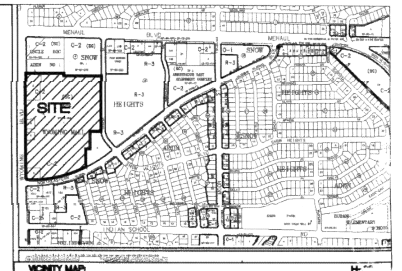
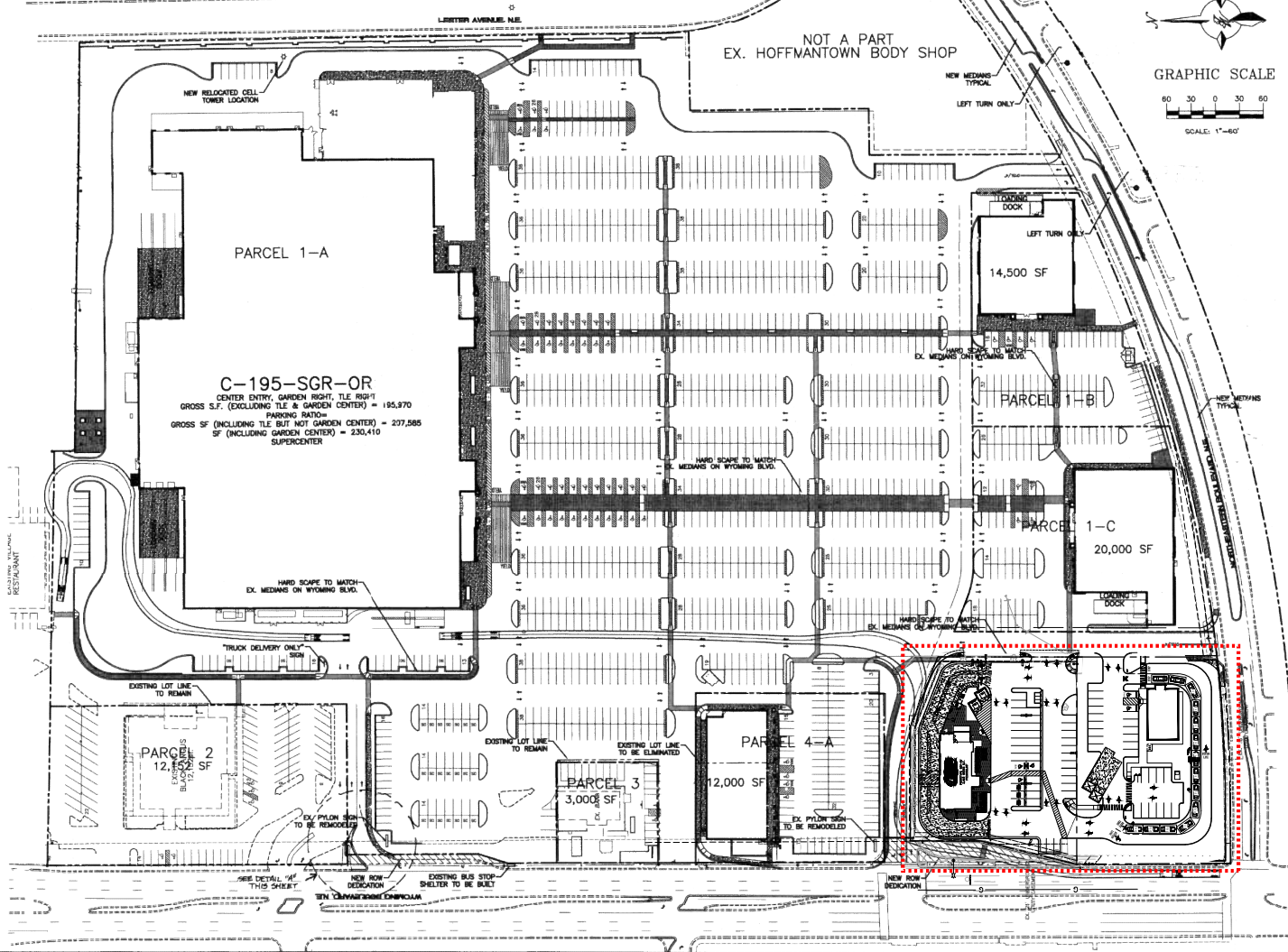


THE WYOMING MALL DEVELOPMENT WAS ORIGINALLY APPROVED AS PROJECT #1003747 (2006). THIS IS THE CONTROLLING SITE DEVELOPMENT PLAN FOR THE SUBJECT PROPERTY (PARCEL 5-A). REVISIONS ARE ONLY PROPOSED ON THE SUBJECT PROPERTY, BUT THE ENTIRE WYOMING MALL DEVELOPMENT IS SHOWN BECAUSE THIS IS THE CONTROLLING SITE DEVELOPMENT PLAN. THE SUBJECT PROPERTY WAS INVOLVED IN ANOTHER EPC APPROVAL, #PR-2021-005461, WHICH PROPOSED A DRIVE-THROUGH RESTAURANT ON THE NORTHERN HALF OF THE SUBJECT PROPERTY. THE CURRENT REQUEST, CASE #SI-2023-00513, PROPOSES A DRIVE-THROUGH COFFEE SHOP ON THE SOUTHERN HALF OF THE SUBJECT PROPERTY AND IS NOT INTENDED TO IMPACT THE EXISTING DRIVE-THROUGH RESTAURANT.

SITE DATA TABLE																	
PROPOSED LEGAL DESC.	AREA BUILDING (SQ) AREA	USE	ZONING	** 1 PER 4 SEATS = PARKING REQUIRED			** 1 PER 3 SEATS = PARKING REQUIRED			MAX. BLDG. HEIGHT							
				SEAT. CAP.	100% BUS. CREDIT	TOTAL REQ.	PROV. PER 4 SEATS	PROV. PER 3 SEATS	PROV. PER 4 SEATS		PROV. PER 3 SEATS						
1-A	22.21	207,595	RETAL	C-2	747	112	635	1078	20	44	5	6	54	35	0.15	0.35	PER O-1 ZONE
1-A	22,825	GARDEN CENTER	C-2	57	9	48	76	8	5	1	1	1	1	1	0.15	0.35	PER O-1 ZONE
2	1.87	12,152	RESTAURANT	C-2	375	19	105	17	1	2	1	1	1	1	0.15	0.35	PER O-1 ZONE
3	0.36	3,500	BANK	C-2	15	3	12	2	1	1	1	1	1	0.15	0.35	PER O-1 ZONE	
4-A	1.13	12,000	RESTAL	C-2	80	9	51	77	4	4	1	1	3	5	0.15	0.35	PER O-1 ZONE
4-A	1.13	12,000	RESTAL	C-2	49	67	4	4	4	2	4	11	11	11	0.15	0.35	PER O-1 ZONE
1-C	1.41	20,000	RESTAL	C-2	95	14	81	73	4	4	1	2	4	5	0.15	0.35	PER O-1 ZONE
1-B	1.28	14,500	RESTAL	C-2	73	11	82	57	4	4	1	2	4	5	0.15	0.35	PER O-1 ZONE
TOTAL	30.25	297,767			1,221	177	1,044	1,443	69	10	15	46	61	61			



LEGAL DESCRIPTION
 PARCELS 1, 4, AND 5 OF THE WYOMING MALL SUMMARY PLAT, BEING A PORTION OF BLOCK A, SNOW HEIGHT ADDITION

COMMON STORM DRAINAGE, PEDESTRIAN, PARKING, AND VEHICULAR ACCESS ACROSS ALL PARCELS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE RE-PLAT.

- INDEX TO DRAWINGS**
- SITE PLAN FOR SUBDIVISION
 - EXISTING APPROVED SITE PLAN
 - SITE PLAN FOR BUILDING PERMIT - A
 - SITE PLAN FOR BUILDING PERMIT - B
 - LANDSCAPE PLAN - A
 - LANDSCAPE PLAN - B
 - GRADING AND DRAINAGE PLAN - A
 - GRADING AND DRAINAGE PLAN - B
 - MASTER UTILITY PLAN - A
 - MASTER UTILITY PLAN - B
 - ELEVATIONS - FURRY'S
 - ELEVATIONS - PETSMART
 - ELEVATIONS - DOLLAR TREE
 - ELEVATIONS - 12K BUILDING
 - ELEVATIONS - WAL-MART
 - ELEVATIONS - WAL-MART
 - ELEVATIONS - WAL-MART
 - ELEVATIONS - WAL-MART

URS/STATEMENT:
 THE PURPOSE IS TO REDEVELOP THE SHOPPING CENTER FROM 296,160 SF OF EXISTING STORES TO 280,647 SF OF NEW STORES, DISMANTLING THOSE STORES AND CREATING NEW STORES WITH THE EXISTING RESTAURANT, AND BANK BUILDING TO REMAIN. USES WILL BE RESTAURANT AND RETAL.

PROJECT NUMBER: 1003747
APPLICATION NUMBER: 25DRP-01550

This plan is consistent with the specific Site Development Plan approved by the Board of Planning and Zoning and the Planning and Code Commission on the following conditions:

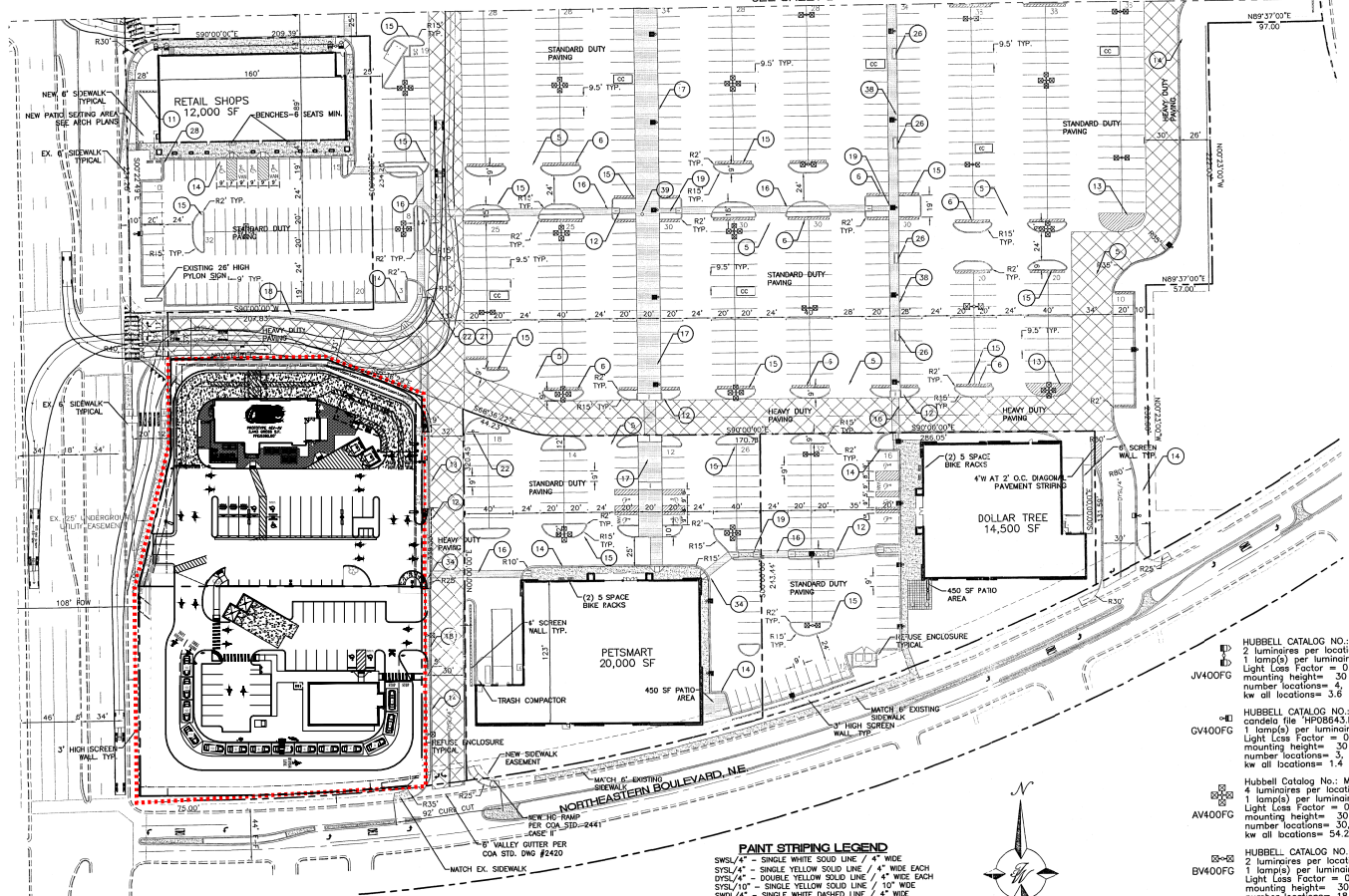
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Urban Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

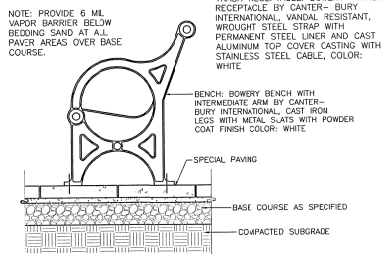
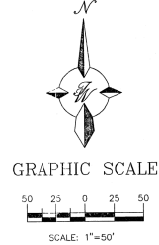
ENGINEER'S SEAL	ALBUQUERQUE WAL-MART	DRWN BY BOG
	NUM: 5491-00	DATE: 11/06/05
THE STATE OF NEW MEXICO PLANNING AND ZONING BOARD	SITE PLAN FOR SUBDIVISION	25DRP01550
	SHEET # 1	JOB # 24047
RONALD R. BOHANNAN P.E. #7868	THERRA WEST, LLC 8508 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	

1003747

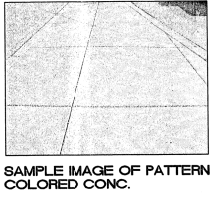
MATCHLINE
SEE SHEET 2



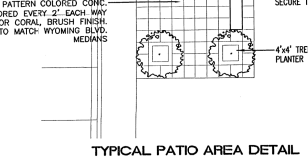
PAINT STRIPING LEGEND
 SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
 SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
 DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
 SWSL/10" - SINGLE WHITE SOLID LINE / 10" WIDE
 SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE



BENCH AND RECEPTACLE CONC. CONNECTION



SAMPLE IMAGE OF PATTERN COLORED CONC.



TYPICAL PATIO AREA DETAIL

SITE LEGEND

- 1 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS
- 2 NO PARKING-FIRE LANE PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80" O.C. LETTERS TO BE A MINIMUM 2'-0" TALL
- 3 "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL
- 4 PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10" O.C. x 130' LONG CENTER ON DOCK DOORS
- 5 PAINTED DIRECTIONAL ARROW TYPICAL
- 6 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING
- 7 10' x 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JOB CRANE LOCATION. SEE ARCH. PLANS
- 8 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE)
- 9 RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS
- 10 ROOF MOUNTED 10"X19" COMPRESSOR UNITS. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE
- 11 4" HIGH SCREEN WALL PER ARCH. PLANS
- 12 UNIDIRECTIONAL HC RAMP
- 13 PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE
- 14 6" CONCRETE CURB AND GUTTER TYPICAL
- 15 6" CONCRETE HEADER CURB TYPICAL
- 16 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK (SHT 8)
- 17 6" WIDE RAISED TEXTURED COLORED CONCRETE SIDEWALK TYPICAL
- 18 6" TEXTURED COLORED CONCRETE SIDEWALK TYPICAL
- 19 4" TEXTURED COLORED CONCRETE SIDEWALK TYPICAL
- 20 AISLE INDICATOR SIGNS TYPICAL
- 21 "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION
- 22 "STOP" SIGN. SEE PLAN FOR LOCATION
- 23 4" STRIPE AT DRIVE THROUGH PHARMACY LANE. EXTEND 34' OUT FROM EDGE OF PHARMACY CONCRETE PAD
- 24 PEDESTRIAN CROSSING SIGN M10-2 AND M10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS
- 25 6" DIA. PIPE BOLLARD TYPICAL
- 26 TREE PLANTER, SIZE VARIES
- 27 6x6" TREE PLANTER TYPICAL
- 28 (3) 5 SPACE BKE RACK TYPICAL
- 29 NOT USED
- 30 ZERO CURB PER ARCH. SECTIONS
- 31 PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH
- 32 PROPOSED LIGHTING
- 33 CART CORALS TYPICAL
- 34 PROPOSED HC RAMP
- 35 SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL
- 36 WROUGHT IRON PARK BENCHES TYPICAL
- 37 RETAINING WALL TYPICAL
- 38 10' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK (SHT 8)
- 39 TRASH BIN

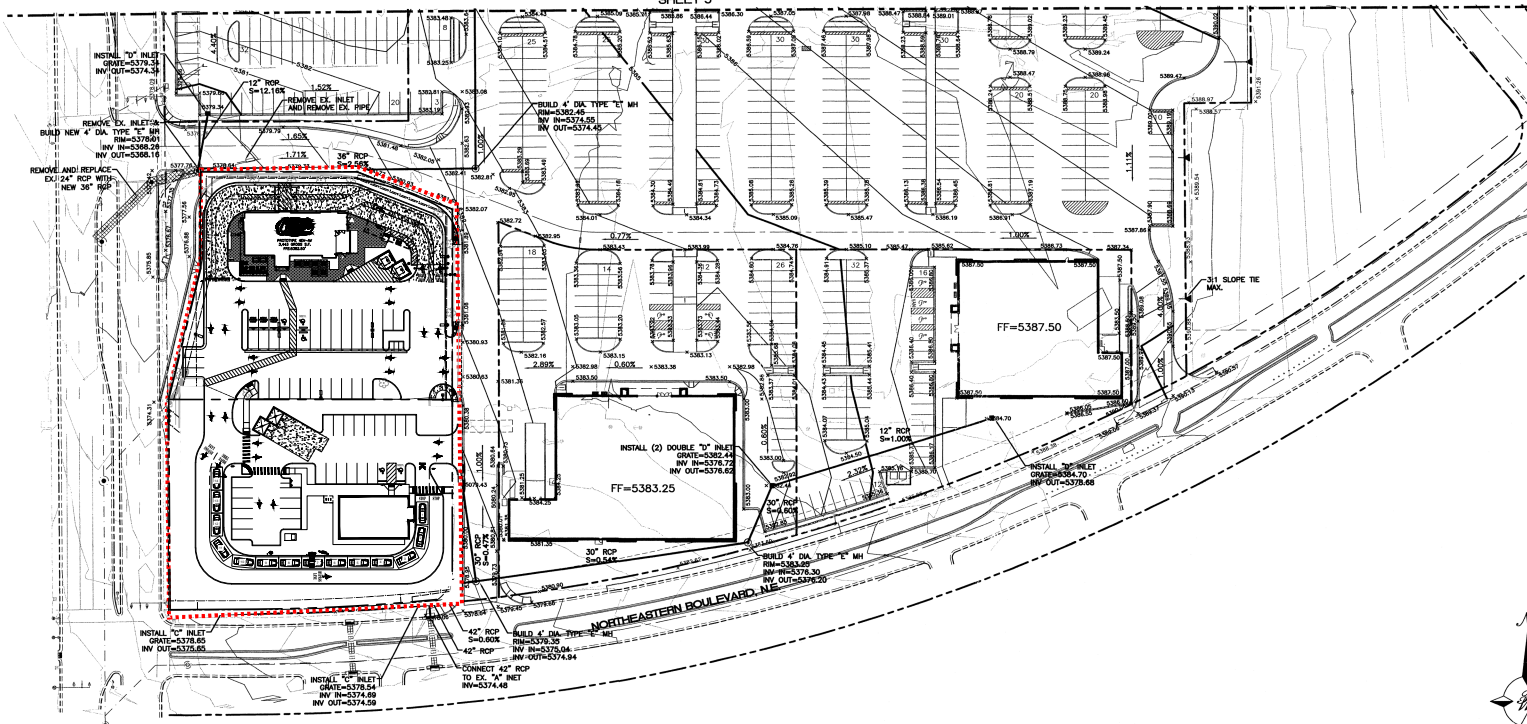
LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CORALS
- ASSOCIATE PARKING AREA
- BKE RACK
- BKE LOCKER

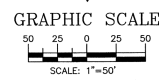
- JV400FG HUBBELL CATALOG NO.: MSVA400P-FPxxARGS
 2 luminaires per location, condata file "HP08643.IE3"
 1 lamp(s) per luminaire, 44000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 452
 mounting height= 30 ft
 number locations= 4, number luminaires= 8
 kw all locations= 3.6
- GV400FG HUBBELL CATALOG NO.: MSVA400P-FPxxARGS
 condata file "HP08643.IE3"
 1 lamp(s) per luminaire, 44000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 452
 mounting height= 30 ft
 number locations= 3, number luminaires= 3
 kw all locations= 1.4
- AV400FG Hubbell Catalog No.: MSVA400H-FWxxAR
 4 luminaires per location, condata file "HP08645.IE3"
 1 lamp(s) per luminaire, 44000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 452
 mounting height= 30 ft
 number locations= 30, number luminaires= 120
 kw all locations= 54.2
- BV400FG HUBBELL CATALOG NO.: MSVA400P-FWxxAR
 2 luminaires per location, condata file "HP08645.IE3"
 1 lamp(s) per luminaire, 44000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 452
 mounting height= 30 ft
 number locations= 18, number luminaires= 36
 kw all locations= 16.3
- CV400FG Hubbell Catalog No.: MSVA400H-FWxxAR
 condata file "HP08645.IE3"
 1 lamp(s) per luminaire, 44000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 452
 mounting height= 30 ft
 number locations= 1, number luminaires= 1
 kw all locations= 0.5
- NK1P1520 SPAULDING LIGHTING NK1-P15-P5-F-HS
 lamp(s): M150PS/BU/MED
 condata file "L9421NKP.IE3"
 1 lamp(s) per luminaire, 14000 initial lumens per lamp
 Outreach (from mounting axis to photometric center)= 17 in
 mounting height= 20 ft
 number locations= 23, number luminaires= 23
 kw all locations= 4.3
- NK1P1516 SPAULDING LIGHTING NK1-P15-H3-F-HS
 lamp(s): M150PS/U/324
 condata file "L9421NKP.IE3"
 1 lamp(s) per luminaire, 12000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 183
 Outreach (from mounting axis to photometric center)= 17 in
 mounting height= 15 ft
 number locations= 15, number luminaires= 15
 kw all locations= 2.8
- FV400FG HUBBELL CATALOG NO.: MSVA400P-FPxxAR
 condata file "HP08644.IE3"
 44000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 452
 mounting height= 30 ft
 number locations= 1, number luminaires= 1
 kw all locations= 0.5
- NK1P1516 SPAULDING LIGHTING NK1-P15-H3-F-HS
 lamp(s): M150PS/U/324
 condata file "L9421NKP.IE3"
 1 lamp(s) per luminaire, 12000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 183
 Outreach (from mounting axis to photometric center)= 17 in
 mounting height= 15 ft
 number locations= 15, number luminaires= 15
 kw all locations= 2.8
- EV400FG HUBBELL CATALOG NO.: MSVA400P-FPxxAR
 condata file "HP08644.IE3"
 44000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 452
 mounting height= 30 ft
 number locations= 6, number luminaires= 12
 kw all locations= 5.4

	ALBUQUERQUE WAL-MART NM: 5491-00	DRAWN BY: BDG DATE: 11/08/05 22925PB.DWG
	SITE PLAN FOR BUILDING PERMIT - B	SHEET # 3 JOB # 220092
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		

MATCH LINE SEE SHEET 5



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

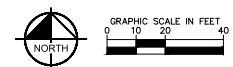
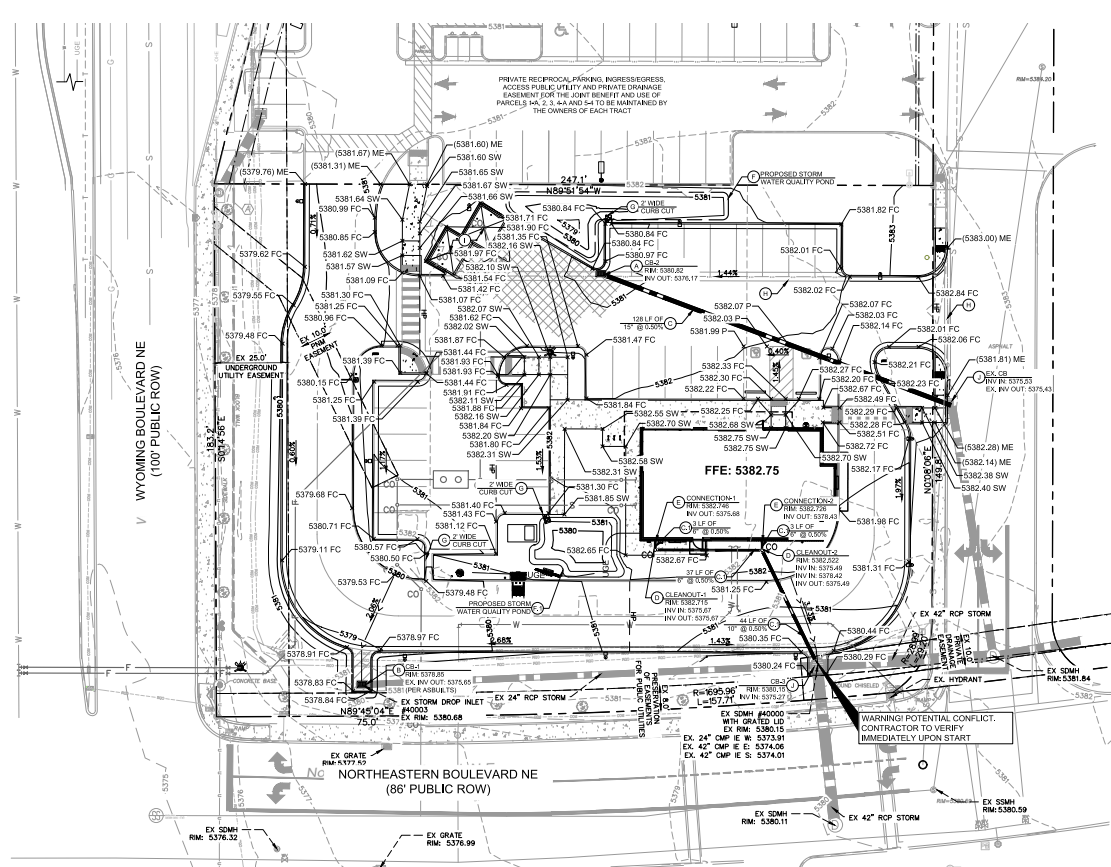


LEGEND

-----	EXISTING CURB
-----	FUTURE IMPROVEMENTS
-----	EXISTING BUILDING
-----	PROPOSED EXPANSION
-----	PROPOSED CURB
-----	BOUNDARY LINE
-----	GRADE CHANGE
-----	PROPOSED GRADE ELEVATION
-----	EXISTING GRADE ELEVATION

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #77868	ALBUQUERQUE WAL-MART NM: 5491-00	DRAWN BY: BDC DATE: 9/08/05 228209E-2-15-05X
	GRADING AND DRAINAGE PLAN - B	SHEET # 6
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB # 220092

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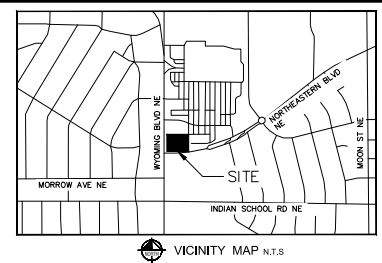


LEGEND

- PROPOSED PROPERTY LINE
- ADJACENT PROPERTY LINE
- - - - - EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED FLOW ARROW WITH SLOPE
- PROPOSED SPOT ELEVATION
- EXISTING STORM INLET
- ⊕ PROPOSED STORM MANHOLE
- ⊕ PROPOSED STORM INLET
- ⊕ PROPOSED STORM CLEANOUT
- ⊕ PROPOSED STORM CLEANOUT
- GRADE BREAK
- HP HIGH POINT
- P TOP OF PAVEMENT
- FC FACE OF CURB (AT FLOWLINE)
- FL FLOW LINE
- SW TOP OF SIDEWALK
- ME MATCH EXISTING ELEVATION
- TO TOP OF GRATE
- PROPOSED RIDGE

DRAINAGE KEYNOTES

1. NYLOPLAST 1" DRAIN BASKIN WITH 3/8" CURB INLET GRATE. SEE DETAIL SHEET 04.1
2. REPLACE WITH STORM INLET TYPE C PER CITY OF ALBUQUERQUE STANDARD DETAIL 2205. SEE DETAIL SHEET 04.1
3. HDPE STORM PIPE
4. PVC STORM PIPE
5. ROOF DRAIN CONNECTION. SEE DETAIL SHEET 05.1
6. INFILTRATING DETENTION POND 1
TOTAL VOLUME = 895 CF
7. INFILTRATING DETENTION POND 2
TOTAL VOLUME = 603 CF
8. PROPOSED 2" WIDE DRAINAGE CURB CUT
9. PROPOSED VALLEY GUTTER
10. INLET TO BE CONNECTED TO THE SANITARY SEWER. USE UTILITY PLAN.
11. CORE INTO EXISTING CURB INLET FOR NEW CONNECTION.



GRADING AND DRAINAGE NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY/VA STANDARDS AND SPECIFICATIONS.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
3. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES, MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE. IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER, PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTIGUOUS GRADE.
7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
8. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
9. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
10. CONTRACTOR SHALL REFER TO FINAL GEOTECH REPORT FOR EROSION CONTROL, SUBGRADE AND SITE PREPARATION REQUIREMENTS.

11. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
12. ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
13. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 2% LONGITUDINAL, SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
14. ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
15. REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
16. ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.
17. SLOPE SIZES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY OF ALBUQUERQUE SPECIFICATION 1012) WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION CRITERIA" CONSTRUCTION GENERAL PERMIT 2.2.14.B).
18. REFER TO CITY STANDARD DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND FRENCH CONNECTION REQUIREMENTS.
19. CONTRACTOR RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS, INSTALLATION, AND UTILITY CROSSINGS.



INTRODUCTION AND PROJECT DESCRIPTION:

THE PROJECT SITE IS LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF WYOMING BOULEVARD NE AND NORTHEASTERN BOULEVARD NE IN THE CITY OF ALBUQUERQUE, NM. THE SITE IS ZONED AND PLANNED FOR COMMERCIAL DEVELOPMENT, AND THE USE PROPOSED IS A RESTAURANT WITH DRIVE-THROUGH. AS SHOWN BY MAP #2001012066 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BENTONVILLE COUNTY, NEW MEXICO DATED AUGUST 16, 2012, THE SITE IS LOCATED IN ZONE X AND IS NOT WITHIN A FLOOD HAZARD AREA.

METHODOLOGY:

CHAPTER 8 OF THE COA DPM WAS UTILIZED TO CALCULATE THE PEAK FLOW AND RUNOFF VOLUME FOR 10-YEAR AND 100-YEAR, 24-HOUR STORM EVENTS. THE SITE IS LOCATED IN PRECIPITATION ZONE 3. EXISTING BASIN INFORMATION WAS OBTAINED BY SITE AERIALS AND TOPOGRAPHIC SURVEY.

EXISTING CONDITIONS:

THE SITE HISTORICALLY WAS FULLY DEVELOPED, CONTAINED A 11,637 SF BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING. THE SITE IN THE INTERIM CONDITION IS A MASS GRADED SITE WITH NO DEVELOPMENT. THE SITE HISTORICALLY AND IN THE INTERIM CONDITION SURFACE FLOWS TO THE SOUTH TO TWO EXISTING INLETS ON THE SITE, ONE ON THE WEST SIDE AND ONE ON THE EAST SIDE. THE EXISTING STORM DRAIN INLETS DISCHARGE INTO THE PUBLIC STORM DRAIN SYSTEM IN NORTHEASTERN BOULEVARD NE AND WYOMING BOULEVARD NE.

PROPOSED CONDITIONS:

THE PROJECT IMPROVEMENTS WILL INCLUDE INSTALLATION OF A RESTAURANT WITH DRIVE-THROUGH, CUSTOMER PARKING, SITE DRIVEWAYS, AND LANDSCAPE AREAS. THE PROJECT SITE GENERATES A PEAK FLOW OF 3.54 CFS IN THE 100-YEAR, 24-HOUR STORM EVENT. THE PROPOSED DEVELOPMENT WILL DECREASE THE AMOUNT OF IMPERVIOUS COVER WHEN COMPARED TO THE EXISTING CONDITIONS AND WILL THIS DECREASE THE PEAK DISCHARGE GENERATED BY THE SITE.

THE REQUIRED SWQ VOLUME IS 0.28 INCHES PER SF OF IMPERVIOUS AREA= 0.26(11 FT) 12 IN= 27.01 SF= 585 CF. THE SITE HAS PROVIDED APPROXIMATELY 1,458 CF OF SWQV IN DEPRESSIONED LANDSCAPE AREAS ON THE SITE.

CONCLUSIONS:

THE PROPOSED DEVELOPMENT WILL NOT INCREASE RUNOFF FROM THE SITE NOR WILL IT CHANGE EXISTING DRAINAGE PATTERNS. THE SITE WILL DISCHARGE TO AN EXISTING STORM SEWER ON NORTHEASTERN BOULEVARD NE.

WEIGHTED E CALCULATIONS (EXISTING CONDITION)

Basin	Area (SF)	Area (AC)	Treatment A				Treatment B				Treatment C				Treatment D				Weighted E		Volume		Flow	
			Acres	%	Acres	%	Acres	%	Acres	%	Acres	%	(in)	(ac-ft)	(cfs)	(in)	(ac-ft)	(cfs)	(cfs)					
DA 1	38,768	0.89	0.00	0%	0.00	0%	0.03	3%	0.86	97%	2.53	0.19	3.96	1.60	0.12	2.47								
DA 2	5,663	0.13	0.00	0%	0.00	0%	0.13	100%	0	0%	1.09	0.01	0.41	1.64	0.02	0.37								

WEIGHTED E CALCULATIONS (DEVELOPED CONDITION)

Basin	Area (SF)	Area (AC)	Treatment A				Treatment B				Treatment C				Treatment D				Weighted E		Volume		Flow	
			Acres	%	Acres	%	Acres	%	Acres	%	Acres	%	(in)	(ac-ft)	(cfs)	(in)	(ac-ft)	(cfs)	(cfs)					
DA 1	0	0.75	0.00	0%	0.00	0%	0.16	21%	0.59	79%	2.26	0.14	3.16	1.40	0.09	1.93								
DA 2	0	0.18	0.00	0%	0.00	0%	0.18	100%	0.00	0%	1.09	0.02	0.57	0.52	0.01	0.30								
DA 3	0	0.11	0.02	18%	0.00	0%	0.06	55%	0.03	27%	1.42	0.01	0.36	0.77	0.01	0.20								

Excess Precipitation E (in)		Peak Discharge (cfs/acre)		SWQ VOL	
Zone 3	100 Year 10 Year	Zone 3	100 Year 10 Year	Impervious Area (sf)	27,018
Ed	0.67 0.18	Qa	3.64 0.51	SWQ VOL Required (CF)	943
Eb	0.86 0.34	Qb	2.49 1.07	SWQ VOL Provided (CF)	1,300
Ec	1.09 0.52	Qc	3.17 1.69	*0.26 in per Impervious SF	
Ed	2.58 1.64	Qd	4.49 2.81		

SITE BENCHMARKS

- ⊕ BENCHMARK #1*
A.G.R.S. MONUMENT "13_H21"
NORTHING: 1,436,238.747
EASTING: 1,555,770.607
ELEVATION: 5495.574 (NAVD 1988)
GROUND TO GRID FACTOR: 0.99964802
DELTA ALPHA FACTOR: -0.09468.287
- ⊕ BENCHMARK #2*
A.G.R.S. MONUMENT "14_H20"
NORTHING: 1,495,141.526
EASTING: 1,551,771.875
ELEVATION: 5415.196 (NAVD 1988)
GROUND TO GRID FACTOR: 0.99965310
DELTA ALPHA FACTOR: -0.1013.687

*SEE DIMENSION CONTROL PLAN, SHEET CS.1, FOR LOCATIONS

FLOODPLAIN NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 35001C0356H, WHICH BEARS AN EFFECTIVE DATE OF AUGUST 16, 2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



NO.
REVISIONS
DATE

Kimley-Horn

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1201 300 AVENUE SOUTH, SUITE 100
SEATTLE, WASHINGTON 98134
WWW.KIMLEY-HORN.COM

LINDBERGH WILCOX

PROFESSIONAL ENGINEER

STARBUCKS COFFEE COMPANY

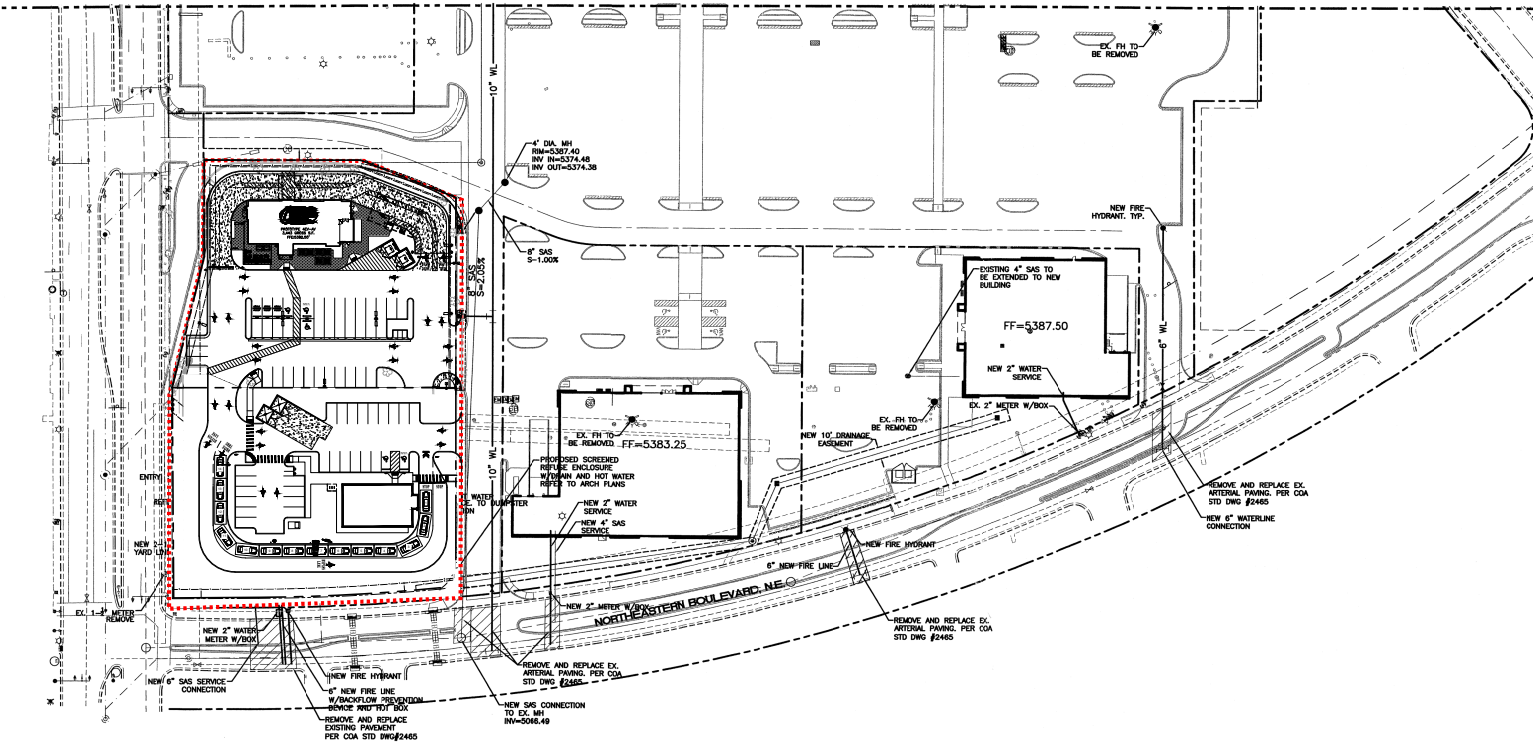
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 319-1915

GRADING PLAN

KHA PROJECT 090100000
DATE 05/01/2023
SCALE AS SHOWN
DESIGNED BY ANDREW SCOTT
DRAWN BY ANDREW SCOTT
CHECKED BY L.W.

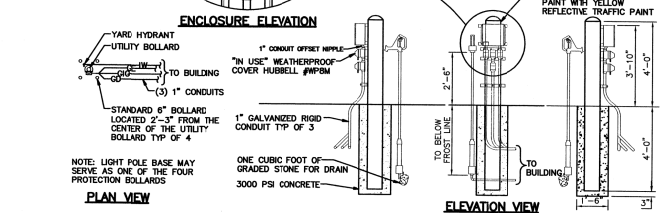
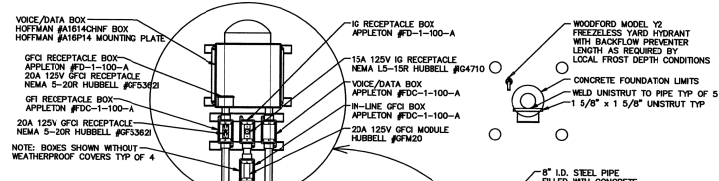
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C6.0

MATCH LINE SEE SHEET 7

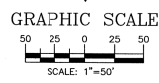


LEGEND

○	EXISTING SD MANHOLE
○	EXISTING INLET
○	EXISTING SAS MANHOLE
○	EXISTING METER
○	EXISTING VALVE W/BOX
○	EXISTING FIRE HYDRANT
○	EXISTING PEDESTAL
○	EXISTING POWER POLE WITH FEED
○	EXISTING POWER POLE
○	EXISTING PULL BOX
○	EXISTING GAS VALVE
○	EXISTING BOLLARD
○	EXISTING PARKING LOT LIGHT
○	PROPOSED PARKING LOT LIGHT
○	PROPOSED CLEAN OUT
○	PROPOSED DOUBLE CLEAN OUT
---	EXISTING OVERHEAD UTILITIES
---	EXISTING UNDERGROUND UTILITIES
---	EXISTING GAS
---	EXISTING 8" SAS
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING 10" WL
---	EXISTING STORM SEWER LINE
---	EXISTING CURB & GUTTER
---	36" SD
---	PROPOSED STORM SEWER LINE
---	8" SAS
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED FIRE HYDRANT
---	PROPOSED WATERLINE
---	BOUNDARY LINE
---	EASEMENT

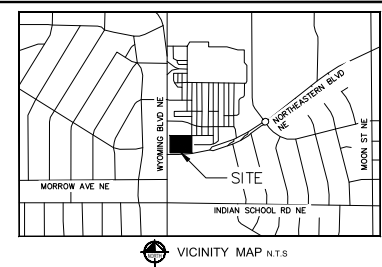
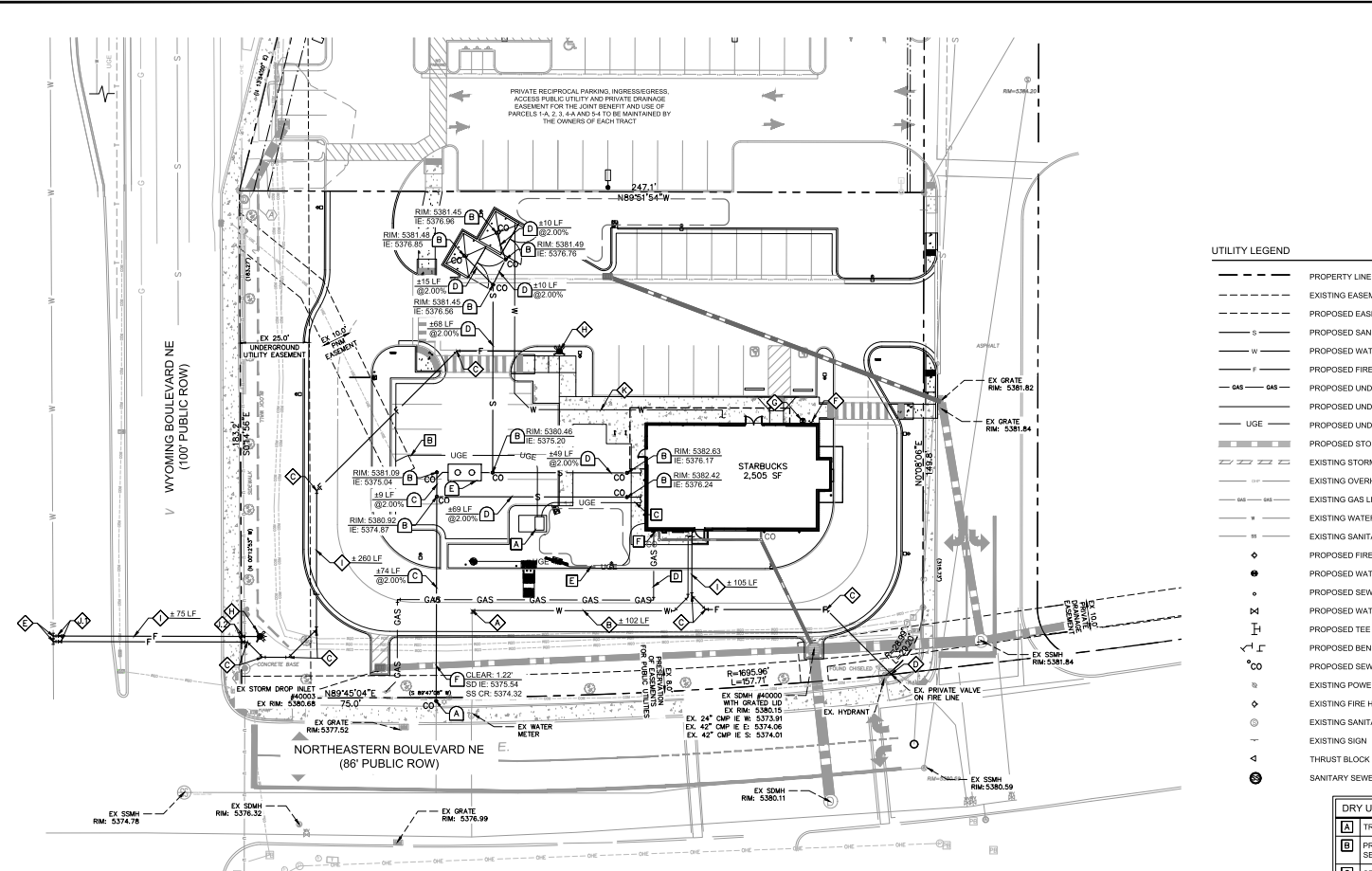


REMOTE GARDEN CENTER UTILITY BOLLARD
NIS



NO.	DATE	REVISIONS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART NM: 5491-00	DRAWN BY: RCG
		MASTER UTILITY PLAN - B	DATE: 10-13-05
		2292HUB.DWG	SHEET # 8
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB # 220092	
RONALD P. BOHANNON P.E. #7668			

This document, together with the contracts and design presented herein, is an instrument of service, prepared by and in accordance with the professional seal and signature of Kimley-Horn and Associates, Inc. It shall be without liability to Kimley-Horn and Associates, Inc. unless it is signed, sealed, dated and filed with the appropriate public authority.



UTILITY LEGEND

- PROPERTY LINE
- - - - - EXISTING EASEMENT
- - - - - PROPOSED EASEMENT
- - - - - PROPOSED SANITARY SEWER LINE
- - - - - PROPOSED WATER LINE
- - - - - PROPOSED FIRE WATER LINE
- - - - - PROPOSED UNDERGROUND GAS LINE
- - - - - PROPOSED UNDERGROUND ELECTRIC LINE
- - - - - PROPOSED UNDERGROUND TELEPHONE LINE
- - - - - PROPOSED STORM DRAINAGE LINE
- - - - - EXISTING STORM DRAINAGE LINE
- - - - - EXISTING OVERHEAD POWER LINE
- - - - - EXISTING GAS LINE
- - - - - EXISTING WATER LINE
- - - - - EXISTING SANITARY SEWER LINE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- PROPOSED SEWER CLEANOUT
- PROPOSED WATER VALVE
- PROPOSED TEE
- PROPOSED BEND
- PROPOSED SEWER CLEAN OUT
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SIGN
- THRUST BLOCK
- SANITARY SEWER MANHOLE

DRY UTILITY KEYNOTE LEGEND

A	TRANSFORMER. REFER TO MEP PLANS
B	PRIMARY ELECTRICAL SERVICE. REFER TO MEP PLANS. CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER (PJM) TO CONFIRM NEW SERVICE LAYOUT
C	SECONDARY ELECTRICAL SERVICE. REFER TO MEP PLANS
D	GAS SERVICE. CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER (NEW MEXICO GAS COMPANY) TO CONFIRM NEW SERVICE LAYOUT
E	CONDUIT TO MENU BOARDS. REFER TO MEP PLANS
F	GAS METER
G	GAS CONNECTION. CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER (NEW MEXICO GAS COMPANY) TO CONFIRM NEW SERVICE CONNECTION

WATER KEYNOTE LEGEND

◇	CONNECT TO EXISTING 2.5" DOMESTIC WATER LINE PER CITY OF ALBUQUERQUE STD. DWG. 2301
◇	2.5" DOMESTIC WATER LINE. INSTALL TRACER WIRE PER ABOWUA STD. SPEC 2302
◇	BEND; CONCRETE THRUST BLOCK REQUIRED PER CITY OF ALBUQUERQUE STD. DWG. 2320
◇	CONNECT 6" FIRE LINE TO EXISTING PRIVATE WATER VALVE
◇	6" FIRE SERVICE TAP ON EX. 12" CI VIA PRESSURIZED CONNECTION
◇	FIRE DEPARTMENT CONNECTION. REFER TO MEP PLANS
◇	POST INDICATOR VALVE. REFER TO MEP PLANS
◇	FIRE HYDRANT PER CITY OF ALBUQUERQUE STD. DWG. 2340
◇	6" FIRE LINE. INSTALL TRACER WIRE PER ABOWUA STD. SPEC 2324
◇	PUBLIC 6" DI GATE VALVE WITH RING AND COVER PER ABOWUA STD. DWG 2329. INSTALL TRACER WIRE PER ABOWUA STD. SPEC 2305
◇	PRIVATE 6" DI GATE VALVE WITH RING AND COVER PER ABOWUA STD. DWG 2329. INSTALL TRACER WIRE PER ABOWUA STD. SPEC 2305
◇	34" COLD WATER TO TRASH ENCLOSURE WITH RP2 VALVE. REFER TO MEP PLANS

SEWER KEYNOTE LEGEND

A	CONNECT TO EXISTING 8" SEWER SERVICE WITH 6" x 6" REDUCER AND CLEANOUT
A	SEWER CLEANOUT. SEE SHEET C7.1
A	8" SEWER PIPE. LENGTH AND SLOPE PER PLAN. INSTALL TRENCH BEDDING AND BACKFILL PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION SECTION 700
A	4" SEWER PIPE. LENGTH AND SLOPE PER PLAN. INSTALL TRENCH BEDDING AND BACKFILL PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION SECTION 700
A	GREASE INTERCEPTOR. REFER TO MEP PLANS
A	STORM CROSSING. ELEVATIONS PER PLAN



CAUTION!
CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

- UTILITY NOTES**
- SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
 - REFER TO CITY STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
 - REFER TO ARCHITECTURAL/MEP PLANS FOR LOCATION AND SIZING OF SLEEVES FOR FRANCHISE UTILITIES, IRRIGATION, ETC.
 - CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
PRIVATE: PVC SDR 35 PER ASTM D 3034
PUBLIC: PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 50)
PRIVATE (LARGER THAN 3 INCHES): PVC DR-18 (C-900) PER ASTM D 2241 OR ADS POLYWRAPPED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 50)
PRIVATE (3 INCHES OR SMALLER): TYPE "K" SOFT COPPER, ASTM B88 OR PVC DR-18 (C-900) PER ASTM D 2241 OR ADS POTABLE WATER SERVICE TUBING (POLYFLEX - CTS PE4710)
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS AND INSTALLATION OF UTILITIES AND WITH NMED GUIDELINES FOR UTILITY CROSSINGS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO DEFLECT ELECTRIC, GAS, CABLE, AND TELEPHONE CONDUIT AND PIPING AS REQUIRED TO AVOID UTILITY CONFLICTS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY CODES AND/OR UTILITY SERVICE COMPANIES.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS IN REGARDS TO TAPS, HYDRANTS, VALVES, ETC.
 - CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY STANDARDS.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET COVER ON ALL WATER LINES OR AS PER CITY REQUIREMENTS.
 - POLYFLEX BY ADS TO BE USED IN PLACE OF COPPER WHERE ALLOWED BY CITY. CONTRACTOR TO VERIFY WITH CITY WHETHER IT CAN BE USED AND VERIFY WITH MEP REQUIRED INTERNAL DIAMETER FOR SUFFICIENT WATER FLOW TO BUILDING.
 - PROPOSED FIRE LINES IN WYOMING ARE DESIGNATED AS PUBLIC WATER LINES FROM THE CONNECTION AT THE MAIN TO THE PRIVATE VALVE AT THE PROPERTY LINE. FROM THE PRIVATE VALVE ON THE PROPERTY LINE, THE REMAINDER OF THE WATER LINES ON SITE ARE PRIVATE.
 - COORDINATION WITH THE WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
 - COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439

SITE BENCHMARKS

◆ BENCHMARK #1*
A.G.R.S. MONUMENT "13, H21"
NORTHING: 1,496,256.734
EASTING: 1,565,770.607
ELEVATION: 5459.574 (NAVD 1988)
GROUND TO GRID FACTOR: 0.99965810
DELTA ALPHA ANGLE: -0°09'46.08"

◆ BENCHMARK #2*
A.G.R.S. MONUMENT "14, H20"
NORTHING: 1,495,141.626
EASTING: 1,561,771.875
ELEVATION: 5415.796 (NAVD 1988)
GROUND TO GRID FACTOR: 0.999653810
DELTA ALPHA ANGLE: -0°10'13.89"

*SEE DIMENSION CONTROL PLAN FOR LOCATIONS

REVISIONS

NO.	DATE	BY

Kimley-Horn
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1201 3RD AVE SUITE 2500, SEATTLE, WA 98101
WWW.KIMLEY-HORN.COM



KEY PROJECT: 160100000

DATE: 07/27/2023

SCALE: AS SHOWN

DESIGNED BY: NW/SPJ

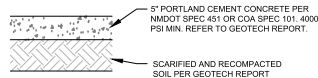
DRAWN BY: LW

CHECKED BY: LW

UTILITY PLAN

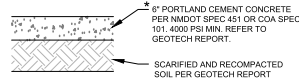
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 316-1975

This document, together with the concepts and designs presented herein, is an instrument of service, in accordance with the contract for which it was prepared. Plans of and engineer's reliance on this document without written authorization and signature by Kimley-Horn and Associates, Inc. will be without liability to Kimley-Horn and Associates, Inc.



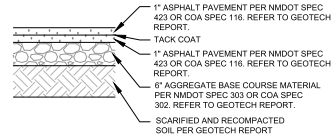
* CONCRETE FOR RIGID PAVEMENT SHOULD HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, A MODULUS OF RUPTURE OF 500 PSI, AND BE PLACED WITH A MAXIMUM SLUMP OF 4 INCHES.

STANDARD DUTY CONCRETE PAVEMENT SECTION FOR TRAFFIC CATEGORY A

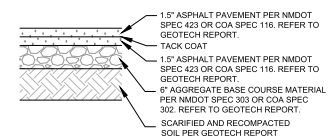


* CONCRETE FOR RIGID PAVEMENT SHOULD HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, A MODULUS OF RUPTURE OF 500 PSI, AND BE PLACED WITH A MAXIMUM SLUMP OF 4 INCHES.

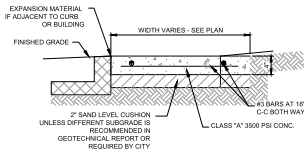
HEAVY DUTY CONCRETE PAVEMENT SECTION FOR DUMPSTER PAD AND DRIVE-THRU



STANDARD DUTY ASPHALT PAVEMENT SECTION FOR TRAFFIC CLASS I



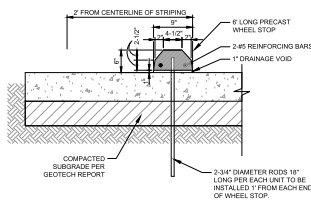
HEAVY DUTY ASPHALT PAVEMENT SECTION FOR TRAFFIC CLASS II



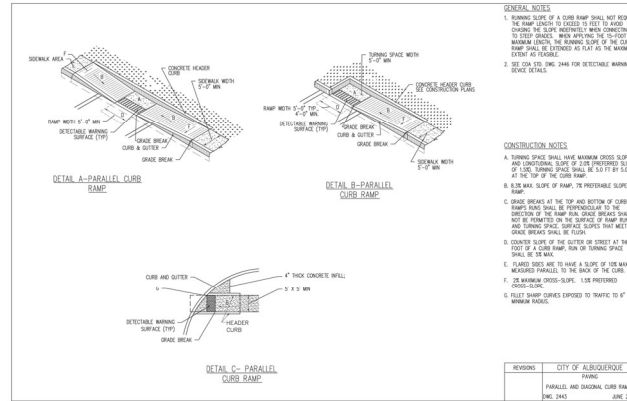
1. PROVIDE BITUMINOUS EXPANSION MATERIAL WHERE WALK ADJUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE.
2. SPACE CONTROL JOINT UNIFORMLY AT INTERVALS EQUAL TO THE WALK WIDTH OR AS SHOWN ON ARCHITECTURAL PLANS.
3. PLACE FINGERED EXPANSION JOINT MATERIAL AROUND ALL STRUCTURES IN NEW WALK ALONGSIDE ALL ADJACENT BUILDINGS AND ADJUTS STRUCTURES TO THE NEW CONCRETE SIDEWALK.
4. SEAL EXPANSION & CONTRACTION JOINTS WITH AN APPROVED TYPE SEALANT.
5. SIDEWALK PAVEMENT WHERE PATIO FURNITURE IS TO BE PLACED MUST BE 4000 PSI.

NOTE: REFER TO GEOTECH REPORT FOR FURTHER INFORMATION.

CONCRETE SIDEWALK DETAIL
N.T.S.



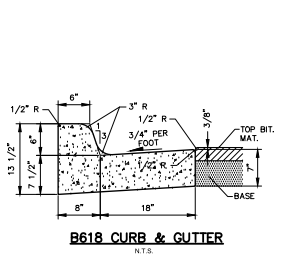
PRECAST CONCRETE WHEEL STOP DETAIL
N.T.S.



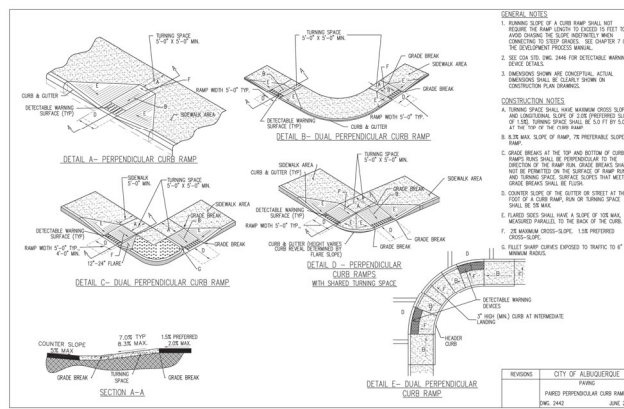
- GENERAL NOTES**
1. TURNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 10 FEET TO AVOID EXCESSIVE CURB WEAR WITH A MINIMUM CONCERNING MAXIMUM LENGTH. THE TURNING SLOPE OF THE CURB RAMP SHALL BE ESTABLISHED AS SHOWN ON THE DRAWING, EXTENT AS FEASIBLE.
 2. SEE CIVIL ENG. SPEC. 2449 FOR DETAILABLE MARKING DEVICE DETAILS.

- CONSTRUCTION NOTES**
- A. TURNING SPACES SHALL HAVE MAXIMUM CROSS SLOPE AND MINIMUM SLOPE TO BE THE PREVIOUS SLOPE OF LANE. TURNING SPACES SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.
 - B. 3.5% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
 - C. CURB BREAKS AT THE TOP AND BOTTOM OF CURB RAMP SPACES SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. CURB BREAKS SHALL NOT BE PLACED IN THE SURFACE OF RAMP SPACES. CURB BREAKS SHALL BE FINISH.
 - D. COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP RUN OR TURNING SPACE SHALL BE 1.5%.
 - E. GRADED SHOULDER TO HAVE A SLOPE OF THE WALK MATCHED PARALLEL TO THE BACK OF THE CURB.
 - F. 1% MAXIMUM CROSS-SLOPE, 1.5% PREFERRED MINIMUM-SLOPE.
 - G. FULLY SHARP CORNERS EXPOSED TO TRAFFIC TO 4\"/>

REVISIONS	CITY OF ALBUQUERQUE
	PARALLEL AND DUAL PERPENDICULAR CURB RAMPS
	JUNE 2013



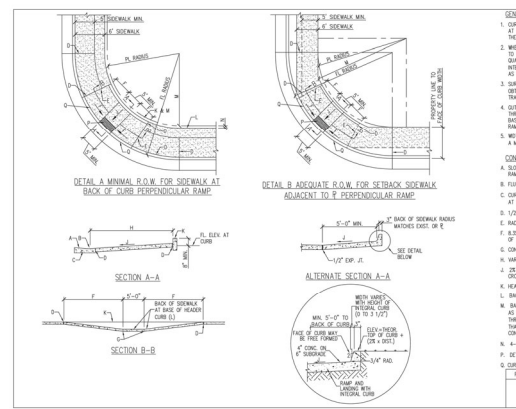
B618 CURB & GUTTER
N.T.S.



- GENERAL NOTES**
1. TURNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 10 FEET TO AVOID EXCESSIVE CURB WEAR WITH A MINIMUM CONCERNING MAXIMUM LENGTH. THE TURNING SLOPE OF THE CURB RAMP SHALL BE ESTABLISHED AS SHOWN ON THE DRAWING, EXTENT AS FEASIBLE.
 2. SEE CIVIL ENG. SPEC. 2449 FOR DETAILABLE MARKING DEVICE DETAILS.

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 - B. 3.5% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
 - C. CURB BREAKS AT THE TOP AND BOTTOM OF CURB RAMP SPACES SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. CURB BREAKS SHALL NOT BE PLACED IN THE SURFACE OF RAMP SPACES. CURB BREAKS SHALL BE FINISH.
 - D. COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP RUN OR TURNING SPACE SHALL BE 1.5%.
 - E. GRADED SHOULDER TO HAVE A SLOPE OF THE WALK MATCHED PARALLEL TO THE BACK OF THE CURB.
 - F. 1% MAXIMUM CROSS-SLOPE, 1.5% PREFERRED MINIMUM-SLOPE.
 - G. FULLY SHARP CORNERS EXPOSED TO TRAFFIC TO 4\"/>

REVISIONS	CITY OF ALBUQUERQUE
	PERPENDICULAR CURB RAMPS
	JUNE 2013



- GENERAL NOTES**
1. CURB ACCESS RAMPS ARE NORMALLY TO BE LOCATED AT THE CENTER OF THE SECTION OR AS DIRECTED BY THE CITY ENGINEER.
 2. WHEN MOFFING ONE QUADRANT OF AN INTERSECTION TO PROVIDE ACCESSIBILITY, VERIFY THE MOFFING QUADRANTS TO MATCH ALL QUADRANTS OF THE INTERSECTION CORNER WITH ADA FURNISH REGULATIONS AS SHOWN ON PLANS.
 3. SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY MEANS OF BROOMING TEXTURE (DTPH 3027), THROUGH THE AREA OF THE RAMP. SURFACE TEXTURE SHALL BE FINISH.
 4. GUTTER FROM-LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP. SURFACE TEXTURE SHALL NOT BE PLACED IN LINE WITH RAMP. INTERLACES SHALL NOT BE PLACED IN LINE WITH RAMP.
 5. WIDTH OF SIDEWALK AND RAMP MUST BE MAINTAINED AT A MINIMUM OF 5'-0\"/>

- CONSTRUCTION NOTES**
- A. SLOPE OF GUTTER MUST TO EXCEED 1% ADJACENT TO RAMP, 1.5% PREFERRED.
 - B. FINISH WITH RAMP AND GUTTER.
 - C. CURB AND STREET SIDE SEE SPEC. 2443 - GUTTER AT CURB ACCESS RAMPS.
 - D. 1.0% OVERFLOW GAGE.
 - E. RADIAL LINES - TOP AND BOTTOM OF RAMP.
 - F. 3.5% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
 - G. CONTRACTION JOINT.
 - H. WALKS WITH AVAILABLE SLOPE.
 - I. 1% MAXIMUM CROSS-SLOPE, 1.5% PREFERRED MINIMUM-SLOPE.
 - J. HEADER CURB SEE SPEC. 2443C.
 - K. BACK OF SIDEWALK.
 - L. BACK OF SIDEWALK FINISH TO BE ESTABLISHED TO 10\"/>

REVISIONS	CITY OF ALBUQUERQUE
	PERPENDICULAR CURB RAMP
	JUNE 2013

NO.	REVISIONS	DATE

Kimley-Horn
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1201 3RD AVE SUITE 2500, SEATTLE, WA 98101
WWW.KIMLEY-HORN.COM
WWW.KIMLEY-HORN.CO.UK



DATE	07/27/2023
SCALE	AS SHOWN
DESIGNED BY	IN/03P
DRAWN BY	IN/03P
CHECKED BY	LUV

CONSTRUCTION DETAILS

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 316-1575



MATCHLINE
SEE SHEET 2

LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
27	2" cal	Ash	M+
		<i>Fraxinus pennsylvanica</i>	
70	2" cal	Honey Locust	M
		<i>Gleditsia triacanthos</i>	
Note: All site perimeter trees shall be 2" cal. minimum. Honor site trees shall be size as indicated in legend.			
39	6"-8"	Austrian Pine	M
		<i>Pinus nigra</i>	
18	6"-8"	Blue Spruce	M
		<i>Picea pungens</i>	
31	10"-12"	Japanese Pagoda	M
		<i>Sophora japonica</i>	
113	10"-12"	Chilasee	M
		<i>Chilodaphne x kashanensis</i>	
9	4"-6"	Washington Hawthorne	M
		<i>Crataegus phaeococcinifera</i>	
10	2" cal	Desert Willow	L
		<i>Chilopsis linearis</i>	
36	2" cal	Spartan Juniper (terrace species)	L
		<i>Juniperus chinensis "Spartan"</i>	
186	5 Gal	Wintergreen Barbary	M
		<i>Berberis julifolia</i>	
118	5 Gal	India Hawthorne	M
		<i>Raphiolepis indica</i>	
175	5 Gal	Honey suckle	M
		<i>Lonicera japonica</i>	
79	5 Gal	Dwarf Butterfly Bush	M
		<i>Buddleia davidii nanohortensis</i>	
365	5 Gal	Dwarf Fuchsia	M
		<i>Pentstemon vitellium</i>	
117	5 Gal	Cherry Soap	M
		<i>Salvia greggii</i>	
153	5 Gal	Rosemary	M
		<i>Rosemary officinalis</i>	
288	5 Gal	Engelmann Lavender	L
		<i>Lavandula angustifolia</i>	
96	5 Gal	Apache Plum	L
		<i>Falugia paradoxa</i>	
Santa Fe Brown Crusher Fines Solid Lawn: Less than 20% of Provided Landscape Area Commercial Grade Street Edge			

LANDSCAPE NOTES

Owner is responsible for maintenance of Irrigation System, Landscape Plantings, and Landscape Mulch. Landscape Plant material which dies shall be replaced by the owner no later than 60 days after notification.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.

Landscape contractor shall submit an irrigation plan to the Landscape Architect, prior to construction for approval and prepared by a certified irrigation consultant or a Landscape Architect.

All landscape areas shall be covered in 2"-3" of landscape gravel, fines, bark mulch or other landscape mulch and commercial grade weed barrier fabric approved by the Landscape Architect.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

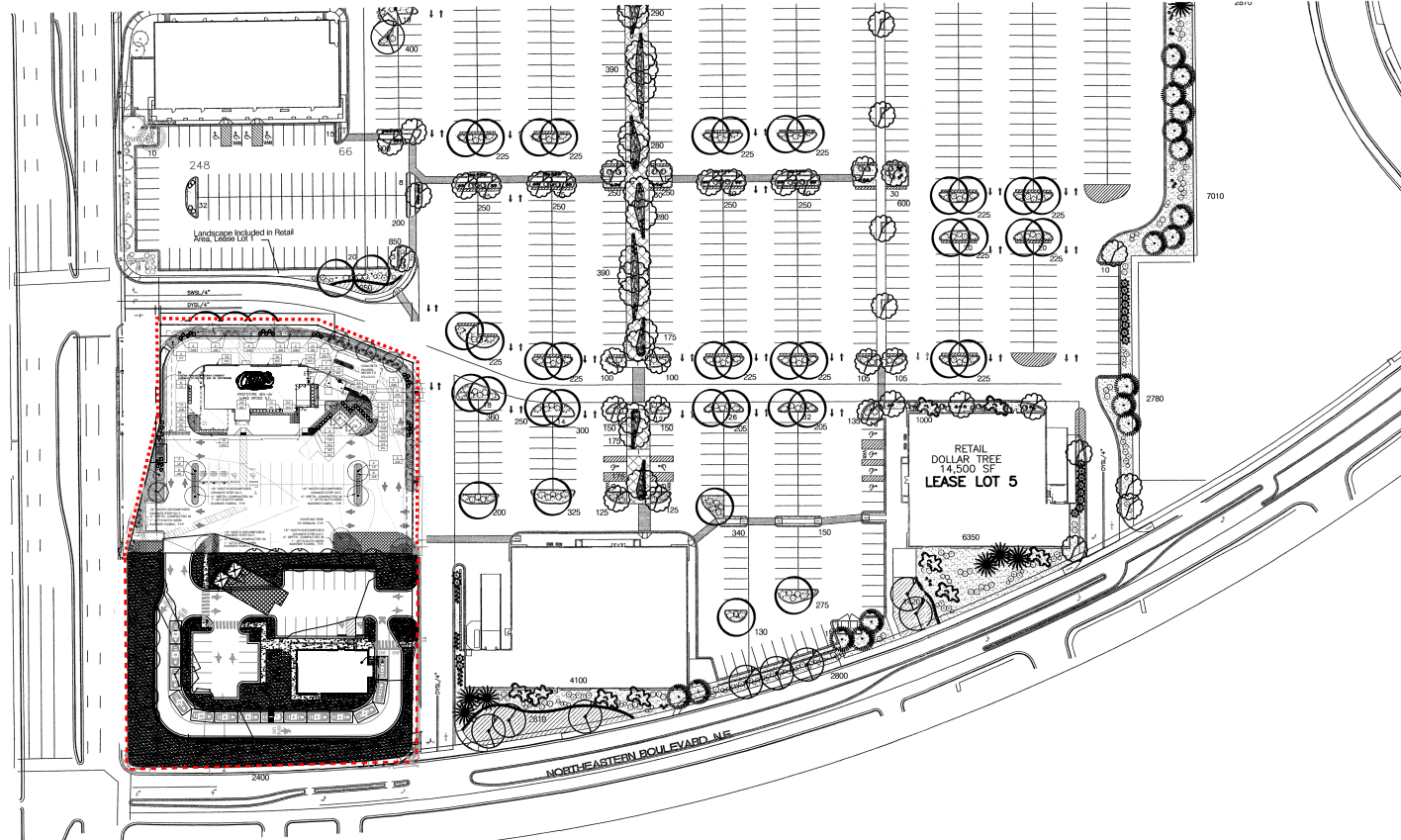
Prior to Construction, Landscape Contractor shall verify location of all Utility Lines. In case of a discrepancy between utilities indicated on plan and actual field verification, contractor shall cease work and notify Landscape Architect immediately for directions on how to proceed.

Any damage to utility lines resulting from the negligence of the abutting landowner, his agents or employees in the installation and maintenance of the landscaped area in the public right-of-way shall be the responsibility of such landowner. Any damage to utility lines resulting from the growth of plant materials which have been approved by the applicable public utility as part of a plan for landscaping on the public right-of-way shall be the responsibility of such public utility. If a public utility disturbs a landscaped area in the public right-of-way, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after utility work. If, nonetheless some plant materials die, it is the obligation of the abutting landowner to replace the plant materials.

Landscaping shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.

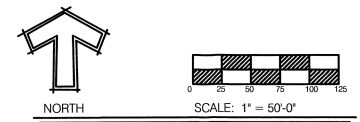
Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.



LANDSCAPE CALCULATIONS

TOTAL LOT AREA 30.42 x 43560 = (sf)	1,325,095
TOTAL BUILDING AREA (sf)	306,893 311,974
NET LOT AREA (sf)	1,015,619
LANDSCAPE REQUIREMENT (%)	× .15
TOTAL LANDSCAPE REQUIRED (sf)	152,343
TOTAL SOD PROVIDED (sf) 8.3%	6865.00
TOTAL XERISCAPE PROVIDED (sf)	196985 155,454
TOTAL EXISTING LANDSCAPE TO REMAIN	19230
TOTAL LANDSCAPE PROVIDED (sf)	169486 181,549

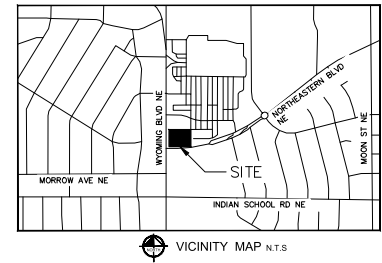
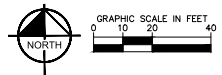
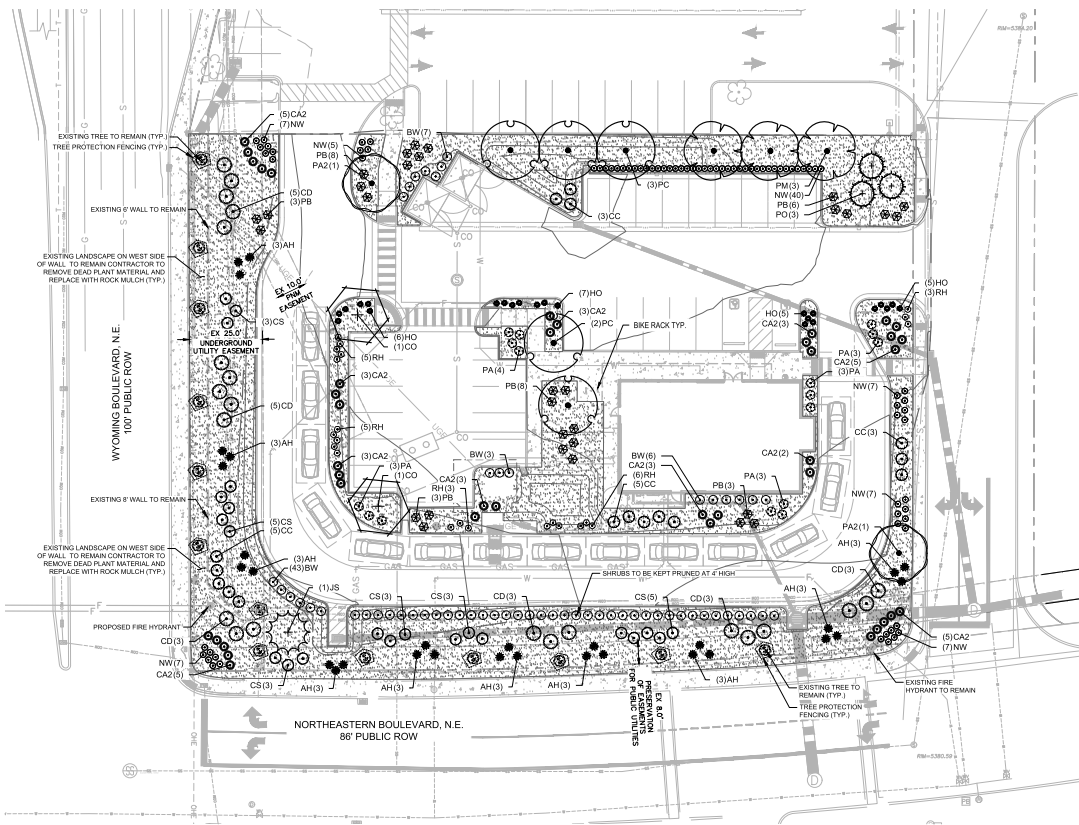


LANDSCAPE PLAN

Mitchell Associates, L.L.C.
Landscape Architects
3300 Central NE Suite #124
Albuquerque, NM 87110
(505) 836-4096
danny@mitchellassociatesllc.com

	ALBUQUERQUE WAL-MART NM: 5491-00	DRAWN BY DDM
	LANDSCAPE PLAN - B	DATE 10/18/2005
	8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100	2292LS-12-27-044
		SHEET # 4A
		JOB # 220092

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PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	GAL.	SIZE	
+	CO	2	CERES OCCIDENTALIS	WESTERN REDBUD	8.6.8	2" CAL MIN	12" HT MIN	
+	JS	1	JUNIPERUS MONOSPERMA	ONE SEED JUNIPER	8.6.8		6" HT MIN	
+	PO	3	PRUNUS INDIRA OREGON GREEN	OREGON GREEN AUSTRIAN PINE	8.6.8		6" HT MIN	
+	PM	3	PROSOPIS GLANDULOSA MAVERICK TM	HONEY MESQUITE	8.6.8	2" CAL MIN	12" HT MIN	
+	PA2	2	PRUNUS AMERICANA	WILD PLUM	8.6.8	2" CAL MIN	12" HT MIN	
+	PC	5	PRUNUS CERASIFERA	PURPLE-LEAF PLUM	8.6.8	2" CAL MIN	12" HT MIN	
+	SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
+	AH	30	AGAVE HAVARDIANA	HAWARD'S CENTURY PLANT	1 GAL		24" FULL	
+	BW	59	BIUNUS MICROPHYLLA JAPONICA WINTER GEM	WINTER GEM JAPANESE BOXWOOD	5 GAL		SEE PLAN 18"-24" HT. MIN.	
+	CA2	40	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	1 GAL		SEE PLAN 18"-24" HT. MIN.	
+	CC	16	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL		SEE PLAN 18" HT MIN	
+	CD	22	COTONEASTER DIVARICATUS	SPREADING COTONEASTER	5 GAL		SEE PLAN 18"-24" HT. MIN.	
+	CS	22	CYTISUS PURGANS SPANISH GOLD	SPANISH GOLD BROOM	5 GAL		SEE PLAN 18"-24" HT. MIN.	
+	HO	23	HEMEROCALLIS X STELLA DE ORO	STELLA DE ORO DAFFILY	1 GAL		SEE PLAN 12" HT MIN	
+	NW	80	NEPETA X FRAASSENI WALKER'S LOW	WALKER'S LOW CATMINT	1 GAL		SEE PLAN 18"-24" HT. MIN.	
+	PA	16	PENSTEMON AMBIGUUS	GILA BEARDTONGUE	5 GAL		SEE PLAN 12" HT MIN	
+	PB	31	POTENTILLA FRUTICOSA FARQ7	DAKOTA SUNSPOT POTENTILLA	5 GAL		SEE PLAN 18"-24" HT. MIN.	
+	RH	22	RUDECKIA HIRTA	BLACK-EYED SUSAN	5 GAL		SEE PLAN 12" HT MIN	
+	SEEDING COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING
+	SG		17,623 SF	GREY BREEZE CRUSHER FINES	GREY BREEZE CRUSHER FINES	FLAT		

NOTE: PROPERTY OWNER IS TO MAINTAIN ALL LANDSCAPING/ BUFFERING MATERIALS DIRECTLY ADJACENT TO PROPERTY LINE OR WITHIN AN EASEMENT AND RIGHT OF WAY AREA

STARBUCKS
CITY: Albuquerque
ZONE: MK-M

STREET FRONTAGE LANDSCAPING			
STREET NAME	FRONTAGE LENGTH (LF)	WIDTH (FT) REQ./PROV.	NO. TREES REQ./PROV.
Wyoming Blvd, N.E.	183	20/23	1/25 7/7*
Northeastern Blvd, N.E.	249	20/24	1/25 9/9**

PARKING LOT LANDSCAPE						
PARKING LOT AREA	LANDSCAPE % REQ.	LANDSCAPE AREA REQ./PROV.	TREE REQ./SPACE	NO. TREES REQ./PROV.	BUFFER REQ.	SIDE LOT REQ.
4,415	441 (10%)	441 (10%)/ 2,258 (51%)	1/10	3/3	MASONRY WALL OR CONTINUOUS LINE OF SHRUBS 3' HT AND 10' W	2 TREES AND 6 SHRUBS PER 25 LF

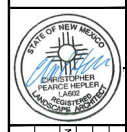
PEDESTRIAN WALKWAYS		
LENGTH OF PEDESTRIAN WALKWAYS (LF)	TREES / LF REQ.	NO. TREES REQ./PROV.
264	1/25	11/11***

SITE LANDSCAPE				
TOTAL SITE AREA (SF)	SITE LANDSCAPE AREA REQ./PROV. (SF)	LIVE VEGETATION COVERAGE REQ./PROV. (SF)	GROUND LEVEL PLANTS AS VEGETATION COVERAGE REQ./PROV. (SF)	MAXIMUM TURF COVERAGE (SF) REQ./PROV.
44,412	6,662 (15%)/38,108 (40%)	4,997 (75%)/ 6,747 (101%)	1,249 (25%)/ 1,265 (28%)	666 (10%)/0 (0%)

NOTES
* 6 EXISTING TREES AND 1 PROPOSED
** 7 EXISTING TREES AND 2 PROPOSED
*** PER 5-6 (C)(4)(h) - 1 TREE PER 25 LF OF PEDESTRIAN WALKWAY BUT DUE TO CONFLICTS TREES HAVE BEEN PLACED ELSEWHERE THROUGHOUT PROPERTY

NO.	REVISIONS	DATE	BY

Kimley-Horn
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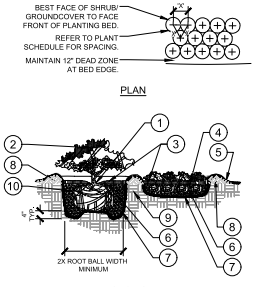
KHA PROJECT	DATE
SCALE AS SHOWN	DESIGNED BY
DRAWN BY	CHECKED BY

LANDSCAPE PLAN

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

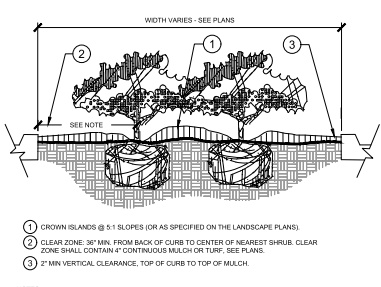


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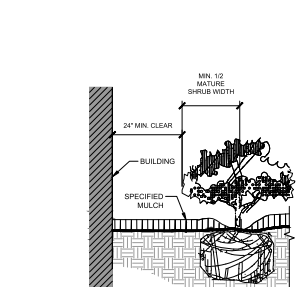
- NOTES:**
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING AREAS PRIOR TO INSTALLATION.
 - WHEN SHRUBS ARE PLANTED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS/HEIGHT.
 - ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY PROJECT LANDSCAPE ARCHITECT.
 - PRE-EMERGENT HERBICIDE TO BE APPLIED PRIOR TO PLANT INSTALLATION.

1 SHRUB/GROUNDCOVER PLANTING
SECTION/PLAN NTS



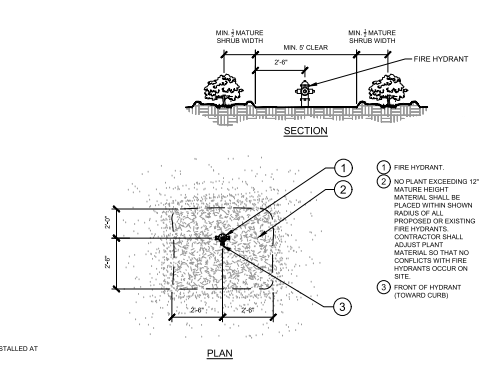
- NOTES:**
- EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.
 - PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
 - ALL ISLANDS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2" PER HOUR OR LESS.

2 PLANTED PARKING LOT ISLANDS/MEDIANS
SECTION NTS

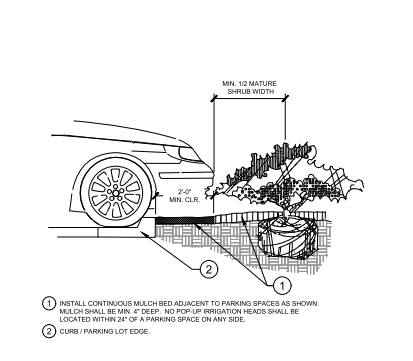


- NOTES:**
- CLEAR ZONE: 36" MIN. FROM BUILDING TO CENTER OF NEAREST SHRUB.
 - INSTALL SPECIFIED MULCH: 24" MIN. FROM BUILDING. SPECIFIED MULCH TO BE INSTALLED AT A DEPTH OF 4" (MIN.)

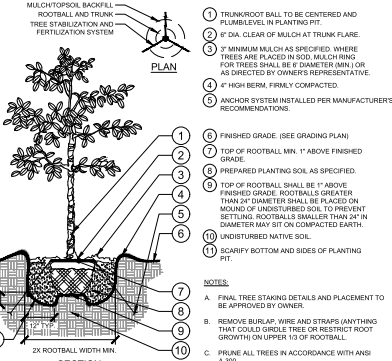
3 PLANTINGS ADJACENT TO BUILDINGS
SECTION NTS



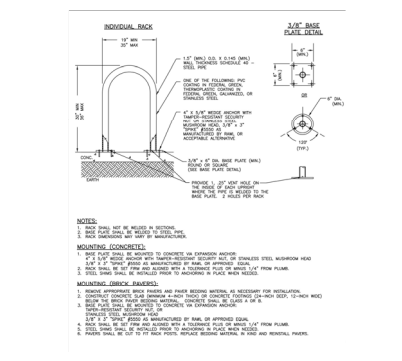
4 SHRUB PLANTING AT FIRE HYDRANT
SECTION/PLAN NTS



5 PARKING SPACE/CURB PLANTING
SECTION NTS



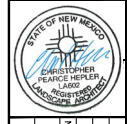
6 TREE PLANTING
SECTION/PLAN NTS



7 INVERTED U BIKE RACK
SECTION NTS

NO.	REVISIONS	DATE	BY

Kimley-Horn
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KHA PROJECT	DATE	SCALE	AS SHOWN
DESIGNED BY	DRAWN BY	CHECKED BY	

LANDSCAPE DETAILS

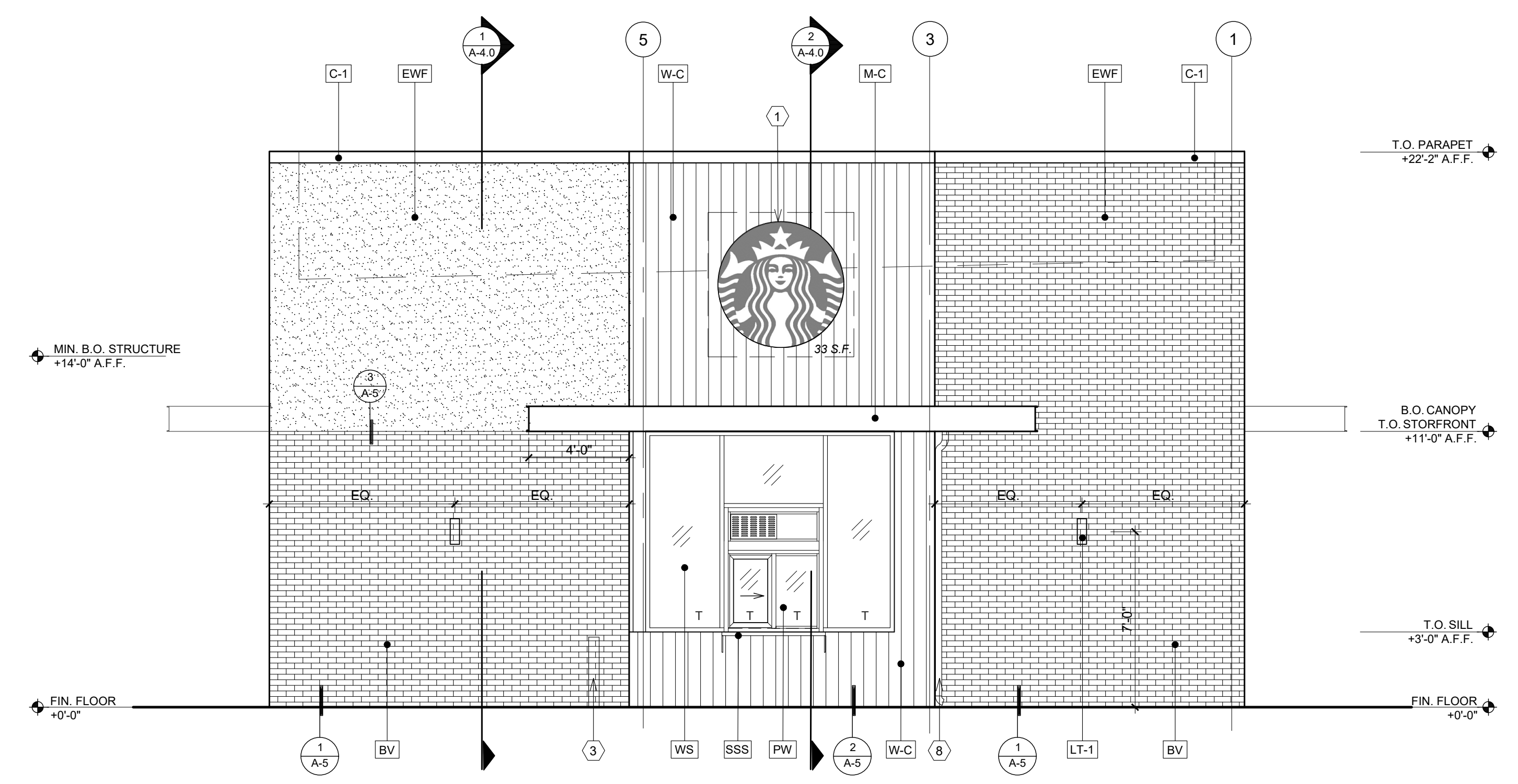
STARBUCKS COFFEE COMPANY
2401 UPTOWN AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575



SHEET NUMBER
L3.0



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EAST ELEVATION

SCALE:
1/4" = 1'-0"
B

EXTERIOR FINISHES SCHEDULE				
KEY ITEM	MATERIAL	MANUFACTURER	COLOR / DESCRIPTION	FINISH / STYLE
BV	BRICK VENEER	MUTUAL MATERIALS 888-688-8250	PEWTER MISSION	RUNNING BOND, SM100 GRAY COLORED MORTAR
SSC	CAST STONE SILL CAP	MARCSTONE	COLOR TO MATCH SW 7030 ANEW GRAY	
EWf	EIFS - EXTERIOR WALL FINISH	DRYVIT 734-276-0404	COLOR TO MATCH SW 7030 ANEW GRAY	SANDBLAST TEXTURE
W-C	WOOD CLADDING (@ FACADE & UNDERSIDE OF CANOPY)	IDENTITY WOOD PRODUCTS 770-704-7140	1200 - PRETZEL MEDIUM BROWN WITH DARK BROWN GLAZE, 1/16" REVEAL	SANDBLAST TEXTURE
M-C	METAL CANOPY. G.C. TO SUBMIT SEPARATELY	AWNEX 770-704-7140	COLORADO SOFFIT SYSTEM CANTILEVERED SUPPORT. 12" OPEN FACE, REAR GUTTER	RAL#7021 MATTE BLACK
C-1	METAL COPING	LOCALLY SOURCED	TO MATCH RAL#7021 MATTE BLACK - MT0028 - FLAT BLACK	PRE-FINISHED
WS	ALUMINUM STOREFRONT SYSTEM	LOCALLY SOURCED	TO MATCH RAL#7021 MATTE BLACK - MT0028 - FLAT BLACK	ANODIZED
DF-1	HOLLOW METAL DOOR FRAME	LOCALLY SOURCED	TO MATCH RAL#7021 MATTE BLACK - MT0028 - FLAT BLACK	PAINTED
LT-1	LED WALL SCONCE LIGHT	ACUITY, LITHONIA LIGHTING	LED WALL CYLINDER LIGHT, OLLWU	DARK BRONZE
LT-2	LED WALL SCONCE LIGHT	ACUITY, LITHONIA LIGHTING	LED WALL SQUARE LIGHT, WIDGE1 LED	DARK BRONZE
PW	DRIVE-THRU PICK UP WINDOW, BY TENANT	READY ACCESS	MOD. 600 W/ TRANSOM L/R DIR. W/ AA100 AIR CURTAIN SERIES	ANODIZED
SSS	STAINLESS STL. SHELF BY TENANT	READY ACCESS	MODEL 275	STAINLESS STEEL

KEYNOTES	
1	SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D. UNDER SEPARATE PERMIT.
2	3" HIGH BLACK ACRYLIC ABOVE MAIN ENTRY DOOR.
3	BOLLARD, NON-ILLUMINATED
4	6"x4" METAL DOWNSPOUT
5	ROOF ACCESS LADDER, MODEL 504 BY O'KEEFFE'S OR EQ.
6	ELECTRICAL METER
7	GAS METER
8	3" DIA. METAL DOWNSPOUT

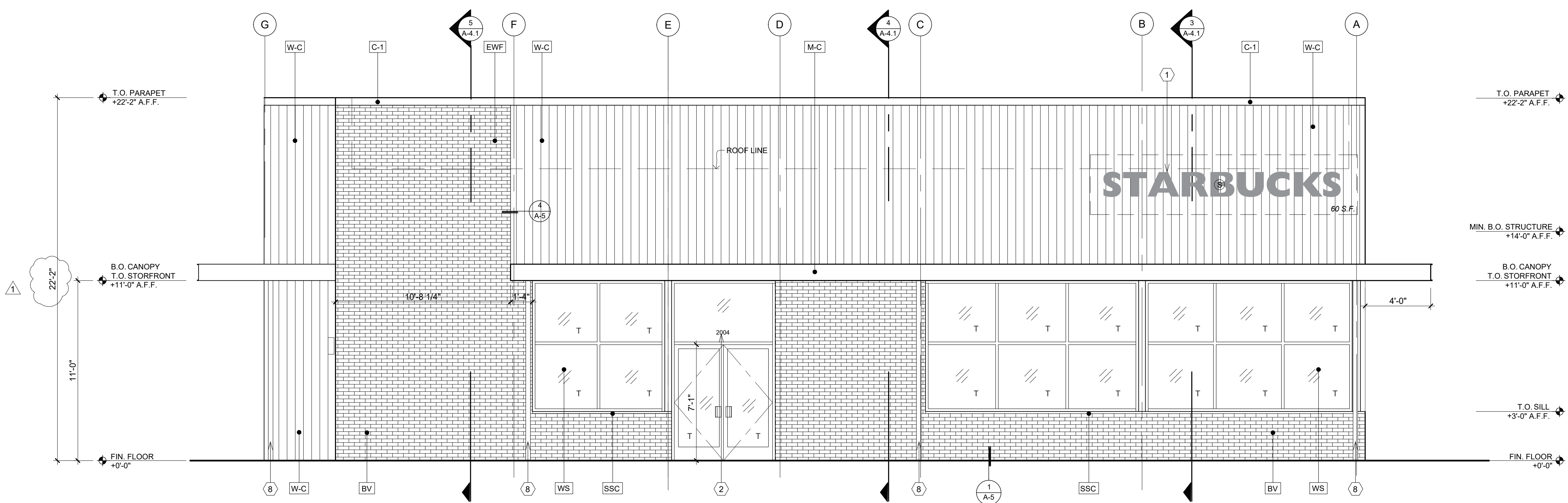
GENERAL NOTES

- STOREFRONT SYSTEM AND DOORS**
- STOREFRONT: EXTEND GLAZING 11'-0" AFF. INCLUDE TEMPERED GLAZING PER CODE.
 - STORE ADDRESS: PROVIDE 3" HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING ABOVE MAIN ENTRY DOOR.
 - DT WINDOW: PROVIDE READY ACCESS DT SERVICE WINDOW PER REGIONAL SPECIFICATION.
- CANOPIES AND AWNINGS**
- DT CANOPY: CANOPY AT DT WINDOW SHALL BE 11'-0" AFF TO ALIGN WITH VISUAL HEIGHT OF STOREFRONT CANOPY.
 - STOREFRONT: INCLUDE EXTERIOR CANOPY TO REDUCE SOLAR HEAT GAIN. PREFERRED BOTTOM HEIGHT OF 11'-0" AFF TO ALIGN WITH TOP OF STOREFRONT HEADER.
 - ENTRY/EXIT CANOPY: WEATHER PROTECTIVE CANOPY SHALL BE LOCATED ABOVE ALL ENTRY AND EGRESS DOOR AT MIN. OF 11'-0".
- CANOPIES**
- EXTERIOR LIGHTING: A. WALL SCONCES PER ELEVATION.

NOTE: PROJECT SHALL MEET R-VALUE / U-FACTOR / SHGC COMMERCIAL REQUIREMENTS PER TABLE C402.13-4 & C402.4 2018 IECC

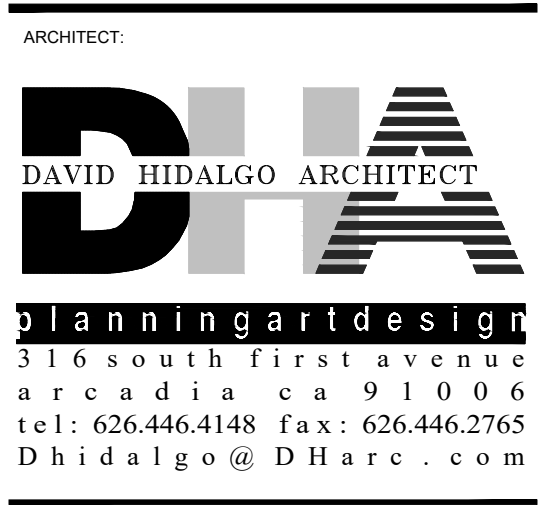
SIGNAGE DATA TABLE		
SIGNAGE LOCATION	REQUIREMENT	PROPOSED
WALL SIGN - NORTH ELEVATION	15% OF FACADE AREA INCLUSIVE OF DOORS AND WINDOWS: 208 SF	60 SF
WALL SIGN - WEST ELEVATION	15% OF FACADE AREA INCLUSIVE OF DOORS AND WINDOWS: 129 SF	33 SF
WALL SIGN - SOUTH ELEVATION	15% OF FACADE AREA INCLUSIVE OF DOORS AND WINDOWS: 208 SF	33 SF
WALL SIGN - EAST ELEVATION	15% OF FACADE AREA INCLUSIVE OF DOORS AND WINDOWS: 129 SF	33 SF

CANOPY NOTE: *FOR REFERENCE ONLY*. G.C. TO SUBMIT SEPARATELY. FINAL CANOPY CONSTRUCTION AND DIMENSIONS BY CANOPY MANUFACTURER SHOP DRAWINGS



NORTH ELEVATION

SCALE:
1/4" = 1'-0"
A



PROJECT:
WYOMING MALL CENTER
NEW PAD BUILDING - STARBUCKS COFFEE
2004 WYOMING BOULEVARD
ALBUQUERQUE
NEW MEXICO

WESTWOOD FINANCIAL CORP
11440 SAN VICENTE BLVD., SUITE 200
LOS ANGELES, CA 90049

REVISION	DATE	BY
△ PLAN CHECK CORRECTION	08.02.23	RMD

DRAWN BY: RMD
PROJECT ARCHITECT: DAVID J HIDALGO
DATE: 04.05.23
SCALE: AS NOTED
PROJECT NO: 22029.10

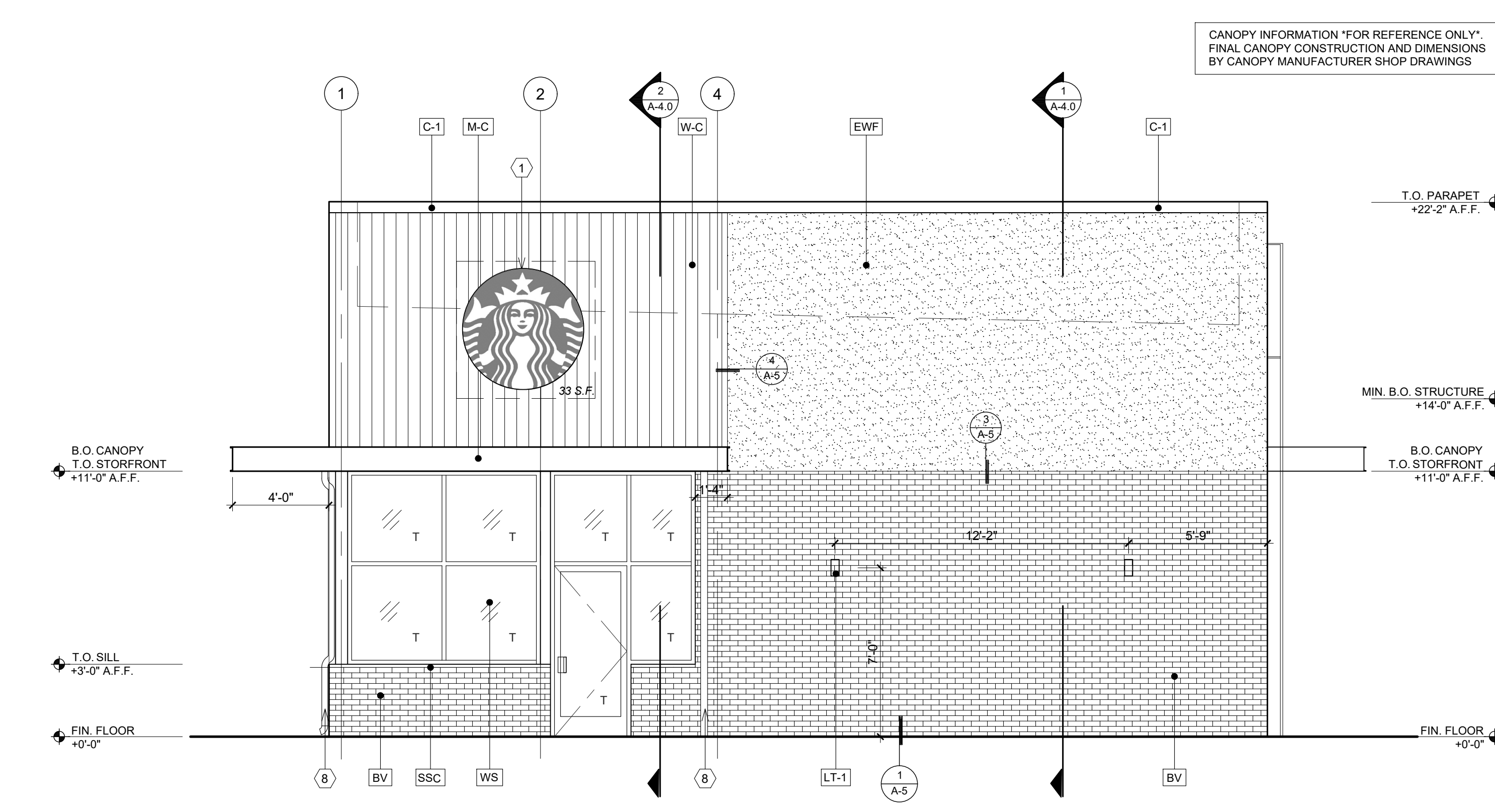


- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S: 6.22.2023
- CITY SUBMITTAL: 05.15.2023
- BID PACKAGE: 06.29.2023
- CONSTRUCTION ISSUE
- RECORD DRAWINGS

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET:
A-3.0

C:\Projects\2222-029 WF Wyoming Mall Proposed Starbucks Pad\ConDocs\PDF\PLAN CHECK CORRECTIONS 08.02.23\DRAPTS V3\WYOMING MALL - STARBUCKS - ELEVATIONS 08.01.23.dwg
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WEST ELEVATION

SCALE:
1/4" = 1'-0" **B**

EXTERIOR FINISHES SCHEDULE				
KEY ITEM	MATERIAL	MANUFACTURER	COLOR / DESCRIPTION	FINISH / STYLE
BV	BRICK VENEER	MUTUAL MATERIALS 888-688-8250	PEWTER MISSION	RUNNING BOND, SM100 GRAY COLORED MORTAR
SSC	CAST STONE SILL CAP	MARCSTONE	COLOR TO MATCH SW 7030 ANEW GRAY	
EWF	EIFS - EXTERIOR WALL FINISH	DRYVIT 734-276-0404	COLOR TO MATCH SW 7030 ANEW GRAY	SANDBLAST TEXTURE
W-C	WOOD CLADDING (@ FACADE & UNDERSIDE OF CANOPY)	IDENTITY WOOD PRODUCTS 770-704-7140	1200 - PRETZEL MEDIUM BROWN WITH DARK BROWN GLAZE, 1/16" REVEAL	SANDBLAST TEXTURE
M-C	METAL CANOPY, G.C. TO SUBMIT SEPARATELY	AWNEX 770-704-7140	COLORADO SOFFIT SYSTEM CANTILEVERED SUPPORT, 12" OPEN FACE, REAR GUTTER	RAL#7021 MATTE BLACK
C-1	METAL COPING	LOCALLY SOURCED	TO MATCH RAL#7021 MATTE BLACK - MT0028 - FLAT BLACK	PRE-FINISHED
WS	ALUMINUM STOREFRONT SYSTEM	LOCALLY SOURCED	TO MATCH RAL#7021 MATTE BLACK - MT0028 - FLAT BLACK	ANODIZED
DF-1	HOLLOW METAL DOOR FRAME	LOCALLY SOURCED	TO MATCH RAL#7021 MATTE BLACK - MT0028 - FLAT BLACK	PAINTED
LT-1	LED WALL SCENCE LIGHT	ACUITY, LITHONIA LIGHTING	LED WALL CYLINDER LIGHT, OLLWU	DARK BRONZE
LT-2	LED WALL SCENCE LIGHT	ACUITY, LITHONIA LIGHTING	LED WALL SQUARE LIGHT, WEDGE1 LED	DARK BRONZE
PW	DRIVE-THRU PICK UP WINDOW, BY TENANT	READY ACCESS	MOD. 600 W/ TRANSOM L/R DIR. W/ AA100 AIR CURTAIN SERIES	ANODIZED
SSS	STAINLESS STL. SHELF BY TENANT	READY ACCESS	MODEL 275	STAINLESS STEEL

KEYNOTES	
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2	3" HIGH BLACK ACRYLIC ABOVE MAIN ENTRY DOOR.
3	BOLLARD, NON-ILLUMINATED
4	6"x4" METAL DOWNSPOUT
5	ROOF ACCESS LADDER, MODEL 504 BY O'KEEFFE'S OR EQ.
6	ELECTRICAL METER
7	GAS METER
8	3" DIA. METAL DOWNSPOUT

GENERAL NOTES

STOREFRONT SYSTEM AND DOORS

- STOREFRONT: EXTEND GLAZING 11'-0" AFF. INCLUDE TEMPERED GLAZING PER CODE.
- STORE ADDRESS: PROVIDE 3" HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING ABOVE MAIN ENTRY DOOR.
- DT WINDOW: PROVIDE READY ACCESS DT SERVICE WINDOW PER REGIONAL SPECIFICATION.

CANOPIES AND AWNINGS

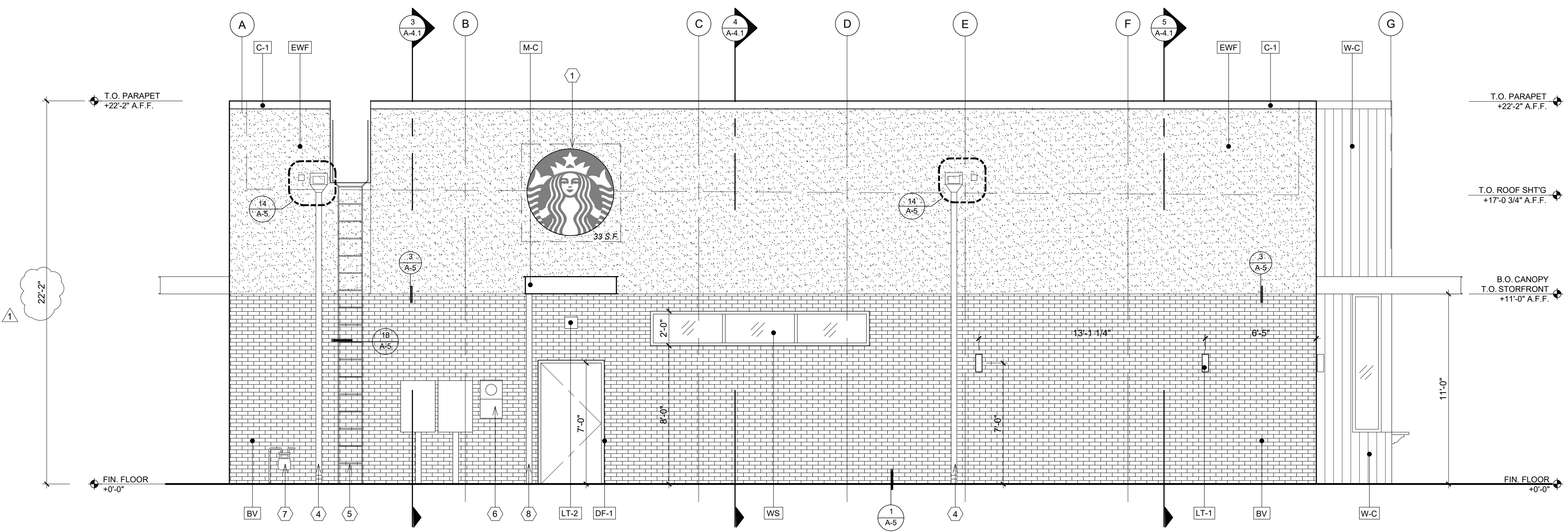
- DT CANOPY: CANOPY AT DT WINDOW SHALL BE 11'-0" AFF TO ALIGN WITH VISUAL HEIGHT OF STOREFRONT CANOPY.
- STOREFRONT: INCLUDE EXTERIOR CANOPY TO REDUCE SOLAR HEAT GAIN. PREFERRED BOTTOM HEIGHT OF 11'-0" AFF TO ALIGN WITH TOP OF STOREFRONT HEADER.
- ENTRY/EXIT CANOPY: WEATHER PROTECTIVE CANOPY SHALL BE LOCATED ABOVE ALL ENTRY AND EGRESS DOOR AT MIN. OF 11'-0".

CANOPIES

- EXTERIOR LIGHTING:
A. WALL SCONCES PER ELEVATION.

NOTE: PROJECT SHALL MEET R-VALUE / U-FACTOR / SHGC COMMERCIAL REQUIREMENTS PER TABLE C402.13-4 & C402.4 2018 IECC

SIGNAGE DATA TABLE		
SIGNAGE LOCATION	REQUIREMENT	PROPOSED
WALL SIGN - NORTH ELEVATION	15% OF FACADE AREA INCLUSIVE OF DOORS AND WINDOWS: 208 SF	60 SF
WALL SIGN - WEST ELEVATION	15% OF FACADE AREA INCLUSIVE OF DOORS AND WINDOWS: 129 SF	33 SF
WALL SIGN - SOUTH ELEVATION	15% OF FACADE AREA INCLUSIVE OF DOORS AND WINDOWS: 208 SF	33 SF
WALL SIGN - EAST ELEVATION	15% OF FACADE AREA INCLUSIVE OF DOORS AND WINDOWS: 129 SF	33 SF



SOUTH ELEVATION

SCALE:
1/4" = 1'-0" **A**



PROJECT:
WYOMING MALL CENTER
NEW PAD BUILDING - STARBUCKS COFFEE
2004 WYOMING BOULEVARD
ALBUQUERQUE
NEW MEXICO

WESTWOOD FINANCIAL CORP
11440 SAN VICENTE BLVD., SUITE 200
LOS ANGELES, CA 90049

REVISION	DATE	BY
△ PLAN CHECK CORRECTION	08.02.23	RMD

DRAWN BY: RMD
PROJECT ARCHITECT: DAVID J HIDALGO
DATE: 04.05.23
SCALE: AS NOTED
PROJECT NO. 22029.10



- DESIGN DEVELOPMENT
- PROGRESS CONST. DOCS. 6.22.2023
- CITY SUBMITTAL 05.15.2023
- BID PACKAGE 06.29.2023
- CONSTRUCTION ISSUE
- RECORD DRAWINGS

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET:
A-3.1