024                      | 92   | 1989                      | 90   | 1623                      | 74  | -                        | -            |      |
|           |                 |              | 4          | 2095                      | 95   | 2059                      | 93.5 | 1680                      | 76  | 382                      | 8.3          | 46   |

**PROJECTED LUMEN MAINTENANCE**

| Ambient Temperature | OPERATING HOURS |        |        |                     |         |             |
|---------------------|-----------------|--------|--------|---------------------|---------|-------------|
|                     | 0               | 25,000 | 50,000 | TM-21-11 L96 60,000 | 100,000 | L70 (Hours) |
| 25°C / 77°F         | 1.00            | 0.97   | 0.97   | 0.96                | 0.95    | >791,000    |
| 40°C / 104°F        | 0.99            | 0.96   | 0.96   | 0.96                | 0.94    | >635,000    |

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**WAC LIGHTING**

Latitude  
Outdoor Wall Sconce 3000K

Model & Size Color Temp & CRI Finish Watt LED Lumens Delivered Lumens Title 24

|           |     |          |           |       |      |     |     |
|-----------|-----|----------|-----------|-------|------|-----|-----|
| WS-W52614 | 14" | 3000K 90 | Black     | 17.5W | 1255 | 735 | Yes |
| WS-W52614 |     | 3000K 90 | BZ Bronze | 17.5W | 1255 | 735 | No  |

**TYPE: WS**

**DESCRIPTION**

- Classic architectural lighting forms that pair well with a multitude of commercial applications, offered in a variety of sizes and finish options. Latitude features an etched opal glass diffuser that provides even illumination with a solid die-cast aluminum construction and powder coated finish. The light engine is factory sealed for maximum protection against the harshest elements.

**FEATURES**

- Classic architectural look that pairs well with a multitude of commercial applications
- Weather resistant powder coated finishes
- Light engine factory sealed for maximum protection from the elements
- Etched opal glass diffuser provides even illumination
- Title 24 may not be available for all finishes, check for availability
- ACLED driverless technology
- 5 year warranty

**REPLACEMENT PARTS**

RPL-GLA-52614 - Glass for WS-W52614

**LINE DRAWING**

6" 4" 14"

WS-W52614

Color Temp: 3000K  
Input: 120 VAC, 50/60Hz  
CRI: 90  
Dimming: ELV: 100-10%, ELV: 100-10%  
Rated Life: 44000 Hours, 50000 Hours  
Mounting: Can be mounted on wall in all orientations  
Standards: ETL, cETL, IP65, Title 24 JAB-2016 Compliant, Title 24  
Wet Location Listed  
Construction: Aluminum hardware with glass diffuser

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**Columbia LIGHTING**

**MPS**  
MultiPurpose Linear

**TYPE: CA**

**ORDERING INFORMATION**

EXAMPLE MP54-40ML-CW-EDU

**YOUR ORDER** MPS - - -

**MPS**

| MODEL                   | SIZE     | CRI | COLOR TEMPERATURE | LUMEN OUTPUT  | LENS   |
|-------------------------|----------|-----|-------------------|---|--|
| MPS MultiPurpose Linear | 2' 4' 8' | 90  | 3000K 4000K 5000K | XW 4 (1700, 8' 9400)<br>XWRE 4 (2500, 8' 13000)<br>YW 2 (1100, 8' 9400) 8' 6900<br>YWRE 4 (1300, 8' 9600)<br>MW 2 (2300, 4' 1800) 8' 1700<br>MWRE 2 (2100, 4' 1700) 8' 1400<br>LW 2 (2000, 4' 1600) 8' 1400<br>LWRE 2 (2600, 4' 1900) 8' 2000<br>ML 2 (2600, 4' 1900) 8' 2000<br>MLRE 4 (4000, 8' 3000)<br>HL 2 (3800, 4' 2900) 8' 112000<br>HLRE 4 (5700, 8' 111000)<br>VL 4 (1700, 8' 14,200)<br>XL 4 (8400, 8' 17,000) | Curve, Frosted Acrylic<br>Flat, Frosted Acrylic<br>NL Less Lens<br>CP Curve, Frosted Polycarbonate |

**DISTRIBUTION\***

|                       |   |                          |  |   |
|-----------------------|---|--------------------------|--|---|
| N Narrow Distribution | E Fixed Output  | U 120-277V               | EL14 Emergency Battery Pack, 10W <sup>1</sup> 10W <sup>2</sup> | IES NL, NI Occupancy Sensor, Dimming Daylight Harvesting            |
| W Wide Distribution   | ED 0-10V Dimming  | 347 347V (E,ED,E21 only) | GLR Fast Blow Fuse   | NXSW NI Wireless, PIR Occupancy Sensor, Dimming Daylight Harvesting |
|                       | EDD Dim-to-Dark   |                          | G10 Generator Transfer Device                                  | NXWE NI Wireless Enabled  |
|                       | ESD Step Dimming  |                          | MPSCF Injection Molded ABS Material Curve Endcap*              | NXE NI Enabled, Dual SmartPorts                                     |
|                       | LUTH Hi-Aura 1% Ecosystem LED driver with built-in, fade-to-black dimming technology <sup>2</sup> |                          | MPSE Injection Molded ABS Material Flat Endcap*                | NDES NI Enabled, PIR Occupancy Sensor, Dimming Daylight Harvesting  |
|                       | LUTS 5-Series Ecosystem LED driver <sup>2</sup>   |                          | MR Matte Black   | ODPG Occupancy and Daylight Sensors w/Grouping, Philips SDC200      |
|                       |   |                          | ZT ZET Metallic Silver   |   |

**ACCESSORIES (ORDER SEPARATELY)**

S18 18" Stem, Curvy  
S518 18" Stem, Curvy - 45° Swivel  
CM24SCF3-KIT 24" Adjustable Cable Mounting Kit, 3 wire feed  
CM48SCF3-KIT 48" Adjustable Cable Mounting Kit, 3 wire feed  
CSM Chain Hanger Assembly  
MPSST 20" Ten-Tanger - 1.12" Spacers on T-Bar Ceiling  
MPSSTH Slide Tang Hanger  
MPSCKC-C Continuous Row Kit, Curve  
MPSCKC-F Continuous Row Kit, Flat  
MPSWG-2 Wire Guard  
MPSWG-4 Wire Guard, 2 Required for 8" Fixture  
MPSCE Injection Molded ABS Material Curve Endcap\*  
MPSFE Injection Molded ABS Material Flat Endcap\*

**DRIVER AVAILABILITY TABLE**

|      | VW | MW | MWRE | LW | LWRE | ML | HL |
|------|----|----|------|----|------|----|----|
| U    | X  | X  | X    | X  | X    | X  | X  |
| ED   | X  | X  | X    | X  | X    | X  | X  |
| ED1  | X  | X  | X    | X  | X    | X  | X  |
| EDD  | X  | X  | X    | X  | X    | X  | X  |
| ESD  | X  | X  | X    | X  | X    | X  | X  |
| LUTS | X  | X  | X    | X  | X    | X  | X  |
| LUTH | X  | X  | X    | X  | X    | X  | X  |
| 347  | X  | X  | X    | X  | X    | X  | X  |

21 with ODPG not available for VW,MW,LW  
XL not available with this wire

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**DEKKER PERICH SABATINI**

**ARCHITECTURE DESIGN INSPIRATION**

ARCHITECT

ENGINEER

PROJECT

**SEDONA WEST**  
EAGLE RANCH ROAD  
ALBUQUERQUE, NM 87114

**SITE DEVELOPMENT PLAN**

REVISIONS

△  
△  
△  
△

DRAWN BY  
REVIEWED BY  
DATE 04/16/2021  
PROJECT NO. 19-0058  
DRAWING NAME  
ELECTRICAL SITE LIGHTING CUT SHEETS  
SHEET NO. E4 OF

**NP ENGINEERING INC.**  
4115 N. 15TH AVE  
PHOENIX, AZ 85015  
(602) 285-1559  
PROJECT NO. 2021-162