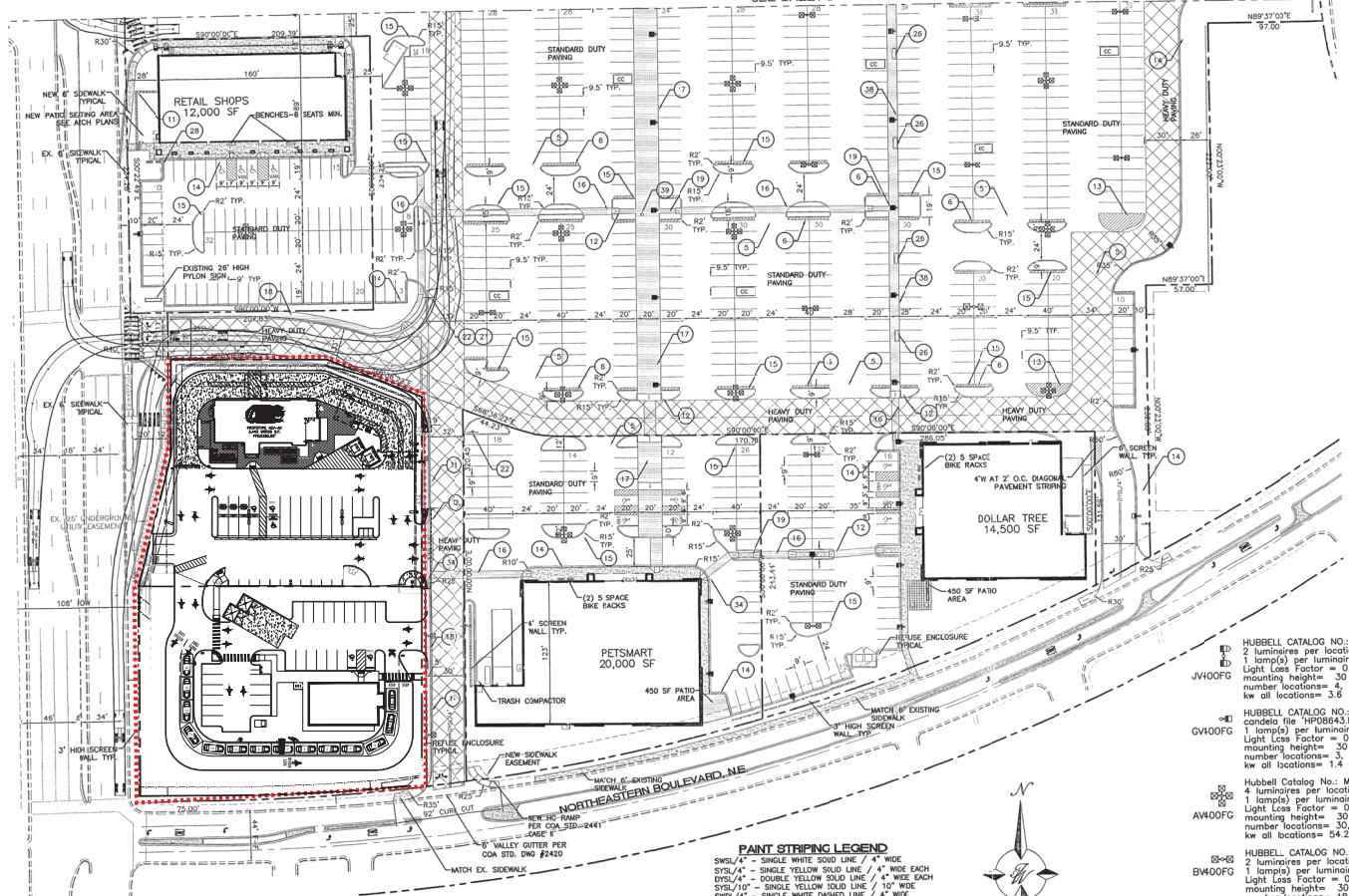
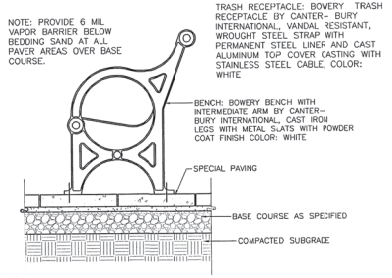
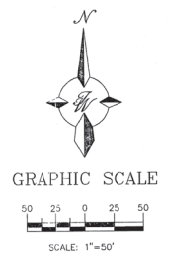


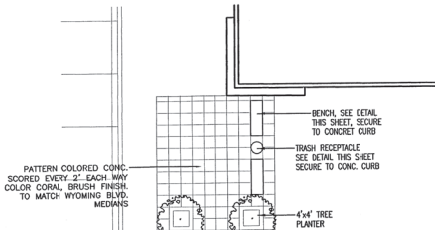
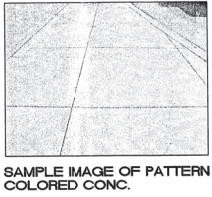
MATCHLINE
SEE SHEET 2



PAINT STRIPING LEGEND
 SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
 SYS/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
 DYS/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
 SYS/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
 SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE



BENCH AND RECEPTACLE CONC. CONNECTION

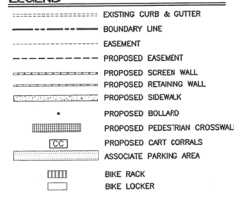


TYPICAL PATIO AREA DETAIL

SITE LEGEND

- 1 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS.
- 2 NO PARKING-FIRE LANE PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80° O.C. LETTERS TO BE A MINIMUM 2'-0" TALL.
- 3 "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL.
- 4 PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- 5 PAINTED DIRECTIONAL ARROW TYPICAL.
- 6 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
- 7 10' x 15' STRIPED AREA PAINTED SYS/4" AT 45° @ 2'-0" O.C. AT JOB CRANE LOCATION. SEE ARCH. PLANS
- 8 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE).
- 9 RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
- 10 ROOF MOUNTED 16"x19" COMPRESSOR UNITS. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
- 11 4" HIGH SCREEN WALL PER ARCH. PLANS
- 12 UNIDIRECTIONAL H.C. RAMP.
- 13 PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE STRIPES SHALL BE PAINTED SYS/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
- 14 6" CONCRETE CURB AND GUTTER TYPICAL.
- 15 6" CONCRETE HEADER CURB TYPICAL.
- 16 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK (SHT 8)
- 17 6" WIDE RAISED TEXTURED COLORED CONCRETE SIDEWALK TYPICAL.
- 18 6" TEXTURED COLORED CONCRETE SIDEWALK TYPICAL.
- 19 4" TEXTURED COLORED CONCRETE SIDEWALK TYPICAL.
- 20 AISLE INDICATOR SIGNS TYPICAL
- 21 "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
- 22 "STOP" SIGN. SEE PLAN FOR LOCATION.
- 23 4" STRIPE AT DRIVE THROUGH PHARMACY LANE. EXTEND 54' OUT FROM EDGE OF PHARMACY CONCRETE PAD
- 24 PEDESTRIAN CROSSING SIGN W80-2 AND W80-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- 25 6" DIA. PIPE BOLLARD TYPICAL
- 26 TREE PLANTER, SIZE VARIES
- 27 6x6" TREE PLANTER TYPICAL.
- 28 (3) 5 SPACE BKE RACK TYPICAL.
- 29 NOT USED
- 30 ZERO CURB PER ARCH. SECTIONS
- 31 PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- 32 PROPOSED LIGHTING.
- 33 CART CORNALS TYPICAL.
- 34 PROPOSED H.C. RAMP.
- 35 SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
- 36 WROUGHT IRON PARK BENCHES TYPICAL
- 37 RETAINING WALL TYPICAL
- 38 10' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK (SHT 8)
- 39 TRASH BIN

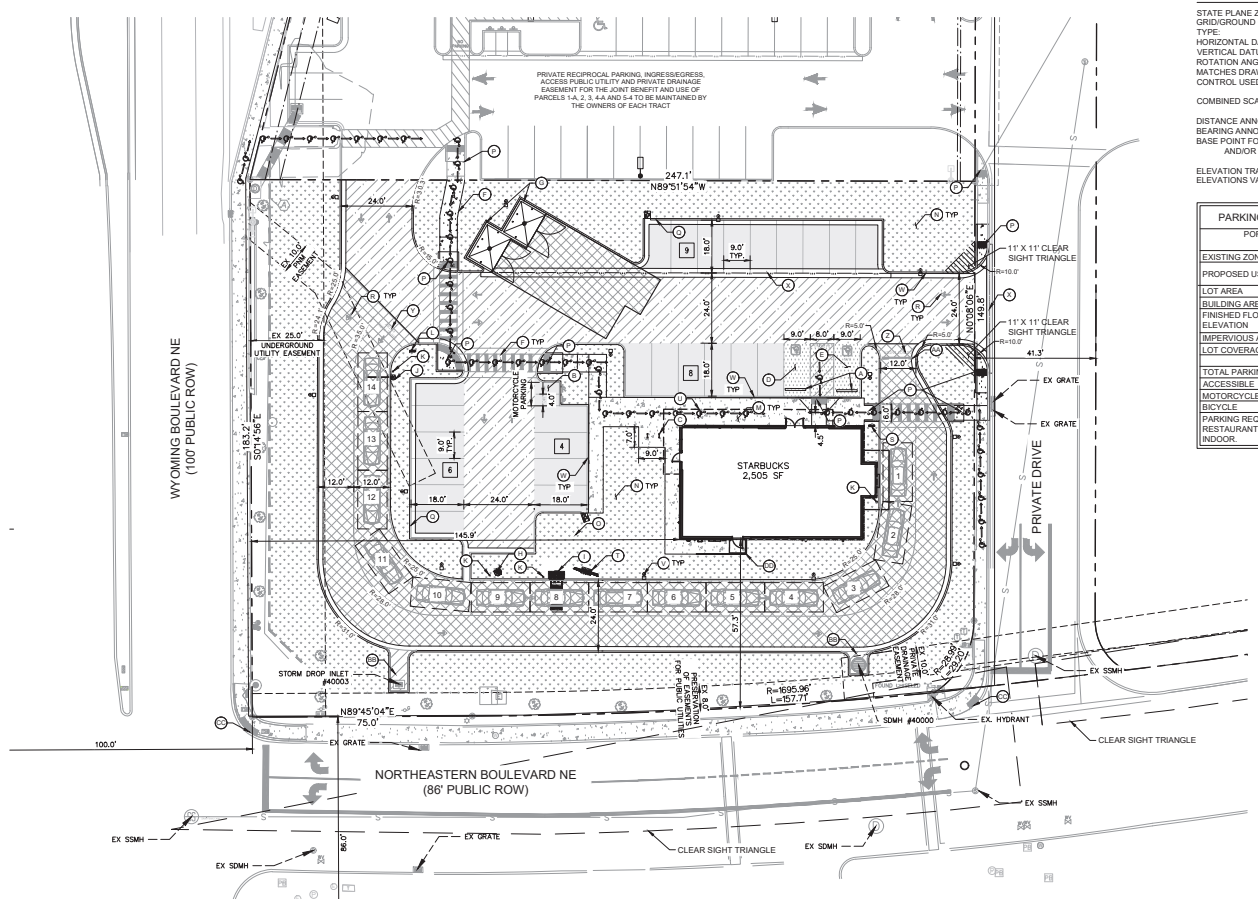
LEGEND



- JV400FG HUBBELL CATALOG NO.: MSVA400P-FPxxARGS
2 luminaires per location, condefo file "HP08643.IES"
1 lamp(s) per luminaire = 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 8, number luminaires= 8
kw all locations= 3.6
- GV400FG HUBBELL CATALOG NO.: MSVA400P-FPxxARGS
condefo file "HP08643.IES"
1 lamp(s) per luminaire = 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 3, number luminaires= 3
kw all locations= 1.4
- AV400FG Hubbell Catalog No.: MSVA400H-FWxxAR
4 luminaires per location, condefo file "HP08645.IES"
1 lamp(s) per luminaire = 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 30, number luminaires= 120
kw all locations= 54.2
- BV400FG HUBBELL CATALOG NO.: MSVA400P-FWxxAR
2 luminaires per location, condefo file "HP08645.IES"
1 lamp(s) per luminaire = 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 18, number luminaires= 36
kw all locations= 16.3
- CV400FG HUBBELL CATALOG NO.: MSVA400H-FWxxAR
condefo file "HP08645.IES"
1 lamp(s) per luminaire = 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 1, number luminaires= 1
kw all locations= 0.5
- NK1P15120 SPAULDING LIGHTING NK1-P15-V5-F
lamp(s) M150PS/BU/VED
condefo file "LS942NKP.ies"
1 lamp(s) per luminaire = 14000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 189
Outreach (from mounting axis to photometric center)= 17 ft
mounting height= 20 ft
number locations= 23, number luminaires= 23
kw all locations= 4.3
- NK1P1516 SPAULDING LIGHTING NK1-P15-H3-F-HS
lamp(s) M150PS/U/2328
condefo file "LS942NKP.ies"
1 lamp(s) per luminaire = 12600 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 183
Outreach (from mounting axis to photometric center)= 17 ft
mounting height= 16 ft
number locations= 15, number luminaires= 15
kw all locations= 2.8
- FV400FG HUBBELL CATALOG NO.: MSVA400P-FPxxAR
condefo file "HP08644.IES"
1 lamp(s) per luminaire = 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 1, number luminaires= 1
kw all locations= 0.5
- EV400FG HUBBELL CATALOG NO.: MSVA400P-FPxxAR
condefo file "HP08644.IES"
2 luminaires per location, condefo file "HP08644.IES"
1 lamp(s) per luminaire = 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 6, number luminaires= 12
kw all locations= 5.4

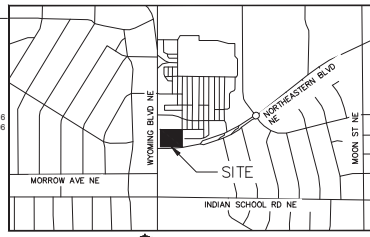
ENGINEER'S SEAL	ALBUQUERQUE WAL-MART NM: 5491-00	DRAWN BY BDD
	SITE PLAN FOR BUILDING PERMIT - B	DATE 11/08/15
		22925PBL.DWG
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100		SHEET / 3
RONALD R. BOHANNON P.E. #7968		JOB # 220092

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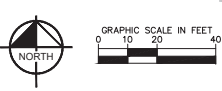
COORDINATE AND DIMENSION INFORMATION

STATE PLANE ZONE: NM-C
 GRID/GROUND COORDINATES: GRID
 TYPE: STANDARD
 HORIZONTAL DATUM: NAD83
 VERTICAL DATUM: NAVD88
 ROTATION ANGLE: 0°00'00.00"
 MATCHES DRAWING UNITS: YES
 CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM
 COMBINED SCALE FACTOR: GRID TO GROUND: 1.000348716
 GROUND TO GRID: 0.999651406
 DISTANCE ANNOTATION: GRID
 BEARING ANNOTATION: GRID
 BASE POINT FOR SCALING AND/OR ROTATION: YES
 ELEVATION TRANSLATION: YES
 ELEVATIONS VALID: YES



PARKING / SITE DATA PER IDO	
PORTION OF PARCEL 5-A WYOMING MALL	
EXISTING ZONING	RESTAURANT W/ DRIVE-THRU
PROPOSED USE	MIXED USE (MXM)
LOT AREA	44,381 SF / 1.02 AC
BUILDING AREA	2,505 SF
FINISHED FLOOR ELEVATION	5382.75
IMPERVIOUS AREA	27,018.28 SF / 0.62 AC
LOT COVERAGE	61.0%
TOTAL PARKING	19 SPACES / 27 SPACES
ACCESSIBLE	1 SPACE / 2 SPACES
MOTORCYCLE	3 SPACE / 2 SPACES
BICYCLE	3 SPACES / 4 SPACES
PARKING REQUIRED FOR DRIVE-THRU RESTAURANT IS 8 SPACES / 1,000 SF INDOOR.	

KEYNOTE LEGEND	
⊙	WHEEL STOPS. SEE DETAIL ON SHEET C7.0
⊙	MOTORCYCLE PARKING AND SIGNAGE. SEE DETAIL ON SHEET C4.3
⊙	BICYCLE PARKING RACK. REFER TO LANDSCAPE SHEET L3.0 FOR DETAILS
⊙	ACCESSIBLE PARKING STALL AND SIGNAGE. SEE DETAIL ON SHEET C4.2
⊙	VAN ACCESSIBLE PARKING STALL AND SIGNAGE. SEE DETAIL ON SHEET C4.2
⊙	BIKEWAY AND PEDESTRIAN DETAILS
⊙	RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCH. PLANS
⊙	DRIVE THRU PRE-MENU BOARD. REFER TO STARBUCKS SIGNAGE VENDOR
⊙	DRIVE THRU ORDER BOARD. REFER TO STARBUCKS SIGNAGE VENDOR
⊙	DRIVE THRU HEIGHT DETECTOR. REFER TO STARBUCKS SIGNAGE VENDOR
⊙	PROPOSED BOLLARD. REFER TO STARBUCKS SIGNAGE VENDOR
⊙	DRIVE THRU SIGNAGE. REFER TO STARBUCKS SIGNAGE VENDOR
⊙	CONCRETE SIDEWALK. SEE DETAIL ON SHEET C7.0
⊙	LANDSCAPE AREA. REFER TO LANDSCAPE PLANS
⊙	PAD-MOUNTED TRANSFORMER. REFER TO MEP PLANS
⊙	PROPOSED CURB RAMP. SEE DETAIL ON SHEET C7.0
⊙	PROPOSED CURB AND GUTTER. SEE DETAIL ON SHEET C7.0
⊙	PAVEMENT STRIPING. SEE DETAILS ON SHEET C4.2
⊙	DRIVE-THRU THANK YOU/EXIT ONLY SIGN. REFER TO STARBUCKS SIGNAGE VENDOR
⊙	MENU BOARD. REFER TO STARBUCKS SIGNAGE VENDOR
⊙	BUILDING OVERHANG. REFER TO ARCH. PLANS
⊙	SITE LIGHTING. REFER TO MEP PLANS
⊙	PROPOSED CAST-IN-PLACE CONCRETE CURB. SEE DETAIL ON SHEET C7.1
⊙	PROPOSED VALLEY GUTTER
⊙	DRIVE-THRU ENTRY PAVEMENT ARROW. STARBUCKS PROTOTYPICAL DETAIL
⊙	"DO NOT ENTER" PAVEMENT MARKING. STARBUCKS PROTOTYPICAL DETAIL
⊙	STOP BAR. STARBUCKS PROTOTYPICAL DETAIL
⊙	ANGLED NO PARKING STRIPING. SEE DETAIL ON SHEET C4.2
⊙	INSTALL DETECTABLE WARNING. SEE DETAIL ON SHEET C7.1
⊙	PROPOSED SCREEN WALL. REFER TO ARCH. PLANS



SITE BENCHMARKS

◆ BENCHMARK #1*
 A.G.R.S. MONUMENT "13_H21"
 NORTHINGS: 1,486,268.784
 EASTING: 1,555,770.607
 ELEVATION: 5489.574 (NAVD 1988)
 GROUND TO GRID FACTOR: 0.999649002
 DELTA ALPHA ANGLE: -0°09'46.08"

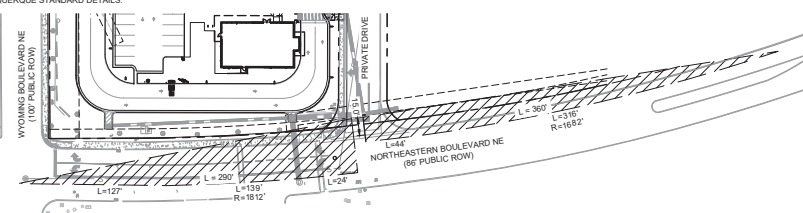
◆ BENCHMARK #2*
 A.G.R.S. MONUMENT "14_H20"
 NORTHINGS: 1,485,141.626
 EASTING: 1,551,771.675
 ELEVATION: 5415.798 (NAVD 1988)
 GROUND TO GRID FACTOR: 0.999653810
 DELTA ALPHA ANGLE: -0°10'13.69"

*SEE DIMENSION CONTROL PLAN, SHEET C4.1, FOR LOCATIONS

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL CURB RADI ARE TO BE 10' OR 3' UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC. DATED OCTOBER 2022.
- ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY OF ALBUQUERQUE STANDARDS.
- PER FEMA MAP NUMBER 35001C0358H DATED AUGUST 16, 2012. THIS SITE IS NOT WITHIN A FLOODPLAIN.
- BUILDING IS FIRE SPRINKLED.
- CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT IS NOT TO BE HELD LIABLE FOR ANY DAMAGE TO THE ASPHALT PAVEMENT.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ALL BROKEN OR CRACKED SIDEWALK ADJACENT TO THE PROPERTY LIMITS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAILS.

LEGEND

	PROPERTY LINE		PROPOSED STANDARD DUTY CONCRETE. SEE DETAIL ON SHEET C7.0.
	ADJACENT PROPERTY LINE		PROPOSED HEAVY DUTY CONCRETE. SEE DETAIL ON SHEET C7.0.
	EASEMENT/SETBACK		PROPOSED STANDARD DUTY ASPHALT. SEE DETAIL ON SHEET C7.0.
	PROPOSED CONCRETE CURB		PROPOSED HEAVY DUTY ASPHALT. SEE DETAIL ON SHEET C7.0.
	EXISTING CURB		PROPOSED LANDSCAPE. SEE LANDSCAPE PLAN.
	PROPOSED PARKING COUNT		ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)
	PROPOSED CONCRETE SIDEWALK. SEE DETAIL ON SHEET C7.0		



CLEAR SIGHT TRIANGLE INSET
 SCALE: 1"=50'

PROJECT NUMBER: PR-2021-005461

Application Number: SI-2023-01170

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCW/JA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date



CAUTION!
 CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

Kimley-Horn
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 1201 3RD AVE SUITE 2500, SEATTLE, WA 98101
 PHONE: (206) 970-1900
 WWW.KIMLEY-HORN.COM



KHA PROJECT
 DATE: 11/03/23
 SCALE: AS SHOWN
 DESIGNED BY: NMP/SP
 DRAWN BY: NMP/SP
 CHECKED BY: LW

SITE KEYNOTE PLAN

STARBUCKS COFFEE COMPANY
 2411 1ST AVENUE, SUITE 1014
 SEATTLE, WASHINGTON 98101
 (206) 318-1575

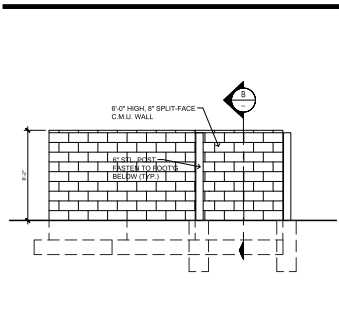


SHEET NUMBER
C4.0

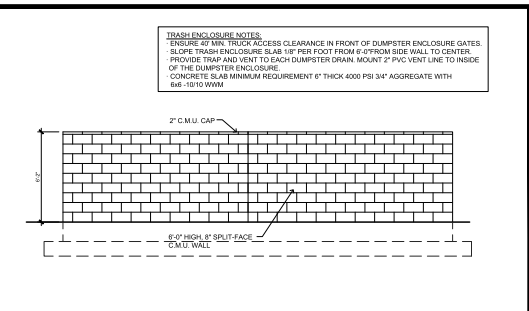
NO.	REVISIONS	DATE

*Environmental Health, if necessary

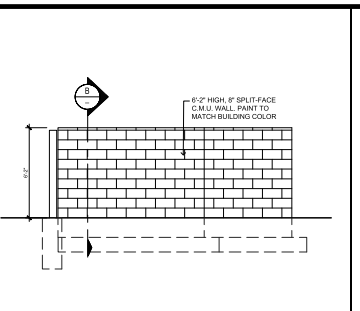
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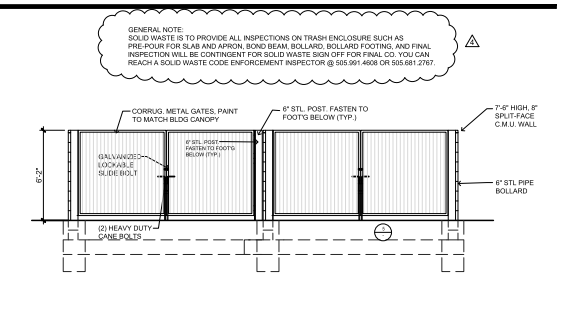
SOUTH ELEVATION SCALE: 1/4" = 1'-0" **F**



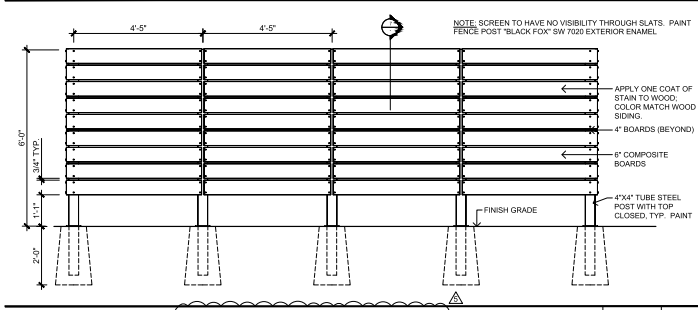
WEST ELEVATION SCALE: 1/4" = 1'-0" **E**



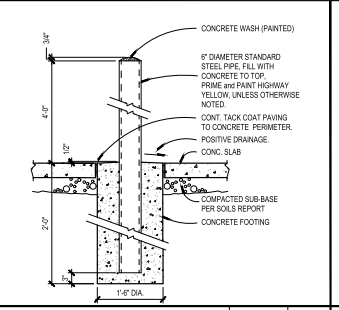
NORTH ELEVATION SCALE: 1/4" = 1'-0" **D**



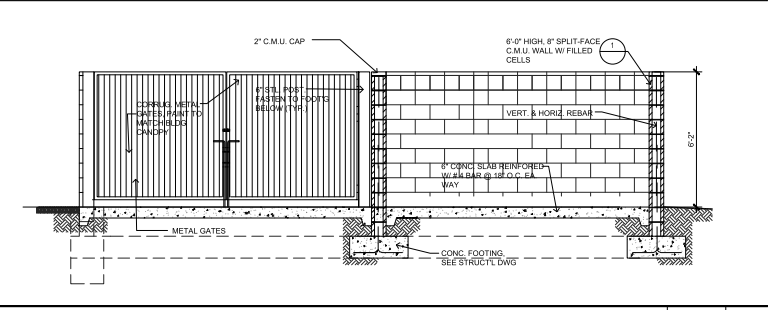
EAST ELEVATION SCALE: 1/4" = 1'-0" **C**



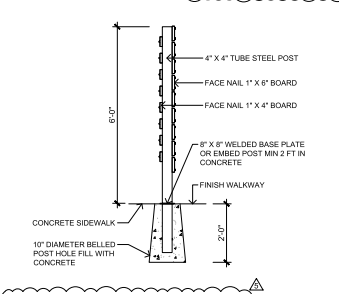
UTILITY SCREEN ELEVATION SCALE: 1/2" = 1'-0" **6**



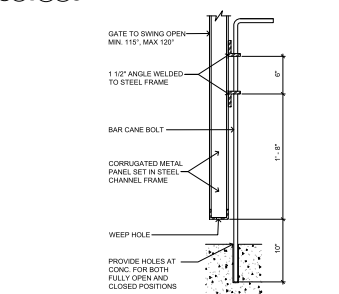
BOLLARD DETAIL SCALE: 1/2" = 1'-0" **3**



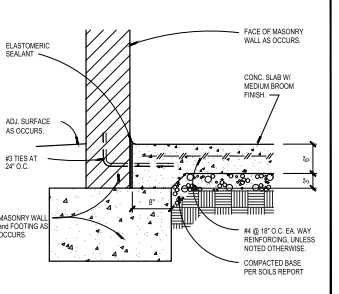
ENCLOSURE SECTION/ELEVATION SCALE: 3/8" = 1'-0" **B**



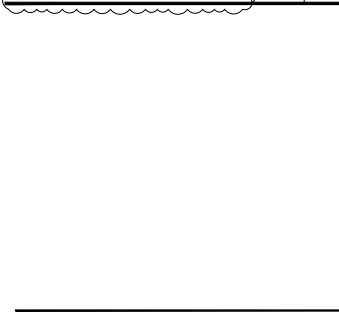
UTILITY SCREEN SECTION SCALE: 1/2" = 1'-0" **7**



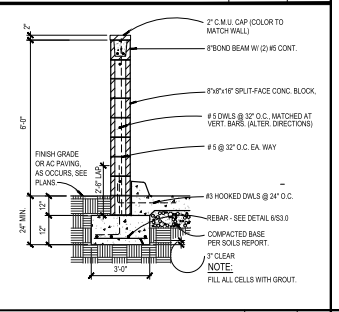
CANE BOLT SECTION SCALE: N.T.S. **5**



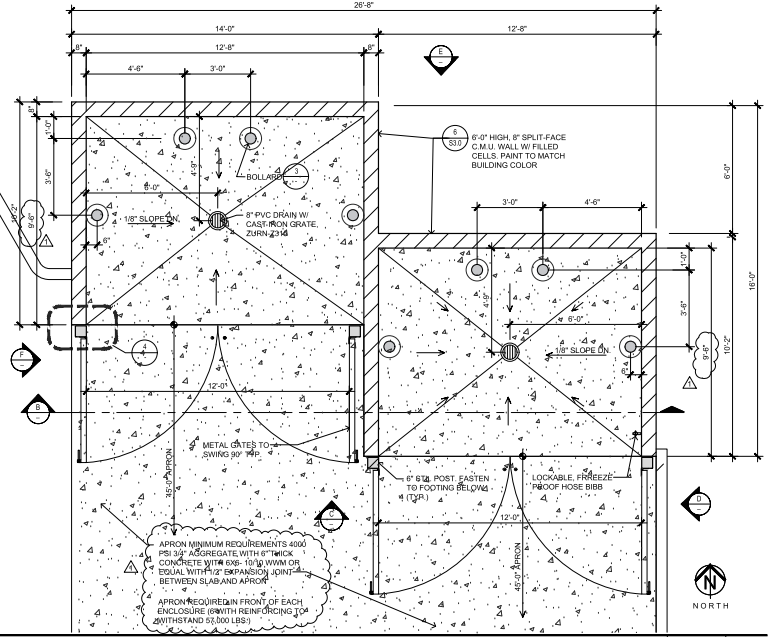
CONC. WHL. STOP @ TRSH ENCL. SCALE: 1" = 1'-0" **2**



GATE HINGE DETAIL SCALE: N.T.S. **4**



TRASH ENCL. WALL DETAIL SCALE: N.T.S. **1**



TRASH ENCLOSURE PLAN VIEW SCALE: 3/8" = 1'-0" **A**

PROJECT: 2222-029 Off Wyoming Mall Proposed Starbucks Pad/Concessions SP-2 Trash Enclosure 10.31.23 (Rev)

DATE: 04.05.23

SCALE: AS NOTED

PROJECT NO.: 22028-10

STATE OF NEW MEXICO REGISTERED ARCHITECT

DESIGN DEVELOPMENT

PROGRESS CONST. DOCS. 06.22.2023

CITY SUBMITTAL 05.15.2023

BID PACKAGE 06.29.2023

CONSTRUCTION ISSUE

RECORD DRAWINGS

SHEET TITLE: TRASH ENCLOSURE PLAN & ELEV.

SHEET: SP-2

ARCHITECT: DAVID HIDALGO ARCHITECT

PROJECT: WYOMING MALL CENTER NEW PAD BUILDING - STARBUCKS COFFEE 2004 WYOMING BOULEVARD ALBUQUERQUE NEW MEXICO

WESTWOOD FINANCIAL CORP 11440 SAN VICENTE BLVD., SUITE 200 LOS ANGELES, CA 90049

REVISION: DATE BY

PLAN CHECK CORRECTION 08.02.23 RMD

TEAM'S REVISION 08.18.23 RMD

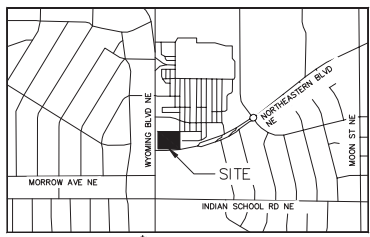
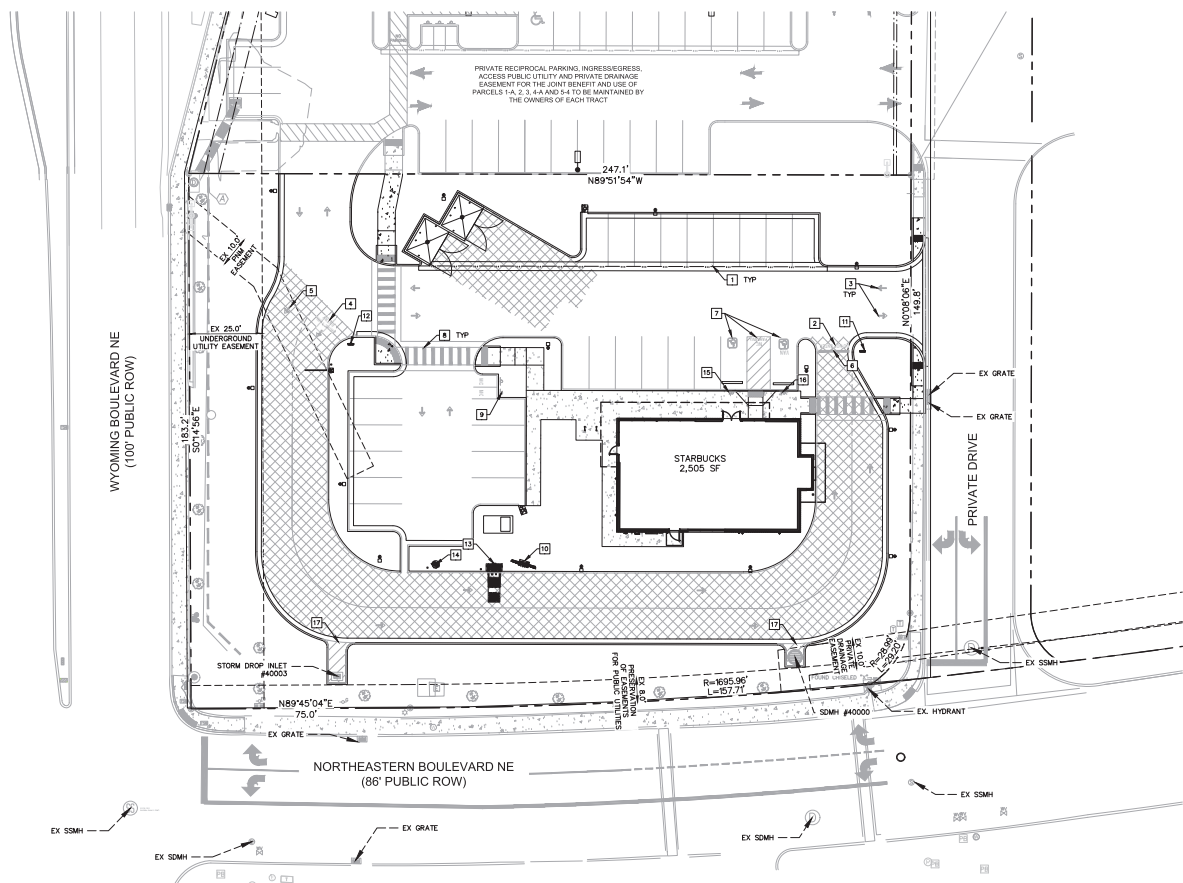
PLAN CHECK CORRECTION 09.11.23 RMD

PLAN CHECK CORRECTION 09.27.23 RMD

ADDENDUM 09.27.23 RMD

ARCHITECT: **DAVID HIDALGO ARCHITECT**
 316 SOUTH FIRST AVENUE
 ARCADIA CA 91006
 TEL: 626-446-4141 FAX: 626-446-2745
 DHidalgo@DHarc.com
 PROJECT: **WYOMING MALL CENTER**
NEW PAD BUILDING - STARBUCKS COFFEE
 2004 WYOMING BOULEVARD
 ALBUQUERQUE NEW MEXICO
 WESTWOOD FINANCIAL CORP
 11440 SAN VICENTE BLVD., SUITE 200
 LOS ANGELES, CA 90049
 REVISION: DATE BY
 PLAN CHECK CORRECTION 08.02.23 RMD
 TEAM'S REVISION 08.18.23 RMD
 PLAN CHECK CORRECTION 09.11.23 RMD
 PLAN CHECK CORRECTION 09.27.23 RMD
 ADDENDUM 09.27.23 RMD
 DRAWN BY: RMD
 PROJECT ARCHITECT: DAVID HIDALGO
 DATE: 04.05.23
 SCALE: AS NOTED
 PROJECT NO.: 22028-10
 STATE OF NEW MEXICO REGISTERED ARCHITECT
 DESIGN DEVELOPMENT
 PROGRESS CONST. DOCS. 06.22.2023
 CITY SUBMITTAL 05.15.2023
 BID PACKAGE 06.29.2023
 CONSTRUCTION ISSUE
 RECORD DRAWINGS
 SHEET TITLE: TRASH ENCLOSURE PLAN & ELEV.
 SHEET: SP-2

This document, together with the contracts and designs presented herein, is an instrument of service, to be used only for the specific purpose and client for which it was prepared. Plans of and engineer's reliance on this document without written authorization and signature by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



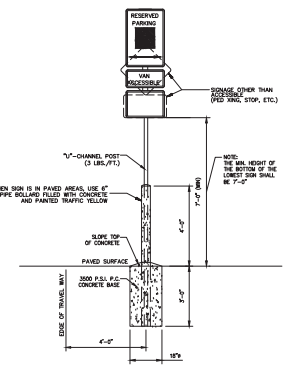
STRIPING AND SIGNAGE LEGEND

1	4" THICK WHITE PAINTED PARKING STRIPING (TYP. ALL STALLS)
2	"DO NOT ENTER" PAVEMENT MARKING, STARBUCKS PROTOTYPICAL DETAIL
3	DIRECTIONAL PAVEMENT ARROW, STARBUCKS PROTOTYPICAL DETAIL
4	DRIVE-THRU ENTRY PAVEMENT ARROW, STARBUCKS PROTOTYPICAL DETAIL
5	BYPASS LANE ENTRY PAVEMENT ARROW, STARBUCKS PROTOTYPICAL DETAIL
6	STOP BAR, STARBUCKS PROTOTYPICAL DETAIL
7	ACCESSIBLE STALL STRIPING, SEE DETAIL THIS SHEET
8	PROMISED WHITE THERMOPLASTIC PEDESTRIAN CROSSWALK STRIPING, 7" WIDE, 6" ON CENTER, LENGTH PER PLAN
9	MOTORCYCLE PARKING SIGNAGE, SEE DETAIL THIS SHEET
10	MENU BOARD, SEE STARBUCKS SIGNAGE VENDOR FOR DETAILS
11	DRIVE-THRU THANK YOU/EXIT ONLY SIGN, SEE STARBUCKS SIGNAGE VENDOR FOR DETAILS
12	DRIVE-THRU SIGNAGE, SEE STARBUCKS SIGNAGE VENDOR FOR DETAILS
13	DRIVE-THRU ORDER BOARD, SEE STARBUCKS SIGNAGE VENDOR FOR DETAILS
14	DRIVE-THRU PRE-MENU BOARD, SEE STARBUCKS SIGNAGE VENDOR FOR DETAILS
15	ACCESSIBLE PARKING STALL SIGNAGE, SEE DETAIL THIS SHEET
16	VAN ACCESSIBLE PARKING STALL SIGNAGE, SEE DETAIL THIS SHEET
17	ANGLED NO PARKING STRIPING, SEE DETAIL THIS SHEET

NOTE: CONTRACTOR TO WORK WITH STARBUCKS SIGN VENDOR TO ORDER STENCILS FOR PROTOTYPICAL SITE STRIPING.

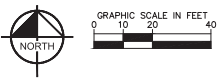


MOTORCYCLE PARKING SIGNAGE
N.T.S.



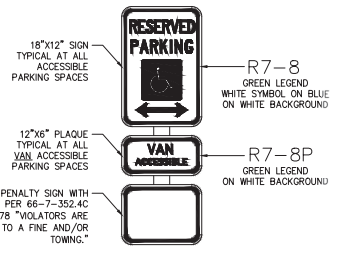
SINGLE POST

- NOTES:
- ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - GALVANIZED SQUARE TUBE
POST TUBES - 2" x 2" x 1/8" 12ga
POST TUBE SHALL MEET ASTM A1011 GRADE 50.
POST TUBE GALVANIZED AS PER ASTM A653 GRADE 80.

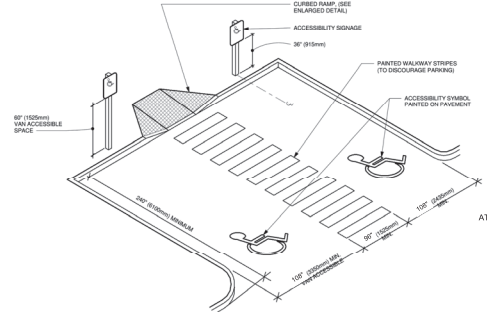


- SITE BENCHMARKS**
- BENCHMARK #11*
A.G.R.S. MONUMENT "13_H21"
NORTHING: 1,495,255.734
EASTING: 1,555,770.607
ELEVATION: 5459.574 (NAVD 1988)
GROUND TO GRID FACTOR: 0.999645002
DELTA ALPHA ANGLE: -0°09'46.08"
 - BENCHMARK #2*
A.G.R.S. MONUMENT "14_H20"
NORTHING: 1,495,141.626
EASTING: 1,551,771.875
ELEVATION: 5415.796 (NAVD 1988)
GROUND TO GRID FACTOR: 0.999653810
DELTA ALPHA ANGLE: -0°10'13.69"
- *SEE DIMENSION CONTROL PLAN, SHEET C4.1, FOR LOCATIONS

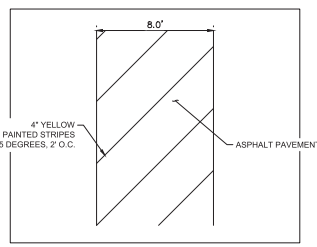
ACCESSIBLE PARKING SIGN



ACCESSIBLE PARKING SIGN
N.T.S.



ACCESSIBLE PARKING - DOUBLE



ANGLED NO PARKING STRIPING DETAIL

NO.	REVISIONS	DATE	BY

Kimley-Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
1201 3RD AVE SUITE 2500, SEATTLE, WA 98101
WWW.KIMLEY-HORN.COM



KIMLEY-HORN PROJECT
DATE: 07/27/2023
SCALE: AS SHOWN
DESIGNED BY: NW/SPJ
DRAWN BY: NW/SPJ
CHECKED BY: LUV

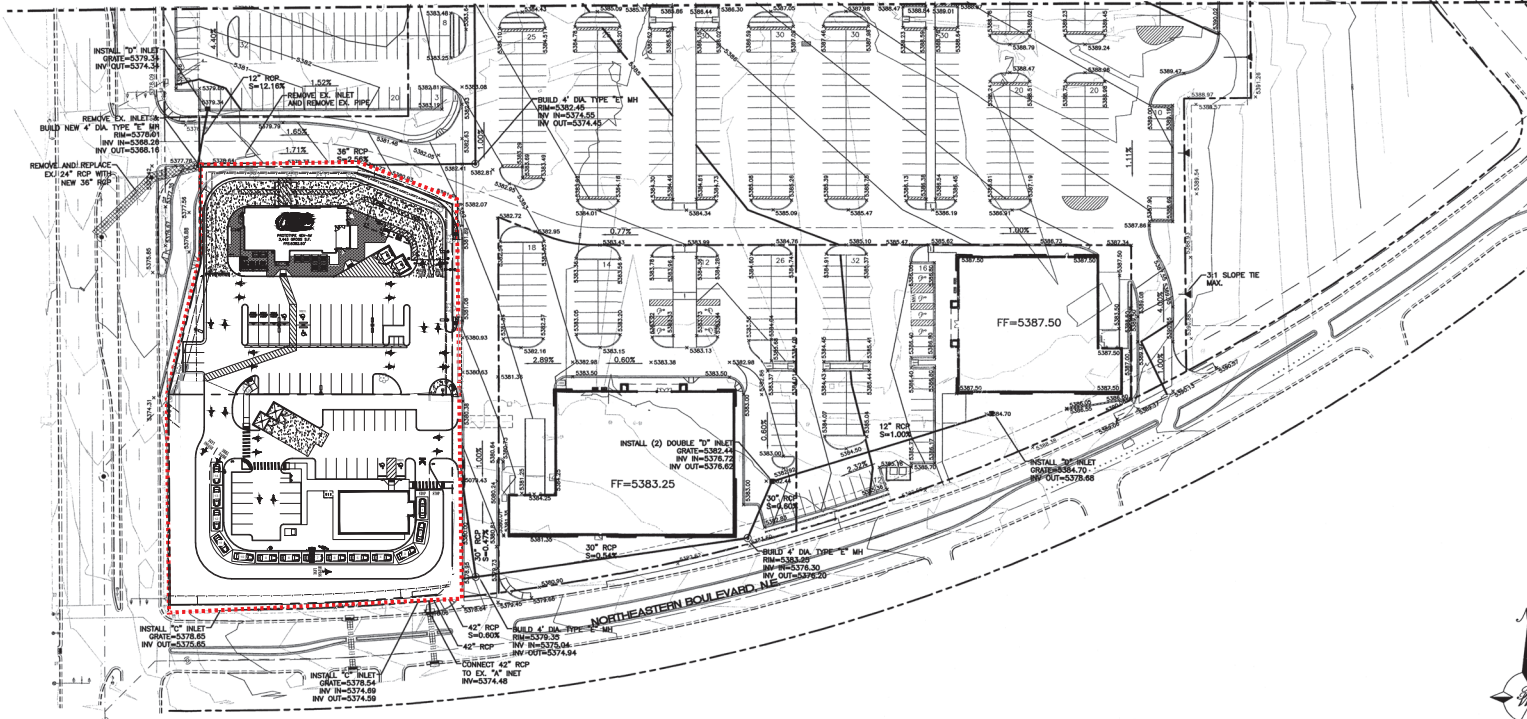
STRIPING AND SIGNAGE PLAN

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 316-1575



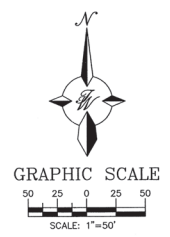
SHEET NUMBER
C4.2


MATCH LINE SEE
SHEET 5



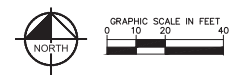
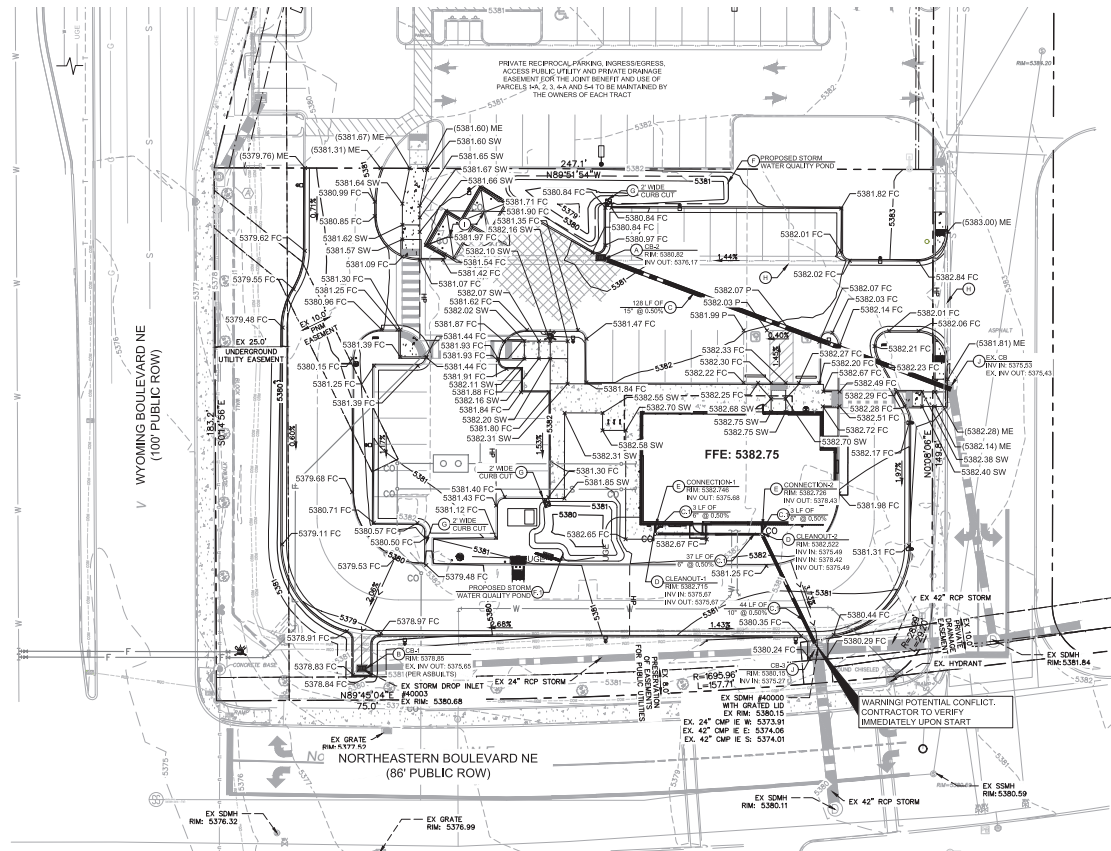
CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

- LEGEND**
- EXISTING CURB
 - FUTURE IMPROVEMENTS
 - EXISTING BUILDING
 - PROPOSED EXPANSION
 - PROPOSED CURB
 - BOUNDARY LINE
 - GRADE CHANGE
 - x 5257.73 PROPOSED GRADE ELEVATION
 - x 5257.18 EXISTING GRADE ELEVATION

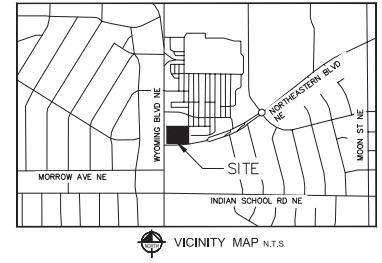


ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #17868	ALBUQUERQUE WAL-MART NM: 5491-00	DRAWN BY: BDC DATE 9/08/05
	GRADING AND DRAINAGE PLAN - B	22920RE-2-15-05X SHEET # 6 JOB # 220082
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		

This document, together with the concepts and design treatment therein, is an instrument of service, to be retained only for the specific purpose and client for which it was prepared. Issues of this document without written authorization and signature by the engineer and/or architect, shall be without liability to the engineer and/or architect.



- LEGEND**
- PROPOSED PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - - - - - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED FLOW ARROW WITH SLOPE
 - PROPOSED SPOT ELEVATION
 - EXISTING STORM INLET
 - PROPOSED STORM MANHOLE
 - PROPOSED STORM INLET
 - PROPOSED STORM CLEANOUT
 - PROPOSED STORM CLEANOUT
 - GRADE BREAK
 - HP HIGH POINT
 - P TOP OF PAVEMENT
 - FC FACE OF CURB (AT FLOWLINE)
 - FL FLOW LINE
 - SW TOP OF SIDEWALK
 - ME MATCH EXISTING ELEVATION
 - TO TOP OF GRATE
 - PROPOSED RIDGE



- DRAINAGE KEYNOTES**
- 1. NYLOPLAST 1\"/>

GRADING AND DRAINAGE NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY/VAI STANDARDS AND SPECIFICATIONS.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
3. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES, MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE. IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER, PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
8. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
9. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXISTING BUILDING FOOTPRINT DIMENSIONS.
10. CONTRACTOR SHALL REFER TO FINAL GEOTECH REPORT FOR EROSION SUBGRADE AND SITE PREPARATION REQUIREMENTS.

11. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
12. ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
13. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 2% LONGITUDINAL, SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
14. ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
15. REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
16. ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.
17. SLOPE SIZES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY OF ALBUQUERQUE SPECIFICATION 1012) WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION CRITERIA" CONSTRUCTION GENERAL PERMIT 2.2.14.B).
18. REFER TO CITY STANDARD DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND FRENCH COMPACTOR REQUIREMENTS.
19. CONTRACTOR RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS, INSTALLATION, AND UTILITY CROSSINGS.



INTRODUCTION AND PROJECT DESCRIPTION:

THE PROJECT SITE IS LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF WYOMING BOULEVARD NE AND NORTHEASTERN BOULEVARD NE IN THE CITY OF ALBUQUERQUE, NM. THE SITE IS ZONED AND PLANNED FOR COMMERCIAL DEVELOPMENT, AND THE USE PROPOSED IS A RESTAURANT WITH DRIVE-THROUGH. AS SHOWN BY MAP #2001020269 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BENTONVILLE COUNTY, NEW MEXICO DATED AUGUST 16, 2012, THE SITE IS LOCATED IN ZONE X AND IS NOT WITHIN A FLOOD HAZARD AREA.

METHODOLOGY:

CHAPTER 8 OF THE COA DPM WAS UTILIZED TO CALCULATE THE PEAK FLOW AND RUNOFF VOLUME FOR 10-YEAR AND 100-YEAR, 24-HOUR STORM EVENTS. THE SITE IS LOCATED IN PRECIPITATION ZONE 3. EXISTING BASIN INFORMATION WAS OBTAINED BY SITE AERIALS AND TOPOGRAPHIC SURVEY.

EXISTING CONDITIONS:

THE SITE HISTORICALLY WAS FULLY DEVELOPED, CONTAINED A 11,637 SF BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING. THE SITE IN THE INTERIM CONDITION IS A MASS GRADED SITE WITH NO DEVELOPMENT. THE SITE HISTORICALLY AND IN THE INTERIM CONDITION SURFACE FLOWS TO THE SOUTH TO TWO EXISTING INLETS ON THE SITE, ONE ON THE WEST SIDE AND ONE ON THE EAST SIDE. THE EXISTING STORM DRAIN INLETS DISCHARGE INTO THE PUBLIC STORM DRAIN SYSTEM IN NORTHEASTERN BOULEVARD NE AND WYOMING BOULEVARD NE.

PROPOSED CONDITIONS:

THE PROJECT IMPROVEMENTS WILL INCLUDE INSTALLATION OF A RESTAURANT WITH DRIVE-THROUGH, CUSTOMER PARKING, SITE DRIVEWAYS, AND LANDSCAPE AREAS. THE PROJECT SITE GENERATES A PEAK FLOW OF 3.54 CFS IN THE 100-YEAR, 24-HOUR STORM EVENT. THE PROPOSED DEVELOPMENT WILL DECREASE THE AMOUNT OF IMPERVIOUS COVER WHEN COMPARED TO THE EXISTING CONDITIONS AND WILL THIS DECREASE THE PEAK DISCHARGE GENERATED BY THE SITE.

THE REQUIRED SWQ VOLUME IS 0.28 INCHES PER SF OF IMPERVIOUS AREA= 0.26(11 FT) 12 IN= 27.01 SF= 585 CF. THE SITE HAS PROVIDED APPROXIMATELY 1,458 CF OF SWQ IN DEPRESSIONED LANDSCAPE AREAS ON THE SITE.

CROSSINGS:

THE PROPOSED DEVELOPMENT WILL NOT INCREASE RUNOFF FROM THE SITE NOR WILL IT CHANGE EXISTING DRAINAGE PATTERNS. THE SITE WILL DISCHARGE TO AN EXISTING STORM SEWER ON NORTHEASTERN BOULEVARD NE.

WEIGHTED E CALCULATIONS (EXISTING CONDITION)

Basin	Area (SF)	Area (Ac)	Treatment				100 Year		10 Year							
			Acres	%	Acres	%	Acres	%	(cfs)	(cfs)						
DA 1	38,768	0.89	0.00	0%	0.00	0%	0.03	3%	0.86	97%	2.53	0.19	3.96	1.60	0.12	2.47
DA 2	5,663	0.13	0.00	0%	0.00	0%	0.13	100%	0	0%	1.09	0.01	0.41	1.64	0.02	0.37

WEIGHTED E CALCULATIONS (DEVELOPED CONDITION)

Basin	Area (SF)	Area (Ac)	Treatment				100 Year		10 Year							
			Acres	%	Acres	%	Acres	%	(cfs)	(cfs)						
DA 1	0	0.75	0.00	0%	0.00	0%	0.16	21%	0.59	79%	2.26	0.14	3.16	1.40	0.09	1.93
DA 2	0	0.18	0.00	0%	0.00	0%	0.18	100%	0.00	0%	1.09	0.02	0.57	0.52	0.01	0.30
DA 3	0	0.11	0.02	18%	0.00	0%	0.06	55%	0.03	27%	1.42	0.01	0.36	0.77	0.01	0.20

Excess Precipitation E (in)

Zone	3	100 Year	10 Year
Ep	0.67	0.38	0.34
Eb	0.86	0.34	0.29
Ec	1.09	0.52	0.37
Ed	2.58	1.64	0.49

Peak Discharge (cfs/acre)

Zone	3	100 Year	10 Year
Qa	3.64	1.64	0.51
Qb	2.49	1.07	0.34
Qc	3.17	1.69	0.51
Qd	4.49	2.81	0.84

SWQ VOL

Impervious Area (sf)	27,018
SWQ VOL Required (CF)	585
SWQ VOL Provided (CF)	1,300

*0.26 in per impervious SF

FLOODPLAIN NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 35001C0356H, WHICH BEARS AN EFFECTIVE DATE OF AUGUST 16, 2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SITE BENCHMARKS

- 1. BENCHMARK #1*
A.G.R.S. MONUMENT "13_H21"
NORTHING: 1,436,238.734
EASTING: 1,555,770.607
ELEVATION: 5499.574 (NAVD 1988)
GROUND TO GRID FACTOR: 0.99964802
DELTA ALPHA ANGLE: -0°09'46.88"
- 2. BENCHMARK #2*
A.G.R.S. MONUMENT "14_H20"
NORTHING: 1,495,141.626
EASTING: 1,551,771.875
ELEVATION: 5415.798 (NAVD 1988)
GROUND TO GRID FACTOR: 0.99965310
DELTA ALPHA ANGLE: -0°10'13.68"

*SEE DIMENSION CONTROL PLAN, SHEET CS.1, FOR LOCATIONS



DATE: _____
REVISIONS: _____
No. _____

Kimley»Horn

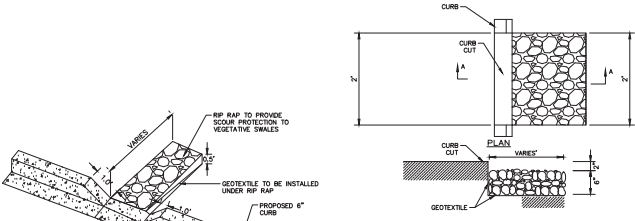
LINDA A. WILCOX
PROFESSIONAL ENGINEER

KHA PROJECT: _____
DATE: 05/01/2023
SCALE: AS SHOWN
DESIGNED BY: MHSB
DRAWN BY: MHSB
CHECKED BY: LW

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1915

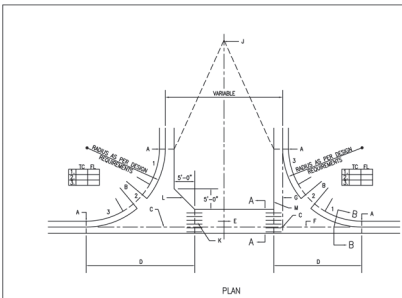
SHEET NUMBER
C6.0

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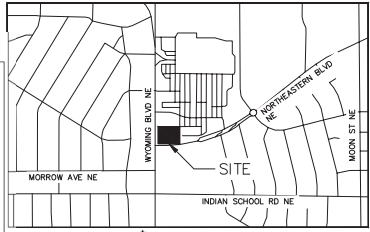
NOTES:
 1. THE FILTER FABRIC SHALL MEET THE REQUIREMENTS IN MATERIAL SPECIFICATIONS 549 GEOTEXTILE TABLE I OR 2, CLASS I, A, OR B.
 2. THE RIP RAP SHALL BE PLACED ACCORDING TO CONSTRUCTION SPECIFICATION 61 LOOSE ROCK RIPRAP. THE ROCK MAY BE EQUIPMENT PLACED.

CURB CUT
 N.T.S.



GENERAL NOTES:
 1. THESE DIMENSIONS ARE TO CENTER OF GUTTER OR TO THE CURB TOP OF CURB CUTS AND AS INDICATED BY DIMENSIONS UNLESS OTHERWISE NOTED.
 2. THE GUTTER SHALL BE INSTALLED WITH A 1/4" SLOPE TO THE CURB CUT.
 3. THE GUTTER SHALL BE REINFORCED WITH A 4" x 4" x 1/2" REINFORCING BARS.
 4. THE GUTTER SHALL BE INSTALLED WITH A 1/4" SLOPE TO THE CURB CUT.
 5. THE GUTTER SHALL BE INSTALLED WITH A 1/4" SLOPE TO THE CURB CUT.
 6. THE GUTTER SHALL BE INSTALLED WITH A 1/4" SLOPE TO THE CURB CUT.
 7. THE GUTTER SHALL BE INSTALLED WITH A 1/4" SLOPE TO THE CURB CUT.
 8. THE GUTTER SHALL BE INSTALLED WITH A 1/4" SLOPE TO THE CURB CUT.
 9. THE GUTTER SHALL BE INSTALLED WITH A 1/4" SLOPE TO THE CURB CUT.
 10. THE GUTTER SHALL BE INSTALLED WITH A 1/4" SLOPE TO THE CURB CUT.

CONSTRUCTION NOTES:
 A. FOR CURB DETAILS, SEE DIMS. 2414, 2440, 2441.
 B. FOR RAMP DETAILS, SEE DIMS. 2414, 2440, 2441.
 C. INTERSECTION OF PAVEMENT, SEE NOTE 1.
 D. SURFACE AND CURB TO BE FINISHED.
 E. DIRECTION OF FLOW.
 F. FINISHING.
 G. PROPOSED FINISHING OF 1 1/2" INCH, SEE NOTE 1.
 H. 6" x 6" x 1/2" NO. 6 GAL. WIRE MESH.
 I. WITH CURB CUTS, THE PROPOSED FINISHING SHALL BE SPECIFIED ON PLAN, TO BE PROVIDED BY THE OWNER.
 J. NO. 6 WIRE 3/4" LONG AT 18" O.C.
 K. ALTERNATE A, WITH FILLER AS PER PLAN.
 L. ALTERNATE A, WITH FILLER AS PER PLAN.
 M. ALTERNATE A, WITH FILLER AS PER PLAN.
 N. OWNER TO VERIFY HEIGHT OF CURB CUTS AND TO VERIFY TO MEET PLAN.
 O. IF OTHER NOTES SPECIFY A 1/2" RAMP WITH FINISHING TO 1/2" WITH FINISH, FINISH TO 1/2" WITH FINISH.



VICINITY MAP N.T.S.

NO.	REVISIONS	DATE	BY

Kimley-Horn
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 1201 3RD AVE SUITE 2500, SEATTLE, WA 98101
 WWW.KIMLEY-HORN.COM
 WWW.VIA.KIMLEY-HORN.COM



KEY PROJECT
 DATE: 07/27/2023
 SCALE: AS SHOWN
 DESIGNED BY: NW/SPJ
 DRAWN BY: LJV
 CHECKED BY: LJV

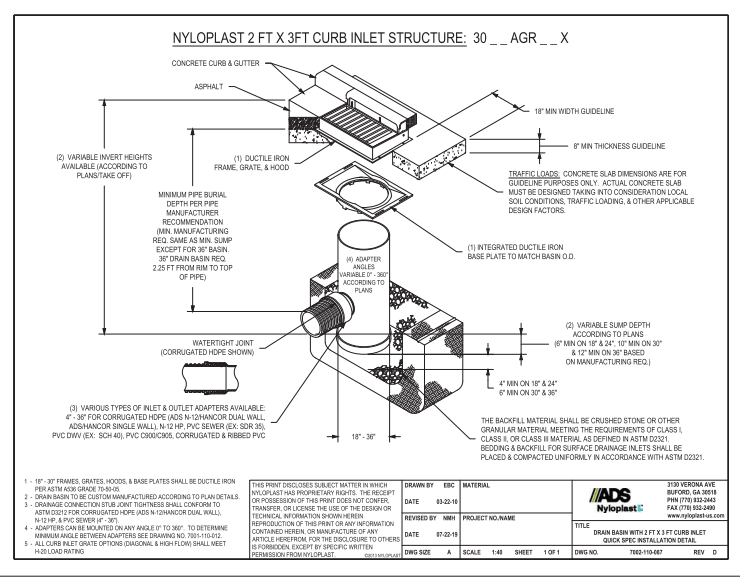
DRAINAGE DETAILS

STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 316-1575



CAUTION!
 CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

SHEET NUMBER
C5.1



NYLOPLAST 2 FT X 3 FT CURB INLET STRUCTURE: 30__AGR__X

CONCRETE CURB & GUTTER
 ASPHALT
 18" MIN WIDTH GUIDELINE
 8" MIN THICKNESS GUIDELINE
 (1) DUCTILE IRON FRAME, GRATE, & HOOD
 TRAFFIC LOADS. CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS.
 (1) INTEGRATED DUCTILE IRON BASE PLATE TO MATCH BASIN D.
 (2) VARIABLE SUMP DEPTH ACCORDING TO PLANS (8" MIN ON 18" x 24" & 12" MIN ON 30" x 36" ON MANUFACTURING REQ.)
 4" MIN ON 18" x 24" & 6" MIN ON 30" x 36"
 THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS 1, CLASS 1, OR CLASS II MATERIAL AS DEFINED IN ASTM D6331. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D3021.
 (2) VARIABLE INVERT HEIGHTS AVAILABLE ACCORDING TO PLAN/STAKE OFFS
 MINIMUM PIPE BURIAL DEPTH PER PIPE MANUFACTURERS RECOMMENDATION (MIN. MANUFACTURING REQ. SAME AS MIN. SWAMP EXCEPT FOR 30" BASIN 30" DRAIN BASIN REQ. 2.25 FT FROM RIM TO TOP OF PIPE)
 (3) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE 4"-36" FOR CORRUGATED HOPE (ADS N-12 HANGOR DUAL WALL, HANGOR SINGLE WALL, N-12 HP, PVC SEWER (EX. SCR 35), PVC DRY (EX. SCR 45), PVC COUPLERS, CORRUGATED & REBBER PVC
 (4) ADAPTER ANGLES VARIABLY 30° ACCORDING TO PLANS
 (5) WATER TIGHT JOINT (CORRUGATED HOPE SHOWN)

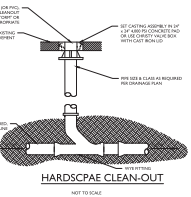
- 1" - 30" FRAMES, GRATES, HOODS, & BASE PLATES SHALL BE DUCTILE IRON PER ASTM A563 GRADE 70-50.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.
- DRAINAGE CONNECTION TUBING JOINT TIGHTNESS SHALL CONFORM TO ASTM D1585 FOR CORRUGATED HOPE AND N-12 HANGOR DUAL WALL.
- FOR 18" PVC 3000# FT. 30".
- ADAPTERS CAN BE INSTALLED ON ANY ANGLE UP TO 30° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DIMENSION 10. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DIMENSION 10. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DIMENSION 10.
- ALL CURB RAMP GRATE OPTIONS (DIAGONAL, HORIZONTAL, SHALL MEET HIGH LOAD RATING.

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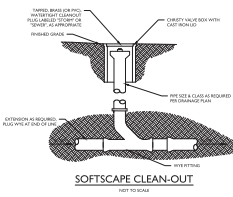
ADS Nyloplast
 3100 VERONA AVE
 SUFORD, GA 30084
 PHONE: 770-393-2440
 FAX: 770-393-2440
 WWW.NYLOPLAST.COM

QUICK SPEC INSTALLATION DETAIL

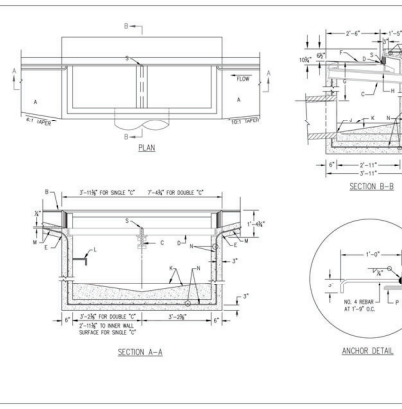
DWG SIZE: A SCALE: 1/4" = 1'-0" SHEET: 1 OF 1 DWG NO.: 1000-10487 REV: D



HARDSCAPE CLEAN-OUT
 NOT TO SCALE

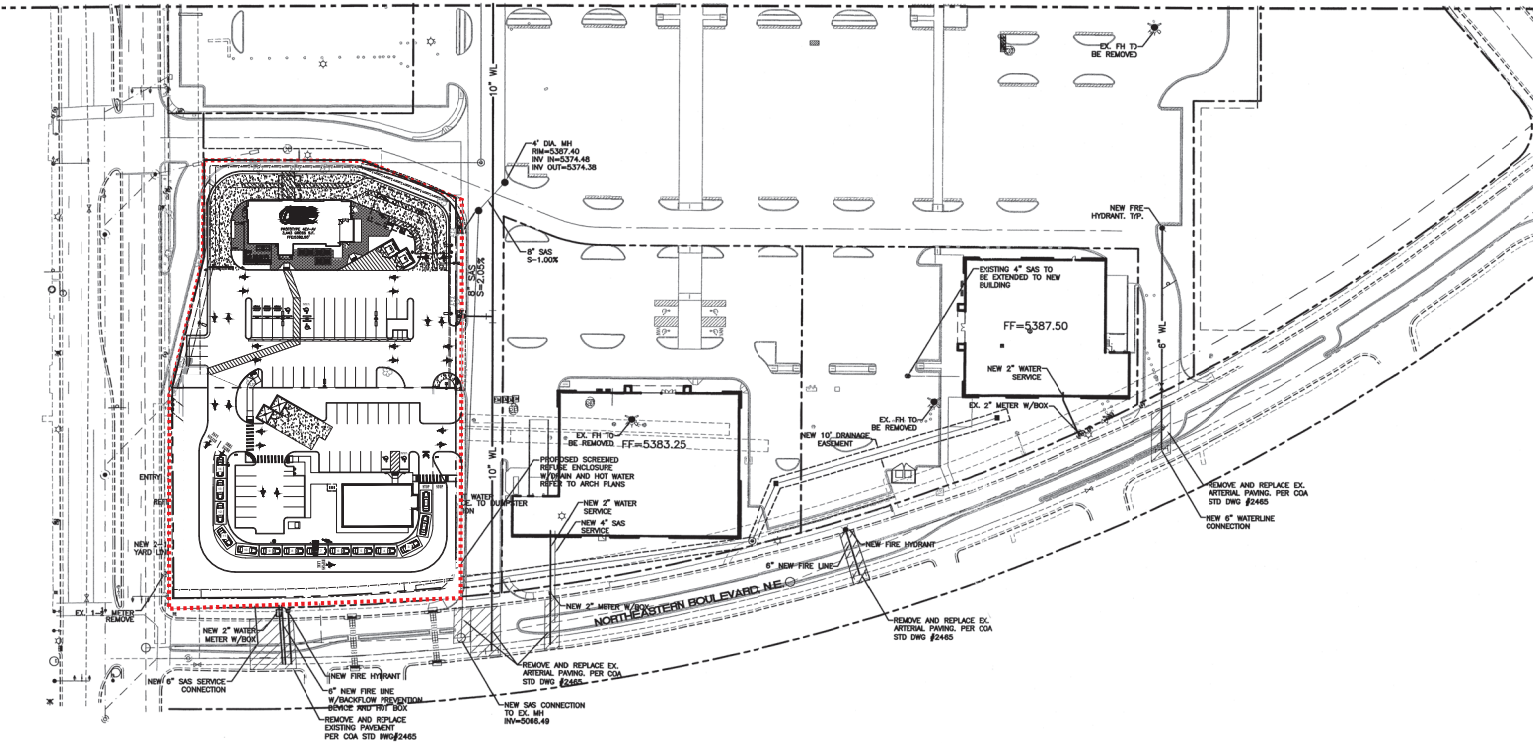


SOFTSCAPE CLEAN-OUT
 NOT TO SCALE

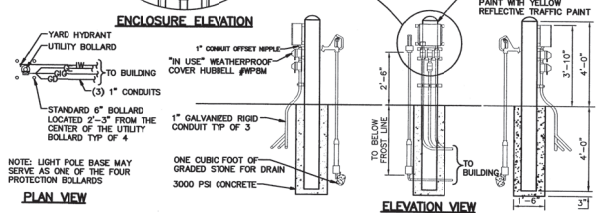
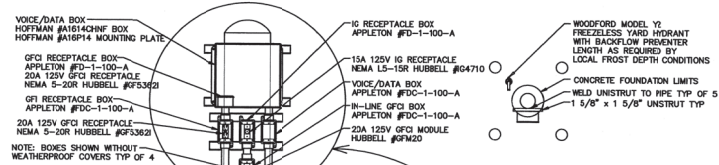


GENERAL NOTES:
 1. FOR SLOPE GRADES THAT SHOW INLET LOCATE CENTER POINT AND USE ONE END WALL TO FORM AREA SINGLE GUTTER INLET.
 2. FOR SLOPE ALLEY GUTTER TRANSITION, SEE DIMS. 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 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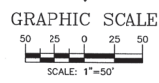
MATCH LINE SEE SHEET 7



- LEGEND**
- EXISTING SD MANHOLE
 - EXISTING INLET
 - EXISTING SAS MANHOLE
 - EXISTING METER
 - EXISTING VALVE W/BOX
 - EXISTING FIRE HYDRANT
 - EXISTING PEDESTAL
 - EXISTING POWER POLE WITH FEED
 - EXISTING POWER POLE
 - EXISTING PULL BOX
 - EXISTING GAS VALVE
 - EXISTING BOLLARD
 - EXISTING PARKING LOT LIGHT
 - PROPOSED PARKING LOT LIGHT
 - PROPOSED CLEAN OUT
 - PROPOSED DOUBLE CLEAN OUT
 - EX. ONE --- EXISTING OVERHEAD UTILITIES
 - EX. TWO --- EXISTING UNDERGROUND UTILITIES
 - EX. GAS --- EXISTING GAS
 - EX. 8\"/>



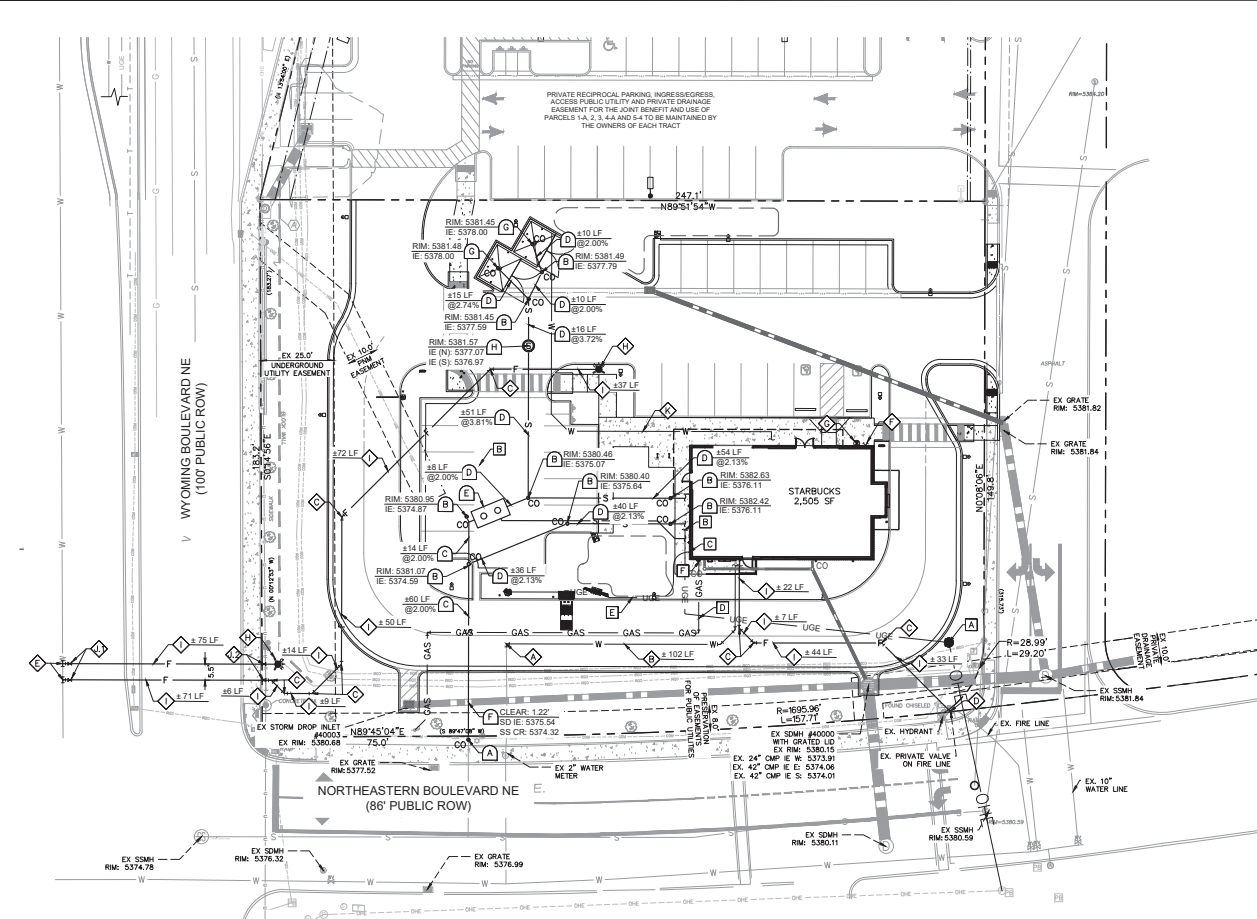
REMOTE GARDEN CENTER UTILITY BOLLARD
NIS



NO.	DATE	REVISIONS	BY

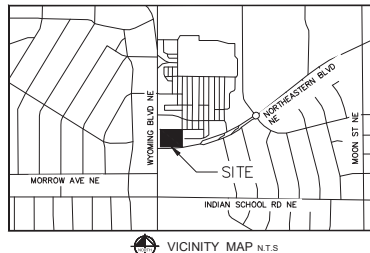
ENGINEER'S SEAL	ALBUQUERQUE WAL-MART NM: 5491-00	DRAWN BY: SDG
	MASTER UTILITY PLAN - B	DATE: 10-13-05
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET #
RONALD P. BOHANNON P.E. #7668	8	JOB # 220092

THIS DOCUMENT, TOGETHER WITH THE COMPLETE AND NEAREST PRECEDING SHEETS, IS AN INSTRUMENT OF SERVICE. IT IS HEREBY CERTIFIED THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF THE ENGINEER'S KNOWLEDGE AND BELIEF. THE ENGINEER HAS CONDUCTED A VISUAL GENERAL VERIFICATION OF THE INFORMATION CONTAINED HEREIN AND HAS NOT CONDUCTED A FIELD SURVEY. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL STANDARD OF CARE. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL STANDARD OF CARE. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL STANDARD OF CARE.



UTILITY LEGEND

---	PROPERTY LINE	◆	PROPOSED FIRE HYDRANT
- - - -	EXISTING EASEMENT	●	PROPOSED WATER METER
- · - · -	PROPOSED EASEMENT	○	PROPOSED SEWER CLEANOUT
- · - · -	PROPOSED SANITARY SEWER LINE	○	PROPOSED WATER VALVE
- · - · -	PROPOSED WATER LINE	○	PROPOSED TEE
- · - · -	PROPOSED FIRE WATER LINE	○	PROPOSED BEND
- · - · -	PROPOSED UNDERGROUND GAS LINE	○	PROPOSED SEWER CLEAN OUT
- · - · -	PROPOSED UNDERGROUND ELECTRIC LINE	○	EXISTING POWER POLE
- · - · -	PROPOSED UNDERGROUND TELEPHONE LINE	○	EXISTING FIRE HYDRANT
- · - · -	PROPOSED STORM DRAINAGE LINE	○	EXISTING SANITARY SEWER MANHOLE
- · - · -	EXISTING STORM DRAINAGE LINE	○	EXISTING SIGN
- · - · -	EXISTING OVERHEAD POWER LINE	○	THRUST BLOCK
- · - · -	EXISTING GAS LINE	○	SANITARY SEWER MANHOLE
- · - · -	EXISTING WATER LINE	○	
- · - · -	EXISTING SANITARY SEWER LINE	○	

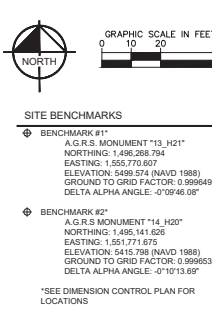


DRY UTILITY KEYNOTE LEGEND

A	PROPOSED POWER POLE. REFER TO MEP PLANS
B	PRIMARY ELECTRICAL SERVICE. REFER TO MEP PLANS. CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER (PJM) TO CONFIRM NEW SERVICE LAYOUT
C	SECONDARY ELECTRICAL SERVICE. REFER TO MEP PLANS
D	GAS SERVICE. CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER (NEW MEXICO GAS COMPANY) TO CONFIRM NEW SERVICE LAYOUT
E	CONDUIT TO MENU BOARDS. REFER TO MEP PLANS
F	GAS METER
G	GAS CONNECTION. CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER (NEW MEXICO GAS COMPANY) TO CONFIRM NEW SERVICE CONNECTION

SEWER KEYNOTE LEGEND

A	CONNECT TO EXISTING 8" SEWER SERVICE WITH 8" x 6" REDUCER AND CLEANOUT
B	SEWER CLEANOUT. SEE SHEET C7.1
C	6" SEWER PIPE. LENGTH AND SLOPE PER PLAN. INSTALL TRENCH BEDDING AND BACKFILL PER ABCOWA STANDARD SPECIFICATION SECTION 700
D	4" SEWER PIPE. LENGTH AND SLOPE PER PLAN. INSTALL TRENCH BEDDING AND BACKFILL PER ABCOWA STANDARD SPECIFICATION SECTION 700
E	GREASE INTERCEPTOR WITH 2" VENT LINE TO BUILDING SHELL. REFER TO MEP PLANS
F	STORM CROSSING. ELEVATIONS PER PLAN
G	ZURN CAST IRON CLEANOUT (MODEL #21400-821) WITH 8" CAST IRON DRAIN GRATE (MODEL #2315)
H	SANITARY SEWER TRAP MANHOLE PER ABCOWA STANDARD DRAWING 2120



- UTILITY NOTES**
- SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
 - REFER TO CITY STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
 - REFER TO ARCHITECTURAL REALM PLANS FOR LOCATION AND SIZING OF SLEEVES FOR FRANCHISE UTILITIES, IRRIGATION, ETC.
 - CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
PRIVATE: PVC SDR 35 PER ASTM D 3034
WATER LINES SHALL BE AS FOLLOWS:
PUBLIC: PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 50)
PRIVATE (LARGER THAN 3 INCHES): PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 50)
PRIVATE (3 INCHES OR SMALLER): TYPE "K" SOFT COPPER, ASTM B88 OR PVC DR-18 (C-900) PER ASTM D 2241 OR ADS POTABLE WATER SERVICE TUBING (POLYFLEX - CTS PE4710)
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS AND INSTALLATION OF UTILITIES AND WITH NMD GUIDELINES FOR UTILITY CROSSINGS.
 - IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO DEFLECT ELECTRIC, GAS, CABLE, AND TELEPHONE CONDUIT AND PIPING AS REQUIRED TO AVOID UTILITY CONFLICTS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY CODES AND/OR UTILITY SERVICE COMPANIES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS IN REGARDS TO TAPS, HYDRANTS, VALVES, ETC.
- CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY STANDARDS.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET COVER ON ALL WATER LINES OR AS PER CITY REQUIREMENTS.
- POLYFLEX BY ADS TO BE USED IN PLACE OF COPPER WHERE ALLOWED BY CITY. CONTRACTOR TO VERIFY WITH CITY WHETHER IT CAN BE USED AND VERIFY WITH MEP REQUIRED INTERNAL DIAMETER FOR SUFFICIENT WATER FLOW TO BUILDING.
- PROPOSED FIRE LINES IN WYOMING ARE DESIGNATED AS PUBLIC WATER LINES FROM THE CONNECTION AT THE MAIN TO THE PRIVATE VALVE ON THE PROPERTY LINE. THE REMAINDER OF THE WATER LINES ON SITE ARE PRIVATE.
- COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-269-3458.
- COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-269-3439.

WATER KEYNOTE LEGEND

◆	CONNECT TO EXISTING 2.5" DOMESTIC WATER LINE PER ABCOWA STD. DWG. 2301
◆	2.5" DOMESTIC WATER LINE. INSTALL TRACER WIRE PER ABCOWA STD. SPEC 2302
◆	BEND, CONCRETE THRUST BLOCK REQUIRED PER ABCOWA STD. DWG. 2320
◆	CONNECT 6" FIRE LINE TO EXISTING PRIVATE WATER VALVE
◆	6" FIRE SERVICE TAP ON EX. 12" CI VA NON-PRESSURIZED CONNECTION PER ABCOWA STD. DWG. 2301
◆	FIRE DEPARTMENT CONNECTION. REFER TO MEP PLANS
◆	POST INDICATOR VALVE. REFER TO MEP PLANS
◆	FIRE HYDRANT PER ABCOWA STD. DWG. 2340
◆	6" FIRE LINE. INSTALL TRACER WIRE PER ABCOWA STD. SPEC 2324
◆	PUBLIC 8" DI GATE VALVE WITH RING AND COVER PER ABCOWA STD. DWG 2329. INSTALL TRACER WIRE PER ABCOWA STD. SPEC 2305
◆	PRIVATE 6" DI GATE VALVE WITH RING AND COVER PER ABCOWA STD. DWG 2329. INSTALL TRACER WIRE PER ABCOWA STD. SPEC 2305
◆	3/4" COLD WATER TO TRASH ENCLOSURE WITH RP2 VALVE. REFER TO MEP PLANS



CAUTION!
CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
1201 3RD AVE SUITE 2500, SEATTLE, WA 98101
PHONE: (206) 970-1900
WWW.KIMLEY-HORN.COM

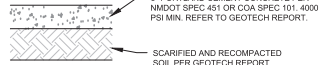
STARBUCKS COFFEE COMPANY
2411 1ST AVENUE NORTH
SEATTLE, WASHINGTON 98103
(206) 318-1575

UTILITY PLAN

SHEET NUMBER **C6.0**

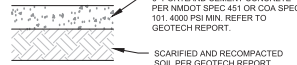
NO.	REVISIONS	DATE	BY

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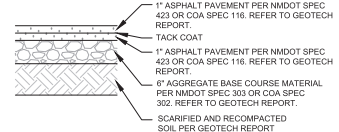
* CONCRETE FOR RIGID PAVEMENT SHOULD HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, A MODULUS OF RUPTURE OF 500 PSI, AND BE PLACED WITH A MAXIMUM SLUMP OF 4 INCHES.

STANDARD DUTY CONCRETE PAVEMENT SECTION FOR TRAFFIC CATEGORY A

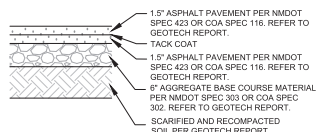


* CONCRETE FOR RIGID PAVEMENT SHOULD HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, A MODULUS OF RUPTURE OF 500 PSI, AND BE PLACED WITH A MAXIMUM SLUMP OF 4 INCHES.

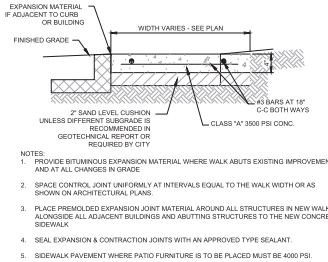
HEAVY DUTY CONCRETE PAVEMENT SECTION FOR DUMPSTER PAD AND DRIVE-THRU



STANDARD DUTY ASPHALT PAVEMENT SECTION FOR TRAFFIC CLASS I



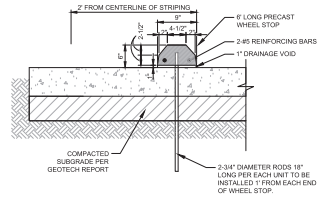
HEAVY DUTY ASPHALT PAVEMENT SECTION FOR TRAFFIC CLASS II



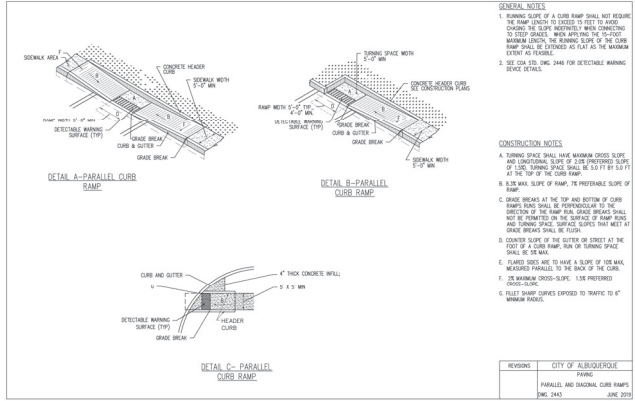
1. PROVIDE BITUMINOUS EXPANSION MATERIAL WHERE WALK ADJUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE.
2. SPACE CONTROL JOINT UNIFORMLY AT INTERVALS EQUAL TO THE WALK WIDTH OR AS SHOWN ON ARCHITECTURAL PLANS.
3. PLACE FINGERED EXPANSION JOINT MATERIAL AROUND ALL STRUCTURES IN NEW WALK ALONGSIDE ALL ADJACENT BUILDINGS AND ADJUTS STRUCTURES TO THE NEW CONCRETE SIDEWALK.
4. SEAL EXPANSION & CONTRACTION JOINTS WITH AN APPROVED TYPE SEALANT.
5. SIDEWALK PAVEMENT WHERE PATIO FURNITURE IS TO BE PLACED MUST BE 4000 PSI.

NOTE: REFER TO GEOTECH REPORT FOR FURTHER INFORMATION.

CONCRETE SIDEWALK DETAIL
N.T.S.



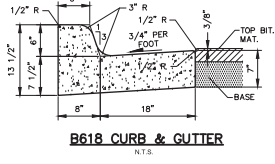
PRECAST CONCRETE WHEEL STOP DETAIL
N.T.S.



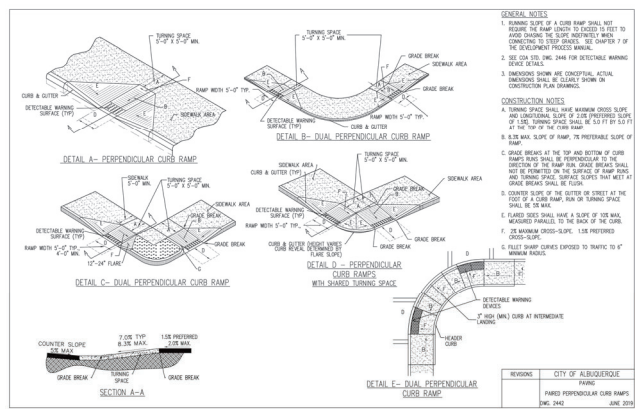
- GENERAL NOTES**
1. TURNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID EXCESSIVE WEAR. REFER TO THE GEOTECH REPORT FOR MAXIMUM LENGTHS. THE TURNING SLOPE OF THE CURB RAMP SHALL BE ESTABLISHED AS SHOWN IN THE DRAWING, EXTENT AS FEASIBLE.
 2. SEE CIVIL SPEC. SEC. 2448 FOR DETAILABLE MARKING DEVICE DETAILS.

- CONSTRUCTION NOTES**
- A. TURNING SPACES SHALL HAVE MAXIMUM CROSS SLOPE AND TURNING SLOPE OF 1.5%. TURNING SPACES SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.
 - B. 3.5% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
 - C. CURB BREAKS AT THE TOP AND BOTTOM OF CURB RAMP SPACES SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. CURB BREAKS SHALL NOT BE PLACED IN THE SURFACE OF THE RAMP. CURB BREAKS SHALL BE PLACED AT THE END OF A CURB RAMP RUN OR TURNING SPACE. SHALL BE 18\"/>
 - D. COVERED SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP RUN OR TURNING SPACE SHALL BE 1.5%.
 - E. GRADED SHOULDER TO HAVE A SLOPE OF THE MAX. MATCHED PARALLEL TO THE BACK OF THE CURB.
 - F. 1% MAXIMUM CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.
 - G. FULLY SHARP CORNERS EXPOSED TO TRAFFIC TO 4\"/>

REVISION	CITY OF ALBUQUERQUE
PARALLEL AND DUAL CURB RAMPS	JUNE 2013



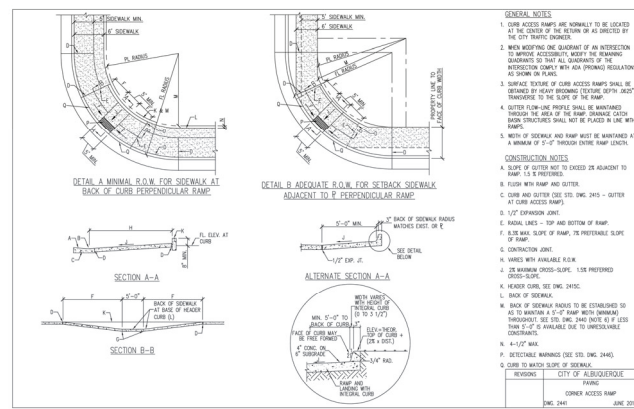
B618 CURB & GUTTER
N.T.S.



- GENERAL NOTES**
1. TURNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID EXCESSIVE WEAR. REFER TO THE GEOTECH REPORT FOR MAXIMUM LENGTHS. THE TURNING SLOPE OF THE CURB RAMP SHALL BE ESTABLISHED AS SHOWN IN THE DRAWING, EXTENT AS FEASIBLE.
 2. SEE CIVIL SPEC. SEC. 2448 FOR DETAILABLE MARKING DEVICE DETAILS.
 3. DIMENSIONS SHOWN ARE CONCEPTUAL. ACTUAL DIMENSIONS SHALL BE AS SHOWN ON ARCHITECTURAL PLANS.

- CONSTRUCTION NOTES**
- A. TURNING SPACES SHALL HAVE MAXIMUM CROSS SLOPE AND TURNING SLOPE OF 1.5%. TURNING SPACES SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.
 - B. 3.5% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
 - C. CURB BREAKS AT THE TOP AND BOTTOM OF CURB RAMP SPACES SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. CURB BREAKS SHALL NOT BE PLACED IN THE SURFACE OF THE RAMP. CURB BREAKS SHALL BE PLACED AT THE END OF A CURB RAMP RUN OR TURNING SPACE. SHALL BE 18\"/>
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 - G. FULLY SHARP CORNERS EXPOSED TO TRAFFIC TO 4\"/>

REVISION	CITY OF ALBUQUERQUE
PERPENDICULAR CURB RAMPS	JUNE 2013



- GENERAL NOTES**
1. CURB ACCESS RAMPS ARE NORMALLY TO BE LOCATED AT THE CENTER OF THE SECTION OR AS DIRECTED BY THE CITY ENGINEER.
 2. WHEN MOFFING ONE QUARTER OF AN INTERSECTION TO PROVIDE ACCESSIBILITY, VERIFY THE MOFFING DIMENSIONS TO MATCH ALL QUARTERS OF THE INTERSECTION CORNER WITH ANY APPLICABLE REGULATIONS AS SHOWN ON PLANS.
 3. SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE, OBTAINED BY MEANS MOFFING TEXTURE (0.075\"/>
 - 4. GUTTER FROM-LINE PROFILES SHALL BE MAINTAINED THROUGHOUT THE AREA OF THE RAMP. DRAINAGE CATCH BASIN STRUCTURES SHALL NOT BE PLACED IN LINE WITH RAMP. STRUCTURES SHALL NOT BE PLACED IN LINE WITH A MINIMUM OF 5'-0\"/>

- CONSTRUCTION NOTES**
- A. SLOPE OF GUTTER MUST TO EXCEED 1% ADJACENT TO RAMP. 1.5% PREFERABLE.
 - B. FLOOR WITH RAMP AND GUTTER.
 - C. CURB AND GUTTER SEE CIV. SPEC. 2443 - GUTTER AT CURB ACCESS RAMPS.
 - D. 1/2\"/>
 - E. RADIAL LINES - TOP AND BOTTOM OF RAMP.
 - F. 3.5% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
 - G. CONTRACTION JOINT.
 - H. VARIES WITH AVAILABLE SLOPE.
 - I. 1.5% MAXIMUM CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.
 - J. 1.5% MAXIMUM CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.
 - K. HEAVY CURB, SEE CIV. SPEC. 2443C.
 - L. BACK OF SIDEWALK.
 - M. BACK OF SIDEWALK RADIOS TO BE ESTABLISHED SO AS TO MAINTAIN 4\"/>
 - N. BACK OF SIDEWALK RADIOS TO BE ESTABLISHED SO AS TO MAINTAIN 4\"/>
 - O. 4\"/>
 - P. DETAILABLE MARKING SEE CIV. SPEC. 2443D.
 - Q. CURB TO MATCH SLOPE OF SIDEWALK.

REVISION	CITY OF ALBUQUERQUE
MINIMAL SLOPE CURB RAMP	JUNE 2013

NO.	REVISIONS	DATE

Kimley-Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
1201 3RD AVE SUITE 2500, SEATTLE, WA 98101
WWW.KIMLEY-HORN.COM

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 316-1575

CONSTRUCTION DETAILS

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DRAWN BY: WNS/SPJ
CHECKED BY: LIV

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MATCHLINE
SEE SHEET 2

LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
27	2" cal	Ash	M+
		<i>Fraxinus pennsylvanica</i>	
70	2" cal	Honey Locust	M
		<i>Gleditsia triacanthos</i>	
Note: All site perimeter trees shall be 2" cal. minimum. Historic site trees shall be size as indicated in legend.			
39	6'-8"	Austrian Pine	M
		<i>Pinus nigra</i>	
18	6'-8"	Blue Spruce	M
		<i>Picea pungens</i>	
31	10-12"	Japanese Pagoda	M
		<i>Sophora japonica</i>	
113	10-12"	Chilispae	M
		<i>Chilodaphne x bushmanensis</i>	
9	4'-6"	Washington Hawthorne	M
		<i>Crataegus phaeococciprura</i>	
10	2" cal	Desert Willow	L
		<i>Chilodaphne linearis</i>	
36	2" cal	Spartan Juniper (female species)	L
		<i>Juniperus chinensis "Spartan"</i>	
186	5 Gal	Watergreen Barbary	M
		<i>Barbarts juliflora</i>	
118	5 Gal	India Hawthorne	M
		<i>Raphiolepis indica</i>	
175	5 Gal	Honey suckle	M
		<i>Lonicera japonica</i>	
79	5 Gal	Desert Barbary Blue	M
		<i>Buddleia davidii nonhoensis</i>	
305	5 Gal	Desert Feathertop	M
		<i>Penstemon villosus</i>	
117	5 Gal	Cherry Sage	M
		<i>Salvia greggii</i>	
153	5 Gal	Rosemary	M
		<i>Rosemary officinalis</i>	
288	5 Gal	English Lavender	L
		<i>Lavendula angustifolia</i>	
95	5 Gal	Apache Plum	L
		<i>Falugia parodora</i>	

LANDSCAPE NOTES

Owner is responsible for maintenance of Irrigation System, Landscape Plantings, and Landscape Mulch. Landscape Plant material which dies shall be replaced by the owner no later than 60 days after notification.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.

Landscape contractor shall submit an irrigation plan to the Landscape Architect, prior to construction for approval and prepared by a certified irrigation consultant or a Landscape Architect.

All landscape areas shall be covered in 2"-3" of landscape gravel, fines, bark mulch or other landscape mulch and commercial grade weed barrier fabric approved by the Landscape Architect.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

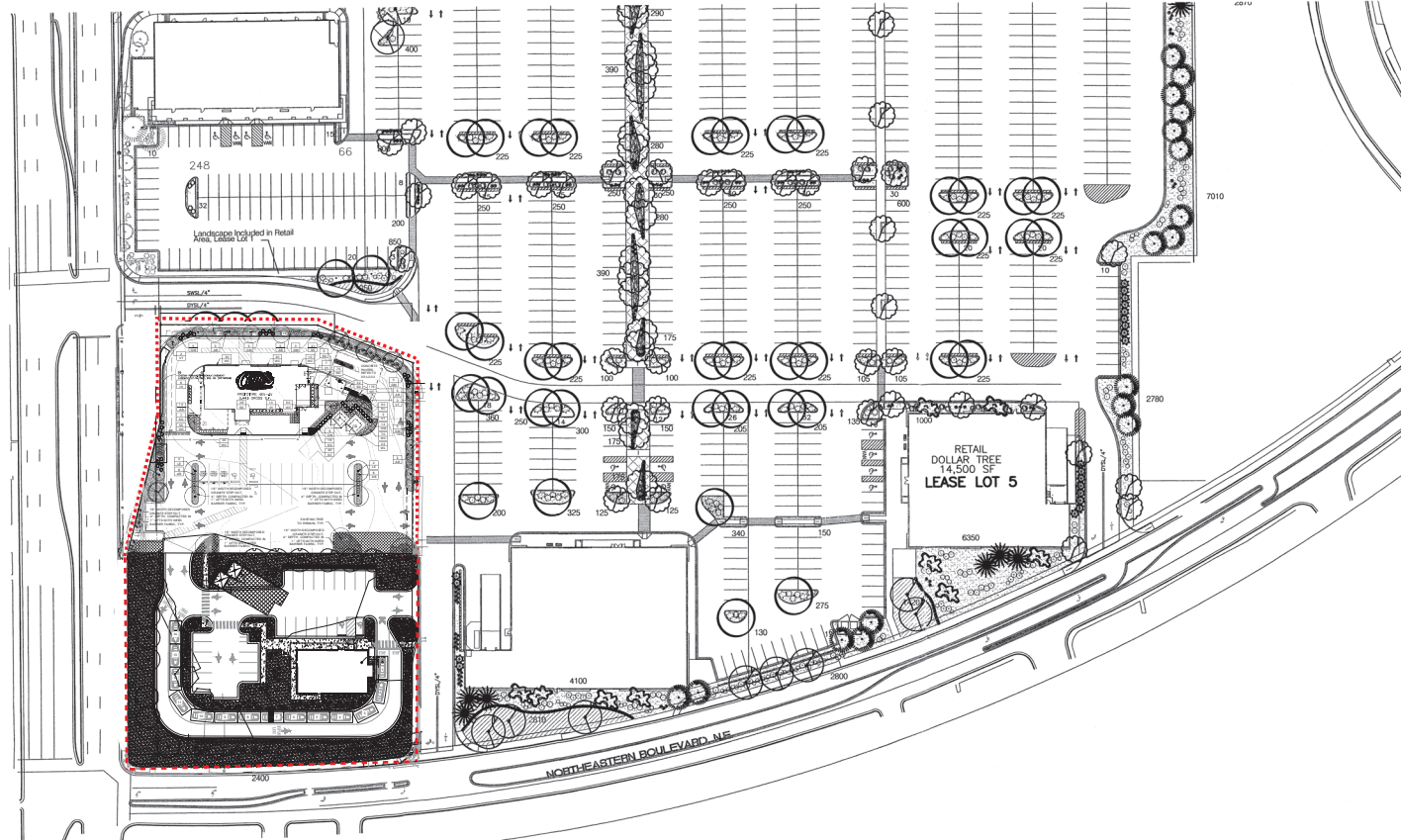
Prior to Construction, Landscape Contractor shall verify location of all Utility Lines. In case of a discrepancy between utilities indicated on plan and actual field verification, contractor shall cease work and notify Landscape Architect immediately for directions on how to proceed.

Any damage to utility lines resulting from the negligence of the abutting landowner, his agents or employees in the installation and maintenance of the landscaped area in the public right-of-way shall be the responsibility of such landowner. Any damage to utility lines resulting from the growth of plant materials which have been approved by the applicable public utility as part of a plan for landscaping on the public right-of-way shall be the responsibility of such public utility. If a public utility disturbs a landscaped area in the public right-of-way, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after utility work. If, nonetheless some plant materials die, it is the obligation of the abutting landowner to replace the plant materials.

Landscaping shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.

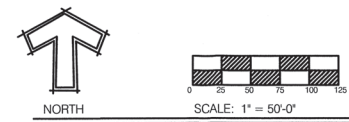
Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.



LANDSCAPE CALCULATIONS

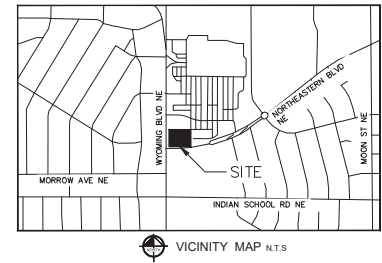
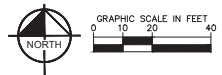
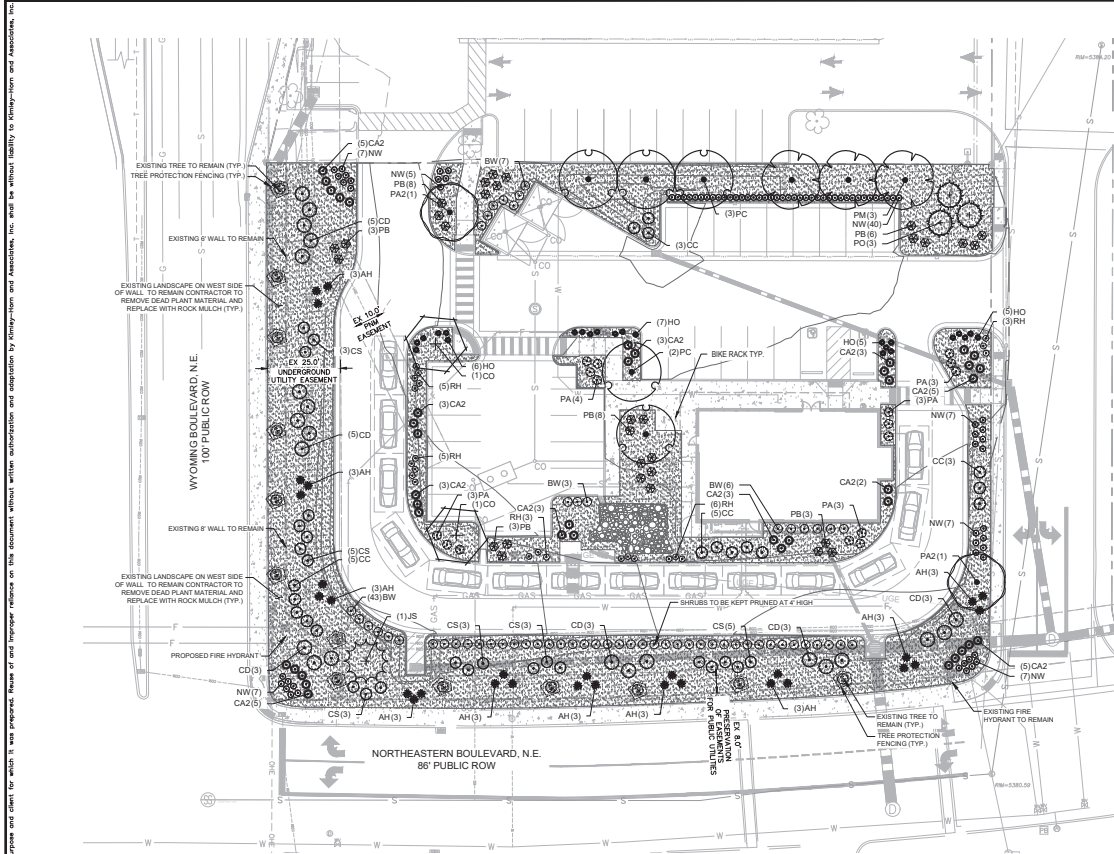
TOTAL LOT AREA 30.42 x 43560 = (sf)	1,325,095
TOTAL BUILDING AREA (sf)	966,093 311,974
NET LOT AREA (sf)	1,015,619
LANDSCAPE REQUIREMENT (%)	× .15
TOTAL LANDSCAPE REQUIRED (sf)	152,343
TOTAL SOD PROVIDED (sf) 8.3%	6865.00
TOTAL XERISCAPE PROVIDED (sf)	196905 155,454
TOTAL EXISTING LANDSCAPE TO REMAIN	19230
TOTAL LANDSCAPE PROVIDED (sf)	162460.00 181,549



LANDSCAPE PLAN

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LANDSCAPE ARCHITECT SEAL 	ALBUQUERQUE WAL-MART NM: 5491-00	DRAWN BY DDM
	LANDSCAPE PLAN - B	DATE 10/18/2005
		2292LS-12-27-04X
		SHEET #
		4A
		JOB # 220092
	TIERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100	



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
	CD	2	CERES OCCIDENTALIS	WESTERN REDBUD	8.6.8	2" CAL MIN	12' HT MIN
	JS	1	JUNIPERUS MONOSPERMA	ONE SEED JUNIPER	8.6.8	6" HT MIN	
	PO	3	PRUNUS NIGRA 'OREGON GREEN'	OREGON GREEN AUSTRIAN PINE	8.6.8	6" HT MIN	
	PM	3	PROSOPIS GLANDULOSA 'MAVERICK TM'	HONEY MESQUITE	8.6.8	2" CAL MIN	12' HT MIN
	PA2	2	PRUNUS AMERICANA	WILD PLUM	8.6.8	2" CAL MIN	12' HT MIN
	PC	5	PRUNUS CERASIFERA	PURPLE-LEAF PLUM	8.6.8	2" CAL MIN	12' HT MIN
	HO	3	HOLOBOELIS				
	CA2	4	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	1 GAL	SEE PLAN	18"-24" HT MIN.
	CC	16	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	SEE PLAN	18" HT MIN
	CD	22	COTONEASTER DIVARICATUS	SPREADING COTONEASTER	5 GAL	SEE PLAN	18"-24" HT MIN.
	CS	22	CYTISUS PURGANS 'SPANISH GOLD'	SPANISH GOLD BROOM	5 GAL	SEE PLAN	18"-24" HT MIN.
	HO	23	HEMEROCALLIS X 'STELLA DE ORD'	STELLA DE ORD DAVILLY	1 GAL	SEE PLAN	12" HT MIN
	NW	80	NEPETA X 'FAASSENII' WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL	SEE PLAN	18"-24" HT MIN.
	PA	16	PENSTEMON AMBIGUUS	GILIA BEAR-TONGUE	5 GAL	SEE PLAN	12" HT MIN
	PB	31	POTENTILLA FRUTICOSA 'FARGO'	DAKOTA SUNSPOT POTENTILLA	5 GAL	SEE PLAN	18"-24" HT MIN.
	RH	22	RHODOXA HIRTA	BLACK-EYED SUSAN	5 GAL	SEE PLAN	12" HT MIN
	CA2	7	CA2				
	NW	7	NW				
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	AH	30	AGAVE HAVARDIANA	HAWARD'S CENTURY PLANT	1 GAL	SEE PLAN	24" FULL
	BW	59	BIJULUS MICROPHYLLA JAPONICA 'WINTER GEM'	WINTER GEM JAPANESE BOXWOOD	5 GAL	SEE PLAN	18"-24" HT MIN.
	CA2	40	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	1 GAL	SEE PLAN	18"-24" HT MIN.
	CC	16	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	SEE PLAN	18" HT MIN
	CD	22	COTONEASTER DIVARICATUS	SPREADING COTONEASTER	5 GAL	SEE PLAN	18"-24" HT MIN.
	CS	22	CYTISUS PURGANS 'SPANISH GOLD'	SPANISH GOLD BROOM	5 GAL	SEE PLAN	18"-24" HT MIN.
	HO	23	HEMEROCALLIS X 'STELLA DE ORD'	STELLA DE ORD DAVILLY	1 GAL	SEE PLAN	12" HT MIN
	NW	80	NEPETA X 'FAASSENII' WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL	SEE PLAN	18"-24" HT MIN.
	PA	16	PENSTEMON AMBIGUUS	GILIA BEAR-TONGUE	5 GAL	SEE PLAN	12" HT MIN
	PB	31	POTENTILLA FRUTICOSA 'FARGO'	DAKOTA SUNSPOT POTENTILLA	5 GAL	SEE PLAN	18"-24" HT MIN.
	RH	22	RHODOXA HIRTA	BLACK-EYED SUSAN	5 GAL	SEE PLAN	12" HT MIN
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING
	CS	377 SF	2-4" LOCAL COBBLE STONE	LOCAL COBBLE STONE	ROCK		
	SG	17,246 SF	GREY BREEZE CRUSHER FINES	GREY BREEZE CRUSHER FINES	FLAT		

NOTE: PROPERTY OWNER IS TO MAINTAIN ALL LANDSCAPING/ BUFFERING MATERIALS DIRECTLY ADJACENT TO PROPERTY LINE OR WITHIN AN EASEMENT AND RIGHT OF WAY AREA

STARBUCKS
 CITY: Albuquerque
 ZONE: MK-M

STREET FRONTAGE LANDSCAPING			
STREET NAME	FRONTAGE LENGTH (LF)	WIDTH (FT) REQ./PROV.	NO. TREES REQ./PROV.
Wyoming Blvd, N.E.	383	20/23	1/25
Northeastern Blvd, N.E.	249	20/24	1/25

PARKING LOT LANDSCAPE						
PARKING LOT AREA	LANDSCAPE % REQ.	LANDSCAPE AREA REQ./PROV.	TREE REQ./SPACE	NO. TREES REQ./PROV.	BUFFER REQ.	SIDE LOT REQ.
4,415	441 (10%)	441 (10%)/ 2,258 (51%)	1/10	3/3	MASONRY WALL OR CONTINUOUS LINE OF SHRUBS 3' HT AND 10' W	2 TREES AND 6 SHRUBS PER 25 LF

PEDESTRIAN WALKWAYS		
LENGTH OF PEDESTRIAN WALKWAYS (LF)	TREES / LF REQ.	NO. TREES REQ./PROV.
264	1/25	11/11***

SITE LANDSCAPE				
TOTAL SITE AREA (SF)	SITE LANDSCAPE AREA REQ./PROV. (SF)	LIVE VEGETATION COVERAGE REQ./PROV. (SF)	GROUND LEVEL PLANTS AS VEGETATION COVERAGE REQ./PROV. (SF)	MAXIMUM TURF COVERAGE (SF) REQ./PROV.
44,412	6,662 (15%)/38,108 (40%)	4,997 (7%)/ 6,747 (101%)	1,249 (25%)/ 1,265 (26%)	666 (10%)/ 0 (0%)

NOTES:
 * 6 EXISTING TREES AND 1 PROPOSED
 ** 7 EXISTING TREES AND 2 PROPOSED
 *** PER 5-6 (C)(4)(H)- 1 TREE PER 25 LF OF PEDESTRIAN WALKWAY BUT DUE TO CONFLICTS TREES HAVE BEEN PLACED ELSEWHERE THROUGHOUT PROPERTY



NO.	REVISIONS	DATE	BY



KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY

LANDSCAPE PLAN

STARBUCKS COFFEE COMPANY
 2401 17th Avenue South
 SEATTLE, WASHINGTON 98134
 (206) 318-1575



SHEET NUMBER
L1.0

GENERAL LANDSCAPE SPECIFICATIONS

A. SCOPE OF WORK

- THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ALL OTHER APPOINTMENTS NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
- WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- PROTECTION OF EXISTING STRUCTURES**
 - ALL EXISTING BUILDINGS, WALKS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS DURING THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVERSING AND CHECKING ALL SUCH INFORMATION AND DATA INCLUDING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION. THE SAFETY AND PROTECTION THEREOF REPAIRING ANY DAMAGE THERE TO RESULTING FROM THE WORK. THE COST OF ALL WORK WILL BE CONSIDERED AND BEING INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

C. PROTECTION OF EXISTING PLANT MATERIALS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE CONSTRUCTION OR DRIVING OR BURNING INSIDE THE DRINKLINE OR OTHER DELIBERATE MATERIALS WITHIN THE DRINKLINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISERABLE AND UNHEALTHY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH ABOVE OR BELOW THE MEASURED CALIPER. MEASURED CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES FOUR (4) INCHES IN CALIPER.
- SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

D. MATERIALS

- GENERAL**
 - MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE TON CONTAINER
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

- PLANT MATERIALS**
 - FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEIN FORM, SHAPING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT, AND WITHIN THE ROOT SYSTEM DEVELOPED BY TRANSPORTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WITHIN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, NURSERY, WOUNDINGS, AND DISFIGUREMENT.
 - TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
 - NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
 - PROVIDE A LIST OF SOILS, SHRUBS, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
 - PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUANTITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS. LATENT DEFECTS OR NURSERY-SELECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
 - TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK (INCLUDED BARK); CROSSING TRUNKS; CUT-OFF RAMBS MORE THAN 2-INCH (2") IN DIAMETER; OR WITH STEEM GIRDLING ROOTS WILL BE REJECTED.
 - FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL WHICH SHALL BEGIN AT LEAST 26" IN DIAMETER TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT PLANTS SHALL BE VISIBLE BEFORE PLANTING.
 - LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CULTIVAR WITH A SECURE, ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES, INCLUDE NURSERY ORIGIN, VARIETY, OR CULTIVAR, IF APPLICABLE, FOR THE PLANT AS SHOWN ON DRAWINGS.
 - IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE PROPER PLANTING.

E. SOIL MIXTURE

- CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW.
- SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND TEST RESULTS TO THE PROJECT LANDSCAPE ARCHITECT FOR OWNERS REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 1 1/2 INCHES DIAMETER, AND OTHER EXTENSION OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECAYED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 6.5, AND SOLUBLE SALTS LESS THAN 3.0 MILLIMOLES PER KILOGRAM (MUMM) SOIL. SAMPLES AND PH TESTING RESULTS FOR APPROVAL.
- SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
- TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNDESIRABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

F. WATER

- WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS, WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TRUCKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
- *WATER/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITES PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY DERIVED.
- *FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A RATE OF ONE (1) TON PER 1000 SQUARE FEET. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH DARK BROWN IN COLOR UNLESS OTHERWISE NOTED ON PLANS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH DARK BROWN IN COLOR BY MEANS OF AN AIR DRIED APPROXIMATELY 1/2" TO 3/4" IN SIZE. MULCH SHALL BE APPLIED TO ALL PLANTING AREAS BY THE LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND BED OF SHRUBS PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.
- DIGGING AND HANDLING**
 - ALL TREE SPECIES SHALL BE BALLED AND BURLAPPED (BBM) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
 - PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTRIP" OR EQUAL) TO MINIMIZE TRANSPIRANTIAL WATER LOSS.
 - BBM AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
- CONTAINER GROWN STOCK
 - ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE A HEALTHY GROWING CONDITION.
 - AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPORTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL NOT BE SHAPED AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
 - ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

J. CONTAINER GROWN STOCK

- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE A HEALTHY GROWING CONDITION.
- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPORTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL NOT BE SHAPED AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

K. MATERIALS LIST

- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITIES ESTIMATED HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL COVER ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

L. FINE GRADING

- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOIL AND/OR MULCH DEPTH.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS, AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADING, IF APPLICABLE.

M. PLANTING PROCEDURES

- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBSTRUCTIONAL MATTER DURING ALL WORK. ALL BUILDING, CLEANING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONTAMINATION IN PLANTING AREA WHICH WILL ADVERSELY AFFECT THE GROWTH OF THE PLANT, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE OWNER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANTING. THE CONTRACTOR MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- VERIFY LOCATIONS OF ALL UTILITIES, CONDUNTS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS, LINES AND TANKS, WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE AND TELEPHONE. PROPERLY MARK AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED UPERMUCK AND UPERMUCK SUB-LAYER FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO FINISH GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF UPERMUCK OR OTHER OBVIOUS CONDITIONS OCCUR IN PLANTED AREAS AFTER BEING DESIGNATED BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
- FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT LOCAL OR GROWING SITES.
- COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEADED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
- WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPLIANCES AND PLANTS.
- ALL PLANTING OPERATIONS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
- TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR CLOG PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
- TREES SHALL BE SET PLUM AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW FLOW HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE PERSON.
- PROXIMITY TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE FLOTTLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
- EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDWARE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
- IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROOT-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE FILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
- TREES OPENINGS WILL BE DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL, AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN FULLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT FIT BALLS SHALL BE SORTED PRIOR TO PLANT INSTALLATION.
- TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION "E".
- TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMING).
- AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTA, PRIOR TO INCOCULATION.

- FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK FOR FIFTEEN (15) MINUTES. THEN REMOVE EXCESS WATER THROUGHOUT THE SOIL THOROUGHLY WITH PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
- ALL BURLAR, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BASKETS. BUT NO BURLAR SHALL BE PULLED FROM UNDERNEATH.
- TREES SHALL BE PLANTED IN ACCORDANCE WITH ANSI A-305, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
- SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIFIMON REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, UNLESS OTHERWISE NOTED. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS, MIX TOP 4" OF THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION "E", THOROUGHLY WATER ALL PLANTS AFTER PLANTING.
- TREE DUNING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE DUNING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, WEEDS SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER, (AS ALLOWED BY JURISDICTIONAL AUTHORITY).

N. LAWN SODDING

- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
- ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH DURING THE ROLLING. ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRABBED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- PREPARE LODGE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
- SODDING**
 - THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - SOD PANELS SHALL BE Laid TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE Laid TOGETHER WITH THE EDGES OF ALL EDGES, AND OTHER HARDSCAPE ELEMENTS PAVED AND PLANTED AREAS ADJACENT TO BUILDINGS. A 24 INCH-STONE MULCH STRIP SHALL BE PROVIDED IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOIL, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
 - DURING EXPOSURE TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNDESIRABLE EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACHED SO AS NOT TO BE DAMAGED BY EXCESSIVE HEAT AND MOISTURE.

O. EODING

- CONTRACTOR SHALL INSTALL 1/4" ROLLED TOP STEEL EDGING BETWEEN ALL SODDED AREAS AND PLANTING BEDS.

P. CLEANUP

- UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTOR WORK. ALL INVADED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

Q. PLANT MATERIAL MAINTENANCE

- ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE.
- FINAL INSPECTION AND ACCEPTANCE OF WORK
- FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE YEAR WARRANTY OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HERIN DESCRIBED.

S. WARRANTY

- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED INCLUDING SOOD BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE.
- ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST; THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHALL VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

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DATE
DATE

REVIEWS
REVIEWS

NO.
NO.

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KIMLEY-HORN & ASSOCIATES, INC.

STATE OF NEW MEXICO
 REGISTERED PROFESSIONAL ENGINEER
 PEARCE HERRICK
 LICENSE NO. 10202

KIM PROJECT

DATE

SCALE AS SHOWN

DESIGNED BY

DRAWN BY

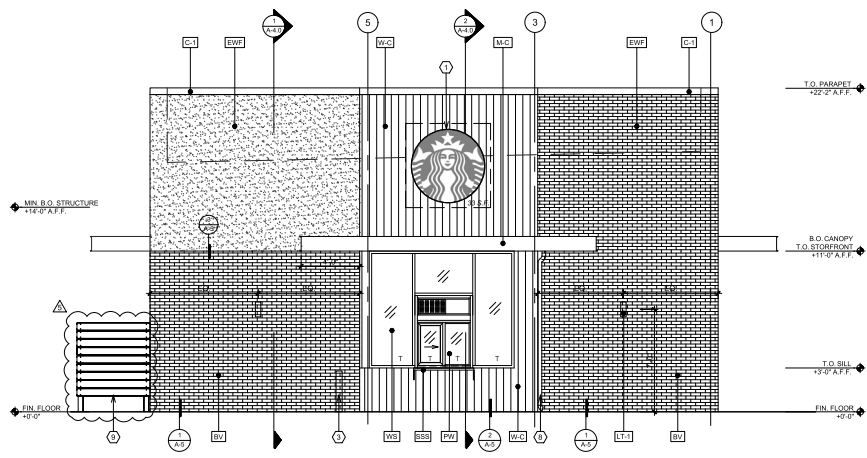
CHECKED BY

STARBUCKS COFFEE COMPANY

LANDSCAPE NOTES

SHEET NUMBER
L2.0

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EAST ELEVATION

SCALE: 1/4" = 1'-0"

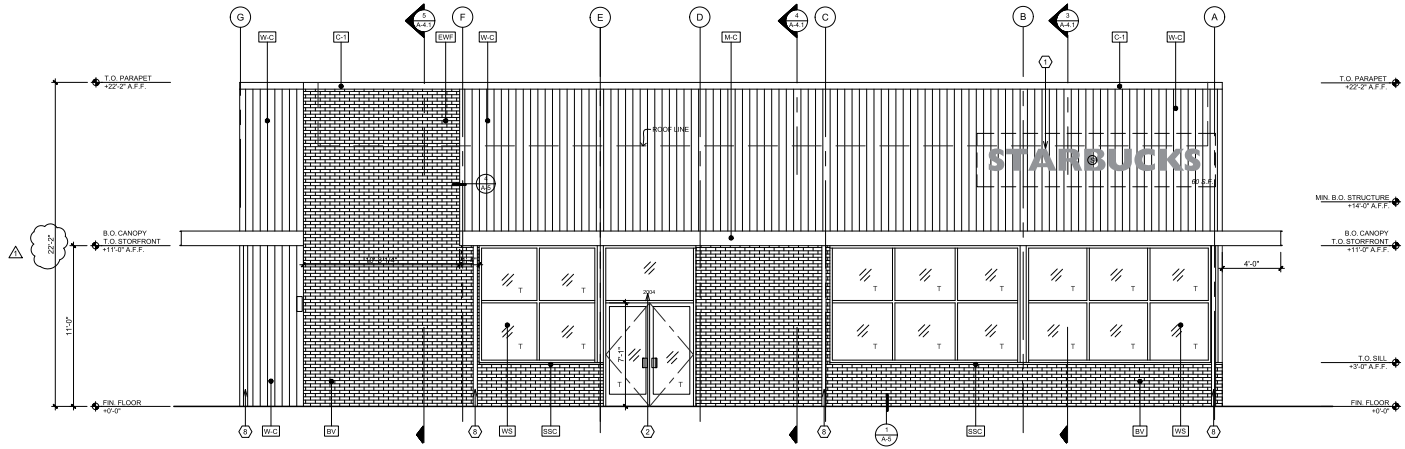
EXTERIOR FINISHES SCHEDULE				
KEY ITEM	MATERIAL	MANUFACTURER	COLOR / DESCRIPTION	FINISH / STYLE
[BV]	BRICK VENEER	MUTUAL MATERIALS 886-688-8250	PENNER MISSION	RUNNING BOND. SM100 GRAY COLORED MORTAR
[SSC]	CAST STONE SILL CAP	MARCSSTONE	COLOR TO MATCH SW 7030 ANEW GRAY	
[EWF]	EFS - EXTERIOR WALL FINISH	DRIVIT 734-276-0404	COLOR TO MATCH SW 7030 ANEW GRAY	SANDBLAST TEXTURE
[W-C]	WOOD CLADDING (B FACADE & UNDERSIDE OF CANOPY)	IDENTITY WOOD PRODUCTS 770-704-7140	1200 - PRETZEL MEDIUM BROWN WITH DARK BROWN GLAZE. 1 1/8" REVEAL.	SANDBLAST TEXTURE
[M-C]	METAL CANOPY, G.C. TO SUBMIT SEPARATELY	AWINEX 770-704-7140	COLORADO SOFFIT SYSTEM CANTILEVERED SUPPORT, 12" OPEN FACE, REAR GUTTER	RALU7021 MATTE BLACK
[C-T]	METAL COPING	LOCALLY SOURCED	TO MATCH RALU7021 MATTE BLACK - M70028 - FLAT BLACK	PRE-FINISHED
[WS]	ALUMINUM STOREFRONT SYSTEM	LOCALLY SOURCED	TO MATCH RALU7021 MATTE BLACK - M70028 - FLAT BLACK	ANODIZED
[DF-1]	HOLLOW METAL DOOR FRAME	LOCALLY SOURCED	TO MATCH RALU7021 MATTE BLACK - M70028 - FLAT BLACK	PAINTED
[LT-1]	LED WALL SCONCE LIGHT	ACUTY, LITHONIA LIGHTING	LED WALL CYLINDER LIGHT. 0.5LW	DARK BRONZE
[LT-2]	LED WALL SCONCE LIGHT	ACUTY, LITHONIA LIGHTING	LED WALL SQUARE LIGHT. WOOD LED	DARK BRONZE
[PW]	DRIVE-THRU PICK UP WINDOW, BY TENANT	READY ACCESS	MOD. 600 W/ TRANSOM LR DIR. W/ AA100 AIR CURTAIN SERIES	ANODIZED
[SSS]	STAINLESS STL. SHELF BY TENANT	READY ACCESS	MODEL 275	STAINLESS STEEL

KEYNOTES	
1	SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D. UNDER SEPARATE PERMIT.
2	3" HIGH BLACK ACRYLIC ABOVE MAIN ENTRY DOOR.
3	BOLLARD, NON-ILLUMINATED
4	6"x4" METAL DOWNSPOUT
5	ROOF ACCESS LADDER, MODEL 504 BY O'KEEFE'S OR EQ.
6	ELECTRICAL METER
7	GAS METER
8	3" DIA. METAL DOWNSPOUT
9	UTILITY SCREEN, SEE SHEET SP-2 FOR DETAILS

GENERAL NOTES	
STOREFRONT SYSTEM AND DOORS	
1	STOREFRONT: EXTEND GLAZING 11'-0" AFF. INCLUDE TEMPERED GLAZING PER CODE.
2	STORE ADDRESS: PROVIDE 3" HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING ABOVE MAIN ENTRY DOOR.
3	DT WINDOW: PROVIDE READY ACCESS DT SERVICE WINDOW PER REGIONAL SPECIFICATION.
CANOPIES AND AWNINGS	
4	DT CANOPY: CANOPY AT DT WINDOW SHALL BE 11'-0" AFF TO ALIGN WITH VISUAL HEIGHT OF STOREFRONT CANOPY.
5	STOREFRONT: INCLUDE EXTERIOR CANOPY TO REDUCE SOLAR HEAT GAIN. PREFERRED BOTTOM HEIGHT OF 11'-0" AFF TO ALIGN WITH TOP OF STOREFRONT HEADER.
6	ENTRY/EXIT CANOPY: WEATHER PROTECTIVE CANOPY SHALL BE LOCATED ABOVE ALL ENTRY AND EGRESS DOOR AT MIN. OF 11'-0".
CANOPIES	
7	EXTERIOR LIGHTING: A. WALL SCONCES PER ELEVATION.

NOTE: PROJECT SHALL MEET R-VALUE / U-FACTOR / SHGC COMMERCIAL REQUIREMENTS PER TABLE C402.13-4 & C402.4 2018 IECC

SIGNAGE DATA TABLE		
SIGNAGE LOCATION	REQUIREMENT	PROPOSED
WALL SIGN - NORTH ELEVATION	15% OF FACADE AREA INCLUSIVE OF DOORS AND WINDOWS: 208 SF	60 SF
WALL SIGN - WEST ELEVATION	15% OF FACADE AREA INCLUSIVE OF DOORS AND WINDOWS: 129 SF	33 SF
WALL SIGN - SOUTH ELEVATION	15% OF FACADE AREA INCLUSIVE OF DOORS AND WINDOWS: 208 SF	33 SF
WALL SIGN - EAST ELEVATION	15% OF FACADE AREA INCLUSIVE OF DOORS AND WINDOWS: 129 SF	33 SF



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PROJECT: WYOMING MALL CENTER
NEW PAD BUILDING - STARBUCKS COFFEE
2004 WYOMING BOULEVARD
ALBUQUERQUE, NEW MEXICO
WESTWOOD FINANCIAL CORP
11440 SAN VICENTE BLVD., SUITE 200
LOS ANGELES, CA 90049

REVISION	DATE	BY
△ PLAN CHECK CORRECTION	08.02.23	RMD
△ TENANT'S REVISION	08.18.23	RMD
△ PLAN CHECK CORRECTION	09.11.23	RMD
△ PLAN CHECK CORRECTION	09.27.23	RMD
△ ADDENDUM	09.27.23	RMD

DRAWN BY: RMD
PROJECT ARCHITECT: DAVID HIDALGO
DATE: 04.05.23
SCALE: AS NOTED
PROJECT NO.: 2302-10
SITAMP

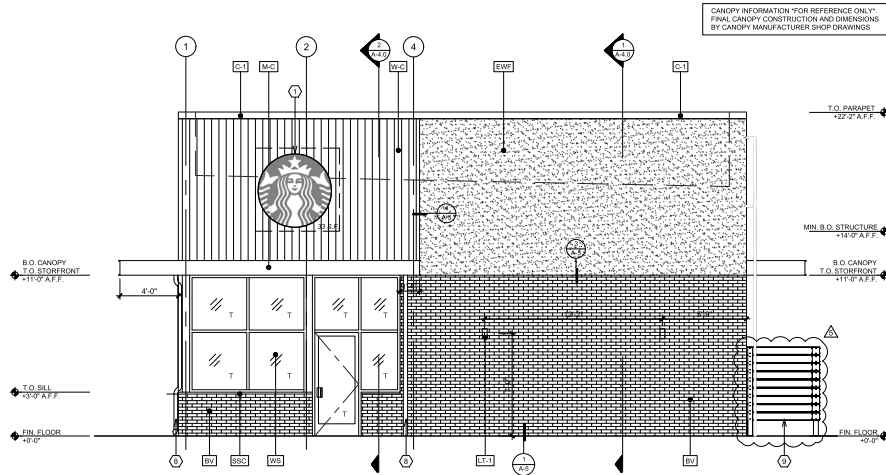


- DESIGN DEVELOPMENT
- PROGRESS CONST. DOCS: 6.22.2023
- CITY SUBMITTAL: 05.15.2023
- BID PACKAGE: 06.29.2023
- CONSTRUCTION ISSUE
- RECORD DRAWINGS

SHEET TITLE: EXTERIOR ELEVATIONS
SHEET:

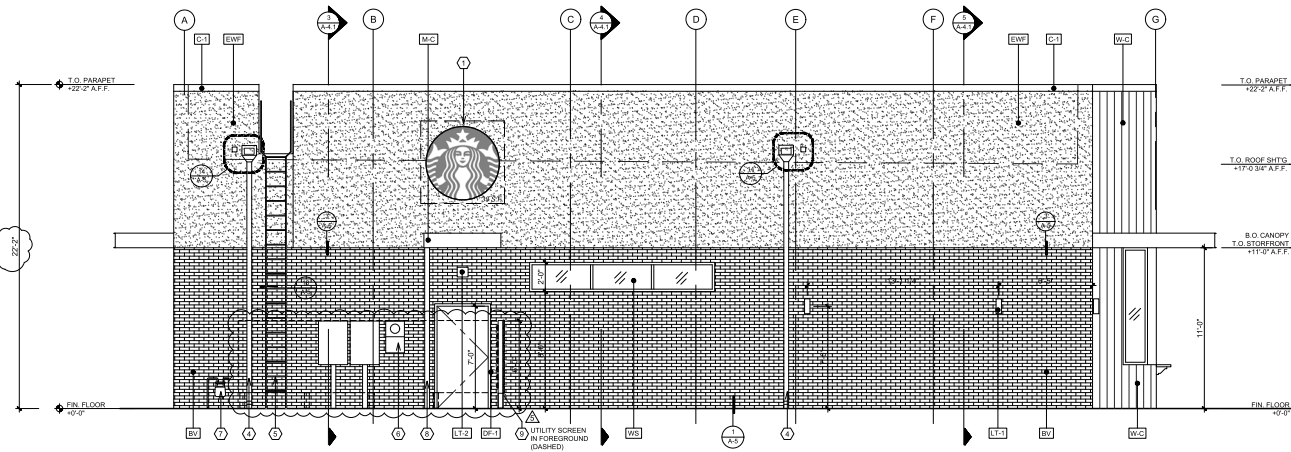
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PROJECT: 2302-1008 Wyoming Mall Proposed Starbucks Pad/Canopy/DT WINDOW/ROOF ELEVATIONS 10.31.23.rvt
 DRAWN BY: RMD
 PROJECT ARCHITECT: DAVID HIDALGO
 DATE: 04.05.23
 SCALE: AS NOTED
 PROJECT NO.: 2302-10
 SITAMP



WEST ELEVATION

SCALE: 1/4" = 1'-0" B



SOUTH ELEVATION

SCALE: 1/4" = 1'-0" A

EXTERIOR FINISHES SCHEDULE				
KEY ITEM	MATERIAL	MANUFACTURER	COLOR / DESCRIPTION	FINISH / STYLE
[BV]	BRICK VENEER	MUTUAL MATERIALS 888-668-8250	PCWTR MISSION	RUNNING BOND, SW 100 GRAY COLORED MORTAR
[SSC]	CAST STONE SILL CAP	MARCKSTONE	COLOR TO MATCH SW 7030 ANEW GRAY	
[EWF]	EIFS - EXTERIOR WALL FINISH	DRIVITT 734-276-0404	COLOR TO MATCH SW 7030 ANEW GRAY	SANDBLAST TEXTURE
[WC]	WOOD CLADDING (B FACADE & UNDERSIDE OF CANOPY)	IDENTITY WOOD PRODUCTS 770-704-7140	1200 - PRETZEL MEDIUM BROWN WITH DARK BROWN GLAZE, 1 1/8" REVEAL	SANDBLAST TEXTURE
[MC]	METAL CANOPY, G.C. TO SUBMIT SEPARATELY	AWNEX 770-704-7140	COLORADO SOFFIT SYSTEM CANTILEVERED SUPPORT, 12" OPEN FACE, REAR GUTTER	RAL7021 MATTE BLACK
[C-1]	METAL COPING	LOCALLY SOURCED	TO MATCH RAL7021 MATTE BLACK - MT008 - FLAT BLACK	PRE-FINISHED
[WS]	ALUMINUM STOREFRONT SYSTEM	LOCALLY SOURCED	TO MATCH RAL7021 MATTE BLACK - MT008 - FLAT BLACK	ANODIZED
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[LT-1]	LED WALL SCONCE LIGHT	ACUTY, LITHONIA LIGHTING	LED WALL CYLINDER LIGHT, CULVU	DARK BRONZE
[LT-2]	LED WALL SCONCE LIGHT	ACUTY, LITHONIA LIGHTING	LED WALL SQUARE LIGHT, MODEL LED	DARK BRONZE
[PW]	DRIVE THRU PICK UP WINDOW BY TENANT	READY ACCESS	MOD. 900 W/ TRANSOM L/R DR. W/ AA100 AIR CURTAIN SERIES	ANODIZED
[SSS]	STAINLESS STL. SHELF BY TENANT	READY ACCESS	MODEL 275	STAINLESS STEEL

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6	ELECTRICAL METER
7	GAS METER
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- CANOPIES**
- EXTERIOR LIGHTING:
A. WALL SCONCES PER ELEVATION.

NOTE: PROJECT SHALL MEET R-VALUE / U-FACTOR / SHGC COMMERCIAL REQUIREMENTS PER TABLE C402.13 & C402.4 2018 IECC

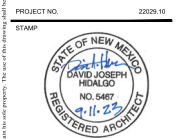
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REVISION	DATE	BY
△ PLAN CHECK CORRECTION	08.22.23	RMD
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△ PLAN CHECK CORRECTION	08.27.23	RMD
△ ADDENDUM	08.27.23	RMD

DRAWN BY: RMD
PROJECT ARCHITECT: DAVID J HIDALGO
DATE: 04.05.23
SCALE: AS NOTED



- DESIGN DEVELOPMENT
- PROGRESS CONST. DOCS. 05.22.2023
- CITY SUBMITTAL 05.15.2023
- BID PACKAGE 06.29.2023
- CONSTRUCTION ISSUE
- RECORD DRAWINGS

SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET:

A-3.1