



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2021-005459
Application No. SD-2021-00163 SI-2021-01248

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: September 1, 2021 HEARING DATE OF DEFERRAL: September 29, 2021

SUBMITTAL

DESCRIPTION: Revised plans, infrastrucure list, and plat for addressing DRB comments received on 9/1/21. Response to

comments letter describing the comments that have been addressed. Exhibits for vehicle turnaround and clear sight

triangles also included.

CONTACT NAME: Vinny Perea

TELEPHONE: 505-858-3100 EMAIL: vperea@tierrawestllc.com



TIERRA WEST, LLC

September 24, 2021

Ms. Jolene Wolfley
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: PR-2021-005459 RESPONSE TO DRB COMMENTS
LOT 1A BLOCK 2 & LOT 2-A-1 BLOCK 2 SUNPORT PARK
2900 TRANSPORT ST NE**

Dear Ms. Wolfley:

The following items in this letter below provide the various adverse comments received from the Development Review Board plus responses for those comments as shown in bold for the approval request of Site Plan and Preliminary Plat.

ABCWUA Comments:

Per the comments received from The Water Authority dated September 1, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. Please show the water meter vault easement or provide a paper easement.
RESPONSE: The plat has been updated to show a public 35'x35' water easement being granted with the approval of the plat. The updated plat is included with this submittal package.
2. The proposed fire line has two connections to the public main and is internally looped. This is not allowed. The lines should be separated such that they do not interconnect on site.
RESPONSE: The Utility Plan, Sheet C3, has been updated for only showing a single connection to the main on Flightway Ave. The southern fire line connection to the main on Woodward Rd has been eliminated.
3. Please be aware that if the parcel is sharing a sewer service, it will not be able to be subdivided in the future without bifurcating the sanitary sewer lines so that separate parcels have separate service connections.
RESPONSE: Noted. We are not anticipating this development to be separated out into multiple parcels once constructed and in residential use.
4. Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20' is required for a single utility and 25' for water and sewer both within the same easement. Easements for standard sized water meters need to be 5' x 5' and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35' x 35' easement is required. Actual easement widths may vary depending on the depth of the lines to be installed.
RESPONSE: All water and sanitary sewer lines to be built onsite are to be private. A 35' x 35' public water easement is being granted on the replat for the 3" water meter vault. This easement is also shown on the Utility Plan, Sheet C3, and is called out with Keyed Note 5.

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Transportation Comments:

Per the comments received from The COA Transportation Department dated September 2, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. The amount of public sidewalk requires a work order. On the infrastructure list, show sidewalk and accessways. Add a note that work within public right-of-way requires a work order. On the site plan, indicate the landscape buffer width between curb and sidewalk.
RESPONSE: The infrastructure list includes the public sidewalk along the entire frontage as well as the accessways, ADA ramps, and "No Parking" signage. Landscape buffer note is added to the site plan.
2. Indicate typical dimensions for all parking stalls and parking aisles. Include dimensioning for the motorcycle parking spaces and van accessible aisles. (An overall 66-foot length is shown, but in one section along the west where the dimensions are shown, this does not add up to 66 feet)
RESPONSE: Typical dimensions have been added to the site plan. The 66-foot length in question was the width of one of the buildings and should be clarified now on the updated site plan.
3. Roadway Dimensioning for the east accessway is unclear.
RESPONSE: Additional dimensioning has been added.
4. Provide detail for the stairway to the western right-of-way.
RESPONSE: Detail has been added to sheet A-002.
5. Include layout and dimensioning of the bicycle parking areas. Follow DPM requirements for bicycle parking spaces.
RESPONSE: Revised detail has been added to the site plan.
6. Dimension all keyways. The minimum width is 5 feet.
RESPONSE: The keyway dimensions have been added to the site plan.
7. Provide a detail for on-site sidewalk along the parking spaces. Indicate if turn-down sidewalk edge will be built in these areas. Note that all sidewalks shall have a maximum slope of 2%.
RESPONSE: Reference Keyed Note K on the site plan.
8. Provide curb ramp details. Call out all ramps on the plan at the van accessible aisles, crosswalk aisles, etc. Make sure that the crosswalks line up with the sidewalks.
RESPONSE: Reference Keyed Notes V and W on the site plan.
9. Along the north side, the van accessible aisles are not adjacent to sidewalk for ADA access.
RESPONSE: The north parking is structured parking, striped lane is near the building elevator.

10. Clear sight triangles shall reflect intersection sight distance criteria in the DPM due to roads speeds and curvature in the roadway at some locations.

RESPONSE: A Sight Triangle Exhibit is being included with this resubmittal package for the northernmost driveway connecting to Flightway Avenue. The Intersection Sight Distances used follow Table 7.4.65 of the DPM for a 25mph speed limit. Flightway Ave is currently a 30mph road so the speed limit will be reduced to 25mph. There are two 30mph speed limit signs on Flightway Ave, one in each direction that will need to be replaced with 25mph speed limit signs. These replacements have been added to the infrastructure list.

11. Seek Fire Marshal approval for the layout.

RESPONSE: The layout has been approved by the Fire Marshal's office; this resubmittal includes the approved Fire 1 Plan, Sheet F1.

12. The road does not appear to be quite wide enough for a car to turn around in if they cannot make it through the gate. Some additional space may need to be provided for a car to maneuver before the gate.

RESPONSE: A Turnaround Exhibit has been included with this resubmittal package. The exhibit shows that a car has the adequate space to be able to turn around if they cannot make it through the gate.

Hydrology Comments:

Per the comments received from The COA Hydrology Department dated September 1, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. Hydrology will need to approve a Conceptual Grading & Drainage Plan prior to Hydrology's approval of Preliminary Plat or Site Plan for Building Permit.

RESPONSE: The conceptual grading & drainage plan was submitted on 8/23/21 and is currently under review with the Hydrology Dept.

Code Enforcement Comments:

Per the comments received from The COA Code Enforcement dated September 1, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. 14-16-3-3 Airport Protection Overlay
a. Referrals to commenting agencies required.
b. Outdoor site lighting.

RESPONSE: Section 3-3 of the IDO has been reviewed for the development requirements of the Air Space Protection and Runway Protection Sub-Areas. The proposed multi-family use is allowable in both sub-areas. Maximum height and reflectivity also conform to the requirements for both sub-areas.

We have sent the site plan application package to Ms. Janet Cunningham-Stephens, Lead Community Planner for Kirtland Air Force Base and are awaiting any comments from her.

There are no pole lights, all site lighting is bollards and wall packs.

2. 14-16-4-3(B)(7) One tree per unit of the first two floors.
RESPONSE: 1 Tree per first and second floors is provided. Notation within the Landscape Calculations specifies number of first and second floor units with one tree per unit.
3. 14-16-5-2(I) Landfill Buffers
RESPONSE: A landfill disclosure letter from Tierra West to Paul Olson with the COA Environmental Health Department states that no mitigation will be required for the site development of this project. Paul Olson provided a response letter that approved the proposed landfill assessment and no mitigation requirements. Both letter are included in this resubmittal package.
4. 14-16-(5)(9) 2% of required vehicle parking shall be electrical charging stations
RESPONSE: Calculations added, 9 stations called out in garage on site plan and general note added to have charging station at each bay of leased garages.
5. 14-16-5-6 Landscaping Required
RESPONSE: A landscape plan is provided that meets or exceeds the basic requirements of the IDO. See the landscape plan provided with this resubmittal package.
6. 14-5-11-D Building Design for multi-family residential development.
RESPONSE: This IDO section was reviewed against the building design to assure it conforms, along with conforming with Pre-IDO approved Site Plan for Subdivision design standards (which is included in this resubmittal package).

Planning Comments:

Per the comments received from The COA Planning Department dated August 24, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. The lot lines on the site (between Lot 1-A, Block 2 and Lot 2-A-1, Block 2) encroach on the delineated parking spaces in the northeastern portion of the proposed development. A Final Plat will need to be approved prior to final sign-off of the Site Plan from Planning.
RESPONSE: Noted. The intent of the replat is to eliminate the lot line between Lot 1-A and Lot 2-A-1 to make one consolidated lot.
2. The site is located within the boundaries of the Sunport Park Master Plan, and the proposed development will need to meet the requirements of the Master Plan. If there is a direct conflict between IDO requirements and the Sunport Park Master Plan, the Master Plan requirement governs. The applicant must provide the approved Master Plan for Sunport Park.
RESPONSE: The only Sunport Park Master Plan that is available is a master drainage report, which the grading plan follows per the Conceptual Grading and Drainage Plan provided. The site does however have a pre-IDO approved Site Plan for Subdivision known as SotoGrande which provides design standards for multi-family use. This previously approved site plan with these design standards is provided with this resubmittal package.
3. In the justification letter for the Site Plan submittal, the applicant noted that there was a previous Site Plan approval for multi-family residential development on the site. The applicant must provide the previously approved Site Plan.

RESPONSE: The Pre-IDO approved Site Plan for Subdivision is included in this resubmittal package.

4. All Site Plan sheets need to be sealed and signed by a design professional (surveyor, engineer, architect, landscape architect) licensed in the state of New Mexico.

RESPONSE: All new plan sheets in this resubmittal package show a seal by a design professional.

5. The height of the fences/walls which are proposed to be constructed on the site need to be depicted on the Site Plan. Any fences/walls proposed need to meet the IDO requirements, including 5-7(D) pertaining to Maximum Wall Height.

RESPONSE: The maximum height of retaining walls shown is 8 feet, these have been added to the site plan. Footnote 1 of Table 5-7-1 of the IDO states that wall heights in the NR-BP zone district shall be specified in the Master Development Plan. The SotoGrande approved site development plan (included in this resubmittal) states to follow the wall requirements in the old COA Zoning Code section 14-16-3-19. This zoning code section mentions that retaining wall height is not limited unless within five feet of public Right-of-Way, or if the height exceeds 8 feet abutting a residential zone, which neither of these cases apply. (Section 14-16-3-19(A)(3))

6. Lighting and light poles need to be noted and depicted on the Site Plan to ensure conformance with 5-8 of the IDO.

RESPONSE: There are no light poles, site lighting done with wall packs and light bollards.

7. Because the site is vacant and ungraded, a Sensitive Lands Analysis per 5-2(C)(1) of the IDO must be performed with an analysis of site constraints related to sensitive lands. New subdivisions of land and site design shall avoid locating development, except for open spaces and areas that will not be disturbed during the development process, in the following types of sensitive lands:

5-2(C)(1)(a) Arroyos

5-2(C)(1)(b) Floodplains and Special Flood Hazard Areas

5-2(C)(1)(c) Irrigation facilities (acequias)

5-2(C)(1)(d) Large stands of mature trees

5-2(C)(1)(e) Rock outcroppings

5-2(C)(1)(f) Significant archaeological sites

5-2(C)(1)(g) Steep slopes and escarpments

5-2(C)(1)(h) Wetlands

RESPONSE: A Sensitive Lands Analysis was previously prepared and included in the initial DRB submittal, it has been include with this resubmittal application as well.

8. The project and application numbers need to be added to the Site Plan prior to distribution of the Site Plan for DRB signatures.

RESPONSE: These have been added.

9. The Solid Waste signature needs to be obtained prior to distribution of the Site Plan for DRB signatures.

RESPONSE: Noted.

10. Because more than 200 off-street parking spaces are being constructed, at least 2 percent of the vehicle parking spaces shall include electric vehicle charging stations per 5-5(C)(9) of the IDO.

RESPONSE: Calculations added to the site plan, 9 stations called out in garage in site plan and general note added to have charging station at each bay of leased garages.

11. The applicant must confirm that the Façade Design requirements of 5-11(D) of the 2020 IDO are being met in a comment response letter and how they are being met. Please note requirement 5-11(D)(1) requiring that entrances be emphasized and provide weather protection. Also, note 5-11(D)(2)(a) Windows requiring heat mitigation features for western windows and recessed or framed windows. Please also note: 5-11(D)(2)(b)(4) Articulation requiring that balcony massing, material, or color shall vary to create visual interest.

RESPONSE: Shade awning callouts added to building elevations, most entrances to the units are off of breezeways. Note added to building elevations to recess windows 2", shade awnings provided at windows on upper floors. Balconies provide shade to glazing below them. Balconies vary in massing and material, reference building elevations included in this resubmittal.

12. See the attached standards for Drainage Basin Treatments.

RESPONSE: Noted and applied. See latest landscape plan included in this resubmittal package.

13. The entire site is located within the Air Space Protection Sub-Area of the Albuquerque International Sunport, and apportion of the site is located within the Runway Protection Sub-Area. The proposed development must conform to the requirements of 3-3 of the IDO pertaining to the Air Space Protection Sub-Area and the portion of the site located within the Runway Protection Sub-Area.

RESPONSE: Section 3-3 of the IDO has been reviewed for the development requirements of the Air Space Protection and Runway Protection Sub-Areas. The proposed multi-family use is allowable in both sub-areas. Maximum height and reflectivity also conform to the requirements for both sub-areas.

14. The applicant must confirm if Kirkland Air Force Base Architectural Compatibility Review Board approval will be required for the proposed development. If so, this approval must be confirmed prior to approval of the Site Plan.

RESPONSE: Kirtland Air Force Base review is required for the development. We have sent the submittal package to Ms. Janet Cunningham-Stephens, Lead Community Planner for KAFB, and are currently awaiting any comments she may have.

15. The applicant has evaluated Climatic and Geographic Responsive Site Design per Section 5-2(D)(1) of the IDO and completed the sun and shade analysis. The landscaping plan will show evaluation of "Outdoor Elements (Integration)".

RESPONSE: The landscape plans shows the evaluation of outdoor elements.

16. A recorded IIA must be submitted prior to final sign-off from Planning for the Final Plat.

RESPONSE: An IIA will be processed and recorded once the Infrastructure List and Preliminary Plat are approved. A DRB application for Final Plat approval will then be submitted at that time.

Parks and Recreation Comments:

Per the comments received from The COA Parks and Recreation Department dated September 1, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. Pursuant to IDO 5-6(C)(4)(b), trees should be recommended by the Official Albuquerque Plant Palette (low water use, drought tolerant, or xeric species). Deborah Maple, Acer platanoides is not listed, and Greenspire Linden, Tilia cordata is Not Recommended.
RESPONSE: The trees species mentioned have changed to comply with the Plant Palette. See landscape plan included in this resubmittal package.
2. Will drainage ponds be seeded?
RESPONSE: Yes they will, per the Drainage Basin Treatment standard comments.

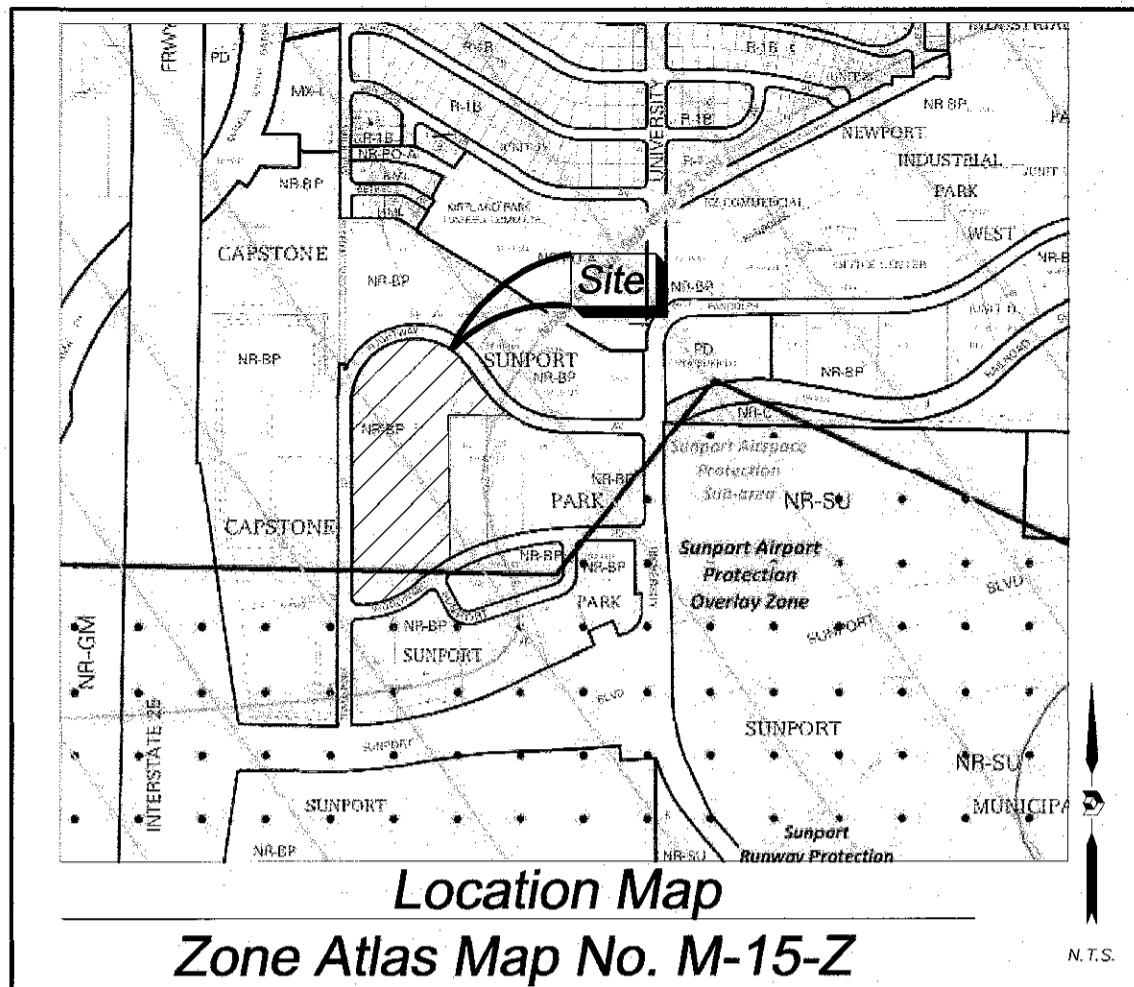
If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Vinny Perea', with a long horizontal flourish extending to the right.

Vinny Perea, P.E.

JN: 2020072
RRB/vp



Subdivision Data:

GROSS SUBDIVISION ACREAGE: 10.6989 ACRES±
 ZONE ATLAS INDEX NO: M-15-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 1
 MILES OF FULL-WIDTH STREETS CREATED: 0

Public Utility Easements

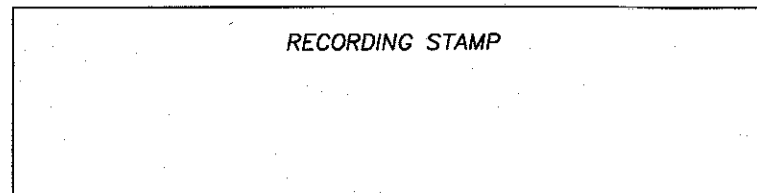
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 - B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 - C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
 - D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.



Plat of
 Lot 2-A-1-A, Block 2
Sunport Park
 Section 33, Township 10 North, Range 3 East, N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 July 2021

Project No. PR-2021-
Application No. SD-2021-
Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE
City Approvals	
CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
MIDDLE RIO GRANDE CONSERVANCY DISTRICT	DATE

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOT 1-A, BLOCK 2, SUNPORT PARK, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 21, 1990, IN MAP BOOK 90C, PAGE 195 TOGETHER WITH LOT 2-A-1, BLOCK 2, SUNPORT PARK, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 24, 2008, IN MAP BOOK 2008C, PAGE 165, NOW COMPRISING OF LOT 2-A-1-A, BLOCK 2 SUNPORT PARK.

Notes:

1. PLAT SHOWS ALL EASEMENTS OF RECORD.
2. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE THE EXISTING TWO TRACTS INTO ONE NEW TRACT AND TO GRANT A NEW EASEMENT

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

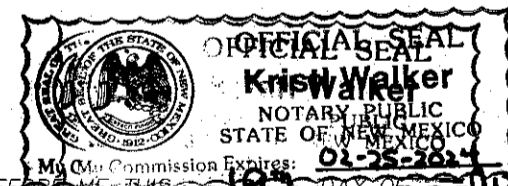
SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Rick Marquardt 7/19/21
 RICK MARQUARDT
 CEO & MANAGING MEMBER
 CONTRACTORS LEASING LLC
 DATE

Larry P. Gutierrez 7/29/21
 LARRY P. GUTIERREZ
 DATE

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 19th day of July, 2021 BY RICK MARQUARDT, CEO & MANAGING MEMBER, CONTRACTORS LEASING, LLC.

BY *Larry P. Gutierrez* MY COMMISSION EXPIRES: 02-25-2024
 LARRY P. GUTIERREZ
 NOTARY PUBLIC

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29th day of July, 2021 BY LARRY P. GUTIERREZ

BY *Larry P. Gutierrez* MY COMMISSION EXPIRES: 02-25-2024
 LARRY P. GUTIERREZ
 NOTARY PUBLIC

Surveyor's Certificate

I, LARRY W. MEDRANO, A LICENSED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NO ENCRACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 07/16/2021
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



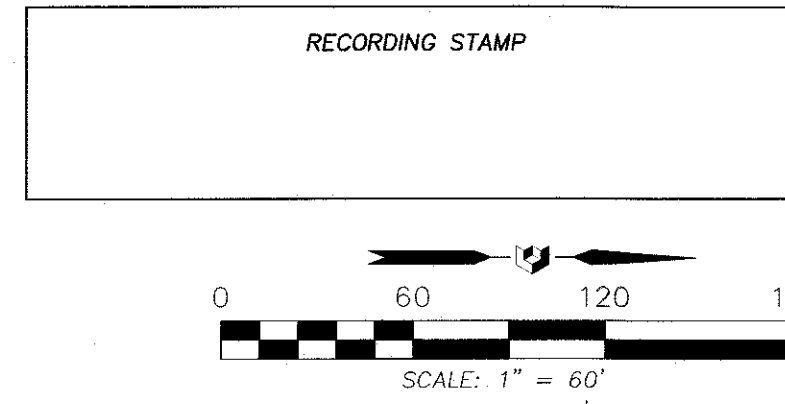
WET SIGNATURE IS INVALID IF NOT IN BLUE INK WITH BLUE STAMP OR EMBOSSED STAMP

COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION				PROJECT INFORMATION									
STATE PLANE ZONE: NM-C		GRID / GRID COORDINATES: GRID		TYPE: STANDARD		LAND GRANT: N/A		PROPERTY OWNER: LOT 1-A: CONTRACTORS LEASING LLC		PROPERTY OWNER: LOT 2-A-1: LARRY P. GUTIERREZ		CREW/TECH: MT		DATE OF SURVEY: 12/23/2020							
HORIZONTAL DATUM: NAD83		VERTICAL DATUM: NAVD88		ROTATION ANGLE: 0° 00' 00.00"		MATCHES DRAWING UNITS: YES		SECTION: 33		TOWNSHIP: 10 NORTH		RANGE: 3 EAST		MERIDIAN: NMPM							
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0, E = 0				CITY: ALBUQUERQUE		COUNTY: BERNALILLO		STATE: NM		SUBDIVISION NAME: SUNPORT PARK		DRAWN BY: JK		CHECKED BY: LM			
COMBINED SCALE FACTOR: GRID TO GROUND: 1.0003199098				DISTANCE ANNOTATION: GROUND				CITY: ALBUQUERQUE		COUNTY: BERNALILLO		STATE: NM		UPC: LOT 1-A: 101505514525430415		LOT 2-A-1: 101505519726930412		PSI JOB NO. 204165P		SHEET NUMBER 1 OF 2	
GROUND TO GRID: 0.9996801925				BEARING ANNOTATION: GRID				ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALID: NO											



OFFICE LOCATION:
 9200 San Mateo Boulevard, NE
 Albuquerque, NM 87113
 505.856.5700 PHONE
 505.856.7900 FAX

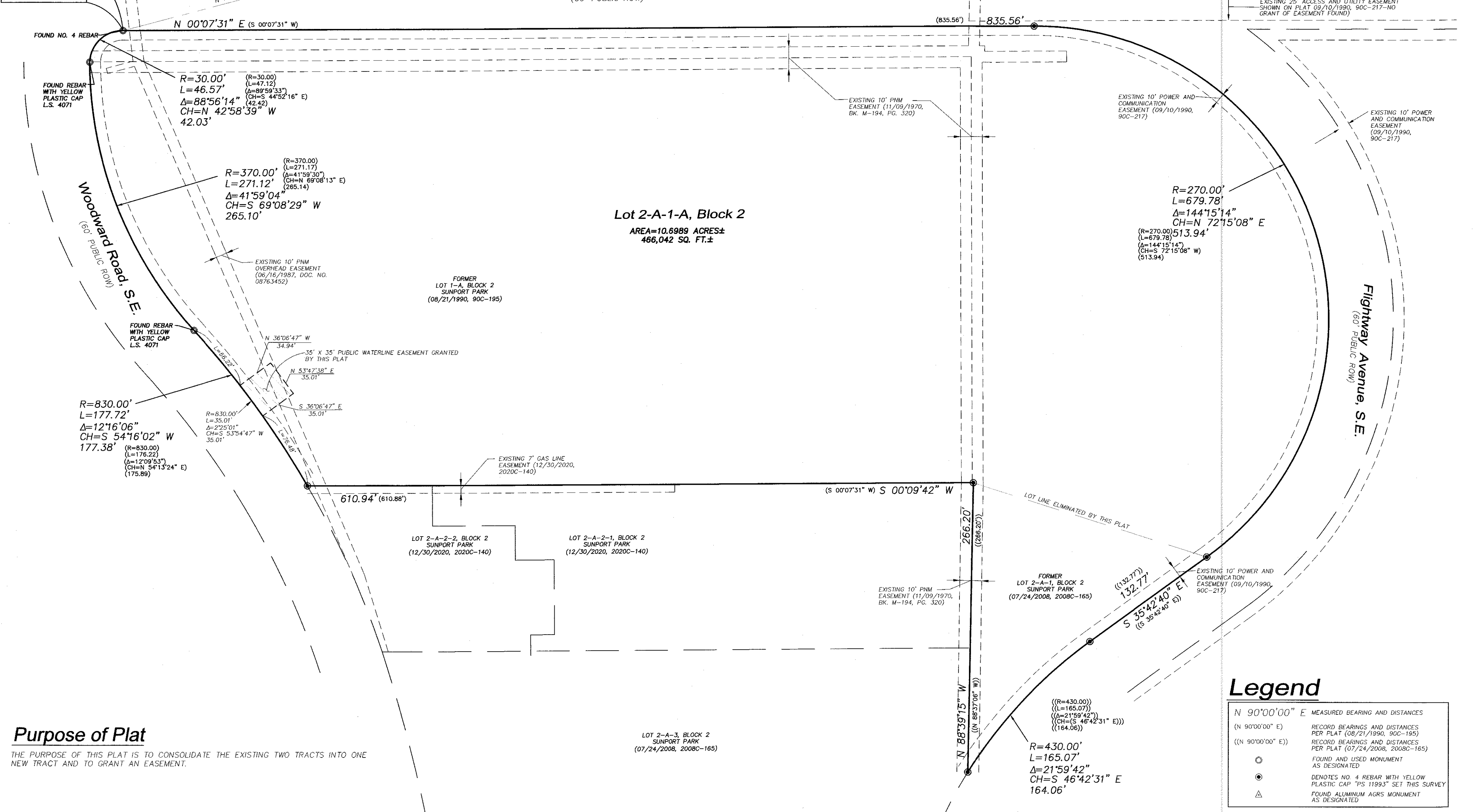
Plat of
Lot 2-A-1-A, Block 2
Sunport Park
 Section 33, Township 10 North, Range 3 East, N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 July 2021



A.G.R.S. MONUMENT "L_25_30"
 STANDARD NMMSHC BRASS DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,477,335.008 US SURVEY FEET
 E=1,524,161.952 US SURVEY FEET
 PUBLISHED EL=5041.3 US SURVEY FT (NAVD 1988)
 GROUND TO GRID FACTOR=0.999678244
 DELTA ALPHA ANGLE=-0°13'23.37"

A.G.R.S. MONUMENT "13_114"
 STANDARD C.O.A. ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,477,685.829 US SURVEY FEET
 E=1,522,174.051 US SURVEY FEET
 PUBLISHED EL=4970.901 US SURVEY FT (NAVD 1988)
 GROUND TO GRID FACTOR=0.999682141
 DELTA ALPHA ANGLE=-0°13'37.14"

Point of Beginning



Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE THE EXISTING TWO TRACTS INTO ONE NEW TRACT AND TO GRANT AN EASEMENT.

Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES PER PLAT (08/21/1990, 90C-195)
- ((N 90°00'00" E)) RECORD BEARINGS AND DISTANCES PER PLAT (07/24/2008, 2008C-165)
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

COORDINATE AND DIMENSION INFORMATION STATE PLANE ZONE: NM-C GRID/GROUND COORDINATES: GRID TYPE: STANDARD				PLSS INFORMATION LAND GRANT: N/A				PROPERTY INFORMATION PROPERTY OWNER: LOT 1-A: CONTRACTORS LEASING LLC LOT 2-A-1: LARRY P. GUTIERREZ				PROJECT INFORMATION									
HORIZONTAL DATUM: NAD83		VERTICAL DATUM: NAVD88		ROTATION ANGLE: 0° 00' 00.00"		MATCHES DRAWING UNITS: YES		SECTION: 33		TOWNSHIP: 10 NORTH		RANGE: 3 EAST		MERIDIAN: NMPM		SUBDIVISION NAME: SUNPORT PARK		CREW/TECH: MT		DATE OF SURVEY: 12/23/2020	
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0				CITY: ALBUQUERQUE		COUNTY: BERNALILLO		STATE: NM		UPC: LOT 1-A: 101505514525430415		LOT 2-A-1: 101505519726930412		DRAWN BY: JK		CHECKED BY: LM	
COMBINED SCALE FACTOR: GRID TO GROUND: 1.0003199098 GROUND TO GRID: 0.9996801925				DISTANCE ANNOTATION: GROUND				BEARING ANNOTATION: GRID		ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALID: YES		OFFICE LOCATION: 9200 San Mateo Boulevard, NE Albuquerque, NM 87113		PHONE: 505.856.5700 FAX: 505.856.7900		PSI JOB NO.: 204165P		SHEET NUMBER: 2 OF 2	



Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

LOT 2-A-1-A, BLOCK 2 SUNPORT PARK

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

**LOT 1-A BLOCK 2 SUNPORT PARK REPLAT OF LOTS 1, 2 & 3 BLOCK 2 AND
LOT 2-A-1 BLOCK 2 PLAT OF LOTS 2-A-1, 2-A-2 & 2-A-3 BLOCK 2 SUNPORT PARK**

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	6' - Wide	Sidewalk Along Frontage	N. Side of Woodward Rd	498' East of Transport St.	Woodward/Transport Intersection	/	/	/
<input type="text"/>	<input type="text"/>	6' - Wide	Sidewalk Along Frontage	E. Side of Transport St/ S. side of Flightway Ave.	Woodward/Transport Intersection	570' East of University Blvd	/	/	/
<input type="text"/>	<input type="text"/>		No Parking Sign	N. Side of Woodward Rd	390' West of Transport St.		/	/	/
<input type="text"/>	<input type="text"/>	48' - Wide	Driveway Plus ADA Ramps	S. Side of Flightway Ave.	641' West of University Blvd	739' West of University Blvd	/	/	/
<input type="text"/>	<input type="text"/>	24' - Wide	Driveway Plus ADA Ramps for Parking Structure Access	S. Side of Flightway Ave.	1,098' West of University Blvd	58' West of University Blvd	/	/	/
<input type="text"/>	<input type="text"/>	35' - Wide	Driveway Plus ADA Ramps for Parking Structure Access	N. Side of Woodward Rd.	244' East of Transport Rd.	103' East of Transport Rd.	/	/	/
<input type="text"/>	<input type="text"/>	20'-Wide	Drivepad for Drainage Pond Maintenance	E. Side of Transport St.	857' North of Woodward Rd.	877' North of Woodward Rd.	/	/	/
<input type="text"/>	<input type="text"/>	20'-Wide	Drivepad for Drainage Pond Maintenance	E. Side of Transport St.	148' North of Woodward Rd.	168' North of Woodward Rd.	/	/	/
<input type="text"/>	<input type="text"/>		Replace 30mph Speed Limit Sign w/ 25mph Speed Limit Sign	S. Side of Flightway Ave.	1133' West of University Blvd		/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
<input type="text"/>	<input type="text"/>		Replace 30mph Speed Limit Sign w/ 25mph Speed Limit Sign	N. Side of Flightway Ave.	353' West of University Blvd		Private	City Cnst	Inspector P.E. Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
							/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____

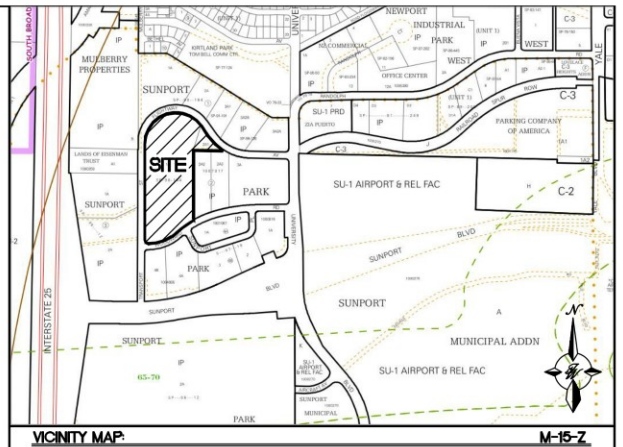
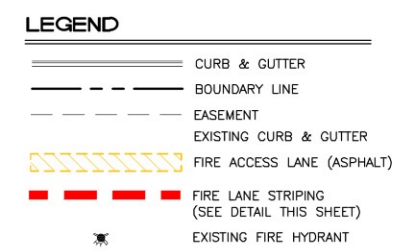
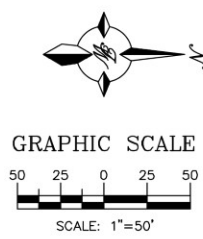
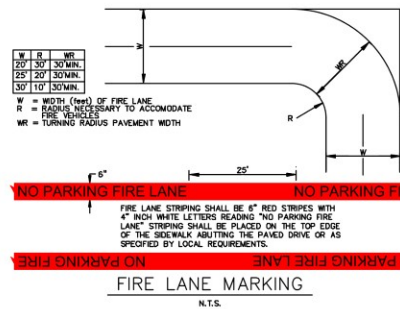
- 2 _____

- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
Vinny Perea, P.E. <hr/> NAME (print)	<hr/> DRB CHAIR - date	<hr/> PARKS & RECREATION - date
Tierra West, LLC <hr/> FIRM	<hr/> TRANSPORTATION DEVELOPMENT - date	<hr/> AMAFCA - date
 <hr/> SIGNATURE - date	<hr/> UTILITY DEVELOPMENT - date	<hr/> CODE ENFORCEMENT - date
	<hr/> CITY ENGINEER - date	<hr/> _____ - date

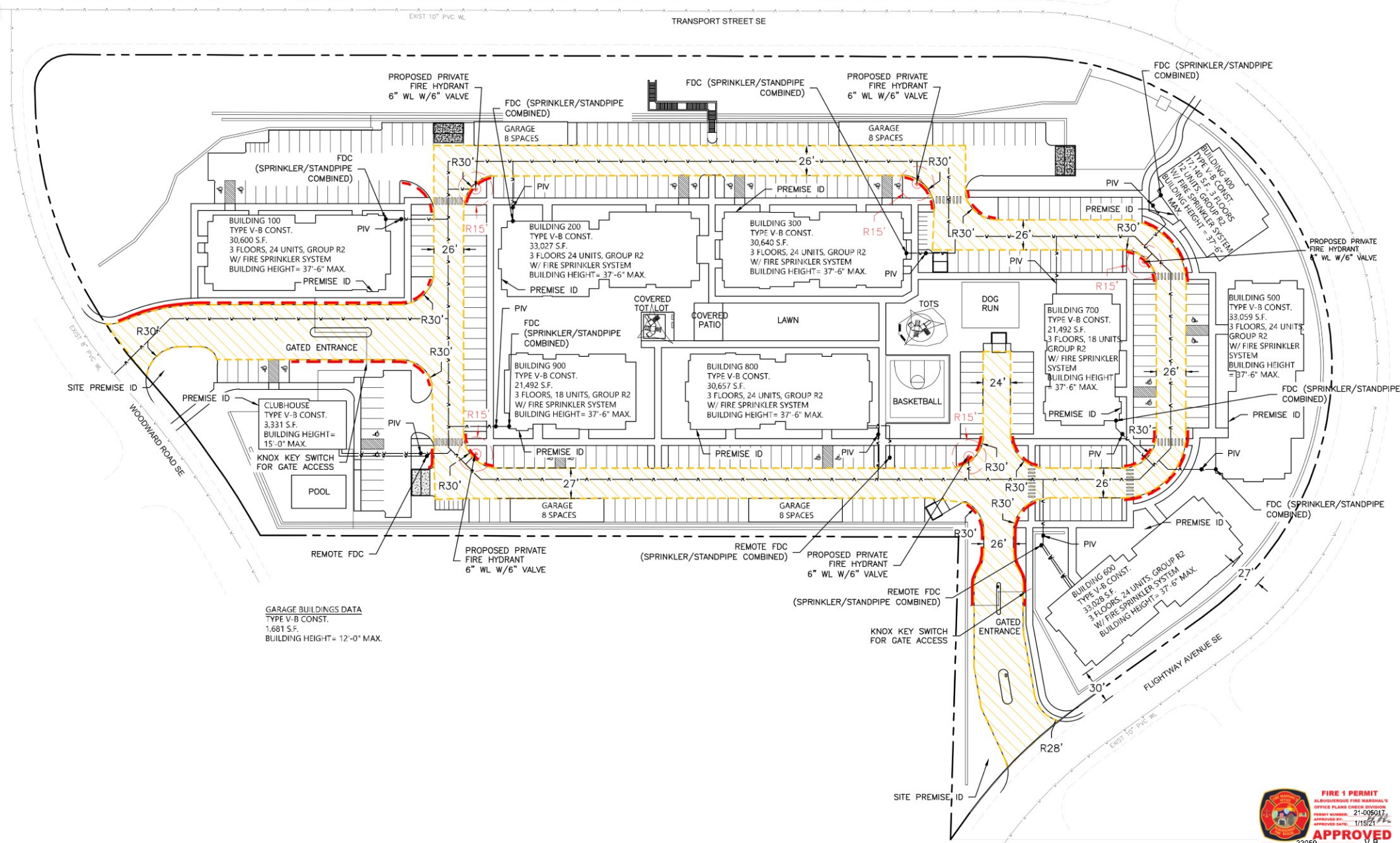
DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER



LEGAL DESCRIPTION:
 LOT 1-A, BLOCK 2, REPLAT OF LOTS 1, 2 & 3 BLOCK 2 SUNPORT PARK AND
 LOT 2-A-1, BLOCK 2, PLAT OF LOTS 2-A-1, 2-A-2 & 2-A-3 BLOCK 2 SUNPORT PARK

192-UNIT APARTMENT DEVELOPMENT
 2900 TRANSPORT STREET, SE
 ALBUQUERQUE, NM 87106
 MAX BUILDING FOOTPRINT 33,059 SQ. FT.
 THREE STORY HIGH BUILDING
 MAX AVG. ROOF HEIGHT = 37'-6"
 CONSTRUCTION TYPE V-B
 FIRE SPRINKLER SYSTEM IN BUILDINGS
 FIRE FLOW = 2,500 GPM



- NOTES:**
- NO SLOPE GREATER THAN 10% ALONG APPARATUS ROUTE IS PROPOSED.
 - THE DRIVING SURFACE OF THE FIRE APPARATUS ACCESS ROUTE IS CAPABLE OF SUPPORTING A LOAD OF AT LEAST 75,000 POUNDS.
 - PER 2015 INTERNATIONAL FIRE CODE.
 - ALL SECURITY GATES SHALL HAVE A KNOX BOX FOR EMERGENCY ACCESS AT THE ENTRANCES.

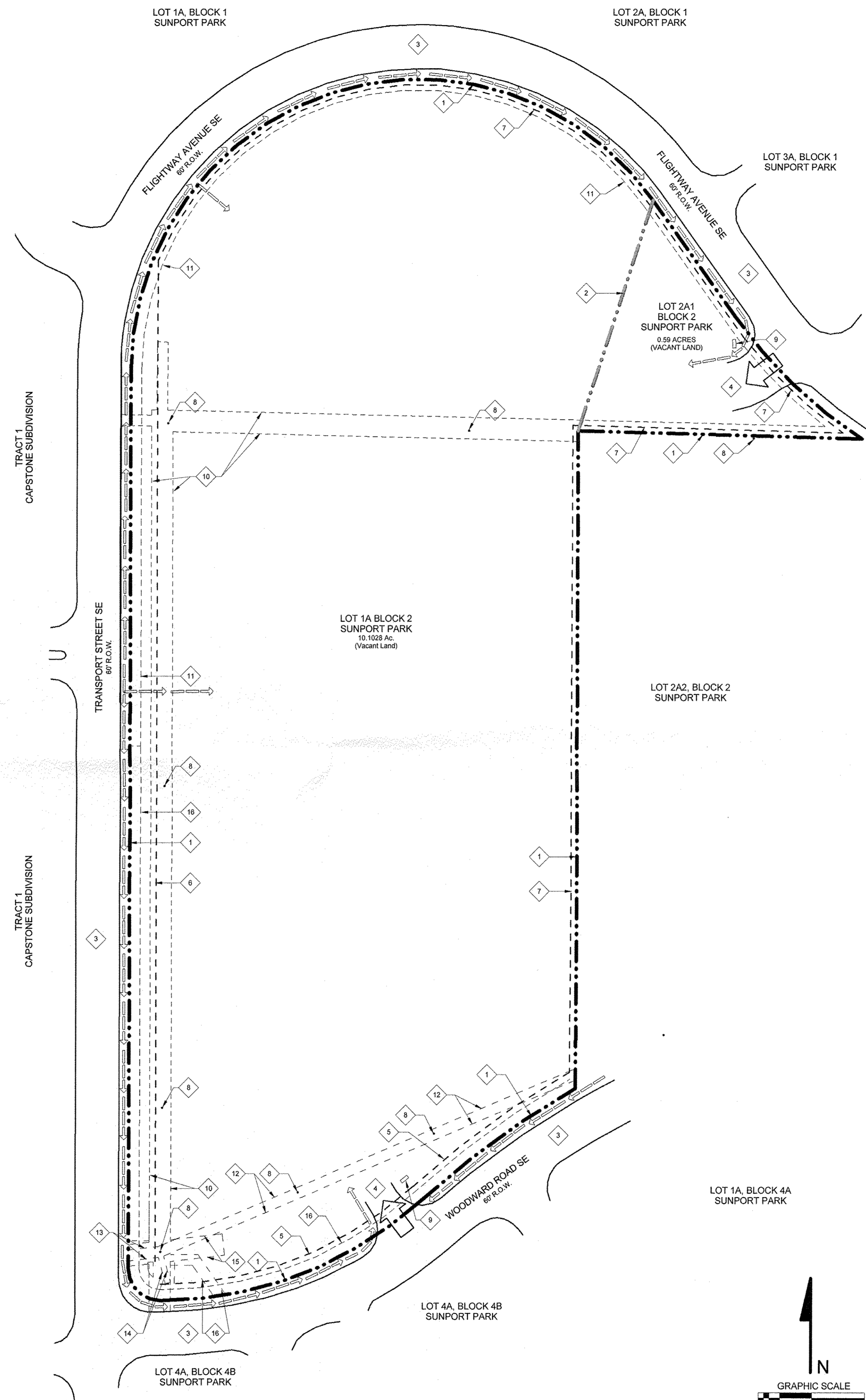
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GARAGE BUILDINGS DATA
 TYPE V-B CONST.
 1,681 S.F.
 BUILDING HEIGHT= 12'-0" MAX.

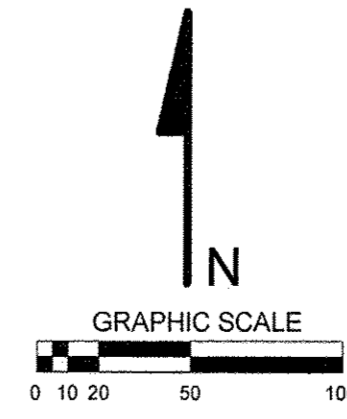


ENGINEER'S SEAL	TRANSPORT HOUSING TRANSPORT ST & WOODWARD RD	DRAWN BY BF
	FIRE ONE PLAN	DATE 1/5/2021
		2020072_F1-SCRATCH
		SHEET # F1
		JOB # 2020072
RONALD R. BOHANNAN P.E. #7888	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	

PRE-IDO APPROVED SITE PLAN FOR SUBDIVISION



SITE DEVELOPMENT PLAN
1" = 50'-0"



DRAWINGS	
SPSD1 SPSD2 SPSD3	SITE PLAN FOR SUBDIVISION CONCEPTUAL GRADING + DRAINAGE PLAN SUBDIVISION DESIGN STANDARDS
SHEET KEYED NOTES	
<ol style="list-style-type: none"> EXISTING PROPERTY LINE EXISTING PROPERTY LINE TO BE ELIMINATED EXISTING ROADWAY PROPOSED DRIVEWAY MINIMUM BUILDING SETBACK, SOUTH (FRONT): 15'-0" FROM PROPERTY LINE MINIMUM BUILDING SETBACK, WEST (SIDE): 25'-0" FROM PROPERTY LINE MINIMUM BUILDING SETBACK, ALL OTHER SIDES: 5'-0" FROM PROPERTY LINE EXISTING POWER POLE PROPOSED MONUMENT SIGN, LIMITED TO 20 SF PER SIGN FACE, WITH A MAXIMUM HEIGHT OF 8 FEET 20'-0" EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY DOCUMENT FILED NOVEMBER 9, 1970 IN BOOK MISC. 194, PAGE 320 10'-0" P.N.M. & MTN. BELL EASEMENT GRANTED BY PLAT FILED JULY 22, 1986 IN VOLUME C31, FOLIO 15 10'-0" OVERHEAD EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY DOCUMENT FILED JUNE 16, 1987 IN BOOK MISC. 489-A, PAGES 889-890 AND 10' P.N.M. & MTN. BELL EASEMENT GRANTED BY PLAT FILED JANUARY 27, 1989 IN VOLUME C38, FOLIO 102 10'-0" OVERHEAD EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY DOCUMENT FILED JUNE 16, 1987 IN BOOK MISC. 489-A, PAGES 889-890 5'-0" OVERHEAD EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY DOCUMENT FILED JUNE 16, 1987 IN BOOK MISC. 489-A, PAGES 889-890 20'-0" EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY DOCUMENT FILED JUNE 16, 1987 IN BOOK MISC. 489-A, PAGE 905 10'-0" POWER & COMMUNICATION EASEMENT GRANTED BY PLAT FILED JANUARY 27, 1989, VOLUME C38, FOLIO 102 	
SITE PLAN LEGEND	
	PEDESTRIAN ACCESS
	VEHICULAR ACCESS
	EXISTING PROPERTY LINE
	SETBACK
	EASEMENT
SITE INFORMATION	
LEGAL DESCRIPTION	
LOT 1A, BLOCK 2, SUNPORT PARK + LOT 2A1, BLOCK 2, SUNPORT PARK	
TOTAL SITE AREA: 10.69 ACRES	
LOT 1A: 10.1 ACRES	
LOT 2A1: 0.59 ACRES	
EXISTING ZONING: IP	
PROPOSED ZONING: SU-1 FOR IP PERMISSIVE USES AND MULTI-FAMILY HOUSING DEVELOPMENT.	
MINIMUM BUILDING SETBACKS: SEE SHEET KEYED NOTES.	
MAXIMUM BUILDING HEIGHT: STRUCTURE HEIGHT UP TO 26 FEET IS PERMITTED AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL, AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGEWAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITH PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTERLINE.	
MAXIMUM TOTAL DWELLING UNITS: 235 UNITS MAXIMUM (LESS THAN 22 DWELLING UNITS PER ACRE, CALCULATED ON THE BASIS OF GROSS ACREAGE, WITHOUT REGARD TO SETBACKS OR EASEMENTS).	
VICINITY MAP	
ZONE ATLAS PAGE M-15-Z	
PROJECT NUMBER: 1009573	
APPLICATION NUMBER:	
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.	
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
	1/17/18 Date
	1/17/18 Date
	1/17/18 Date
	1/17/2018 Date
N/A Environmental Health Department (conditional)	Date
N/A Solid Waste Management	Date
	1.17.18 Date
DRB Chairperson, Planning Department	Date

NOT FOR CONSTRUCTION

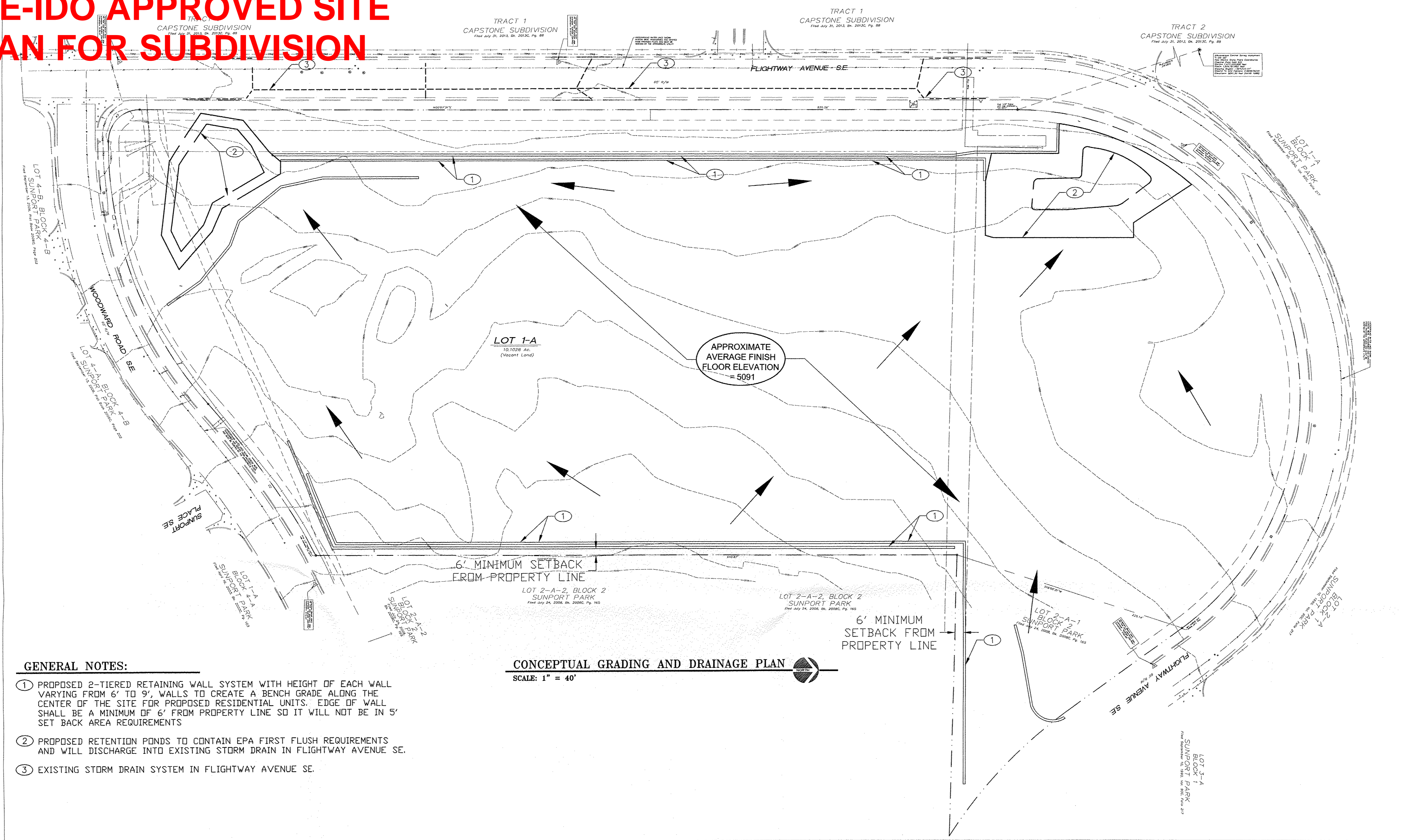
SOTOGRADE HOUSING
2900 Transport Street SE

revision:		
no.	desc.	date
1	STAFF COMMENTS	12.30.16
2	COND OF APPROVAL	01.23.17

project:	160804
date:	12.1.16
drawn:	CW / CK
checked:	AE

SITE PLAN FOR SUBDIVISION
SPSD1

PRE-IDO APPROVED SITE PLAN FOR SUBDIVISION



GENERAL NOTES:

- ① PROPOSED 2-TIERED RETAINING WALL SYSTEM WITH HEIGHT OF EACH WALL VARYING FROM 6' TO 9', WALLS TO CREATE A BENCH GRADE ALONG THE CENTER OF THE SITE FOR PROPOSED RESIDENTIAL UNITS. EDGE OF WALL SHALL BE A MINIMUM OF 6' FROM PROPERTY LINE SO IT WILL NOT BE IN 5' SET BACK AREA REQUIREMENTS
- ② PROPOSED RETENTION PONDS TO CONTAIN EPA FIRST FLUSH REQUIREMENTS AND WILL DISCHARGE INTO EXISTING STORM DRAIN IN FLIGHTWAY AVENUE SE.
- ③ EXISTING STORM DRAIN SYSTEM IN FLIGHTWAY AVENUE SE.

CONCEPTUAL GRADING AND DRAINAGE PLAN

SCALE: 1" = 40'

EXISTING CONDITIONS

THE SITE IS BOUNDED ON THE SOUTH BY WOODWARD ROAD SE ON THE WEST BY TRANSPORT STREET SE AND THE NORTH BY FLIGHTWAY AVENUE SE AND THE EAST BY LOT 2-A-2, BLOCK 2 SUNPORT PARK (SEE ATTACHED VICINITY MAP M-15). THE PARCEL'S LEGAL DESCRIPTION IS LOT 1-A AND LOT 2-A-1, BLOCK 2, SUNPORT PARK, ALBUQUERQUE, NEW MEXICO FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 21, 1990 IN MAP BOOK 90C, FOLIO 195. LOT 1A CONTAINS APPROXIMATELY 10.1 ACRES AND LOT 2A1 CONTAINS APPROXIMATELY 0.59 ACRES. AS PART OF THIS DEVELOPMENT LOT 1A AND LOT 2A1 WILL BE REPLATTED AND COMBINED FOR A TOTAL ACREAGE OF 10.69ACRES.

PER RECENT SITE VISITS DONE AS PART OF PREPARING THIS DRAINAGE PLAN THE EXISTING SITE IS UNDEVELOPED WITH NATIVE GRASSES AND MINIMAL DISTURBANCE BY OVERHEAD UTILITIES. THE AREA IS RELATIVELY STEEP WITH SLOPES FROM 6% TO 10% IN AN EAST TO WEST DIRECTION.

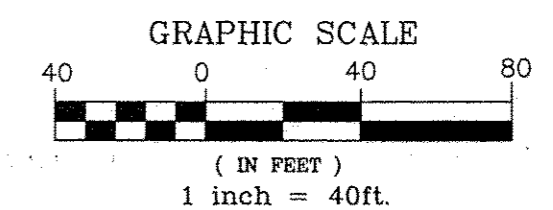
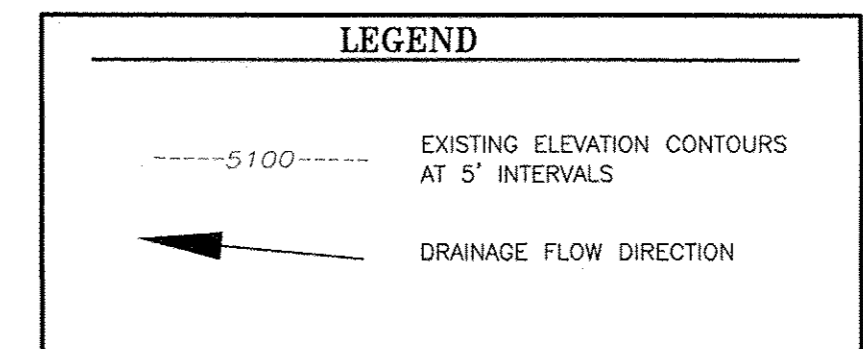
THIS SITE LIES WITH A MASTER DRAINAGE PLAN KNOWN AS SUNPORT PARK - PHASE 1, DATED 1996. IN PARTICULAR THE MAJORITY OF THE SITE LIES WITH DRAINAGE BASINS A-4, A-5 AND A-9, AND A SMALL PORTION WITHIN DRAINAGE BASIN-A-2. A STORMDRAIN SYSTEM WAS CONSTRUCTED ALONG THE WEST BOUNDARY OF THIS SITE ON TRANSPORT STREET SE THAT ACCEPTS THE FLOW FROM THIS SITE ALONG WITH OTHER ADJACENT AREAS THAT DRAIN INTO FLIGHTWAY AVENUE SE AND WOODWARD ROAD SE. DRAINAGE BASINS A-2, A-4 AND A-5 ALLOWS A DISCHARGE RATE OF 3.4CFS/ACRE AND DRAINAGE BASIN A-9 ALLOWS A DISCHARGE RATE OF 3.85CFS/ACRE.

PROPOSED CONDITIONS

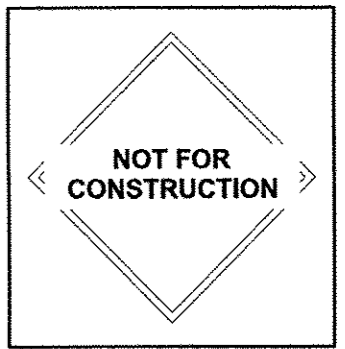
THE PROPOSAL FOR REPLATTING OF THIS SITE CONSIST OF VACATING THE LOT LINE BETWEEN LOT 1-A AND LOT 2-A-1 IN ORDER TO CREATE ONE LEGAL TRACT FOR THIS MULTI-FAMILY RESIDENTIAL COMPLEX.

DUE TO THE RELATIVELY STEEP 6% TO 10% EAST TO WEST SLOPES THE SITE WILL BE GRADED TO CREATE A RELATIVELY FLAT BENCH SLOPE ALONG THE CENTER OF THE PROPERTY FOR THE COMPLEX BY USING STEPPED RETAINING WALLS THAT VARY IN OVERALL HEIGHT FROM 12' TO 17' ALONG THE EAST AND WEST SIDES OF THIS DEVELOPMENT.

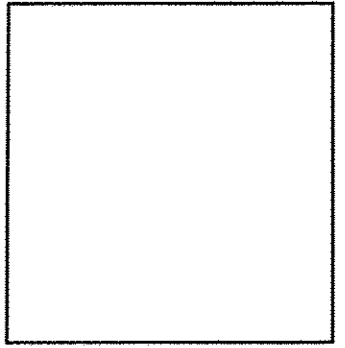
INTERNAL PAVED VEHICULAR CIRCULATION AND PARKING WILL BE PROVIDED FOR THE DEVELOPMENT TO SERVE THE MULTI-FAMILY COMPLEX. DRAINAGE FROM THE UNITS WILL BE DISCHARGED INTO THE INTERNAL PAVED CIRCULATION AND DISCHARGED TO TWO NEW DRAINAGE PONDING AREAS, ONE AT THE NORTHWEST CORNER OF THE SITE AND THE OTHER AT THE SOUTHWEST CORNER OF THE SITE, EACH POND WILL BE RECEIVING ABOUT 50% OF THE SITE DRAINAGE. THE INTENT OF EACH OF THE NEW DRAINAGE PONDS IS TO CAPTURE THE FIRST FLUSH REQUIREMENTS WHICH IS THE 90TH PERCENTILE STORM EVENT (FIRST 0.44 INCHES) ALONG WITH ADDITIONAL FLOW NECESSARY TO REDUCE THE PEAK FLOW DISCHARGE AS PER THE MASTER DRAINAGE PLAN. THE ALLOWABLE PEAK FLOW FOM THIS DEVELOPMENT WILL THEN BE DISCHARGED INTO THE EXISTING STORM DRAIN SYSTEM IN FLIGHTWAY AVENUE SE.



CONSULTANTS
 APPLIED ENGINEERING AND SURVEYING, INC.
 CIVIL ENGINEERING, LAND PLANNING AND SURVEYING



Thomas DEVELOPMENT CO.
 THE MODERN SOLUTIONS FOR DEVELOPMENT
 PACIFIC WEST ARCHITECTURE
 erstad ARCHITECTS, PA
 ARCHITECTS



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SOTOGRADE HOUSING
 2900 Transport Street SE

revision:	no.	desc.	date

project: 160804
 date: 12.1.16
 drawn: Author
 checked: Checker

CONCEPTUAL GRADING + DRAINAGE PLAN
SPSD2

PRE-IDO APPROVED SITE PLAN FOR SUBDIVISION

DESIGN STANDARDS

IP USES:

Per City of Albuquerque Zoning Code
No changes proposed.

R-2 USES:

Multi-Family Housing Design Standards:

1. PURPOSE AND INTENT

- To provide aesthetic and design consistency throughout the site, to promote safety, and to ensure compatibility with neighboring properties.
- To define basic requirements as defined in the City of Albuquerque Zoning Code.
- To define requirements above and beyond the basic requirements of the City of Albuquerque Zoning Code, specifically above and beyond the basic requirements of the R-2 zone district.

2. DENSITY

- Density shall be limited to ensure compatibility with the surrounding neighborhood.
- For basic requirements, see City of Albuquerque Zoning Code Section 14-16-2-11(F).
- Additional requirements:
 - Density shall be further limited to 235 dwelling units maximum (less than 22 dwelling units per acre, calculated on the basis of gross acreage, without regard to setbacks and easements).

3. SETBACKS

- Setbacks are required in order to provide a buffer to neighboring properties and rights-of-way.
- For basic requirements, see City of Albuquerque Zoning Code Section 14-16-2-11(E).
- Additional requirements and clarifications:
 - Front yard shall be defined as that along Woodward Road SE. All other boundaries shall be considered side yards.
 - The westerly property line (the straight portion along Transport Street SE, not including the transition to curve at north end) shall have an increased setback of 25-foot minimum.

4. BUILDING HEIGHT

- Building height shall be limited in order to promote compatibility and ensure solar access to neighboring properties.
- For basic requirements, see City of Albuquerque Zoning Code Section 14-16-2-11(C).

5. VEHICULAR ACCESS AND PARKING

- Vehicular access and parking shall be regulated in order to promote pedestrian safety, avoid conflicts between vehicles and pedestrians, and to provide adequate emergency vehicle access.
- For basic requirements, see City of Albuquerque Zoning Code Section 14-16-3-1.
- Additional requirements:
 - Parking rows shall not exceed 20 continuous spaces before being broken with a landscape island.
 - A van-accessible parking space shall be provided for each designated Type A accessible unit, and for the community building.
 - Gated entrances shall have a 20-foot drive lane on both sides of the keypad island.
 - Primary subdivision entrance, if gated, shall allow for visitor parking and turn-around, outside of gates.

6. BICYCLE PARKING

- Bicycle parking is required in order to promote alternative forms of transportation.
- For basic requirements, see City of Albuquerque Zoning Code Sections 14-16-3-1(B) and (G).
- Additional requirements:
 - Bicycle parking shall be provided in an amount equal to 1 space per dwelling unit.

7. PEDESTRIAN CIRCULATION

- Pedestrian circulation is regulated in order to provide and encourage safe and convenient access throughout the development, and to and from surrounding streets.
- For basic requirements, see City of Albuquerque Zoning Code Section 14-16-3-1(H).
- Additional requirements:
 - An accessible route shall be provided to all accessible units, to all public use spaces, to all common use spaces, and to site amenities (such as mail centers and dumpsters).
 - Pedestrian access shall be provided at vehicular access points.
 - Pedestrian access shall also be provided along the western side of the property, for improved pedestrian circulation.

8. OPEN SPACE

- Open space is regulated in order to satisfy visual, psychological, and recreational needs for light and air.
- For basic requirements, see City of Albuquerque Zoning Code Section 14-16-2-11(H).

9. SCREENING, WALLS, AND FENCES

- Screening, walls, and fences are regulated in order to enhance the aesthetics of the development, and ensure they are well-integrated into the overall project design.
- Basic requirements:
 - See City of Albuquerque Zoning Code Section 14-16-3-19.
 - Within five feet of public street right-of-way, no wall shall exceed 3 feet in height above the abutting grade on the street side.
 - Parking areas must be screened from the public right-of-way (through the use of walls or evergreen landscaping) in accordance with City of Albuquerque Zoning Code Section 14-16-3-1(F)(4).
- Additional requirements:
 - FREE-STANDING PERIMETER WALLS**
 - Free-standing perimeter walls over 4-feet in height shall be solid (stucco over CMU, or split-face block, etc.) for approximately 2/3 of their total height, with the upper 1/3 being an open metal railing.
 - SOLID WASTE ENCLOSURE WALLS**
 - Solid-waste enclosure walls shall meet all standards set forth in City of Albuquerque Solid Waste Enclosure Specifications.

10. LIGHTING & SECURITY

- Lighting is regulated in order to enhance safety and to avoid visual nuisances both on- and off-site.
- For basic requirements, see City of Albuquerque Zoning Code Section 14-16-3-9.
- Additional requirements:
 - Lighting fixtures shall conform to the requirements of the State of New Mexico Night Sky Protection Act.
 - All free-standing lights throughout the site shall be of a consistent design style.
 - Free-standing light poles shall be limited to 20-feet in height.

11. LANDSCAPING

- Landscaping is regulated in order to provide relief from the built environment, enhance site experience and aesthetics, and to provide a consistent, attractive streetscape.
- For basic requirements, see City of Albuquerque Zoning Code Section 14-16-3-10.
- Additional requirements:
 - The landscape buffer along the westerly property line (the straight portion along Transport Street SE, not including the transition to curve at north end) shall have an increased minimum width of 10-feet.
 - Native, semi-native, or drought-tolerant plants shall be used.
 - Low water-use irrigation systems shall be used.
 - A minimum of 50% of shrubs installed shall be 5-gallon.
 - A minimum of 3 shrubs and 3 ground cover plantings shall be installed per tree.

12. ARCHITECTURAL DESIGN

- Architectural design is regulated in order to ensure a minimum level of aesthetic interest and design quality.
- Context: The site is surround by vacant land to the east, hotels to the south (across Woodward Road SE), industrial/business uses to the north (across Flightway Ave SE), and multi-family student housing to the west (across Transport Street SE).
- Architectural Style: The style of all buildings shall be modern, with references to appropriate southwest details, massing, and materials.
- Additional requirements:
 - Scale, massing, and articulation:
 - Building facades shall be multi-faceted. In no case shall a building shape be confined to a straight rectangle. Building shape variations shall be required at a ratio of not less than the number of bedrooms situated on the ground floor plane.
 - Materials and Colors:
 - Building facades shall utilize not less than three different building materials.
 - Changes in building materials may also satisfy the requirements for shape changes if the materials are not in the same plane.
 - Exterior building materials exposed to the elements shall be low maintenance.
 - Building facades shall be multi-colored. Each building façade shall include not less than two distinct colors. Colors may be from the same hue family, but shall be distinct from each other.
 - Preferred materials include stucco, textured cement board, and face-treated (split- or ground-face, etc.) concrete masonry units. The following materials are not acceptable:
 - Vinyl or plastic siding
 - Plain concrete masonry units
 - Reflective, colored, or patterned glazing

- City of Albuquerque Zoning Code Section 14-16-3-18(D)2 shall apply:
 - Major facades greater than 100 feet in length shall break up building mass by including at least two of the following architectural features:
 - Wall plane projections or recesses of at least 2 feet in depth, occurring at least every 100 feet and extending at least 25% of the length of the façade.
 - A vertical change in color, texture, or material occurring every 50 linear feet and extending at least 20% of the length of the façade.
 - An offset, reveal, pilaster, or projecting element, no less than two feet in width and projecting from the façade by at least six inches and repeating at minimum intervals of 30 feet.
 - Three dimensional cornice or base treatments.
 - Art such as murals or sculpture to be coordinated through the City Arts Program.
 - A change in visible roof plan or parapet height for every 100 feet in length, however, each distinct roof plane does not have to equal 100 feet in length.
 - Any other treatment that meets the intent of this section and that meets the approval of the Planning Director or his designee.

13. SIGNAGE

- Signage is regulated in order to create a sense of arrival and avoid visual nuisances.
- For basic requirements, see City of Albuquerque Zoning Code Section 14-16-3-5.
- Additional requirements:
 - Signage shall be governed according to City of Albuquerque Zoning Code 14-16-3-5, subsection (D)(7).
 - Monument signs shall be limited to 20 square feet per sign face, with a maximum height of 8 feet.

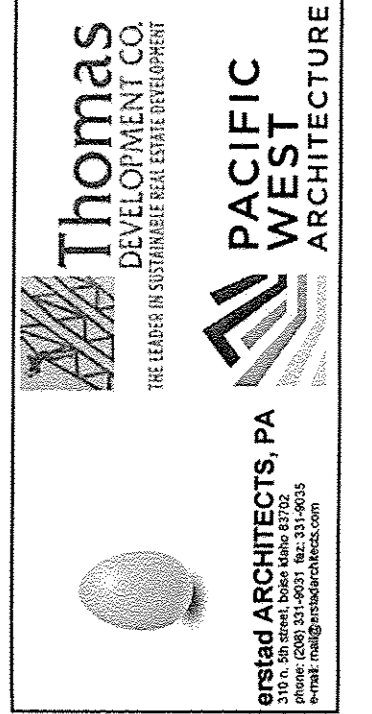
14. SUSTAINABILITY

- Sustainable measures are regulated in order to minimize environmental impact.
- Requirements:
 - Recycling bins shall be provided throughout the project.

15. PROCESS

- SITE DEVELOPMENT PLANS FOR BUILDING PERMIT** shall be delegated to the Development Review Board and shall be consistent with the Design Standards established by the **SITE DEVELOPMENT PLAN FOR SUBDIVISION**.
- Prior to obtaining a building permit, a landfill gas assessment report shall be submitted to and approved by the Albuquerque Environmental Health Department.

NOT FOR CONSTRUCTION



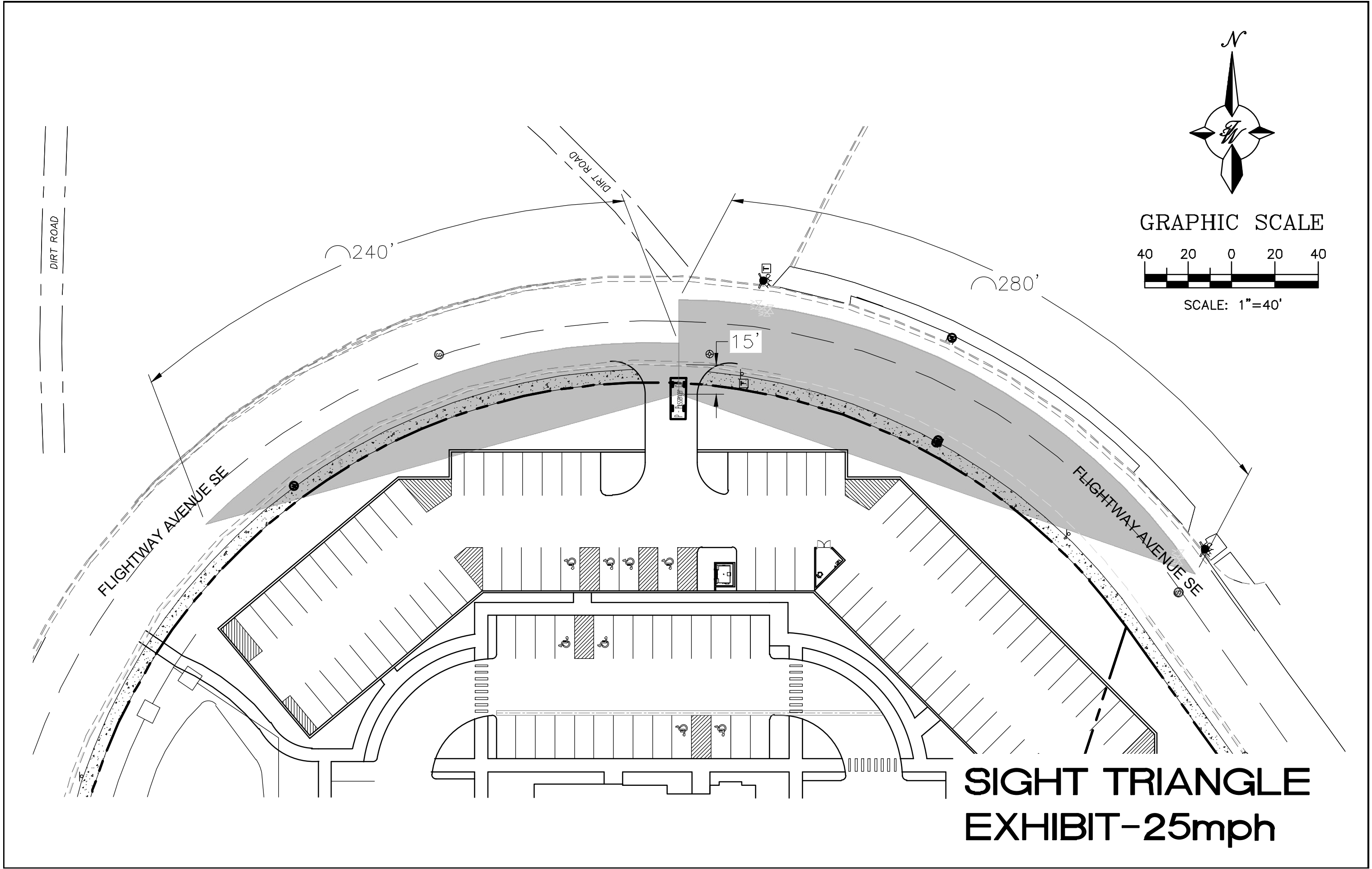
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SOTOGRADE HOUSING
2900 Transport Street SE

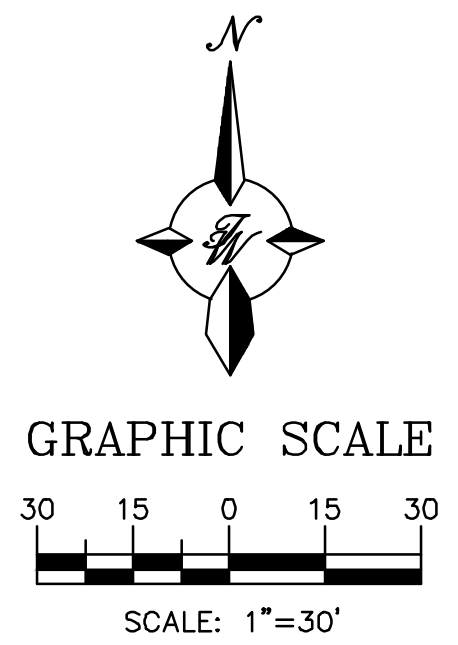
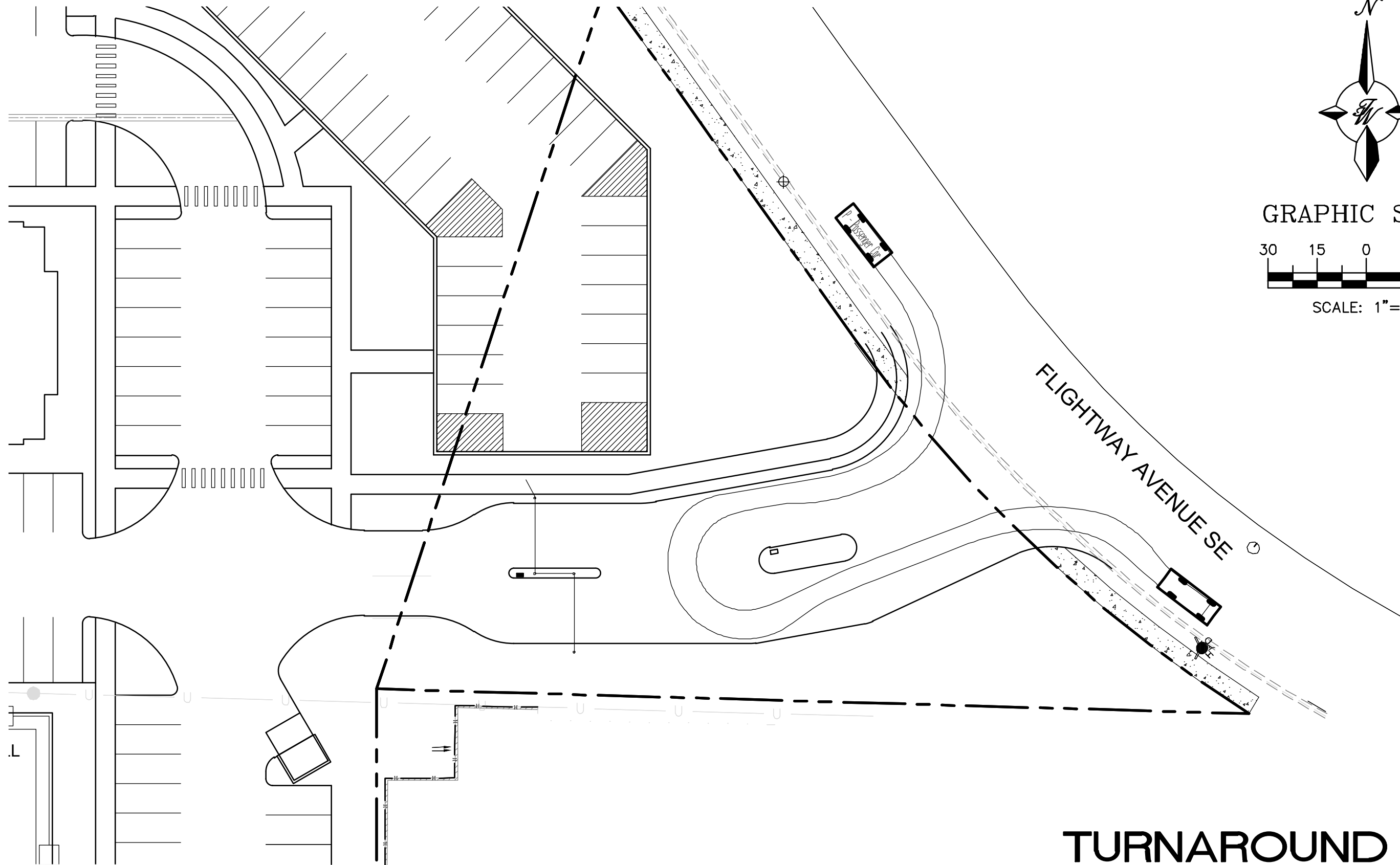
revision:
no. desc. date
1 STAFF COMMENTS 12.30.18
2 COND OF APPROVAL 01.23.19

project: 160804
date: 12.1.18
drawn: CW / CK
checked: AE

**SUBDIVISION
DESIGN
STANDARDS
SPSD3**



**SIGHT TRIANGLE
EXHIBIT-25mph**



FLIGHTWAY AVENUE SE

TURNAROUND EXHIBIT



TIERRA WEST, LLC

August 5, 2021

Ms. Jolene Wolfley
City of Albuquerque – DRB Chair
600 2nd Street NW
Albuquerque NM 87102

**RE: TRANSPORT APARTMENTS
2900 TRANSPORT STREET SE
SENSITIVE LANDS ANALYSIS**

Dear Ms. Wolfley:

Tierra West, LLC has performed a Sensitive Lands Analysis, documenting the following below:

Item:	Presence:	Commentary:
Floodplains and Flood Hazard	None	
Steep Slopes	Steep banks exist	Steep slope going off the North East side of the property sloping towards the west side. See grading and drainage plan with topographic survey.
Unstable Soils	Contains silty fine grained soils	Land contains a silty fine grained soil with little structural integrity. On the parts of the property that have steeper slopes, the soil is broken down due to the nature of the fine grained soil. Refer to geotechnical report.
Wetlands (Constant supply of water)	None	No areas of standing water due to the slope of the property running off towards the west side.
Arroyo	None	No existing arroyos on the property.
Irrigation Facilities	None	No existing irrigation facilities on the site. See attached topography survey.
Escarpment	None	See grading and drainage plan with the topographic survey. No areas of escarpment identified.
Large stands of mature trees	None	No large mature trees located on the site.
Archeological sites	None	No archaeological issues have been uncovered. See attached certificate of No effect from City Archaeologist Dated...

This site is an existing site that has considerable fall across the site and highly erosive soil. The site has approximately 30 feet of fall across the site. Development of the site will stabilize the area and remove the potential of sediment leaving this site to the adjoining roadways. This is near the airport so it does not have any escarpment and minimal vegetation. In conclusion this site does not have any significant features that need to be protected or taken into account in the design.

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
tierrawestllc.com 1-800-245-3102



An outlet from the property to the east flows into a channel with rock lining and dirt.



Channel flows into the property from the drainage outlet at north east corner of property.



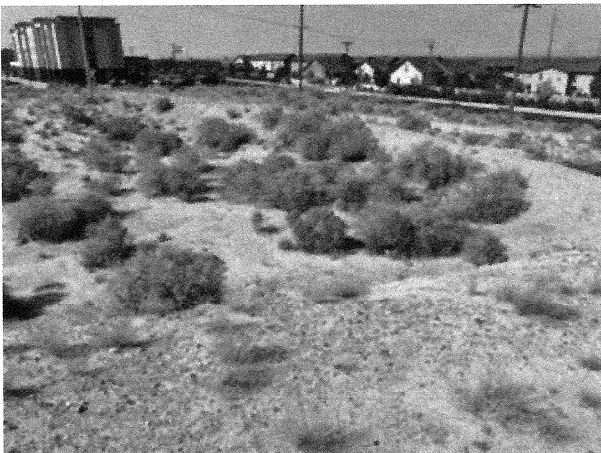
Full view



Central part of the property looks towards the lower west side of the property.



A small ridge at the central to lower spot of the property points towards the south west corner of the property



Ridgeline creates a small basin towards the center of the property.



Bottom of the channel



Steep slope comes off of the north east side of the property consisting of a silty fine grained soil.



A buildup of soil against the wall at the south east side.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E

JN: 2020031
RRB/vp/ye

CITY OF ALBUQUERQUE



July 27, 2021

Subject Property:

Transport Housing Project
2900 Transport St SE
Albuquerque, NM 87106

Mr. Kraemer,

This letter serves as approval for the landfill gas assessment and mitigation requirements for the development at 2900 Transport St SE, Albuquerque NM 87106. Please attach this approval letter for landfill gas assessment and mitigation requirements to all applications to the Planning Department. This approval is for site plan as well as building permits.

Approval is based on the assessment submitted by Tierra West dated 7/23/2021 with a engineer stamp date of 7/27/2021 by Ronald R. Bohannon, PE.

Thank you,

Signature on file

Paul Olson, PE
Environmental Health ESD
505/331-6677 cell
505/768-2633 office

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



TIERRA WEST, LLC

July 23, 2021

Mr. Paul Olson
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: TRANSPORT HOUSING-LANDFILL DISCLOSURE STATEMENT
LOT 1A BLK 2 SUNPORT PARK REPL OF
LTS 1, 2 & 3 BLK 2/ LT 2-A-1 BLK 2 PLAT OF
LOTS 2-A-1, 2-A-2 & 2-A-3 BLK 2 SUNPORT PARK
ZONE ATLAS MAP M-15-Z**

Dear Mr. Olson:

We are preparing a Site Plan Approval and Preliminary Plat Approval request to the Development Review Board. The subject property is located at 2900 Transport Street Albuquerque, NM 87106, West of University Blvd between Woodward Road and Flightway Avenue, totaling 10.70 acres +/- . The site is zoned Non-Residential Business Park (NR-BP) and has a previous site development plan that was approved for Multi-Family uses. The Multi-family development will consist of 7 3-story residential buildings, 4 garage buildings, and a clubhouse with a pool. The northernmost 3-story residential building along Flightway Avenue will also include an underground parking structure beneath the 3 residential stories, which will total 4 floors for this building. Access to this underground parking structure will come from Flightway Avenue, while access to the first residential floor will be provided from the adjacent onsite parking and pedestrian walkways.

On behalf of Contractors Leasing, LLC and Larry Gutierrez, Tierra West, LLC is writing this letter to address any potential impact from the former Schwartzman landfill that is located west of Interstate 25 but within a 1000 feet of the subject property. TWLLC has assisted with the developments due west of the site that consists of the Capstone Housing Project and the 80,000 square foot medical center that is now Optum.

Previous studies completed in the area include a study for Capstone Housing which is located immediately west of the subject site. An additional study was done for the now current Optum Medical facility. Both of these reports are attached for reference. The proposed site is further east across Transport from both of those facilities. A vapor barrier was established for the Capstone Housing SAS line preventing any gas to those residential units and is attached. Attached in Attachment A is the plan view of that vapor barrier which installed and isolates any migration of gas to the student housing. That mitigation stopped at Transport Street.

5571 Midway Park Place NE
(505) 858-3100
Albuquerque, NM 87109
Fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

The SAS line mitigated for Capstone Housing runs down the middle of Transport Street, Woodward Road, and Flightway Ave, which are already completely built out. There is no extension of this SAS line into the subject property and we believe that we have enough previous landfill debris analysis to indicate that there is no adverse conditions to the subject property, therefore we do not believe any mitigation is required for the development of the subject property.

Please review and please call for us to discuss and if this is acceptable in order for us to proceed to DRB for Site Plan approval.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

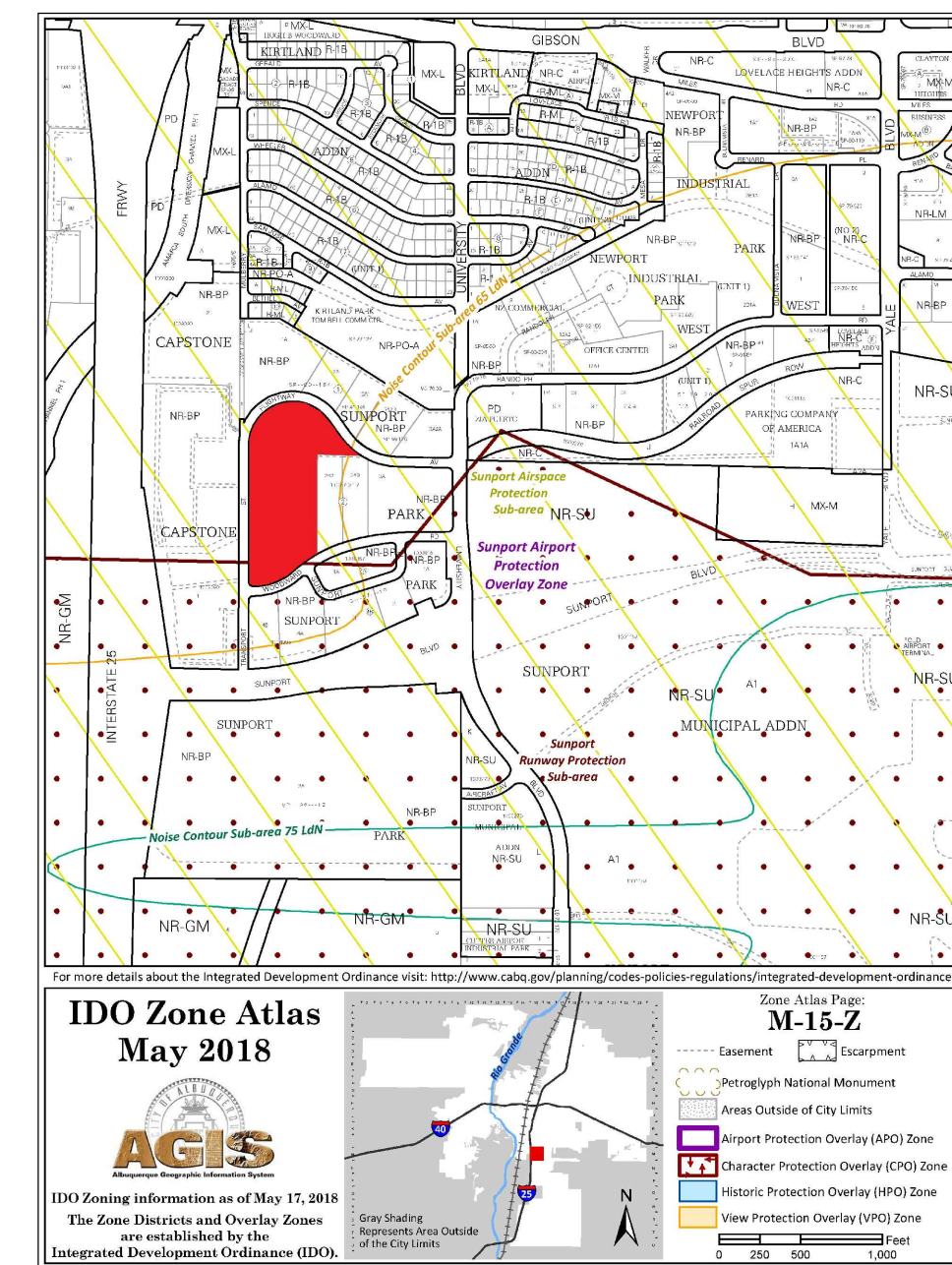
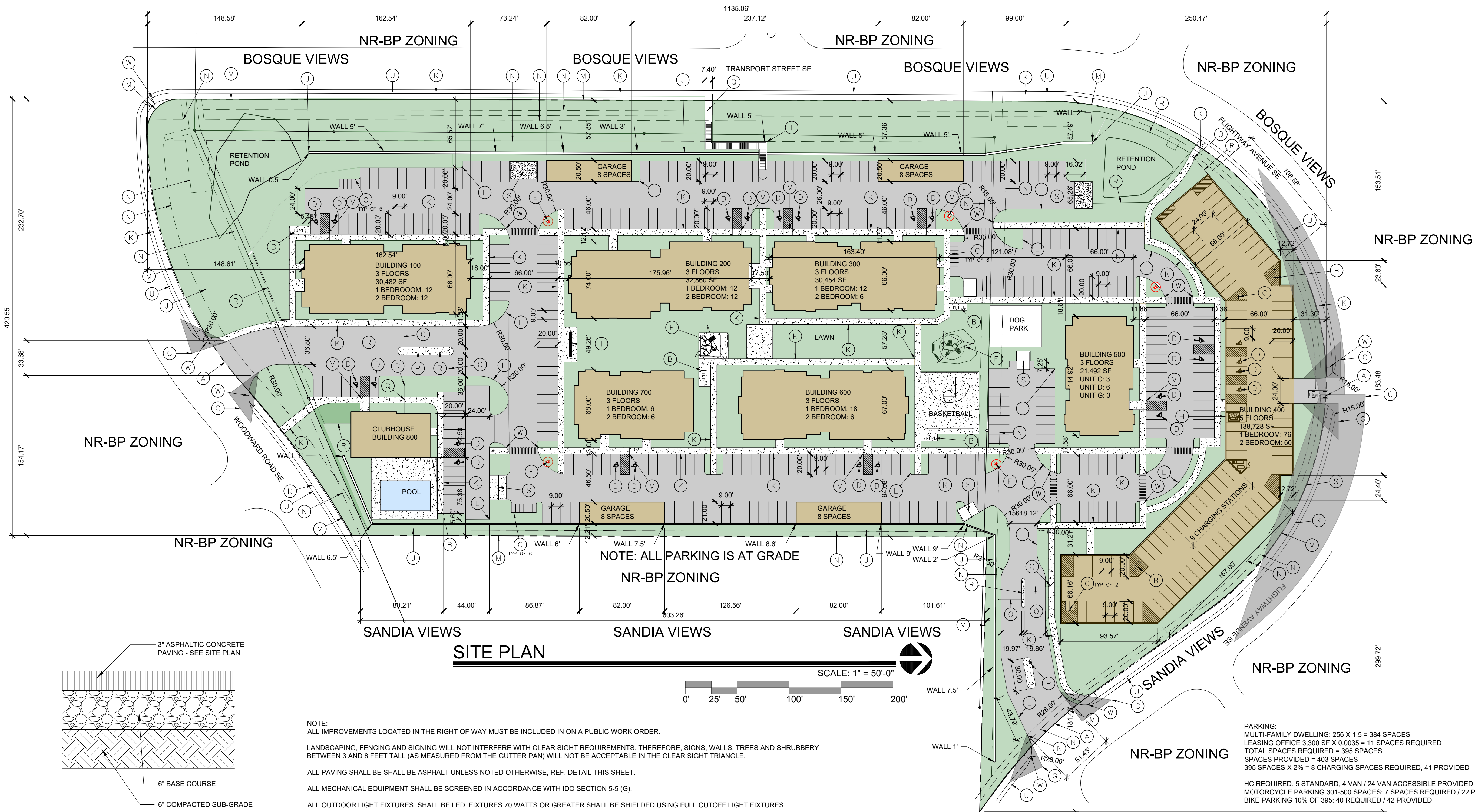
Sincerely,



Ronald R. Bohannon, P.E.

cc: Peter Gineris
Zack Snyder

JN: 2020072
RRB/vp/kw



- KEYED NOTES**
- A. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
 - B. 6 SPACE BIKE RACK, REF DETAIL THIS SHEET
 - C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
 - D. H.C. PARKING SPACE WITH PAVEMENT MARKING & SIGN, REF DETAIL ON THIS SHEET
 - E. NEW FIRE HYDRANT
 - F. PLAYGROUND EQUIPMENT
 - G. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLES
 - H. FIRE DEPT. CONNECTION
 - I. STAIRS, REF DETAIL AS / A-002
 - J. CMU WALL
 - K. NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430E
 - L. HEADER CURB, REF DETAIL THIS SHEET
 - M. PROPERTY LINE
 - N. EASEMENT
 - O. VEHICULAR GATE
 - P. KNOX BOX
 - Q. 4' PERSONNEL GATE
 - R. SECURITY FENCE
 - S. REFUSE ENCLOSURE, REF DETAIL THIS SHEET
 - T. MAILBOXES
 - U. LANDSCAPE BUFFER
 - V. CURB RAMP, REF COA STANDARD DETAIL 2443
 - W. CURB RAMP, REF COA STANDARD DETAIL 2446

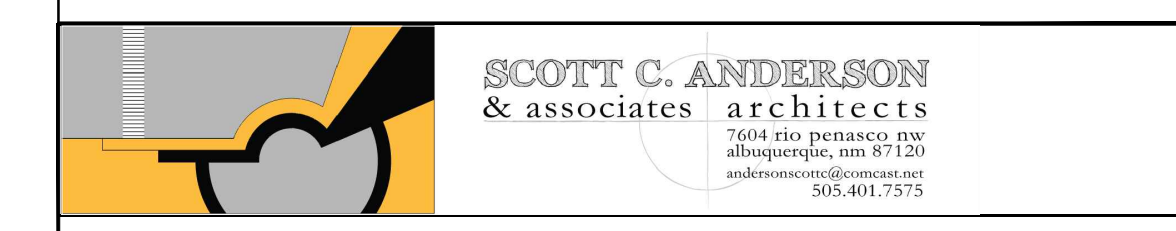
PROJECT NUMBER: 2021-005459
 APPLICATION NUMBER: SI-2021-01248

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is and Infrastructure List required () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

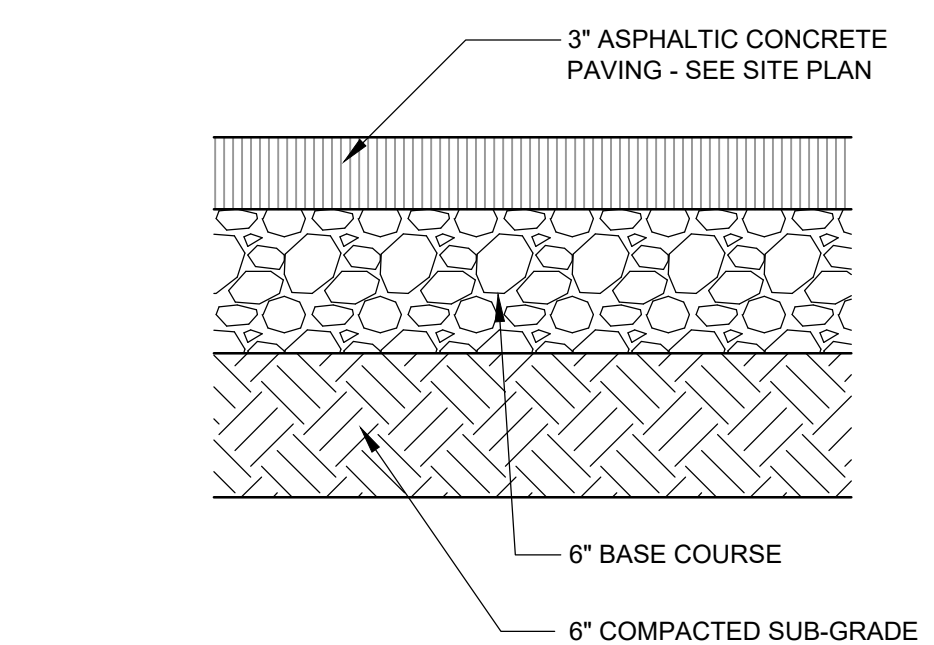
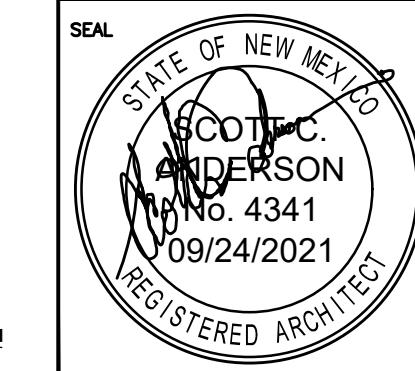
Traffic Engineer, Transportation Division	Date
Water Utility Department	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health	Date
Solid Waste Management	Date
Code Enforcement	Date
Albuquerque Metropolitan Flood Control Authority	Date
DRB Chairperson, Planning Department	Date
Environmental Health, if necessary	



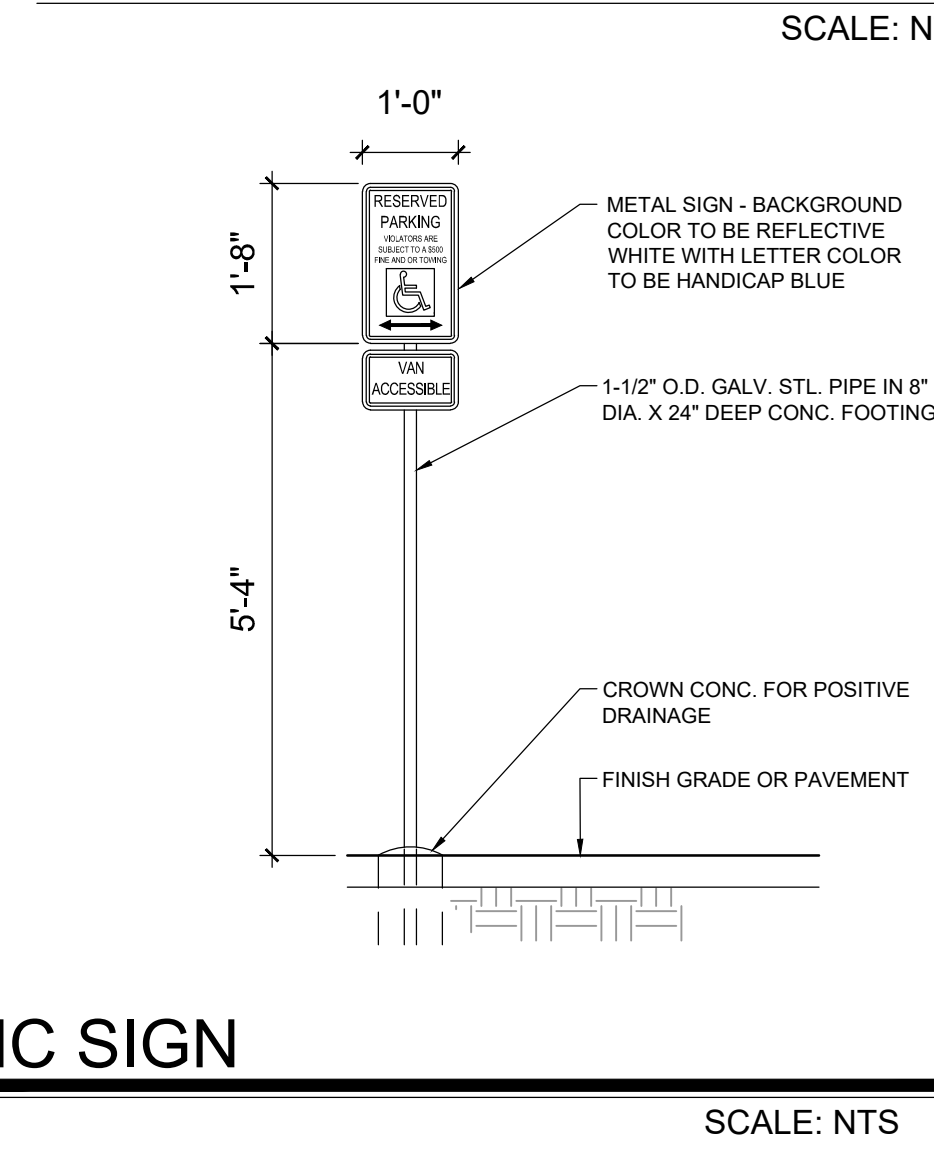
TRANSPORT APARTMENTS
 3000 TRANSPORT ST SE
 ALBUQUERQUE, NM 87106

DRAWING TITLE

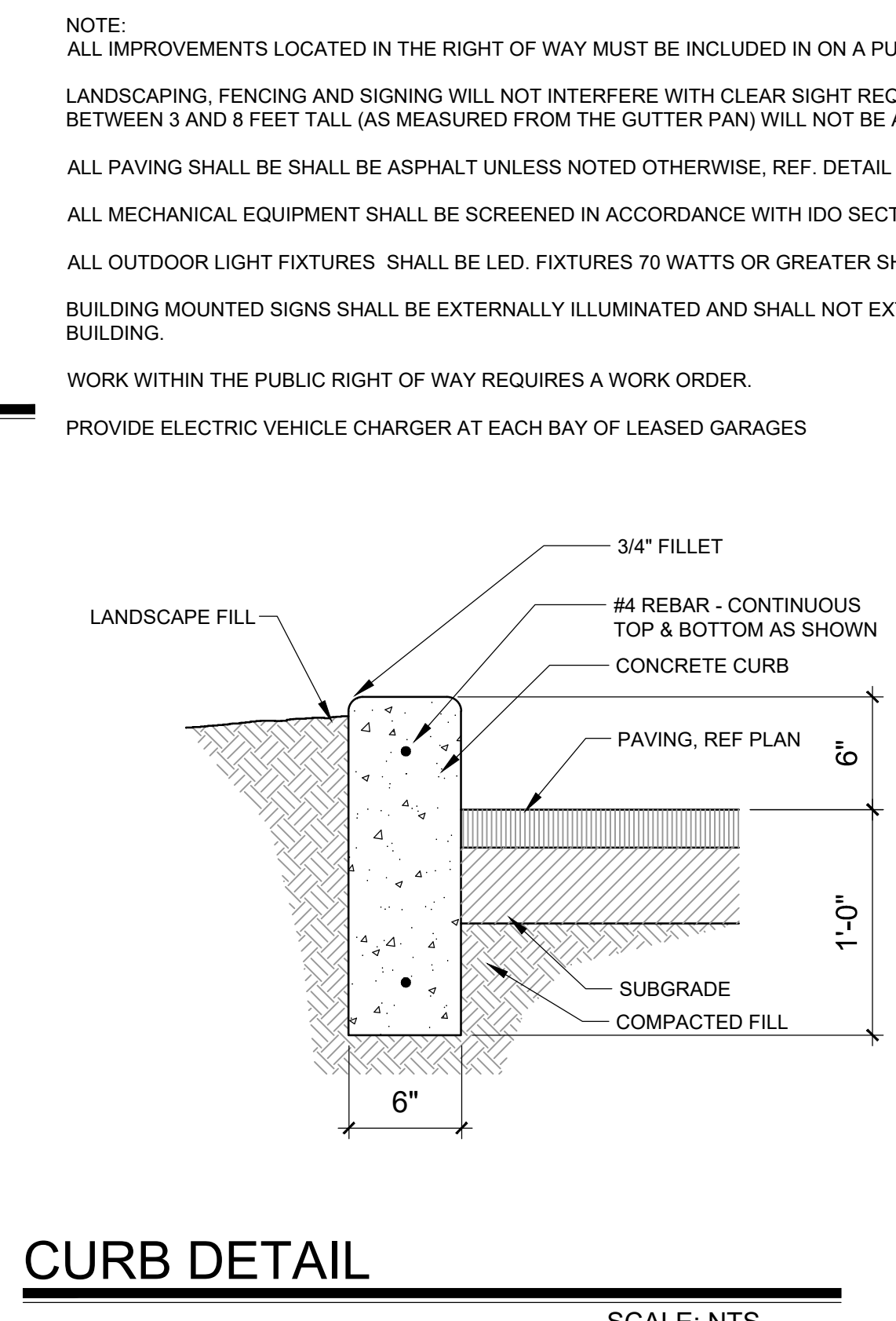
SITE PLAN	
DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	A-001
DATE 9/24/2021	OF



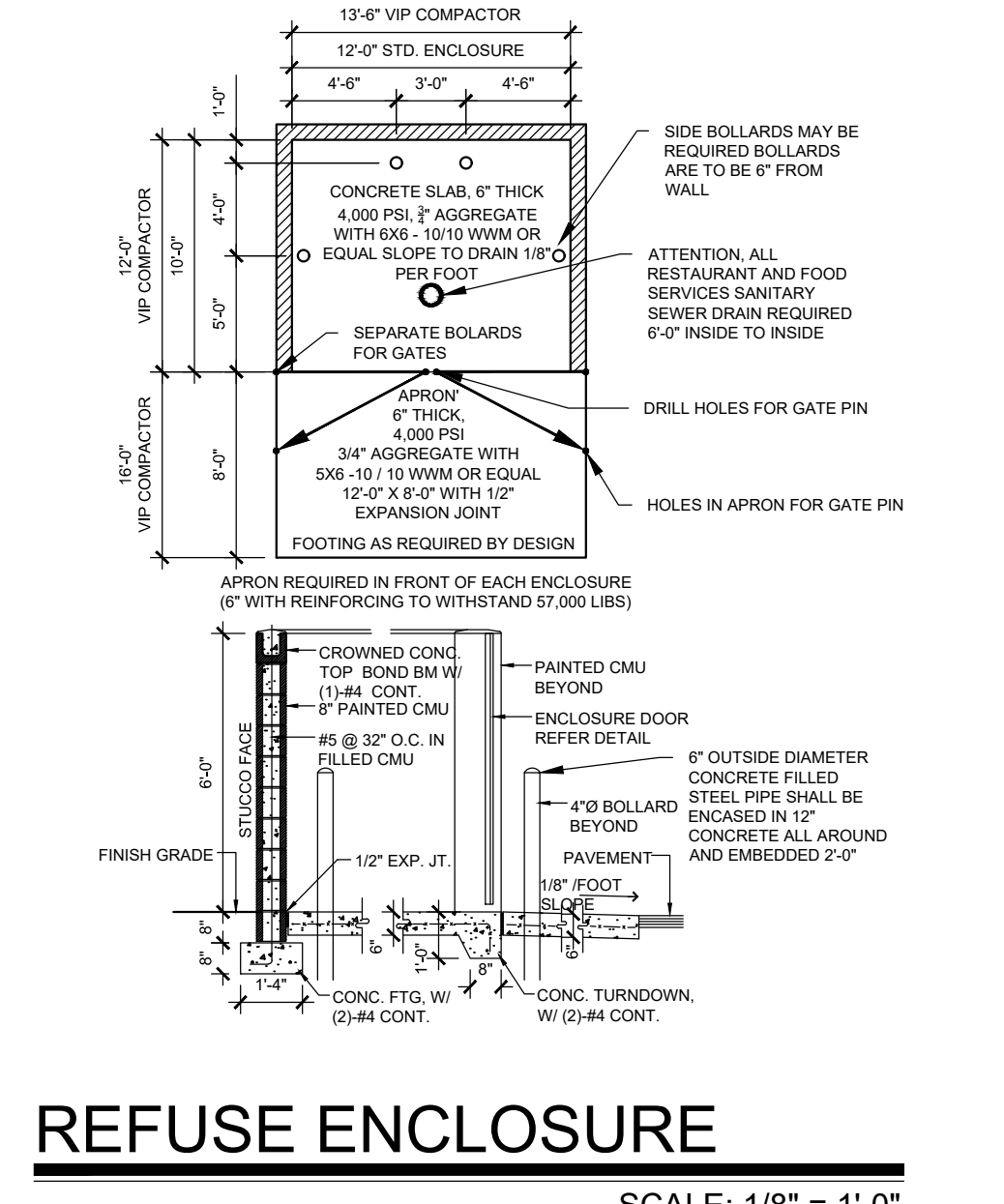
PAVING SECTION



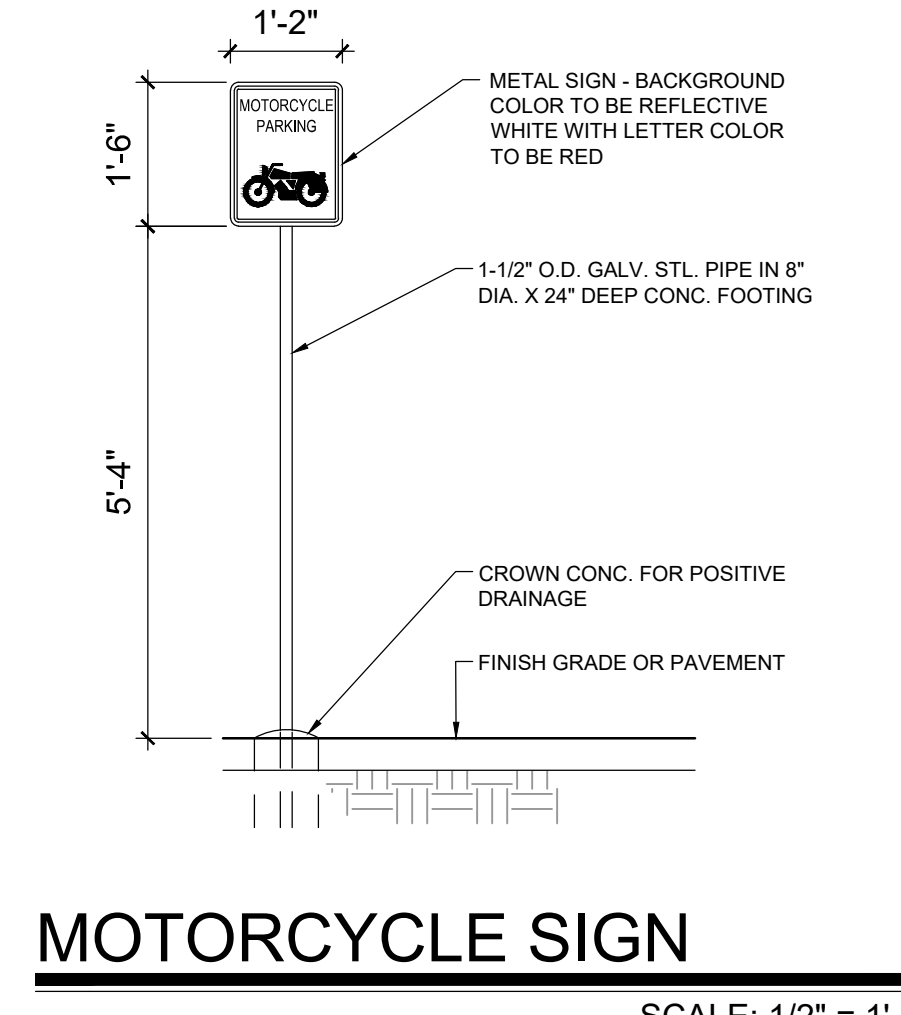
HC SIGN



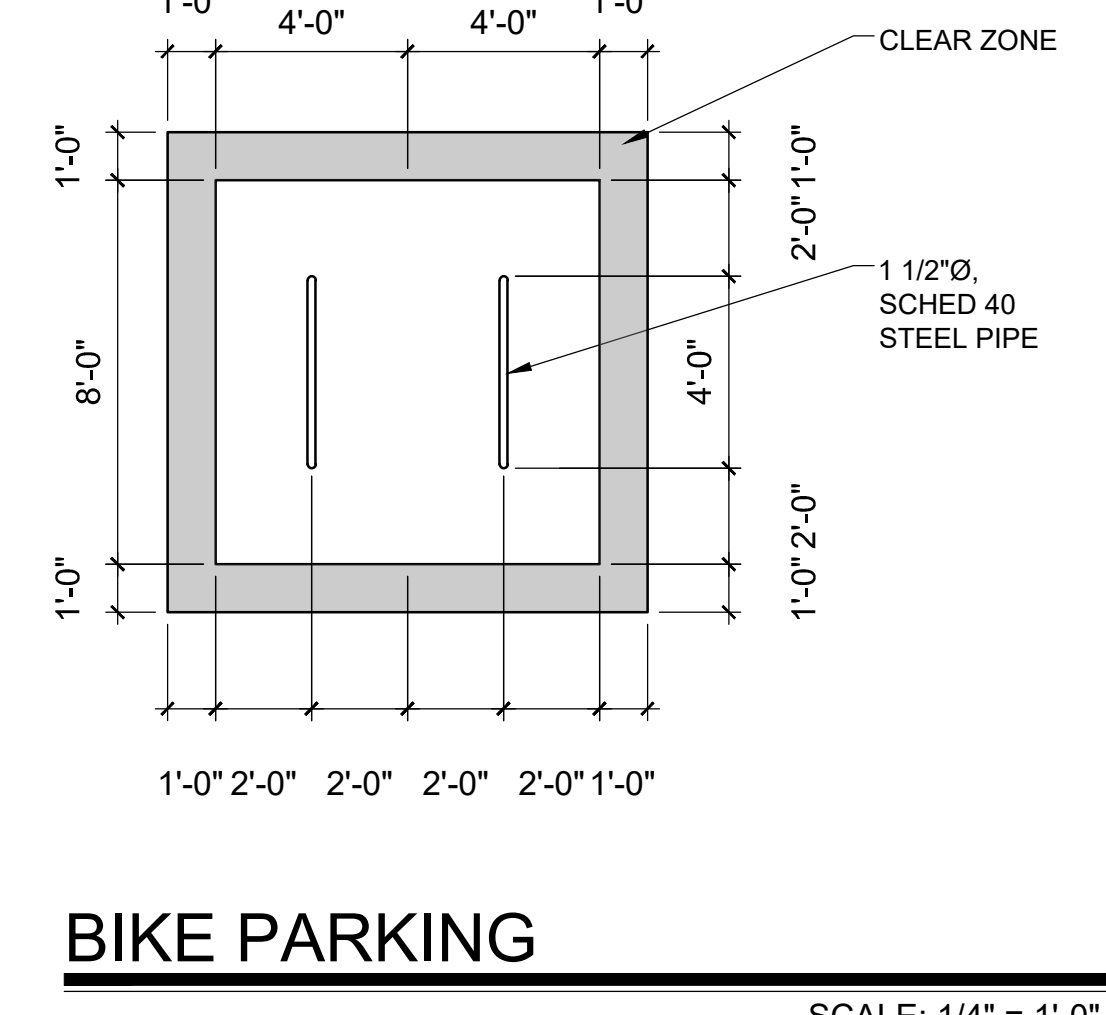
CURB DETAIL



REFUSE ENCLOSURE



MOTORCYCLE SIGN



BIKE PARKING

NOTE:
 ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.
 LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 ALL PAVING SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.
 ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).
 ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.
 BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.
 WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.
 PROVIDE ELECTRIC VEHICLE CHARGER AT EACH BAY OF LEASED GARAGES

NOTE: ALL PARKING IS AT GRADE
 NR-BP ZONING

PARKING:
 MULTI-FAMILY DWELLING: 256 X 1.5 = 384 SPACES
 LEASING OFFICE 3,300 SF X 0.0035 = 11 SPACES REQUIRED
 TOTAL SPACES REQUIRED = 395 SPACES
 SPACES PROVIDED = 403 SPACES
 395 SPACES X 2% = 8 CHARGING SPACES REQUIRED, 41 PROVIDED
 HC REQUIRED: 5 STANDARD, 4 VAN / 24 VAN ACCESSIBLE PROVIDED
 MOTORCYCLE PARKING 301-500 SPACES: 7 SPACES REQUIRED / 22 PROVIDED
 BIKE PARKING 10% OF 395: 40 REQUIRED / 42 PROVIDED

IDO TABLE 5-1-2 OPEN SPACE:
 1 BEDROOM: 148 EA X 200SF = 29,600 SF
 2 BEDROOM: 108 EA X 250SF = 27,000 SF
 TOTAL REQUIRED = 56,600 SF
 TOTAL PROVIDED = 104,771 SF

GROSS LOT AREA = 465,830 SF
 BUILDING FOOTPRINT = 100,706 SF
 NET LOT AREA = 365,124 SF
 REQUIRED LANDSCAPE AREA @ 15% = 54,768 SF ; 104,771 SF PROVIDED
 UPC: 101505514525430415
 LEGAL: LOT 1A, BLOCK 2, SUNPORT PARK
 ZONING: NR-BP
 ZONE ATLAS PAGE: M15

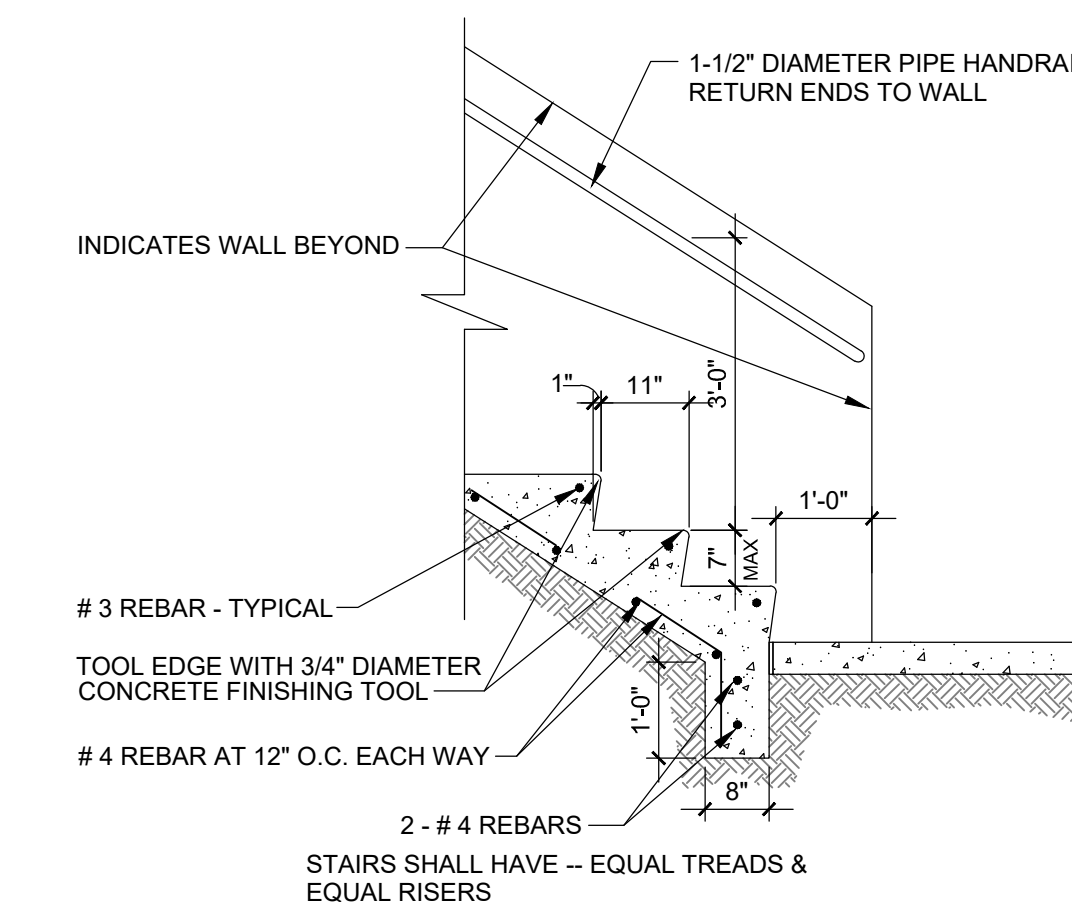
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SCALE: 1/2" = 1'-0"

SCALE: 1/4" = 1'-0"

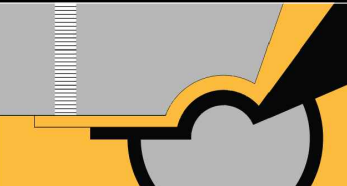

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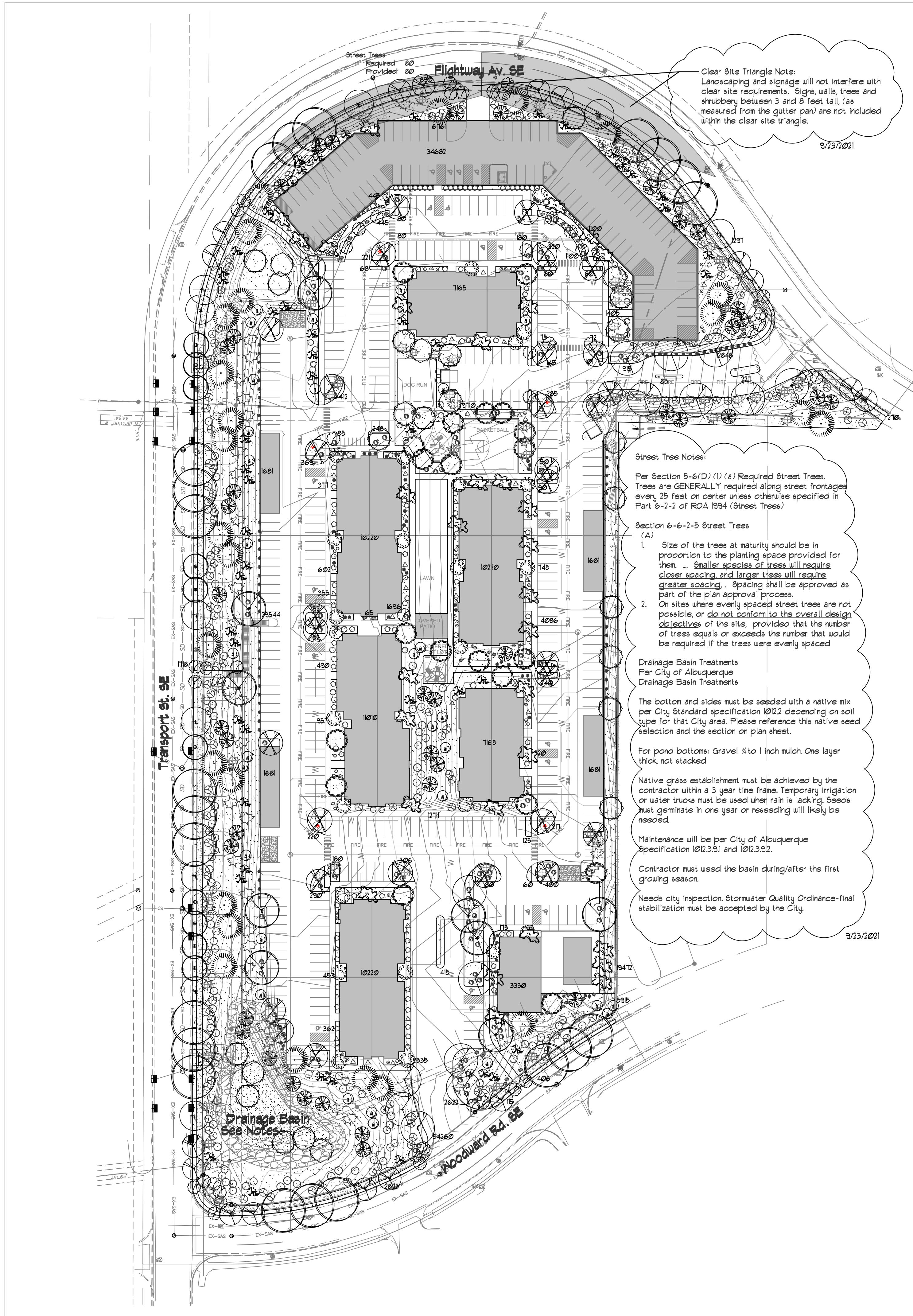
SCALE: NTS



A5 STAIR DETAIL

SCALE: 1/2" = 1'-0"

 SCOTT C. ANDERSON & associates architects <small>7604 rio penasco, n.w. albuquerque, nm 87129 andersonsc@scottcaas.com 505.401.7575</small>		
TRANSPORT APARTMENTS 3000 TRANSPORT ST SE ALBUQUERQUE, NM 87106		
DRAWING TITLE: SITE DETAILS		
SEAL 	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-002 _____ OF _____
	DATE	
DATE: 09/24/2021		



Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.

Street Tree Notes:
Per Section 5-6(D) (1) (a) Required Street Trees. Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

Section 6-6-2-5 Street Trees (A)
1. Size of the trees at maturity should be in proportion to the planting space provided for them. Smaller species of trees will require closer spacing and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.
2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

Drainage Basin Treatments
Per City of Albuquerque
Drainage Basin Treatments

The bottom and sides must be seeded with a native mix per City Standard specification 1022 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.

For pond bottoms: Gravel 1/2 to 1 inch mulch. One layer thick, not stacked

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

Maintenance will be per City of Albuquerque Specification 1023.9.1 and 1023.9.2.

Contractor must weed the basin during/after the first growing season.

Needs city inspection. Stormwater Quality Ordinance-final stabilization must be accepted by the City.

LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
11	2" cal	Hackberry <i>Celtis reticulata</i>	25x25 675 10675 M+
10	2" cal	Bigtooth Maple <i>Acer platanoides 'Deborah'</i>	625 6750 12500 M+
10	2" cal	Sensation Maple <i>Acer negundo 'Sensation'</i>	40x35 1225 12500 M+
14	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	40x35 1225 11500 M+
22	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45 2025 44550 M
9	2" cal	Purple Robe Locust <i>Robinia pseudoacacia</i>	40x35 1225 11025 M+
31	2" cal	Frontier Elm <i>Ulmus 'Frontier'</i>	20x25 625 19375 M+
24	2" cal	New Mexico Olive <i>Ulmus 'Frontier'</i>	15x15 225 5400 M
21	2" cal	Fragrant Ash <i>Fraxinus cuspidata</i>	20x20 400 8400 M
26	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20x25 625 16750 M
31	15 Gal	Crape Myrtle <i>Lagerstroemia indica</i> Tree Form, 8' ht at planting	30x20 400 12400 M
48	15 Gal	Oklahoma Redbud <i>Cercis reniformis</i>	15x12 144 6912 M
26	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25 675 16750 H
289 Total Trees		Tree Coverage	193331
Shrubs & Groundcovers			
102	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x5 25 2550 M
111	5 Gal	Go-Low Sumac <i>Rhus aromatica 'Go-Low'</i>	3x8 64 1104 L
98	5 Gal	Japanese Barberry <i>Berberis thunbergii</i>	5x5 25 2450 M
38	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x5 25 950 M
49	5 Gal	Yellow Bird of Paradise <i>Caesalpinia gilliesii</i>	8x10 100 4900 M
32	5 Gal	Rose of Sharon <i>Hibiscus syriacus</i>	10x10 100 3300 M
41	5 Gal	Common Lilac <i>Hibiscus syriacus</i>	15x15 225 9225 M
34	5 Gal	Knock Out Roses <i>Rosa 'Knock Out'</i>	3x4 16 544 M
30	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4x2 144 4320 M
12	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12 144 10368 M
32	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3 9 288 M
75	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 675 M
41	5 Gal	Fern Bush <i>Chamaebotaria millefolium</i>	5x6 36 1692 L
63	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x1 49 3081 L
44	5 Gal	Ornamental <i>Chrysothamnus nauseosus</i>	5x1 49 256 L
80	5 Gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	25x2 4 320 M
51	5 Gal	Dwarf Fountain Grass <i>Pennisetum alopecuroides 'Hormel'</i>	3x3 9 459 M
999	Total Shrubs	Shrub Coverage	54289
155	2-3cf	Boulders	To be placed at contractor discretion
14405		Landscape Gravel / Filter Fabric	3/4" Crushed, Color tbd
13684		Drainage Basin See Notes	2-4" Adobe Rose On all Slopes exceeding 3:1
25208		Soil Layer	Albuquerque Park Blend

LANDSCAPE NOTES:
All landscaping for Transport Apartments shall comply with the City of Albuquerque, IDO.

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain all landscaping in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping shall be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all areas unless otherwise designated.

All street trees planted shall be selected from the City of Albuquerque plant palette and sizing list.

Organic mulch is required as ground cover under trees within a 5 foot radius around the tree trunk but not directly against the trunk in these areas, used barrier fabric is prohibited. (see landscape detail sheet)

IRRIGATION NOTES:
Irrigation system shall be designed and installed to be capable of utilizing reclaimed water.

Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owners responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with Trees to receive 1 NetAfm spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, primed in place. NetAfm shall have emitters 12" o.c. with a flow of 1/2 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Water use calculations shall be developed prior to final approval ensuring with compliance with the Mesa del Sol guidelines for seasonal water use.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

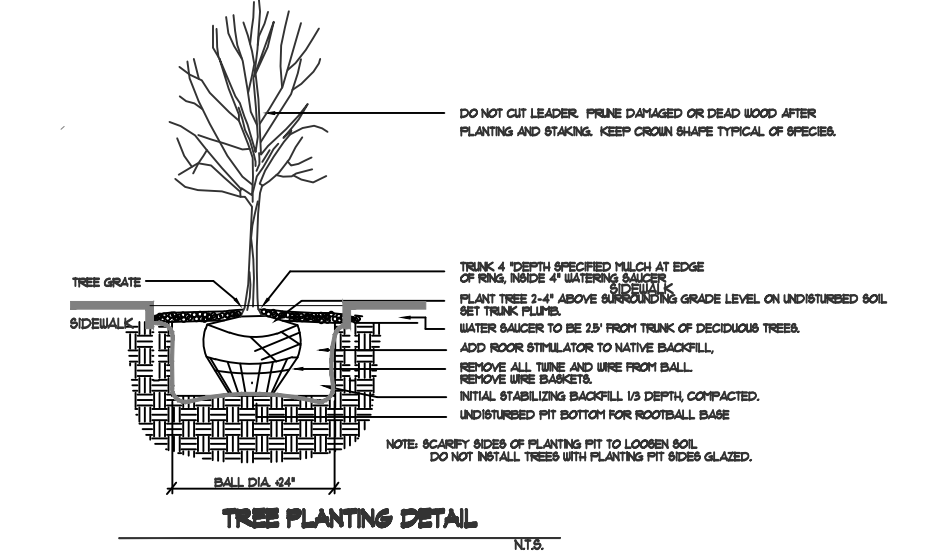
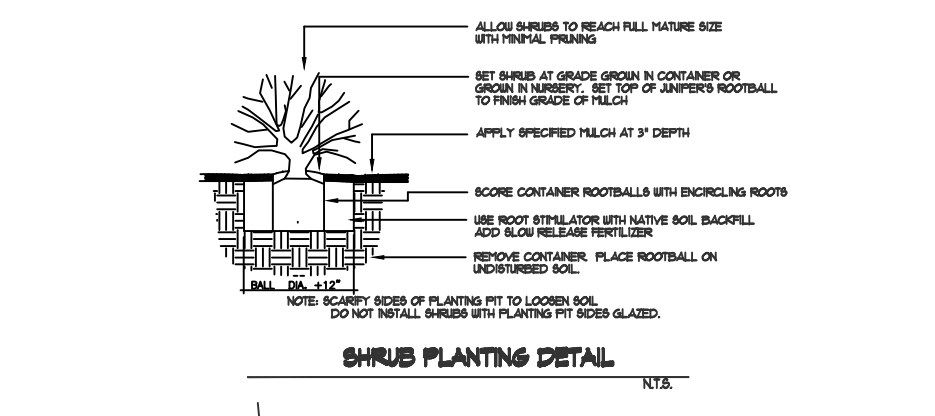
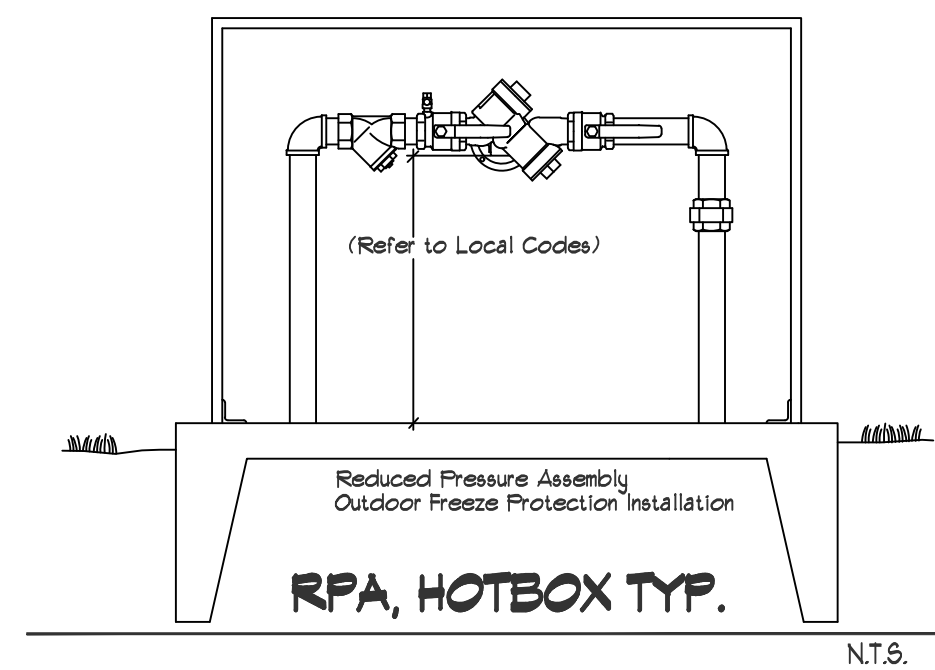
Water and Power source shall be the responsibility of the Developer/Builder.

Irrigation systems shall comply with section 8 of the ABQWA legislation and ordinances (cross connection prevention and control ordinance).

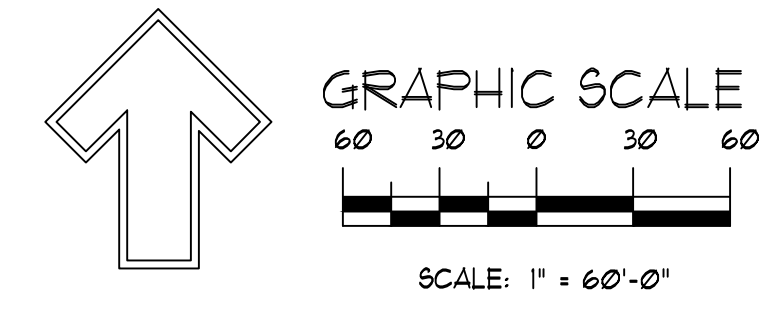
The irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	465605
TOTAL BUILDING AREA (sf)	100716
TOTAL LOT AREA (sf)	364889
LANDSCAPE REQUIREMENT	X 15
TOTAL LANDSCAPE REQUIRED (15%)	54730
TOTAL ON-SITE LANDSCAPE PROVIDED	186389
TOTAL LIVE GROUNDCOVER REQUIRED	198809
TOTAL LIVE GROUNDCOVER PROVIDED	247625



IMPERVIOUS AREAS:		
CONCRETE SIDEWALKS	59,546 SF	
ASPHALT / PARKING	156,634 SF	
PARKING LANDSCAPING	23,945 SF	REQUIRED (5%)
PARKING LANDSCAPING	156,361 SF	PROVIDED
PERVIOUS AREAS:		
LAWN	25,208 SF	
GROUND COVER (GRAVEL / LANDSCAPE)	167,111 SF	
PLAYGROUND (WOOD CHIPS)	4,504 SF	
20% OF LANDSCAPE AREA IS ALLOWED TO BE HIGH WATER USE TURF-AREA MAX ALLOWED	29,613 SF	
HIGH WATER USE TURF PROVIDED	25,208 SF	
REQUIRED STREET TREES	80	PROVIDED AT 25' O.C. SPACING AVG
REQUIRED PARKING LOT TREES	40	AT 1 PER 10 SPACES (403 SPACES / 10)
PROVIDED PARKING LOT TREES:	40	
1 TREE REQUIRED PER GROUND AND 2ND FLOOR UNITS	74	
GROUND FLOOR UNITS:	40	
2ND FLOOR UNITS:	74	
TREES REQUIRED	134	
TREES PROVIDED	289	



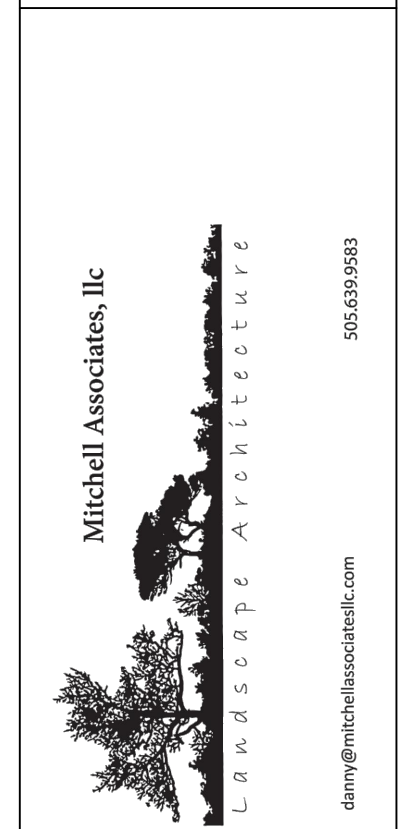
REVISIONS

Date:	Comment:
9/23/2021	DRB Comments

Designed By: D. Mitchell
 Drawn By: Jm
 Approved By: NEW MEXICO ONE CALL STATEWIDE - 811 OR 1-800-397-1-ALERT (2537) www.nmonecall.org Call two working days before you dig.
 File ID:

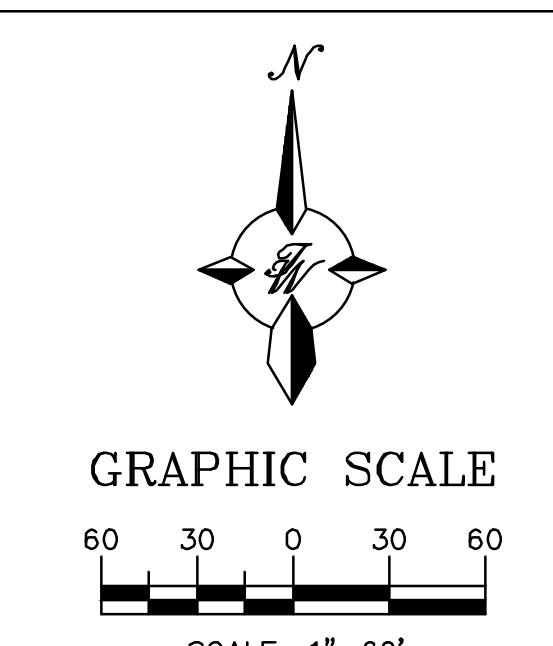
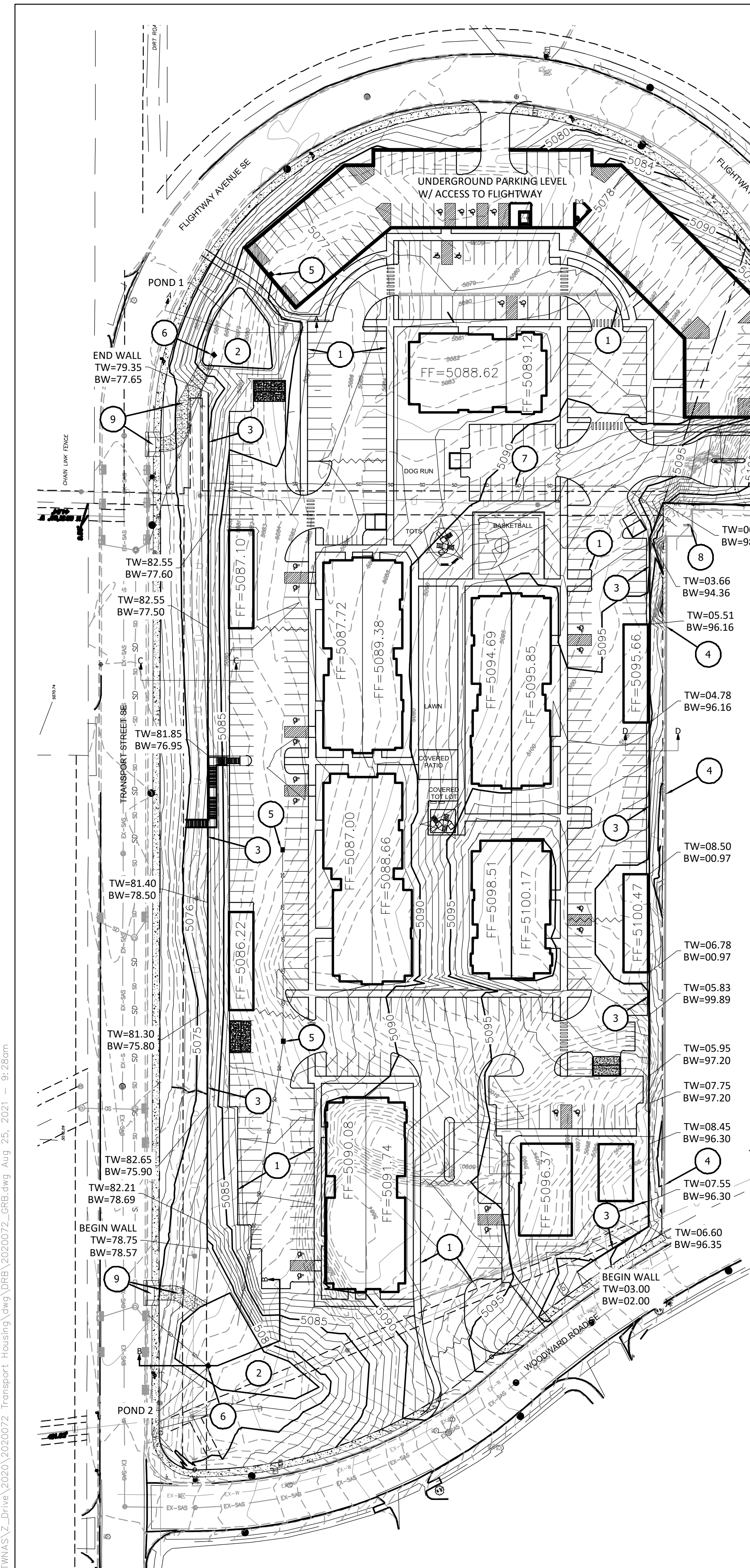
Landscape Plan

Transport Housing
 Transport St. and Flightway Av.
 Albuquerque, NM



Seal:
 Landscape Architect
 STATE OF NEW MEXICO
 DANNY D. MITCHELL
 239
 REGISTERED
 LANDSCAPE ARCHITECT
 August 3, 2021

DRAWING NO:
LS-101



LEGEND	
(Symbol)	CURB & GUTTER
(Symbol)	BOUNDARY LINE
(Symbol)	EASEMENT
(Symbol)	CENTERLINE
(Symbol)	RIGHT-OF-WAY
(Symbol)	BUILDING
(Symbol)	SIDEWALK
(Symbol)	STORM DRAIN
(Symbol)	RETAINING WALL
(Symbol)	CONTOUR MAJOR
(Symbol)	CONTOUR MINOR
(Symbol)	SPOT ELEVATION
(Symbol)	FLOW ARROW
(Symbol)	EXISTING CURB & GUTTER
(Symbol)	EXISTING BOUNDARY LINE
(Symbol)	EXISTING CONTOUR MAJOR
(Symbol)	EXISTING CONTOUR MINOR
(Symbol)	EXISTING SPOT ELEVATION

KEYED NOTES

- ① 6" CURB & GUTTER
- ② POND FOR STORMWATER DETENTION AND WQ RETENTION
- ③ RETAINING WALLS
- ④ EXISTING RETAINING WALL @ PROPERTY LINE
- ⑤ DRAINAGE DROP INLET
- ⑥ RAISED POND OUTFALL FOR WQ RETENTION, SINGLE TYPE D GRATE
- ⑦ 12" HDPE FOR BASIN 01 DRAINAGE, CONNECT TO EX. HOTEL OUTFALL (6" PVC PIPES) AND DAYLIGHT THROUGH WEST PROPOSED RETAINING WALL. MIN. PIPE SLOPE=0.016 FT/FT
- ⑧ EX. HOTEL OUTFALL, 6" PVC PIPES STUBBED OUT OF WALL (x2)
- ⑨ 12'-WIDE MAINTENANCE RAMP AND DRIVEPAD PER COA 2425A FOR DRAINAGE POND (10:1 MAX SLOPE)

DPM Weighted E Method
 Precipitation Zone 2
 2900 Transport St SE
 Transport Housing Apartments
 TPLWC Date 8/18/2021

Basin ID	Basin Descriptions				100-Year, 6-Hr				10-Year, 6-Hr						
	Area (sf)	Area (acres)	Area (sq miles)	%	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs	
E1	26,491.41	0.608	0.00095	90%	0.547	10%	0.061	0%	0.000	0.555	0.028	0.99	0.145	0.007	0.27
E2	152,243.04	3.495	0.00546	90%	3.146	10%	0.350	0%	0.000	0.555	0.162	5.70	0.145	0.042	1.53
E3	41,028.39	0.942	0.00147	95%	0.895	5%	0.047	0%	0.000	0.543	0.043	1.50	0.138	0.011	0.38
E4	26,606.93	0.611	0.00095	100%	0.611	0%	0.000	0%	0.000	0.530	0.027	0.95	0.130	0.007	0.23
E5	36,409.55	0.836	0.00131	90%	0.752	10%	0.084	0%	0.000	0.555	0.039	1.36	0.145	0.010	0.37
E6	156,161.07	3.585	0.00560	95%	3.406	5%	0.179	0%	0.000	0.543	0.162	5.72	0.138	0.041	1.46
E7	49,495.29	1.136	0.00178	85%	0.966	15%	0.170	0%	0.000	0.568	0.054	1.90	0.153	0.014	0.53
Total	488,435.68	11.213	0.01752	85%	0.891	0.891	0.000	0.000	0.000	0.514	18.13	0.133	0.477		

Offsite Basin 01 = 6.1 CFS

Basin ID	Basin Descriptions				100-Year, 6-Hr				10-Year, 6-Hr								
	Area (sf)	Area (acres)	Area (sq miles)	%	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs			
P1	148,847.12	3.417	0.00534	0%	0.000	14%	0.478	7%	0.239	79%	2.699	1.863	0.531	14.53	0.323	9.34	
P2	14,638.50	0.336	0.00053	0%	0.000	41%	0.138	0%	0.000	59%	0.198	1.571	0.044	1.25	0.905	0.025	0.75
P3	31,571.95	0.725	0.00113	0%	0.000	25%	0.181	0%	0.000	75%	0.544	1.785	0.108	2.97	1.075	0.065	1.88
P4	2,774.82	0.064	0.00010	0%	0.000	50%	0.032	50%	0.032	0%	0.000	0.955	0.005	0.17	0.400	0.002	0.08
P5	61,526.72	1.412	0.00221	0%	0.000	25%	0.353	0%	0.000	75%	1.059	1.785	0.210	5.78	1.075	0.127	3.66
P6	84,021.44	1.929	0.00301	0%	0.000	15%	0.289	5%	0.096	80%	1.543	1.870	0.301	8.22	1.140	0.183	5.29
P7	25,038.00	0.575	0.00090	0%	0.000	15%	0.086	10%	0.057	75%	0.431	1.820	0.087	2.40	1.099	0.053	1.53
P8	22,870.87	0.525	0.00082	0%	0.000	50%	0.263	50%	0.263	0%	0.000	0.955	0.042	1.42	0.400	0.018	0.70
P9	6,817.39	0.157	0.00024	0%	0.000	50%	0.078	50%	0.078	0%	0.000	0.955	0.012	0.42	0.400	0.005	0.21
P10	17,641.85	0.405	0.00063	0%	0.000	25%	0.101	75%	0.304	0%	0.000	1.043	0.035	1.18	0.460	0.016	0.62
P11	12,913.84	0.296	0.00046	0%	0.000	20%	0.059	70%	0.208	10%	0.030	1.159	0.029	0.93	0.554	0.014	0.50
P12	42,363.26	0.973	0.00152	0%	0.000	22%	0.214	70%	0.681	8%	0.078	1.132	0.092	2.99	0.533	0.043	1.61
Total	471,025.76	10.813	0.01690	0%	0.000	2.273	0.000	0.000	0.000	6.582	1.495	42.27	0.873	26.18			

Offsite Basin 01 = 6.1 CFS

Pond 1 Water Quality Volume:
 Contributing Basins - P1-P4
 Contributing Basins Impervious Area = 3.441 Acres = 149,889.96 SF
 Water Quality Volume to be Retained = 149,889.96 SF x 0.47' / 12" = 5,247 CF

Pond 1 Discharge Rate:
 Basins P1-P4 Allowable Discharge Rate = 3.4 cfs/acre (Basins A-2, A-4, & A-5 of Sunport Park Master Plan)
 Total Basin Area of P1-P4 = 4.54 acres
 Pond Allowable Discharge = 3.4 cfs/acre x 4.54 acres = 15.44 cfs

Free Discharge to Transport/Flightway
 Contributing Basins Area - P9-P12
 Contributing Basins Area = 1.84 acres
 Discharge (100yr, 6hr) = 5.53 cfs
 Discharge Rate = 5.53 cfs / 1.84 acres = 3.00 cfs/acre
 3.00 cfs/acre < 3.4 cfs/acre allowable discharge rate (Sunport Park Master Plan)
 Therefore, OK

Pond 2 Water Quality Volume:
 Contributing Basins - P5-P8
 Contributing Basins Impervious Area = 3.034 Acres = 132,161.04 SF
 Water Quality Volume to be Retained = 132,161.04 SF x 0.47' / 12" = 4,625 CF

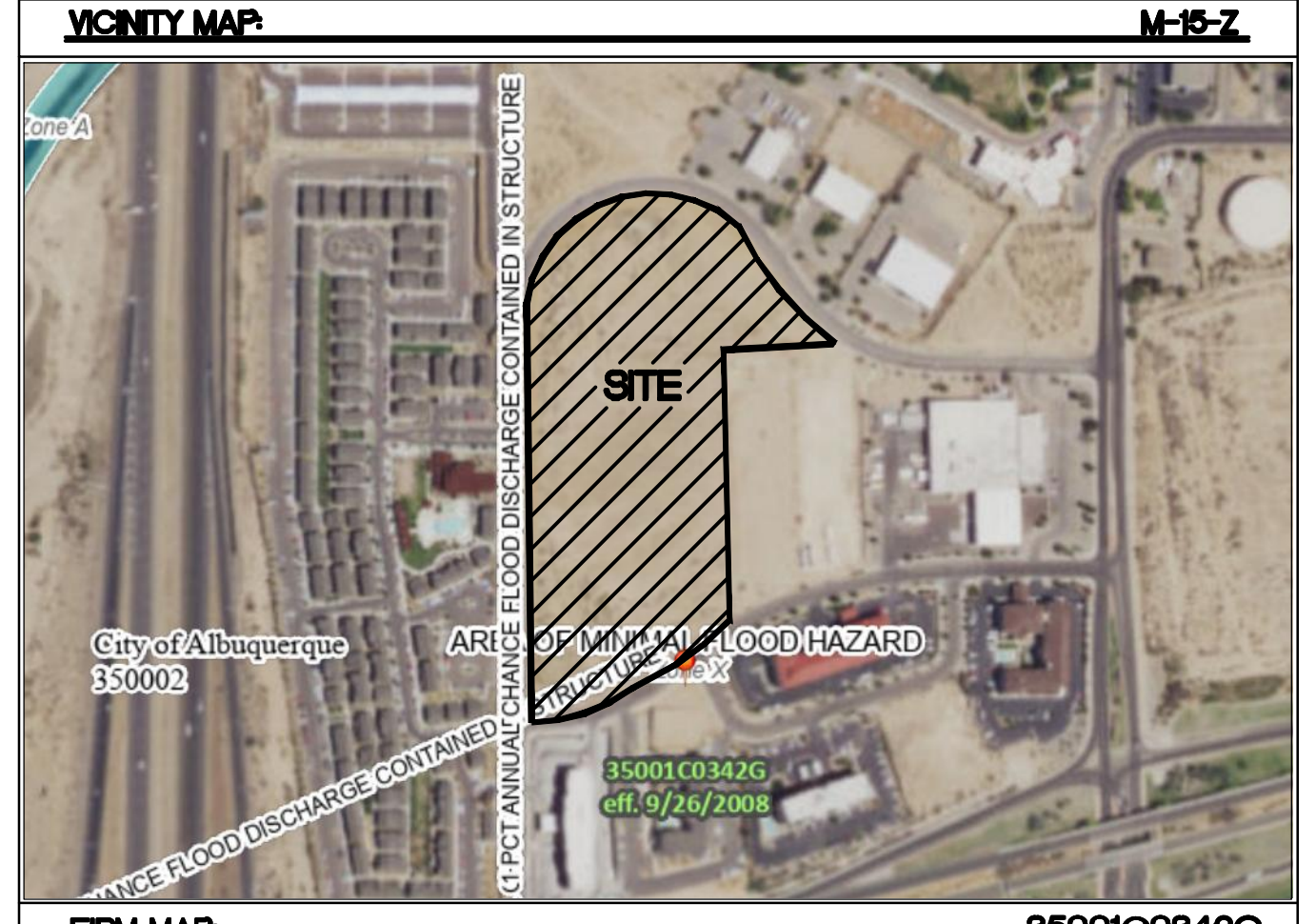
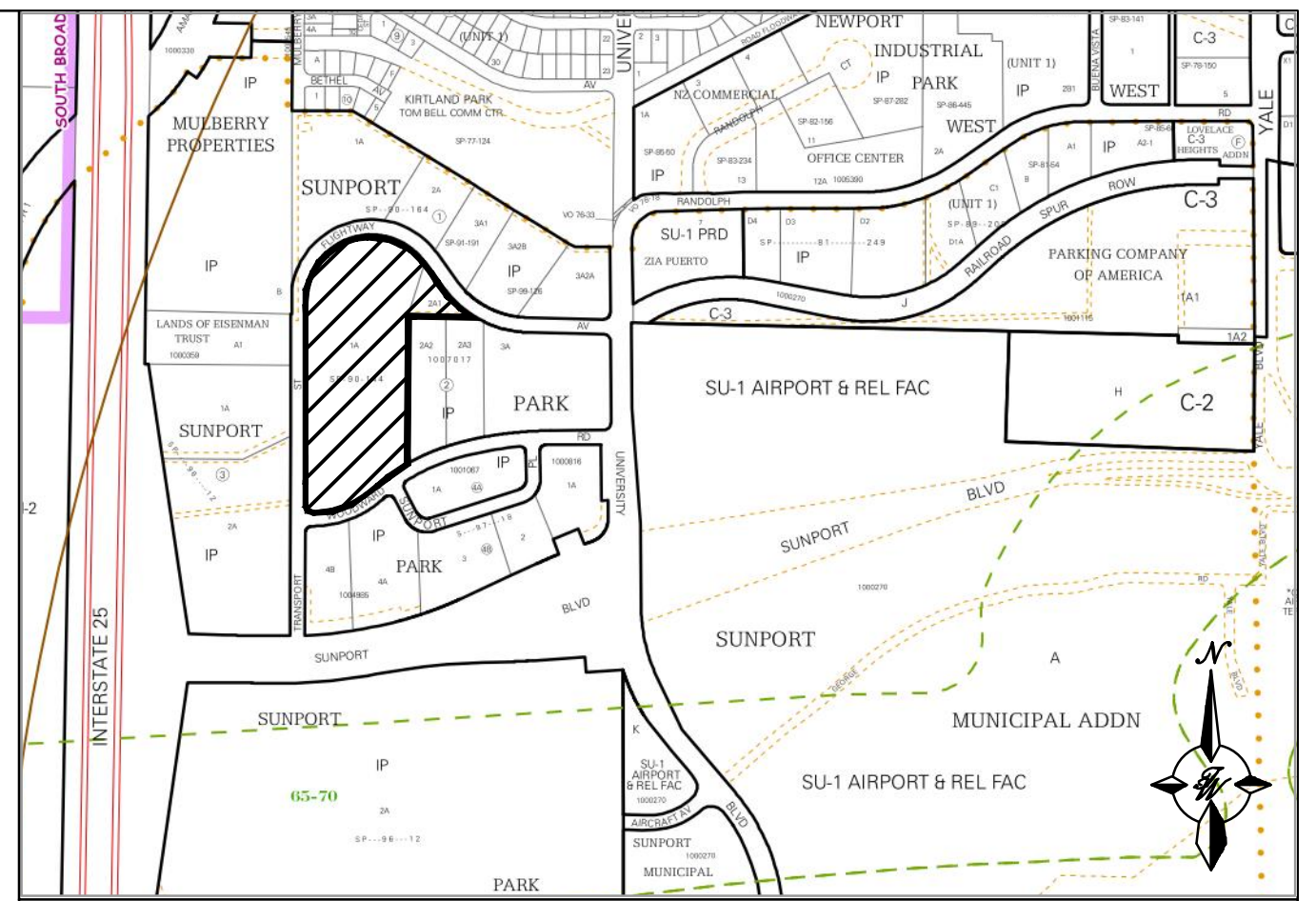
Pond 2 Discharge Rate:
 Basins P5-P8 Allowable Discharge Rate = 3.4 cfs/acre (Basin A-5 of Sunport Park Master Plan)
 Basin P5 Area = 1.41 acres
 Basin P5 Allowable Discharge = 3.4 cfs/acre x 1.41 acres = 4.79 cfs
 Basin P6 (A-5) Allowable Discharge Rate = 3.4 cfs/acre (Basin A-5 of Sunport Park Master Plan)
 Basin P6 (A-5) Area = 0.72 acres
 Basin P6 (A-5) Allowable Discharge = 3.4 cfs/acre x 0.72 acres = 2.45 cfs
 Basins P6(A-9)-P8 Allowable Discharge Rate = 3.85 cfs/acre (Basin A-9 of Sunport Park Master Plan)
 Basin P6(A-9)-P8 Area = 2.31 acres
 Basins P6(A-9)-P8 Allowable Discharge = 3.85 cfs/acre x 2.31 acres = 8.89 cfs
 Pond Allowable Discharge = 4.79 cfs + 2.45 cfs + 8.89 cfs = 16.13 cfs

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LOCAL LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



EXISTING DRAINAGE:
 AS SHOWN BY THE VICINITY MAP, THIS SITE IS BOUNDED BY WOODWARD ROAD TO THE SOUTH, TRANSPORT STREET TO THE WEST, FLIGHTWAY AVENUE TO THE NORTH AND A RETAINING WALL TO THE EAST THAT HOLDS THE ADJACENT COMFORT SUITES HOTEL SITE ABOVE THIS PROPERTY. THE SITE CONSISTS OF TWO LOTS, WHICH WILL BE REPLATED TO ONE LOT. LOT 1-A, BLOCK 2, SUNPORT PARK IS THE LARGER PARCEL CONSISTING OF 10.1 ACRES. THE SMALLER PARCEL IS LOT 2-A-1, BLOCK 2, SUNPORT PARK AND CONSISTS OF 0.69 ACRES. THE TOTAL OF THE TWO LOTS TO BE COMBINED IS 10.69 ACRES. SHOWN BY THE FEMA FIRM MAP, THE SITE DOES NOT LIE WITHIN ANY FLOODPLAIN.

THE SITE IS CURRENTLY UNDEVELOPED AND CONSISTS OF DRAINAGE FLOW FROM EAST TO WEST TOWARDS TRANSPORT STREET. THE GROUND COVER CONSISTS OF NATIVE GRASSES AND WEEDS AND IS RELATIVELY STEEP, WITH SLOPES RANGING BETWEEN 10% TO 20% AND WITH SOME AREAS EXCEEDING 20%. THERE ARE UPLAND OFFSITE FLOWS FROM BASIN 01 THAT PASS THROUGH THE SITE FROM THE HOTEL DIRECTLY TO THE EAST. BASIN 01 OUTFALLS ONTO THE SITE VIA TWO 6" PVC PIPES PENETRATED THROUGH AN EXISTING RETAINING WALL SEPARATING BOTH SITES. BASINS E1 THROUGH E6 CONVEY RUNOFF TO THE EXISTING STORM DRAIN CURB INLETS ALONG THE EAST SIDE OF TRANSPORT STREET. BASIN E7 CAPTURES AND RETAINS FLOWS ONSITE, AS THIS BASIN CONTAINS A LOW POINT THAT DOES NOT ALLOW FLOWS TO MAKE ITS WAY TO THE TRANSPORT STREET STORM DRAIN SYSTEM.

THE SITE LIES WITHIN A MASTER DRAINAGE PLAN KNOWN AS SUNPORT PARK - PHASE 1 DATED 12/6/1996 (HYDROLOGY FILE M15-D023). PER THIS DRAINAGE MASTER PLAN, THE SITE LIES WITHIN BASINS A-4, A-5, A-9, AND A SMALL PORTION OF A-2 WITH ALL OF THESE BASINS INTENDED TO DISCHARGE INTO THE TRANSPORT STREET STORM DRAIN. DRAINAGE BASINS A-2, A-4, AND A-5 ALLOW A 100-YR, 6-HR DISCHARGE RATE OF 3.4 CFS/ACRE WHILE BASIN A-9 ALLOWS A DISCHARGE RATE OF 3.85 CFS/ACRE.

PROPOSED DRAINAGE:
 THE PROPOSED DEVELOPMENT WILL BE AN APARTMENT COMPLEX WITH 7 3-STORY RESIDENT BUILDINGS, 4 GARAGE BUILDINGS, A CLUBHOUSE AND VARIOUS TYPICAL APARTMENT AMENITIES. DUE TO STEEP EXISTING GRADES OF THE SITE, THERE WILL BE NEW RETAINING WALLS ALONG THE EAST AND WEST PROPERTY LINES. THE SITE WILL PREDOMINANTLY DRAIN TOWARDS POND 1 (NW QUADRANT OF PROPERTY) AND POND 2 (SW QUADRANT OF PROPERTY). BASINS P1-P3 WILL DRAIN VIA SURFACE FLOW TOWARDS BASIN P4, WHICH IS POND 1. BASINS P5-P7 WILL DRAIN BY A COMBINATION OF SURFACE FLOW AND ONSITE STORM DRAIN TOWARDS BASIN P8, WHICH IS POND 2. EACH POND WILL HAVE RAISED OUTFALLS FOR RETAINING THE REQUIRED WATER QUALITY VOLUME FROM THEIR RESPECTIVE CONTRIBUTING BASINS. THESE OUTFALLS IN THESE PONDS WILL CONNECT TO THE BACK OF THE EXISTING CURB INLETS ALONG THE EAST SIDE OF TRANSPORT STREET.


PROPOSED BASINS P1-P4 FALL WITHIN THE MASTER PLAN DRAINAGE BASINS OF A-2, A-4, & A-5. THESE MASTER PLAN BASINS ALL HAVE AN ALLOWABLE DISCHARGE RATE 3.4 CFS/ACRE, SO POND 1 WILL BE LIMITED TO DISCHARGE AT THIS RATE WITH AN ALLOWABLE TOTAL DISCHARGE OF 15.44 CFS. PROPOSED BASINS P5-P8 FALL WITHIN THE MASTER PLAN DRAINAGE BASINS OF A-5 & A-9, WHICH EACH HAVE AN ALLOWABLE DISCHARGE RATE OF 3.4 CFS/ACRE AND 3.85 CFS/ACRE, RESPECTIVELY. PROPOSED BASIN P5 FOLLOWS 3.4 CFS/ACRE, BASINS P7 AND P8 FOLLOWS 3.85 CFS/ACRE, AND BASIN P6 FOLLOWS BOTH 3.4 AND 3.85 CFS/ACRE SINCE THIS AREA IS SPLIT BETWEEN THE MASTER PLAN BASINS MENTIONED. POND 2 THEREFORE, WILL HAVE ALLOWABLE DISCHARGE OF 16.13 CFS. HYDROLOGY CALCS FOR THESE DETERMINED DISCHARGES CAN BE FOUND ON THIS SHEET.

THE REMAINING DRAINAGE BASINS P9-P12 CONSIST OF THE SLOPE THE AREAS ALONG THE STREET-FRONTED PERIMETER OF THE PROPERTY. THESE BASINS ARE NOT IMPERVIOUS EXCEPT FOR THE DRIVEWAYS, WHICH ARE SLOPED TO CREATE WATER BLOCKS BETWEEN THE STREET DRAINAGE AND PRIVATE DRAINAGE. THESE BASINS WILL ALSO CONVEY FLOW TO THE EXISTING CURB INLETS IN TRANSPORT STREET VIA FREE DISCHARGE. THIS FREE DISCHARGE AMOUNT WORKS OUT TO BE 3.00 CFS/ACRE, WHICH IS LESS THAN THE ALLOWABLE 3.4 AND 3.85 CFS/ACRE RATES IN THE MASTER PLAN, THEREFORE THESE BASINS WILL BE ALLOWED TO FREE DISCHARGE TO TRANSPORT STREET AND FLIGHTWAY AVENUE.

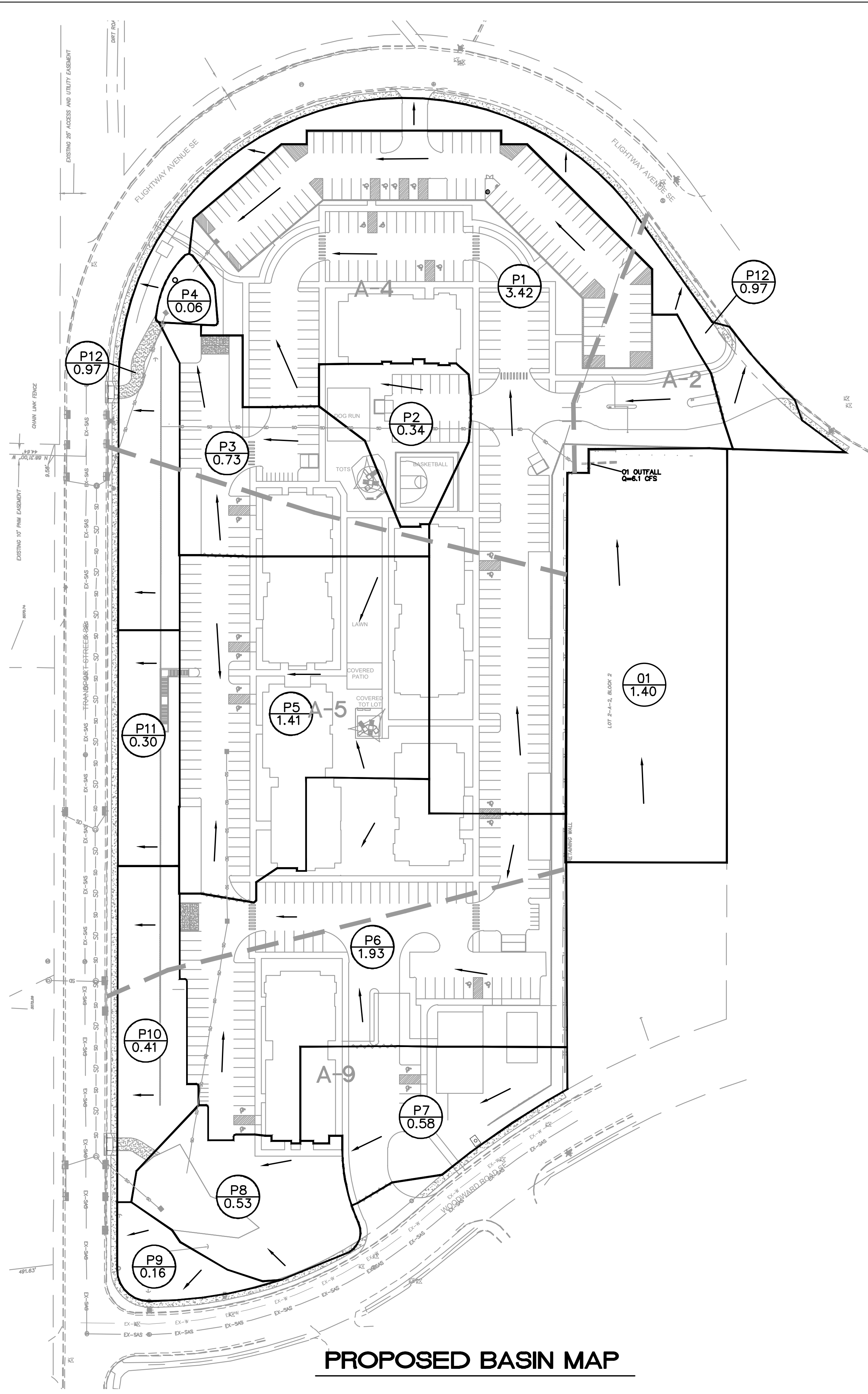
THE NORTHERN MOST RESIDENT BUILDING ALONG FLIGHTWAY AVENUE WILL INCLUDE AN UNDERGROUND PARKING STRUCTURE, WITH VEHICLE INGRESS/EGRESS TO THE STRUCTURE COMING FROM FLIGHTWAY AVENUE. THE FIRST FLOOR ABOVE THIS STRUCTURE WILL BE AT GRADE WITH THE ONSITE PARKING/DRIVE AISLE DIRECTLY SOUTH OF THE BUILDING. THE PARKING STRUCTURE WILL HAVE SOME SLIGHT GRADE FROM EAST TO WEST FOR POSITIVE DRAINAGE ASSURANCE, WITH A DRAINAGE INLET PLACED AT THE WESTERN EDGE OF THE PARKING STRUCTURE, HOWEVER THERE IS NOT AN ANTICIPATED LARGE AMOUNT OF RUNOFF WITHIN THE STRUCTURE DUE TO A RAINFALL FROM A STORM EVENT BEING CAPTURED ON THE ROOF ABOVE AND ALREADY BEING ACCOUNTED FOR IN BASIN P1.

THE TOTAL 100-YR 6-HR FLOW FOR THE ENTIRE SITE IS 42.27 CFS OVER 10.813 ACRES. FOLLOWING THE ALLOWABLE DISCHARGE RATES BETWEEN BOTH PONDS AND THE FREE DISCHARGE AREAS ALONG FLIGHTWAY AND TRANSPORT, THE FULLY DEVELOPED SITE WILL DISCHARGE TO THE TRANSPORT STORM DRAIN SYSTEM AT 37.10 CFS. THIS AVERAGES OUT TO 3.43 CFS/ACRE FOR THE TOTAL DEVELOPED SITE.

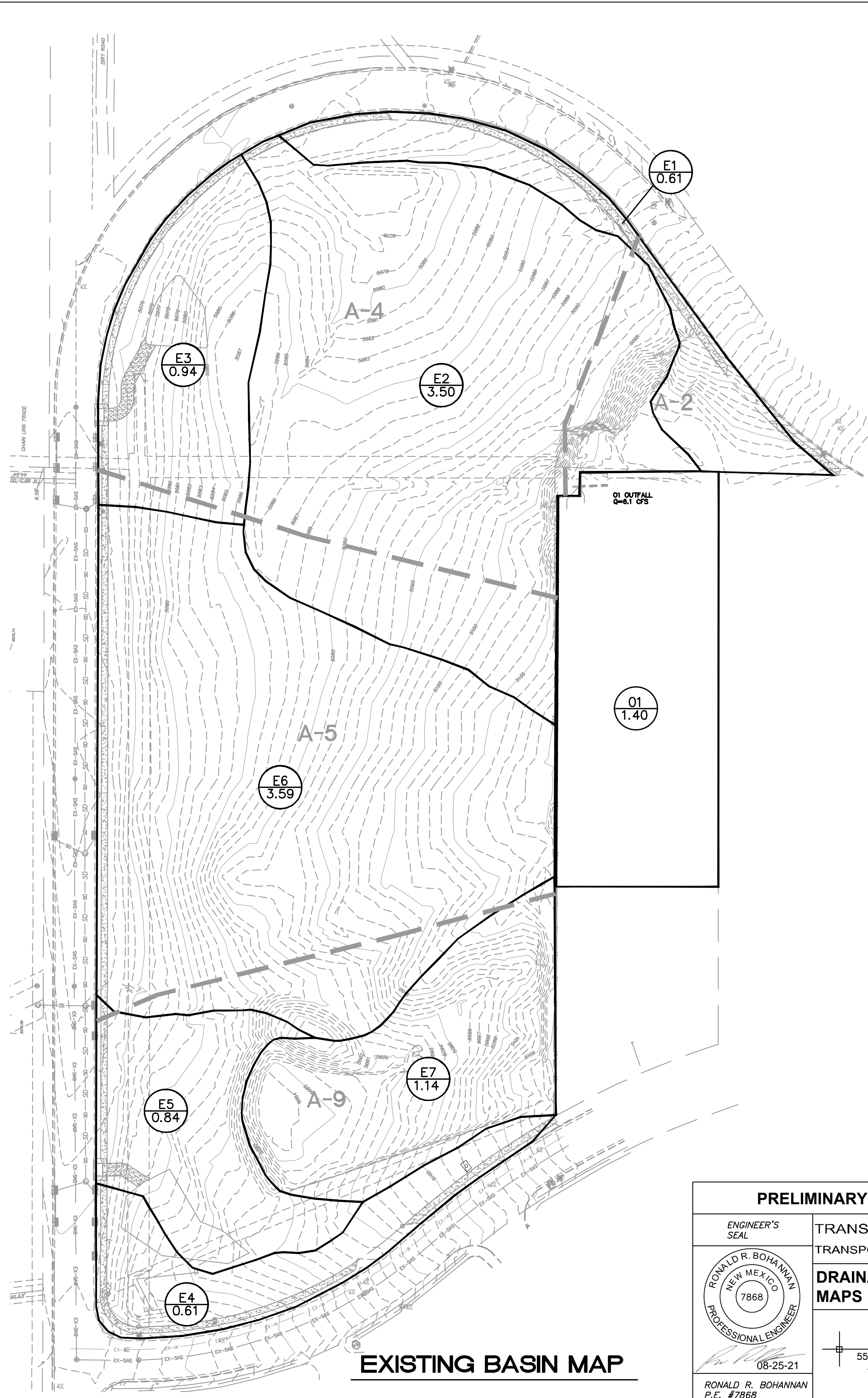
PRELIMINARY - NOT FOR CONSTRUCTION

ENGINEER'S SEAL 	TRANSPORT HOUSING TRANSPORT ST & FLIGHTWAY AVE	DRAWN BY BF
	CONCEPTUAL GRADING & DRAINAGE PLAN	DATE 8/3/2021
 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.terrawestllc.com	SHEET #	2020072-GRB
	C2.1	JOB # 2020072

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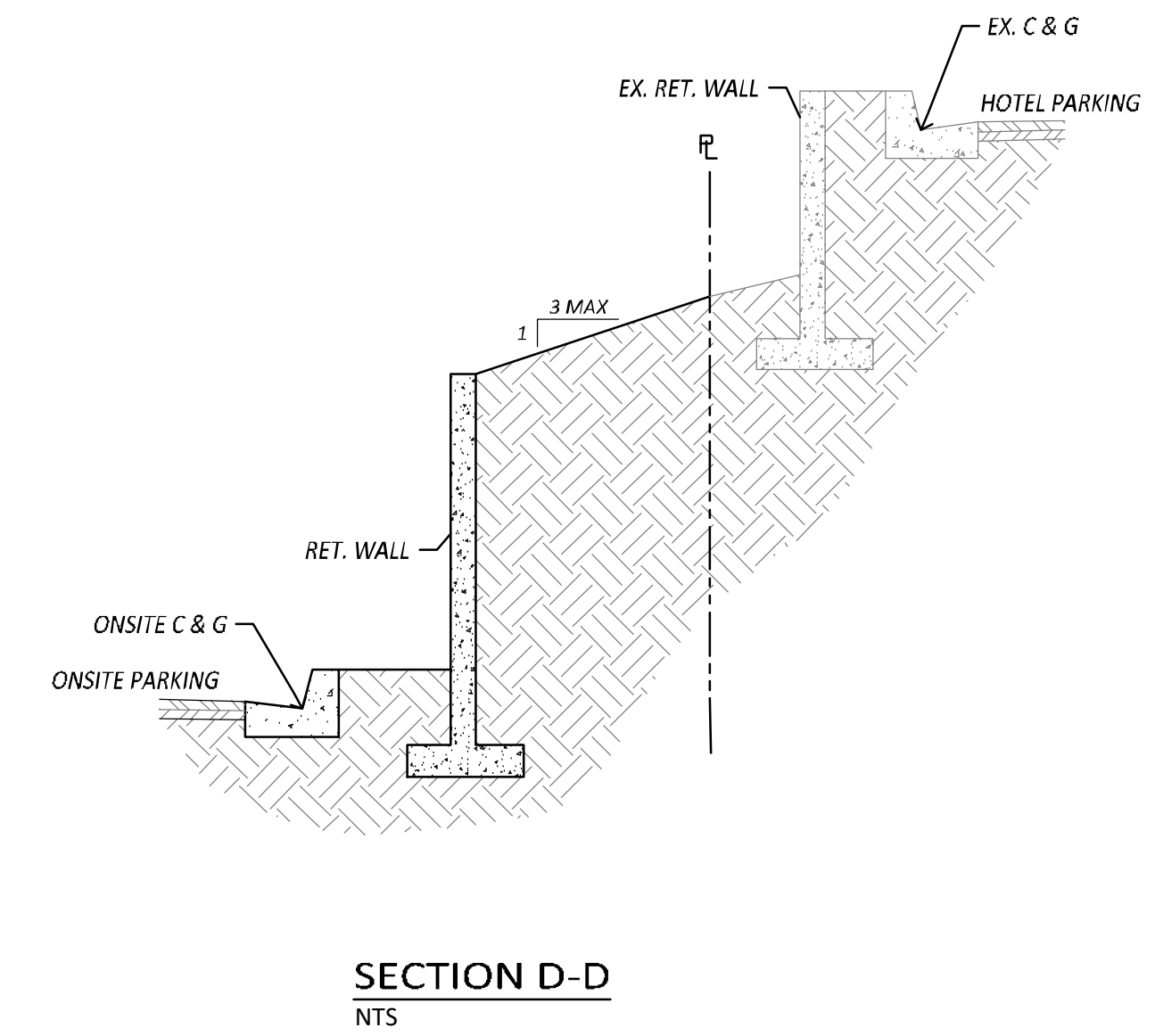
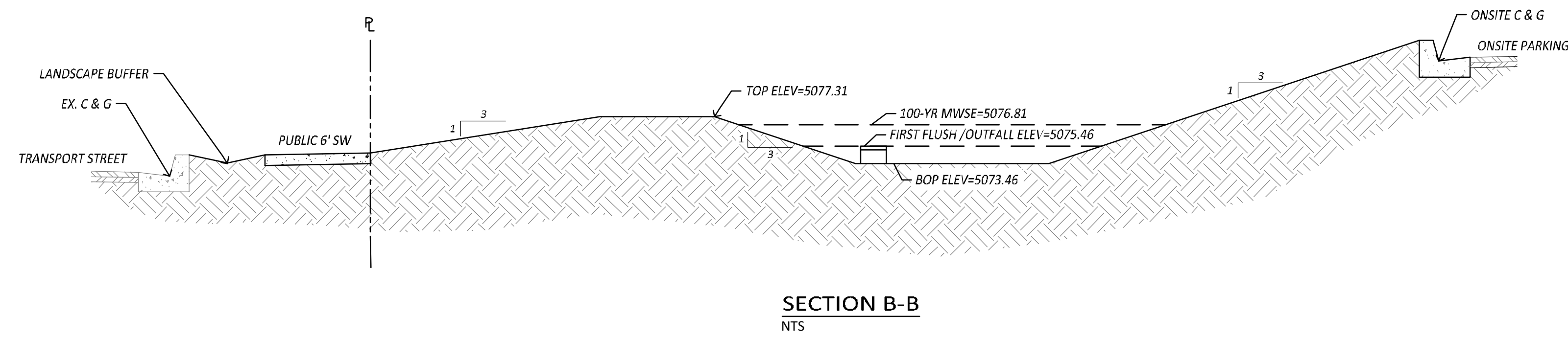
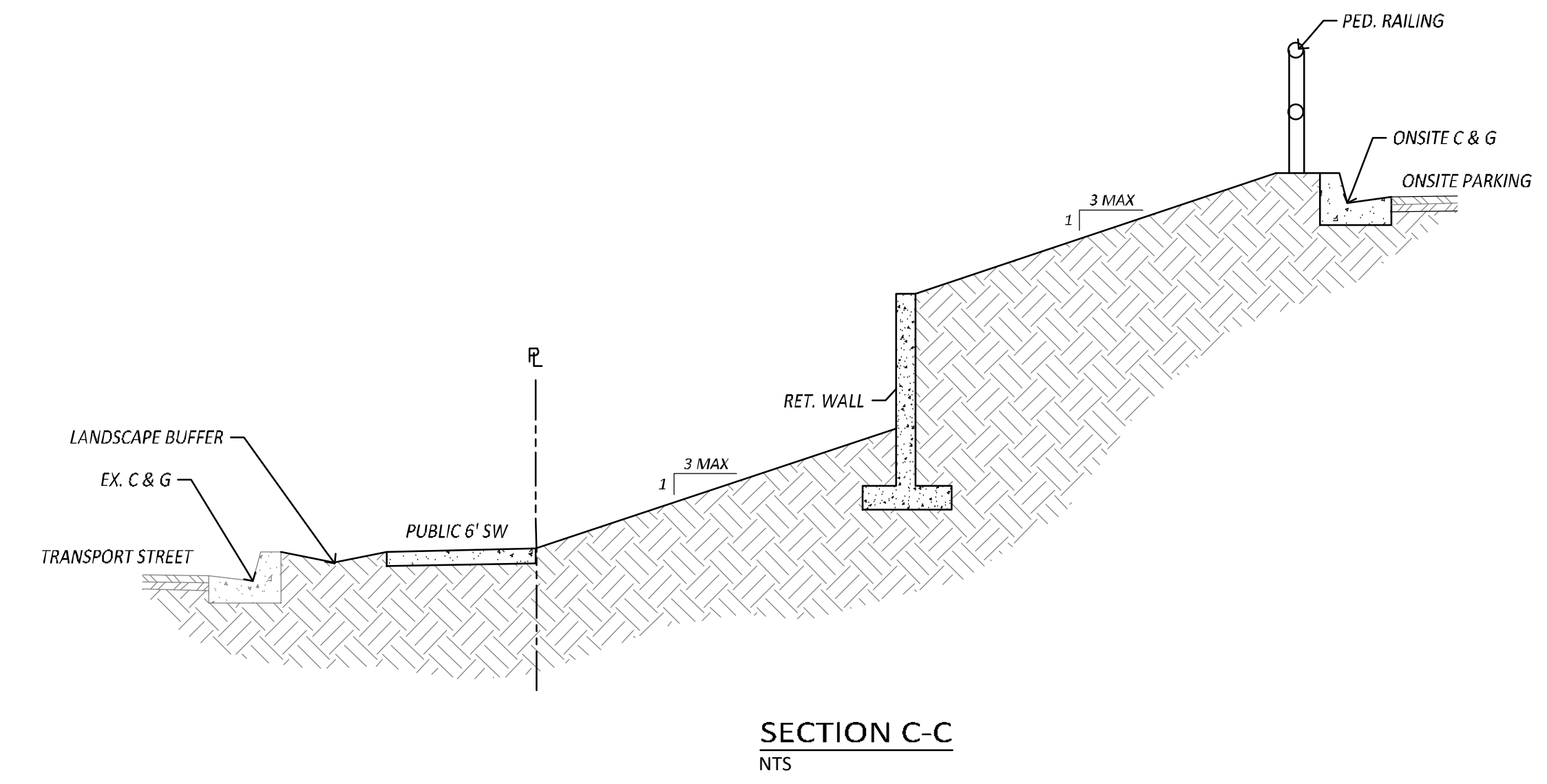
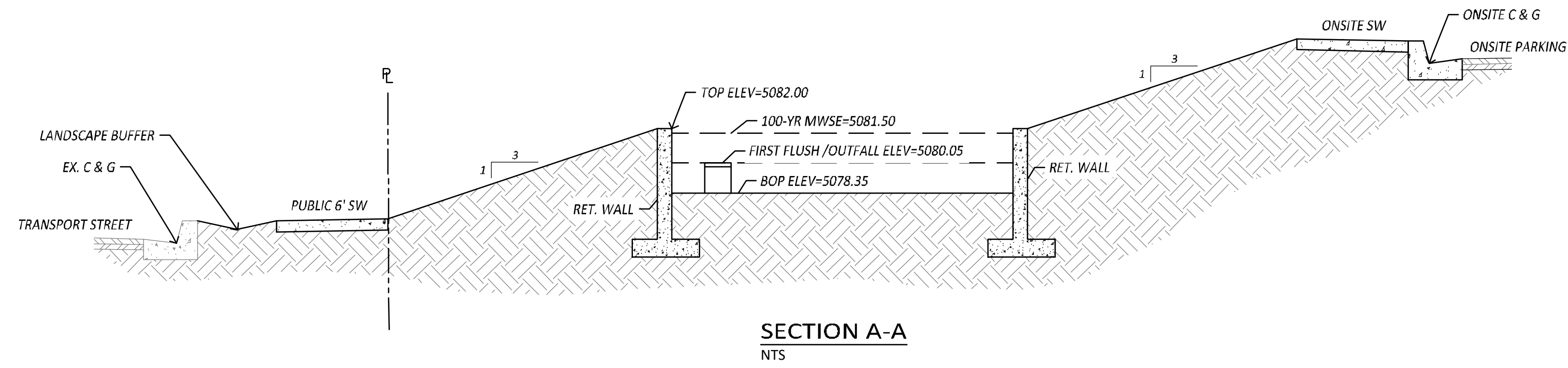


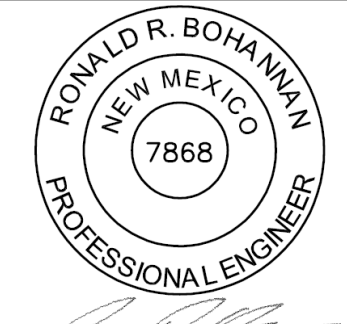

PROPOSED BASIN MAP

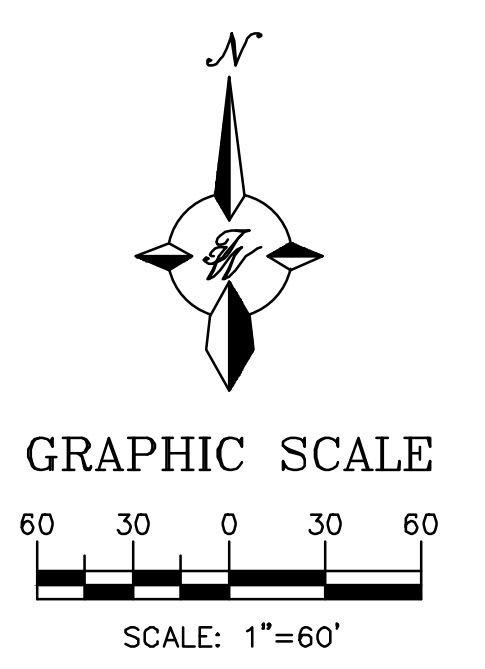
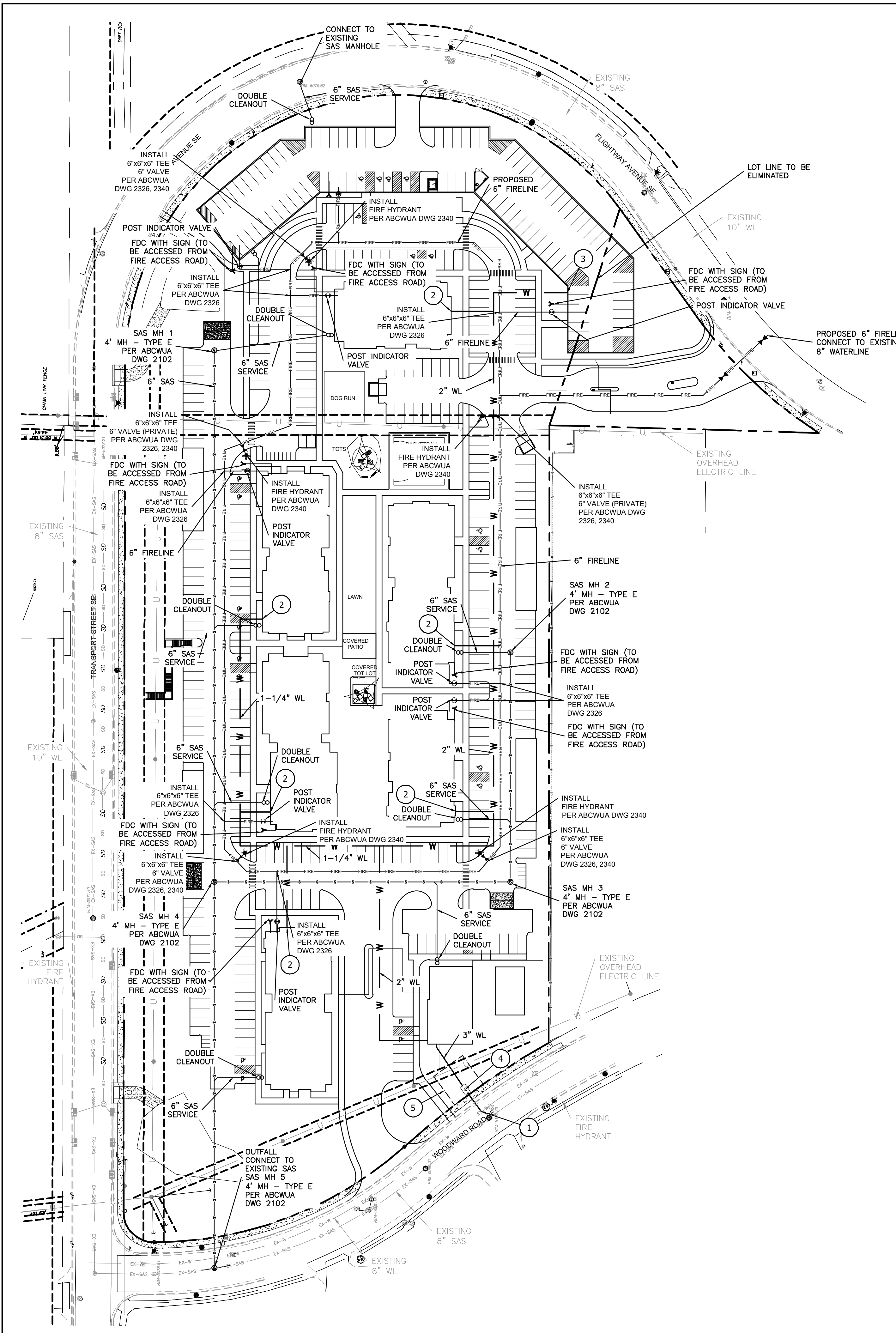


EXISTING BASIN MAP

PRELIMINARY - NOT FOR CONSTRUCTION		
ENGINEER'S SEAL	TRANSPORT HOUSING TRANSPORT ST & FLIGHTWAY AVE	DRAWN BY BF
	DRAINAGE BASIN MAPS	DATE 8/3/2021
		2020072_GRB
	 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # C2.2
		JOB # 2020072



PRELIMINARY - NOT FOR CONSTRUCTION		
ENGINEER'S SEAL	TRANSPORT HOUSING TRANSPORT ST & FLIGHTWAY AVE	DRAWN BY BF
 RONALD R. BOHANNAN P.E. #7868	POND CROSS SECTIONS	DATE 8/3/2021
		2020072_GRB
08-25-21	 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # C2.3
		JOB # 2020072



LEGEND

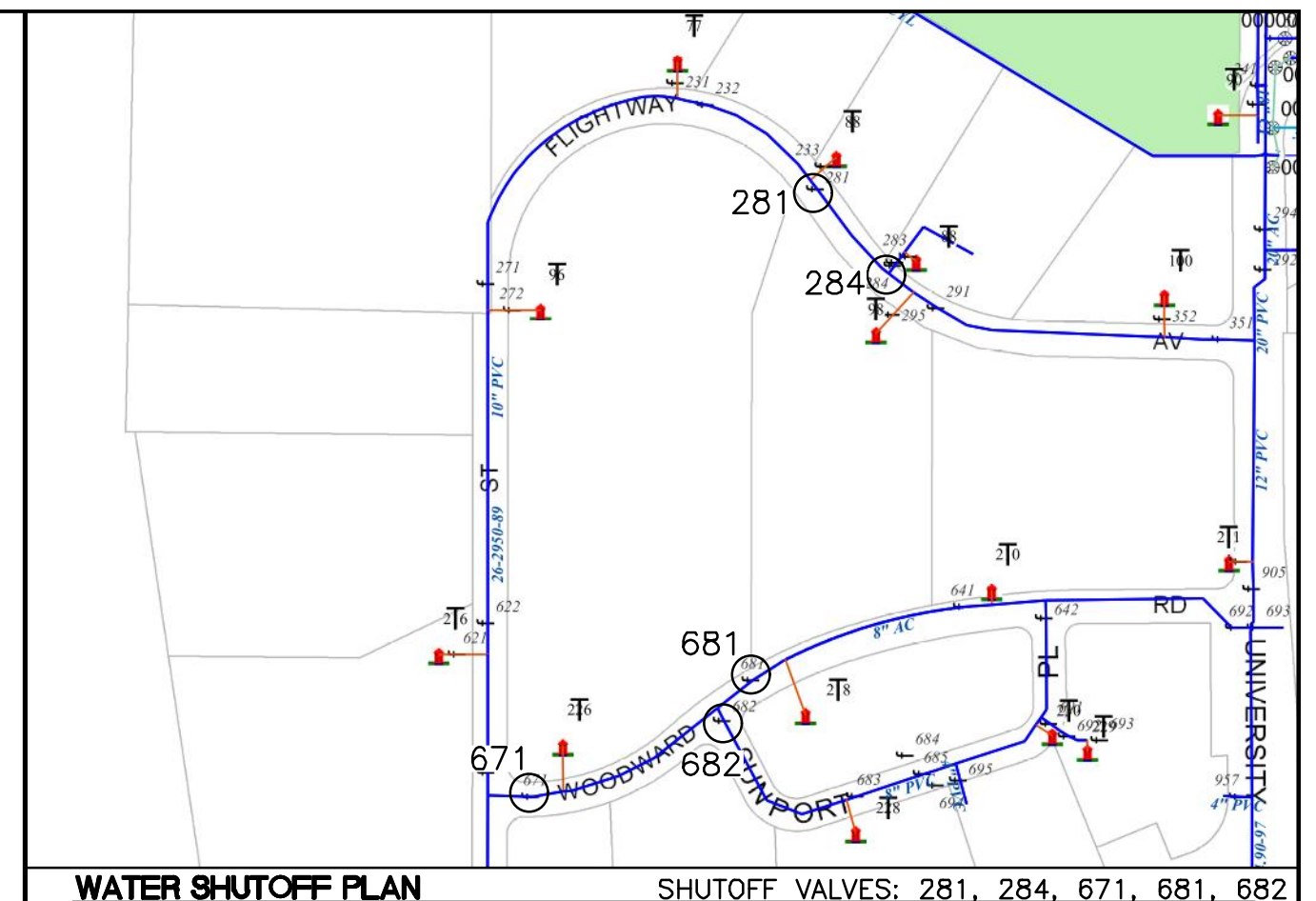
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- STORM DRAIN
- WATER LINE
- 6" FIRE LINE
- SANITARY SEWER
- PROPOSED WATER METER
- ⊗ PROPOSED BACKFLOW PREVENTER W/ HOTBOX
- ⊕ PROPOSED VALVE
- ⊕ PROPOSED FIRE HYDRANT
- EXISTING CURB & GUTTER
- SINGLE CLEAN OUT
- ∞ DOUBLE CLEAN OUT
- ⊕ EXISTING SD MANHOLE
- ⊕ EXISTING SS MANHOLE
- ⊕ EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- ⊕ EXISTING GAS VALVE
- O— EXISTING OVERHEAD UTILITIES
- S— EXISTING SANITARY SEWER LINE
- W— EXISTING WATER LINE

KEYED NOTES

- ① 3" DOMESTIC WL NON-PRESSURIZED CONNECTION TO EXISTING MAIN WL
- ② 1-1/4" DOMESTIC WL CONNECTION TO BUILDING
- ③ 2" DOMESTIC WL CONNECTION TO BUILDING
- ④ 3" WATER METER PER ABCWUA STD DWG 2370
- ⑤ 35' x 35' PUBLIC WATER EASEMENT, GRANTED WITH REPLAT OF LOT 2-A-1-A, BLOCK 2 SUNPORT PARK

GENERAL UTILITY NOTES

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC UTILITY CONSTRUCTION, 1986 EDITION (UPDATE NO 8) INCLUDING AMENDMENT NO 1.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
9. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
10. ALL ONSITE FIRE HYDRANTS ARE PRIVATE AND PAINTED "SAFETY ORANGE"



WATER SHUTOFF NOTES

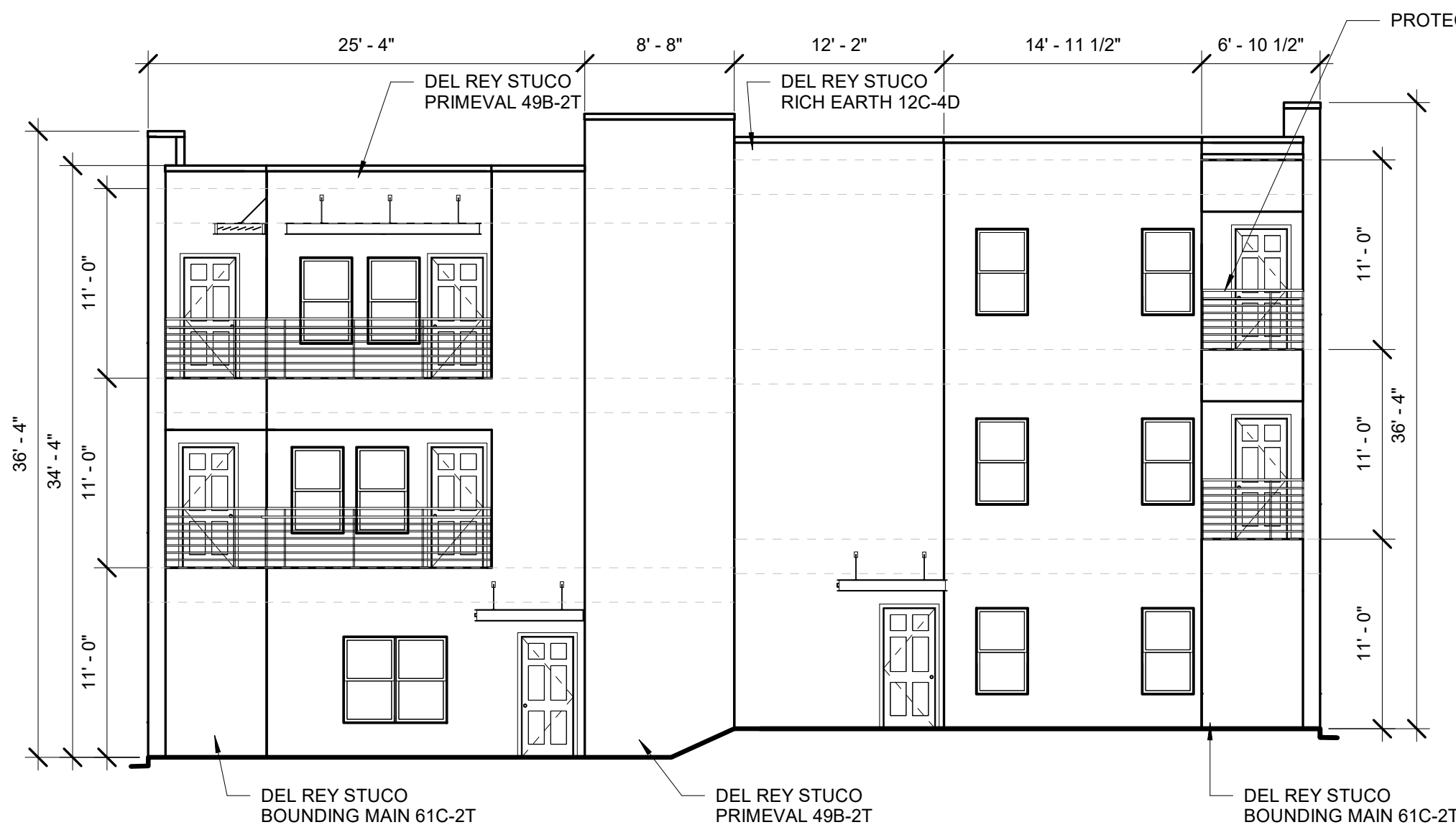
THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://WWW.ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://www.abcwua.org/water_shut_off_and_turn_on_procedures.aspx).

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

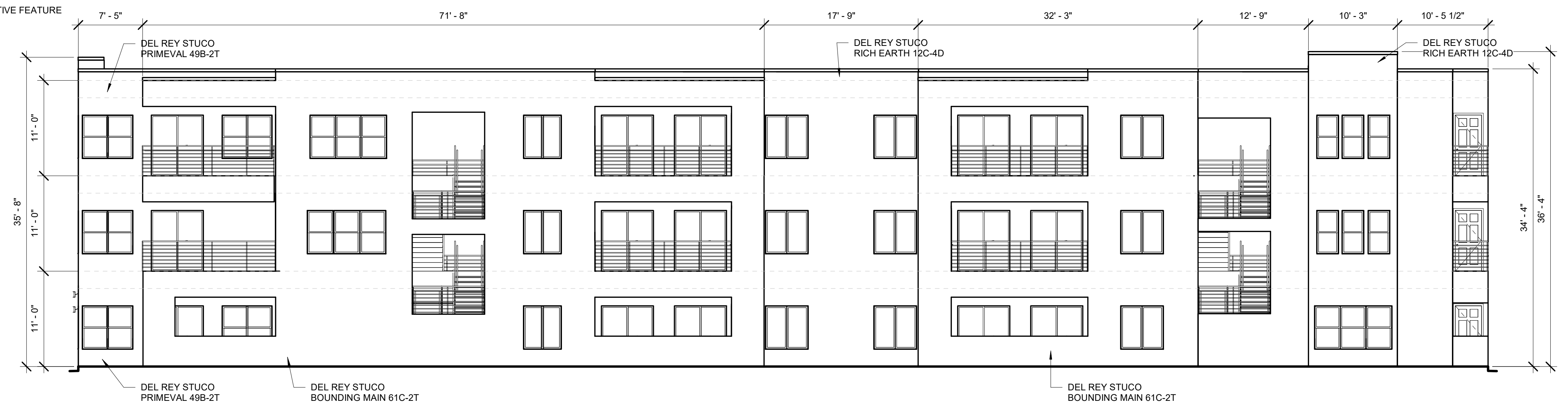
\\TMSVSY_Drive\2020\2020072 - Transport Housing\dwg\DRB\2020072_MUB.dwg_Sep_24_2021_ 9:20am

	ENGINEER'S SEAL TRANSPORT HOUSING TRANSPORT ST & FLIGHTWAY AVE	DRAWN BY BF DATE 8/3/2021
	MASTER UTILITY PLAN	2020072_MUB
 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C3	JOB # 2020072



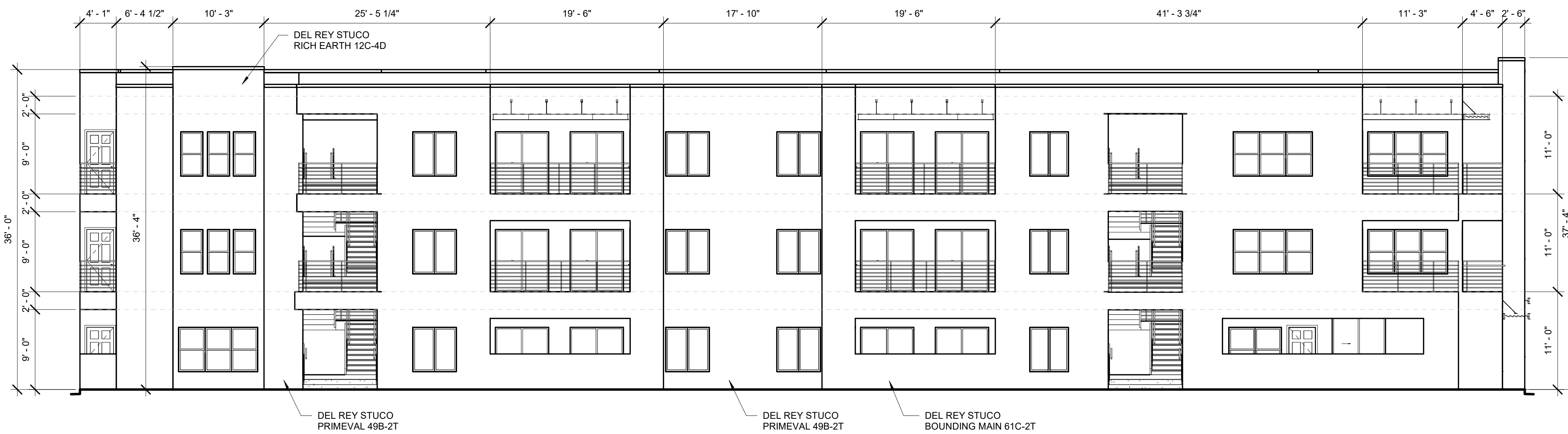
BUILDING 100 SOUTH ELEVATION

1/8" = 1'-0"



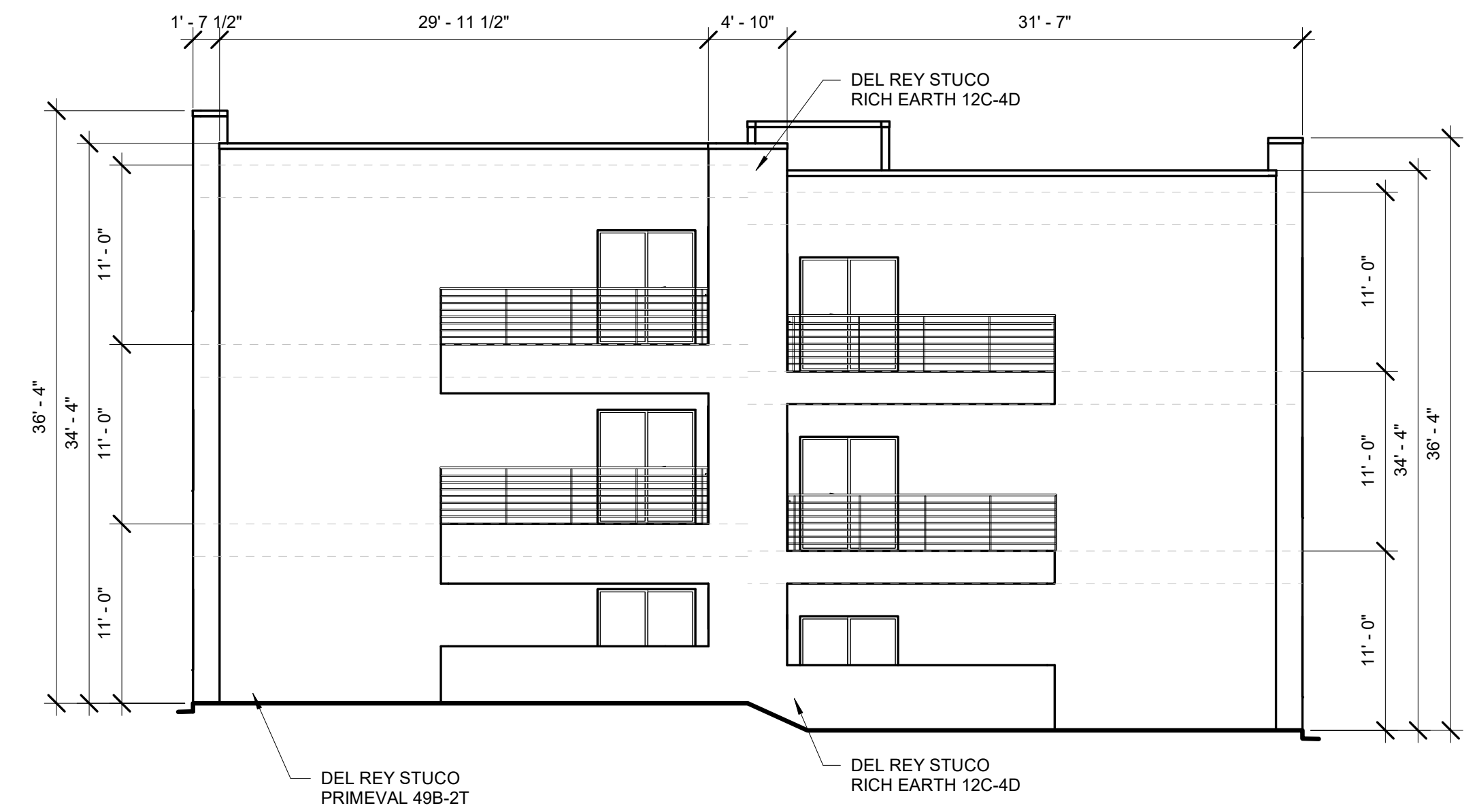
BUILDING 100 EAST ELEVATION

1/8" = 1'-0"



BUILDING 100 WEST ELEVATION

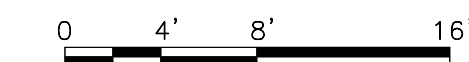
1/8" = 1'-0"



BUILDING 100 NORTH ELEVATION

1/8" = 1'-0"

NOTE:
RECESSED WINDOWS 2"
OR PROVIDE 2" FRAME



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ALBUQUERQUE, NM 87120
505.401.7575

**TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106**

DRAWING TITLE
BUILDING 100 ELEVATIONS

	DESIGNED	S.C.A.	PROJECT NO	19-008
	DRAWN	JQ.	SCALE	1/8" = 1'-0"
	CHECKED	Checker	DRAWING NO	
	REVIEWED	Checker		A-201
	DATE	09/24/2021		



BUILDING 100 SOUTH COLOR ELEVATION

BUILDING 100 EAST COLOIR ELEVATION

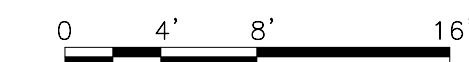


BUILDING 100 WEST COLOR ELEVATION

BUILDING 100 NORTH COLOR ELEVATION

1/8" = 1'-0"

1/8" = 1'-0"



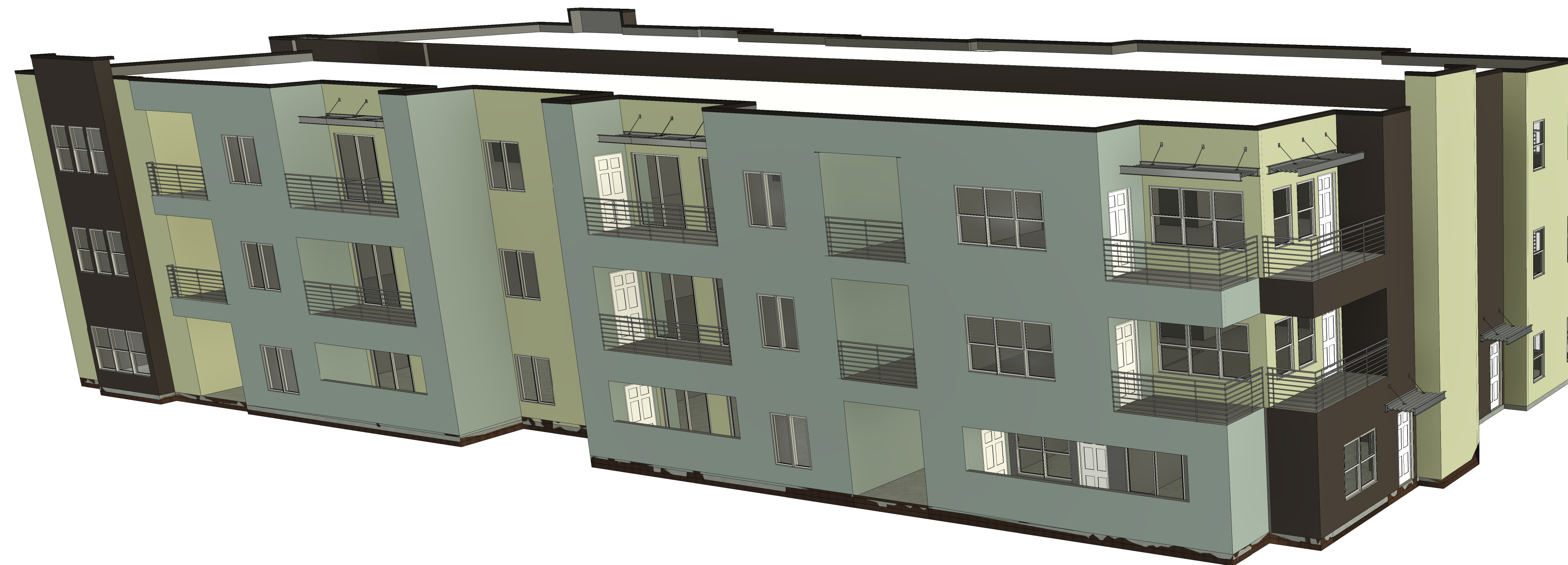
NOTE:
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OR PROVIDE 2" FRAME



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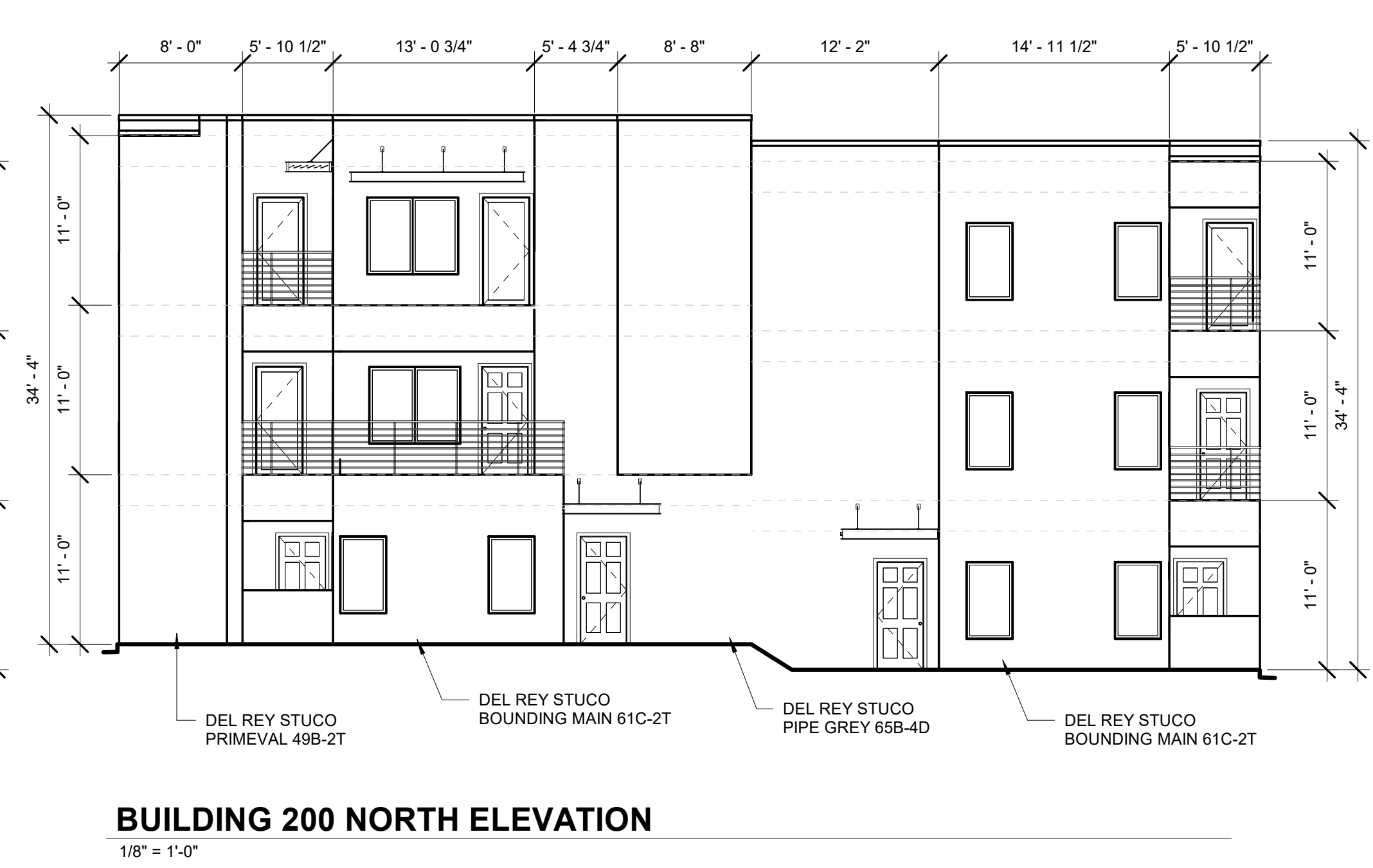
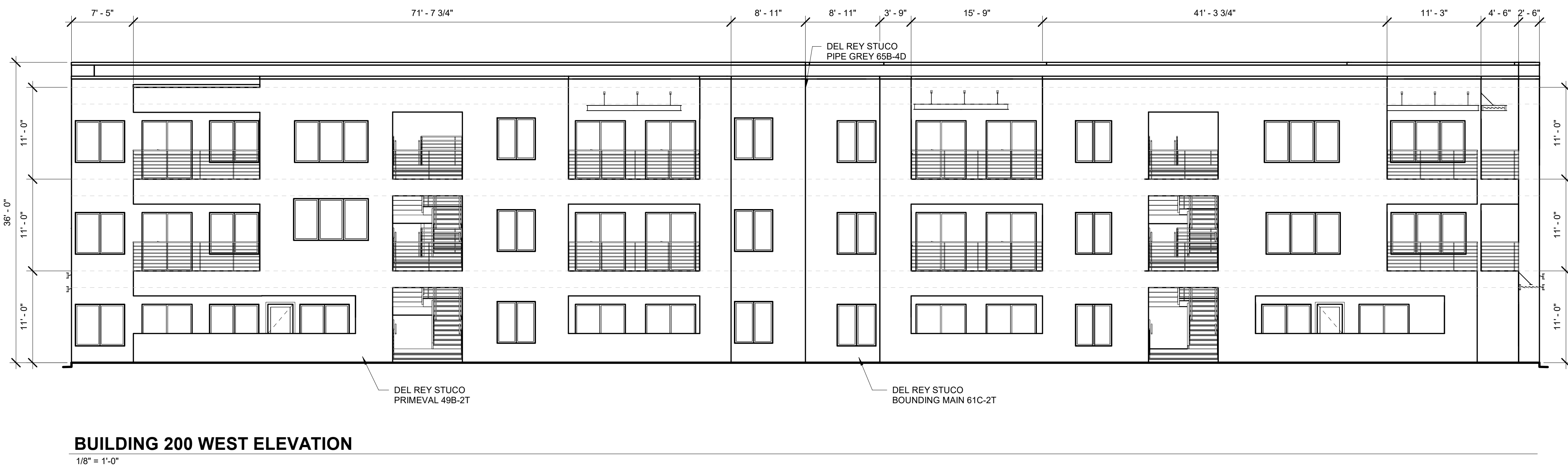
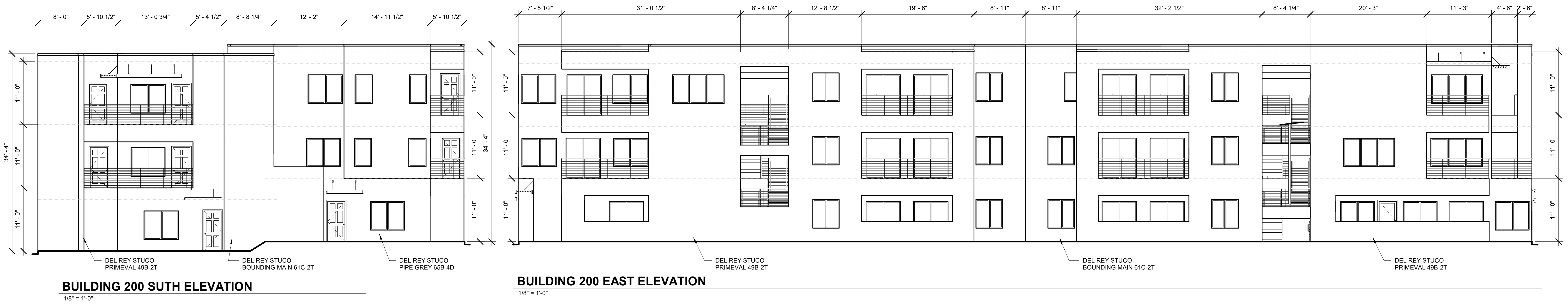
TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106

DRAWING TITLE
BUILDING 100 COLOR ELEVATIONS

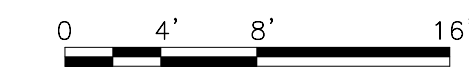
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	DRAWN	Author	SCALE	1/8" = 1'-0"
	CHECKED	Checker	DRAWING NO	A-201
	REVIEWED	Checker		C
	DATE	09/24/2021		



		SCOTT C. ANDERSON & associates architects <small>7604 rio penasco nwy albuquerque, nm 87120 andersonscott@scottca.com 505.401.7575</small>	
TRANSPORT APARTMENTS ALBUQUERQUE, NM 87106			
<small>DRAWING TITLE</small> BUILDING 100 PRESPECTIVE ELEVATION			
	DESIGNED	Designer	PROJECT NO
	DRAWN	Author	SCALE
	CHECKED	Checker	DRAWING NO
	REVIEWED	Designer	A-201 P
	DATE	09/24/2021	



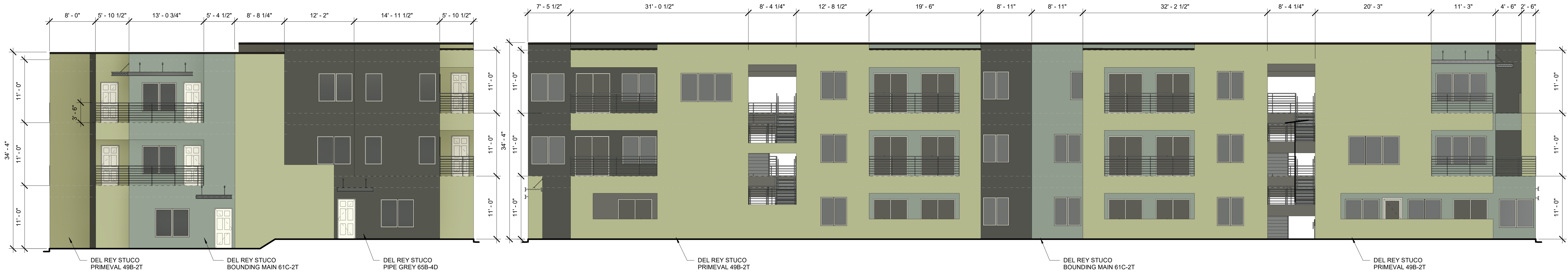
NOTE:
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TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106

DRAWING TITLE		BUILDING 200 ELEVATIONS	
	DESIGNED	Designer	PROJECT NO. 19-008
	DRAWN	JQ.	SCALE 1/8" = 1'-0"
	CHECKED	Checker	DRAWING NO.
	REVIEWED	Checker	A-202
	DATE	09/24/2021	

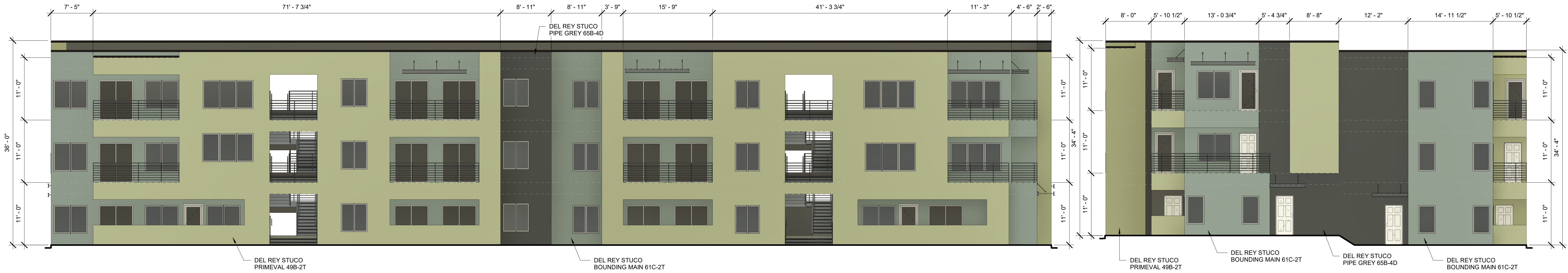


BUILDING 200 SUTH COLOR ELEVATION

1/8" = 1'-0"

BUILDING 200 EAST COLOR ELEVATION

1/8" = 1'-0"

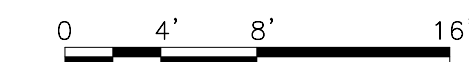


BUILDING 200 WEST COLOR ELEVATION

1/8" = 1'-0"

BUILDING 200 NORTH COLOR ELEVATION

1/8" = 1'-0"



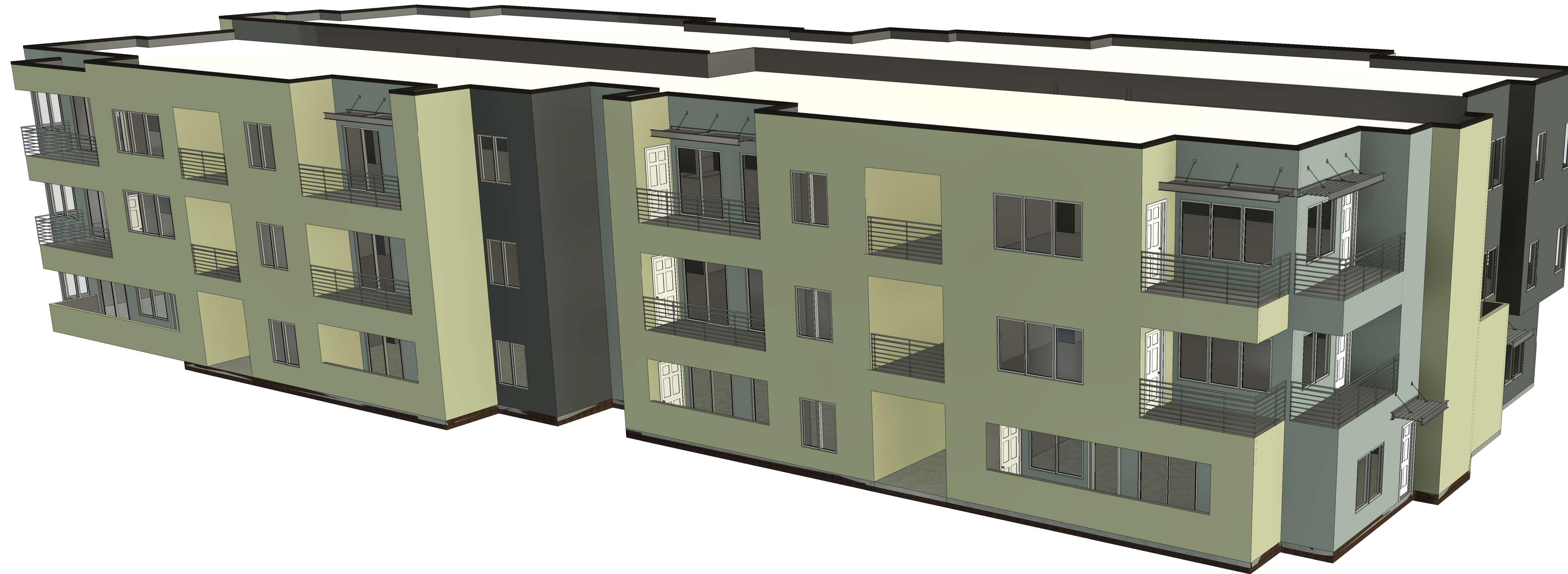
NOTE:
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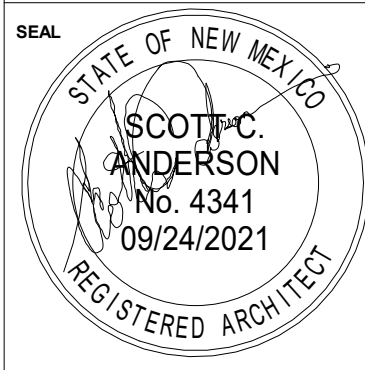
SCOTT C. ANDERSON
& associates architects
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albuquerque, nm 87120
scott@scottcanderson.com
505.401.7575

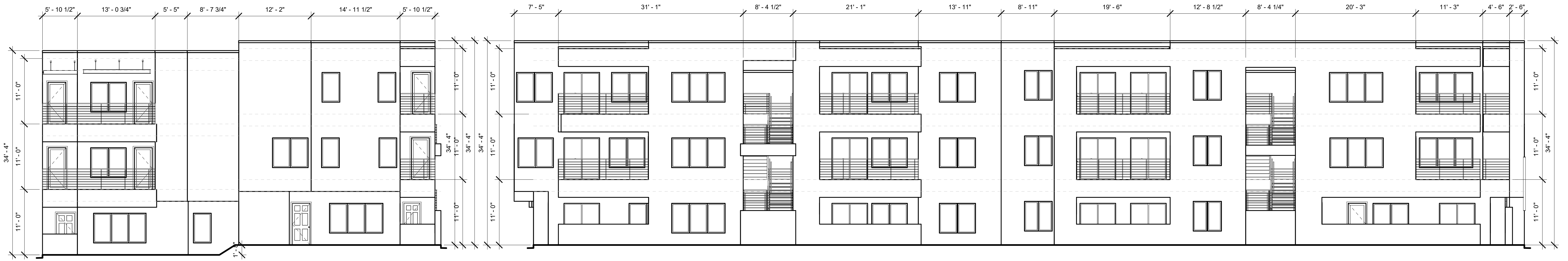
TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106

DRAWING TITLE
BUILDING 200 COLOR ELEVATIONS

	DESIGNED	Designer	PROJECT NO	19-008
	DRAWN	Author	SCALE	1/8" = 1'-0"
	CHECKED	Checker	DRAWING NO	
	REVIEWED	Checker		A-202
	DATE	09/24/2021		C

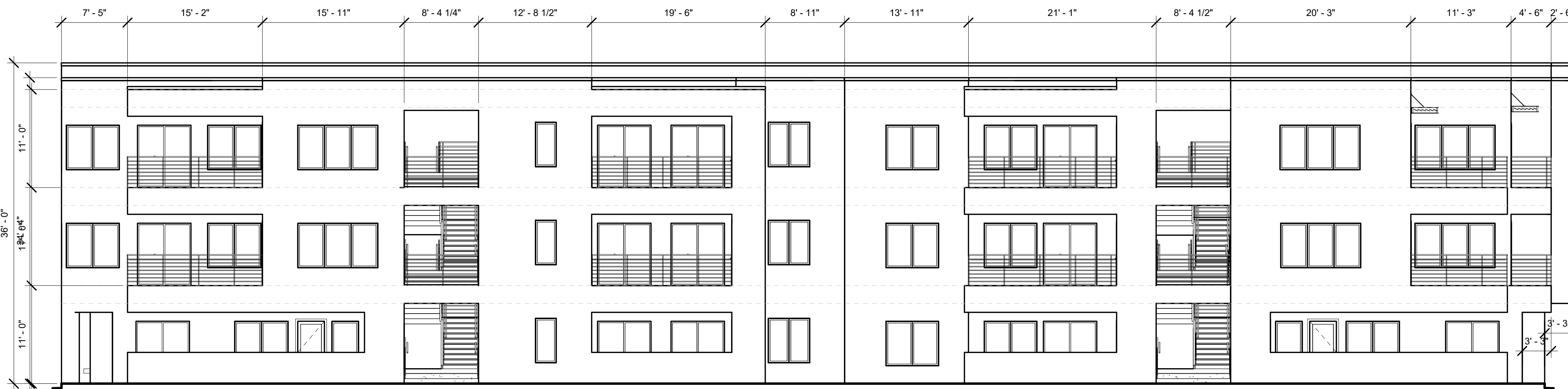


 SCOTT C. ANDERSON & associates architects <small>7604 rio penasco n.w. albuquerque, nm 87120 scott@scottcanderson.com 505.401.7575</small>		
TRANSPORT APARTMENTS ALBUQUERQUE, NM 87106		
<small>DRAWING TITLE</small> BUILDING 200 PRESPECTIVE ELEVATION		
	<small>DESIGNED</small> Designer	<small>PROJECT NO</small> 19-008
	<small>DRAWN</small> Author	<small>SCALE</small>
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	<small>REVIEWED</small> Checker	A-202 P
	<small>DATE</small> 09/24/2021	

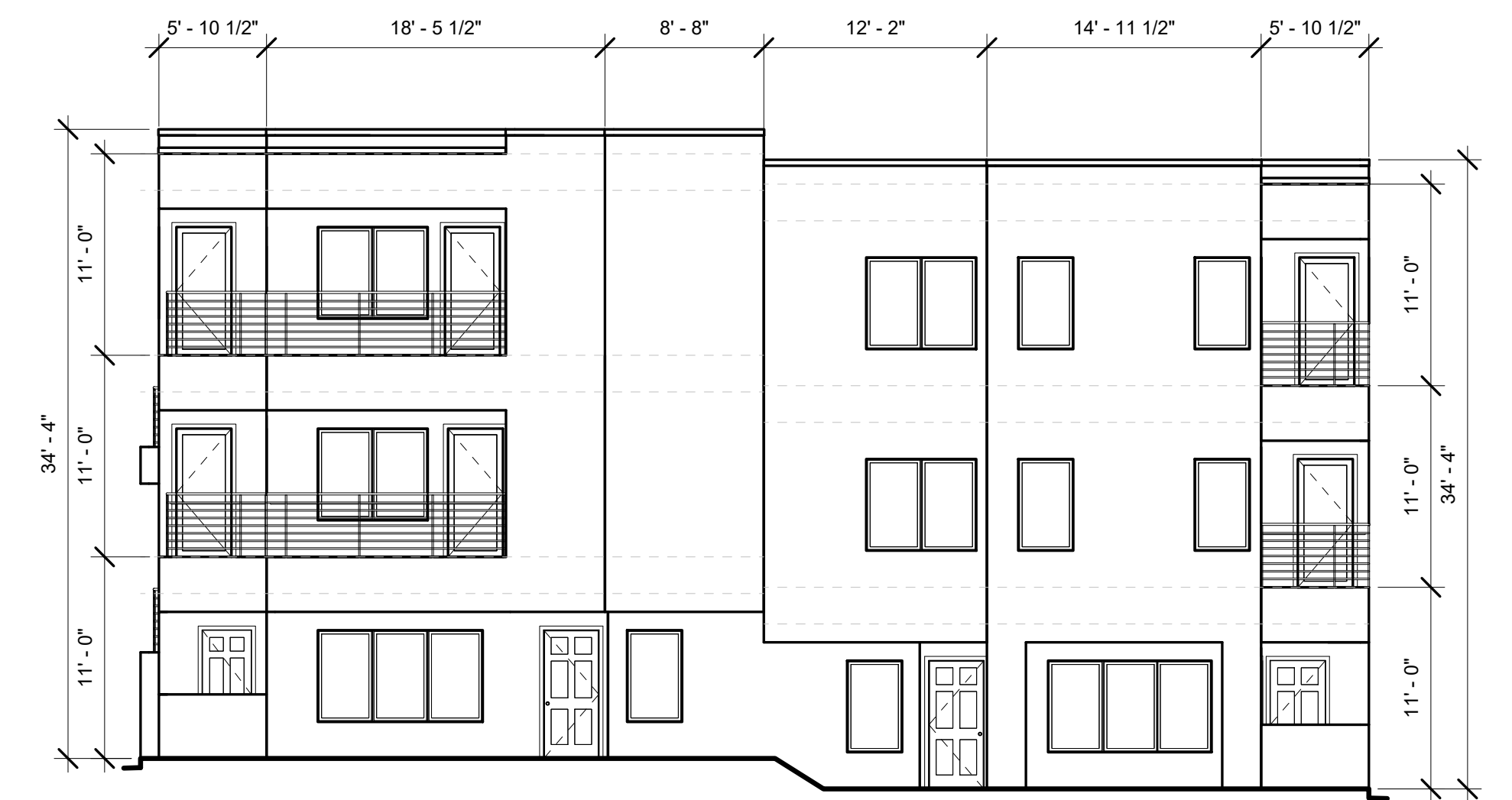


BUILDING 300 SOUTH ELEVATION
1/8" = 1'-0"

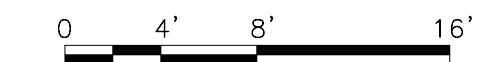
BUILDING 300 EAST ELEVATION
1/8" = 1'-0"



BUILDING 300 WEST ELEVATION
1/8" = 1'-0"



BUILDING 300 NORTH ELEVATION
1/8" = 1'-0"



NOTE:
RECESSED WINDOWS 2"
OR PROVIDE 2" FRAME

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TRANSPORT APARTMENTS
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DRAWING
TITLE
BUILDING 300 ELEVATIONS

	DESIGNED Designer	PROJECT NO	19-008
	DRAWN Author	SCALE	1/8" = 1'-0"
	CHECKED Checker	DRAWING NO	
	REVIEWED Designer	DATE	09/24/2021
			A-203



BUILDING 300 SOUTH COLOR ELEVATION
1/8" = 1'-0"

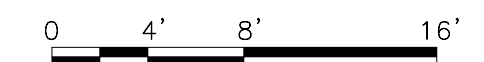
BUILDING 300 EAST COLOR ELEVATION
1/8" = 1'-0"



BUILDING 300 WEST COLOR ELEVATION
1/8" = 1'-0"



BUILDING 300 NORTH COLOR ELEVATION
1/8" = 1'-0"



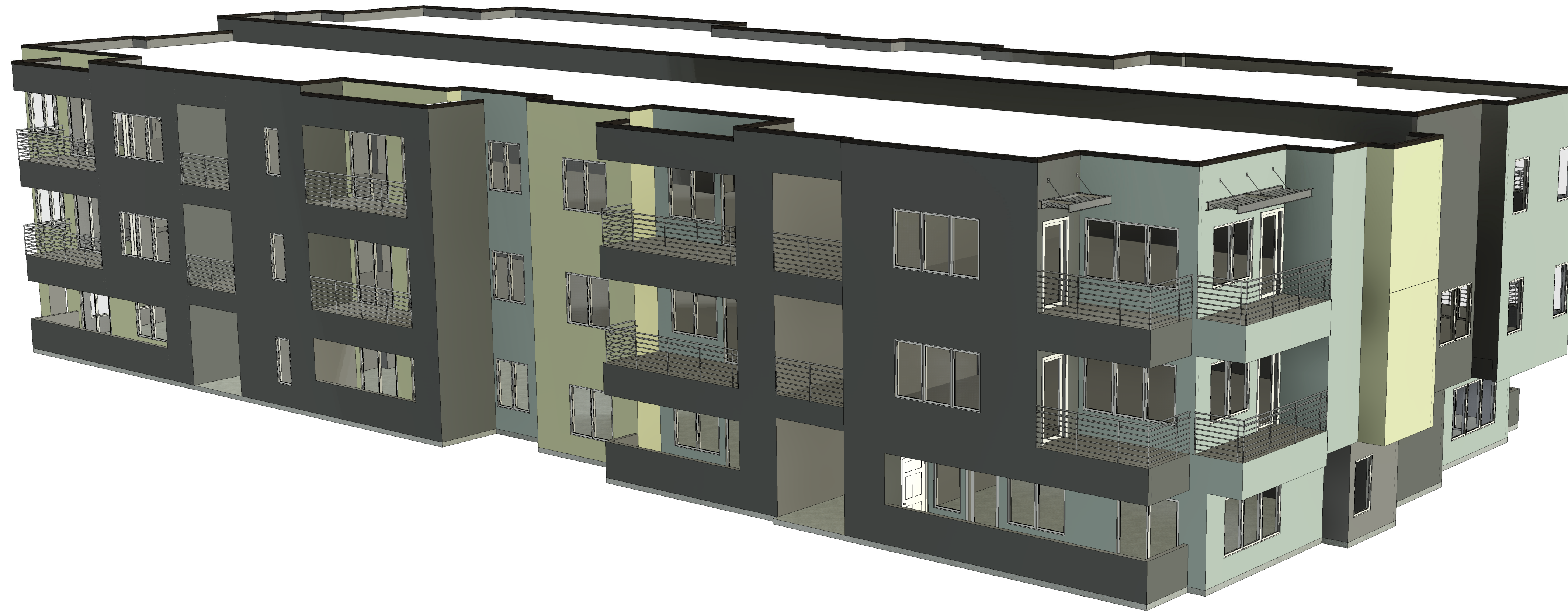
NOTE:
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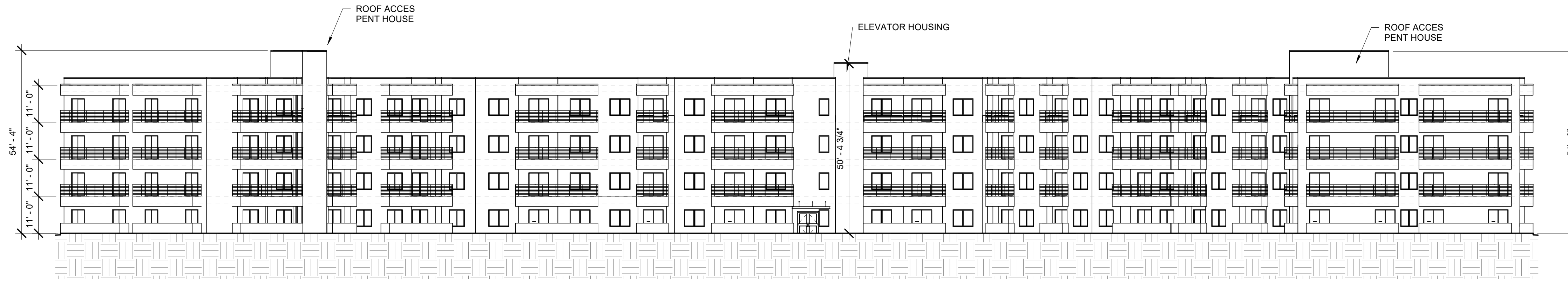
TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106

DRAWING TITLE
BUILDING 300 COLOR ELEVATION

	DESIGNED Designer	PROJECT NO 19-008
	DRAWN Author	SCALE 1/8" = 1'-0"
	CHECKED Checker	DRAWING NO A-203
	REVIEWED Checker	DATE 09/24/2021



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TRANSPORT APARTMENTS ALBUQUERQUE, NM 87106		
<small>DRAWING TITLE</small> BUILDING 300 PRESPECTIVE ELEVATION		
<small>SEAL</small> 	<small>DESIGNED</small> Designer	<small>PROJECT NO</small> 19-008
	<small>DRAWN</small> Author	<small>SCALE</small>
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	<small>REVIEWED</small> Checker	A-203 P
	<small>DATE</small> 09/24/2021	



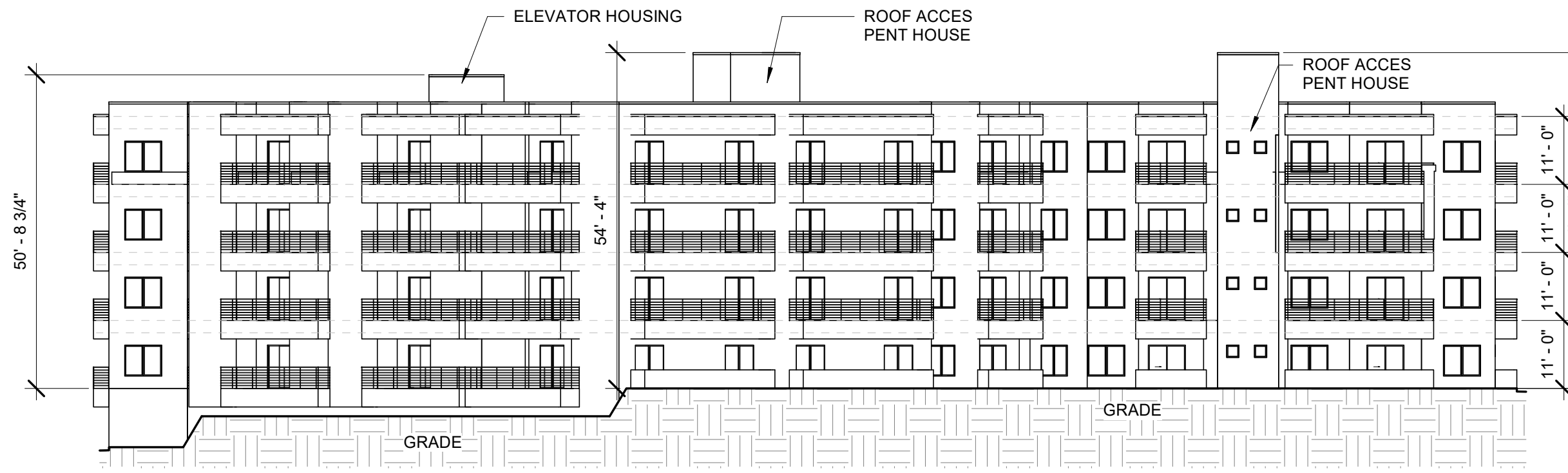
BUILDING 400 SOUTH ELEVATION

1" = 20'-0"



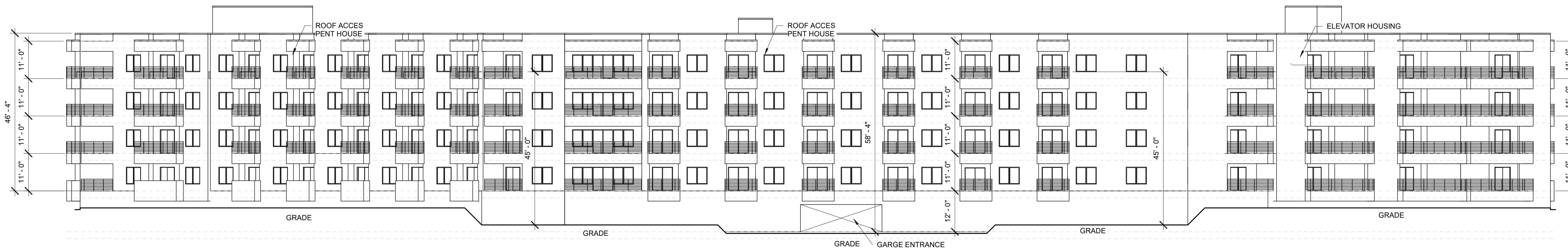
BUILDING 400 EAST ELEVATION

1" = 20'-0"



BUILDING 400 WEST ELEVATION

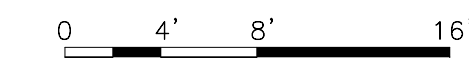
1" = 20'-0"



BUILDING 400 NORTH ELEVATION

1/16" = 1'-0"

NOTE:
RECESSED WINDOWS 2"
OR PROVIDE 2" FRAME

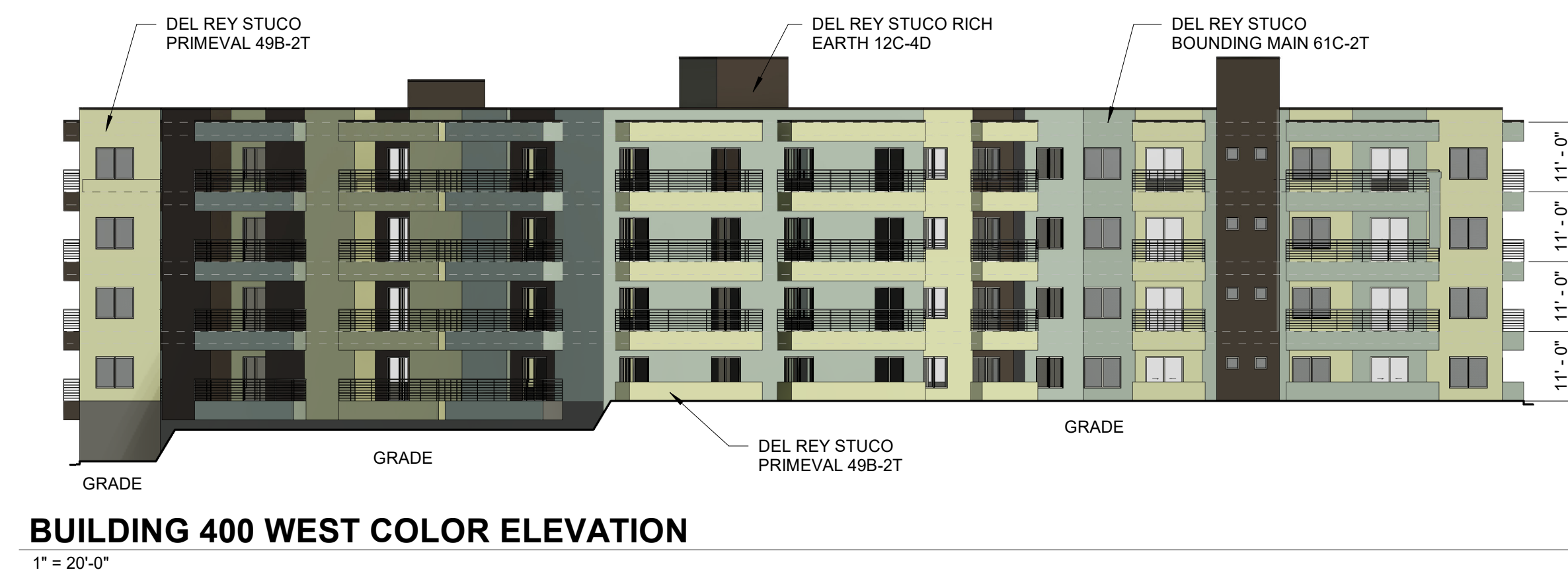
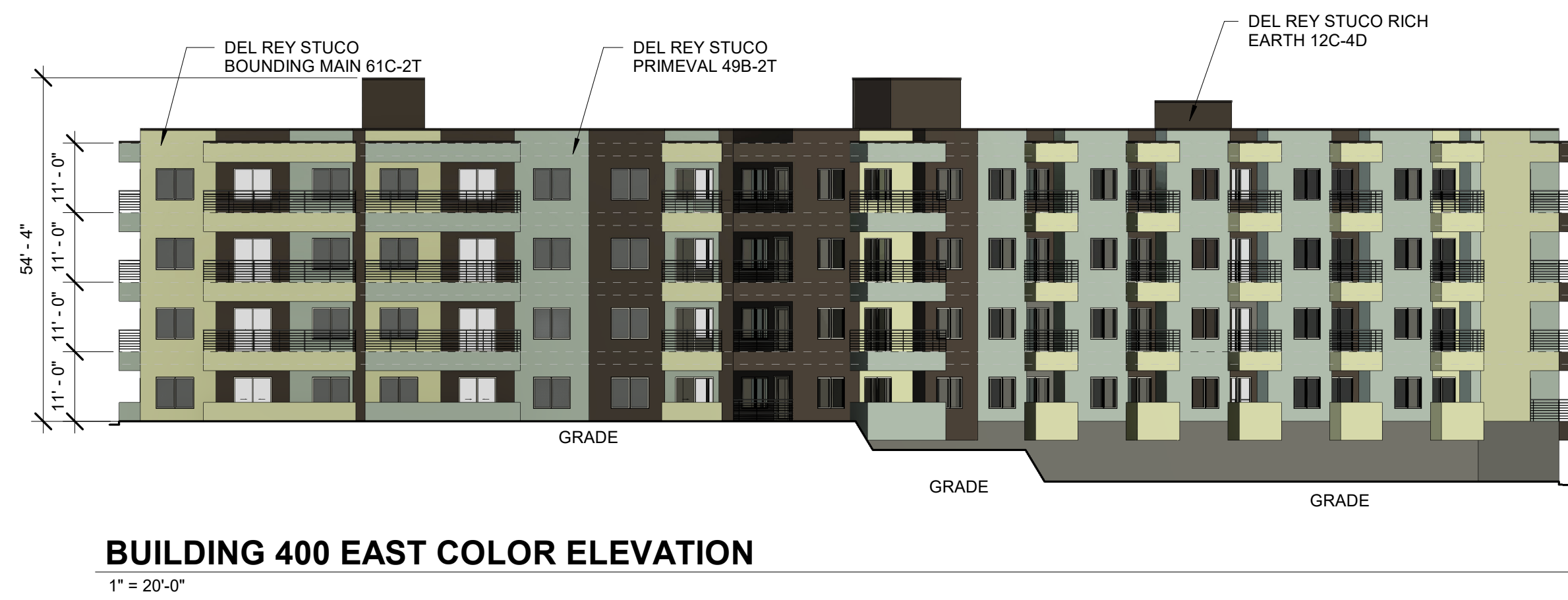
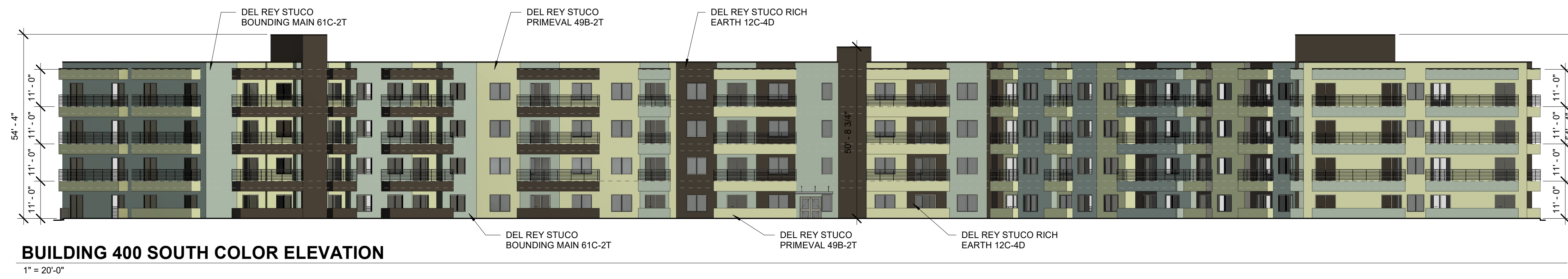


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**TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106**

DRAWING TITLE
BUILDING 400 ELEVATIONS

	DESIGNED Designer	PROJECT NO. 19-008
	DRAWN Author	SCALE As indicated
	CHECKED Checker	DRAWING NO.
	REVIEWED Designer	A-204
DATE 09/24/2021		



NOTE:
RECESSED WINDOWS 2"
OR PROVIDE 2" FRAME

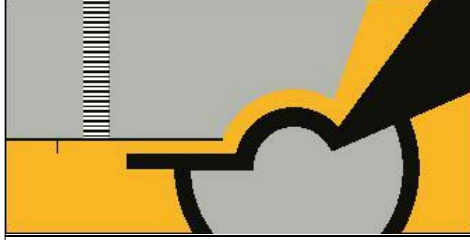
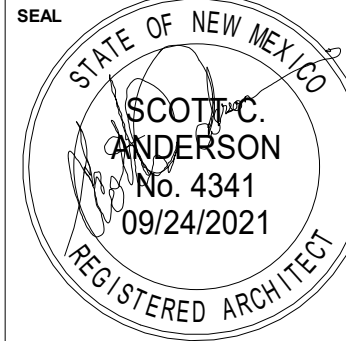


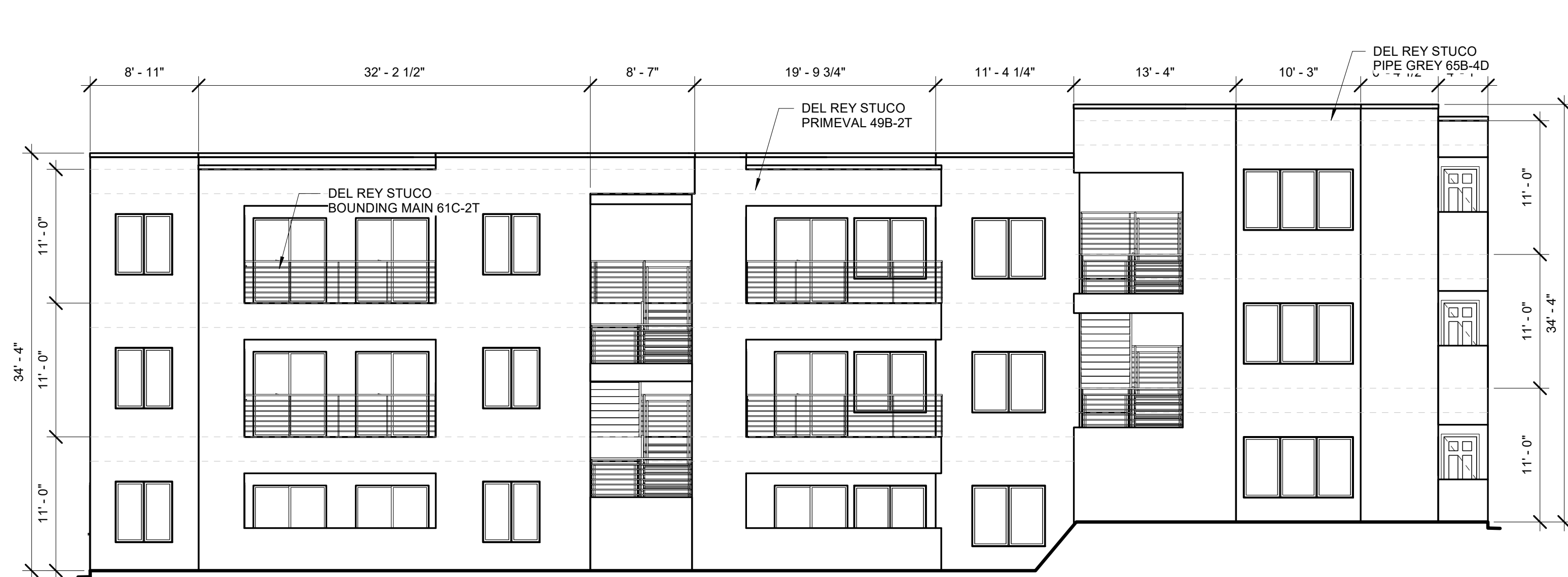
**TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106**

DRAWING TITLE
BUILDING 400 COLOR ELEVATIONS

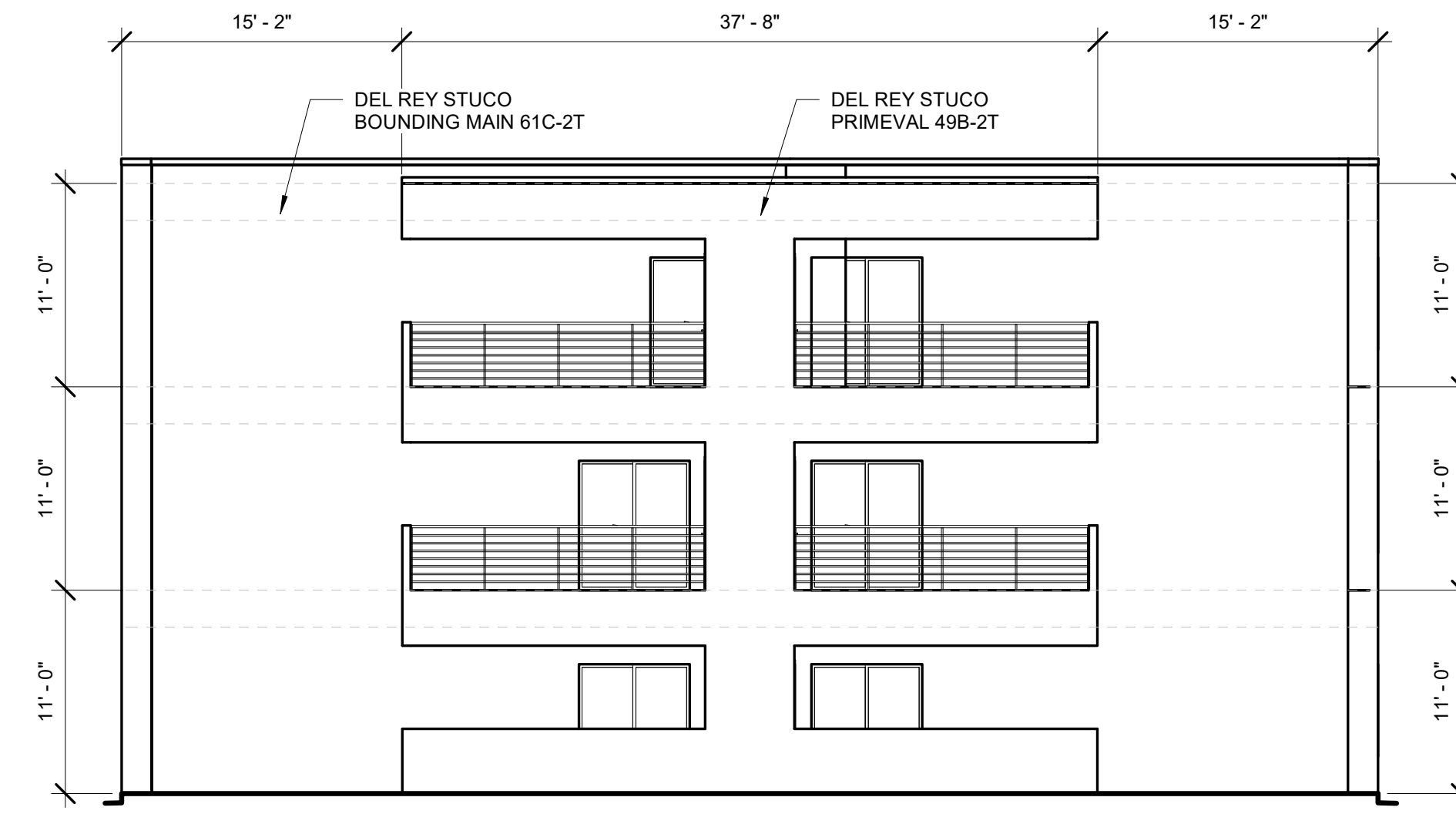
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	DATE	09/24/2021		C



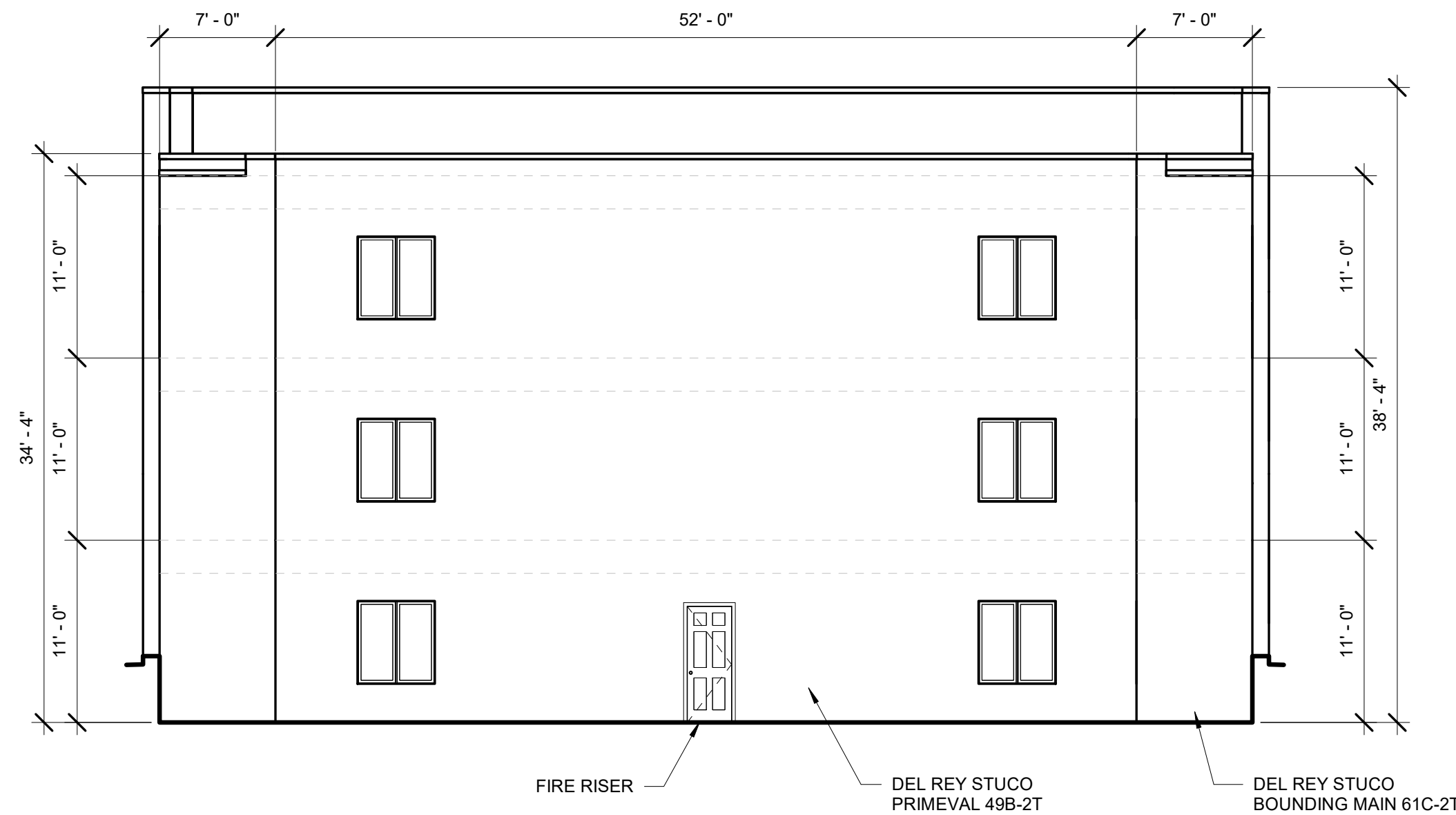
		SCOTT C. ANDERSON & associates architects <small>7604 rio penasco, n.w. albuquerque, nm 87120 scott@scottanderson.com 505.401.7575</small>		
TRANSPORT APARTMENTS ALBUQUERQUE, NM 87106				
<small>DRAWING TITLE</small> BUILDING 400 PRESPECTIVE ELEVATION				
<small>SEAL</small> 	<small>DESIGNED</small> Designer	<small>PROJECT NO</small> 19-008		
	<small>DRAWN</small> Author	<small>SCALE</small>		
	<small>CHECKED</small> Checker	<small>DRAWING NO</small>	A-204 P	
	<small>REVIEWED</small> Checker			
	<small>DATE</small> 09/24/2021			



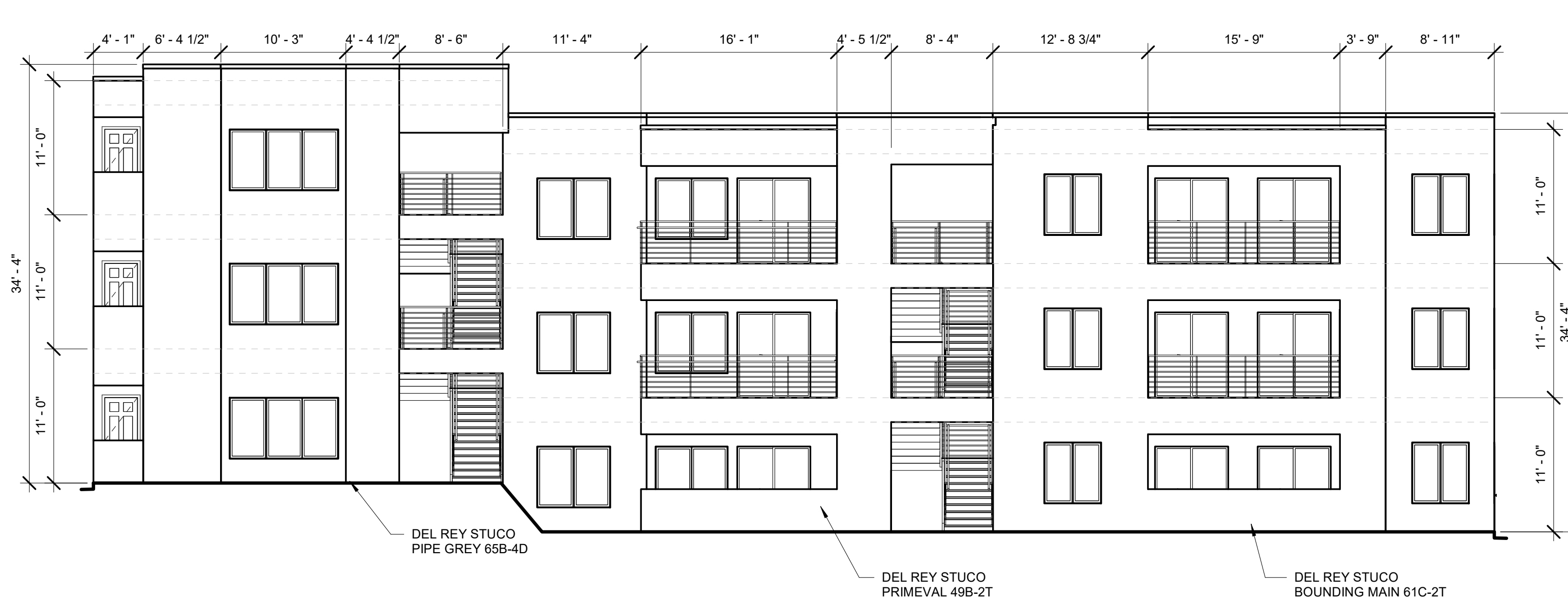
BUILDING 500 SOUTH ELEVATION
1/8" = 1'-0"



BUILDING 500 EAST ELEVATION
1/8" = 1'-0"

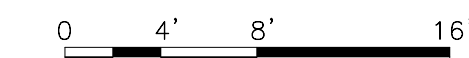


BUILDING 500 WEST ELEVATION
1/8" = 1'-0"



BUILDING 500 NORTH ELEVATION
1/8" = 1'-0"

NOTE:
RECESSED WINDOWS 2"
OR PROVIDE 2" FRAME

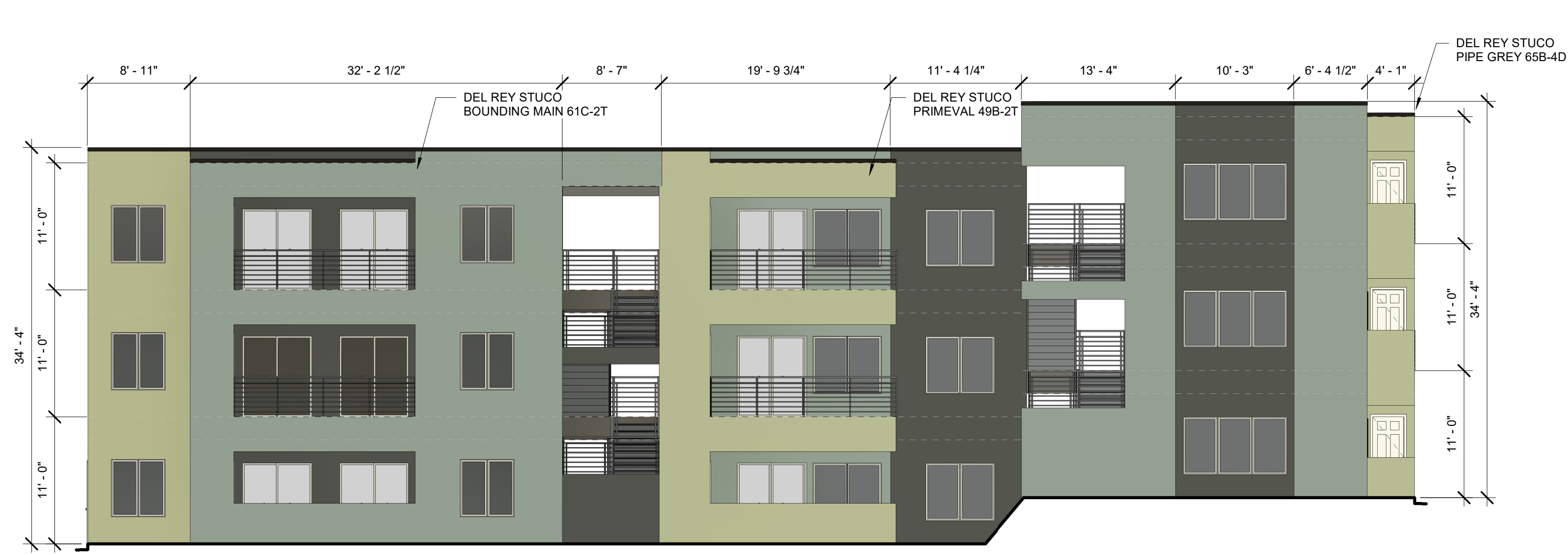


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TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106

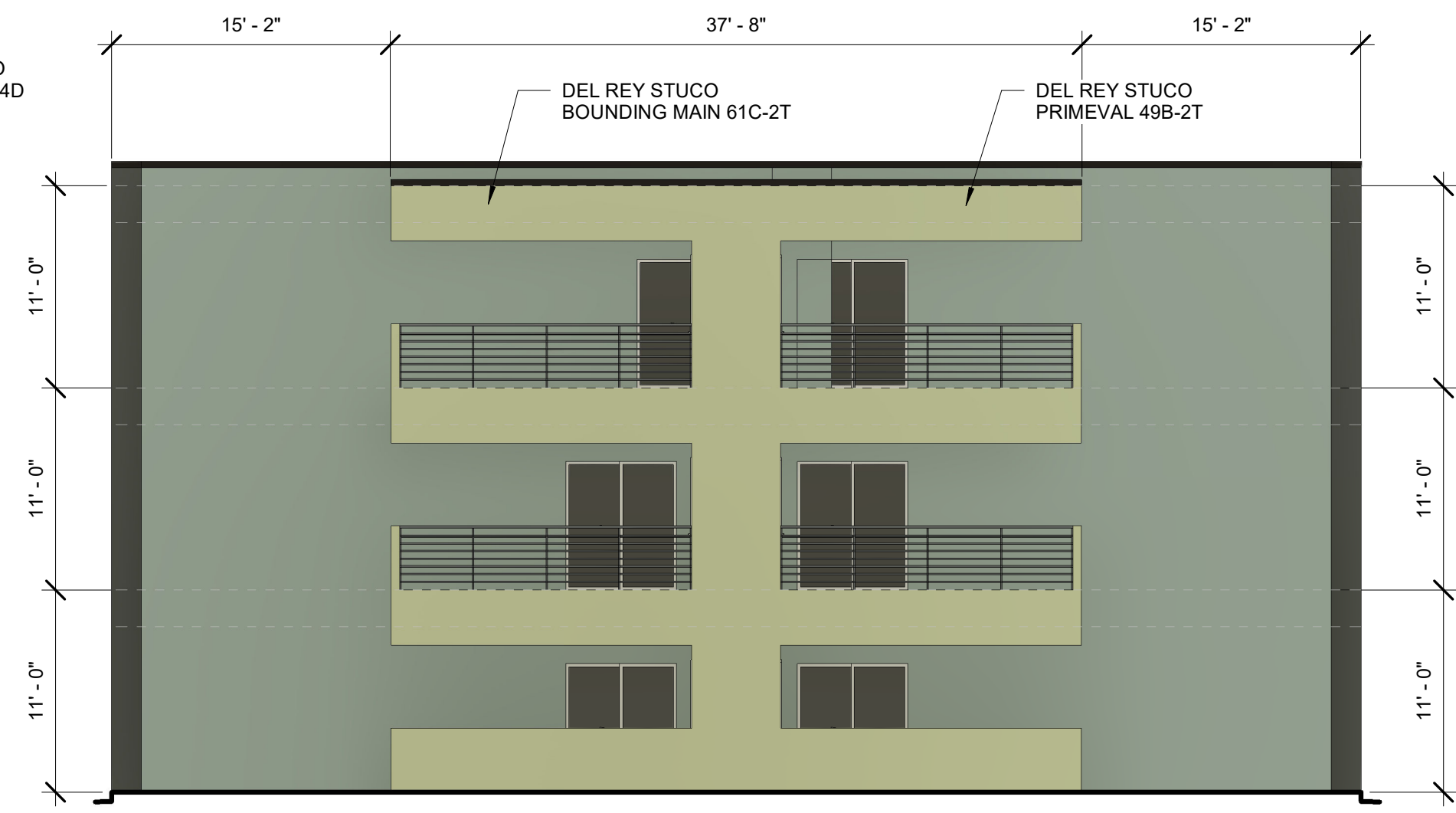
DRAWING TITLE
BUILDING 500 ELEVATIONS

	DESIGNED	Designer	PROJECT NO.	19-008
	DRAWN	Author	SCALE	1/8" = 1'-0"
	CHECKED	Checker	DRAWING NO.	
	REVIEWED	Designer		
	DATE	09/24/2021		A-205



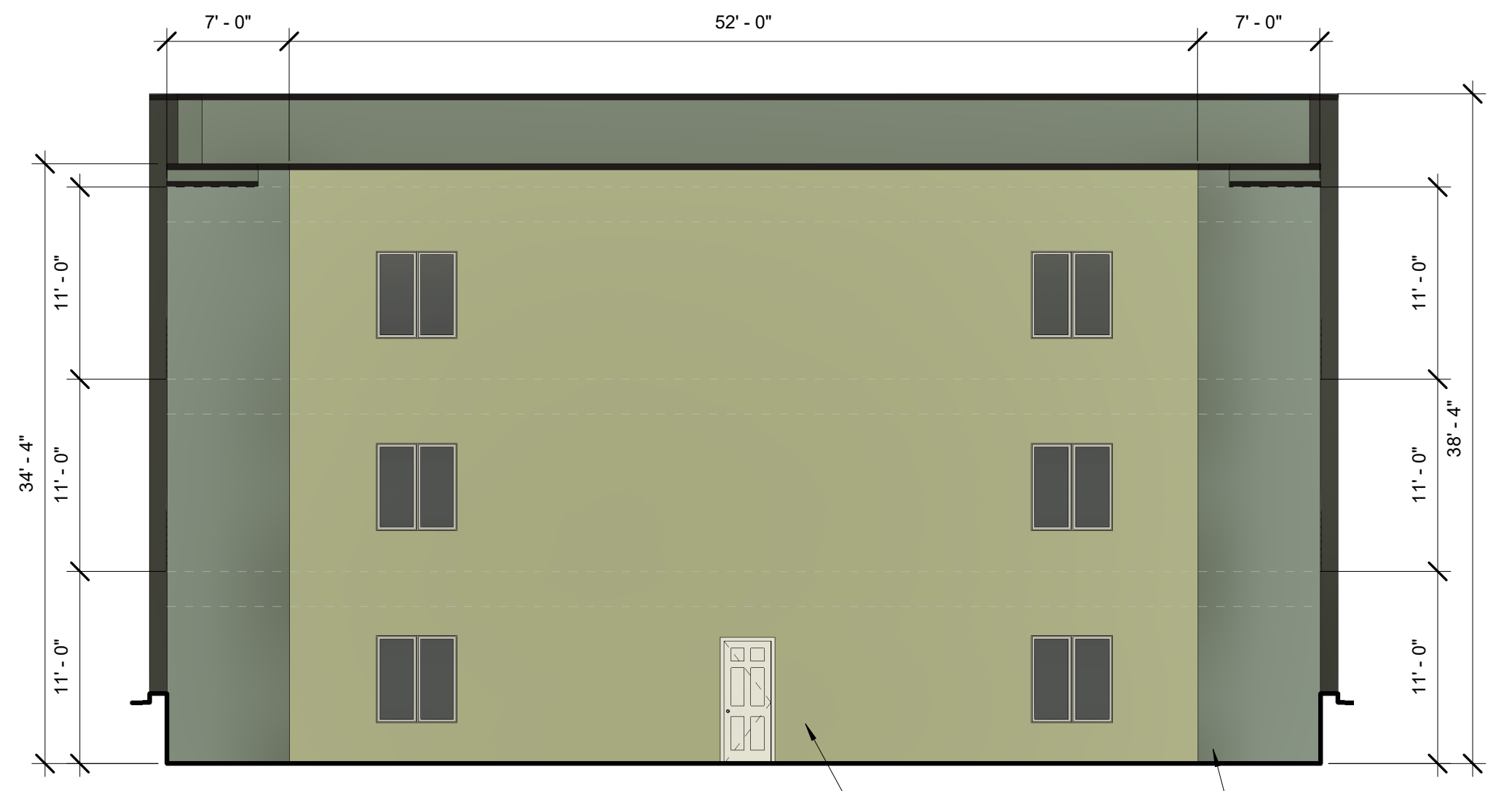
BUILDING 500 SOUTH COLOR ELEVATION

1/8" = 1'-0"



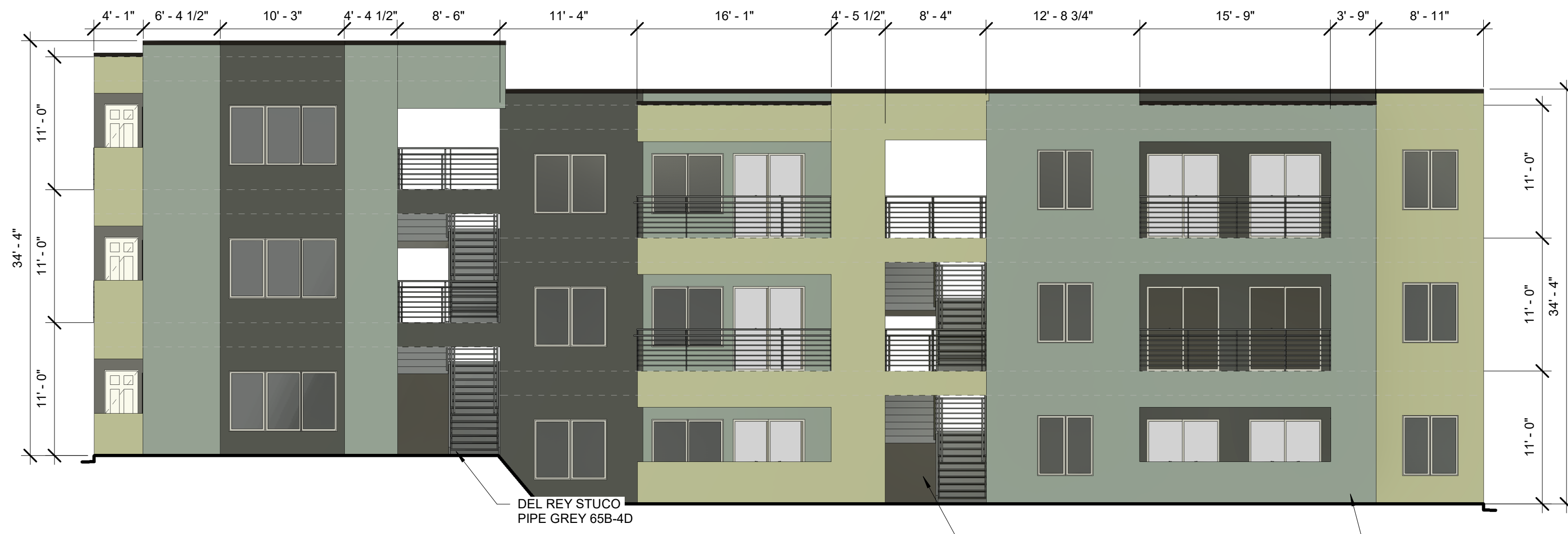
BUILDING 500 EAST COLOR ELEVATION

1/8" = 1'-0"



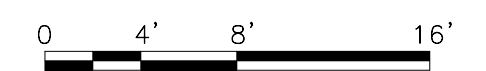
BUILDING 500 WEST COLOR ELEVATION

1/8" = 1'-0"



BUILDING 500 NORTH COLOR ELEVATION

1/8" = 1'-0"



NOTE:
RECESSED WINDOWS 2"
OR PROVIDE 2" FRAME

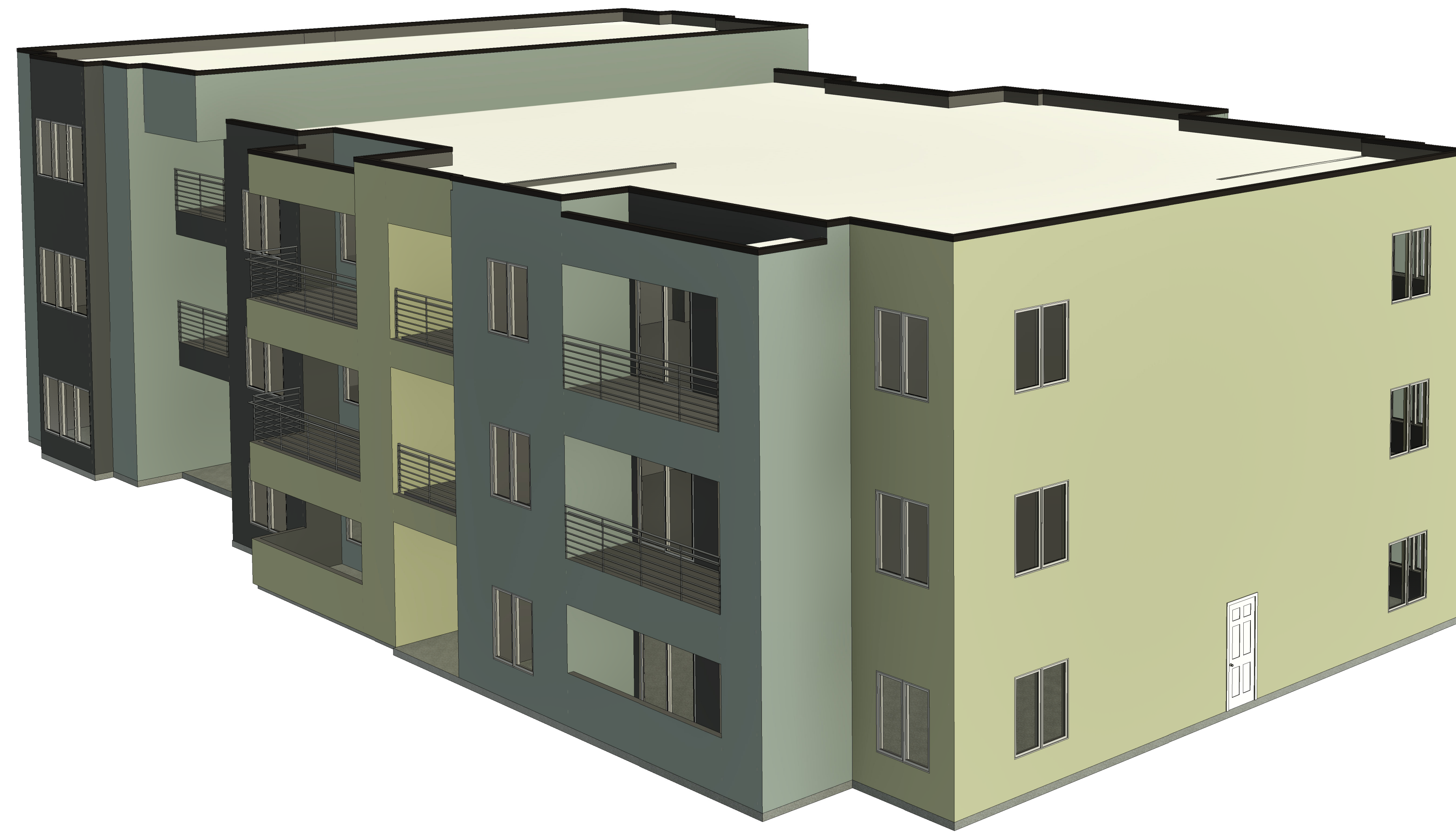
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**TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106**

BUILDING 500 COLOR ELEVATION

	DESIGNED	Designer	PROJECT NO	19-008
	DRAWN	Author	SCALE	1/8" = 1'-0"
	CHECKED	Checker	DRAWING NO	
	REVIEWED	Checker		
	DATE	09/24/2021		

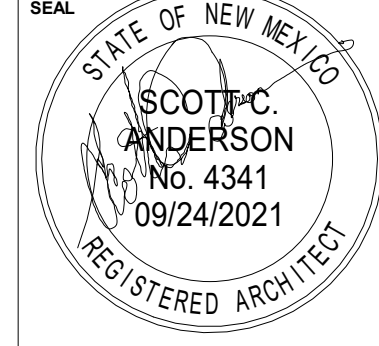
**A-205
C**

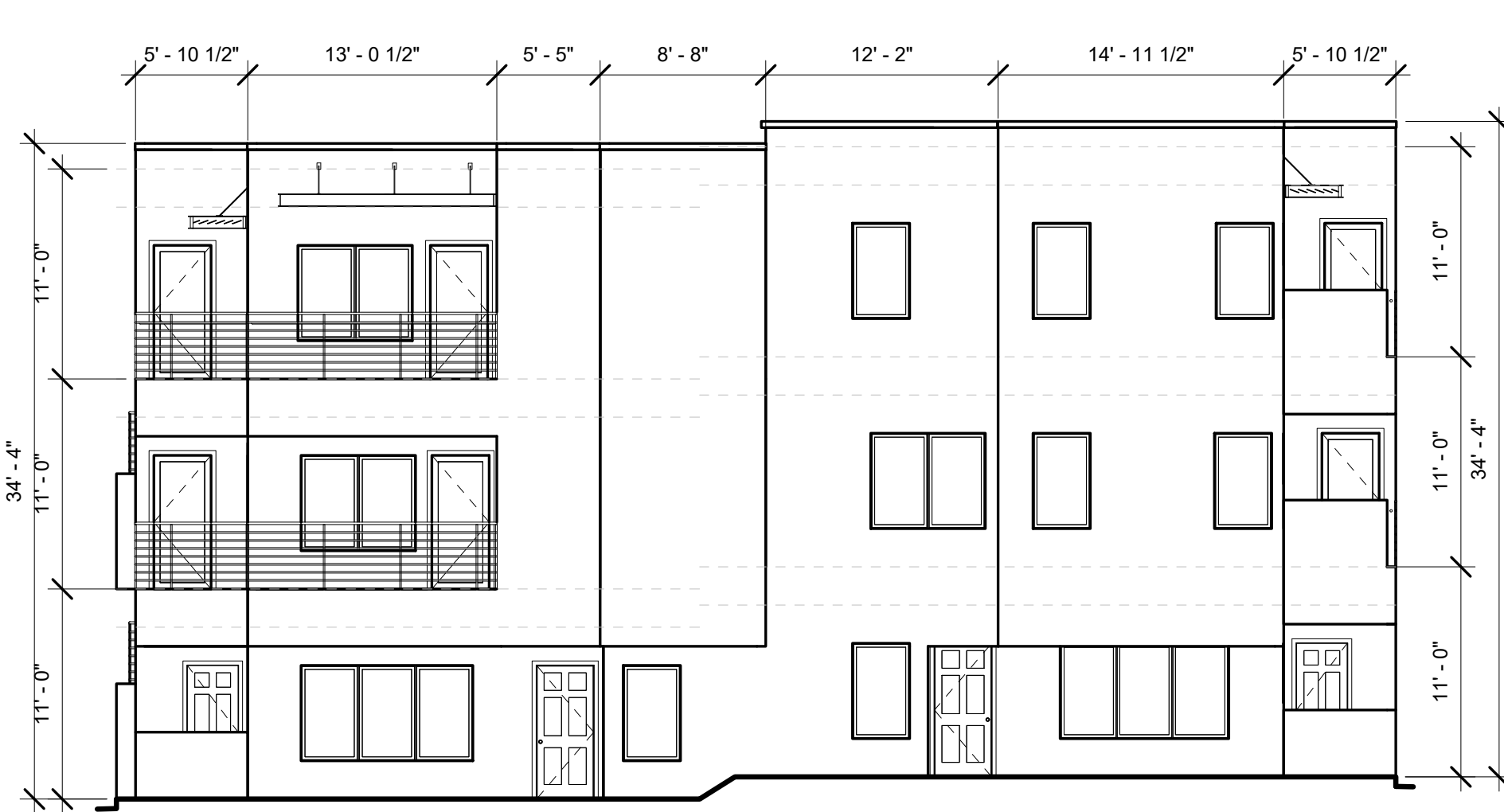



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**TRANSPORT APARTMENTS
 ALBUQUERQUE, NM 87106**

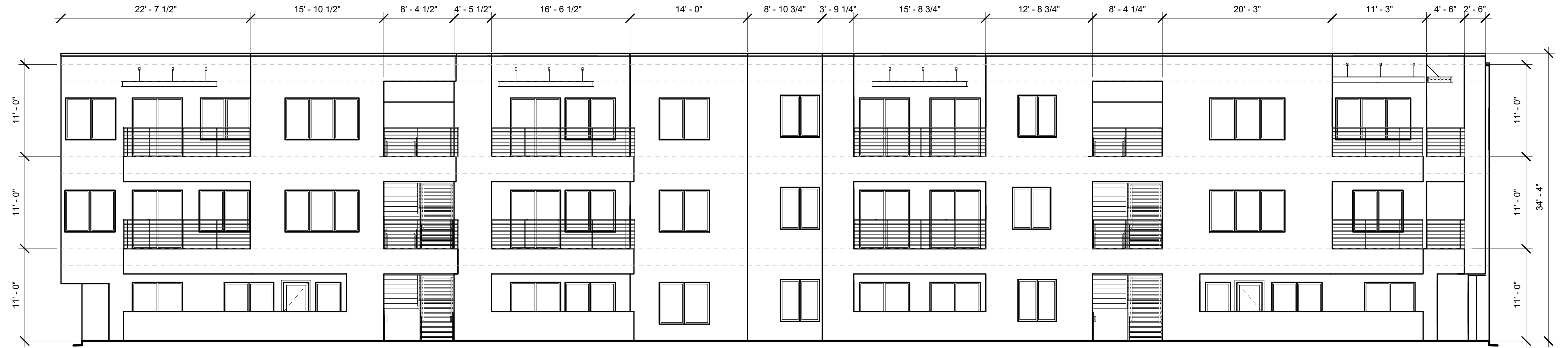
BUILDING 500 PRESPECTIVE ELEVATION

	DESIGNED	Designer	PROJECT NO	19-008
	DRAWN	Author	SCALE	
	CHECKED	Checker	DRAWING NO	
	REVIEWED	Checker	A-205	
	DATE	09/24/2021	P	



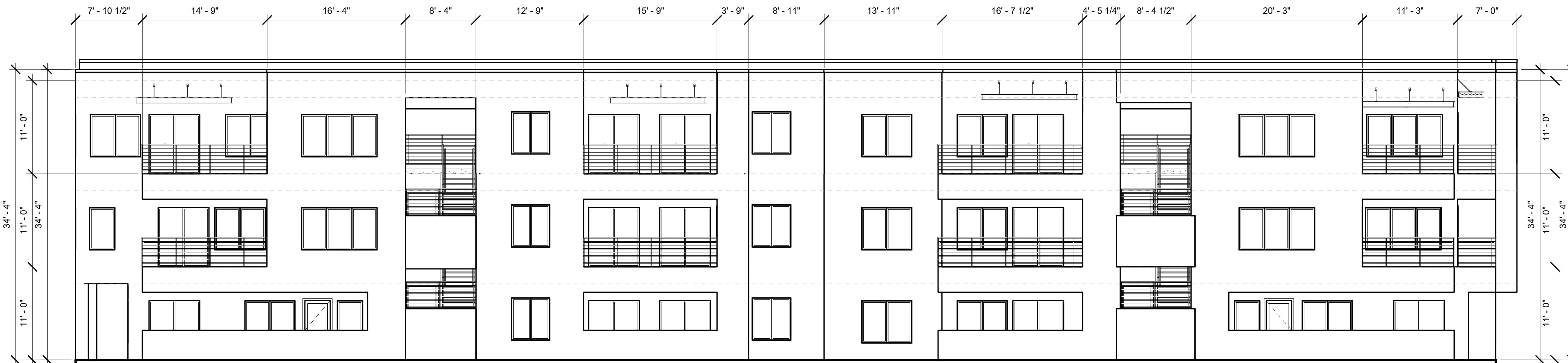
BUILDING 600 SOUTH ELEVATION

1/8" = 1'-0"



BUILDING 600 EAST ELEVATION

1/8" = 1'-0"



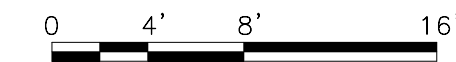
BUILDING 600 WEST ELEVATION

1/8" = 1'-0"



BUILDING 600 NORTH ELEVATION

1/8" = 1'-0"



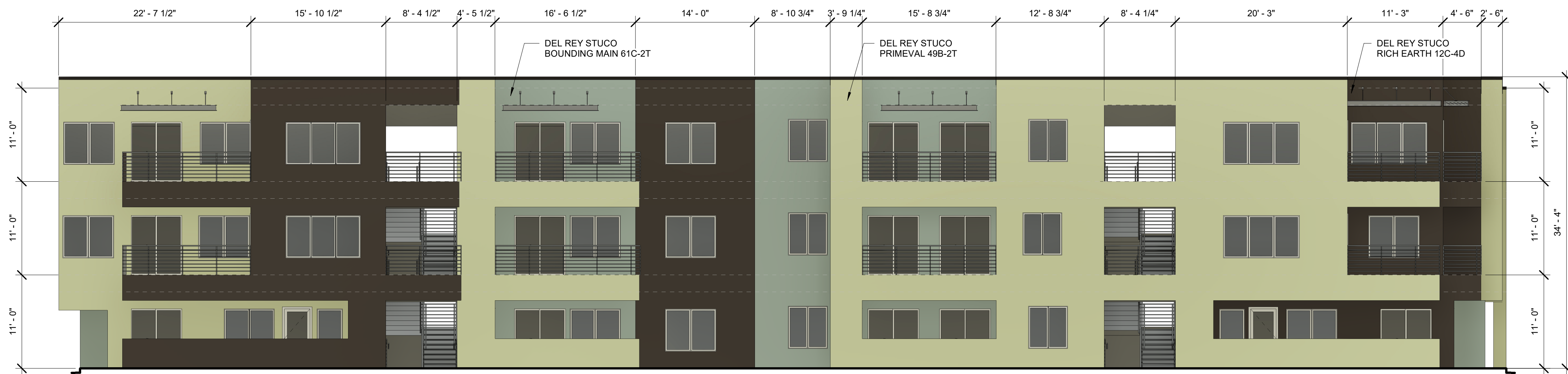
NOTE:
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OR PROVIDE 2" FRAME

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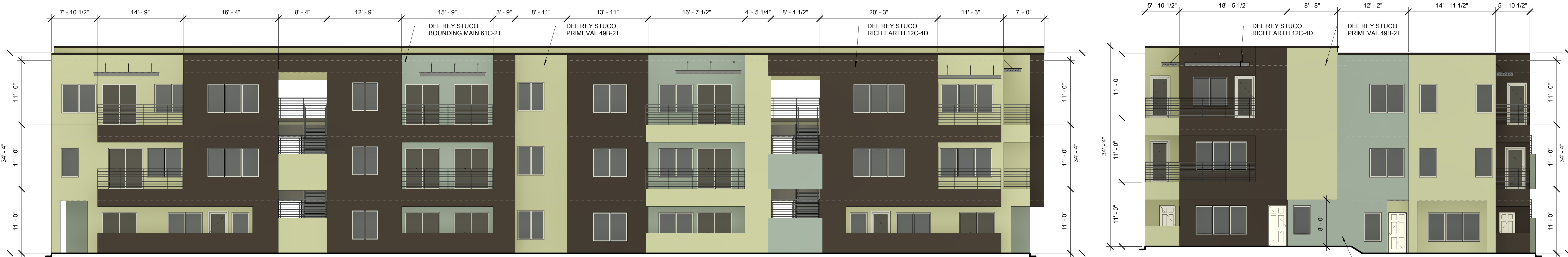
BUILDING 600 ELEVATIONS

	DESIGNED Designer	PROJECT NO 19-008
	DRAWN Author	SCALE 1/8" = 1'-0"
	CHECKED Checker	DRAWING NO
	REVIEWED Checker	A-206
DATE 09/24/2021		



BUILDING 600 EAST COLOR ELEVATION

1/8" = 1'-0"

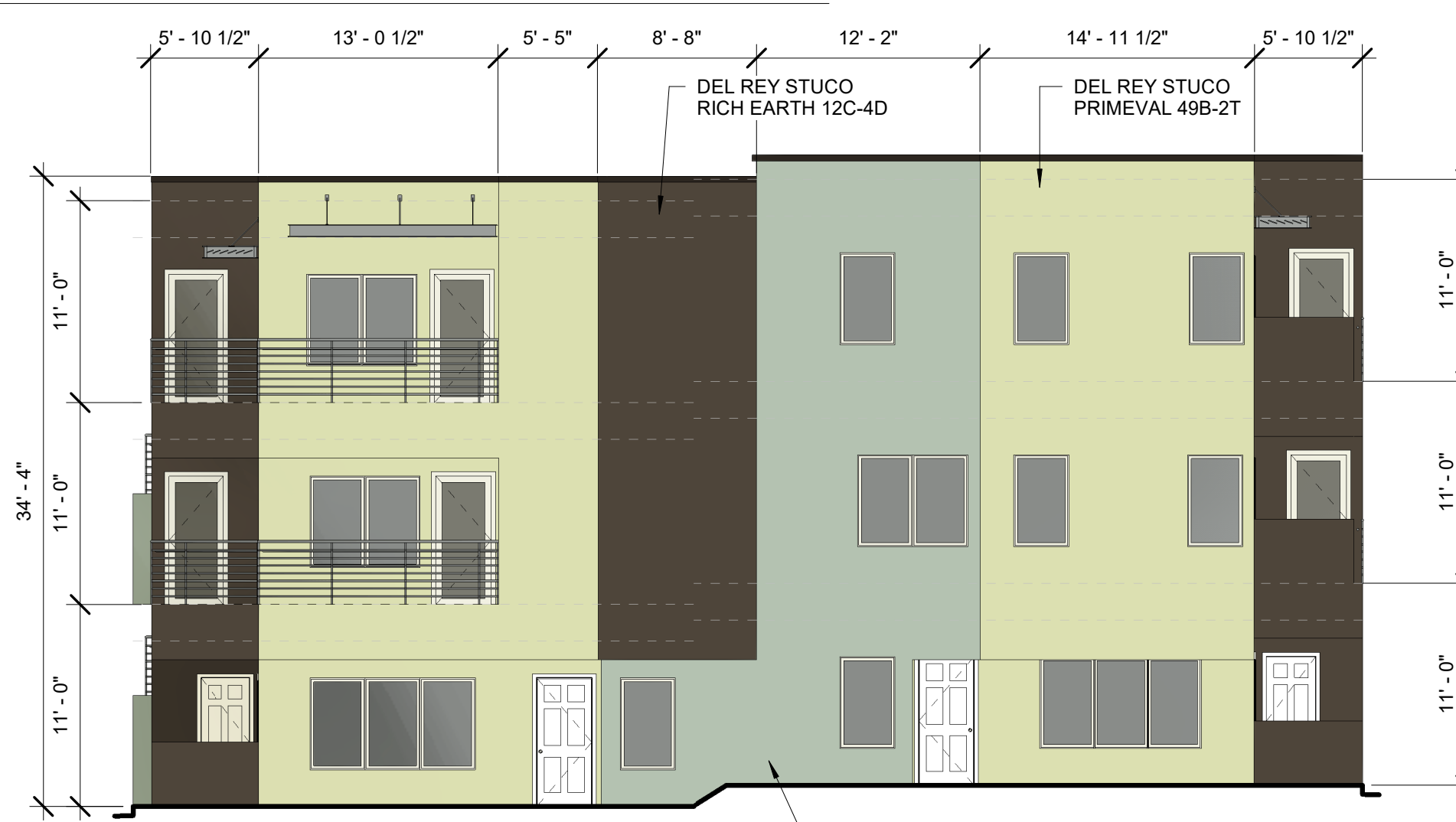


BUILDING 600 WEST COLOR ELEVATION

1/8" = 1'-0"

BUILDING 600 NORTH COLOR ELEVATION

1/8" = 1'-0"



BUILDING 600 SOUTH COLOR ELEVATION

1/8" = 1'-0"



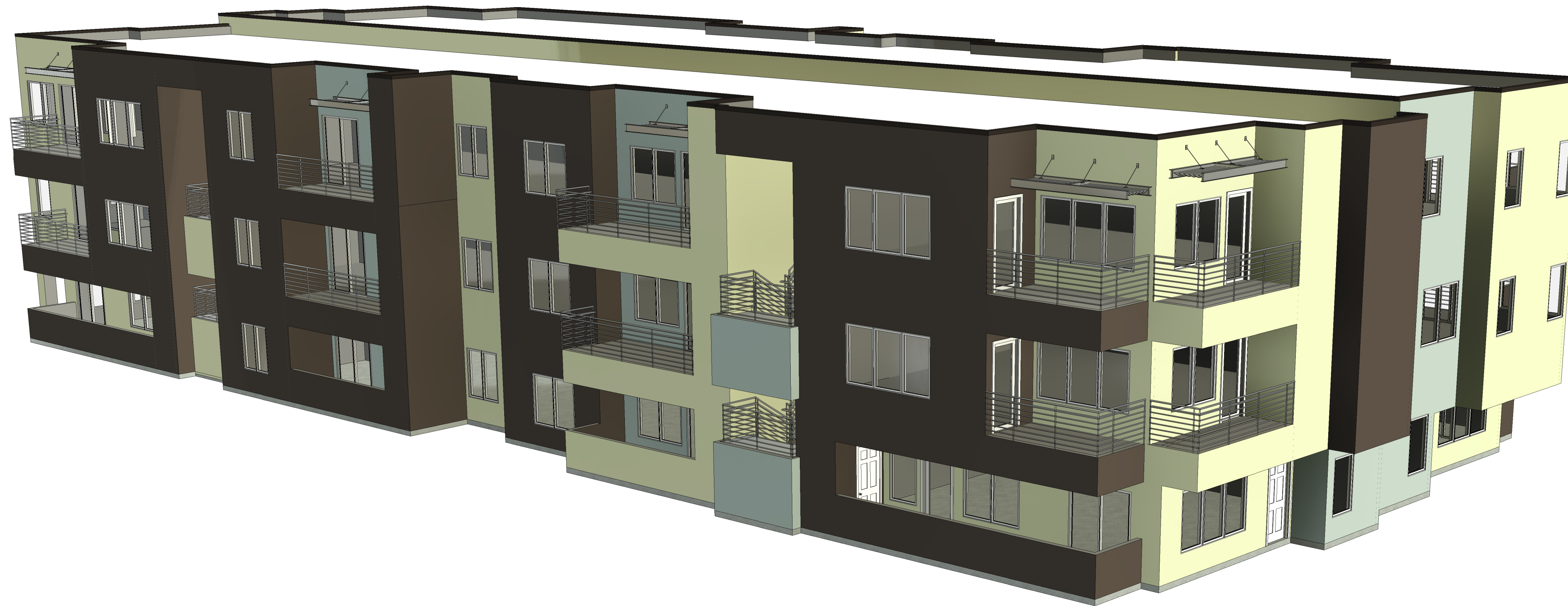
NOTE:
RECESSED WINDOWS 2"
OR PROVIDE 2" FRAME



**TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106**

DRAWING TITLE
BUILDING 600 COLOR ELEVATION

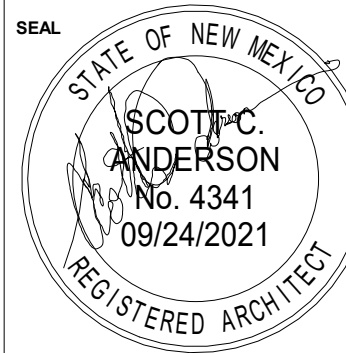
	DESIGNED Designer	PROJECT NO. 19-008
	DRAWN Author	SCALE 1/8" = 1'-0"
	CHECKED Checker	DRAWING NO. A-206 C
	REVIEWED Checker	DATE 09/24/2021

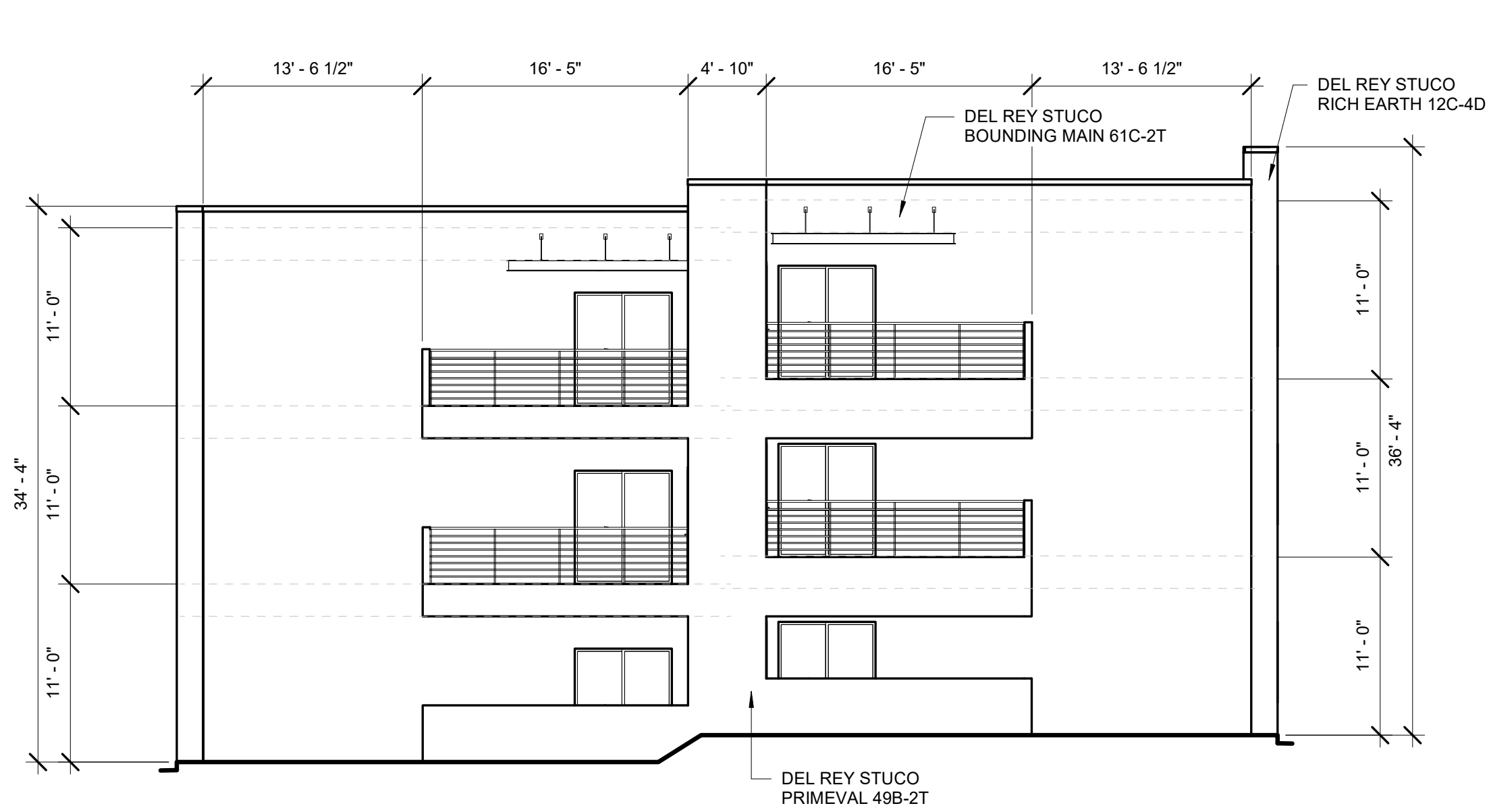



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**TRANSPORT APARTMENTS
 ALBUQUERQUE, NM 87106**

DRAWING
 TITLE
BUILDING 600 PRESPECTIVE ELEVATION

	DESIGNED	Designer	PROJECT NO	19-008
	DRAWN	Author	SCALE	
	CHECKED	Checker	DRAWING NO	
	REVIEWED	Checker		A-206
	DATE	09/24/2021		P



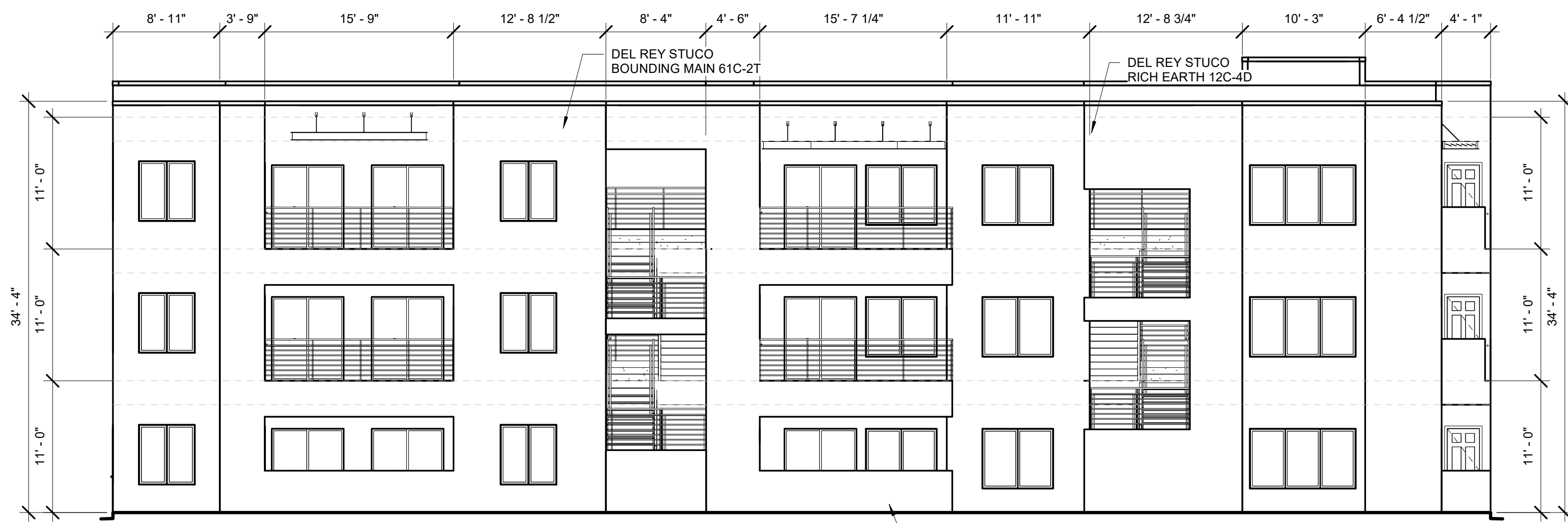
BUILDING 700 SOUTH ELEVATION

1/8" = 1'-0"



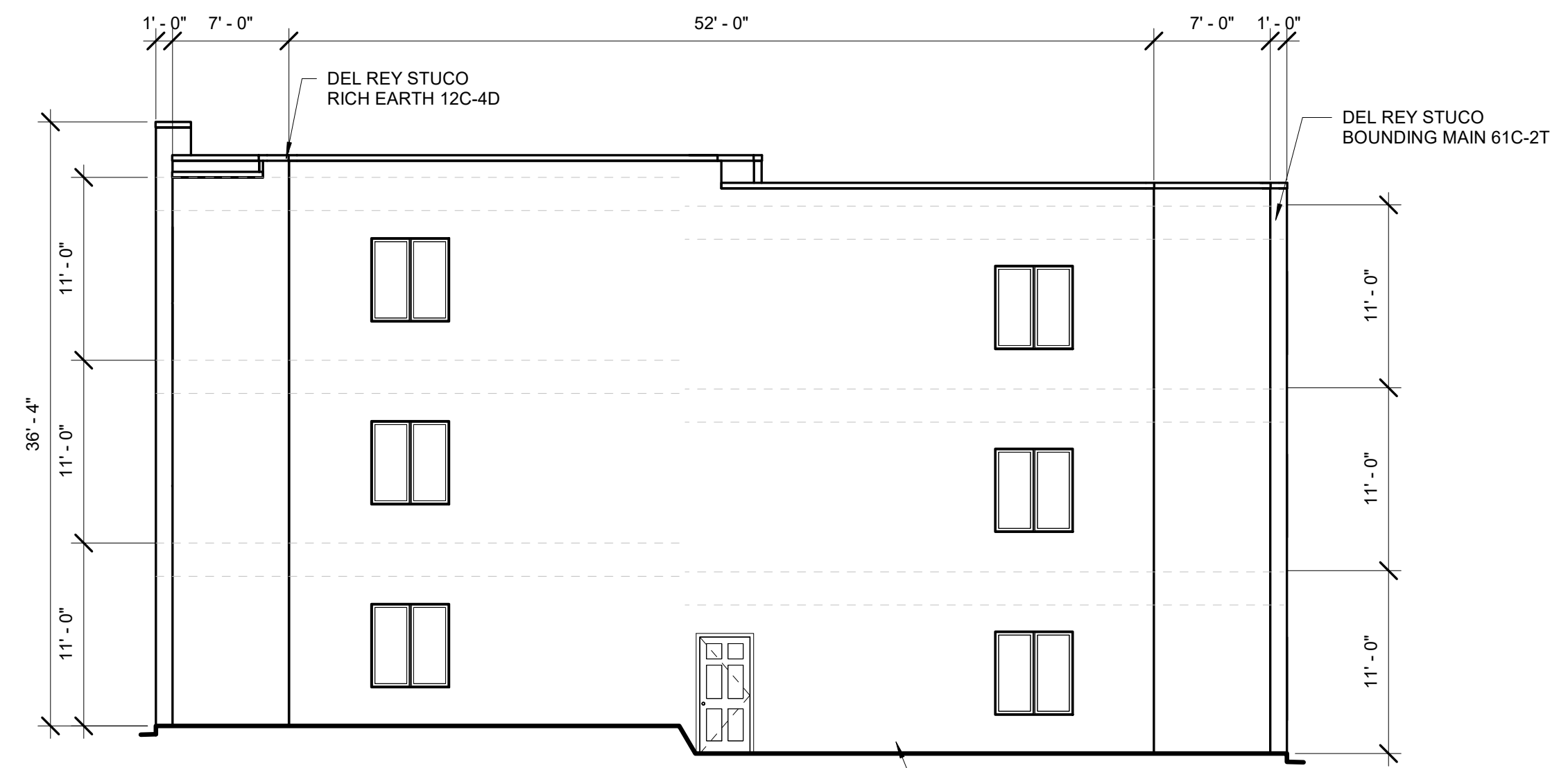
BUILDING 700 EAST ELEVATION

1/8" = 1'-0"



BUILDING 700 WEST ELEVATION

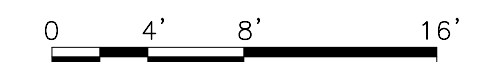
1/8" = 1'-0"



BUILDING 700 NORTH ELEVATION

1/8" = 1'-0"

NOTE:
RECESSED WINDOWS 2"
OR PROVIDE 2" FRAME

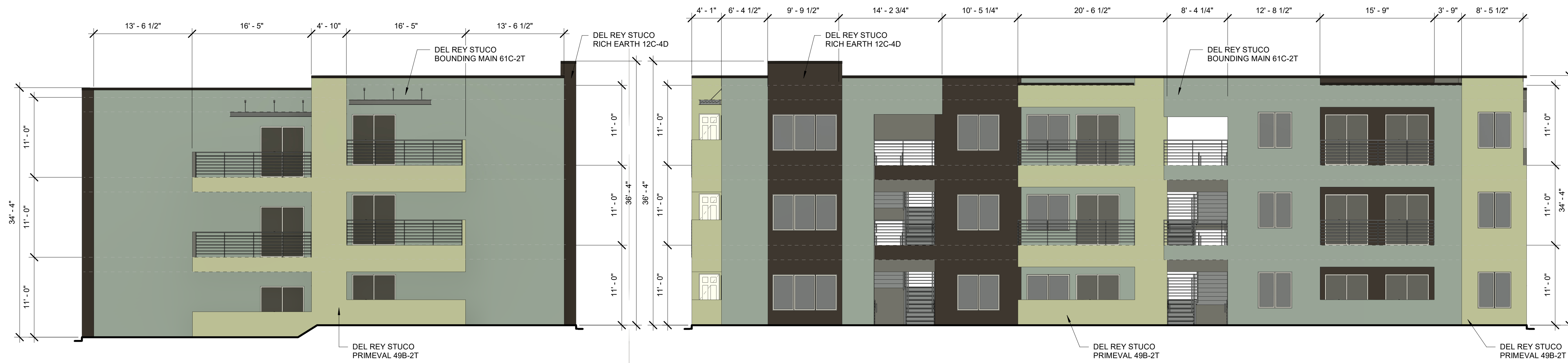


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**TRANSPORT APARTMENTS
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DRAWING TITLE
BUILDING 700 ELEVATIONS

	DESIGNED	Designer	PROJECT NO	19-008
	DRAWN	Author	SCALE	1/8" = 1'-0"
	CHECKED	Checker	DRAWING NO	
	REVIEWED	Designer		A-207
	DATE	09/24/2021		

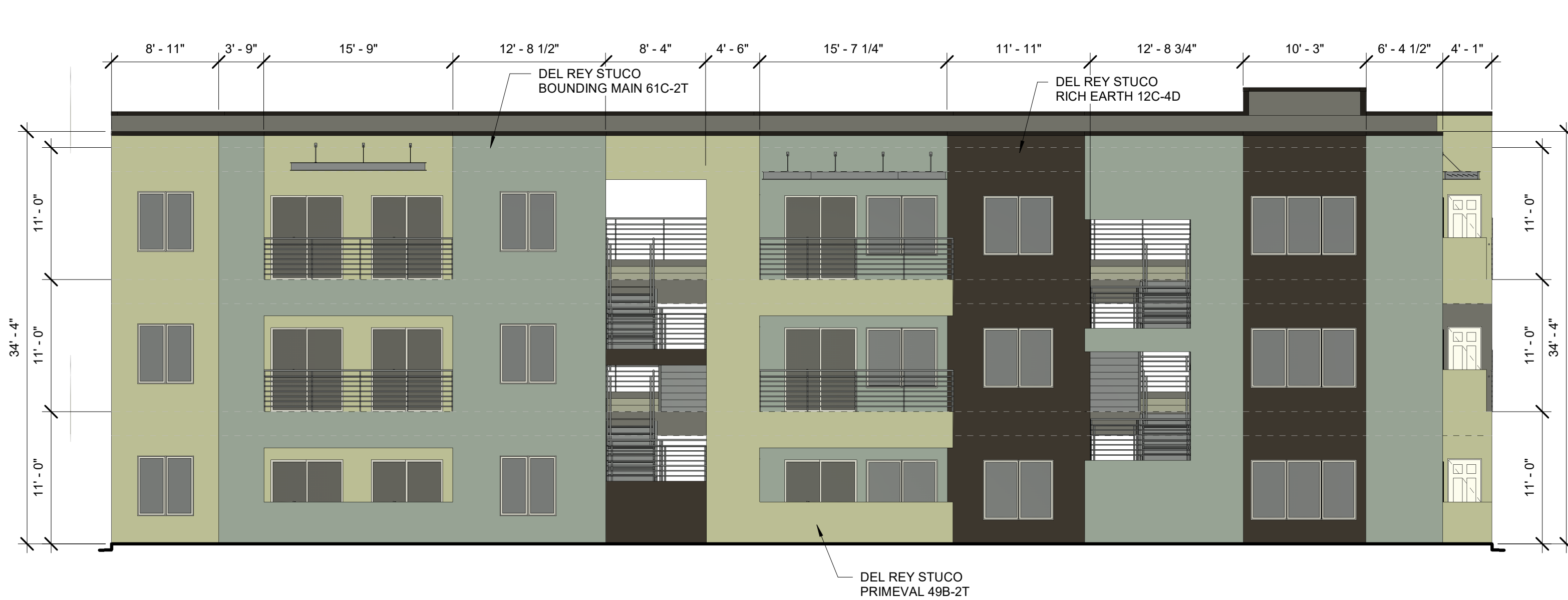


BUILDING 700 SOUTH COLOR ELEVATION

1/8" = 1'-0"

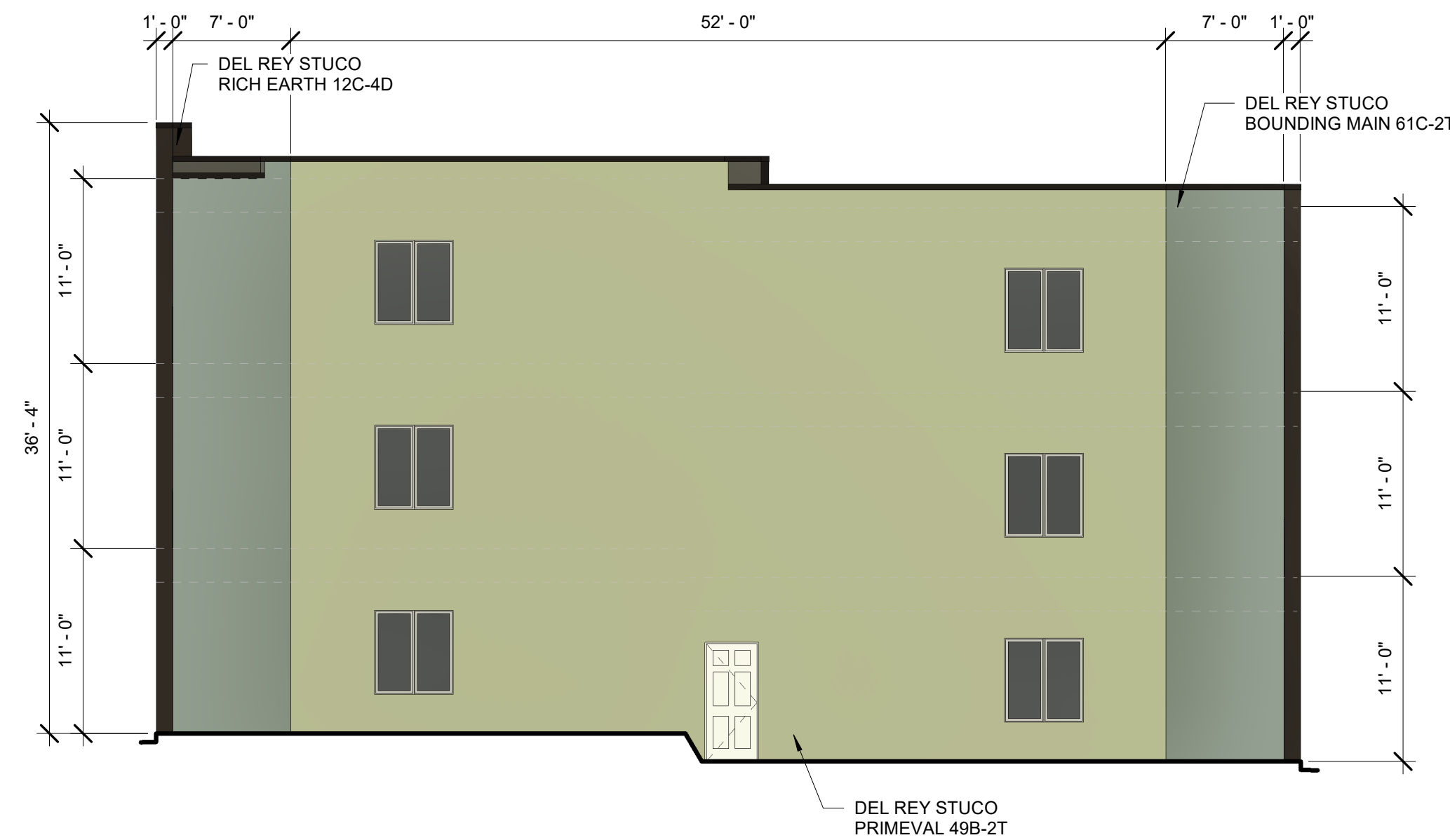
BUILDING 700 EAST COLOR ELEVATION

1/8" = 1'-0"



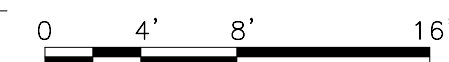
BUILDING 700 WEST COLOR ELEVATION

1/8" = 1'-0"



BUILDING 700 NORTH COLOR ELEVATION

1/8" = 1'-0"



NOTE:
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DRAWING TITLE
BUILDING 700 COLOR ELEVATION

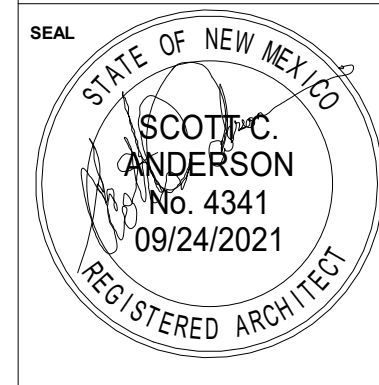
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	DRAWN Author	SCALE 1/8" = 1'-0"
	CHECKED Checker	DRAWING NO. A-207
	REVIEWED Checker	C
	DATE 09/24/2021	

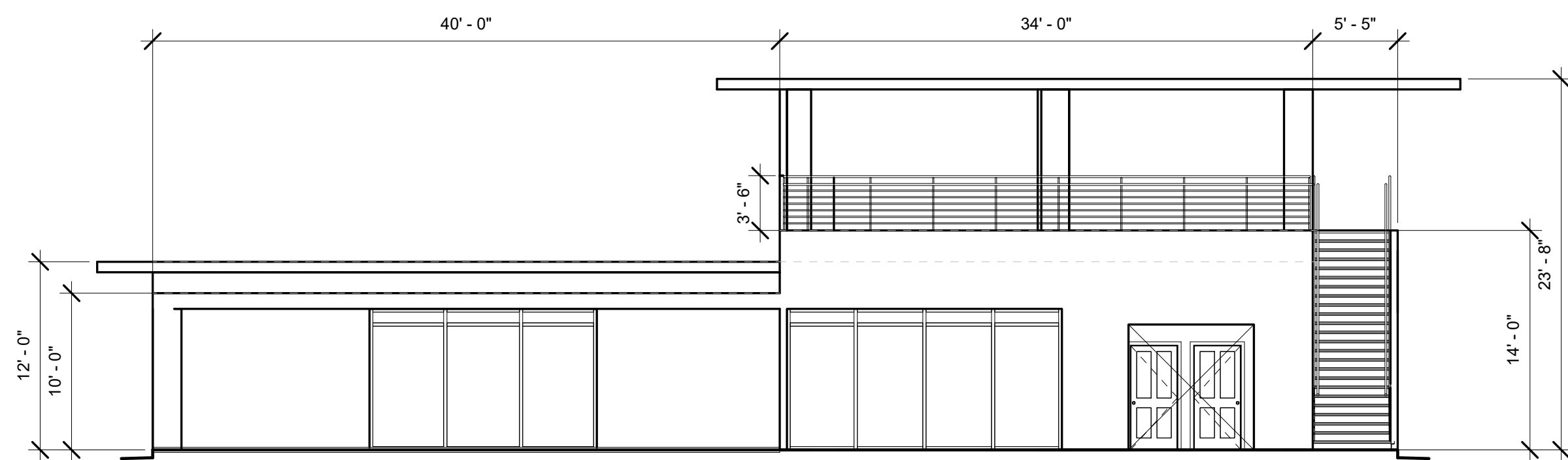


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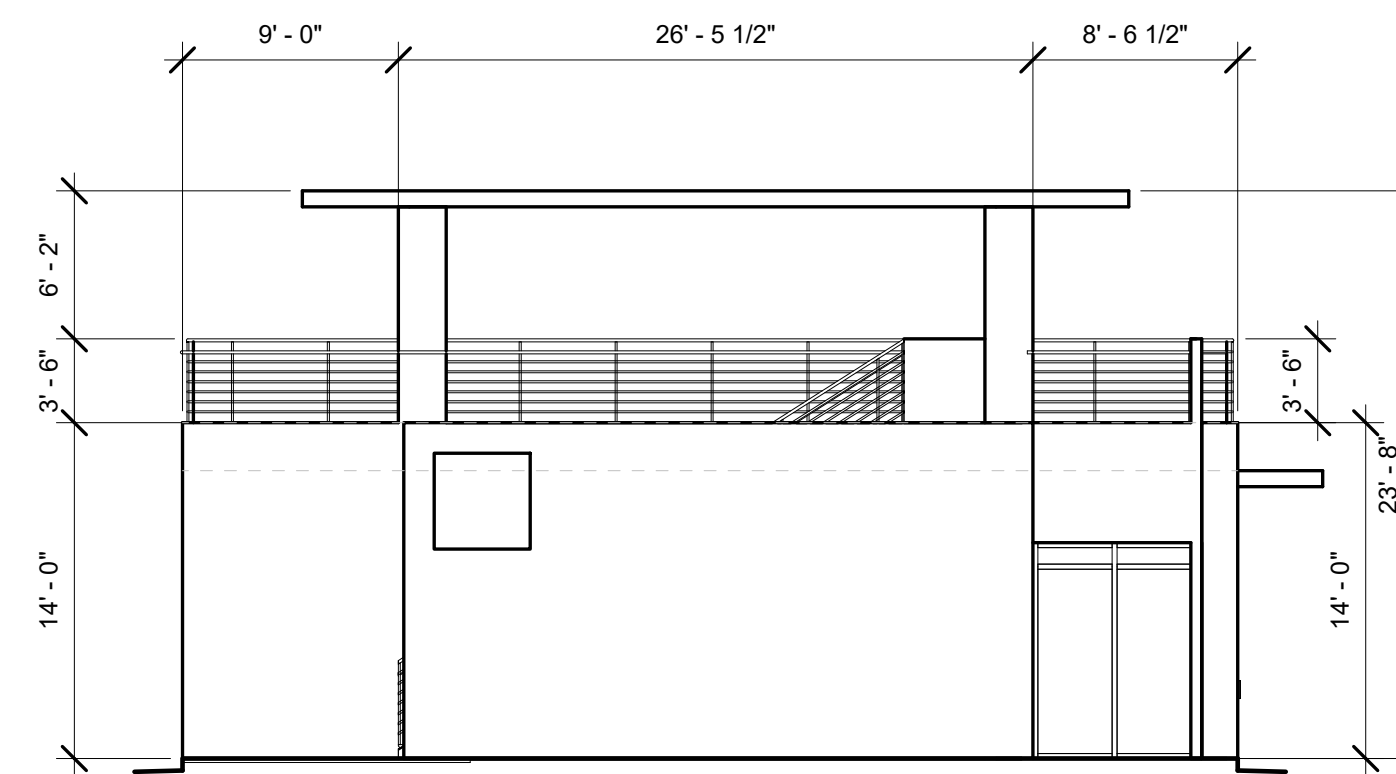
DRAWING
 TITLE
BUILDING 700 PREPECTIVE ELEVATION

	DESIGNED	Designer	PROJECT NO	19-008
	DRAWN	Author	SCALE	
	CHECKED	Checker	DRAWING NO	A-207
	REVIEWED	Checker		P
	DATE	09/24/2021		



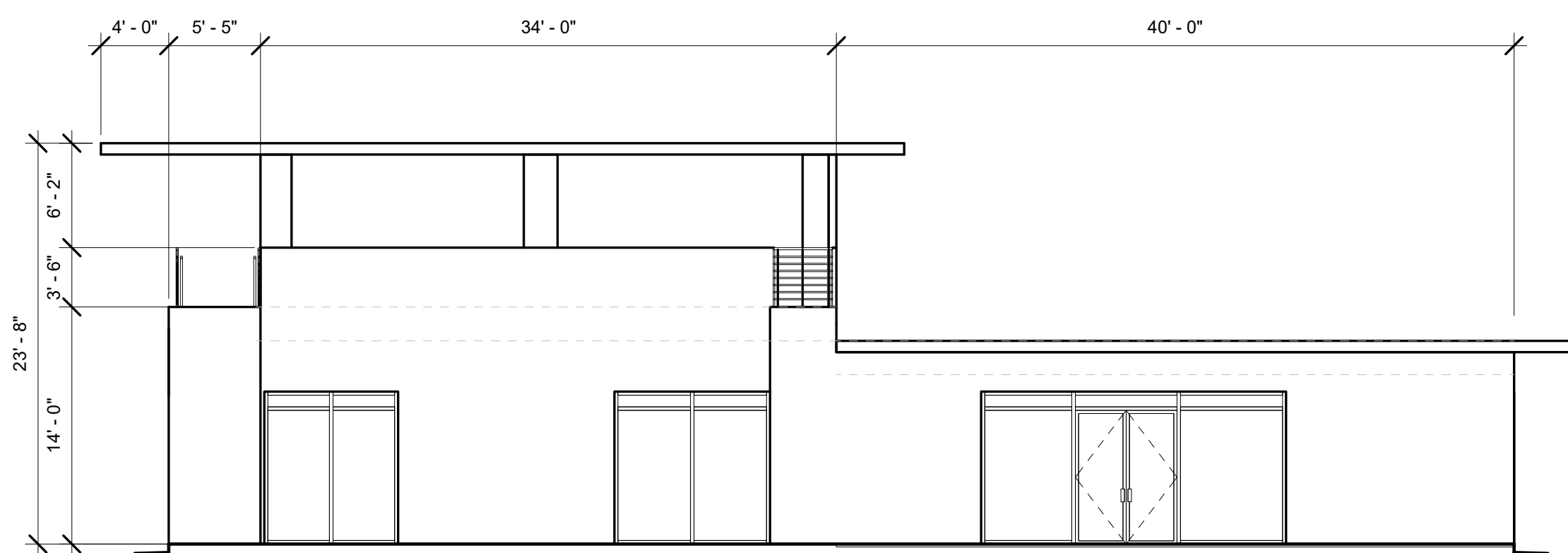
BUILDING 800 EAST ELEVATION

1/8" = 1'-0"



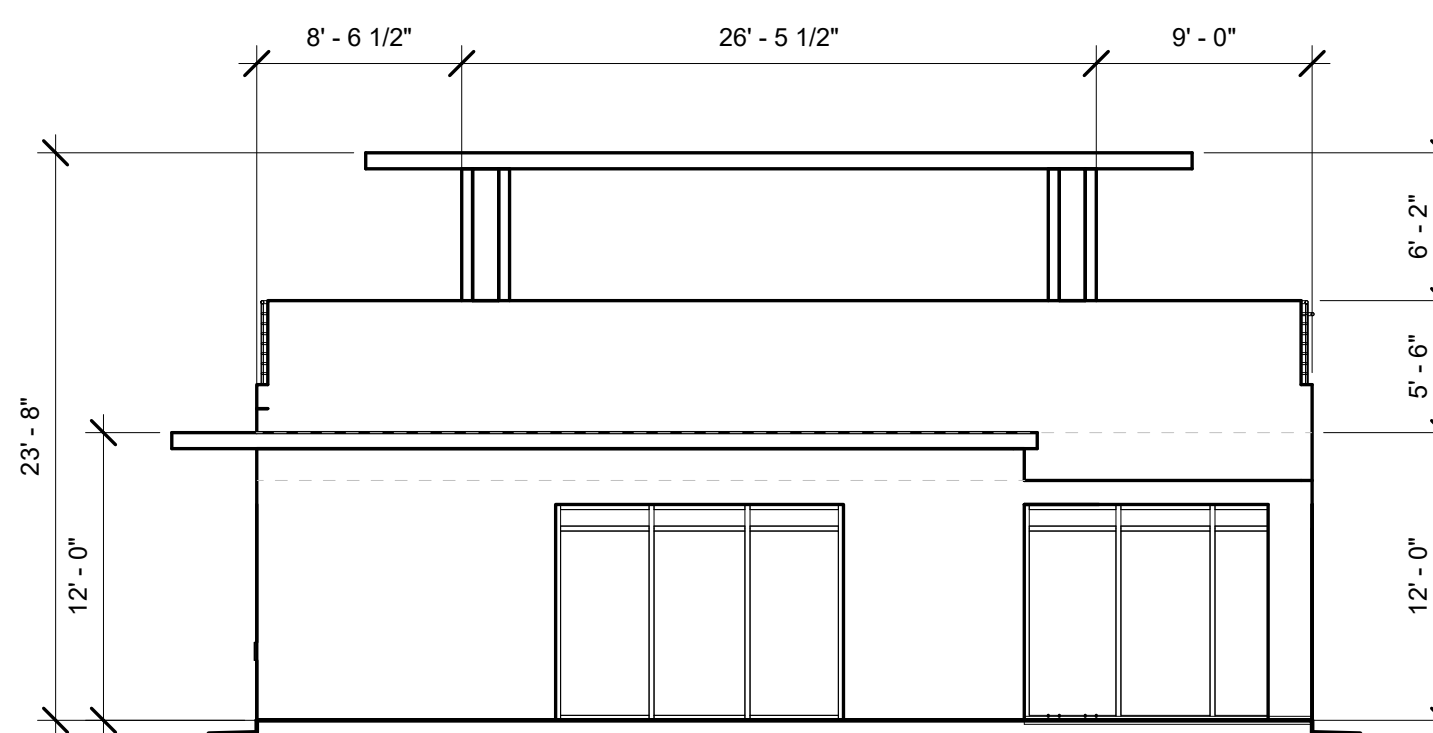
BUILDING 800 NOTRH ELEVATION

1/8" = 1'-0"



BUILDING 800 WEST ELEVATION

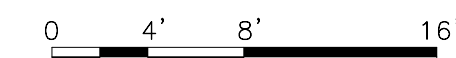
1/8" = 1'-0"



BUILDING 800 SOUTH ELEVATION

1/8" = 1'-0"

NOTE:
RECESSED WINDOWS 2"
OR PROVIDE 2" FRAME

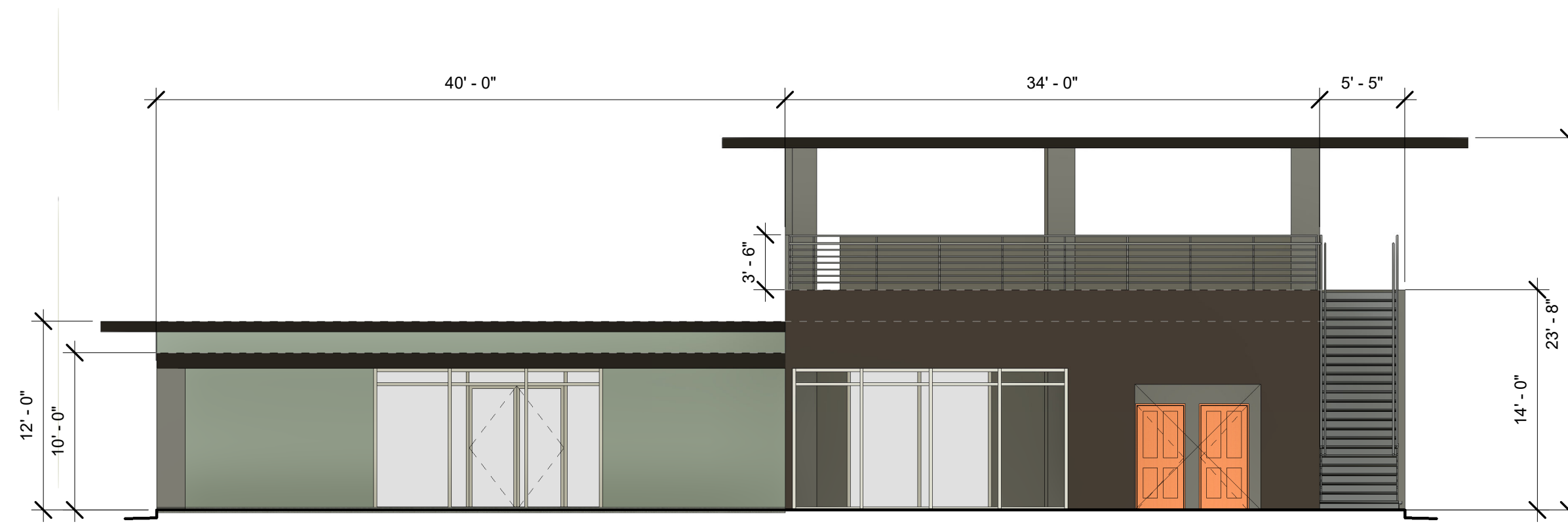


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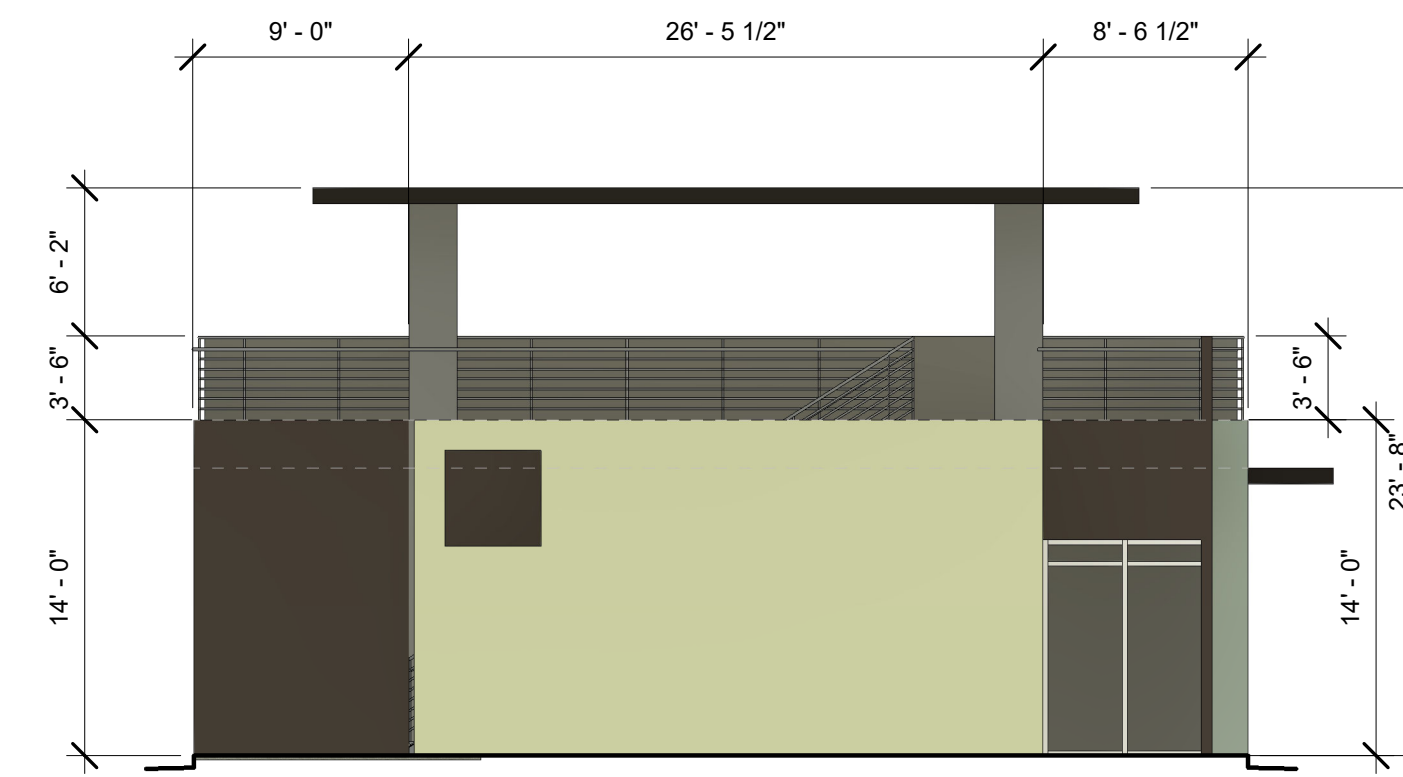
DRAWING
TITLE
BUILDING 800 ELEVATIONS

	DESIGNED Designer	PROJECT NO 19-008
	DRAWN Author	SCALE 1/8" = 1'-0"
	CHECKED Checker	DRAWING NO
	REVIEWED Designer	A-208
	DATE 09/24/2021	



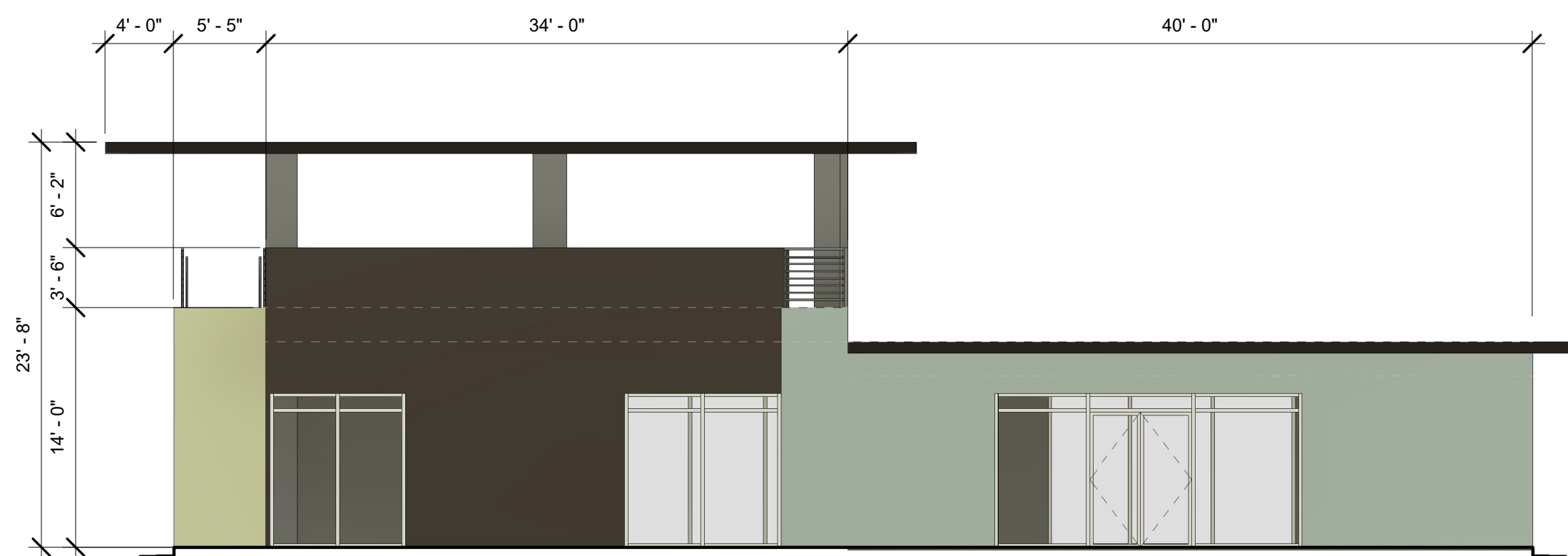
BUILDING 800 EAST COLOR ELEVATION

1/8" = 1'-0"



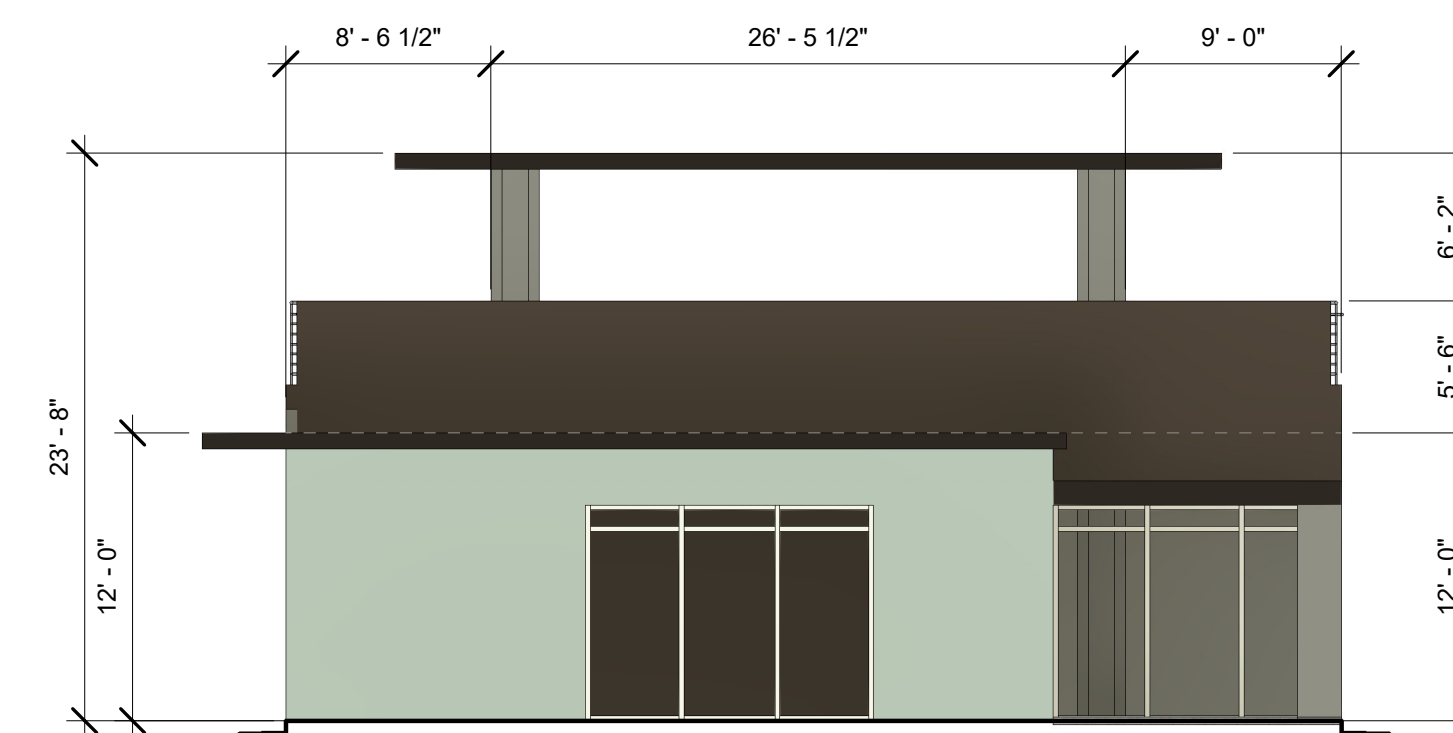
BUILDING 800 NOTRH COLOR ELEVATION

1/8" = 1'-0"



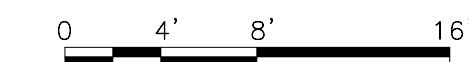
BUILDING 800 WEST COLOR ELEVATION

1/8" = 1'-0"



BUILDING 800 SOUTH COLOR ELEVATION

1/8" = 1'-0"



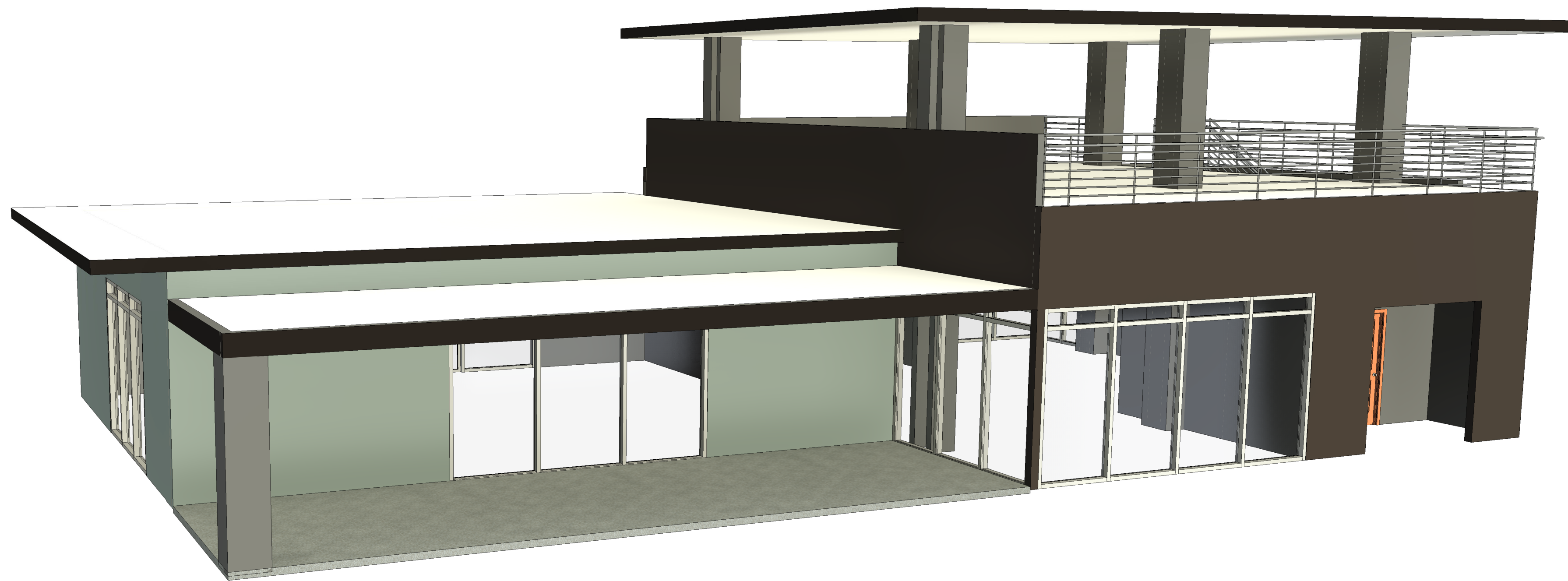
NOTE:
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**TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106**

DRAWING
TITLE
BUILDING 800 COLOR ELEVATIONS


	DESIGNED	Designer	PROJECT NO	19-008
	DRAWN	Author	SCALE	1/8" = 1'-0"
	CHECKED	Checker	DRAWING NO	A-208
	REVIEWED	Checker		C
	DATE	09/24/2021		

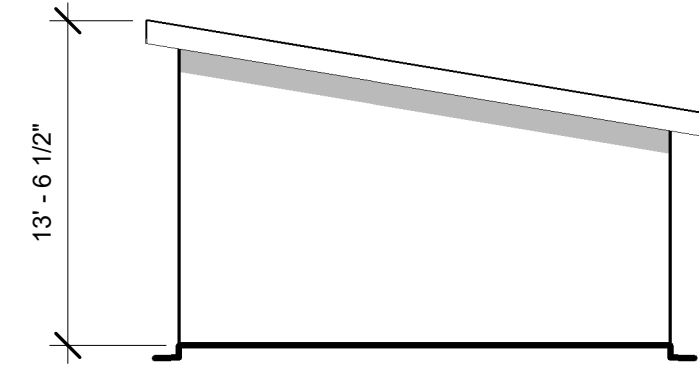



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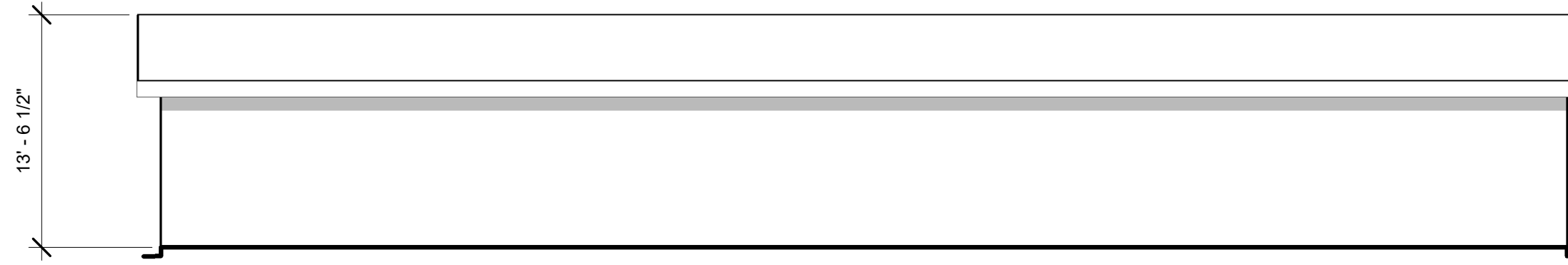
TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106

DRAWING TITLE
BUILDING 800 PRESPECTIVE ELEVATION

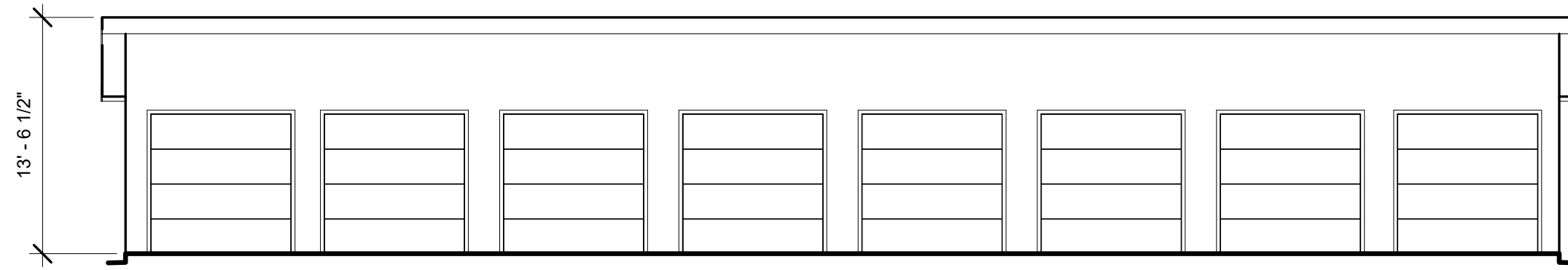
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	DRAWN	Author	SCALE	
	CHECKED	Checker	DRAWING NO	
	REVIEWED	Checker		A-208
	DATE	09/24/2021		P



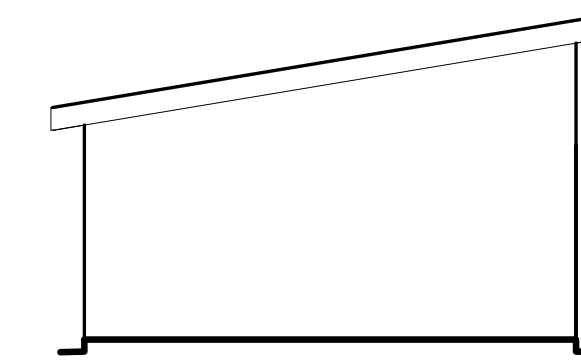
BUILDING 900 SOUTH ELEVATION
1/8" = 1'-0"



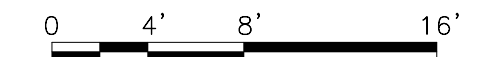
BUILDING 900 EAST ELEVATION
1/8" = 1'-0"



BUILDING 900 WEST ELEVATION
1/8" = 1'-0"



BUILDING 900 NORTH ELEVATION
1/8" = 1'-0"



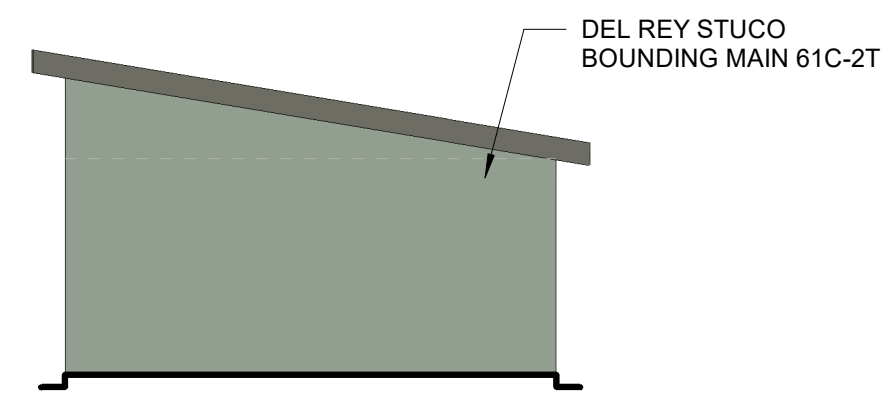
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TRANSPORT APARTMENTS
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DRAWING
TITLE
BUILDING 900 ELEVATIONS

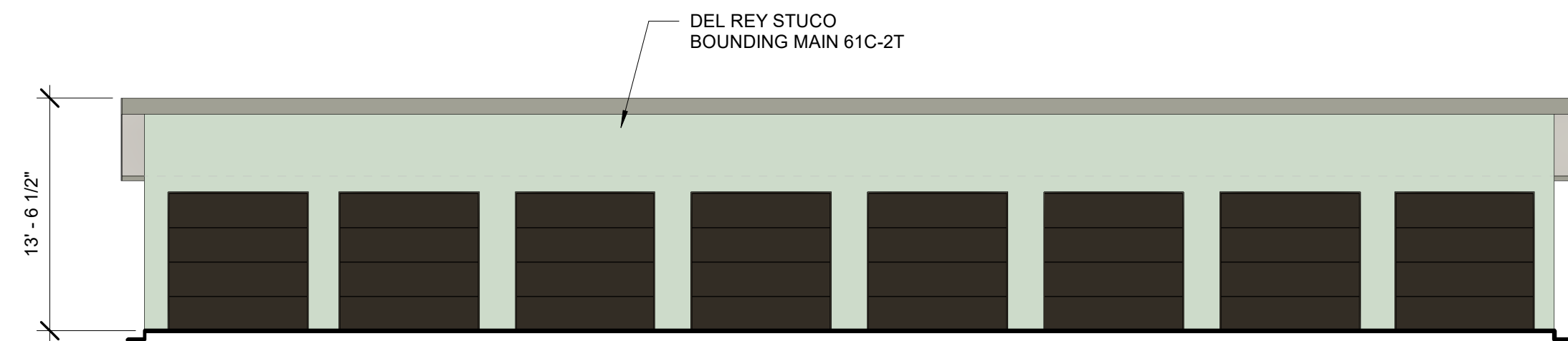
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	CHECKED	Checker	DRAWING NO	
	REVIEWED	Designer		A-209
	DATE	09/24/2021		



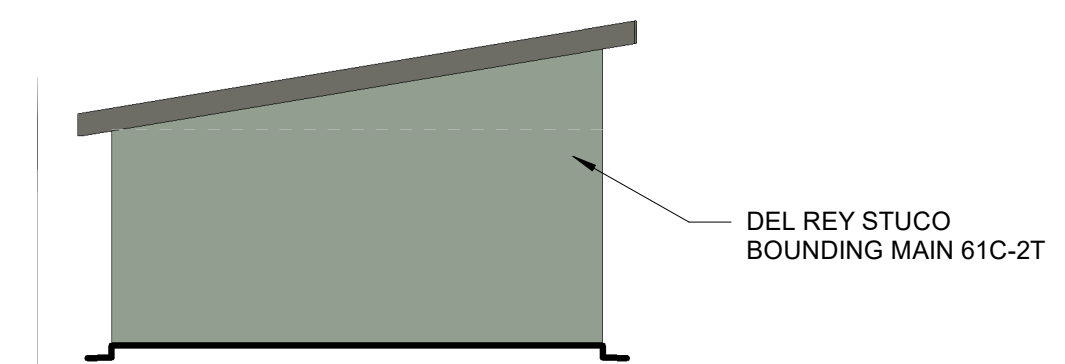
BUILDING 900 SOUTH COLOR ELEVATION
1/8" = 1'-0"



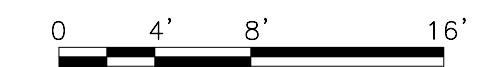
BUILDING 900 EAST COLOR ELEVATION
1/8" = 1'-0"



BUILDING 900 WEST COLOR ELEVATION
1/8" = 1'-0"



BUILDING 900 NORTH COLOR ELEVATION
1/8" = 1'-0"

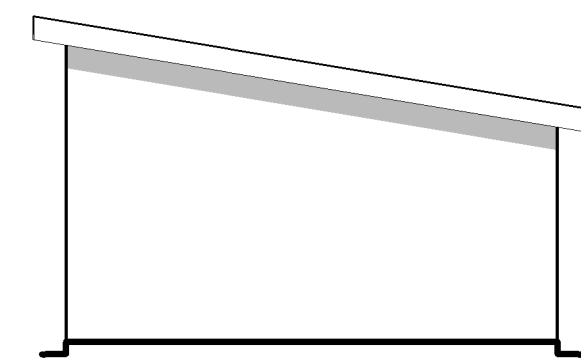


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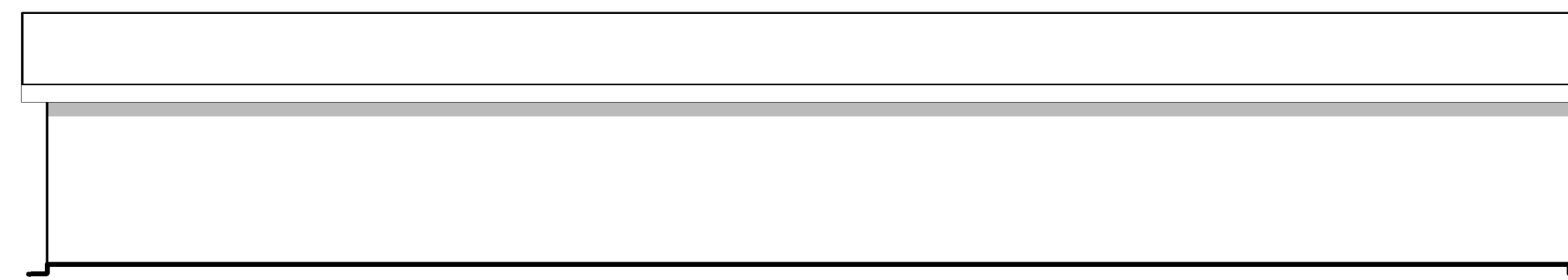
**TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106**

DRAWING TITLE
BUILDING 900 COLOR ELEVATIONS

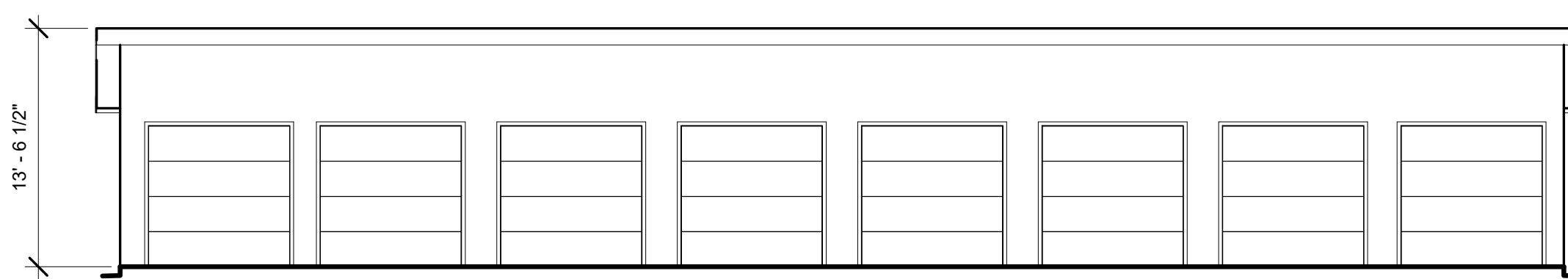
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	DRAWN Author	SCALE 1/8" = 1'-0"
	CHECKED Checker	DRAWING NO
	REVIEWED Checker	A-209
	DATE 09/24/2021	C



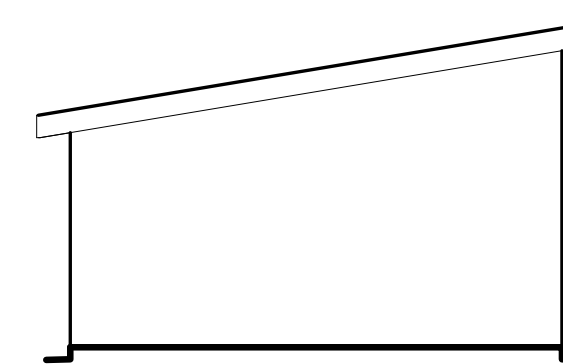
BUILDING 1000 SOUTH ELEVATION
1/8" = 1'-0"



BUILDING 1000 EAST ELEVATION
1/8" = 1'-0"

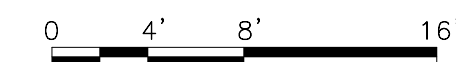


BUILDING 1000 WEST ELEVATION
1/8" = 1'-0"



BUILDING 1000 NORTH ELEVATION
1/8" = 1'-0"

NOTE:
RECESSED WINDOWS 2"
OR PROVIDE 2" FRAME

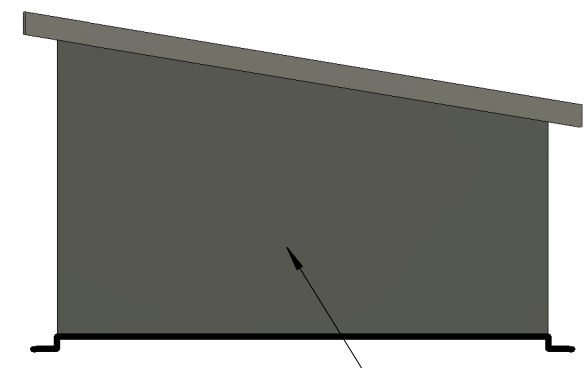


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TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106

DRAWING
TITLE
BUILDING 1000 ELEVATIONS

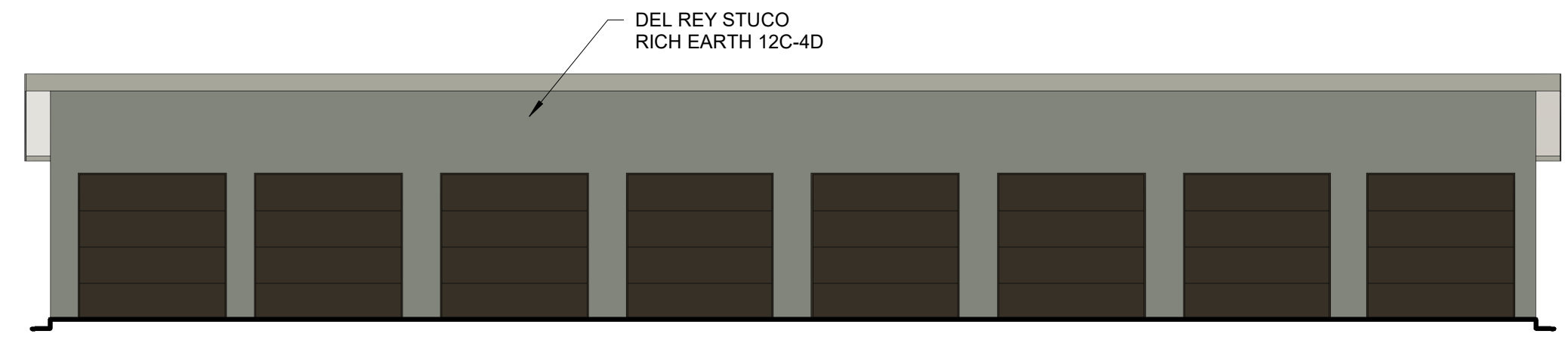
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	DRAWN	Author	SCALE	1/8" = 1'-0"
	CHECKED	Checker	DRAWING NO.	
	REVIEWED	Designer		A-210
	DATE	09/24/2021		



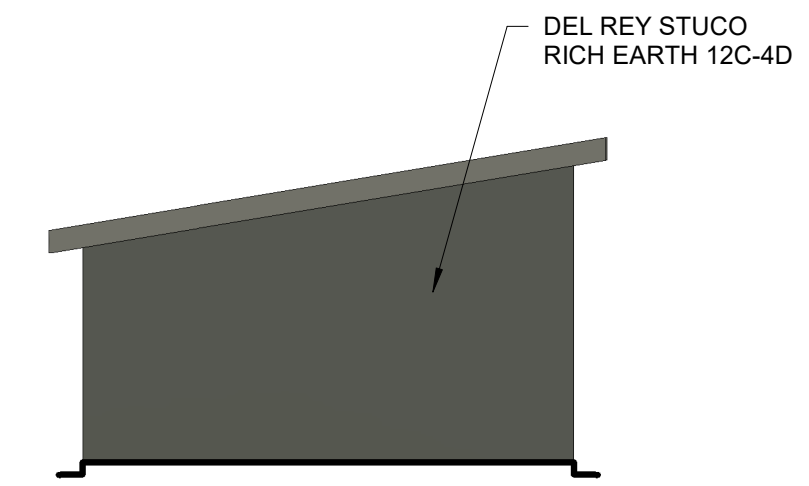
BUILDING 1000 SOUTH COLOR ELEVATION
1/8" = 1'-0"



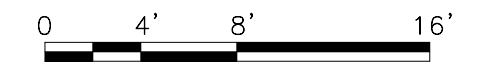
BUILDING 1000 EAST COLOR ELEVATION
1/8" = 1'-0"



BUILDING 1000 WEST COLOR ELEVATION
1/8" = 1'-0"



BUILDING 1000 NORTH COLOR ELEVATION
1/8" = 1'-0"



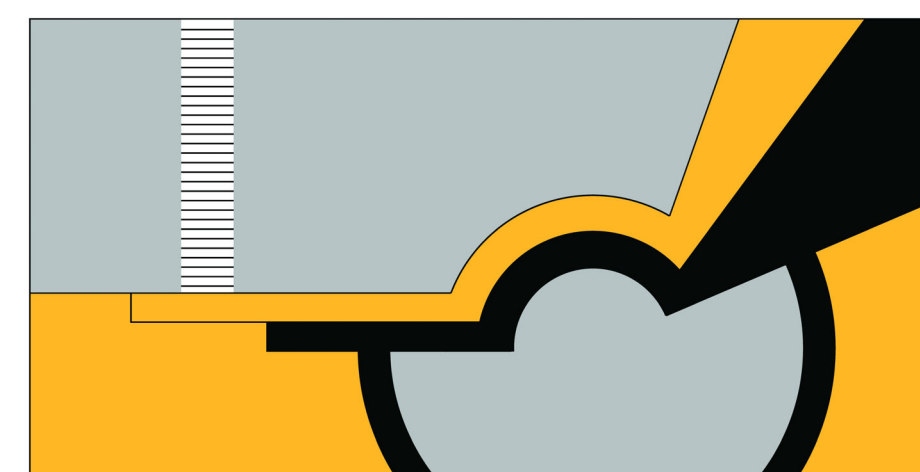
SCOTT C. ANDERSON
& associates architects
7604 rio penasco n.w.
albuquerque, nm 87120
scott@scottcanderson.com
505.401.7575

**TRANSPORT APARTMENTS
ALBUQUERQUE, NM 87106**

DRAWING TITLE
BUILDING 1000 COLOR ELEVATION

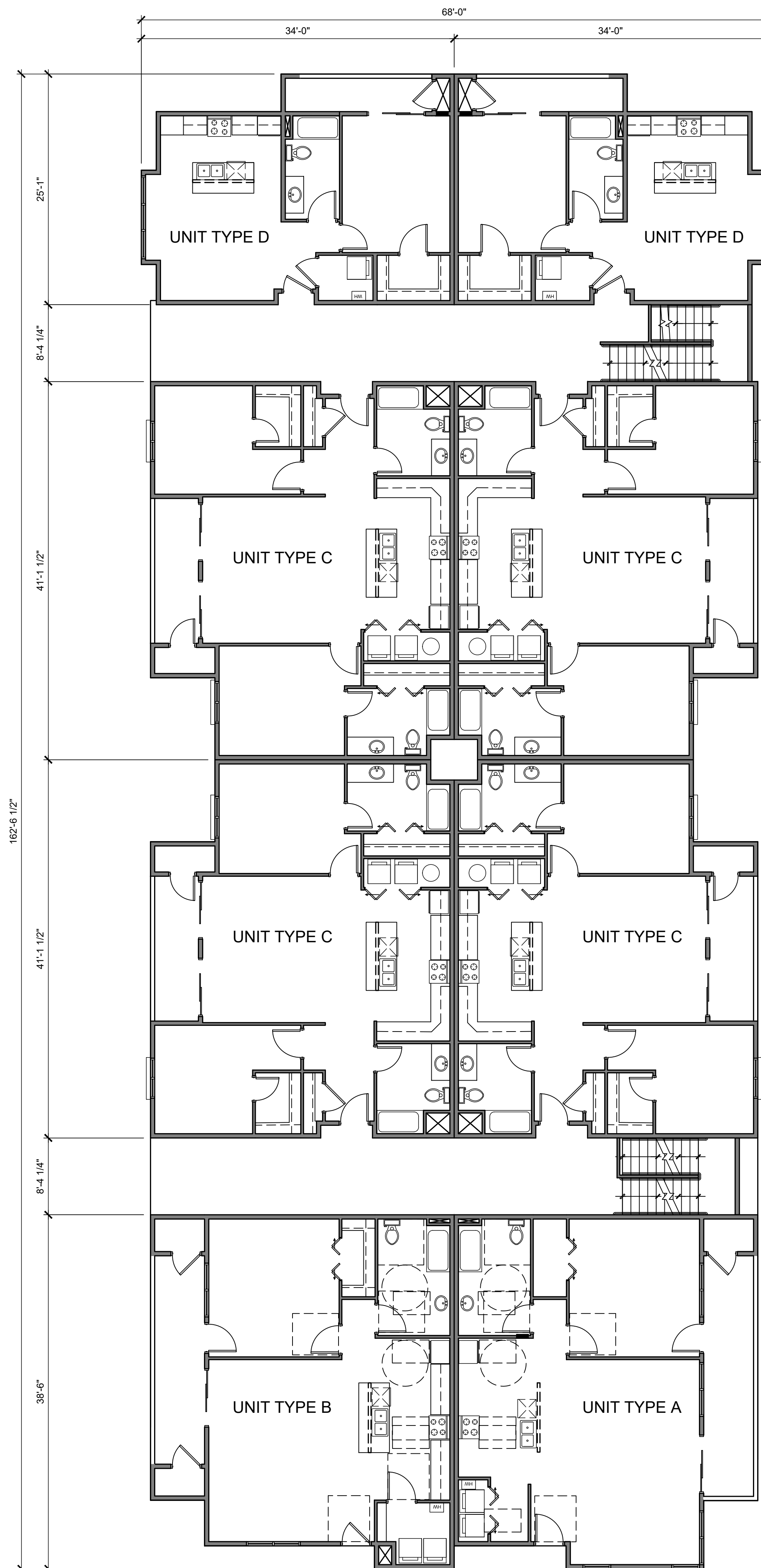
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	DRAWN Author	SCALE 1/8" = 1'-0"
	CHECKED Checker	DRAWING NO
	REVIEWED Checker	A-210 C
	DATE 09/24/2021	

TRANSPORT APARTMENTS ALBUQUERQUE NM, 87106



SCOTT C. ANDERSON
& associates architects
albuquerque





GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
2. ALL WORK TO COMPLY WITH LATEST VERSIONS OF THE IBC, AND NFPA.
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18. ALL FIRE EXTINGUISHERS TO BE 2A-10BC SURFACE MOUNTED TYPE ABC.

No	Revision Item	Date

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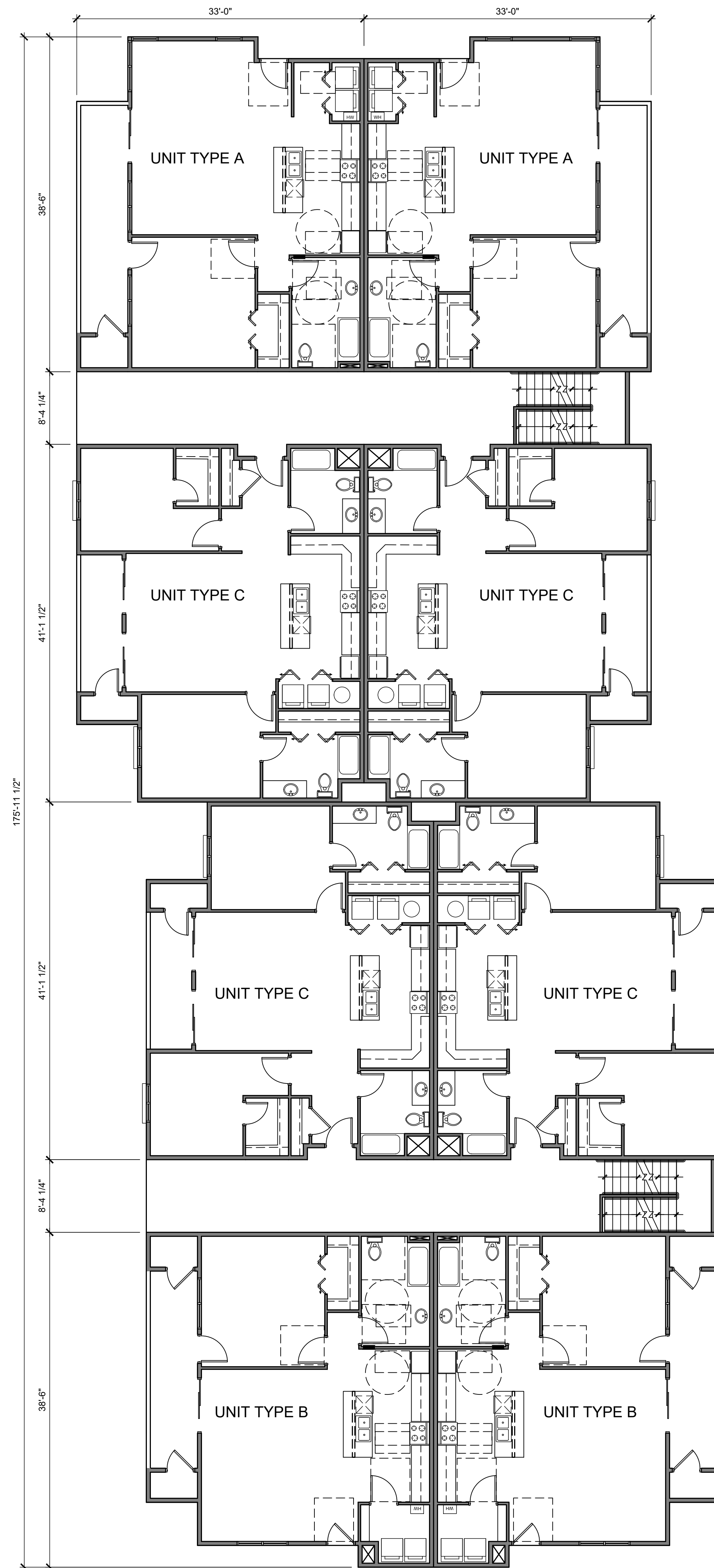
DRAWING TITLE
BUILDING 100
FIRST LEVEL FLOOR PLAN

	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-101.1
DATE 09/24/2021		

FIRST LEVEL FLOOR PLAN BUILDING 100

SCALE: 1/8" = 1'-0"

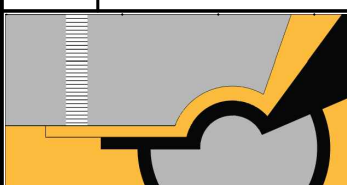




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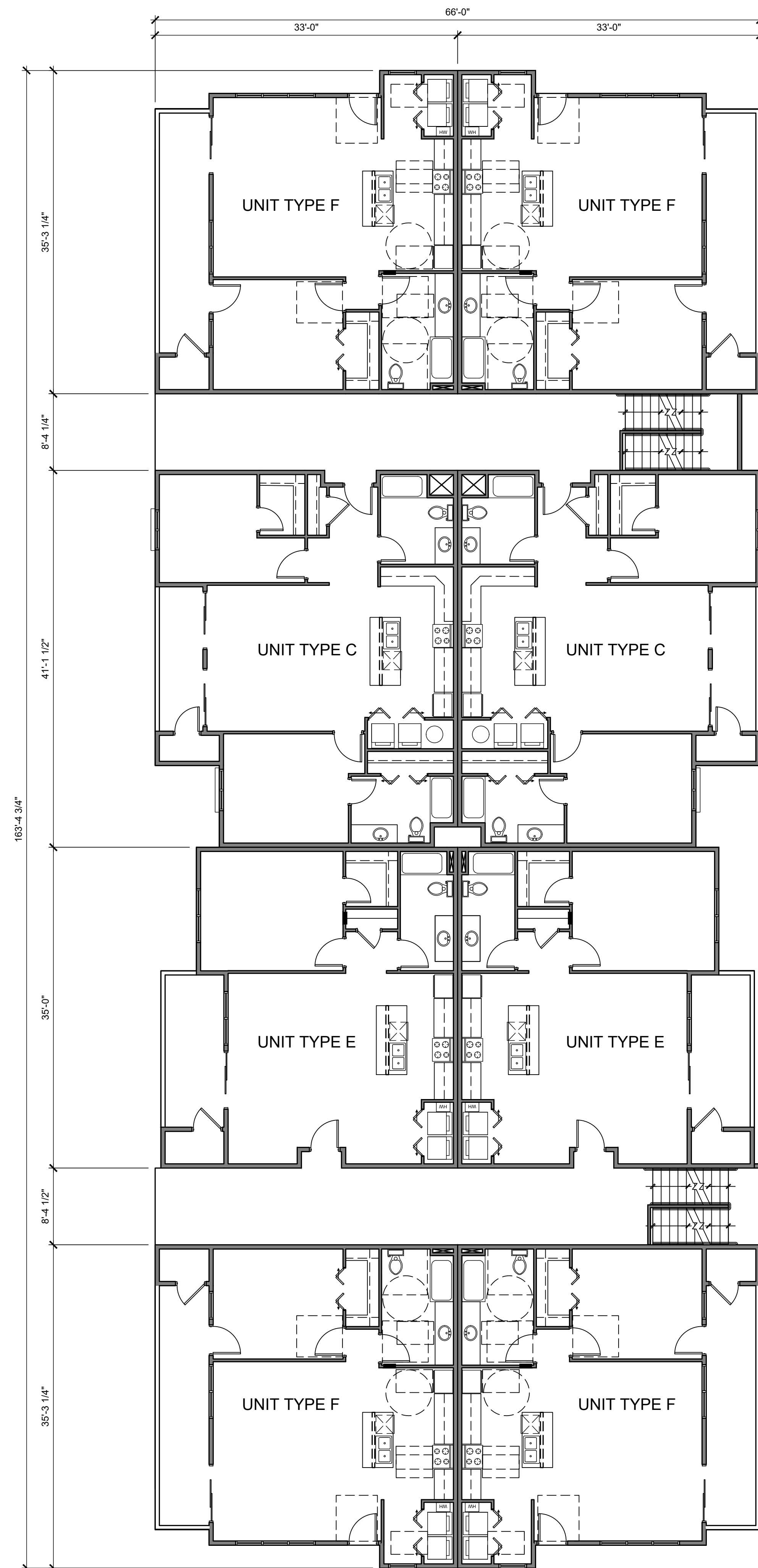
TRANSPORT APARTMENTS
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ALBUQUERQUE, NM 87106

DRAWING TITLE	
BUILDING 200	
FIRST LEVEL FLOOR PLAN	

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DESIGNED	PROJECT NO										
DRAWN	SCALE										
CHECKED	DRAWING NO										
REVIEWED	A-102.1										
DATE											

FIRST LEVEL FLOOR PLAN BUILDING 200

SCALE: 1/8" = 1'-0"



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FIRST LEVEL FLOOR PLAN BUILDING 300



SCALE: 1/8" = 1'-0"

No	Revision Item	Date

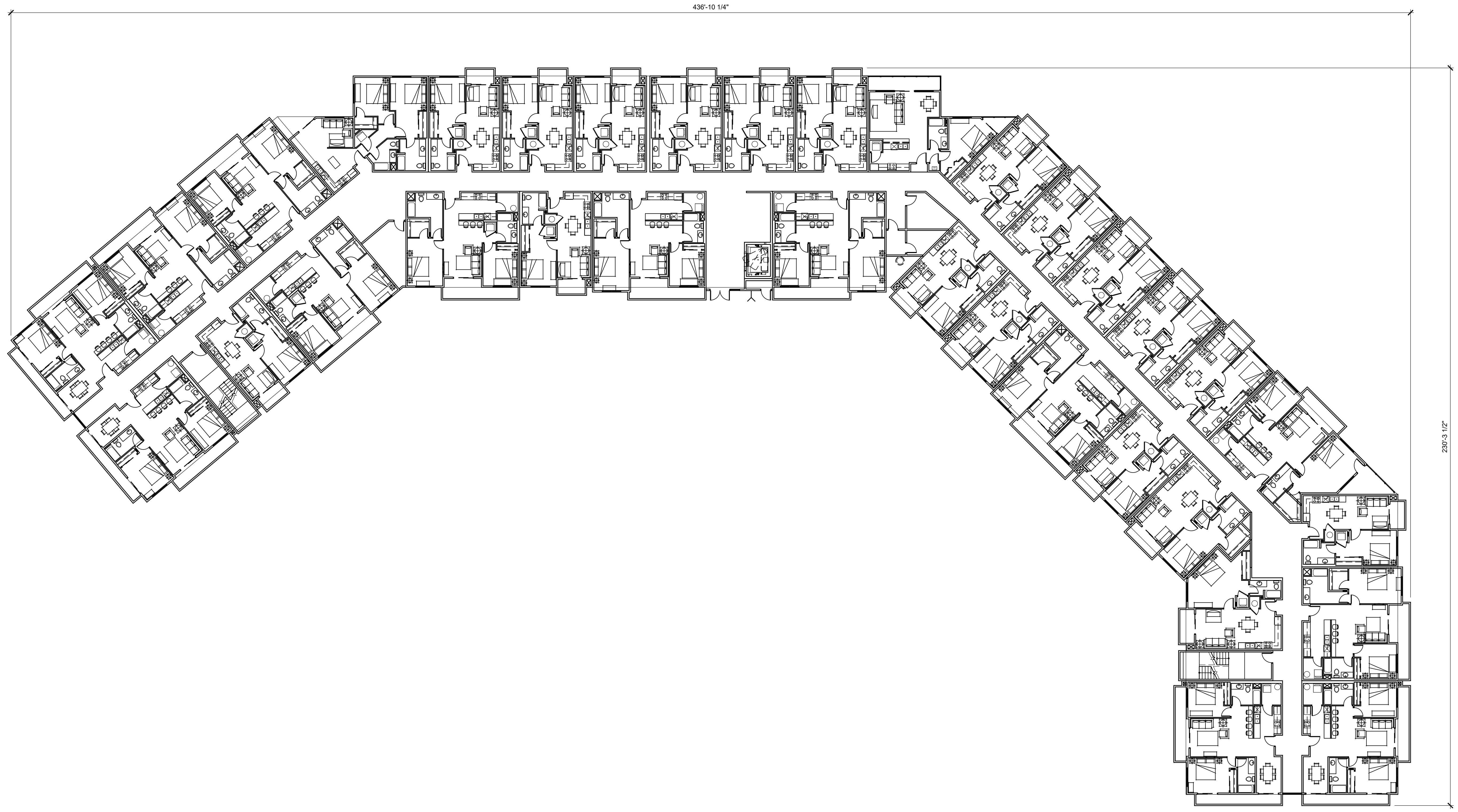
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DRAWING TITLE
BUILDING 300
FIRST LEVEL FLOOR PLAN

<p>DESIGNED</p> <p>DRAWN</p> <p>CHECKED</p> <p>REVIEWED</p> <p>DATE 09/24/2021</p>	<p>PROJECT NO</p> <p>SCALE</p> <p>DRAWING NO</p> <p>A-103.1</p>
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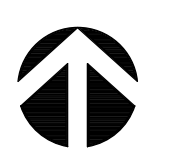
No	Revision Item	Date

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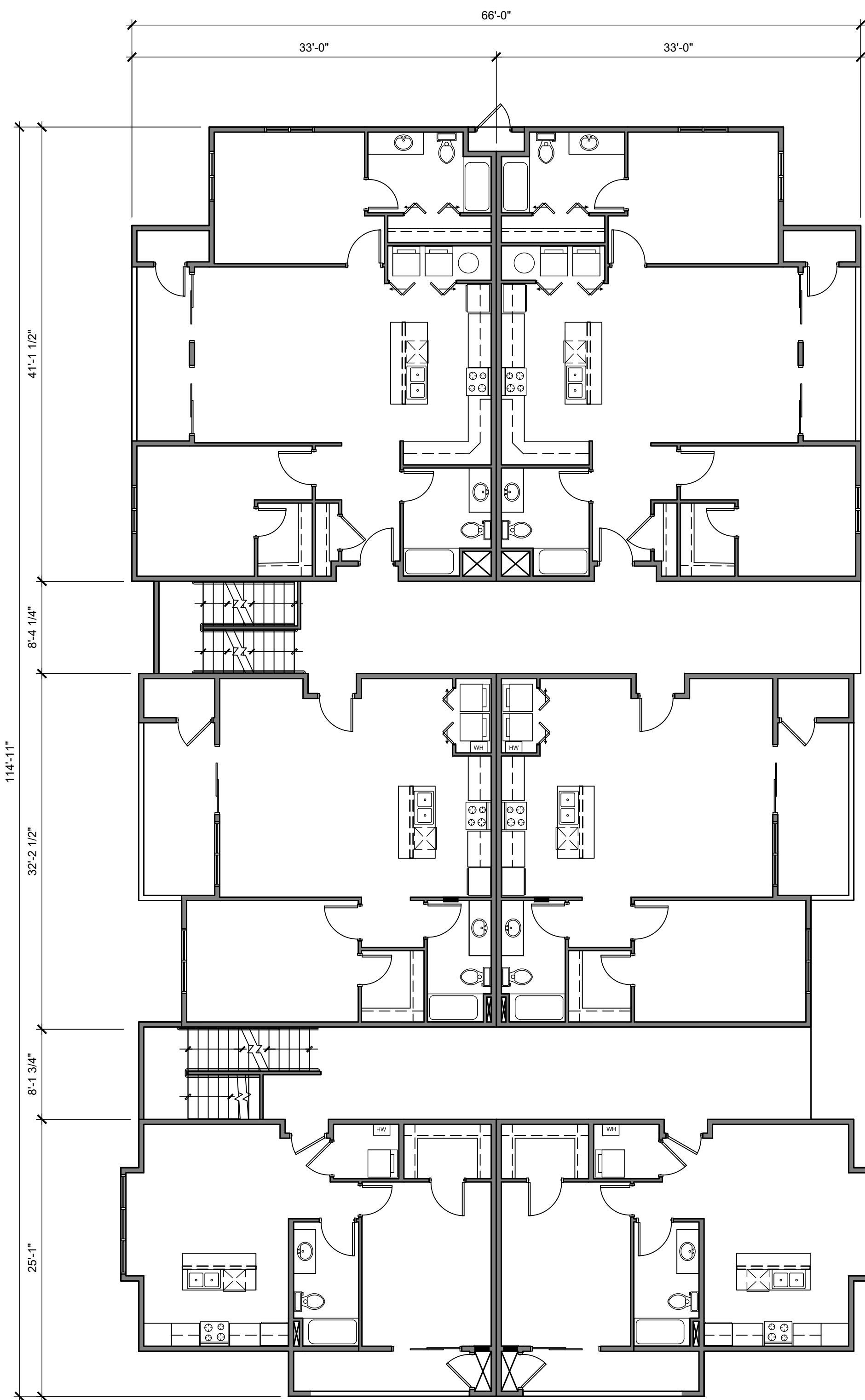
DRAWING TITLE
BUILDING 400
SECOND LEVEL FLOOR PLAN

	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-104.2
	DATE 09/24/2021	



SECOND LEVEL FLOOR PLAN BUILDING 400

SCALE: 1/16" = 1'-0"



FIRST LEVEL FLOOR PLAN BUILDING 500

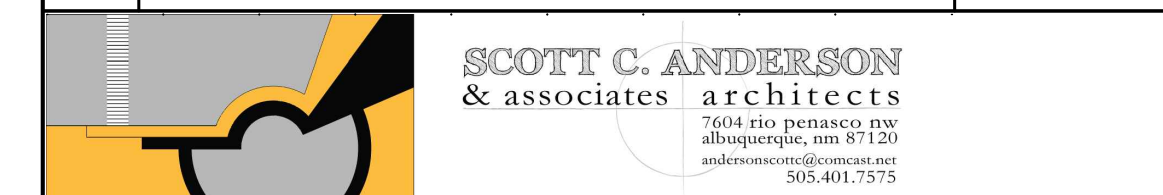
SCALE: 1/8" = 1'-0"



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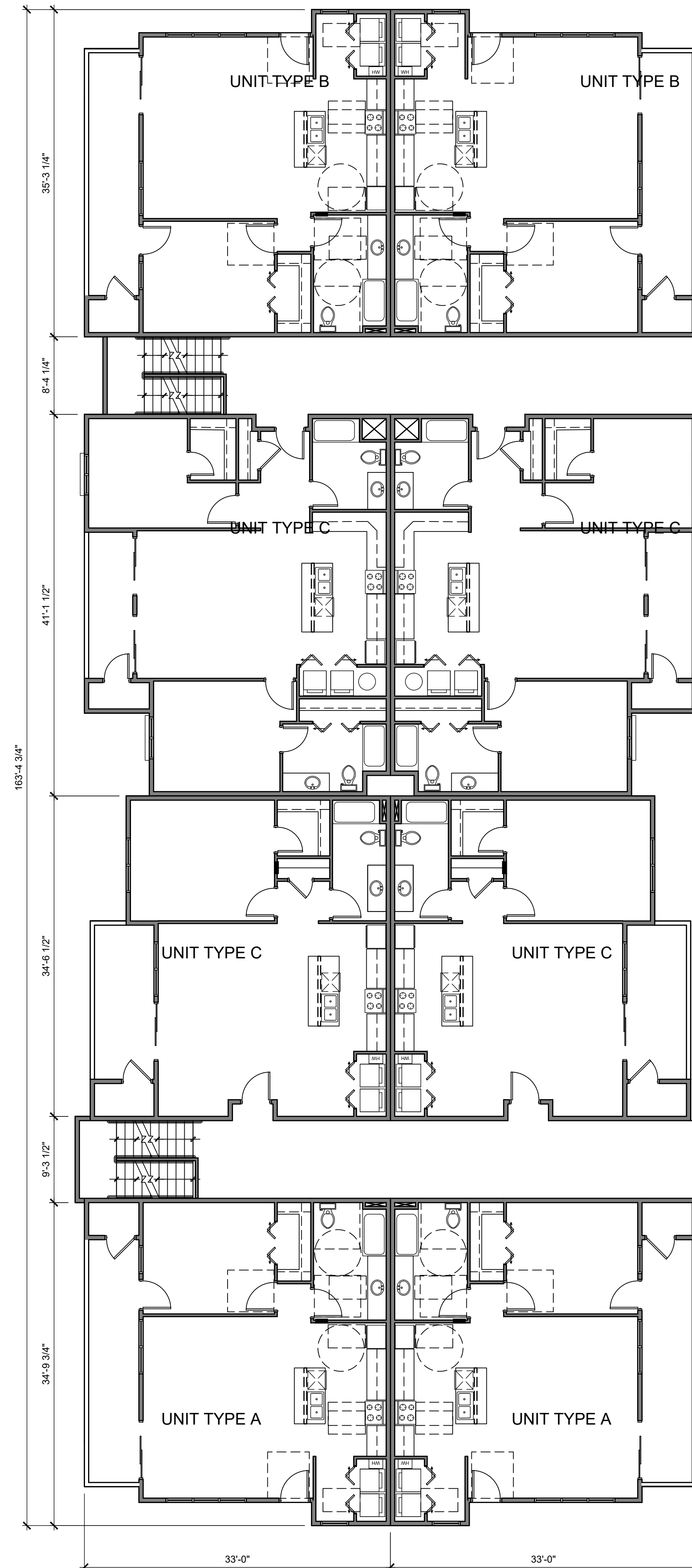
No	Revision Item	Date



TRANSPORT APARTMENTS
2900 TRANSPORT ST SE
ALBUQUERQUE, NM 87106

DRAWING TITLE
**BUILDING 500
FIRST LEVEL FLOOR PLAN**

	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-105.1
	DATE 09/24/2021	




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FIRST LEVEL FLOOR PLAN BUILDING 600



SCALE: 1/8" = 1'-0"

No	Revision Item	Date

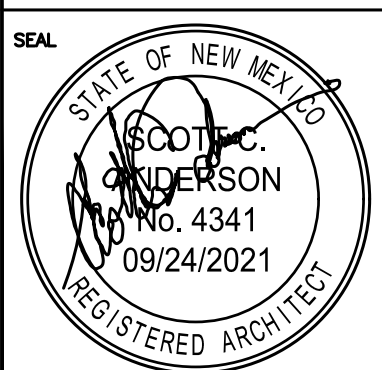


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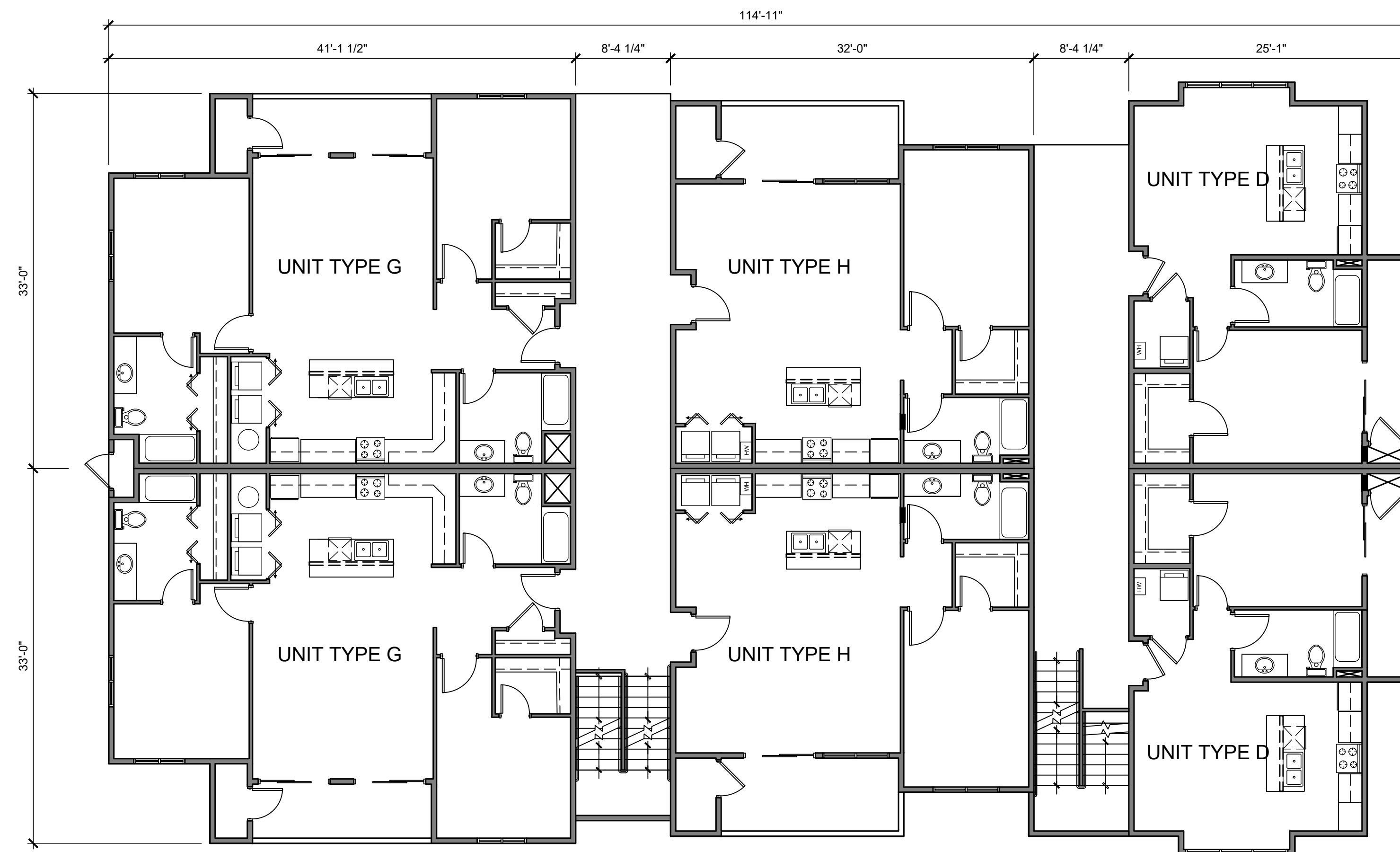
DRAWING TITLE
BUILDING 600
FIRST LEVEL FLOOR PLAN

DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	A-106.1
DATE 09/24/2021	



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11. CONTRACTOR (HARDWARE SUPPLIER) SHALL CAREFULLY REVIEW CONDITIONS AND DETAILS AT EACH OPENING AND FURNISH COMPLETE ITEMS OF HARD-WARE W/ APPROPRIATE FASTENERS AND OTHER ACCESSORY ITEMS AS REQUIRED TO PROVIDE THE INDICATED. WHETHER OR NOT THE ACCESSORY ITEMS ARE CONTRACTOR TO MEET W/ OWNER TO COORDINATE ALL KEYING OF LOCKS.
12. PROVIDE SILENCERS ON ALL DOORS. ALL FINISHES ARE US26D OR TO MATCH SAME, UNLESS NOTED OTHERWISE.
13. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP W/ ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. THEY SHALL BE MOUNTED NO HIGHER THAN A MAXIMUM HEIGHT OF 48" A.F.F..
14. THE MAXIMUM FORCE, EXPRESSED IN POUNDS-FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS: EXTERIOR HINGED DOORS: 8.5 LBF. INTERIOR HINGED DOORS: 5.0 LBF.
15. ALL EXTERIOR DOORS TO HAVE WEATHER STRIPPING AND SWEEP.
16. HARDWARE TO BE COORDINATED AND APPROVED BY OWNER PRIOR TO INSTALLATION. FINISH IS BRUSHED CHROME. ALL LOCKS TO BE ON MASTERKEY SYSTEM, AND ALL HARDWARE TO BE SCHLAGE D-SERIES OR EQUAL.
17. REFERENCE ENLARGED UNIT PLANS FOR TOILET FIXTURES, TOILET ACCESSORIES, THEIR MOUNTING LOCATIONS AND MOUNTING HEIGHTS.
18. ALL FIRE EXTINGUISHERS TO BE 2A-10BC SURFACE MOUNTED TYPE ABC.



FIRST LEVEL FLOOR PLAN BUILDING 700



SCALE: 1/8" = 1'-0"

No	Revision Item	Date

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DRAWING TITLE
BUILDING 700
FIRST LEVEL FLOOR PLAN

DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	A-107.1
DATE 09/24/2021	

SEAL