



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2021-005459
Application No. SD-2021-00163 SI-2021-01248

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: September 1, 2021 HEARING DATE OF DEFERRAL: October 6, 2021

SUBMITTAL

DESCRIPTION: Revised plans, infrastrucure list, and response to comments letter describing how comments are

addressed.

CONTACT NAME: Vinny Perea

TELEPHONE: 505-858-3100 EMAIL: vperea@tierrawestllc.com



TIERRA WEST, LLC

October 1, 2021

Ms. Jolene Wolfley
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: PR-2021-005459 RESPONSE TO DRB COMMENTS
LOT 1A BLOCK 2 & LOT 2-A-1 BLOCK 2 SUNPORT PARK
2900 TRANSPORT ST NE**

Dear Ms. Wolfley:

The following items in this letter below provide the various adverse comments received from the Development Review Board plus responses for those comments as shown in bold for the approval request of Site Plan and Preliminary Plat.

Transportation Comments:

Per the comments received from The COA Transportation Department dated September 29, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. On the site plan, indicate the landscape buffer width between curb and sidewalk and/or provide a cross-sectional detail.
RESPONSE: 3'-6", reference revised keyed note U on A-001.
2. Include dimensioning for the motorcycle parking spaces, handicapped spaces, and van accessible aisles.
RESPONSE: Reference details sheet A-002.
3. Roadway dimensioning for the east access way is unclear. Because there are different dimensions for aisles, overall parking lot widths, and parking space lengths throughout the site, label typical dimensioning for each of the parking lot segments. (One of the dimensions for the access ways is shown in the thousands.) Shows curb radii near the Building 500 where the driving aisles make a 90-degree turn.
RESPONSE: Additional dimensions provided.
4. Regarding the detail for the stairway to the western right-of-way, include details for the entire layout including the number of steps, dimensions of landings, slopes along the straight sections, etc.
RESPONSE: Detail added to A-002.
5. Dimension parking lot keyway by Club House 800.
RESPONSE: Dimension added.
6. Clarify if turn-down sidewalk edge will be built along the parking lot or if header curb is adjacent to the sidewalk.
RESPONSE: Turn down sidewalk will be used reference revised keyed note K.

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
fierrawestllc.com

7. For curb ramp reference detail 2443, dimensioning of landing shall also be provided. It would be helpful to provide a detail showing handicapped spaces with the van accessible aisles since this is pretty typical.

RESPONSE: Reference detail B5 / A-002

8. An incorrect curb ramp detail reference is made on Keyed Note W. Make sure all ramps on-site are called out. Call out all ramps on the plan at the van accessible aisles, crosswalk aisles, etc. Make sure that the crosswalks line up with the sidewalks.

RESPONSE: Reference change, see keyed note W. Crosswalk alignment corrected west of building 500.

9. Along the north side, the van accessible aisles are not adjacent to sidewalk for ADA access (far north side near the north access way).

RESPONSE: The ADA spaces in question are within the underground parking structure. After some correspondence with Jeanne Wolfenbarger on this, the ADA parking in this area has been adjusted to have a 4' wide adjacent accessible route to the elevators in this parking structure. See Floor Plan sheet A-104.1, the footprint of the underground parking floor will actually have a "bump-out" for this accessible route that the first floor of the building does not have, as depicted on the site plan sheet.

10. On the infrastructure list, clarify the item description for "No Parking" signs by adding "for clear sight distance purposes".

RESPONSE: This has been updated on the infrastructure list.

Hydrology Comments:

Per the comments received from The COA Hydrology Department dated September 29, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. Hydrology will need to approve a Conceptual Grading & Drainage Plan prior to Hydrology's approval of Preliminary Plat or Site Plan for Building Permit.

RESPONSE: We are still awaiting word from Hydrology on their review of the conceptual grading plan and hope to have that approved at the time of the DRB meeting on 10/6/21.

Code Enforcement Comments:

Per the comments received from The COA Code Enforcement dated September 29, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. 14-16-3-3 Airport Protection Overlay
 - a. Referrals to commenting agencies required Pursuant to 3-3(G)(2) Airport Protection Overlay Zone Cross References –IDO subsection 14-16-6-4(J) Referrals to Commenting Agencies – Property is located in the Kirtland Air Force Base (KAFB) Military Influence Area and application for Site Plan-DRB shall be referred to KAFB and the City Aviation Department for comment/s.
 - b. City Aviation contact Ms. Nyika Allen, 505-508-8909, nallen@cabq.gov

RESPONSE: We have reached out to Ms. Janet Cunningham-Stephens with the KAFB and have attached her review email, which states that her only comment is

that the project is to follow the "Dark Skies" ordinances. We have also reached out to Ms. Nyika Allen, who is currently reviewing the plan with her group. We hope to have comments back from her at the time of the DRB Meeting on 10/6/21.

2. 14-16-5-5(E) Table 5-5-5 Bicycle parking or Pre-IDO Site Plan for Subdivision?
RESPONSE: The bicycle requirement used is following the Pre-IDO Site Plan for Subdivision, which is 1 space per unit. This comes out to a total of 256 spaces required. This data can be found on Sheet A-001. 70 Spaces are on the site plan and 186 spaces are provided in the buildings.

Planning Comments:

Per the comments received from The COA Planning Department dated September 28, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. The lot lines on the site (between Lot 1-A, Block 2 and Lot 2-A-1, Block 2) encroach on the delineated parking spaces in the northeastern portion of the proposed development. A Final Plat will need to be approved prior to final sign-off of the Site Plan from Planning.
RESPONSE: Noted. The intent of the replat is to eliminate the lot line between Lot 1-A and Lot 2-A-1 to make one consolidated lot. The final plat will be submitted to DRB once the Preliminary Plat is approved and an IIA can be recorded.
2. Please state the height of the CMU wall depicted as Note J on the Site plan. The comment response letter notes that an 8-foot retaining wall is proposed. The City Engineer needs to approve of the 8-foot retaining wall height as depicted on the Site Plan.
RESPONSE: Wall heights called out in the plan view.
3. Lighting and light poles need to be noted and depicted on the Site Plan to ensure conformance with 5-8 of the IDO.
RESPONSE: No light poles being used. Wall packs and light bollards will provide site lighting and shall comply with dark skies ordinance.
4. The Solid Waste signature needs to be obtained prior to distribution of the Site Plan for DRB signatures.
RESPONSE: Submitted to solid waste, awaiting approval
5. Please refer to the picture below regarding façade design suggestions.



RESPONSE: Reference 3D supplemental drawings. The balconies are open railing to the greatest extent possible. On the grade level we are using solid walls because these are patios not balconies. From an environmental psychology standpoint residents feel a much greater sense of security with a solid barrier enclosing their personal space than a fence would. This is similar to the block wall requirement around individual single family lots that we see throughout town and even in gated communities.

6. This needs to be verified on the Landscape Plan:
The applicant has evaluated Climatic and Geographic Responsive Site Design per Section 5-2(D)(1) of the IDO and completed the sun and shade analysis. The landscaping plan will show evaluation of 'Outdoor Elements (Integration)."
RESPONSE: The landscape architect has completed the evaluation of 'Outdoor Elements (Integration)' for the landscaping plan. Attached is both the landscaping plan as well as the Site & Building Design Considerations form.
7. A recorded IIA must be submitted prior to final sign-off from Planning for the Final Plat.
RESPONSE: An IIA will be submitted to the city for approval and recording upon approval of the Preliminary Plat and Infrastructure List by the DRB.

Parks and Recreation Comments:

Per the comments received from The COA Parks and Recreation Department dated September 29, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. Will drainage ponds be seeded?
RESPONSE: Yes they will, per the Drainage Basin Treatment standard comments. The infrastructure list notes also show pond slopes to have native grass seed w/ aggregate mulch or equal.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Vinny Perea, P.E.

JN: 2020072
RRB/vp

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

LOT 2-A-1-A, BLOCK 2 SUNPORT PARK

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

**LOT 1-A BLOCK 2 SUNPORT PARK REPLAT OF LOTS 1, 2 & 3 BLOCK 2 AND
LOT 2-A-1 BLOCK 2 PLAT OF LOTS 2-A-1, 2-A-2 & 2-A-3 BLOCK 2 SUNPORT PARK**

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To | Construction Certification | | |
|---------------------------------|----------------------------|------------|---|---|------------------------------------|------------------------------------|----------------------------|------|--------------------|
| | | | | | | | Private Inspector | P.E. | City Cnst Engineer |
| <input type="text"/> | <input type="text"/> | 6' - Wide | Sidewalk Along Frontage | N. Side of Woodward Rd | 498' East of Transport St. | Woodward/Transport Intersection | / | / | / |
| <input type="text"/> | <input type="text"/> | 6' - Wide | Sidewalk Along Frontage | E. Side of Transport St/ S. side of Flightway Ave. | Woodward/Transport Intersection | 570' East of University Blvd | / | / | / |
| <input type="text"/> | <input type="text"/> | | No Parking Sign - For Clear Sight Distance Purposes | N. Side of Woodward Rd | 390' West of Transport St. | | / | / | / |
| <input type="text"/> | <input type="text"/> | 48' - Wide | Driveway Plus ADA Ramps | S. Side of Flightway Ave. | 641' West of University Blvd | 739' West of University Blvd | / | / | / |
| <input type="text"/> | <input type="text"/> | 24' - Wide | Driveway Plus ADA Ramps for Parking Structure Access | S. Side of Flightway Ave. | 1,098' West of University Blvd | 58' West of University Blvd | / | / | / |
| <input type="text"/> | <input type="text"/> | 35' - Wide | Driveway Plus ADA Ramps for Parking Structure Access | N. Side of Woodward Rd. | 244' East of Transport Rd. | 103' East of Transport Rd. | / | / | / |
| <input type="text"/> | <input type="text"/> | 20'-Wide | Drivepad for Drainage Pond Maintenance | E. Side of Transport St. | 857' North of Woodward Rd. | 877' North of Woodward Rd. | / | / | / |
| <input type="text"/> | <input type="text"/> | 20'-Wide | Drivepad for Drainage Pond Maintenance | E. Side of Transport St. | 148' North of Woodward Rd. | 168' North of Woodward Rd. | / | / | / |
| <input type="text"/> | <input type="text"/> | | Replace 30mph Speed Limit Sign w/ 25mph Speed Limit Sign | S. Side of Flightway Ave. | 1133' West of University Blvd | | / | / | / |

| | | | | | | | | | | |
|------------------------------------|-------------------------------|------|---|---------------------------|---------------------------------|----|------------------------------------|------|-------------------------------|------|
| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To | Construction Certification | | | |
| [] | [] | | | | | | Private Inspector | P.E. | City Cnst Engineer | |
| [] | [] | | Replace 30mph Speed Limit Sign w/ 25mph Speed Limit Sign | N. Side of Flightway Ave. | 353' West of University Blvd | | / | / | / | |
| | | | | | | | / | / | / | |
| | | | | | | | Approval of Creditable Items: | | Approval of Creditable Items: | |
| | | | | | | | Impact Fee Administrator Signature | Date | City User Dept. Signature | Date |

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 Pond Slopes: Native Grass Seed with Aggregate Mulch or equal (Must satisfy the "Final Stabilization Criteria" CGP 2.2.14.b)

- 2 The property owner/developer must continue self-inspections and BMP maintenance until the EPA's Final Stabilization Criteria is satisfied and approved by the City Stormwater Quality Section [Code § 14-5-2-11(C)(1)]

- 3 _____

| | |
|----------------------|--|
| AGENT / OWNER | DEVELOPMENT REVIEW BOARD MEMBER APPROVALS |
|----------------------|--|

Viny Perea
NAME (print)

Tierra West, LLC
FIRM

9/30/21
SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION - date

AMAFCA - date

CODE ENFORCEMENT - date

- date

| |
|--|
| DESIGN REVIEW COMMITTEE REVISIONS |
|--|

| REVISION | DATE | DRC CHAIR | USER DEPARTMENT | AGENT /OWNER |
|----------|------|-----------|-----------------|--------------|
| | | | | |
| | | | | |
| | | | | |

Vinny Perea

From: CUNNINGHAM-STEPHENS, JANET L CTR USAF AFGSC 377 MSG/CEN-CP
<janet.cunningham-stephens.ctr@us.af.mil>
Sent: Tuesday, September 28, 2021 3:45 PM
To: Vinny Perea; Jaimie Garcia
Cc: SANDOVAL, DONNA S CTR USAF AFGSC 377 MSG/CEN-CE; LECHEMINANT, PAUL T CTR USAF AFGSC 377 MSG/CEN-CE
Subject: RE: [Non-DoD Source] Jaimie sent you 2020072 8-6-21 Transport Housing DRB Site Plan Submittal.pdf via WeTransfer

Hello Vinny,

Our only comment is that site lighting needs to comply with “dark skies”.

Best regards,

Janet Cunningham-Stephens

Lead Community Planner

NetCentric Technology, LLC

JCunningham-Stephens@asrcfederal.com | janet.cunningham-stephens.ctr@us.af.mil

📞: (505) 853-2747

2050 Wyoming Blvd SE, Bldg. 20686, Kirtland Air Force Base, NM 87117-5005

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From: Vinny Perea <vperea@tierrawestllc.com>

Sent: Tuesday, September 28, 2021 8:28 AM

To: CUNNINGHAM-STEPHENS, JANET L CTR USAF AFGSC 377 MSG/CEN-CP <janet.cunningham-stephens.ctr@us.af.mil>; Jaimie Garcia <jgarcia@tierrawestllc.com>

Subject: RE: [Non-DoD Source] Jaimie sent you 2020072 8-6-21 Transport Housing DRB Site Plan Submittal.pdf via WeTransfer

Good Morning Janet,

Our next DRB meeting for this case is tomorrow, however I anticipate a one-week or two-week deferral for a couple of various things to be addressed. Our deadlines for any resubmittals to the DRB are at noon on the Friday prior to the next DRB meeting. If you can give us a timeline for how long you think you would need to send over comments, then we can base our deferral length on that in tomorrow’s DRB meeting.

Thanks,

Vinny Perea, PE

Civil Engineer



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Albuquerque, NM 87109

(505)858-3100

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From: CUNNINGHAM-STEPHENS, JANET L CTR USAF AFGSC 377 MSG/CEN-CP [<mailto:janet.cunningham-stephens.ctr@us.af.mil>]
Sent: Tuesday, September 28, 2021 8:20 AM
To: Jaimie Garcia
Cc: Vinny Perea
Subject: Re: [Non-DoD Source] Jaimie sent you 2020072 8-6-21 Transport Housing DRB Site Plan Submittal.pdf via WeTransfer

Good Morning,

I was able to download both files using the FTP. When is the case scheduled for DRB and what's the comment submittal deadline?

Best regards,

Janet Cunningham-Stephens
Lead Community Planner
NetCentric Technology, LLC/asrcfederal.com
Kirtland AFB, Albuquerque, NM 87117
janet.cunningham-stephens.ctr@us.af.mil
O: (505) 853-2747

From: Jaimie Garcia <jgarcia@tierrawestllc.com>
Sent: Monday, September 27, 2021 2:43 PM
To: CUNNINGHAM-STEPHENS, JANET L CTR USAF AFGSC 377 MSG/CEN-CP <janet.cunningham-stephens.ctr@us.af.mil>
Cc: Vinny Perea <vperea@tierrawestllc.com>
Subject: RE: [Non-DoD Source] Jaimie sent you 2020072 8-6-21 Transport Housing DRB Site Plan Submittal.pdf via WeTransfer

Good afternoon Janet, I have sent our FTP site information for you to log into to see if you are able to review the DRB submittal and City of Albuquerque's Planning DRB comments.

Please let me know if this way worked for you. We transferred failed and so did Drop box. I am hoping third time is a charm. Please let me know if this does not work for you. We then can coordinate a way of mailing or dropping off a set of plans to you.

<http://ftpserver.tierrawestllc.com/>

User ID:
2021072

Password:
2021072

Thank You

Respectfully,

Jaimie N. Garcia
Project Coordinator
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109
Office: 505-858-3100
Fax: 505-858-1118
jgarcia@tierrawestllc.com

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From: CUNNINGHAM-STEPHENS, JANET L CTR USAF AFGSC 377 MSG/CEN-CP [<mailto:janet.cunningham-stephens.ctr@us.af.mil>]

Sent: Monday, September 27, 2021 11:27 AM

To: Jaimie Garcia

Subject: Re: [Non-DoD Source] Jaimie sent you 2020072 8-6-21 Transport Housing DRB Site Plan Submittal.pdf via WeTransfer

Hello Jaimie,
The files will not open. I'll check with IT later today and see if they have a fix.

Best regards,
Janet Cunningham-Stephens
Lead Community Planner
Netcentric Technology, LLC/ASRCfederal

Kirtland AFB, Albuquerque NM

janet.cunningham-stephens.ctr@us.af.mil

(505) 853-2747

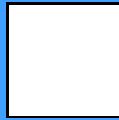
From: WeTransfer <noreply@wetransfer.com>

Sent: Monday, September 27, 2021 9:54 AM

To: CUNNINGHAM-STEPHENS, JANET L CTR USAF AFGSC 377 MSG/CEN-CP <janet.cunningham-stephens.ctr@us.af.mil>

Subject: [Non-DoD Source] Jaimie sent you 2020072 8-6-21 Transport Housing DRB Site Plan Submittal.pdf via WeTransfer

0/0



jgarcia@tierrawestllc.com
sent you 2020072 8-6-21 Transport
Housing DRB Site Plan Submittal.pdf

2 items, 45.9 MB in total • Expires on 27 September, 2022

2020072 8-6-21 Transport Housing DRB Site Plan Submittal.pdf Good Morning Janet- Per our phone conversation on the Transport Housing project, i have attached the DRB Site Plan Submittal as well as City of Albuquerque's Planning Department Comments for your review. I have highlighted in the comments letter the section indicating we contact Kirkland Airt Force Base Community planning to verify the process of moving further for DRB site plan approval. I have copied Vinny Perea, the Engineer involved with project if you have any questions.

Thank you.

Jaimie Garcia

jgarcia@tierrawestllc.com

505-858-3100

Vinny Perea

vperea@tierrawestllc.com

505-858-3100

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2 items

2020072 8-6-21 Transport Housing DRB Site Plan Submittal.pdf

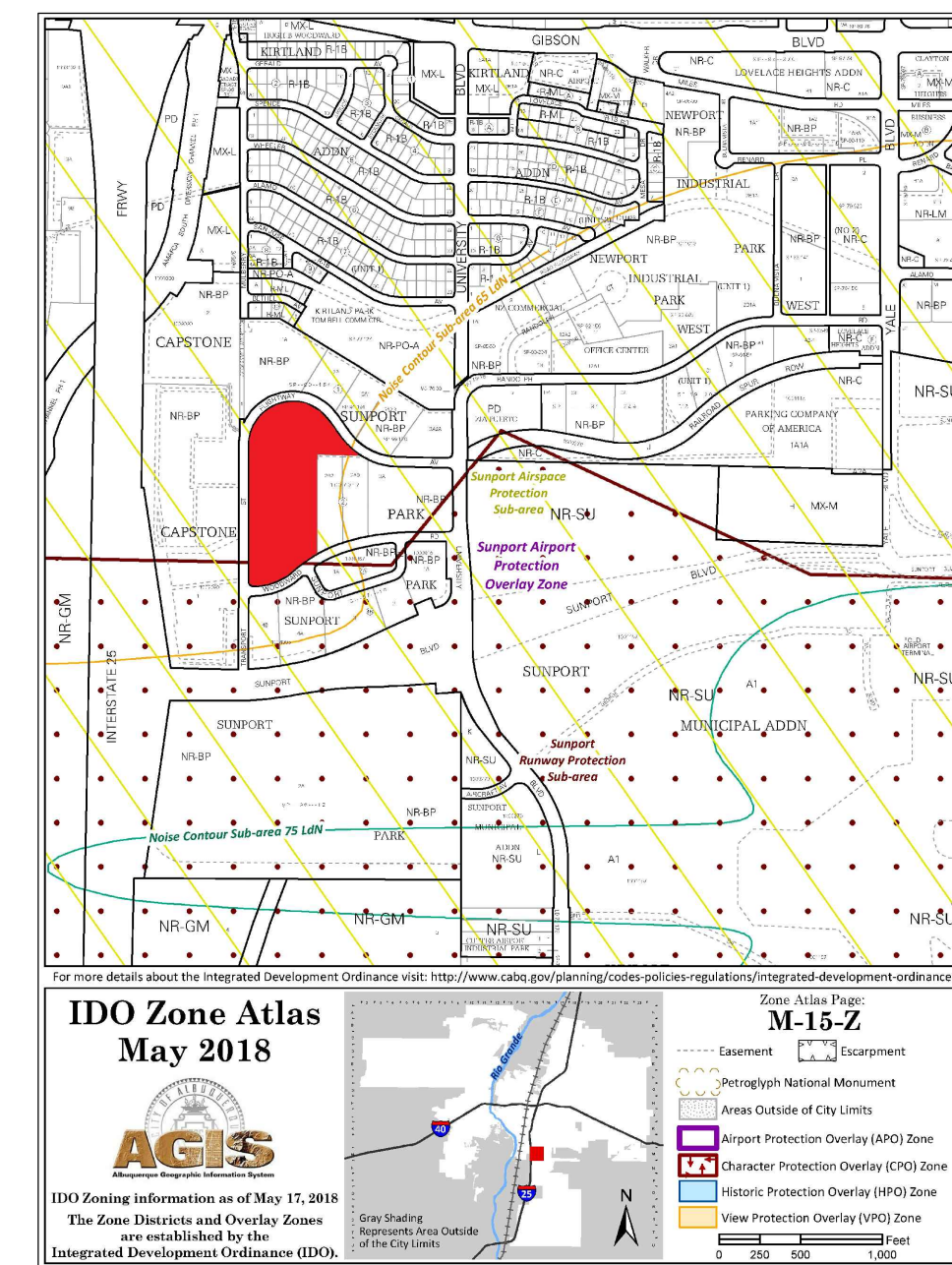
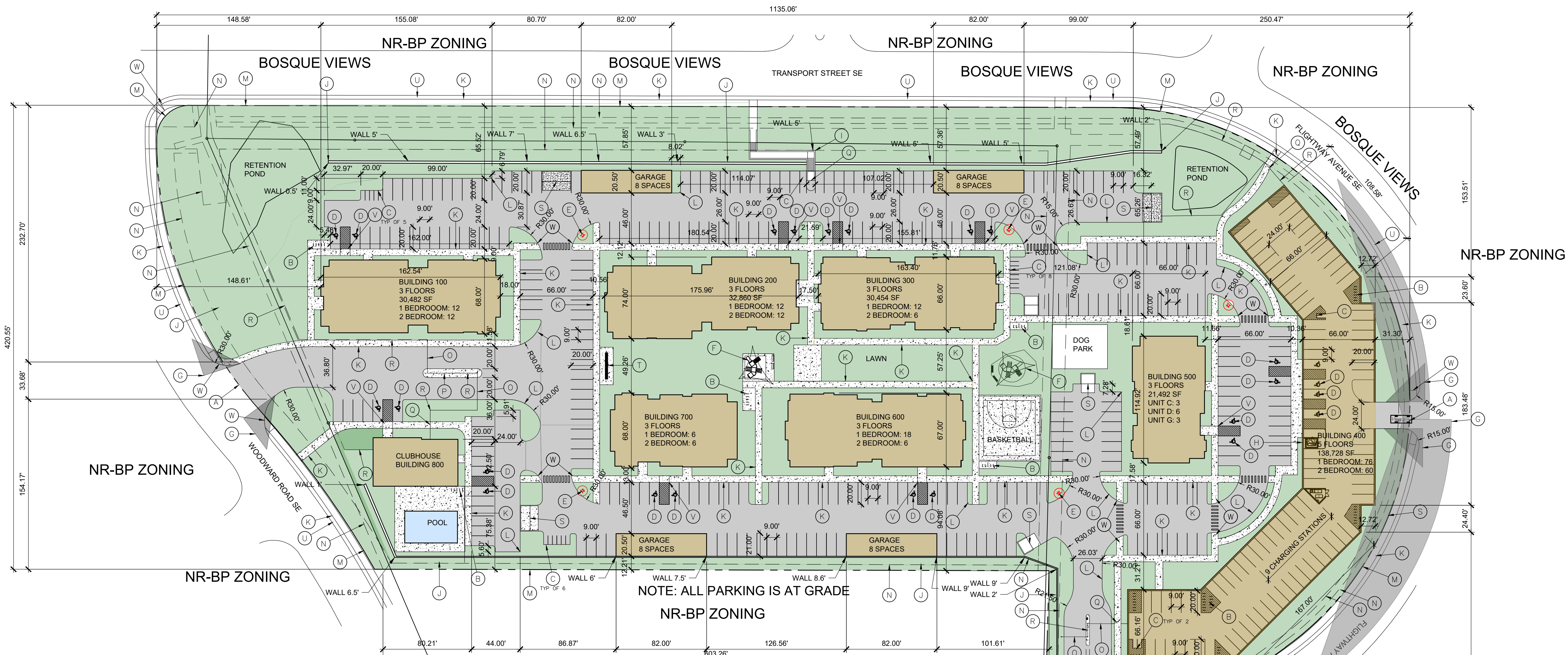
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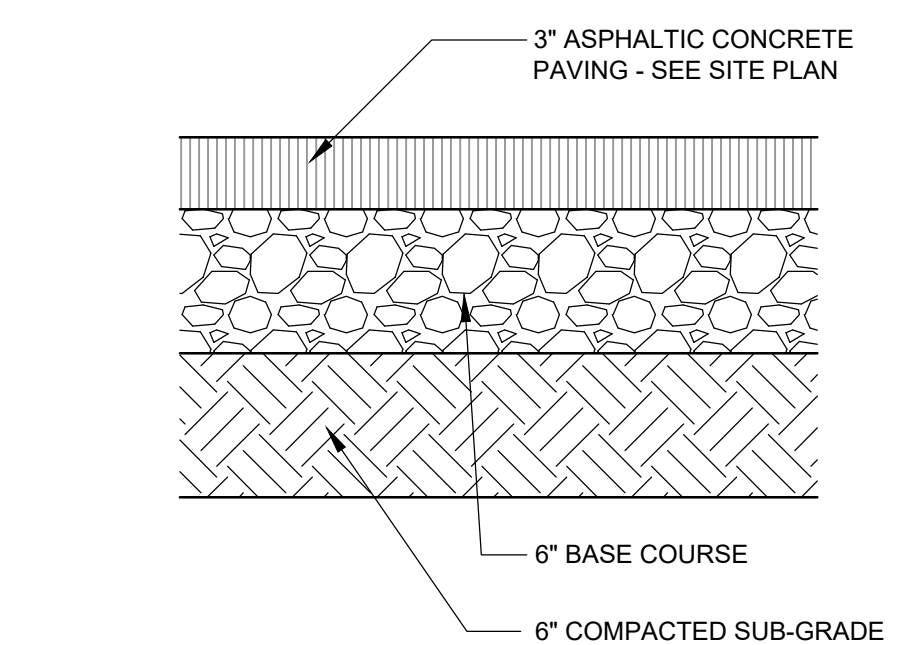
61.9 KB

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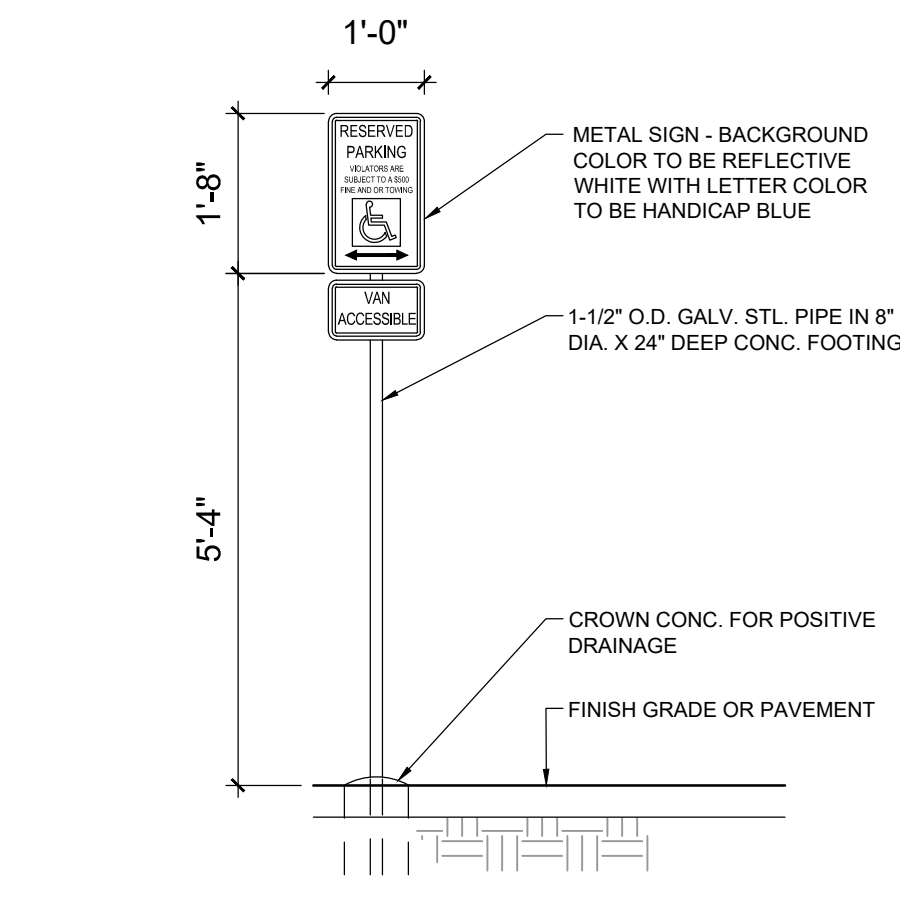


- KEYED NOTES**
- A. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
 - B. BIKE RACK, REF DETAIL THIS SHEET
 - C. MOTORCYCLE PARKING REF DETAIL SHEET A-002
 - D. H.C. PARKING SPACE WITH PAVEMENT MARKING & SIGN, REF DETAIL ON A-002
 - E. NEW FIRE HYDRANT
 - F. PLAYGROUND EQUIPMENT
 - G. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLES
 - H. FIRE DEPT. CONNECTION
 - I. STAIRS, REF DETAIL AS / A-002 AND A1 / A-002
 - J. CMU WALL
 - K. NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE. REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430E WITH TURN DOWN EDGE.
 - L. HEADER CURB, REF DETAIL THIS SHEET
 - M. PROPERTY LINE
 - N. EASEMENT
 - O. VEHICULAR GATE
 - P. KNOX BOX
 - Q. 4' PERSONNEL GATE
 - R. SECURITY FENCE
 - S. REFUSE ENCLOSURE, REF DETAIL THIS SHEET
 - T. MAILBOXES
 - U. 3'-8" LANDSCAPE BUFFER
 - V. CURB RAMP, REF COA STANDARD DETAIL 2443
 - W. CURB RAMP, REF COA STANDARD DETAIL 2442



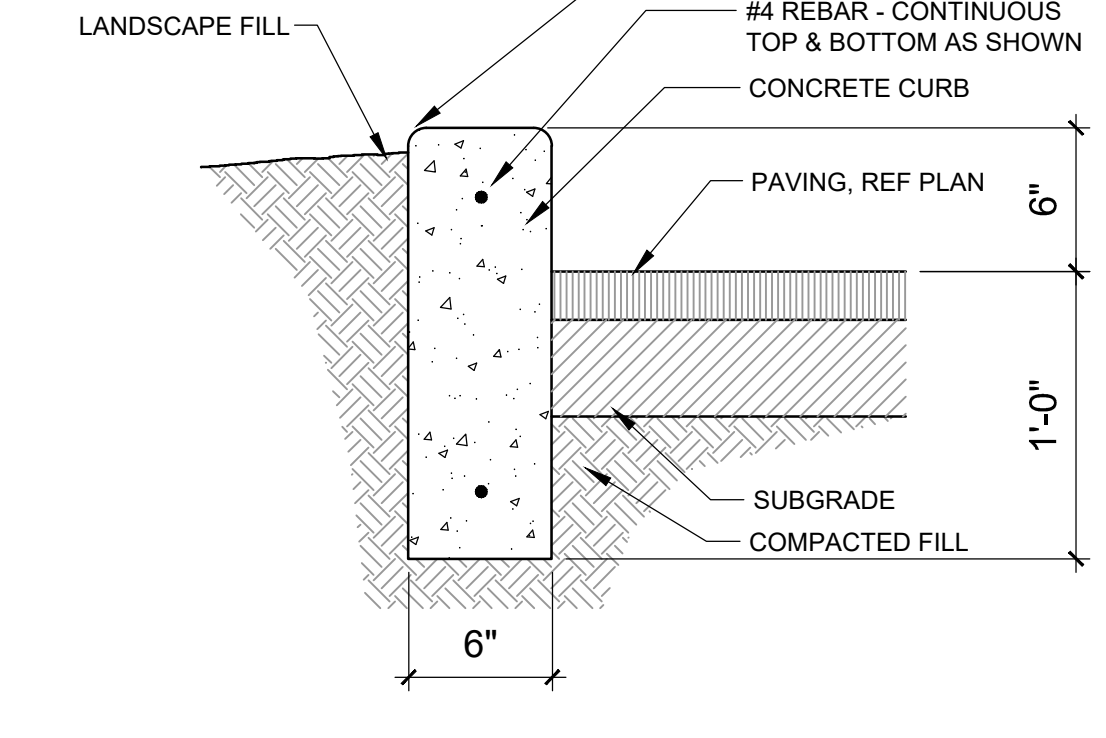
PAVING SECTION

SCALE: NTS



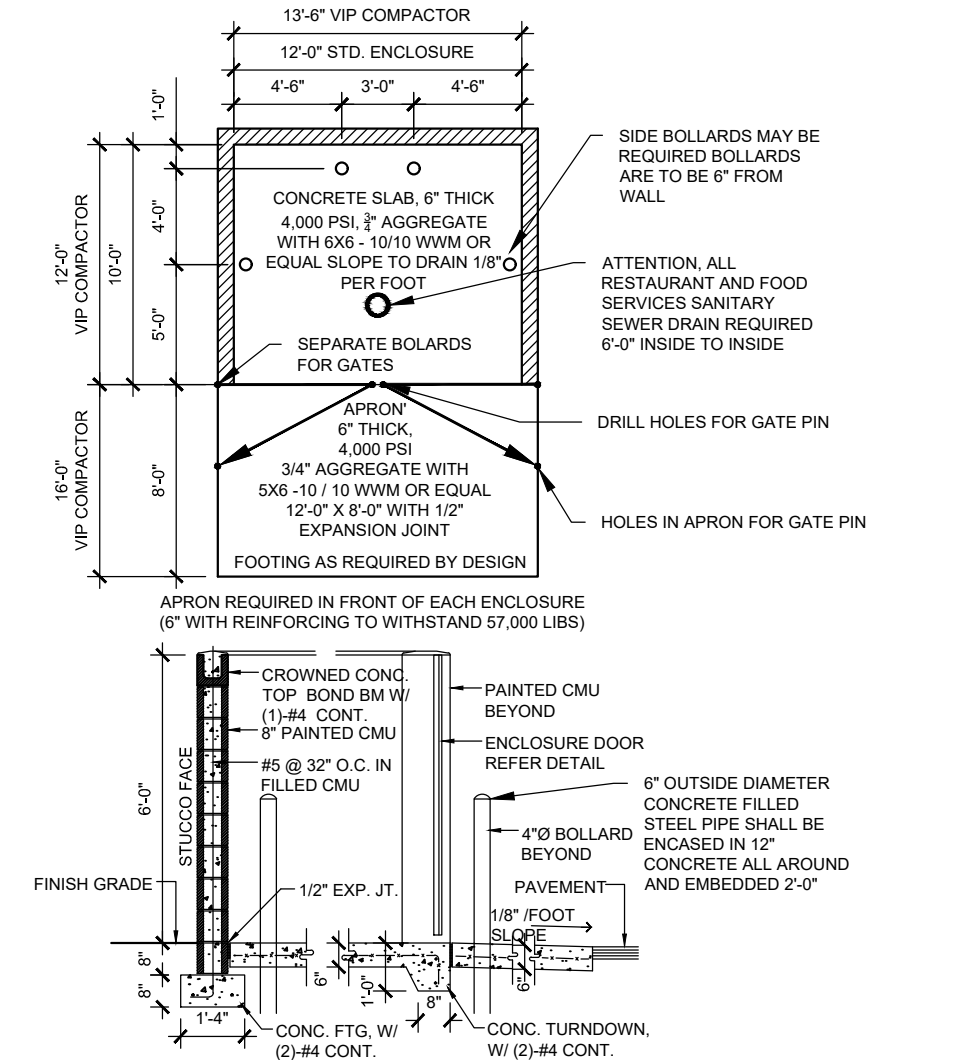
HC SIGN

SCALE: NTS



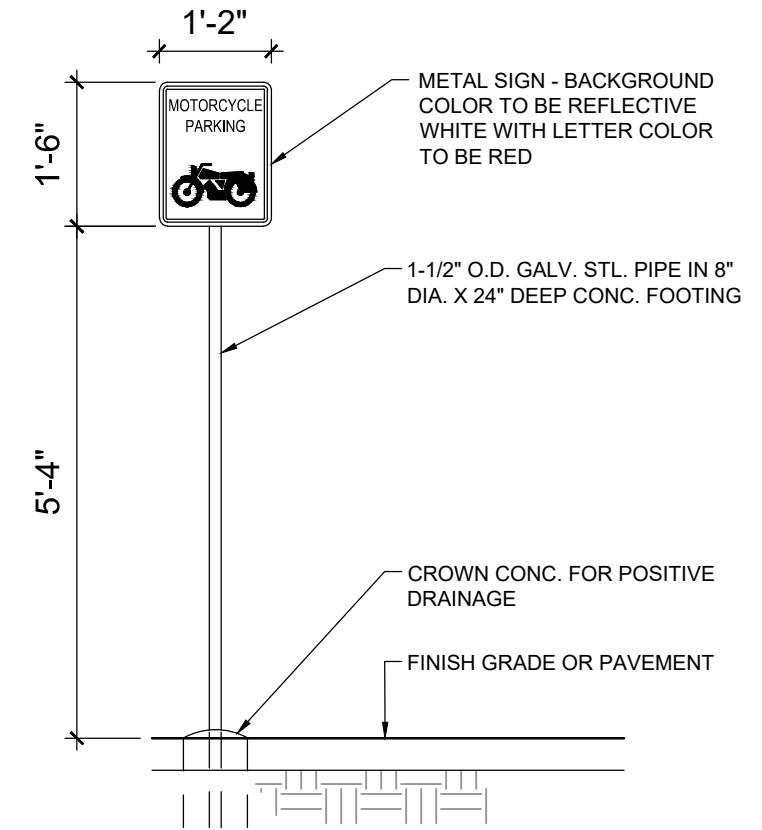
CURB DETAIL

SCALE: NTS



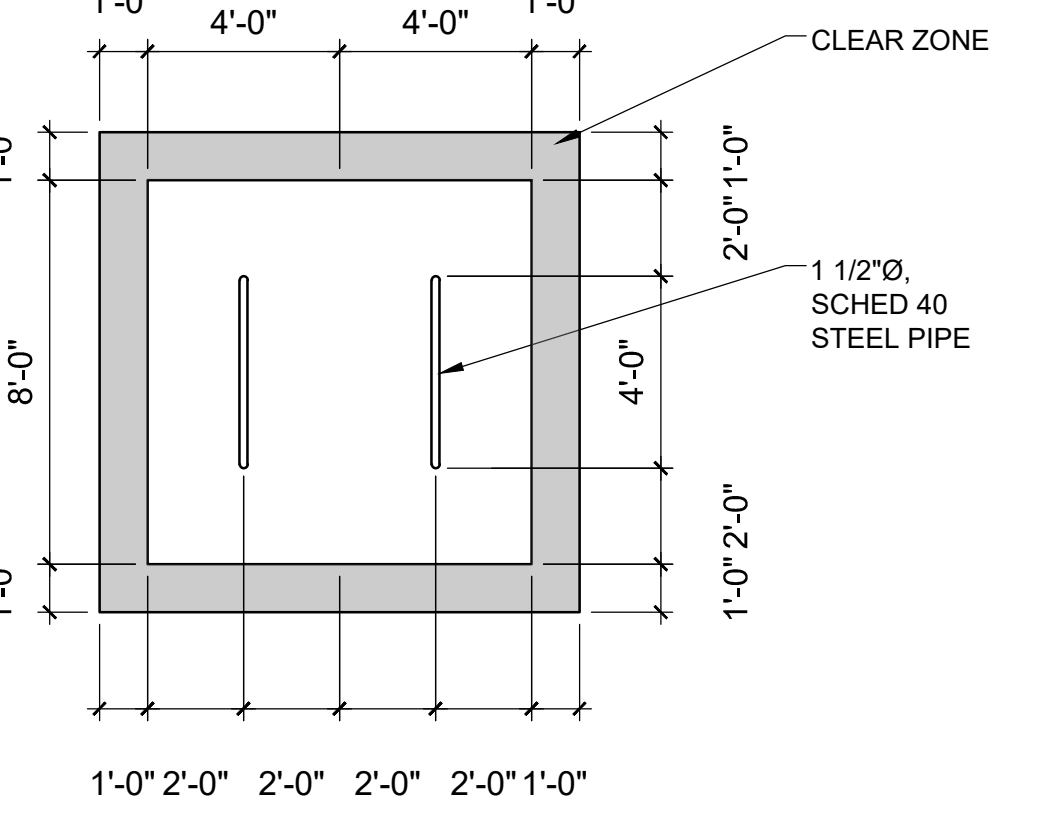
REFUSE ENCLOSURE

SCALE: 1/8" = 1'-0"



MOTORCYCLE SIGN

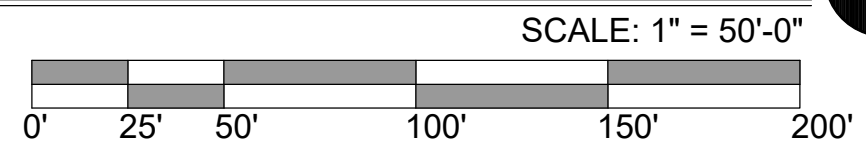
SCALE: 1/2" = 1'-0"



BIKE PARKING

SCALE: 1/4" = 1'-0"

SITE PLAN



SCALE: 1" = 50'-0"

NOTE:
 ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.
 LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 ALL PAVING SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.
 ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).
 ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.
 BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.
 WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.
 PROVIDE ELECTRIC VEHICLE CHARGER AT EACH BAY OF LEASED GARAGES

PARKING:
 MULTI-FAMILY DWELLING: 256 X 1.5 = 384 SPACES
 LEASING OFFICE 3,300 SF X 0.0035 = 11 SPACES REQUIRED
 TOTAL SPACES REQUIRED = 395 SPACES
 SPACES PROVIDED = 403 SPACES
 395 SPACES X 2% = 8 CHARGING SPACES REQUIRED, 41 PROVIDED

HC REQUIRED: 5 STANDARD, 4 VAN / 24 VAN ACCESSIBLE PROVIDED
 MOTORCYCLE PARKING 301-500 SPACES: 7 SPACES REQUIRED / 22 PROVIDED
 BIKE PARKING 10% OF 395: 40 REQUIRED
 BIKE PARKING PER PREVIOUSLY APPROVED SITE PLAN 1 PER UNIT = 256
 70 SPACES ON SITE PLAN, 186 PROVIDED IN BUILDINGS

IDO TABLE 5-1-2 OPEN SPACE:
 1 BEDROOM: 148 EA X 200SF = 29,600 SF
 2 BEDROOM: 108 EA X 250SF = 27,000 SF
 TOTAL REQUIRED = 56,600 SF
 TOTAL PROVIDED = 104,771 SF

GROSS LOT AREA = 465,830 SF
BUILDING FOOTPRINT = 100,706 SF
NET LOT AREA = 365,124 SF
REQUIRED LANDSCAPE AREA @ 15% = 54,768 SF ; 104,771 SF PROVIDED

UPC: 101505514525430415
LEGAL: LOT 1A, BLOCK 2, SUNPORT PARK
ZONING: NR-BP
ZONE ATLAS PAGE: M15

PROJECT NUMBER: 2021-005459
 APPLICATION NUMBER: SI-2021-01248

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is and Infrastructure List required () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|--|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Department | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| Environmental Health | Date |
| Solid Waste Management | Date |
| Code Enforcement | Date |
| Albuquerque Metropolitan Flood Control Authority | Date |
| DRB Chairperson, Planning Department | Date |
| Environmental Health, if necessary | Date |

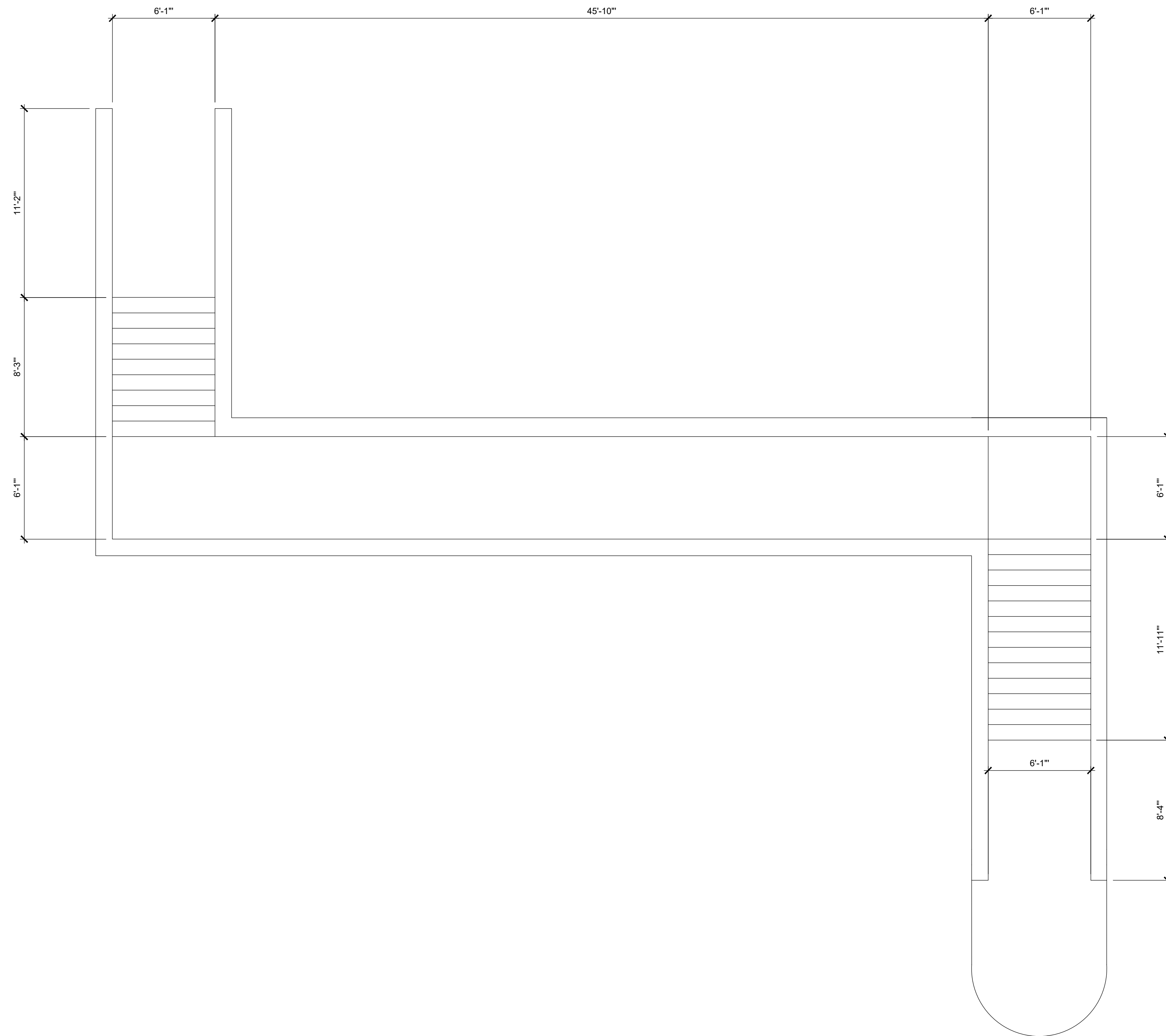
SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS
 7604 RIO PENASCO, NW
 ALBUQUERQUE, NM 87129
 505.401.7575

TRANSPORT APARTMENTS
 3000 TRANSPORT ST SE
 ALBUQUERQUE, NM 87106

DRAWING TITLE
SITE PLAN

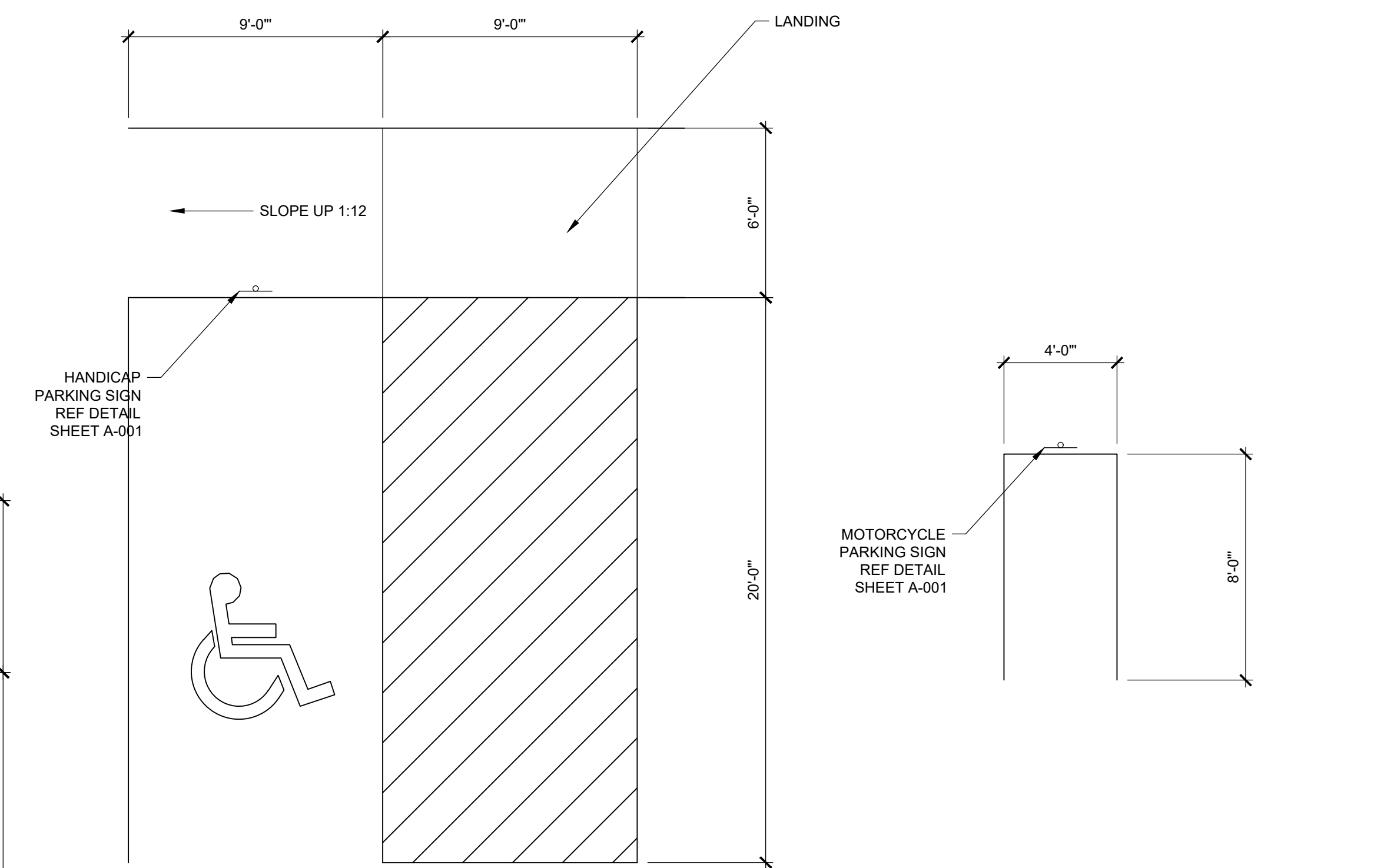
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| DESIGNED | PROJECT NO |
| DRAWN | SCALE |
| CHECKED | DRAWING NO |
| REVIEWED | A-001 |
| DATE 9/30/2021 | OF |

STATE OF NEW MEXICO
 SCOTT C. ANDERSON
 No. 4341
 09/30/2021
 REGISTERED ARCHITECT



A1 ENLARGED STAIR PLAN

SCALE: 1/4" = 1'-0"

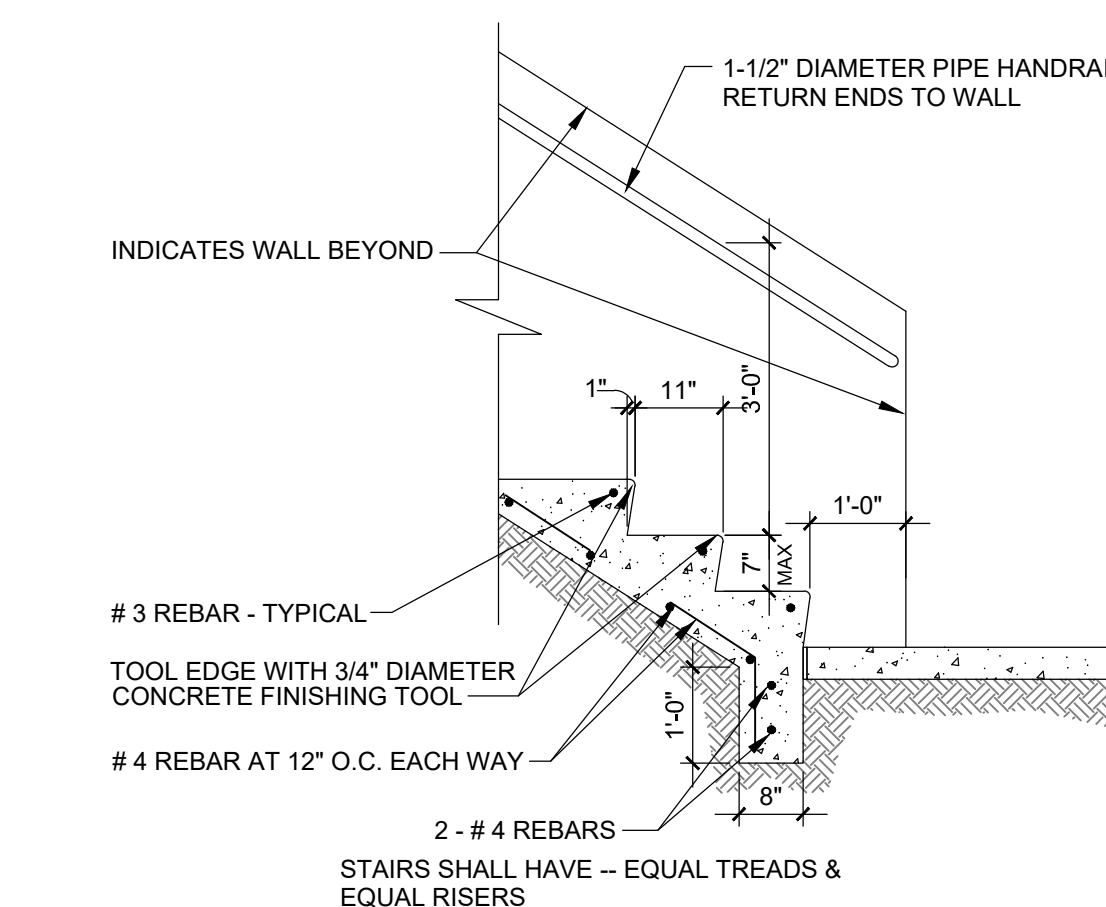


B5 TYPICAL HC PARKING STALL

SCALE: 1/4" = 1'-0"

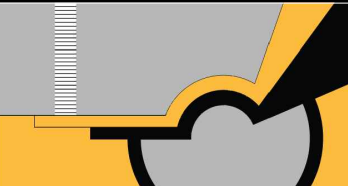

B6 TYPICAL MC PARKING

SCALE: 1/4" = 1'-0"

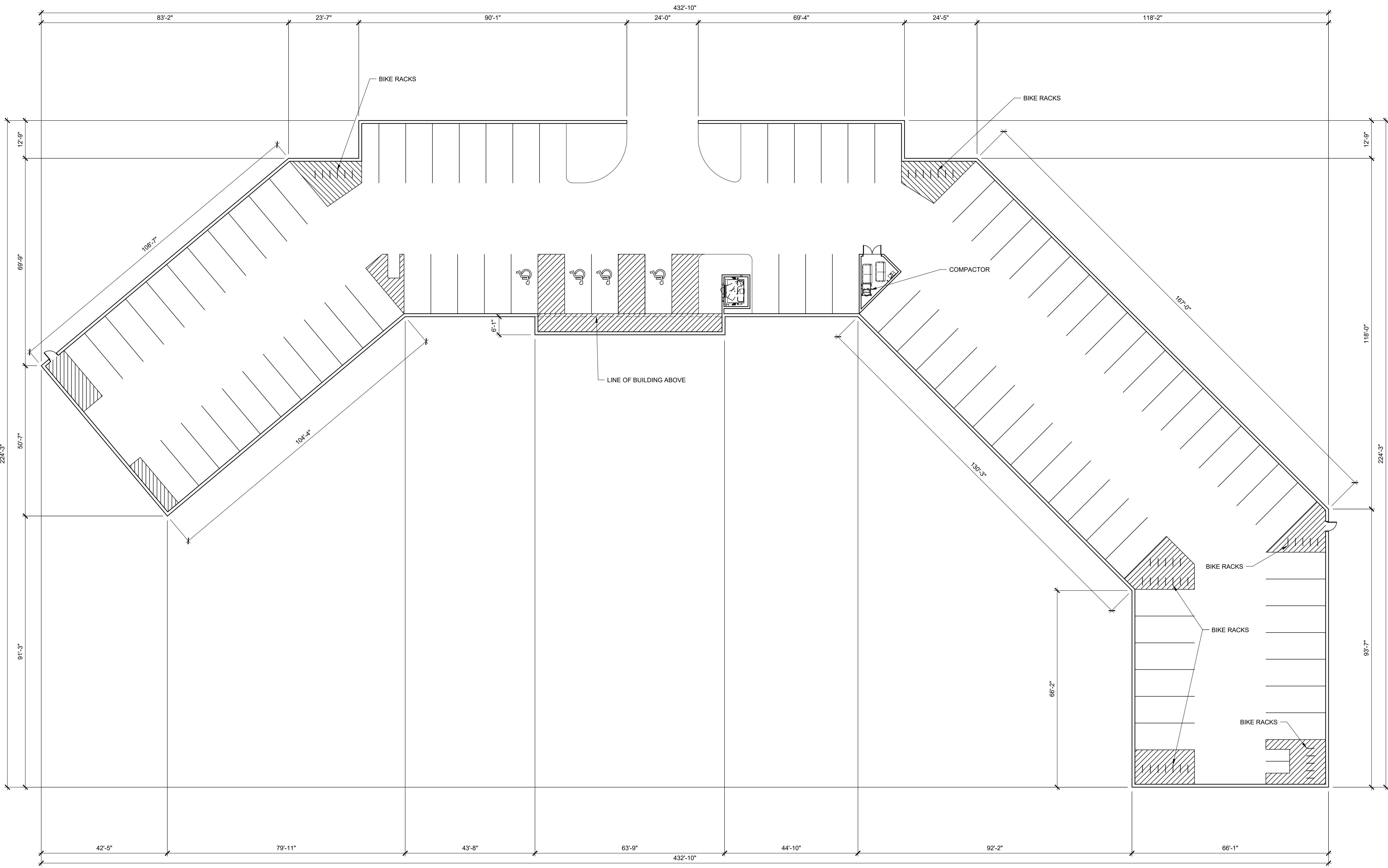


A5 STAIR DETAIL

SCALE: 1/2" = 1'-0"

| | | |
|--|----------|--------------|
|  <p>SCOTT C. ANDERSON & ASSOCIATES architects 7604 RIO PENASCO, NW ALBUQUERQUE, NM 87129 scott@scottcanderson.com 505.401.7575</p> | | |
| <p>TRANSPORT APARTMENTS 3000 TRANSPORT ST SE ALBUQUERQUE, NM 87106</p> | | |
| <p>DRAWING TITLE: SITE DETAILS</p> | | |
| <p>SEAL</p>  | DESIGNED | PROJECT NO. |
| | DRAWN | SCALE |
| | CHECKED | DRAWING NO. |
| | REVIEWED | A-002 |
| DATE: 09/30/2021 | | OF |

- GENERAL NOTES:
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
 - ALL WORK TO COMPLY WITH LATEST VERSIONS OF THE IBC, AND NFPA.
 - PROVIDE BLOCKING IN WALLS FOR INSTALLATION OF GRAB BARS, TOWEL RACKS AND SHELVES.
 - PROVIDE BLOCKING IN WALLS AS REQUIRED BY FHA AS REQUIRED FOR THE INSTALLATION OF CABINETS AND UNIT FINISHES.
 - ALL WORK SHALL BE PERFORMED IN A SATISFACTORY AND WORKMANLIKE MANNER. DEFICIENT WORK AND OR MATERIALS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION AS DIRECTED BY THE OWNER
 - ALL GYPSUM BOARD TO BE 5/8" TYPE "X" UNLESS NOTED OTHERWISE.
 - MOISTURE RESISTANT GYPSUM BOARD SHALL BE USED IN RESTROOM AND OTHER WET AREAS, (I.E. BEHIND ELECTRIC WATER COOLERS).
 - SIGNAGE FOR INDIVIDUAL AREAS AND ROOMS TO BE PER OWNER'S SPECIFICATIONS AND COORDINATED BY CONTRACTOR.
 - FOR FIRE EXTINGUISHER CABINET REFERENCE DETAIL ON SHEET A502.
 - REFERENCE SHEET A410 FOR FIXTURE MOUNTING HEIGHTS.
 - CONTRACTOR (HARDWARE SUPPLIER) SHALL CAREFULLY REVIEW CONDITIONS AND DETAILS AT EACH OPENING AND FURNISH COMPLETE ITEMS OF HARD-WARE W/ APPROPRIATE FASTENERS AND OTHER ACCESSORY ITEMS AS REQUIRED TO PROVIDE THE INDICATED, WHETHER OR NOT THE ACCESSORY ITEMS ARE CONTRACTOR TO MEET W/ OWNER TO COORDINATE ALL KEYING OF LOCKS.
 - PROVIDE SILENCERS ON ALL DOORS. ALL FINISHES ARE US26D OR TO MATCH SAME, UNLESS NOTED OTHERWISE.
 - HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT FINCHING, OR TWISTING OF THE WRIST TO OPERATE. THEY SHALL BE MOUNTED NO HIGHER THAN A MAXIMUM HEIGHT OF 48" A.F.F.
 - THE MAXIMUM FORCE, EXPRESSED IN POUNDS-FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS: EXTERIOR HINGED DOORS: 8.5 LBF INTERIOR HINGED DOORS: 5.0 LBF
 - ALL EXTERIOR DOORS TO HAVE WEATHER STRIPPING AND SWEEP.
 - HARDWARE TO BE COORDINATED AND APPROVED BY OWNER PRIOR TO INSTALLATION. FINISH IS BRUSHED CHROME. ALL LOCKS TO BE ON MASTERKEY SYSTEM, AND ALL HARDWARE TO BE SCHLAGE D-SERIES OR EQUAL.
 - REFERENCE ENLARGED UNIT PLANS FOR TOILET FIXTURES, TOILET ACCESSORIES, THEIR MOUNTING LOCATIONS AND MOUNTING HEIGHTS.
 - ALL FIRE EXTINGUISHERS TO BE 2A-10BC SURFACE MOUNTED TYPE ABC.



| No | Revision | Item | Date |
|----|----------|------|------|
| | | | |
| | | | |

SCOTT C. ANDERSON & associates architects
 3104 RIO PUEBLO BLVD
 ALBUQUERQUE, NM 87120
 505.491.7575

TRANSPORT APARTMENTS
 2900 TRANSPORT ST SE
 ALBUQUERQUE, NM 87106

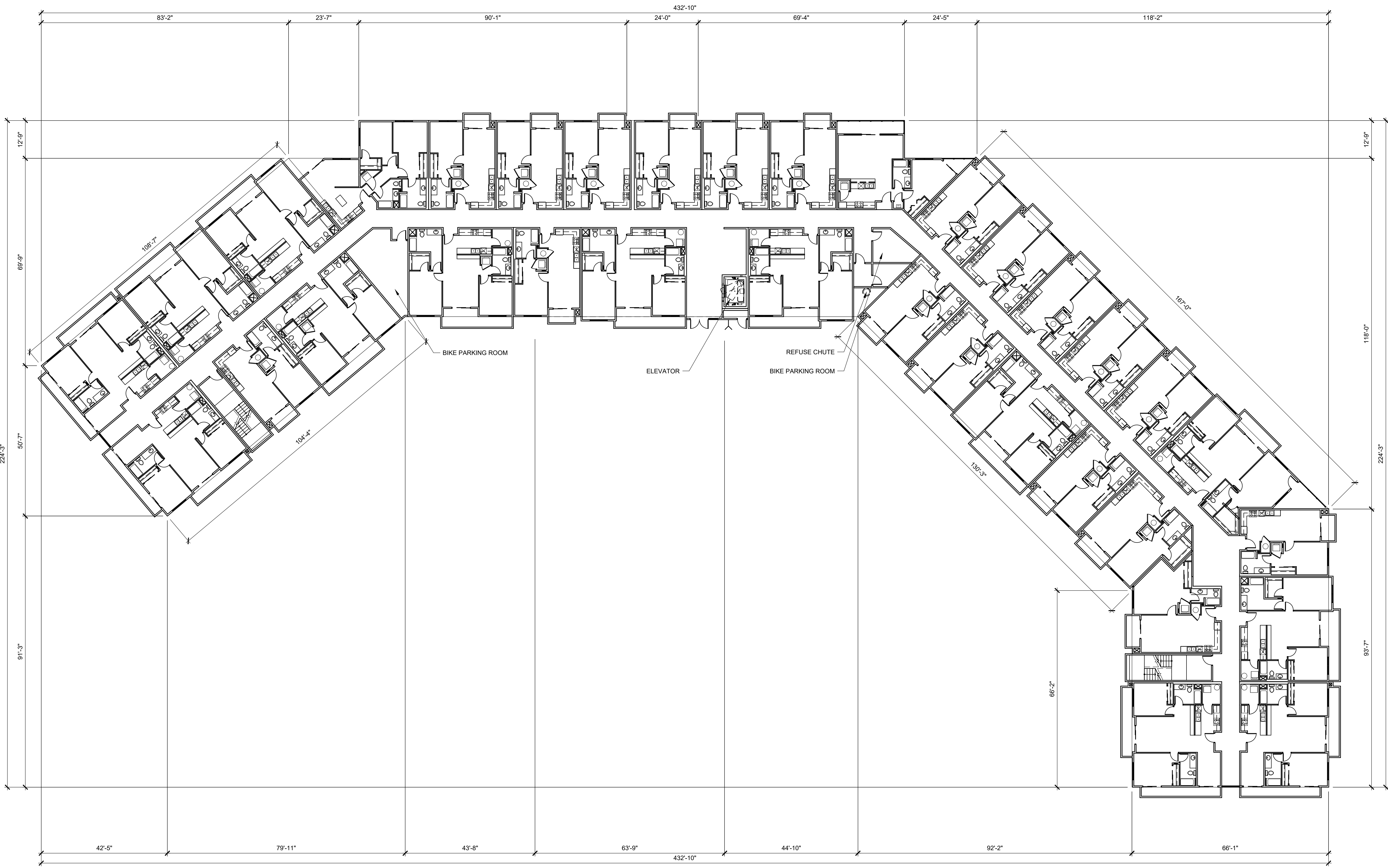
DRAWING TITLE
BUILDING 400
FIRST LEVEL FLOOR PLAN

| | | |
|-----------------|----------|----------------|
| | DESIGNED | PROJECT NO |
| | DRAWN | SCALE |
| | CHECKED | DRAWING NO |
| | REVIEWED | A-104.1 |
| DATE 09/24/2021 | | |

FIRST LEVEL FLOOR PLAN BUILDING 400

SCALE: 1/16" = 1'-0"

- GENERAL NOTES:
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
 - ALL WORK TO COMPLY WITH LATEST VERSIONS OF THE IBC, AND NFPA.
 - PROVIDE BLOCKING IN WALLS FOR INSTALLATION OF GRAB BARS, TOWEL RACKS AND SHELVES.
 - PROVIDE BLOCKING IN WALLS AS REQUIRED BY FHA AS REQUIRED FOR THE INSTALLATION OF CABINETS AND UNIT FINISHES.
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 - MOISTURE RESISTANT GYPSUM BOARD SHALL BE USED IN RESTROOM AND OTHER WET AREAS, (I.E. BEHIND ELECTRIC WATER COOLERS).
 - SIGNAGE FOR INDIVIDUAL AREAS AND ROOMS TO BE PER OWNER'S SPECIFICATIONS AND COORDINATED BY CONTRACTOR.
 - FOR FIRE EXTINGUISHER CABINET REFERENCE DETAIL ON SHEET A502.
 - REFERENCE SHEET A410 FOR FIXTURE MOUNTING HEIGHTS.
 - CONTRACTOR (HARDWARE SUPPLIER) SHALL CAREFULLY REVIEW CONDITIONS AND DETAILS AT EACH OPENING AND FURNISH COMPLETE ITEMS OF HARD-WARE W/ APPROPRIATE FASTENERS AND OTHER ACCESSORY ITEMS AS REQUIRED TO PROVIDE THE INDICATED, WHETHER OR NOT THE ACCESSORY ITEMS ARE CONTRACTOR TO MEET W/ OWNER TO COORDINATE ALL KEYING OF LOCKS.
 - PROVIDE SILENCERS ON ALL DOORS. ALL FINISHES ARE US26D OR TO MATCH SAME, UNLESS NOTED OTHERWISE.
 - HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. THEY SHALL BE MOUNTED NO HIGHER THAN A MAXIMUM HEIGHT OF 48" A.F.F.
 - THE MAXIMUM FORCE, EXPRESSED IN POUNDS-FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS: EXTERIOR HINGED DOORS: 8.5 LBF. INTERIOR HINGED DOORS: 5.0 LBF
 - ALL EXTERIOR DOORS TO HAVE WEATHER STRIPPING AND SWEEP.
 - HARDWARE TO BE COORDINATED AND APPROVED BY OWNER PRIOR TO INSTALLATION. FINISH IS BRUSHED CHROME. ALL LOCKS TO BE ON MASTERKEY SYSTEM, AND ALL HARDWARE TO BE SCHLAGE D-SERIES OR EQUAL.
 - REFERENCE ENLARGED UNIT PLANS FOR TOILET FIXTURES, TOILET ACCESSORIES, THEIR MOUNTING LOCATIONS AND MOUNTING HEIGHTS.
 - ALL FIRE EXTINGUISHERS TO BE 2A-10BC SURFACE MOUNTED TYPE ABC.



| No | Revision Item | Date |
|----|---------------|------|
| | | |
| | | |

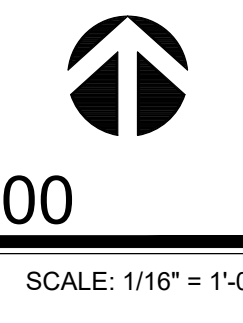
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 scott@scottcanderson.com 505.491.7575

TRANSPORT APARTMENTS
 2900 TRANSPORT ST SE
 ALBUQUERQUE, NM 87106

DRAWING TITLE
**BUILDING 400
 SECOND LEVEL FLOOR PLAN**

| | | |
|-----------------|----------|----------------|
| | DESIGNED | PROJECT NO |
| | DRAWN | SCALE |
| | CHECKED | DRAWING NO |
| | REVIEWED | A-104.2 |
| DATE 09/24/2021 | | |

SECOND LEVEL FLOOR PLAN BUILDING 400



SCALE: 1/16" = 1'-0"

Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. ***The project architect and landscape architect must complete the evaluation and sign the end of this form.***

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.

Section A.

General Site Arrangement and Building Orientation:

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.
Achieved Achieved in part Not evaluated
2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.
Achieved Achieved in part Not evaluated
3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.
Achieved Achieved in part Not evaluated

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Agreed Disagreed Not sure

5. Design should allow for natural ventilation as much as possible.

Agreed Disagreed Not sure

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Agreed Disagreed Not sure

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Agreed Disagreed Not sure

8. North facing windows are encouraged as they require little to no shading.

Agreed Disagreed Not sure

9. Any west facing building entries and windows should mitigate solar effects.

Agreed Disagreed Not sure

Outdoor Elements (Integration):

10. Site plan design should spatially connect outdoor and indoor areas.

Agreed Disagreed Not sure

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Agreed Disagreed Not sure

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Agreed Disagreed Not sure

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Agreed Disagreed Not sure

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Agreed Disagreed Not sure

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Yes No Not Applicable

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Yes No Not Applicable

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Yes No Not Applicable

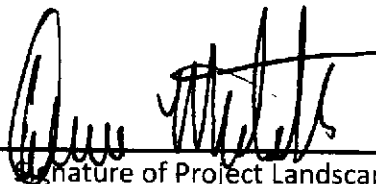
Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Yes No Not Applicable

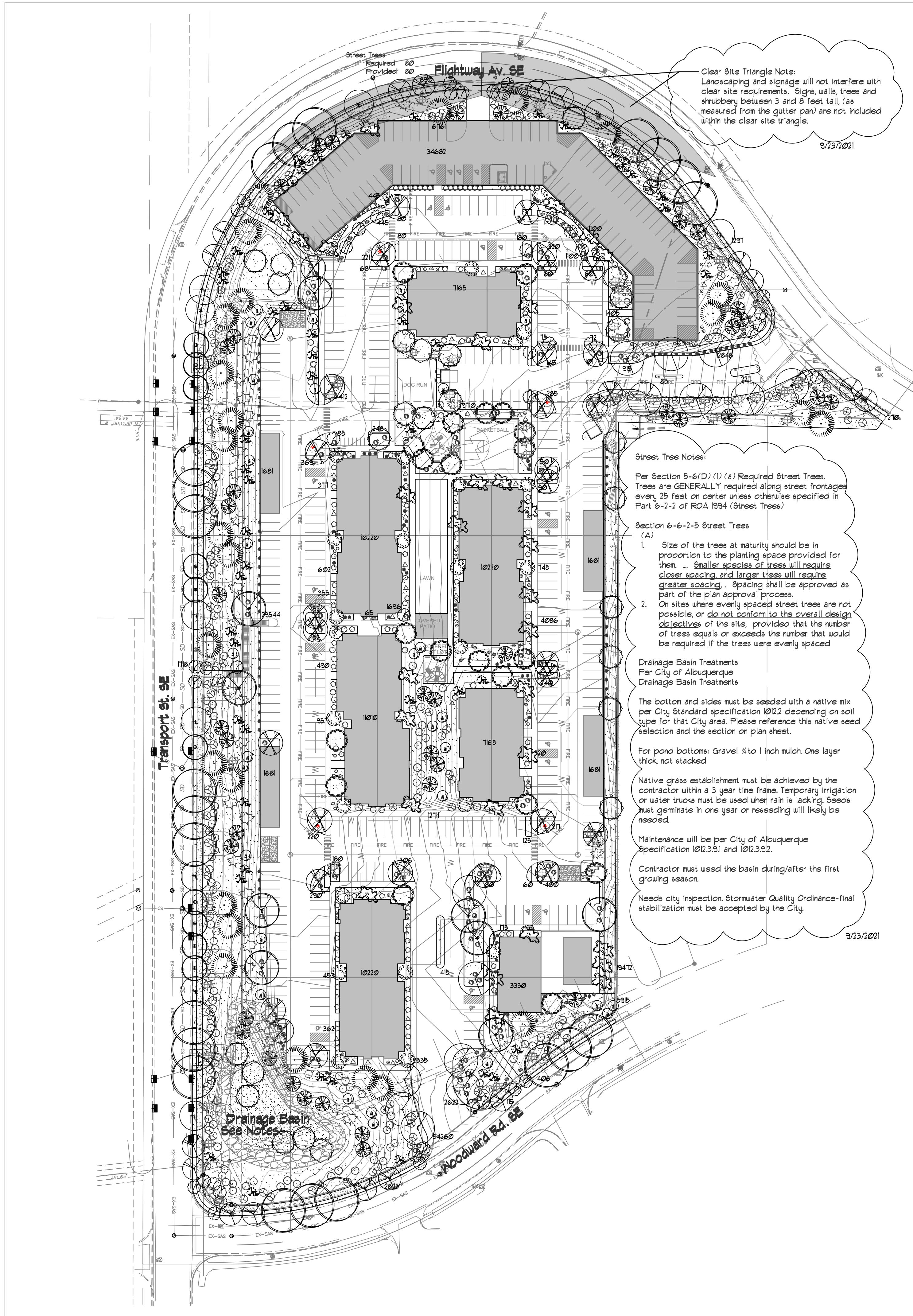
By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project _____ and Application No _____.

Signature of Project Architect/License No.



LA 239

Signature of Project Landscape Architect/License No.



Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.
9/23/2021

Street Tree Notes:
Per Section 5-6(D) (1) (a) Required Street Trees. Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1934 (Street Trees)

Section 6-6-2-5 Street Trees (A)
1. Size of the trees at maturity should be in proportion to the planting space provided for them. Smaller species of trees will require closer spacing and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

Drainage Basin Treatments
Per City of Albuquerque
Drainage Basin Treatments

The bottom and sides must be seeded with a native mix per City Standard specification 1022 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.

For pond bottoms: Gravel 1/2 to 1 inch mulch. One layer thick, not stacked

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

Maintenance will be per City of Albuquerque Specification 1023.9.1 and 1023.9.2.

Contractor must weed the basin during/after the first growing season.

Needs city inspection. Stormwater Quality Ordinance-final stabilization must be accepted by the City.

LANDSCAPE LEGEND

| QTY | SIZE | COMMON/BOTANICAL | H2O USE |
|---|--------------|---|---------------------|
| Trees | | | |
| 11 | 2" cal | Hackberry <i>Celtis reticulata</i> | 25x25 675 10675 M+ |
| 10 | 2" cal | Bigtooth Maple <i>Acer platanoides 'Deborah'</i> | 625 6750 12500 M+ |
| 10 | 2" cal | Sensation Maple <i>Acer negundo 'Sensation'</i> | 40x35 1225 12500 M+ |
| 14 | 2" cal | Chinese Pistache <i>Pistacia chinensis</i> | 40x35 1225 11500 M+ |
| 22 | 2" cal | Honey Locust <i>Gleditsia triacanthos</i> | 50x45 2025 44550 M |
| 9 | 2" cal | Purple Robe Locust <i>Robinia pseudoacacia</i> | 40x35 1225 11025 M+ |
| 31 | 2" cal | Frontier Elm <i>Ulmus 'Frontier'</i> | 20x25 625 19375 M+ |
| 24 | 2" cal | New Mexico Olive <i>Ulmus 'Frontier'</i> | 15x15 225 5400 M |
| 21 | 2" cal | Fragrant Ash <i>Fraxinus cuspidata</i> | 20x20 400 8400 M |
| 26 | 15 Gal | Desert Willow <i>Chilopsis linearis</i> | 20x25 625 16750 M |
| 31 | 15 Gal | Crape Myrtle <i>Lagerstroemia indica</i> Tree Form, 8' ht at planting | 30x20 400 12400 M |
| 48 | 15 Gal | Oklahoma Redbud <i>Cercis reniformis</i> | 15x12 144 6912 M |
| 26 | 6 - 8' | Austrian Pine <i>Pinus nigra</i> | 35x25 675 16750 H |
| 289 Total Trees Tree Coverage 193331 | | | |
| Shrubs & Groundcovers | | | |
| 102 | 5 Gal | India Hawthorne <i>Raphiolepis indica</i> | 3x5 25 2550 M |
| 111 | 5 Gal | Go-Low Sumac <i>Rhus aromatica 'Go-Low'</i> | 3x8 64 1104 L |
| 98 | 5 Gal | Japanese Barberry <i>Berberis thunbergii</i> | 5x5 25 2450 M |
| 38 | 5 Gal | Butterfly Bush <i>Buddleia davidii</i> | 5x5 25 950 M |
| 49 | 5 Gal | Yellow Bird of Paradise <i>Caesalpinia gilliesii</i> | 8x10 100 4900 M |
| 32 | 5 Gal | Rose of Sharon <i>Hibiscus syriacus</i> | 10x10 100 3300 M |
| 41 | 5 Gal | Common Lilac <i>Hibiscus syriacus</i> | 15x15 225 9225 M |
| 34 | 5 Gal | Knock Out Roses <i>Rosa 'Knock Out'</i> | 3x4 16 544 M |
| 30 | 5 Gal | Winter Jasmine <i>Jasminum nudiflorum</i> | 4x2 144 4320 M |
| 12 | 5 Gal | Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i> | 1x12 144 10368 M |
| 32 | 5 Gal | Cherry Sage <i>Salvia greggii</i> | 2x3 9 288 M |
| 75 | 5 Gal | Blue Mist <i>Caryopteris x clandonensis</i> | 3x3 9 675 M |
| 41 | 5 Gal | Fern Bush <i>Chamaebotria millefolium</i> | 5x6 36 1892 L |
| 63 | 5 Gal | Apache Plume <i>Fallugia paradoxa</i> | 6x1 49 3081 L |
| 44 | 5 Gal | Ornamental <i>Chrysothamnus nauseosus</i> | 5x1 49 256 L |
| 80 | 5 Gal | Feather Reed Grass <i>Calamagrostis arundinacea</i> | 25x2 4 320 M |
| 51 | 5 Gal | Dwarf Fountain Grass <i>Pennisetum alopecuroides 'Hormel'</i> | 3x3 9 459 M |
| 999 | Total Shrubs | | 54289 |
| 155 | 2-3cf | Boulders To be placed at contractor discretion | |
| 14405 | | Landscape Gravel / Filter Fabric 3/4" Crushed, Color tbd | |
| 13684 | | Drainage Basin See Notes 2-4" Adobe Rose On all Slopes exceeding 3:1 | |
| 25208 | | Soil Loin Albuquerque Park Blend | |
| 14156 | | Total L5 | |

LANDSCAPE NOTES:
All landscaping for Transport Apartments shall comply with the City of Albuquerque, IDO.

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain all landscaping in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping shall be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all areas unless otherwise designated.

All street trees planted shall be selected from the City of Albuquerque plant palette and sizing list.

Organic mulch is required as ground cover under trees within a 5 foot radius around the tree trunk but not directly against the trunk in these areas, used barrier fabric is prohibited. (see landscape detail sheet)

IRRIGATION NOTES:
Irrigation system shall be designed and installed to be capable of utilizing reclaimed water.

Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owners responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with Trees to receive 1 Netatm spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, primed in place. Netatm shall have emitters 12" o.c. with a flow of 1/2 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Water use calculations shall be developed prior to final approval ensuring with compliance with the Mesa del Sol guidelines for seasonal water use.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others. Irrigation maintenance shall be the responsibility of the Property Owner.

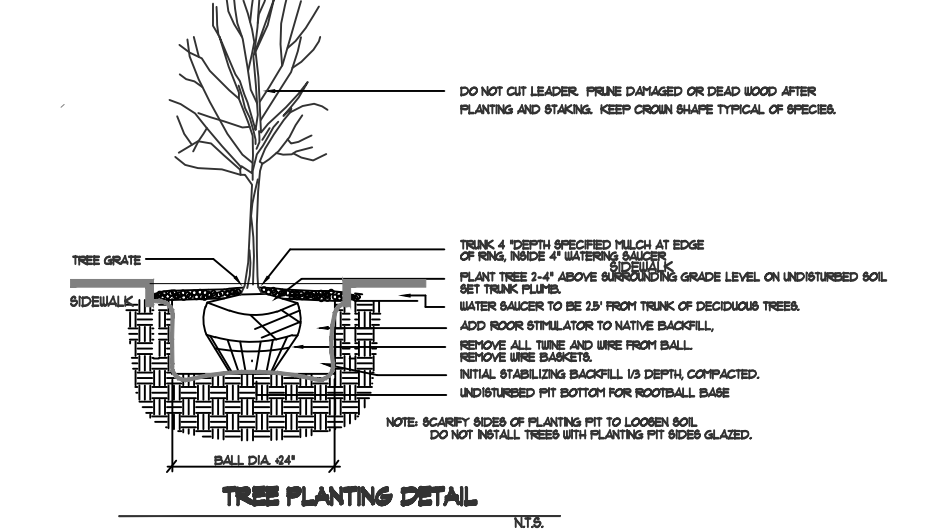
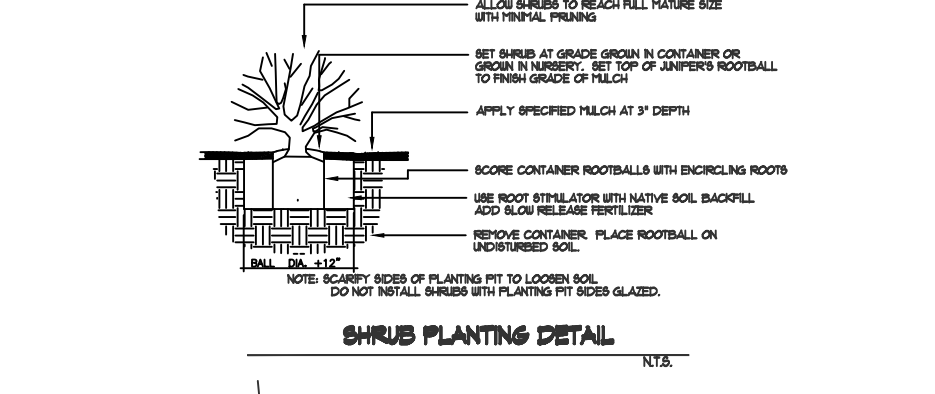
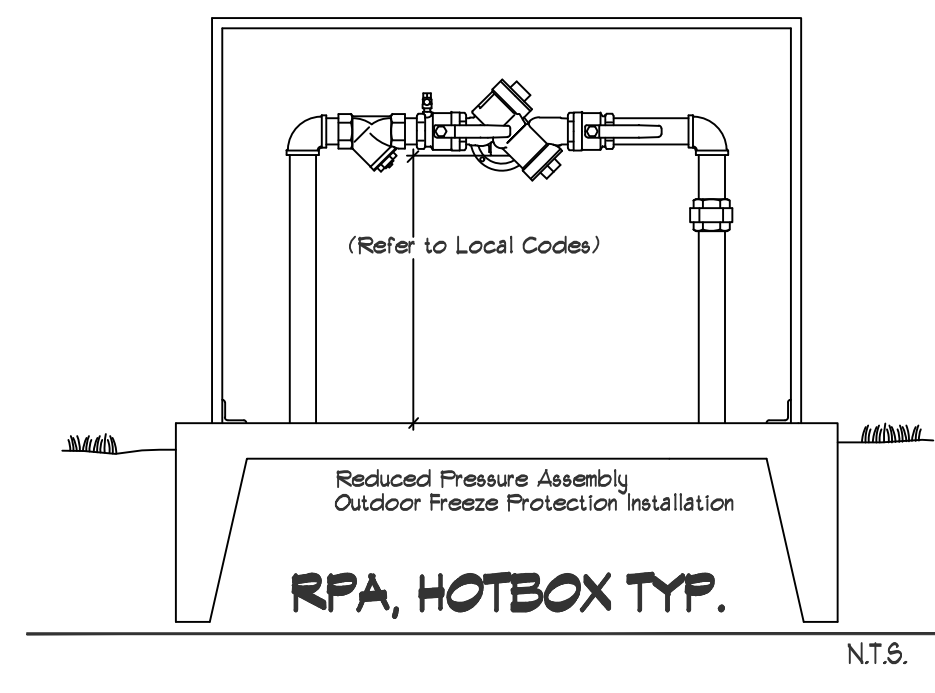
Water and Power source shall be the responsibility of the Developer/Builder.

Irrigation systems shall comply with section 8 of the ABQWA legislation and ordinances (cross connection prevention and control ordinance).

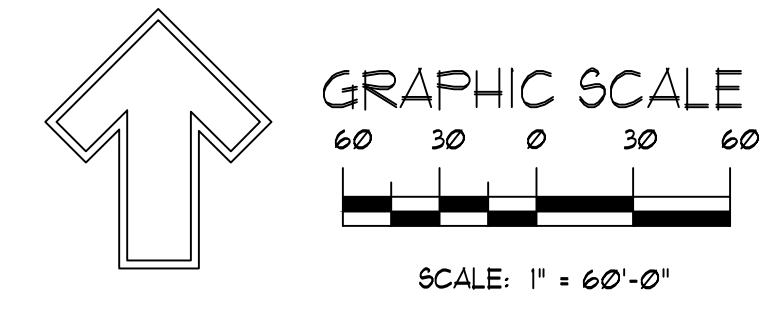
The irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.

LANDSCAPE CALCULATIONS

| | |
|----------------------------------|--------|
| TOTAL LOT AREA (sf) | 465605 |
| TOTAL BUILDING AREA (sf) | 100716 |
| TOTAL LOT AREA (sf) | 364889 |
| LANDSCAPE REQUIREMENT | X 15 |
| TOTAL LANDSCAPE REQUIRED (15%) | 54730 |
| TOTAL ON-SITE LANDSCAPE PROVIDED | 186389 |
| TOTAL LIVE GROUNDCOVER REQUIRED | 198809 |
| TOTAL LIVE GROUNDCOVER PROVIDED | 247625 |



| | |
|---|------------|
| IMPERVIOUS AREAS: | |
| CONCRETE SIDEWALKS | 59,546 SF |
| ASPHALT / PARKING | 156,634 SF |
| PARKING LANDSCAPING | |
| REQUIRED (5%) | 23,945 SF |
| PARKING LANDSCAPING PROVIDED | 156,361 SF |
| PERVIOUS AREAS: | |
| LAUN | 25,208 SF |
| GROUND COVER (GRAVEL / LANDSCAPE) | 167,111 SF |
| PLAYGROUND (WOOD CHIPS) | 4,504 SF |
| 20% OF LANDSCAPE AREA IS ALLOWED TO BE HIGH WATER USE TURF-AREA MAX ALLOWED | 29,613 SF |
| HIGH WATER USE TURF PROVIDED | 25,208 SF |
| REQUIRED STREET TREES | |
| PROVIDED AT 25' O.C. SPACING AVG | 80 |
| REQUIRED PARKING LOT TREES AT 1 PER 10 SPACES (403 SPACES / 10): | 40 |
| PROVIDED PARKING LOT TREES: | 40 |
| 1 TREE REQUIRED PER GROUND AND 2ND FLOOR UNITS | 74 |
| GROUND FLOOR UNITS: | 40 |
| 2ND FLOOR UNITS: | 74 |
| TREES REQUIRED | 134 |
| TREES PROVIDED | 289 |



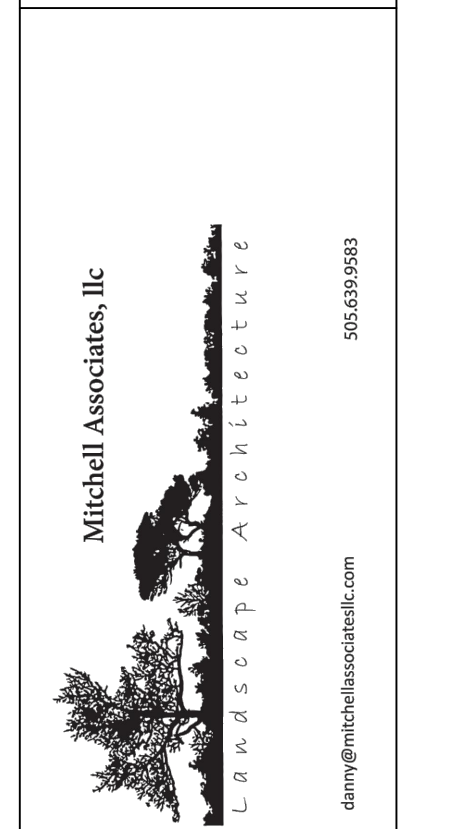
REVISIONS

| Date: | Comment |
|-----------|--------------|
| 9/23/2021 | DRB Comments |

Designed By: D. Mitchell
 Drawn By: Jm
 Approved By: NEW MEXICO ONE CALL STATEWIDE - 811 OR 1-800-321-ALERT (2537) www.nmonecall.org Call two working days before you dig.
 File ID:

Landscape Plan

Transport Housing
 Transport St. and Flightway Av.
 Albuquerque, NM



Seal: Landscape Architect

STATE OF NEW MEXICO
 DAN M. MITCHELL
 239
 REGISTERED LANDSCAPE ARCHITECT
 August 3, 2021

DRAWING NO: **LS-101**