



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)	
<input type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)		PRE-APPLICATIONS	
<input checked="" type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)		<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)	
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)		<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)	
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)		APPEAL	
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)		<input type="checkbox"/> Administrative Decision (Form A)	
BRIEF DESCRIPTION OF REQUEST			
This is a site plan approval for restaurant and drive through use. The user is a Strabucks. The proposed restaurant will be 2,498 S.F. An EPC approval has been obtained. The site is currently vacant.			
APPLICATION INFORMATION			
Applicant/Owner: WFC WYOMING NM LLC C/O WESTWOOD FINANCIAL CORP PROP MGMT		Phone: (972) 769-3364	
Address: 1233 W LOOP S SUITE 1500		Email:	
City: HOUSTON	State: TX	Zip: 77027-9108	
Professional/Agent (if any): Modulus Architects & Land Use Planning, Inc. (agent)		Phone: (505) 338-1499	
Address: 100 Sun Ave. NE Suite 600		Email: rokoye@modulusarchitects.com	
City: Albuquerque	State: NM	Zip: 87109	
Proprietary Interest in Site: Agent	List all owners: WFC WYOMING NM LLC C/O WESTWOOD FINANCIAL CORP PROP MGMT		
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.: Parcel 5-A		Block:	Unit:
Subdivision/Addition: WYOMING MALL		MRGCD Map No.:	UPC Code:102005901708131301
Zone Atlas Page(s): H-20-Z	Existing Zoning: MX-M		Proposed Zoning MX-M
# of Existing Lots: 1	# of Proposed Lots: 1		Total Area of Site (Acres): +/- 2.0241
LOCATION OF PROPERTY BY STREETS			
Site Address/Street: 2004 Wyoming Blvd		Between: Wyoming	and: NORTHEASTERN BLVD NE
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			
PR-2021-005461_SI-2023-00513			
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.			
Signature: Regina Okoye		Date: 6/30/2023	
Printed Name: Regina Okoye		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022 **SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

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1) DFT Application form completed, signed, and dated

2) Form P2 with all the submittal items checked/marked

3) Zone Atlas map with the entire site clearly outlined and labeled

4) Site Plan and related drawings

5) Infrastructure List, if require

6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met

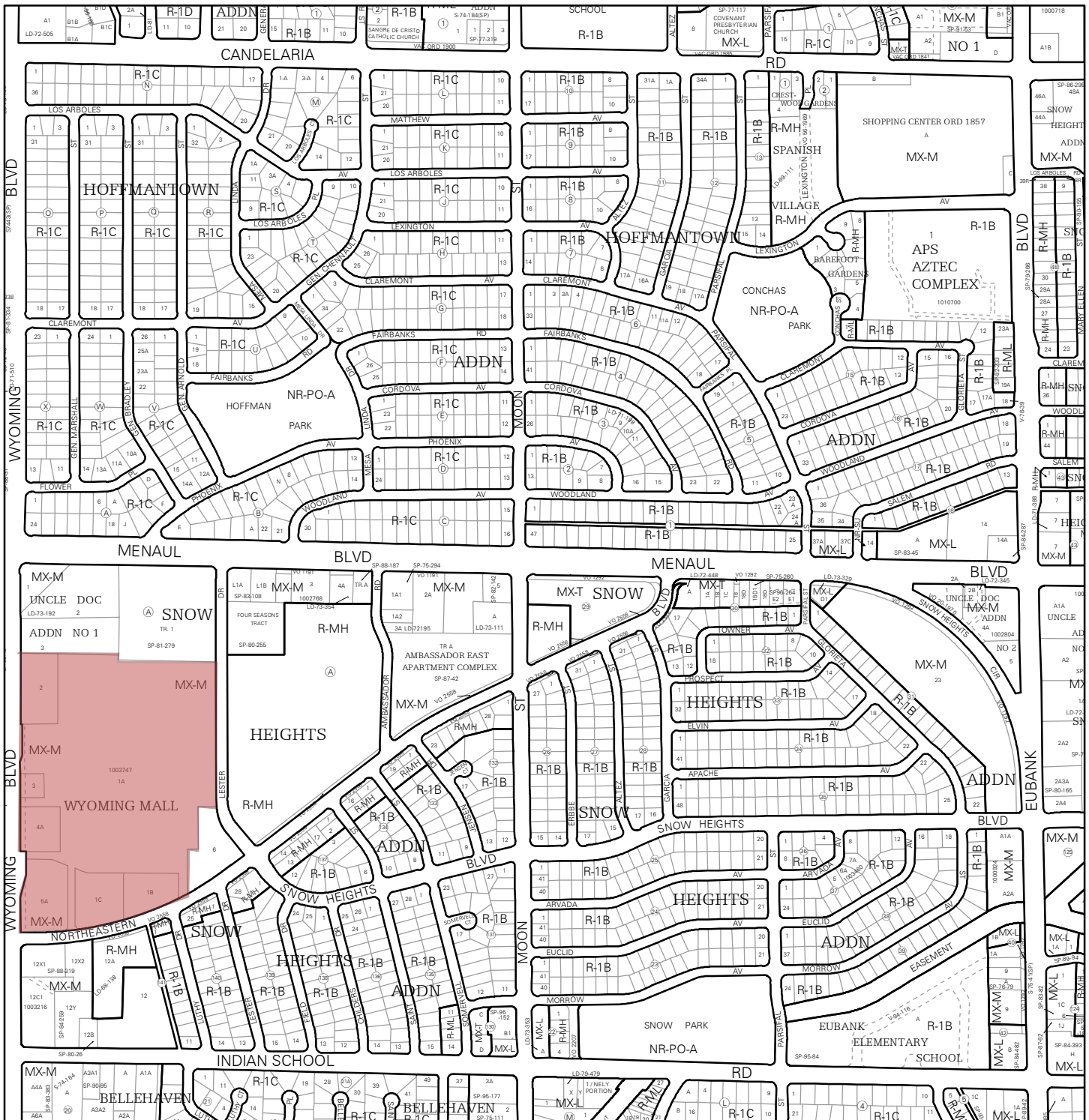
7) Letter of authorization from the property owner if application is submitted by an agent

8) Solid Waste Department signature on Site Plan

9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information

10) Approved Grading and Drainage Plan

11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
H-20-Z

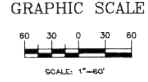
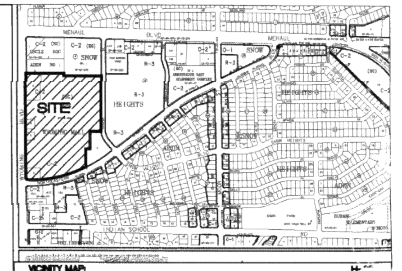
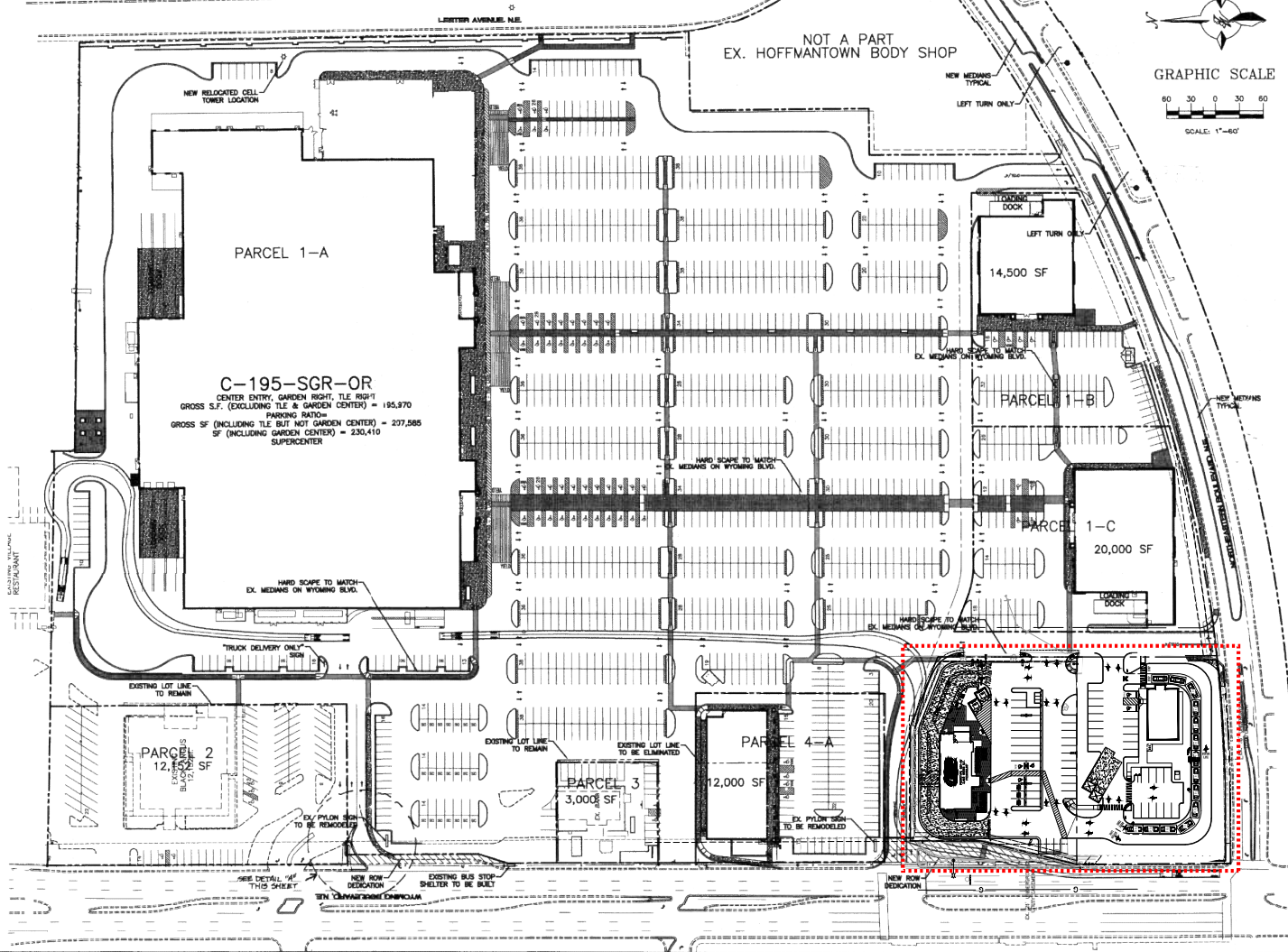
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

N
0 250 500 1,000 Feet

WYOMING MALL DEVELOPMENT WAS ORIGINALLY APPROVED WITH CASE #05DRB-01550. THIS IS THE CONTROLLING SITE PLAN FOR THE SUBJECT PROPERTY OF THIS PROPOSAL, WHICH IS APN 102005901708131001. REVISIONS ARE ONLY PROPOSED ON THE SUBJECT PROPERTY, BUT THE ENTIRE WYOMING MALL DEVELOPMENT IS SHOWN BECAUSE THIS IS THE CONTROLLING SITE PLAN. THE SUBJECT PROPERTY WAS INVOLVED IN ANOTHER EPC APPROVAL, CASE #PR-2021-005461, WHICH PROPOSED THE IMPROVEMENT OF A RAISING CANES ON THE NORTHERN HALF OF THE SUBJECT PROPERTY. THE CURRENT PROPOSAL, CASE #SI-2023-00513, PROPOSES IMPROVEMENT OF A STARBUCKS ON THE SOUTHERN HALF OF THE SUBJECT PROPERTY AND DOES NOT PROPOSE TO IMPACT THE PREVIOUSLY APPROVED AND CONSTRUCTED RAISING CANES IMPROVEMENTS

SITE DATA TABLE																	
PROPOSED LEGAL DESC.	AREA BUILDING (SQ) AREA	USE	ZONING	** 1 PER 4 SEATS = PARKING REQUIRED			** 1 PER 3 SEATS = PARKING REQUIRED			MAX. BLDG. HEIGHT							
				SEAT. CAP.	100% BUS. CREDIT	TOTAL REQ.	PROV. H.C.	PROV. H.C.	PROV. H.C.		PROV. H.C.	MIN. FAR	MAX. FAR				
1-A	22,21	207,595	RETAIL	C-2	747	112	635	1078	20	44	5	6	54	35	0.15	0.35	PER O-1 ZONE
1-A	22,825	GARDEN CENTER	C-2	57	9	48	76	8	5	1	1	1	1	1	0.15	0.35	PER O-1 ZONE
2	1,87	12,152	RESTAURANT	C-2	378	**128	19	108	76	1	2	1	1	1	0.15	0.35	PER O-1 ZONE
3	0,36	3,000	BANK	C-2	15	3	12	17	1	2	1	1	1	0.15	0.35	PER O-1 ZONE	
4-A	1,13	12,000	RETAIL	C-2	60	9	51	77	4	4	1	1	3	5	0.15	0.35	PER O-1 ZONE
4-A	1,13	12,000	RESTAURANT	C-2	49	67	4	4	4	2	4	4	11	11	0.15	0.35	PER O-1 ZONE
1-C	1,41	20,000	RETAIL	C-2	95	14	81	73	4	4	1	2	4	5	0.15	0.35	PER O-1 ZONE
1-B	1,28	14,500	RETAIL	C-2	73	11	62	57	4	4	1	2	4	5	0.15	0.35	PER O-1 ZONE
TOTAL	30,25	297,767			1,221	177	1,044	1,443		68	10	15	46	61			



LEGAL DESCRIPTION
 PARCELS 1, 4, AND 5 OF THE WYOMING MALL SUMMARY PLAT, BEING A PORTION OF BLOCK A, SHOW HEIGHT ADDITION

COMMON STORM DRAINAGE, PEDESTRIAN, PARKING, AND VEHICULAR ACCESS ACROSS ALL PARCELS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE RE-PLAT.

INDEX TO DRAWINGS

1. SITE PLAN FOR SUBDIVISION
- 1A. EXISTING APPROVED SITE PLAN
2. SITE PLAN FOR BUILDING PERMIT - A
3. SITE PLAN FOR BUILDING PERMIT - B
4. LANDSCAPE PLAN - A
- 4A. LANDSCAPE PLAN - B
5. GRADING AND DRAINAGE PLAN - A
6. GRADING AND DRAINAGE PLAN - B
7. MASTER UTILITY PLAN - A
8. MASTER UTILITY PLAN - B
9. ELEVATIONS - FURRY'S
10. ELEVATIONS - PETSMART
11. ELEVATIONS - DOLLAR TREE
12. ELEVATIONS - 12K BUILDING
- 12A. ELEVATIONS - WAL-MART
- 12B. ELEVATIONS - WAL-MART
- 12C. ELEVATIONS - WAL-MART
- 12D. ELEVATIONS - WAL-MART

URS/IDE STATEMENT:
 THE PURPOSE IS TO REDEVELOP THE SHOPPING CENTER FROM 296,160 SF OF EXISTING STORES TO 288,647 SF OF NEW STORES, DISMISSE THOSE STORES AND CREATING NEW STORES WITH THE EXISTING RESTAURANT, AND BANK BUILDING TO REMAIN. USES WILL BE RESTAURANT AND RETAIL.

PROJECT NUMBER: 1003747
APPLICATION NUMBER: 25DRB-01550

This plan is consistent with the specific Site Development Plan approved by the Albuquerque Planning Department and the Planning and Code Administration and the Planning and Code Administration on the conditions in the Official Notification of Decision are satisfied.

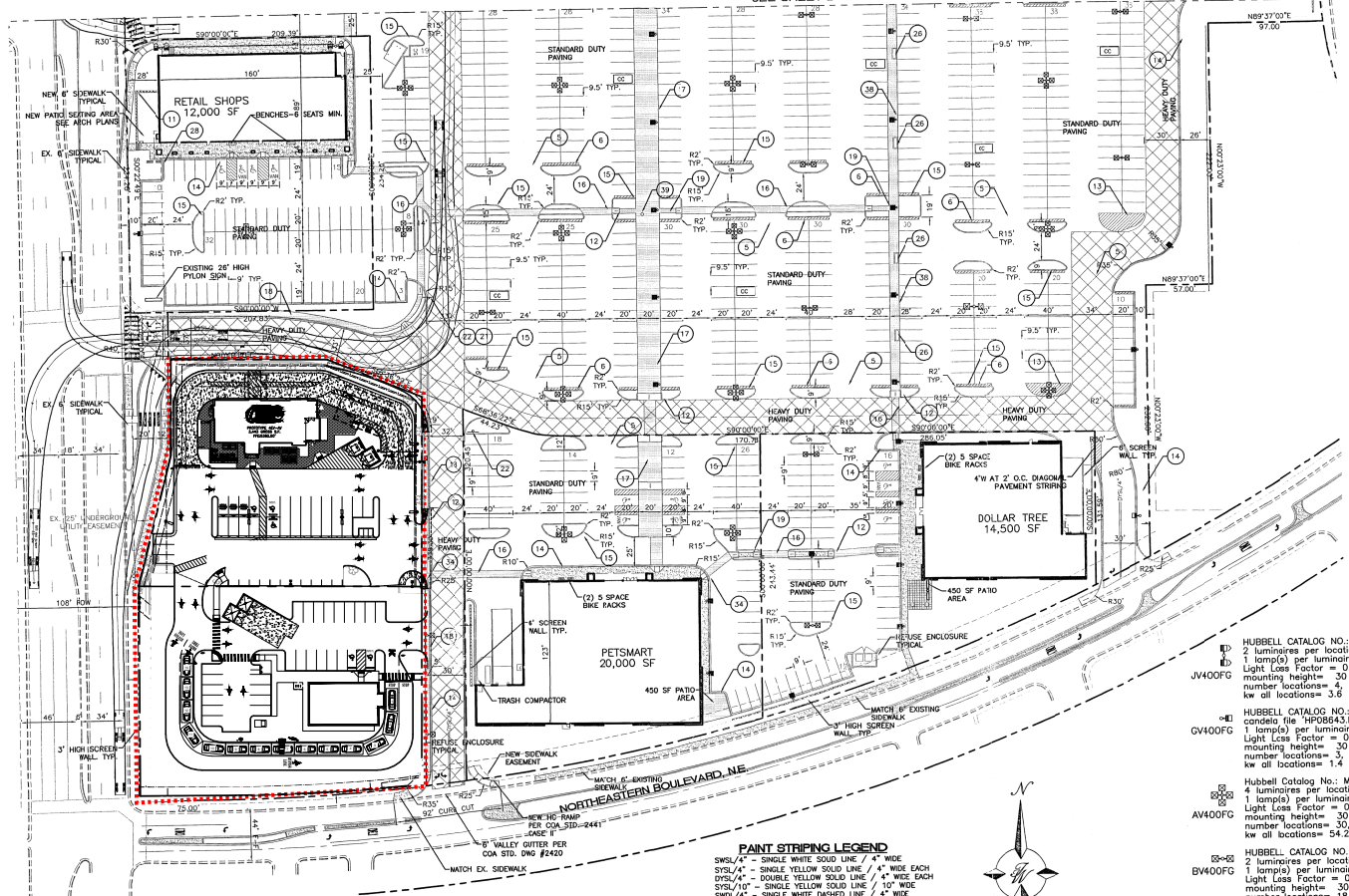
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	Date
Traffic Engineer, Transportation Division	11/9/25
<i>[Signature]</i>	Date
Urban Development	11/6/25
<i>[Signature]</i>	Date
Parks & Recreation Department	11/6/25
<i>[Signature]</i>	Date
City Engineer	
<i>[Signature]</i>	Date
Environmental Health Department (conditional)	
<i>[Signature]</i>	Date
Solid Waste Management	
<i>[Signature]</i>	Date
DRB Chairperson, Planning Department	11/6/25

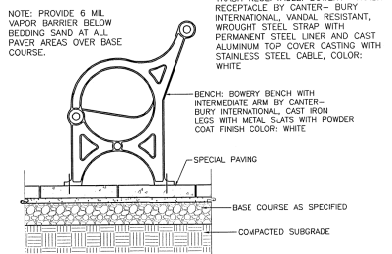
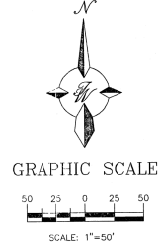
ENGINEER'S SEAL	ALBUQUERQUE WAL-MART	DRAWN BY: BOG
	NUM: 5491-00	
	SITE PLAN FOR SUBDIVISION	25DRB01550
	THERESA WREST, LLC 8508 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET #
RONALD R. BOHMAN P.E. #7868		JOB # 24047

1003747

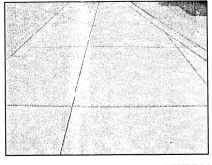
MATCHLINE
SEE SHEET 2



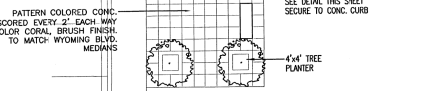
PAINT STRIPING LEGEND
 SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
 SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
 DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
 SWSL/10" - SINGLE WHITE SOLID LINE / 10" WIDE
 SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE



BENCH AND RECEPTACLE CONC. CONNECTION



SAMPLE IMAGE OF PATTERN COLORED CONC.



TYPICAL PATIO AREA DETAIL

SITE LEGEND

- 1 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS
- 2 NO PARKING-FIRE LANE PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80° O.C. LETTERS TO BE A MINIMUM 2'-0" TALL
- 3 "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL
- 4 PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- 5 PAINTED DIRECTIONAL ARROW TYPICAL
- 6 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING
- 7 10' x 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JOB CRANE LOCATION. SEE ARCH. PLANS
- 8 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE)
- 9 RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS
- 10 ROOF MOUNTED 10x119 COMPRESSOR UNITS. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE
- 11 4" HIGH SCREEN WALL PER ARCH. PLANS
- 12 UNIDIRECTIONAL HC RAMP
- 13 PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE
- 14 6" CONCRETE CURB AND GUTTER TYPICAL
- 15 6" CONCRETE HEADER CURB TYPICAL
- 16 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK (SHT 8)
- 17 6" WIDE RAISED TEXTURED COLORED CONCRETE SIDEWALK TYPICAL
- 18 6" TEXTURED COLORED CONCRETE SIDEWALK TYPICAL
- 19 4" TEXTURED COLORED CONCRETE SIDEWALK TYPICAL
- 20 AISLE INDICATOR SIGNS TYPICAL
- 21 "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION
- 22 "STOP" SIGN. SEE PLAN FOR LOCATION
- 23 4" STRIPE AT DRIVE THROUGH PHARMACY LANE. EXTEND 34' OUT FROM EDGE OF PHARMACY CONCRETE PAD
- 24 PEDESTRIAN CROSSING SIGN M10-2 AND M10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS
- 25 6" DIA. PIPE BOLLARD TYPICAL
- 26 TREE PLANTER, SIZE VARIES
- 27 6x6" TREE PLANTER TYPICAL
- 28 (3) 5 SPACE BKE RACK TYPICAL
- 29 NOT USED
- 30 ZERO CURB PER ARCH. SECTIONS
- 31 PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH
- 32 PROPOSED LIGHTING
- 33 CART CORALS TYPICAL
- 34 PROPOSED HC RAMP
- 35 SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL
- 36 WROUGHT IRON PARK BENCHES TYPICAL
- 37 RETAINING WALL TYPICAL
- 38 10' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK (SHT 8)
- 39 TRASH BIX

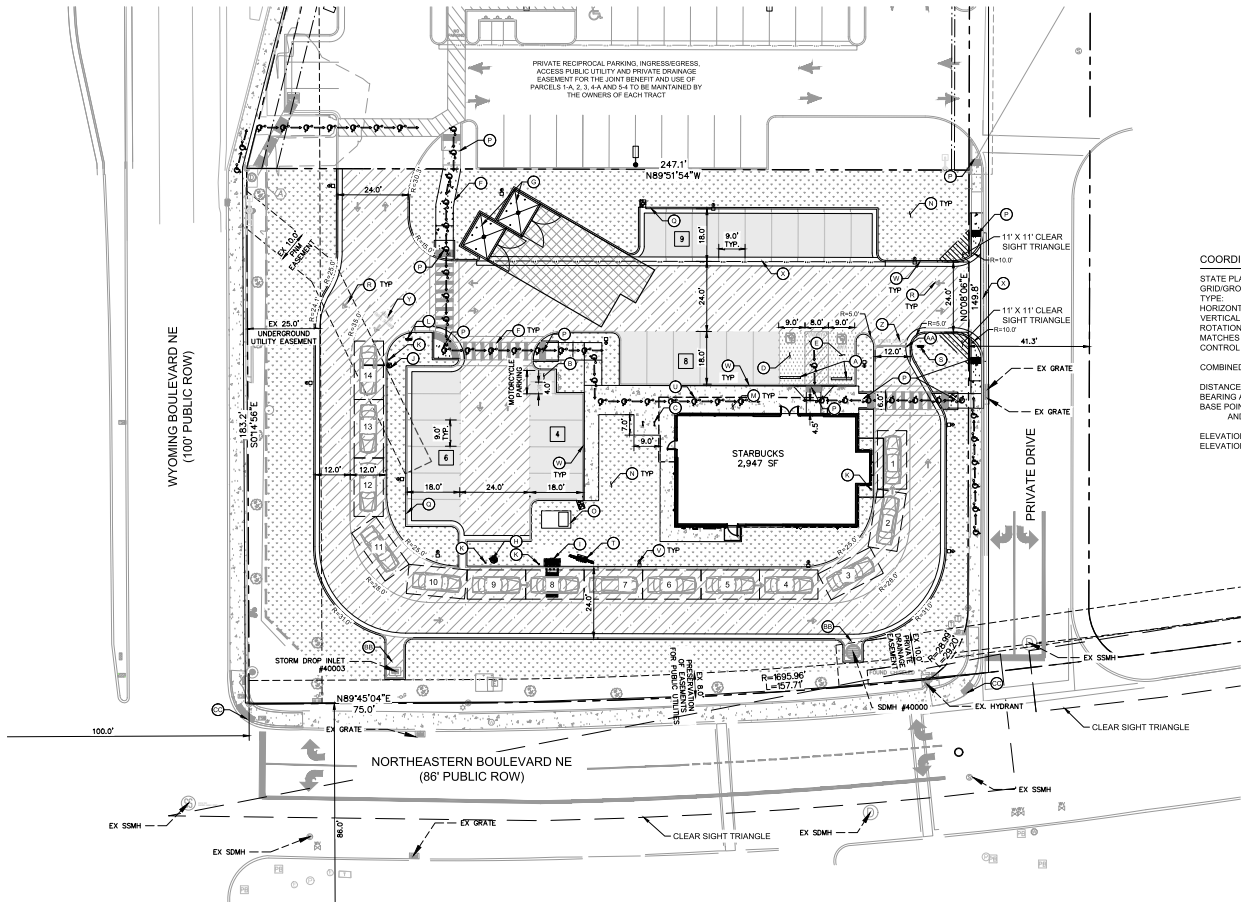
LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CORALS
- ASSOCIATE PARKING AREA
- BKE RACK
- BKE LOCKER

- JV400FG HUBBELL CATALOG NO.: MSVA400P-FPxwRGs
2 luminaires per location, condata file "HP08643.IES"
1 lamp(s) per luminaire, 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 4, number luminaires= 8
kw all locations= 3.6
- GV400FG HUBBELL CATALOG NO.: MSVA400P-FPxwRGs
condata file "HP08643.IES"
1 lamp(s) per luminaire, 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 3, number luminaires= 3
kw all locations= 1.4
- AV400FG Hubbell Catalog No.: MSVA400H-FWxxAR
4 luminaires per location, condata file "HP08645.IES"
1 lamp(s) per luminaire, 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 30, number luminaires= 120
kw all locations= 54.2
- BV400FG HUBBELL CATALOG NO.: MSVA400P-FWxxAR
2 luminaires per location, condata file "HP08645.IES"
1 lamp(s) per luminaire, 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 18, number luminaires= 36
kw all locations= 16.3
- CV400FG Hubbell Catalog No.: MSVA400H-FWxxAR
condata file "HP08645.IES"
1 lamp(s) per luminaire, 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 1, number luminaires= 1
kw all locations= 1
- NK1P1520 SPAULDING LIGHTING NK1-P15-P5-F-HS
lamp(s): M150PS/BU/MED
condata file "L9421NKP.ies"
1 lamp(s) per luminaire, 14000 initial lumens per lamp
Outreach (from mounting axis to photometric center)= 17 in
mounting height= 20 ft
number locations= 23, number luminaires= 23
kw all locations= 4.3
- NK1P1516 SPAULDING LIGHTING NK1-P15-H3-F-HS
lamp(s): M150PS/U/324
condata file "L9421NKP.ies"
1 lamp(s) per luminaire, 12000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 183
Outreach (from mounting axis to photometric center)= 17 in
mounting height= 15 ft
number locations= 15, number luminaires= 15
kw all locations= 2.8
- FV400FG HUBBELL CATALOG NO.: MSVA400P-FPxwAR
condata file "HP08644.IES"
1 lamp(s) per luminaire, 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 1, number luminaires= 1
kw all locations= 0.5
- NK1P1516 SPAULDING LIGHTING NK1-P15-H3-F-HS
lamp(s): M150PS/BU/MED
condata file "L9421NKP.ies"
1 lamp(s) per luminaire, 14000 initial lumens per lamp
Outreach (from mounting axis to photometric center)= 17 in
mounting height= 20 ft
number locations= 15, number luminaires= 15
kw all locations= 2.8
- EV400FG HUBBELL CATALOG NO.: MSVA400P-FPxwAR
condata file "HP08644.IES"
1 lamp(s) per luminaire, 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 6, number luminaires= 12
kw all locations= 5.4

	ALBUQUERQUE WAL-MART NM: 5491-00	DRAWN BY: BDC DATE: 11/08/05 22925PB.DWG
	SITE PLAN FOR BUILDING PERMIT - B	SHEET # 3 JOB # 220092
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		

This document, together with the contracts and designs presented herein, is an instrument of service, to be used only for the specific purpose and client for which it was prepared. Please do not reproduce or disseminate this document without written authorization and signature by the engineer and architect. No other liability to third parties and Associates, Inc.

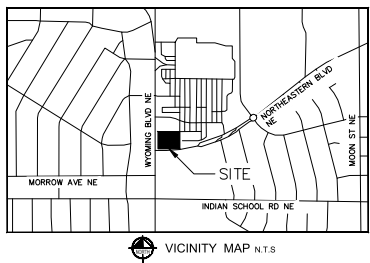


COORDINATE AND DIMENSION INFORMATION

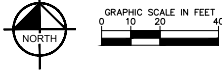
STATE PLANE ZONE: NM-C
 GRID: STANDARD
 TYPE: STANDARD
 HORIZONTAL DATUM: NAD83
 VERTICAL DATUM: NAVD83
 ROTATION ANGLE: 0°00'00.00"
 MATCHES DRAWING UNITS: YES
 CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM
 COMBINED SCALE FACTOR: GRID TO GROUND: 1.000348718
 GROUND TO GRID: 0.999651408
 DISTANCE ANNOTATION: GRID
 BEARING ANNOTATION: AND/OR ROTATION:
 BASE POINT FOR SCALING: YES
 ELEVATION TRANSLATION: N=0, E=0, L=0.00'
 ELEVATIONS VALID: YES

PARKING / SITE DATA PER IDO	
PORTION OF PARCEL 5-A WYOMING MALL	
EXISTING ZONING	MIXED USE (M-X-M)
PROPOSED USE	RESTAURANT W/ DRIVE-THRU
LOT AREA	44,381 SF / 1.02 AC
BUILDING AREA	2,488 SF
FINISHED FLOOR ELEVATION	5382.75
IMPERVIOUS AREA	27,018.28 SF / 0.62 AC
LOT COVERAGE	61.33%
TOTAL PARKING	19 SPACES / 27 SPACES
ACCESSIBLE	1 SPACE / 2 SPACES
MOTORCYCLE	1 SPACE / 2 SPACES
BICYCLE	3 SPACES / 4 SPACES
PARKING REQUIRED FOR DRIVE-THRU RESTAURANT	15 SPACES / 1,000 SF INDOOR

- LEGEND**
- PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - - - EASEMENT/SETBACK
 - ▬ PROPOSED CONCRETE CURB
 - ▬ EXISTING CURB
 - X PROPOSED PARKING COUNT
 - ▨ PROPOSED CONCRETE SIDEWALK. SEE DETAIL ON SHEET C7.0.
 - ▩ PROPOSED STANDARD DUTY CONCRETE. SEE DETAIL ON SHEET C7.0.
 - ▧ PROPOSED HEAVY DUTY CONCRETE. SEE DETAIL ON SHEET C7.0.
 - ▦ PROPOSED STANDARD DUTY ASPHALT. SEE DETAIL ON SHEET C7.0.
 - ▤ PROPOSED HEAVY DUTY ASPHALT. SEE DETAIL ON SHEET C7.0.
 - ▥ PROPOSED LANDSCAPE. SEE LANDSCAPE PLAN.
 - ▧-▩-▦-▤-▥ ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)

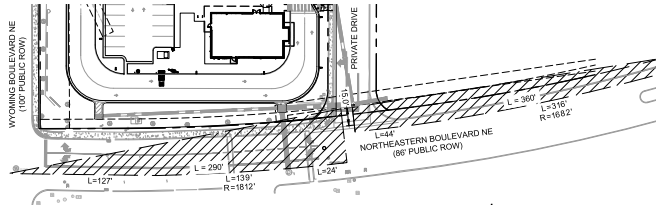


- KEYNOTE LEGEND**
- ⊙ WHEEL STOPS. SEE DETAIL ON SHEET C7.1.
 - ⊙ MOTORCYCLE PARKING AND SIGNAGE. SEE DETAIL ON SHEET C4.2.
 - ⊙ BICYCLE PARKING RACK. REFER TO LANDSCAPE SHEET L3.0 FOR DETAILS.
 - ⊙ ACCESSIBLE PARKING STALL AND SIGNAGE. SEE DETAIL ON SHEET C4.2.
 - ⊙ VAN ACCESSIBLE PARKING STALL AND SIGNAGE. SEE DETAIL ON SHEET C4.2.
 - ⊙ BIKEWAY AND PEDESTRIAN ACCESS.
 - ⊙ RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCH. PLANS.
 - ⊙ DRIVE THRU PRE-MENU BOARD. REFER TO STARBUCKS SIGNAGE VENDOR.
 - ⊙ DRIVE THRU ORDER BOARD. REFER TO STARBUCKS SIGNAGE VENDOR.
 - ⊙ DRIVE THRU HEIGHT DETECTOR. REFER TO STARBUCKS SIGNAGE VENDOR.
 - ⊙ PROPOSED BOLLARD. REFER TO STARBUCKS SIGNAGE VENDOR.
 - ⊙ DRIVE THRU SIGNAGE. REFER TO STARBUCKS SIGNAGE VENDOR.
 - ⊙ CONCRETE SIDEWALK. SEE DETAIL ON SHEET C7.0.
 - ⊙ LANDSCAPE AREA. REFER TO LANDSCAPE PLAN.
 - ⊙ PAD MOUNTED TRANSFORMER. REFER TO ARCH. PLANS.
 - ⊙ PROPOSED CURB RAMP. SEE DETAIL ON SHEET C7.0.
 - ⊙ PROPOSED CURB AND GUTTER. SEE DETAIL ON SHEET C7.0.
 - ⊙ PAVEMENT STRIPING. SEE DETAILS ON SHEET C4.2.
 - ⊙ DRIVE-THRU THANK YOU/LIGHT ONLY SIGN. REFER TO STARBUCKS SIGNAGE VENDOR.
 - ⊙ MENU BOARD. REFER TO STARBUCKS SIGNAGE VENDOR.
 - ⊙ BUILDING OVERHANG. REFER TO ARCH. PLANS.
 - ⊙ SITE LIGHTING. REFER TO MEP PLANS.
 - ⊙ PROPOSED CAST-IN-PLACE CONCRETE CURB. SEE DETAIL ON SHEET C7.1.
 - ⊙ PROPOSED VALLEY GUTTER.
 - ⊙ DRIVE-THRU ENTRY PAVEMENT ARROW. STARBUCKS PROTOTYPICAL DETAIL.
 - ⊙ "DO NOT ENTER" PAVEMENT MARKING. STARBUCKS PROTOTYPICAL DETAIL.
 - ⊙ STOP BAR. STARBUCKS PROTOTYPICAL DETAIL.
 - ⊙ ANGLED NO PARKING STRIPING. SEE DETAIL ON SHEET C4.2.
 - ⊙ INSTALL DETECTABLE WARNING. SEE DETAIL ON SHEET C7.1.



- SITE BENCHMARKS**
- ⊕ BENCHMARK #11*
 A.G.R.S. MONUMENT "13_H21"
 NORTHING: 1,495,255.734
 EASTING: 1,555,770.607
 ELEVATION: 5459.574 (NAVD 1988)
 GROUND TO GRID FACTOR: 0.999649002
 DELTA ALPHA ANGLE: -0°09'46.08"
 - ⊕ BENCHMARK #2*
 A.G.R.S. MONUMENT "14_H20"
 NORTHING: 1,495,141.626
 EASTING: 1,551,771.875
 ELEVATION: 5415.795 (NAVD 1988)
 GROUND TO GRID FACTOR: 0.999653810
 DELTA ALPHA ANGLE: -0°10'13.89"

- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - ALL CURB RADII ARE TO BE 10' OR 3' UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
 - REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC. DATED OCTOBER 2022.
 - ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY OF ALBUQUERQUE STANDARDS.
 - PER FEMA MAP NUMBER 35001C0356H DATED AUGUST 16, 2012. THIS SITE IS NOT WITHIN A FLOODPLAIN.
 - BUILDING IS FIRE SPRINKLED.
 - CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT IS NOT TO BE HELD LIABLE FOR ANY DAMAGE TO THE ASPHALT PAVEMENT.
 - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - ALL BROKEN OR CRACKED SIDEWALK ADJACENT TO THE PROPERTY LIMITS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAILS.



CLEAR SIGHT TRIANGLE INSET
 SCALE: 1"=50'



CAUTION!
 CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

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KEYNOTE PLAN

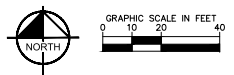
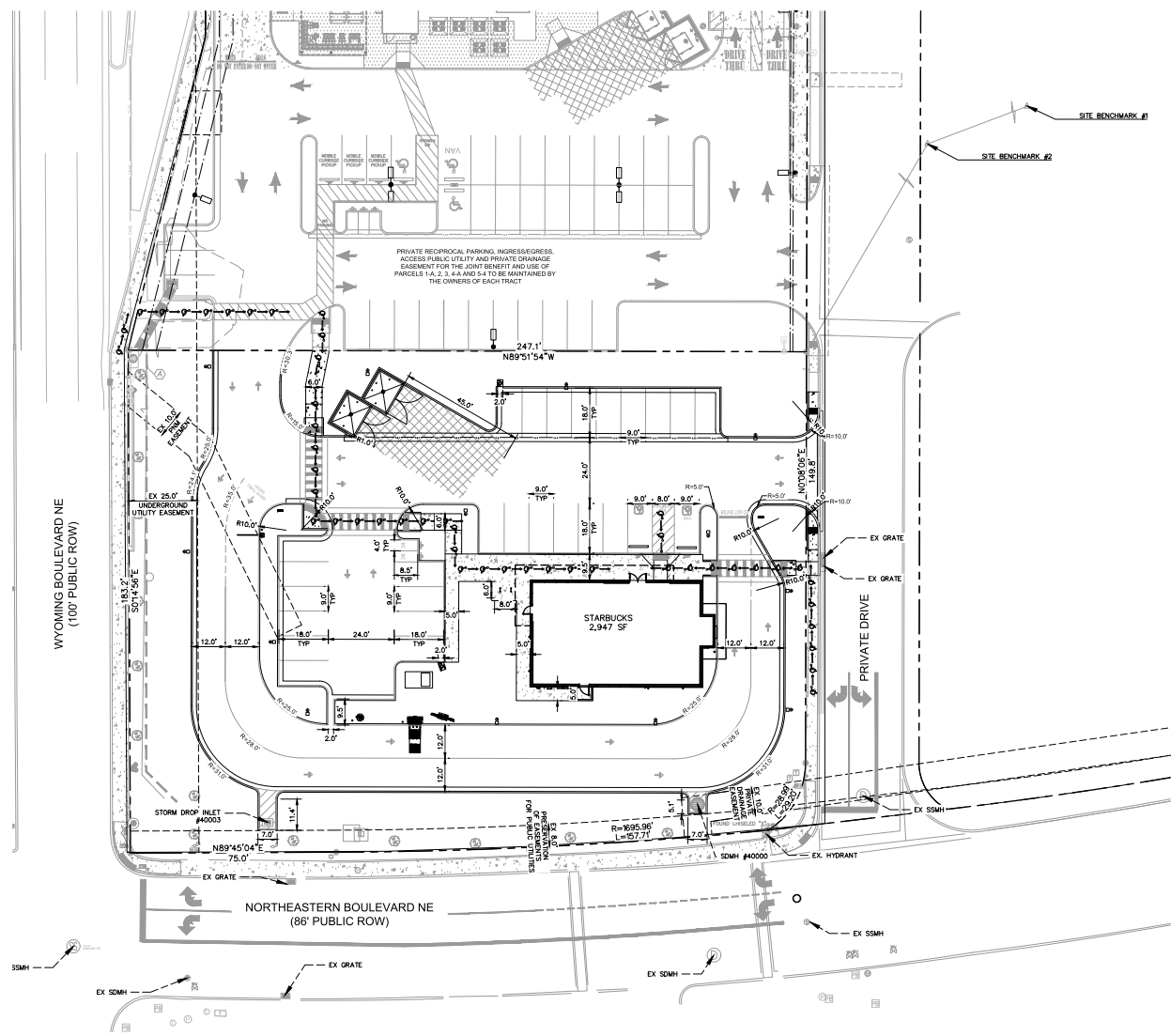
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 (206) 318-1575

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 SEATTLE, WASHINGTON 98134
 (206) 318-1575

SHEET NUMBER
 C4.0

NO.	REVISIONS	DATE

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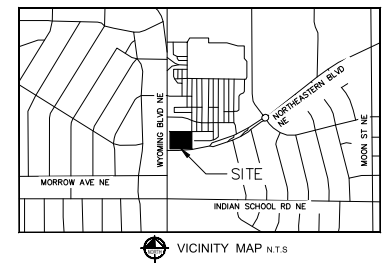


SITE BENCHMARKS

⊕ BENCHMARK #1
 A.G.R.S. MONUMENT "13_H21"
 NORTHING: 1,496,268.794
 EASTING: 1,555,770.007
 ELEVATION: 5499.574 (NAVD 1988)
 GROUND TO GRID FACTOR: 0.999643002
 DELTA ALPHA ANGLE: -0°09'48.00"

⊕ BENCHMARK #2
 A.G.R.S. MONUMENT "14_H20"
 NORTHING: 1,495,141.626
 EASTING: 1,551,771.676
 ELEVATION: 5415.798 (NAVD 1988)
 GROUND TO GRID FACTOR: 0.999633810
 DELTA ALPHA ANGLE: -0°10'13.85"

*SEE DIMENSION CONTROL PLAN, SHEET C4.1, FOR LOCATIONS



- LEGEND**
- — — — — PROPERTY LINE
 - - - - - ADJACENT PROPERTY LINE
 - - - - - EASEMENT/SETBACK
 - ▭ PROPOSED CONCRETE CURB
 - ▭ EXISTING CURB
 - ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)

- GENERAL NOTES**
- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
 - CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
 - ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 - ALL RADII THAT ARE NOT SPECIFICALLY DIMENSIONED ARE 3'.

- DIMENSION NOTES**
- ALL CURB RADII ARE TO BE 3' UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

NO.	REVISIONS	DATE	BY

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KIMLEY-HORN PROJECT NO. 20230000	DATE 06/09/2023
SCALE AS SHOWN	DESIGNED BY: INW/SP
DRAWN BY: INW/SP	CHECKED BY: LIV

DIMENSION CONTROL PLAN

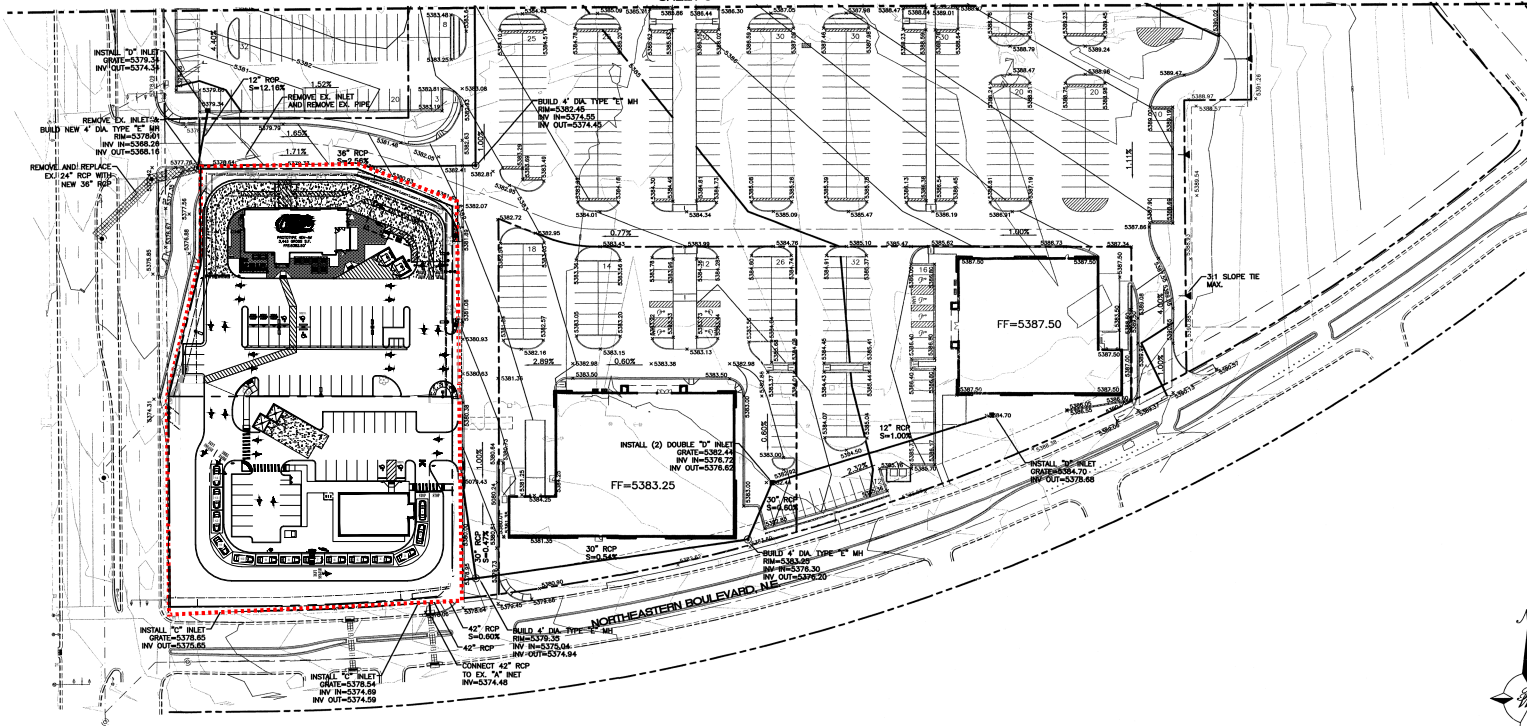
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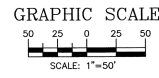
CAUTION!!
 CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

SHEET NUMBER
C4.1

MATCH LINE SEE SHEET 5



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

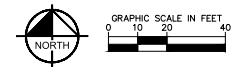
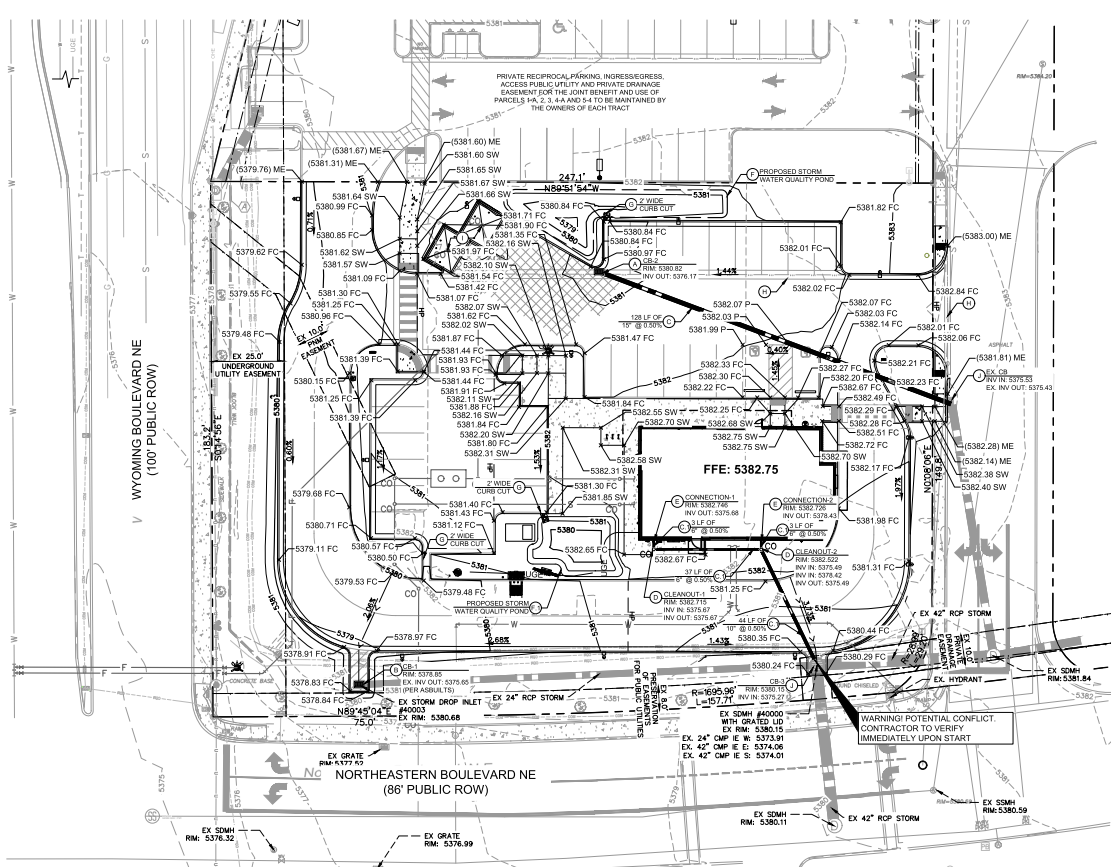


LEGEND

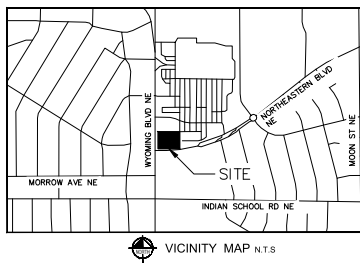
	EXISTING CURB
	FUTURE IMPROVEMENTS
	EXISTING BUILDING
	PROPOSED EXPANSION
	PROPOSED CURB
	BOUNDARY LINE
	GRADE CHANGE
	PROPOSED GRADE ELEVATION
	EXISTING GRADE ELEVATION

	ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7268	ALBUQUERQUE WAL-MART NM: 5491-00 GRADING AND DRAINAGE PLAN - B	DRAWN BY BDC DATE 9/08/05 222092-2-15-05X SHEET # 6 JOB # 220092
		TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	

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- LEGEND**
- PROPOSED PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - - - - - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED FLOW ARROW WITH SLOPE
 - PROPOSED SPOT ELEVATION
 - EXISTING STORM INLET
 - PROPOSED STORM MANHOLE
 - PROPOSED STORM INLET
 - PROPOSED STORM CLEANOUT
 - PROPOSED STORM CLEANOUT
 - GRADE BREAK
 - HP HIGH POINT
 - F TOP OF PAVEMENT
 - FC FACE OF CURB (AT FLOWLINE)
 - FL FLOWLINE
 - SW TOP OF SIDEWALK
 - ME MATCH EXISTING ELEVATION
 - TO TOP OF GRATE
 - RP PROPOSED RIDGE



- DRAINAGE KEYNOTES**
- 1. INVLOAST 18" DRAIN BASIN WITH 2X3 CURB INLET GRATE. SEE DETAIL SHEET C6.1
 - 2. REPLACE WITH STORM INLET TYPE C PER CITY OF ALBUQUERQUE STANDARD DETAIL 2206. SEE DETAIL SHEET C6.1
 - 3. HDPE STORM PIPE
 - 4. PVC STORM PIPE
 - 5. ROOF DRAIN CLEANOUT. SEE DETAIL SHEET C6.1
 - 6. ROOF DRAIN CONNECTION
 - 7. INFILTRATING DETENTION POND 1
TOTAL VOLUME = 600 CF
 - 8. INFILTRATING DETENTION POND 2
TOTAL VOLUME = 663 CF
 - 9. PROPOSED 2' WIDE DRAINAGE CURB CUT
 - 10. PROPOSED VALLEY GUTTER
 - 11. INLET TO BE CONNECTED TO THE SANITARY SEWER. SEE UTILITY PLAN.
 - 12. CORE INTO EXISTING CURB INLET FOR NEW CONNECTION.

INTRODUCTION AND PROJECT DESCRIPTION:
 THE PROJECT SITE IS LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF WYOMING BOULEVARD NE AND NORTHEASTERN BOULEVARD NE IN THE CITY OF ALBUQUERQUE, NM. THE SITE IS ZONED AND PLANNED FOR COMMERCIAL DEVELOPMENT AND THE USE PROPOSED IS A RESTAURANT WITH DRIVE THROUGH. AS SHOWN BY MAP 65001003561 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO DATED AUGUST 16, 2012, THE SITE IS LOCATED IN ZONE X AND IS NOT WITHIN A FLOOD HAZARD AREA.

METHODOLOGY:
 CHAPTER 6 OF THE COA DPM WAS UTILIZED TO CALCULATE THE PEAK FLOW AND RUNOFF VOLUME FOR 10-YEAR AND 100-YEAR, 24-HOUR STORM EVENTS. THE SITE IS LOCATED IN PRECIPITATION ZONE 3. EXISTING BASIN INFORMATION WAS OBTAINED BY SITE AERIALS AND TOPOGRAPHIC SURVEY.

EXISTING CONDITIONS:
 THE SITE HISTORICALLY WAS FULLY DEVELOPED. CONTAINED A 11,637 SF BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING. THE SITE IN THE INTERIM CONDITION IS A MASS GRADED SITE WITH NO DEVELOPMENT. THE SITE HISTORICALLY AND IN THE INTERIM CONDITION SURFACE FLOWS TO THE SOUTH TO TWO EXISTING INLETS ON THE SITE, ONE ON THE WEST SIDE AND ONE ON THE EAST SIDE. THE EXISTING STORM DRAIN INLETS DISCHARGE INTO THE PUBLIC STORM DRAIN SYSTEM IN NORTHEASTERN BOULEVARD NE AND WYOMING BOULEVARD NE.

PROPOSED CONDITIONS:
 THE PROJECT IMPROVEMENTS WILL INCLUDE INSTALLATION OF A RESTAURANT WITH DRIVE-THROUGH, CUSTOMER PARKING, SITE DRIVEWAYS AND LANDSCAPE AREAS. THE PROJECT SITE GENERATES A PEAK FLOW OF 0.84 CFS IN THE 100-YEAR, 6-HOUR STORM EVENT. THE PROPOSED DEVELOPMENT WILL DECREASE THE AMOUNT OF IMPERVIOUS COVER WHEN COMPARED TO THE EXISTING CONDITIONS AND WILL THIS INCREASE THE PEAK DISCHARGE GENERATED BY THE SITE.
 THE REQUIRED SWQ VOLUME IS 0.26 INCHES PER SF OF IMPERVIOUS AREA = 0.26(1 FT) 12 IN" 27.018 SF = 585 CF. THE SITE HAS PROVIDED APPROXIMATELY 1,458 CF OF SWQV IN DEPRESSED LANDSCAPE AREAS ON THE SITE.

CONCLUSIONS:
 THE PROPOSED DEVELOPMENT WILL NOT INCREASE RUNOFF FROM THE SITE NOR WILL IT CHANGE EXISTING DRAINAGE PATTERNS. THE SITE WILL DISCHARGE TO AN EXISTING STORM SEWER ON NORTHEASTERN BOULEVARD NE.

GRADING AND DRAINAGE NOTES

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY/VAH STANDARDS AND SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADINGS AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE. IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER, PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE CITY.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
- CONTRACTOR SHALL REFER TO FINAL GEOTECH REPORT FOR BUILDING SUBGRADE AND SITE PREPARATION REQUIREMENTS.
- CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
- ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
- GRADINGS FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL, SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
- ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
- REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
- ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.
- SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY OF ALBUQUERQUE SPECIFICATION 1012) WITH AGGREGATE MULCH OR EQUAL. (MUST SATISFY THE "FINAL STABILIZATION CRITERIA" CONSTRUCTION GENERAL PERMIT 21.21.4B).
- REFER TO CITY STANDARD DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
- CONTRACTOR RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS, INSTALLATION, AND UTILITY CROSSINGS.

APPROVED
 05/01/23
 City of Albuquerque
 Planning Department
 Development Review Services
 HYDROLOGY SECTION
 DATE: 05/01/23
 BY: [Signature]
 TITLE: Hydrologist
 PROJECT: P20003E

WEIGHTED E CALCULATIONS (EXISTING CONDITION)

Basin	Area (SF)	Area (Ac)	Treatment				100-Year		10-Year							
			Acres	%	Acres	%	Acres	%	Flow (cfs)	Volume (cu ft)						
DA 1	38,768	0.89	0.00	0%	0.00	0%	0.03	3%	0.86	97%	2.53	0.19	3.96	1.60	0.12	2.47
DA 2	5,663	0.13	0.00	0%	0.00	0%	0.13	100%	0	0%	1.09	0.01	0.41	1.64	0.02	0.37

WEIGHTED E CALCULATIONS (DEVELOPED CONDITION)

Basin	Area (SF)	Area (Ac)	Treatment				100-Year		10-Year							
			Acres	%	Acres	%	Acres	%	Flow (cfs)	Volume (cu ft)						
DA 1	0	0.75	0.00	0%	0.00	0%	0.16	21%	0.59	79%	2.26	0.14	3.36	1.40	0.09	1.93
DA 2	0	0.18	0.00	0%	0.00	0%	0.18	100%	0.00	0%	1.09	0.02	0.57	0.52	0.01	0.30
DA 3	0	0.11	0.02	18%	0.00	0%	0.06	55%	0.03	27%	1.42	0.01	0.36	0.77	0.01	0.20

Excess Precipitation E (in)

Zone	3	100-Year	10-Year
Ep	0.67	0.38	0.51
Ec	0.86	0.34	0.47
Eb	1.09	0.52	0.61
Ed	2.58	1.64	2.81

Peak Discharge (cfs/acre)

Zone	3	100-Year	10-Year
Qp	1.84	0.51	0.51
Qb	2.49	1.07	1.07
Qc	3.17	1.69	1.69
Qd	4.49	2.81	2.81

SWQ VOL

Impervious Area (sf)	SWQ VOL Required (CF)
27,018	945
1,200	3,100

*0.26 in per impervious SF

FLOODPLAIN NOTE
 BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP (FIRM). COMMUNITY PANEL NO. 35001C0356H, WHICH BEARS AN EFFECTIVE DATE OF AUGUST 16, 2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



CAUTION!
 CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

REVISIONS

No.	REVISIONS	DATE

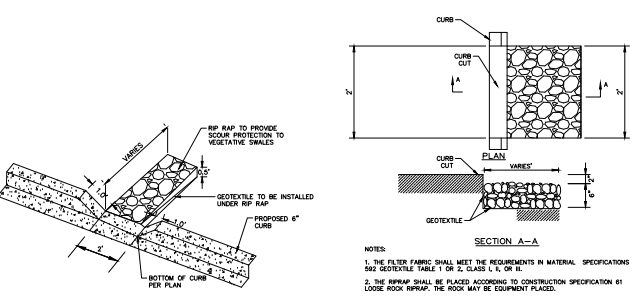
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 PH: (206) 465-9000
 WWW.KIMLEY-HORN.COM

STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 316-1975

GRADING PLAN

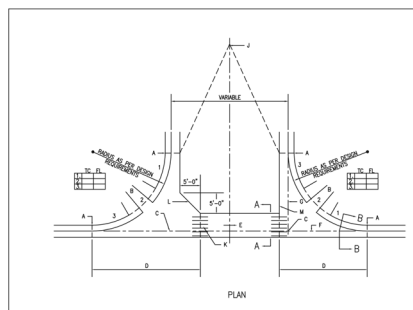
SHEET NUMBER C6.0

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- NOTES:**
1. THE FILTER FABRIC SHALL MEET THE REQUIREMENTS IN MATERIAL SPECIFICATIONS 565 GEOTEXTILE TABLE 1 OR 2, CLASS L, A, OR B.
 2. THE RIP RAP SHALL BE PLACED ACCORDING TO CONSTRUCTION SPECIFICATION 61 LOOSE ROCK RIPRAP. THE ROCK MAY BE EQUIPMENT PLACED.

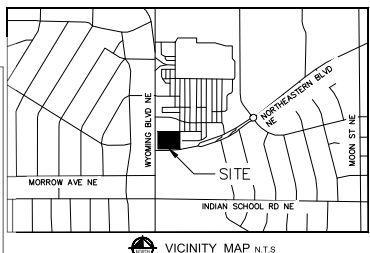
CURB CUT
1/18



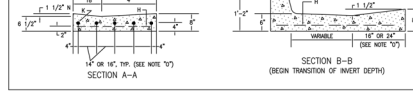
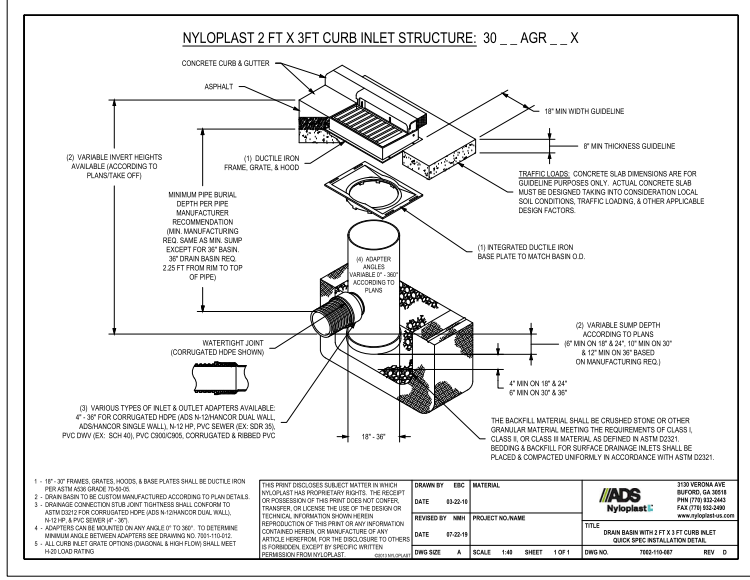
- GENERAL NOTES:**
1. REFER ENGINEER TO THE CITY OF ALBUQUERQUE FOR THE CURB RAMP SLOPE OF THIS SLOPE AND AN INTERSECTION OF PROPOSED CURB RAMP (CONCRETE SLOPE).
 2. REFER ENGINEER TO THE CITY OF ALBUQUERQUE FOR THE SLOPE OF THE CURB RAMP.
 3. THE CURB RAMP SHALL BE REINFORCED WITH 4" x 4" x 4" REINFORCING BARS.
 4. THE CURB RAMP SHALL BE REINFORCED WITH 4" x 4" x 4" REINFORCING BARS.
 5. THE CURB RAMP SHALL BE REINFORCED WITH 4" x 4" x 4" REINFORCING BARS.
 6. THE CURB RAMP SHALL BE REINFORCED WITH 4" x 4" x 4" REINFORCING BARS.
 7. THE CURB RAMP SHALL BE REINFORCED WITH 4" x 4" x 4" REINFORCING BARS.
 8. THE CURB RAMP SHALL BE REINFORCED WITH 4" x 4" x 4" REINFORCING BARS.
 9. THE CURB RAMP SHALL BE REINFORCED WITH 4" x 4" x 4" REINFORCING BARS.
 10. THE CURB RAMP SHALL BE REINFORCED WITH 4" x 4" x 4" REINFORCING BARS.

CONSTRUCTION NOTES:

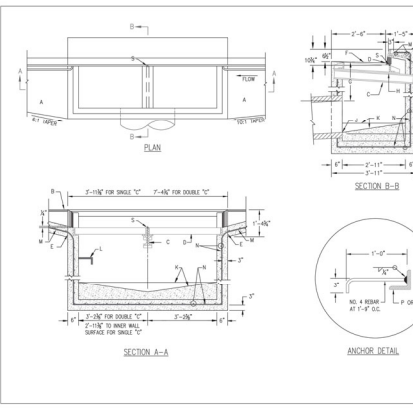
- A. FINE OF CURB RETAINING, SEE NOTE 1.
- B. FOR RAMP DETAILS, SEE DWG. 2418, 2440, 2441.
- C. INTERSECTION OF CHANNEL, SEE NOTE 1.
- D. SURFACE AND CURB TO BE FINISHED.
- E. DIRECTION OF FLOW.
- F. FINISHING.
- G. PROPOSED FINISHING OF 1/2" INCH, SEE NOTE 2.
- H. 6" x 6" AT NO. 6 GA. WIRE MESH.
- I. REFER ENGINEER TO THE CITY OF ALBUQUERQUE FOR THE CURB RAMP SLOPE OF THIS SLOPE AND AN INTERSECTION OF PROPOSED CURB RAMP (CONCRETE SLOPE).
- J. REFER ENGINEER TO THE CITY OF ALBUQUERQUE FOR THE SLOPE OF THE CURB RAMP.
- K. NO. 4 BARS 2'-0" LONG AT 18" O.C.
- L. ALTERNATE A, WITH FILLER AS PER PLANS.
- M. ALTERNATE A, WITH FILLER AS PER PLANS.
- N. REFER TO ARCHITECT FOR DETAILS OF CURB CUT WITH RAMP. REFER TO ARCHITECT FOR DETAILS OF CURB CUT WITH RAMP. REFER TO ARCHITECT FOR DETAILS OF CURB CUT WITH RAMP.
- O. REFER TO ARCHITECT FOR DETAILS OF CURB CUT WITH RAMP. REFER TO ARCHITECT FOR DETAILS OF CURB CUT WITH RAMP. REFER TO ARCHITECT FOR DETAILS OF CURB CUT WITH RAMP.



NO.	REVISIONS	DATE	BY



CITY OF ALBUQUERQUE
PAVING
VALLEY GUTTER
DWG. 2420
OCTOBER 2022



- GENERAL NOTES:**
1. FOR CURB INLET DETAIL, REFER TO THE CITY OF ALBUQUERQUE FOR THE CURB RAMP SLOPE OF THIS SLOPE AND AN INTERSECTION OF PROPOSED CURB RAMP (CONCRETE SLOPE).
 2. REFER ENGINEER TO THE CITY OF ALBUQUERQUE FOR THE SLOPE OF THE CURB RAMP.
 3. THE CURB RAMP SHALL BE REINFORCED WITH 4" x 4" x 4" REINFORCING BARS.
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 9. THE CURB RAMP SHALL BE REINFORCED WITH 4" x 4" x 4" REINFORCING BARS.
 10. THE CURB RAMP SHALL BE REINFORCED WITH 4" x 4" x 4" REINFORCING BARS.
- CONSTRUCTION NOTES:**
- A. REFER ENGINEER TO THE CITY OF ALBUQUERQUE FOR THE CURB RAMP SLOPE OF THIS SLOPE AND AN INTERSECTION OF PROPOSED CURB RAMP (CONCRETE SLOPE).
 - B. TOP OF CURB.
 - C. COVER SUPPORT ASSEMBLY (DOUBLE NUTS), SEE STD. DWG. 2515.
 - D. FINISHING.
 - E. CONSTRUCTION SLOPE.
 - F. NORMAL OUTER SLOPE.
 - G. 1/2" INCH WIRE MESH (EMERGENCY DIRECTED).
 - H. FRAME AND CURB.
 - I. INVERT OF DRAIN PIPE.
 - J. CONCRETE FILL, SHAPE PER DWG. 2522.
 - K. FOR STORM INLET DEPTH GREATER THAN 4', INSTALL STEEL DEPT. PER DWG. 2522, CONCRETE FILL.
 - L. REFER TO ARCHITECT FOR DETAILS OF CURB CUT WITH RAMP. REFER TO ARCHITECT FOR DETAILS OF CURB CUT WITH RAMP. REFER TO ARCHITECT FOR DETAILS OF CURB CUT WITH RAMP.
 - M. NO. 4 BARS AT 18" O.C.
 - N. 1/2" x 3/8" x 4" x 4" LONG FOR DOUBLE GRADE TYPE "T" STORM INLET.
 - O. 1/2" x 3/8" x 4" x 4" LONG FOR DOUBLE GRADE TYPE "T" STORM INLET.
 - P. 1/2" x 3/8" x 4" x 4" LONG FOR DOUBLE GRADE TYPE "T" STORM INLET.
 - Q. REFER TO ARCHITECT FOR DETAILS OF CURB CUT WITH RAMP. REFER TO ARCHITECT FOR DETAILS OF CURB CUT WITH RAMP. REFER TO ARCHITECT FOR DETAILS OF CURB CUT WITH RAMP.

Kimley-Horn
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1201 3RD AVE SUITE 2500, SEATTLE, WA 98101
WWW.KIMLEY-HORN.COM



KIMLEY-HORN PROJECT
DATE: 06/29/2023
SCALE: AS SHOWN
DESIGNED BY: NIMISH
DRAWN BY: LUY
CHECKED BY: LUY

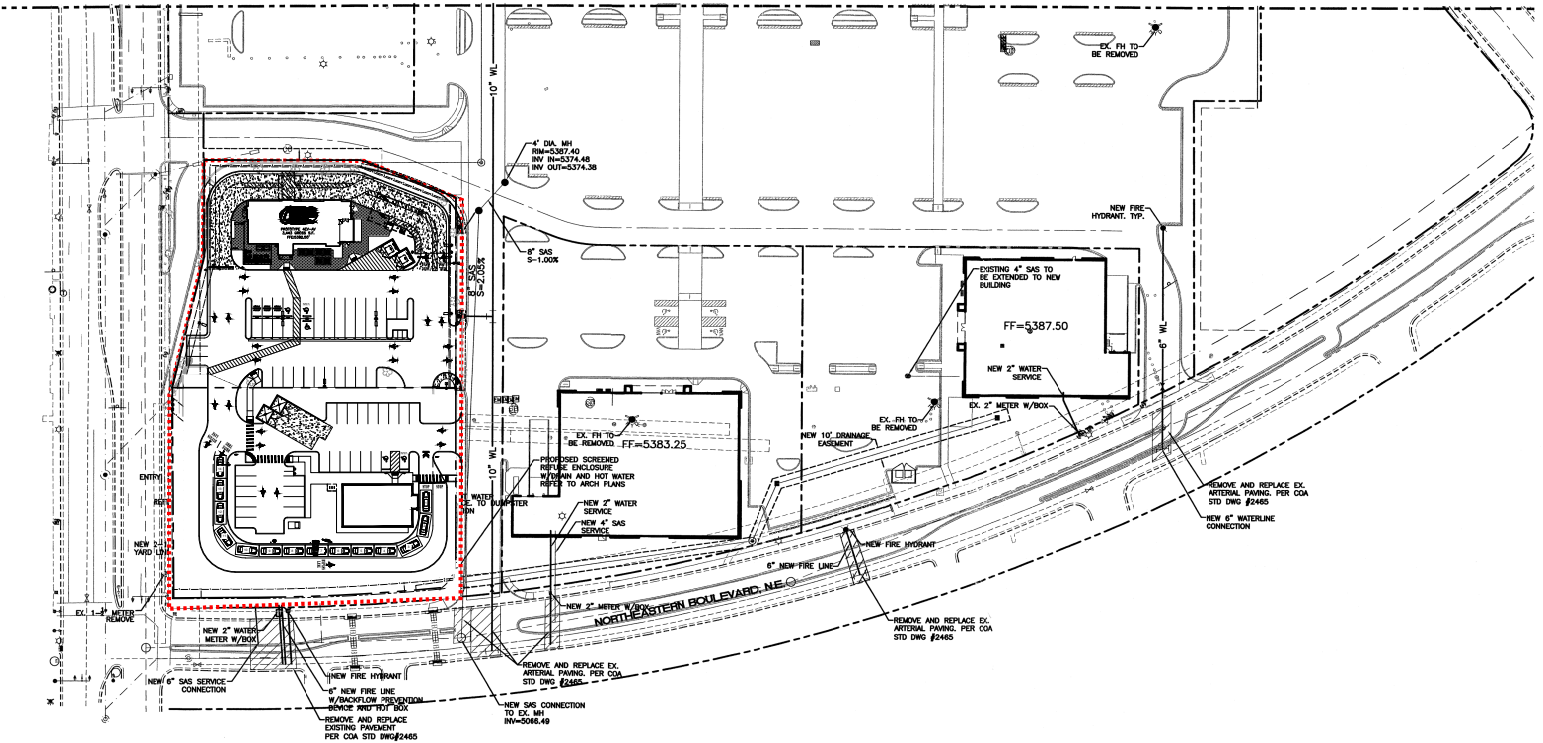
DRAINAGE DETAILS

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 316-1575

SHEET NUMBER
C5.1

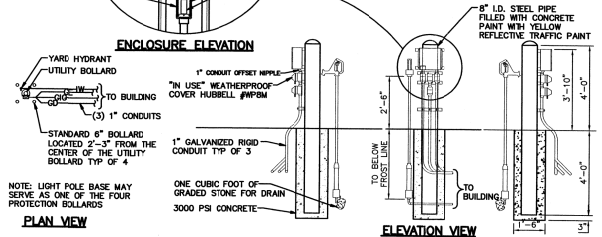
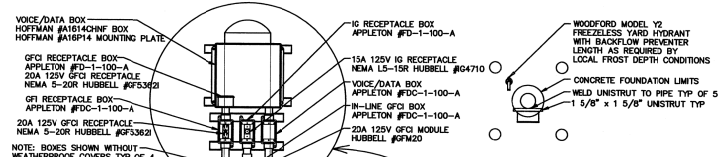


MATCH LINE SEE SHEET 7

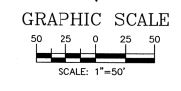


LEGEND

○	EXISTING SD MANHOLE
○	EXISTING INLET
○	EXISTING SAS MANHOLE
○	EXISTING METER
○	EXISTING VALVE W/BOX
○	EXISTING FIRE HYDRANT
○	EXISTING PEDESTAL
○	EXISTING POWER POLE WITH FEED
○	EXISTING POWER POLE
○	EXISTING PULL BOX
○	EXISTING GAS VALVE
○	EXISTING BOLLARD
○	EXISTING PARKING LOT LIGHT
○	PROPOSED PARKING LOT LIGHT
○	PROPOSED CLEAN OUT
○	PROPOSED DOUBLE CLEAN OUT
---	EXISTING OVERHEAD UTILITIES
---	EXISTING UNDERGROUND UTILITIES
---	EXISTING GAS
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
---	EXISTING CURB & GUTTER
---	PROPOSED STORM SEWER LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED FIRE HYDRANT
---	PROPOSED WATERLINE
---	BOUNDARY LINE
---	EASEMENT

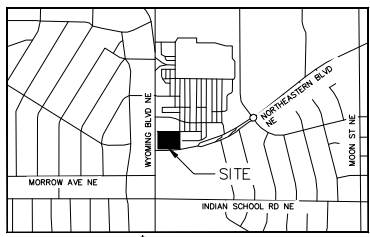
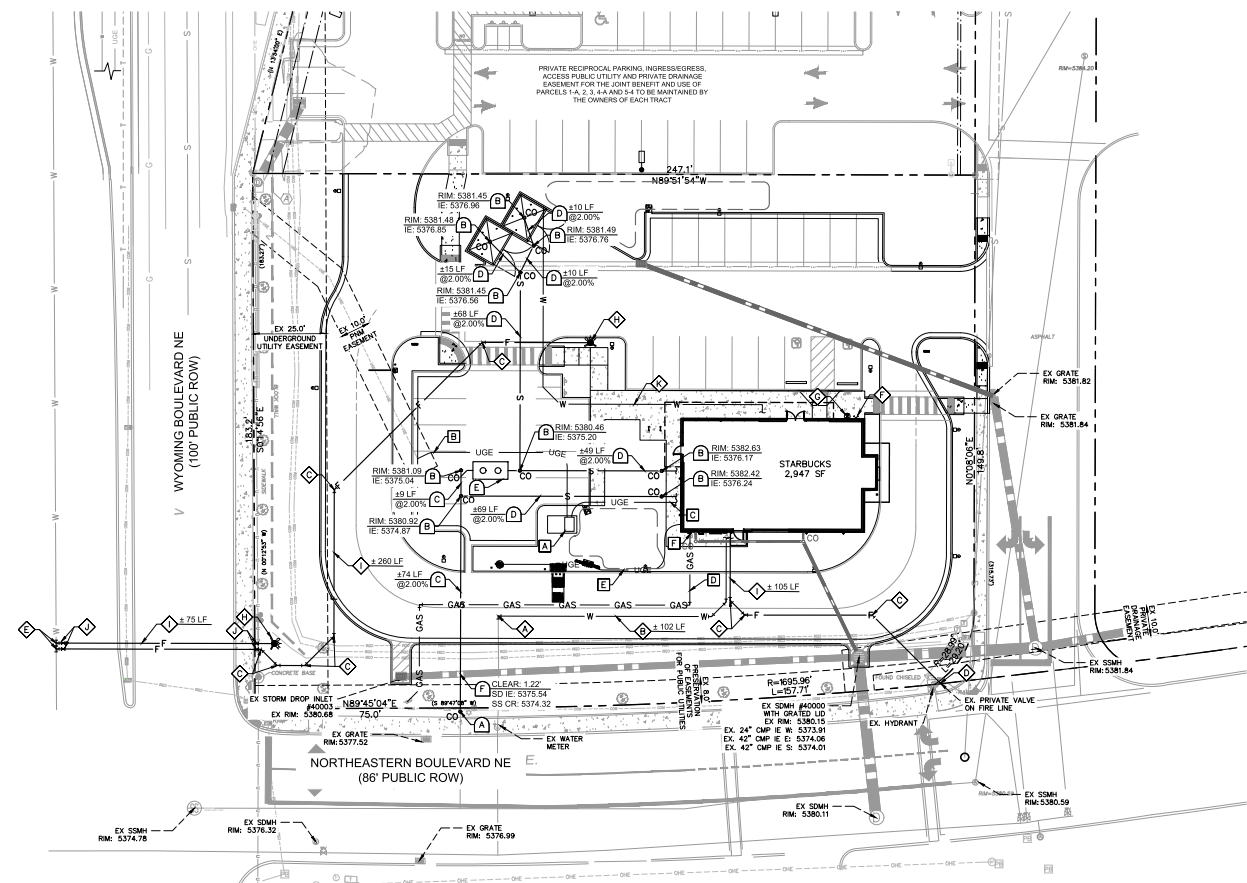


REMOTE GARDEN CENTER UTILITY BOLLARD



NO.	DATE	REVISIONS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART NM: 5491-00 MASTER UTILITY PLAN - B	DRAWN BY: RCG
			DATE: 10-13-05
		2292HUB.DWG	
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100			SHEET #
RONALD P. BOHANNAN P.E. #7668			8
			JOB # 220092

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UTILITY LEGEND

- PROPERTY LINE
- - - - - EXISTING EASEMENT
- - - - - PROPOSED EASEMENT
- - - - - PROPOSED SANITARY SEWER LINE
- - - - - PROPOSED WATER LINE
- - - - - PROPOSED FIRE WATER LINE
- - - - - PROPOSED UNDERGROUND GAS LINE
- - - - - PROPOSED UNDERGROUND ELECTRIC LINE
- - - - - PROPOSED UNDERGROUND TELEPHONE LINE
- - - - - PROPOSED STORM DRAINAGE LINE
- - - - - EXISTING STORM DRAINAGE LINE
- - - - - EXISTING OVERHEAD POWER LINE
- - - - - EXISTING GAS LINE
- - - - - EXISTING WATER LINE
- - - - - EXISTING SANITARY SEWER LINE
- ◆ PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- PROPOSED SEWER CLEANOUT
- PROPOSED WATER VALVE
- PROPOSED TEE
- PROPOSED BEND
- PROPOSED SEWER CLEAN OUT
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SIGN
- THRUST BLOCK
- SANITARY SEWER MANHOLE

DRY UTILITY KEYNOTE LEGEND

- A** TRANSFORMER, REFER TO MEP PLANS
- B** PRIMARY ELECTRICAL SERVICE, REFER TO MEP PLANS. CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER (PNM) TO CONFIRM NEW SERVICE LAYOUT
- C** SECONDARY ELECTRICAL SERVICE, REFER TO MEP PLANS
- D** GAS SERVICE, CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER (NEW MEXICO GAS COMPANY) TO CONFIRM NEW SERVICE LAYOUT
- E** CONDUIT TO MENU BOARDS, REFER TO MEP PLANS
- F** GAS METER
- G** GAS CONNECTION, CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER (NEW MEXICO GAS COMPANY) TO CONFIRM NEW SERVICE CONNECTION

SEWER KEYNOTE LEGEND

- A** CONNECT TO EXISTING 8" SEWER SERVICE WITH 6" x 6" REDUCER AND CLEANOUT
- B** SEWER CLEANOUT, SEE SHEET C7
- C** 8" SEWER PIPE, LENGTH AND SLOPE PER PLAN. INSTALL TRENCH BEDDING AND BACKFILL PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION SECTION 700
- D** 4" SEWER PIPE, LENGTH AND SLOPE PER PLAN. INSTALL TRENCH BEDDING AND BACKFILL PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION SECTION 700
- E** GREASE INTERCEPTOR, REFER TO MEP PLANS
- F** STORM CROSSING, ELEVATIONS PER PLAN

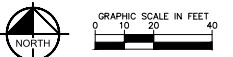
WATER KEYNOTE LEGEND

- ◆ CONNECT TO EXISTING 2.5" DOMESTIC WATER LINE PER CITY OF ALBUQUERQUE STD. DWG. 2301
- ◆ 2.5" DOMESTIC WATER LINE
- ◆ BEND, CONCRETE THRUST BLOCK REQUIRED PER CITY OF ALBUQUERQUE STD. DWG. 2320
- ◆ CONNECT 6" FIRE LINE TO EXISTING WATER VALVE
- ◆ 8" FIRE SERVICE TAP ON EX. 12" CI VIA PRESSURIZED CONNECTION
- ◆ FIRE DEPARTMENT CONNECTION, REFER TO MEP PLANS
- ◆ POST INDICATOR VALVE, REFER TO MEP PLANS
- ◆ FIRE HYDRANT PER CITY OF ALBUQUERQUE STD. DWG. 2340
- ◆ 8" FIRE LINE
- ◆ 8" DI GATE VALVE
- ◆ 34" COLD WATER TO TRASH ENCLOSURE WITH RPZ VALVE, REFER TO MEP PLANS

UTILITY NOTES

- SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
- REFER TO CITY STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
- REFER TO ARCHITECTURAL/MEP PLANS FOR LOCATION AND SIZING OF SLEEVES FOR FRANCHISE UTILITIES, IRRIGATION, ETC.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
PRIVATE: PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 50)
PUBLIC: PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 50)
PRIVATE (LARGER THAN 3 INCHES): PVC DR-18 (C-900) PER ASTM D 2241 OR ADS POTABLE WATER SERVICE TUBING (POLYFLEX - CTS PE4710)
- WATER LINES SHALL BE AS FOLLOWS:
PUBLIC: PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 50)
PRIVATE (LARGER THAN 3 INCHES): PVC DR-18 (C-900) PER ASTM D 2241 OR ADS POTABLE WATER SERVICE TUBING (POLYFLEX - CTS PE4710)
PRIVATE (3 INCHES OR SMALLER): TYPE "K" SOFT COPPER, ASTM B88 OR PVC DR-18 (C-900) PER ASTM D 2241 OR ADS POTABLE WATER SERVICE TUBING (POLYFLEX - CTS PE4710)
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY WITH REGARD TO MATERIALS AND INSTALLATION OF UTILITIES AND WITH NMED GUIDELINES FOR UTILITY CROSSINGS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DEFLECT ELECTRIC, GAS, CABLE, AND TELEPHONE CONDUIT AND PIPING AS REQUIRED TO AVOID UTILITY CONFLICTS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY CODES AND/OR UTILITY SERVICE COMPANIES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS IN REGARDS TO TAPS, HYDRANTS, VALVES, ETC.
- CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY STANDARDS.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET COVER ON ALL WATER LINES OR AS PER CITY REQUIREMENTS.
- POLYFLEX BY ADS TO BE USED IN PLACE OF COPPER WHERE ALLOWED BY CITY. CONTRACTOR TO VERIFY WITH CITY WHETHER IT CAN BE USED AND VERIFY WITH MEP REQUIRED INTERNAL DIAMETER FOR SUFFICIENT WATER FLOW TO BUILDING.



SITE BENCHMARKS

- ◆ BENCHMARK #1
A.G.R.S. MONUMENT "13_H21"
NORTHING: 1,496,256.734
EASTING: 1,565,770.607
ELEVATION: 5459.574 (NAVD 1988)
GROUND TO GRID FACTOR: 0.999645002
DELTA ALPHA ANGLE: -0°09'46.08"
- ◆ BENCHMARK #2
A.G.R.S. MONUMENT "14_H20"
NORTHING: 1,495,141.626
EASTING: 1,561,771.875
ELEVATION: 5415.796 (NAVD 1988)
GROUND TO GRID FACTOR: 0.999653810
DELTA ALPHA ANGLE: -0°10'13.89"

*SEE DIMENSION CONTROL PLAN FOR LOCATIONS



CAUTION!
CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

Kimley-Horn
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1201 3RD AVE SUITE 2500, SEATTLE, WA 98101
WWW.KIMLEY-HORN.COM



KEY PROJECT
DATE: 06/29/2023
SCALE: AS SHOWN
DESIGNED BY: NW/SPJ
DRAWN BY: NW/SPJ
CHECKED BY: LW

UTILITY PLAN

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 316-1975



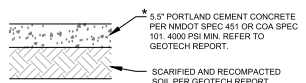
SHEET NUMBER
C6.0

NO.	REVISIONS	DATE



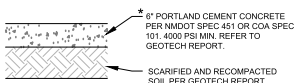
STANDARD DUTY CONCRETE PAVEMENT SECTION FOR TRAFFIC CATEGORY A

* CONCRETE FOR RIGID PAVEMENT SHOULD HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, A MODULUS OF RUPTURE OF 500 PSI, AND BE PLACED WITH A MAXIMUM SLUMP OF 4 INCHES.



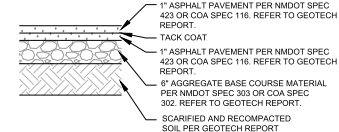
HEAVY DUTY CONCRETE PAVEMENT SECTION FOR TRAFFIC CATEGORY E

* CONCRETE FOR RIGID PAVEMENT SHOULD HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, A MODULUS OF RUPTURE OF 500 PSI, AND BE PLACED WITH A MAXIMUM SLUMP OF 4 INCHES.

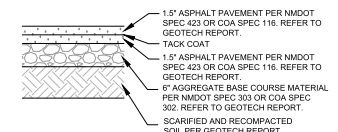


DUMPSTER PAD CONCRETE PAVEMENT SECTION

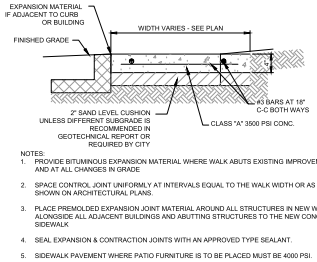
* CONCRETE FOR RIGID PAVEMENT SHOULD HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, A MODULUS OF RUPTURE OF 500 PSI, AND BE PLACED WITH A MAXIMUM SLUMP OF 4 INCHES.



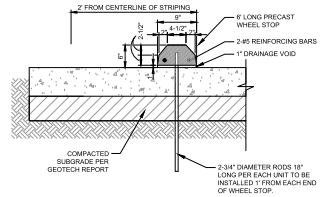
STANDARD DUTY ASPHALT PAVEMENT SECTION FOR TRAFFIC CLASS I



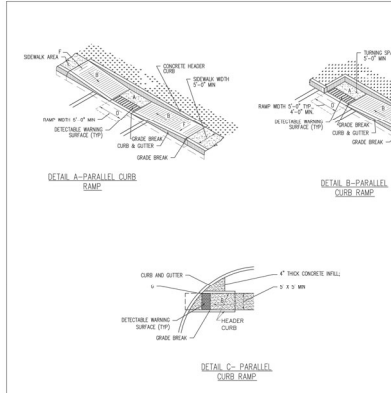
HEAVY DUTY ASPHALT PAVEMENT SECTION FOR TRAFFIC CLASS II



CONCRETE SIDEWALK DETAIL
N.T.S.



PRECAST CONCRETE WHEEL STOP DETAIL
N.T.S.



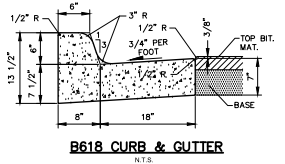
GENERAL NOTES

- TURNING SURVEY OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID EXCEEDING THE MINIMUM CURB LENGTH. IF TURNING SURVEY IS UNAVAILABLE, THE MINIMUM CURB LENGTH SHALL BE 15 FEET. THE MINIMUM CURB LENGTH SHALL BE EXTENDED AS NECESSARY TO MAINTAIN THE MINIMUM CURB LENGTH.
- SEE CMAA STD. DMC 2446 FOR DETECTABLE WARNING DEVICE DETAILS.

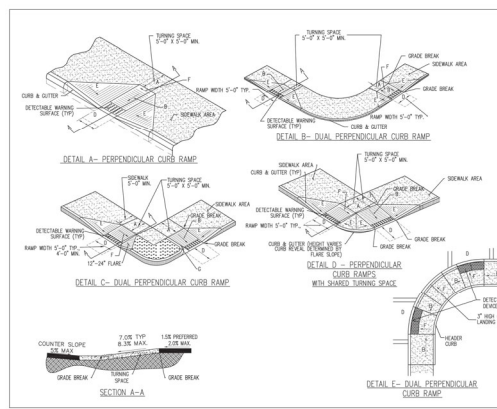
CONSTRUCTION NOTES

- TURNING SPACES SHALL HAVE MAXIMUM CROSS-SLOPE AND MINIMUM SLOPE OF 1.5% AND 1.5% RESPECTIVELY. THE MINIMUM SLOPE SHALL BE 1.5% AT THE 5 FEET FROM THE CURB RAMP.
- 1.5% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
- GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE INSTALLED ON THE SURFACE OF RAMP UNLESS DETAIL SHALL BE PROVIDED.
- COURSED SLOPE OF THE GUTTER OR STREET AT THE FRONT OF A CURB RAMP RUN OR TURNING SPACE SHALL BE 3%.
- 1.5% MAX. SLOPE OF RAMP. 7% PREFERABLE SLOPE OF RAMP.
- 1.5% MAXIMUM CROSS-SLOPE. 1.5% PREFERABLE SLOPE OF RAMP.
- FULLY SHARP CORNERS EXPOSED TO TRAFFIC TO 4" MINIMUM RADIUS.

REVISIONS	CITY OF ALBUQUERQUE
NO.	DATE
1	APRIL 2015
2	JUNE 2015



B618 CURB & GUTTER
N.T.S.



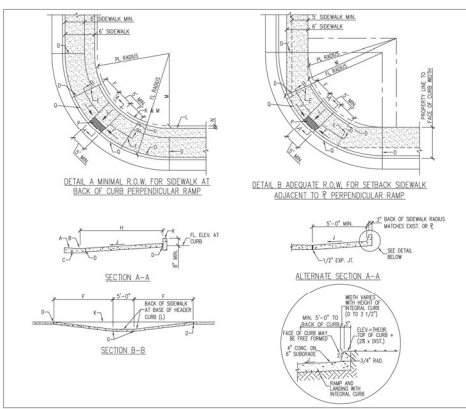
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- FULLY SHARP CORNERS EXPOSED TO TRAFFIC TO 4" MINIMUM RADIUS.

REVISIONS	CITY OF ALBUQUERQUE
NO.	DATE
1	APRIL 2015
2	JUNE 2015



GENERAL NOTES

- CURB ACCESS RAMP ARE NORMALLY TO BE LOCATED AT THE CENTER OF THE SECTION OR AS DIRECTED BY THE CITY ENGINEER.
- MINIMUM CLEARANCE OF INTERSECTION TO BE MAINTAINED THROUGHOUT THE AREA OF THE RAMP. OBSTRUCTIVE OBJECTS TO BE REMOVED FROM THE AREA OF THE RAMP. OBSTRUCTIVE OBJECTS TO BE REMOVED FROM THE AREA OF THE RAMP.
- SPACE REQUIRE OF CURB ACCESS RAMP SHALL BE MAINTAINED BY NEAR BY BROWNING. (100% 2025).
- GUTTER FROM-LOW PROFILE SHALL BE MAINTAINED THROUGHOUT THE AREA OF THE RAMP. OBSTRUCTIVE OBJECTS SHALL NOT BE PLACED IN LINE WITH RAMP. OBSTRUCTIVE OBJECTS SHALL NOT BE PLACED IN LINE WITH RAMP. OBSTRUCTIVE OBJECTS SHALL NOT BE PLACED IN LINE WITH RAMP.

CONSTRUCTION NOTES

- SLOPE OF GUTTER NOT TO EXCEED 3% ADJACENT TO RAMP. 1.5% PREFERABLE.
- FLOOR WITH RAMP AND GUTTER.
- CURB AND GUTTER SEE STD. DMC 2443 - GUTTER AT CURB ACCESS RAMP.
- 10" OPENING GUTTER.
- 1.5% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
- 1.5% MAXIMUM CROSS-SLOPE. 1.5% PREFERABLE SLOPE OF RAMP.
- HEAVY CURB, SEE DMC 2403.
- BACK OF SIDEWALK.
- BACK OF SIDEWALK RADIUS TO BE ESTABLISHED TO 4" MINIMUM RADIUS AT THE END OF RAMP. (MINIMUM RADIUS SHALL BE 4" MINIMUM RADIUS AT THE END OF RAMP.)
- 4" 1/2" WOOD.
- DETECTABLE WARNING DEVICE STD. DMC 2443.

REVISIONS	CITY OF ALBUQUERQUE
NO.	DATE
1	APRIL 2015
2	JUNE 2015

DATE

REVISIONS

NO.

Kimley-Horn & Associates, Inc.
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1201 3RD AVE SUITE 2500, SEATTLE, WA 98101
WWW.KIMLEY-HORN.COM

KIMLEY-HORN PROJECT NO. 24020000

DATE	06/20/2023
SCALE	AS SHOWN
DESIGNED BY	WNT/SPT
DRAWN BY	WNT/SPT

CHECKED BY: LUV

CONSTRUCTION DETAILS

STARBUCKS COFFEE COMPANY

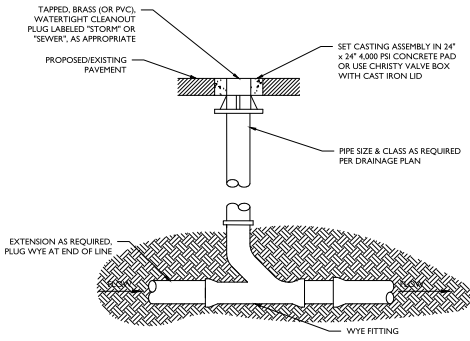
2401 UTAH AVENUE SOUTH SEATTLE, WASHINGTON 98134
(206) 316-1975

SHEET NUMBER
C7.0

This document, together with the concepts and designs presented herein, is an instrument of service, the preparation of which is a pre-requisite to the preparation of any construction contract for which it was prepared. Hence, of and in preparation and possession by Kimley-Horn and Associates, Inc. and its assignees, and its use is limited to the specific project and client for which it was prepared. Hence, of and in preparation and possession by Kimley-Horn and Associates, Inc. and its assignees, and its use is limited to the specific project and client for which it was prepared. Hence, of and in preparation and possession by Kimley-Horn and Associates, Inc. and its assignees, and its use is limited to the specific project and client for which it was prepared.

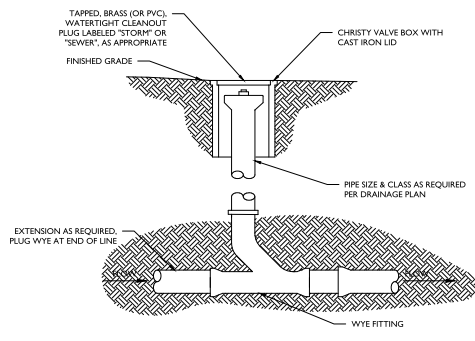
KEY NOTES:

- 1 FOR USE ON 8" DIAMETER OR SMALLER NON-PRESSURE PIPE LINES
- 2 USE DUCTILE IRON PIPE ADAPTOR IF CARRIER PIPE IS NOT DUCTILE IRON PIPE
- 3 SEE PLAN AND PROFILE DRAWINGS FOR ELEVATIONS
- 4 FIRMLY COMPACT EARTH AROUND BLOCK, WYE AND BEND
- 5 USES 1/2" ASPHALT IMPREGNATED FIBER PREFORMED JOINT MATERIAL AROUND PAD PLACED IN CONCRETE PAVEMENT



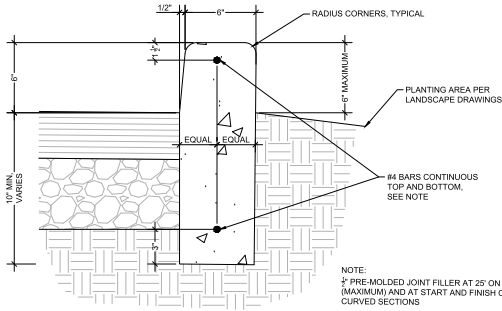
HARDSCAPE CLEAN-OUT

NOT TO SCALE



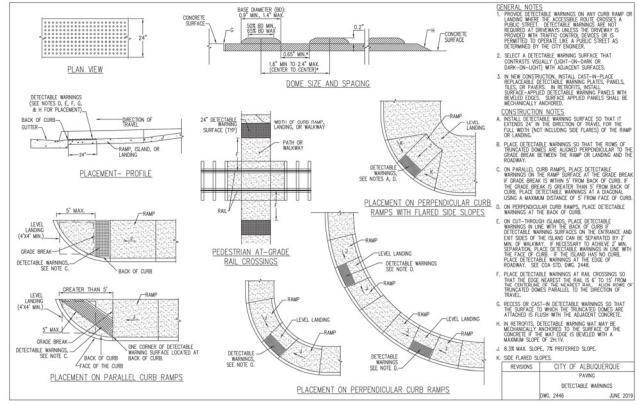
SOFTSCAPE CLEAN-OUT

NOT TO SCALE



NOTE:
 1/2" PRE-MOLDED JOINT FILLER AT 25' ON CENTER (MAXIMUM) AND AT START AND FINISH OF ALL CURVED SECTIONS

CAST-IN-PLACE CONCRETE CURB
 N.T.S.



GENERAL NOTES:
 1. DETECTABLE WARNING MATERIAL SHALL BE PLACED AT THE BACK OF THE CURB...
 2. SELECT A DETECTABLE WARNING SURFACE THAT COMPLETES THE SURFACE...
 3. IN NEW CONSTRUCTION, DETECTABLE WARNING SHALL BE PLACED ON THE TOP OF THE CURB...
 4. DETECTABLE WARNING SHALL BE PLACED AT THE BACK OF THE CURB...
 5. DETECTABLE WARNING SHALL BE PLACED AT THE BACK OF THE CURB...
 6. DETECTABLE WARNING SHALL BE PLACED AT THE BACK OF THE CURB...
 7. DETECTABLE WARNING SHALL BE PLACED AT THE BACK OF THE CURB...
 8. DETECTABLE WARNING SHALL BE PLACED AT THE BACK OF THE CURB...
 9. DETECTABLE WARNING SHALL BE PLACED AT THE BACK OF THE CURB...
 10. DETECTABLE WARNING SHALL BE PLACED AT THE BACK OF THE CURB...

NO.	REVISIONS	DATE	BY

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KIMLEY-HORN PROJECT	06/30/2020
DATE	06/30/2023
SCALE AS SHOWN	AS SHOWN
DESIGNED BY	MM/SP
DRAWN BY	MM/SP
CHECKED BY	LUV

CONSTRUCTION DETAILS

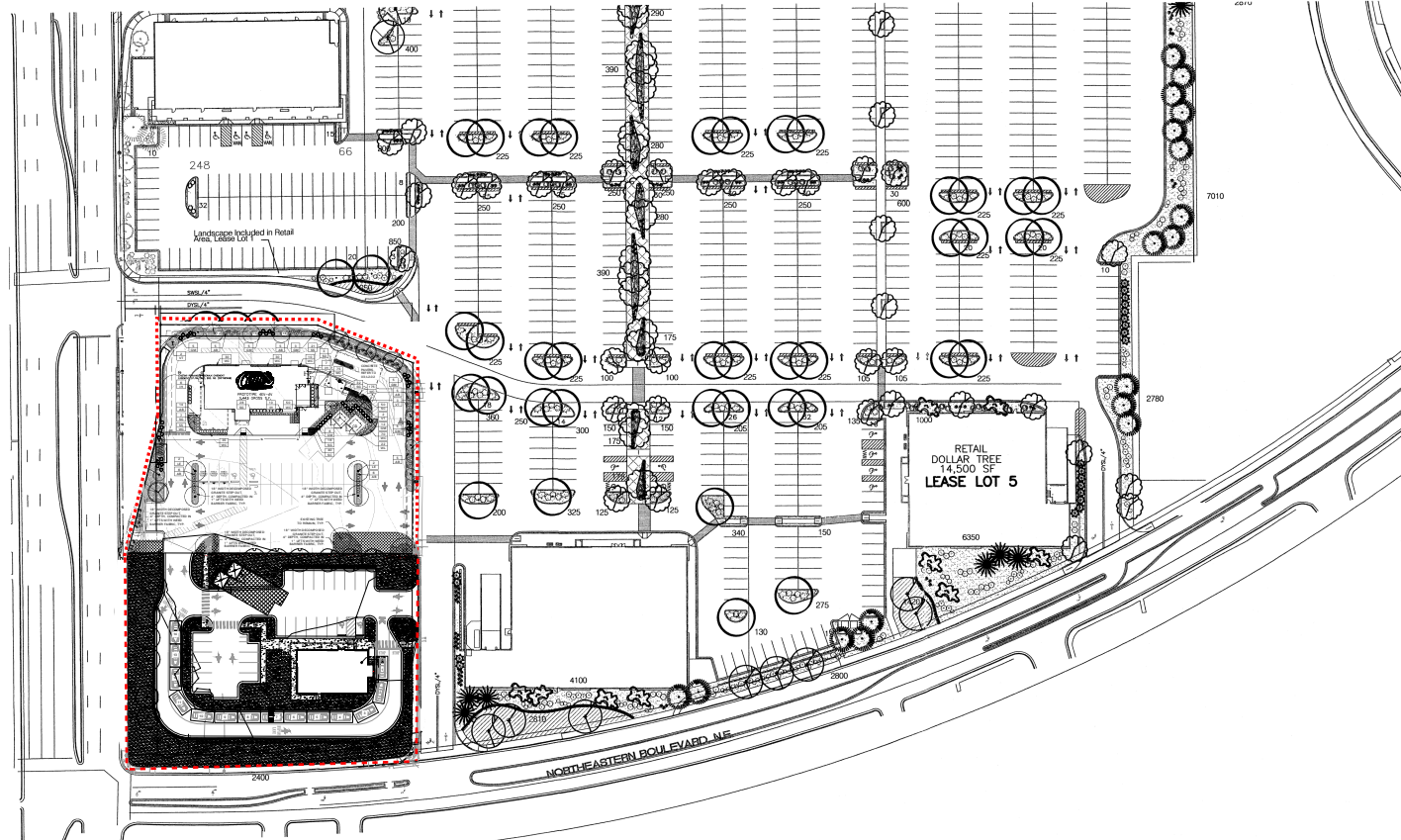
STARBUCKS COFFEE COMPANY
 2401 10TH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 316-1575



MATCHLINE
SEE SHEET 2

LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
27	2" cal	Ash	M+
		<i>Fraxinus pennsylvanica</i>	
70	2" cal	Honey Locust	M
		<i>Gleditsia triacanthos</i>	
Note: All site perimeter trees shall be 2" cal. minimum. Honor site trees shall be size as indicated in legend.			
39	6" B	Austrian Pine	M
		<i>Pinus nigra</i>	
18	6" B	Blue Spruce	M
		<i>Picea pungens</i>	
31	10-12"	Japanese Pagoda	M
		<i>Sophora japonica</i>	
113	10-12"	Chilopsis	M
		<i>Chilopsis x lanthanensis</i>	
9	4" B	Washington Hawthorne	M
		<i>Crataegus phaeococcinifera</i>	
10	2" cal	Desert Willow	L
		<i>Chilopsis linearis</i>	
36	2" cal	Spartan Juniper (terrace species)	L
		<i>Juniperus chinensis "Spartan"</i>	
186	5 Gal	Wintergreen Barbary	M
		<i>Berberis julifolia</i>	
118	5 Gal	Indian Hawthorne	M
		<i>Raphiolepis indica</i>	
175	5 Gal	Honeysuckle	M
		<i>Lonicera japonica</i>	
79	5 Gal	Dwarf Butterfly Bush	M
		<i>Buddleia davidii nanhoensis</i>	
365	5 Gal	Dwarf Fuchsia	M
		<i>Pentstemon villosus</i>	
117	5 Gal	Cherry Sage	M
		<i>Salvia greggii</i>	
153	5 Gal	Rosemary	M
		<i>Rosemary officinalis</i>	
288	5 Gal	Engelmann Lavender	L
		<i>Lavandula angustifolia</i>	
96	5 Gal	Apache Plume	L
		<i>Folysia parviflora</i>	
Santa Fe Brown Crusher Fines Solid Lawn: Less than 20% of Provided Landscape Area Commercial Grade Street Edge			



LANDSCAPE NOTES

Owner is responsible for maintenance of Irrigation System, Landscape Plantings, and Landscape Mulch. Landscape Plant material which dies shall be replaced by the owner no later than 60 days after notification.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.

Landscape contractor shall submit an irrigation plan to the Landscape Architect, prior to construction for approval and prepared by a certified irrigation consultant or a Landscape Architect.

All landscape areas shall be covered in 2"-3" of landscape gravel, fines, bark mulch or other landscape mulch and commercial grade weed barrier fabric approved by the Landscape Architect.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Prior to Construction, Landscape Contractor shall verify location of all Utility Lines. In case of a discrepancy between utilities indicated on plan and actual field verification, contractor shall cease work and notify Landscape Architect immediately for directions on how to proceed.

Any damage to utility lines resulting from the negligence of the abutting landowner, his agents or employees in the installation and maintenance of the landscaped area in the public right-of-way shall be the responsibility of such landowner. Any damage to utility lines resulting from the growth of plant materials which have been approved by the applicable public utility as part of a plan for landscaping on the public right-of-way shall be the responsibility of such public utility. If a public utility disturbs a landscaped area in the public right-of-way, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after utility work. If, nonetheless some plant materials die, it is the obligation of the abutting landowner to replace the plant materials.

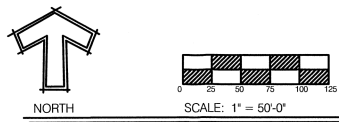
Landscaping shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA 30.42 x 43560 = (sf)	1,325,095
TOTAL BUILDING AREA (sf)	306,893 311,974
NET LOT AREA (sf)	1,015,619
LANDSCAPE REQUIREMENT (%)	× .15
TOTAL LANDSCAPE REQUIRED (sf)	152,343
TOTAL SOD PROVIDED (sf) 8.3%	6865.00
TOTAL XERISCAPE PROVIDED (sf)	196985 155,454
TOTAL EXISTING LANDSCAPE TO REMAIN	19230
TOTAL LANDSCAPE PROVIDED (sf)	169486 181,549

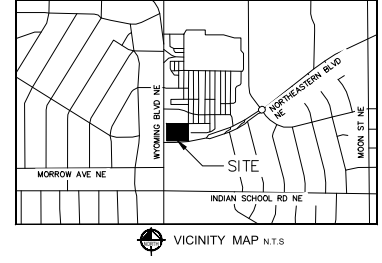
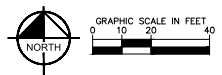
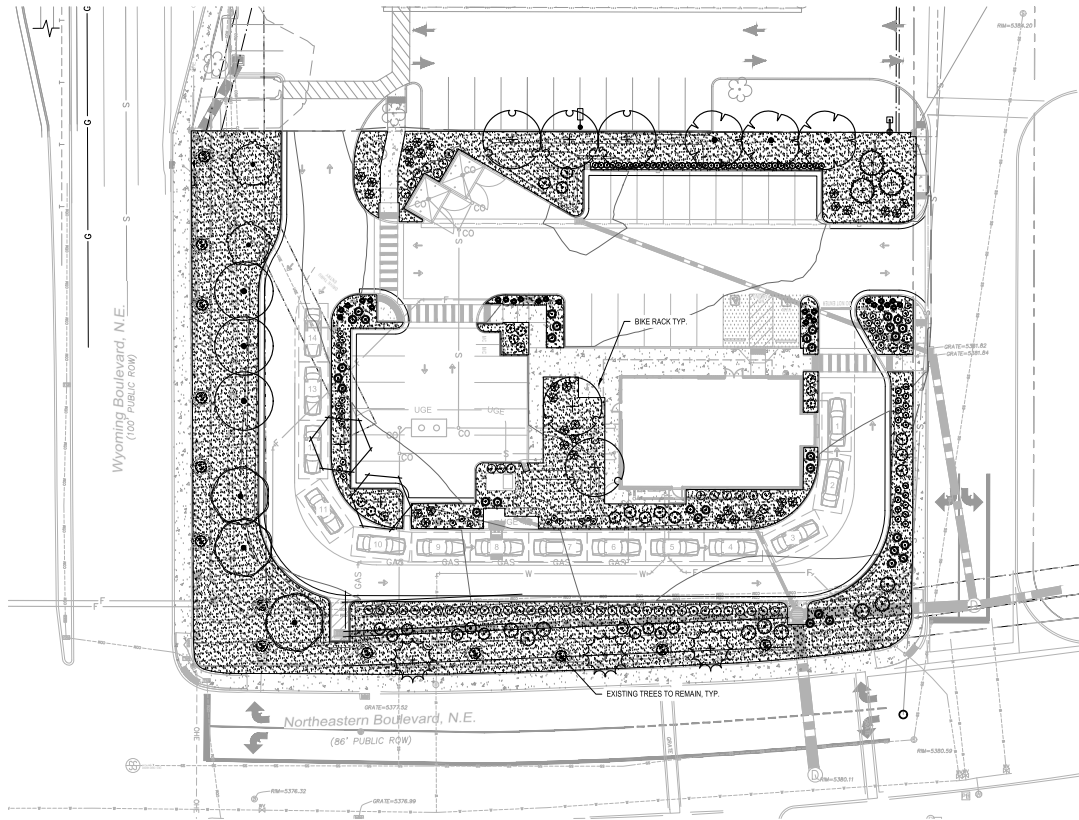


LANDSCAPE PLAN

Mitchell Associates, L.L.C.
Landscape Architects
3300 Central NE Suite #124
Albuquerque, NM 87110
(505) 836-4096
danny@mitchellassociatesllc.com

	ALBUQUERQUE WAL-MART NM: 5491-00	DRAWN BY DDM
	LANDSCAPE PLAN - B	DATE 10/18/2005
	SHEET # 4A	2292LS-12-27-044
		JOB # 220092

THIS DOCUMENT, TOGETHER WITH THE SPECIFICATIONS AND ANY PREVIOUS REVISED DRAWINGS, IS INTENDED ONLY FOR THE SPECIFIC PROJECT AND SITE. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION IN WRITING FROM KIMLEY-HORN AND ASSOCIATES, INC. WHILE BEING WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	AU	3	AMELANCHER UTAHENSIS	UTAH SERVICEBERRY	8 B.B.	2' CAL MIN	12' HT MIN
	CO	2	CERCIS OCCIDENTALIS	WESTERN REDBUD	8 B.B.	2' CAL MIN	12' HT MIN
	CL	2	CHALOPHIS LINEARIS	DESERT WILLOW	8 B.B.	2' CAL MIN	12' HT MIN
	JS	3	JUNIPERUS MONOSPERMA	ONE SEED JUNIPER	8 B.B.		6' HT MIN
	PO	3	PINUS MORA OREGON GREEN	OREGON GREEN ALUSTRIAN PINE	8 B.B.		8' HT MIN
	PM	3	PROSOPIS GLANDULOSA 'MAVERICK' TM	HONEY MESQUITE	8 B.B.	2' CAL MIN	12' HT MIN
	PA2	3	PRUNUS AMERICANA	WILD PLUM	8 B.B.	2' CAL MIN	12' HT MIN
	PC	5	PRUNUS CERASIFERA	PURPLE-LEAF PLUM	8 B.B.	2' CAL MIN	12' HT MIN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	BW	52	BUXUS MICROPHYLLA JAPONICA 'WINTER GEM'	WINTER GEM JAPANESE BOXWOOD	5 GAL.	SEE PLAN	18"-24" HT. MIN.
	CA2	33	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	1 GAL.	SEE PLAN	18"-24" HT. MIN.
	CC	11	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL.	SEE PLAN	18" HT MIN.
	CD	9	COTONEASTER OVARIATUS	SPREADING COTONEASTER	5 GAL.	SEE PLAN	18"-24" HT. MIN.
	CS	11	CYTISUS PURGANS 'SPANISH GOLD'	SPANISH GOLD BROOM	5 GAL.	SEE PLAN	18"-24" HT. MIN.
	HO	28	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DANULY'	1 GAL.	SEE PLAN	12" HT MIN.
	NV	59	NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL.	SEE PLAN	18"-24" HT. MIN.
	PA	13	PENSTEMON AMBIGUUS	OLIA BEARDTONGUE	5 GAL.	SEE PLAN	12" HT MIN.
	PB	28	POTENTILLA FRUTICOSA 'FARGO'	DAKOTA SUNSPOT POTENTILLA	5 GAL.	SEE PLAN	18"-24" HT. MIN.
	BH	37	RUBROCOCA HIRTA	BLACK-EYED SUSAN	5 GAL.	SEE PLAN	12" HT MIN.
GROUND COVER	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING
	SG	15,144 SF	GREY BREEZE CRUSHER FINES	GREY BREEZE CRUSHER FINES	FLAT		

STARBUCKS
CITY: Albuquerque
COUNTY: Bernalillo
ZONE: MX-M

STREET FRONTAGE LANDSCAPING				
STREET NAME	FRONTAGE LENGTH (LF)	WIDTH (FT) REQ./PROV.	TREE / LF REQ.	NO. TREES REQ./PROV.
Wyoming Blvd, N.E.	183	20/23	1/25	7/7*
Northeastern Blvd, N.E.	249	20/24	1/25	9/9*

PARKING LOT LANDSCAPE						
PARKING LOT AREA	LANDSCAPE % REQ.	LANDSCAPE AREA REQ./PROV.	TREE REQ./SPACE	NO. TREES REQ./PROV.	BUFFER REQ.	SIDE LOT REQ.
4,415	441 (10%)	441 (10%)/ 2,258 (51%)	1/30	3/3	MASONRY WALL OR CONTINUOUS LINE OF SHRUBS 3' HT AND 10' W	2 TREES AND 6 SHRUBS PER 25 LF

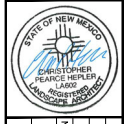
PEDESTRIAN WALKWAYS		
LENGTH OF PEDESTRIAN WALKWAYS (LF)	TREES / LF REQ.	NO. TREES REQ./PROV.
264	1/25	11/11

SITE LANDSCAPE				
TOTAL SITE AREA (SF)	SITE LANDSCAPE AREA REQ./PROV. (SF)	LIVE VEGETATION COVERAGE REQ./PROV. (SF)	GROUND LEVEL PLANTS AS VEGETATION COVERAGE REQ./PROV. (SF)	MAXIMUM TURF COVERAGE (SF) REQ./PROV.
44,412	6,662 (15%)/18,108 (40%)	4,997 (75%)/ 6,747 (101%)	1,249 (25%)/ 1,802 (36%)	666 (10%)/0 (0%)

NOTES
* 6 EXISTING TREES ON BOTH BLVD. TO COUNT TOWARDS STREET FRONTAGE REQUIREMENT
** PER 5-6 (C)(4)(b) - 1 TREE PER 25 LF OF PEDESTRIAN WALKWAY BUT DUE TO CONFLICTS TREES HAVE BEEN PLACED ELSEWHERE THROUGHOUT PROPERTY

NO.	REVISIONS	DATE	BY

Kimley-Horn
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DATE	SCALE	AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY

LANDSCAPE PLAN

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 316-1575



SHEET NUMBER
L1.0



GENERAL LANDSCAPE SPECIFICATIONS

A. SCOPE OF WORK
1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
B. PROTECTION OF EXISTING STRUCTURES
1. ALL EXISTING BUILDINGS, WALLS, WALLS, FINISH, PAVING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NECESSARY SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND/OR DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE SAFETY AND PROTECTION THEREOF, REPAIRING ANY DAMAGE RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
C. PROTECTION OF EXISTING PLANT MATERIALS
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC., THIS SHALL INCLUDE CONTRACTOR'S EXCESSIVE WEIGHT OR DAMAGE TO THE TRUNK OF TREES OR OTHER DELIBERATE MATERIALS WITHIN THE DRIPLINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE IRREVERSIBLY DAMAGED SHALL BE REPLACED AT THE COST OF THE CONTRACTOR FOR FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR INCHES CALIPER AND AGRICULTURE. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL. FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL. TREES OVER FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL SHALL BE REPLACED AT THE COST OF THE CONTRACTOR.
2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.
D. MATERIALS
1. GENERAL
MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) TON: FOOT
TOPSOIL MIX	ONE (1) CUBIC YARD
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

2. PLANT MATERIALS
a. FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLAN SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT AND WITH EACH STATE'S AND LOCAL REGULATIONS AND DEVELOPED BY TRANSPORTATION. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK. EXCESSIVE FOLIAGE WHEN IN LEAF AND FREE OF DISEASE, PESTS, HOLES, LARVAE, AND DEFECTS SUCH AS KNITS, SWELLING, INJURY, ABNORMALS, AND DISFIGUREMENT.
b. TREES FOR PLANTING AND ROOTS SHALL BE UNIFORM IN SIZE AND SHAPE.
c. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY NEW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
d. PROVIDE PLANTS OF CORRECT GRADES, AND SHALL COMPLY WITH THE COLORADO NURSERY ACT AND COLORADO NURSERY ACT FOR TYPES AND FORMS OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BULBS.
e. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS. LATENT DEFECTS OR NURSERY RELATED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE OF REJECTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
f. TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; THICK VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK (INCLUDES BARK'S CROSSING TRUNKS); CUT-OFF LIMBS MORE THAN 1/4 IN (6.35MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
g. FURNISH TREES AND SHRUBS WITH ROOT BALLS MEASURED FROM TOP OF ROOT BALL WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
h. LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES, INCLUDING NOMENCLATURE FOR HYBRID VARIETY, OR CULTIVAR IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
i. IF FORMAL ARRANGEMENTS OR CONSECUTIVE GREENS OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.
E. SOIL MIXTURE
1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW.
2. SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND TEST RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOL, CLAY LUMPS, BRUSH WEEDES AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 1 IN (25.4MM) IN ANY DIMENSION, AND OTHER EXTRANEOUS TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A pH BETWEEN 6.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 1/4% IN SAMPLE AND pH TESTING RESULTS FOR APPROVAL.
b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
3. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE, AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
F. WATER
1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL, OR MAN-MADE ELEMENTS DANGEROUS TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
*WATER IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
G. FERTILIZER
1. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITES PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY DERIVED.
*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH
1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS UNLESS OTHERWISE NOTED ON PLANS. MULCH SHALL BE DOUBLE SPECIFIED HARDWOOD MULCH-DOWN BROWN FINISH BY MOUNTAIN HORN SAVANNAH OR APPROVED EQUAL. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE SURFACE OF EACH PLANT BED. GROUND COVER, VINE BEDS, AND TREE RINGING OF DYED MULCH PLANTS UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.
I. DIGGING AND HANDLING
1. ALL TREES SPECIFIED SHALL BE BALLEE AND BURLAPPED (BBB) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
2. ALL TREES WITHOUT OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRIVING WINDS, WATER AND FREEZING AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTIFUNGAL PRODUCT (VIALTRUF OR EQUAL) TO MINIMIZE TRANSPORTATION WATER LOSS.
3. BBS AND BURLAP GROWN FOR PLANTS SHALL BE DUG WITH FIRMA NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
J. CONTAINER GROWN STOCK
1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
K. MATERIALS LIST
1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITIES ESTIMATES FOR THE ENTIRE PROJECT SHALL BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITIES, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
L. FINE GRADING
1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
2. ALL CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH-GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOIL AND/OR BULKHEAD DEPTH.
3. THE PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS, AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES IF APPLICABLE.
M. PLANTING PROCEDURES
1. THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBER OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR REMEDIATING PLANTING AREAS WHICH MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS LINES AND TANKS, WATER, SANITARY SEWERS, STORMWATER SYSTEMS, CABLES, AND TELEPHONE. PROTECT, MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (#11) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMBROCK AND LIMBROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 18" OR 24" IN LAYED SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO FINISHED GRADING WITH CLEAN TOPSOIL FROM AN ON SITE SOURCE OR AN IMPORTED SOURCE. IF LIMBROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTING AREAS AFTER BEING EXCAVATED BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY INSPECTED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED OUTSIDE SHALL NOT REMAIN UNPLANTED OR IMPROPERLY HEATED IN A PERIOD EXCEEDING TWENTY FOUR (24) HOURS AT ALL TIMES. VORSHAKIAN METHOD CUSTOMARY ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
6. WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY INSPECTED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED OUTSIDE SHALL NOT REMAIN UNPLANTED OR IMPROPERLY HEATED IN A PERIOD EXCEEDING TWENTY FOUR (24) HOURS AT ALL TIMES. VORSHAKIAN METHOD CUSTOMARY ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
7. ALL PLANTING OPERATIONS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
8. TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR COST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
9. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLOPPED INTO PLACE WITH A SLOW FULL HOSE STREAM. ALL PLANTING SHALL BE SUPERVISED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FORGEMAN.
10. PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE EXCAVATED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
11. EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
12. NO CONTINUOUS SHRUB AND GROUND COVER BEDS. THE ROOT-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 8".
13. TREE OPENINGS FOR WELL DRAINING SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON EXISTING SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINING SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT SET WALLS SHALL BE SOUGHT PRIOR TO PLANT INSTALLATION.
14. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
15. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E'.
16. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE SET. SOIL MIXTURE SHALL BE BACK FILLED THOROUGHLY TAMPED AROUND THE BALL AND SETTLED BY WATER (AFTER TAMPING).
17. ALL MENUS AND SOIL MIXTURE OPENINGS WITH EXISTING HARDSCAPE SHALL BE DUG SO AS TO BE SET AT AN ELEVATION RECOMMENDED. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMORPHIC SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INCULCATION.

REVISIONS	DATE	BY

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DATE: 10/23/2023
SCALE: AS SHOWN
DESIGNED BY: [Name]
DRAWN BY: [Name]
CHECKED BY: [Name]

KIMA PROJECT

LANDSCAPE NOTES

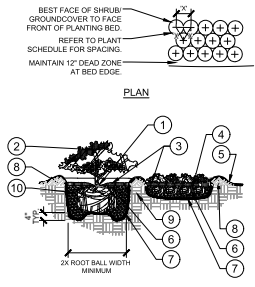
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 315-1575

WARRANTY
CONTRACTOR IS TO VERIFY CORRECTNESS AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION

SHEET NUMBER L2.0



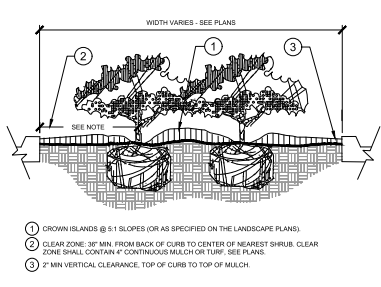
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- 1 TOP OF ROOTBALLS TO BE PLANTED AT GRADE OR SLIGHTLY ABOVE SURROUNDING SOIL. 2" DIA. CLEAR OF MULCH AT TRUNK FLARE.
- 2 PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/HEIGHT.
- 3 4" MULCH LAYER AS SPECIFIED.
- 4 EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
- 5 FOR CONDITIONS WITH FINISHED GRADE OF 4% MAX SLOPE ON ALL SIDES (SEE GRADING PLAN).
- 6 PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES) NOTE: WHEN GROUND-COVERS AND SHRUBS USED IN MASSES, ENTIRE BED TO BE AMENDED WITH PLANTING SOIL MIX AS SPECIFIED.
- 7 SCARIFY PLANT OPENING SIDES AND BOTTOM.
- 8 4" HIGH BERM FIRMLY COMPACTED.
- 9 UNDISTURBED NATIVE SOIL.
- 10 FERTILIZER TABLETS (MAX 3" DEEP).

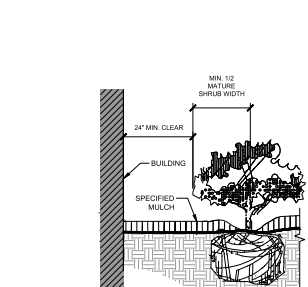
NOTES:
 A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING AREAS PRIOR TO INSTALLATION.
 B. WHEN SHRUBS ARE PLANTED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS/HEIGHT.
 C. ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY PROJECT LANDSCAPE ARCHITECT.
 D. FIRE-EMERGENT HERBICIDE TO BE APPLIED PRIOR TO PLANT INSTALLATION.

1 SHRUB/GROUNDCOVER PLANTING
 SECTION / PLAN NTS



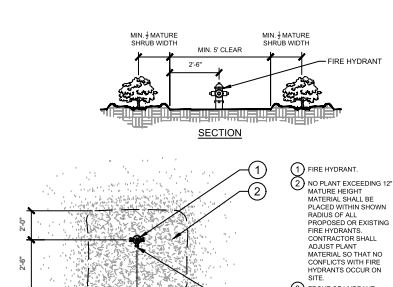
- NOTES:**
 A. EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.
 B. PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
 C. ALL ISLANDS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2" PER HOUR OR LESS.

2 PLANTED PARKING LOT ISLANDS/MEDIANS
 SECTION NTS



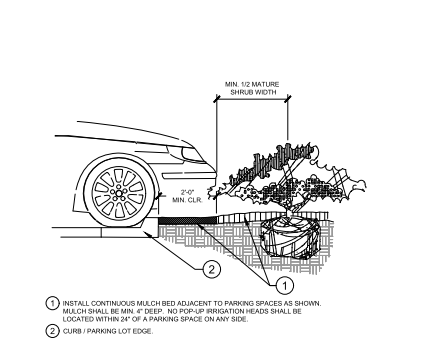
- NOTES:**
 1. CLEAR ZONE: 36" MIN. FROM BUILDING TO CENTER OF NEAREST SHRUB.
 2. INSTALL SPECIFIED MULCH 24" MIN. FROM BUILDING. SPECIFIED MULCH TO BE INSTALLED AT A DEPTH OF 4" (MIN.)

3 PLANTINGS ADJACENT TO BUILDINGS
 SECTION NTS

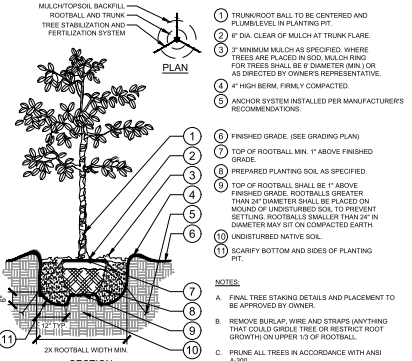


- NOTES:**
 1. FIRE HYDRANT.
 2. NO PLANT EXCEEDING 12" MATURE HEIGHT. MATERIAL SHALL BE PLACED WITHIN 50% RADIUS OF ALL PROPOSED OR EXISTING FIRE HYDRANTS. CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE HYDRANTS OCCUR ON SITE.
 3. FRONT OF HYDRANT (TOWARD CURB).

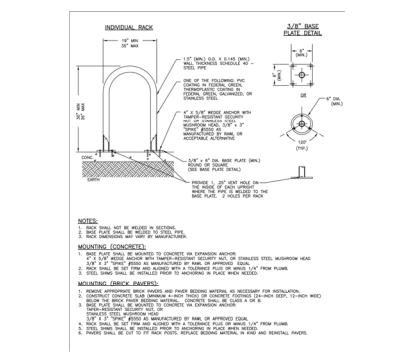
4 SHRUB PLANTING AT FIRE HYDRANT
 SECTION / PLAN NTS



5 PARKING SPACE/CURB PLANTING
 SECTION / PLAN NTS



6 TREE PLANTING
 SECTION / PLAN NTS



7 INVERTED U BIKE RACK
 SECTION / PLAN NTS

NO.	REVISIONS	DATE	BY

Kimley-Horn
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KHA PROJECT	DATE
SCALE AS SHOWN	DESIGNED BY
DRAWN BY	CHECKED BY

LANDSCAPE DETAILS

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 SEATTLE, WASHINGTON 98134
 (206) 315-1575



SHEET NUMBER
L3.0

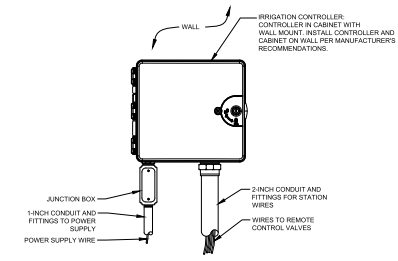


CAUTION!!
 CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

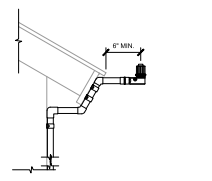
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GENERAL IRRIGATION SPECIFICATIONS AND NOTES

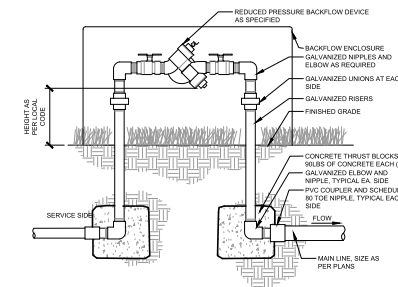
- THE SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE. ANY CHANGES MADE IN THE LAYOUT DUE TO FIELD CONDITIONS SHALL BE IN ACCORDANCE WITH THESE STANDARDS. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK. THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
 - THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
 - ALL CONSTRUCTION SHALL CONFORM TO TOWN, COUNTY, STATE AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
 - VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS. CONTRACTOR SHALL FIELD VERIFY.
 - CONTRACTOR TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN AVAILABLE WATER PRESSURE. REFER TO CRITICAL ANALYSIS FOR ASSUMED STATIC PRESSURE.
 - CONTRACTOR TO FIELD VERIFY ALL POINT OF CONNECTION SOURCE INFORMATION INCLUDING PSI AND GPM PRIOR TO CONSTRUCTION.
 - IRRIGATION DESIGN IS SCHEMATIC ONLY. FULL AND COMPLETE SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW BY THE OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL COORDINATE WITH THE PLANTING PLAN FOR PLANTER BED AND TREE LOCATIONS TO ENSURE ALL PLANT MATERIAL IS COVERED BY 100% HEAD-TO-HEAD IRRIGATION.
 - CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT.
 - IRRIGATION CONTRACTOR TO COORDINATE POWER SUPPLY TO ELECTRIC CONTROLLERS WITH ELECTRICAL CONTRACTOR.
 - IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR. WORK IN THE R.O.W. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTION.
 - IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
 - LOCATE ALL IRRIGATION LINES WITHIN LANDSCAPED AREAS WHENEVER POSSIBLE. ALL LINES UNDER PAVEMENT MUST BE SLEEVED. ALL VALVES SHALL BE LOCATED WITHIN LANDSCAPED AREAS, AS SPECIFIED.
 - IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
 - SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER.
 - INSTALL ALL BACKFLOW PREVENTION DEVICES AND ALL PIPING BETWEEN THE POINT OF CONNECTION AND THE BACKFLOW PREVENTER AS PER LOCAL CODES. FINAL LOCATION SHALL BE DETERMINED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
 - CONTRACTOR TO COORDINATE LOCATION OF ALL METERS AND BACKFLOW ASSEMBLIES WITH PROJECT OWNER.
 - THE IRRIGATION CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR SLEEVING AND DIRECTIONAL BORES.
 - EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRIM OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
 - ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE, TO THE NEAREST FOOT OF EACH END OF THE SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS. ALL SLEEVES ON PLAN FOR WALL PENETRATIONS AND UNDER SIDEWALKS SHALL BE SIZED TWO PIPE SIZES GREATER THAN THE PIPE OR CONDUIT. ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
 - ALL PRESSURIZED MAIN LINES AND LATERALS UNDER PAVEMENT SHALL BE WITHIN SLEEVES AS NOTED WHERE ELECTRIC OR HYDRAULIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT.
 - SLEEVES UNDER EXISTING PAVEMENT MUST BE DIRECTIONAL BORE. OPEN CUT IS NOT AN OPTION.
 - NUMBER THE TOP OF ALL VALVE BOX LIDS WITH MINIMUM 1" HEIGHT BLACK LETTERS TO CORRESPOND TO AUTOMATIC AND DATE VALVE DESIGNATIONS. ALL HOSE BIBB VALVE BOXES SHALL BE LABELED IN A SIMILAR MANNER WITH THE DESIGNATION "V#". LETTER OUTSIDE OF TIME CLOCK CABINETS TO CORRESPOND WITH IRRIGATION CLOCK PROGRAM DESIGNATION.
 - THE IRRIGATION CONTRACTOR SHALL INSTALL A COLOR CODED METAL DETECTABLE MARKING TAPE WHICH CLEARLY NOTES "CAUTION: IRRIGATION LINE BURIED BELOW". THE TAPE SHALL BE INSTALLED THE FULL LENGTH OF THE IRRIGATION MAINLINE.
 - ALL VALVES, SPLICES WITHIN CONTROL LINES, AND QUICK COUPLERS SHALL BE LOCATED WITHIN VALVE BOXES.
 - ALL UNSIZED PIPE SHALL BE 3/4" UNLESS OTHERWISE NOTED ON PLAN. SEE LATERAL PIPE SIZING REQUIREMENTS.
 - LOCATE ALL VALVES IN PLANTING BEDS WITH A MINIMUM OF 3'-0" FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. PIPE SIZES ON EITHER SIDE OF SECTION VALVES CONNECTING MAINLINE TO SECTION LATERAL SHALL BE ONE (1) PIPE SIZE LARGER THAN VALVE SIZE WHERE MAIN LINE RUN PARALLEL TO PAVEMENT OR CURBING. THE MAINLINE SHALL BE OFFSET 2'-0" FROM THE EDGE OF PAVEMENT OR CURB.
 - IRRIGATION ZONES SHALL BE SEPARATED FOR HIGH AND LOW WATER USE REQUIREMENTS AND OPERATED ON DIFFERENT WATERING CYCLES. BUBBLERS, DRIPLINE, AND SPRAY HEADS SHALL BE SEPARATED ON DIFFERENT VALVES. AT TWO TIMES SHALL MAINTAIN IRRIGATION HEAD TYPES BE LOCATIONS ON THE SAME VALVE.
 - ALL DRIP ZONES SHALL BE INSTALLED WITH A FLUSH VALVE AND DRIP INDICATOR.
 - IRRIGATION CONTRACTOR TO COORDINATE WITH OWNER FOR FINAL CONTROLLER AND RAIN SENSOR LOCATIONS. THE CONTROLLER SHALL BE PLACED IN A LOCKING CABINET APPROPRIATE FOR ITS LOCATION (INDOOR VS. OUTDOOR USE).
 - IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
 - LOCATE THE AUTOMATIC RAIN/FREEZE SENSOR SHUTOFF DEVICE IN AN AREA THAT IS UNOBSTRUCTED BY TREES, ROOF OVERHANGS, OR ANY OTHER OVERHEAD OBJECT. THE SENSOR SHALL NOT BE PLACED WITHIN THE SPRAY ZONE OF ANY SPRINKLER HEAD, INCLUDING OFF-SITE IRRIGATION. CONTRACTOR SHALL LOCATE SENSOR WITHIN CLOSE PROXIMITY TO THE IRRIGATION CONTROLLER.
 - CONTRACTOR SHALL PERFORM HYDRO-TESTING OF MAIN LINES.
- HYDRO-TESTING TO BE PERFORMED AS LISTED:
- THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FORTY EIGHT (48) HOURS IN ADVANCE OF TESTING PRIOR TO BACKFLOWING CONTRACTOR SHALL FULL PIPING WITH WATER. IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. TAKING CARE TO PURGE THE AIR FROM IT. A SMALL HIGH PRESSURE PUMP OR OTHER MEANS OF MAINTAINING A CONTINUOUS WATER SUPPLY SHALL BE CONNECTED TO MAINLINE AND SET SO AS TO MAINTAIN 125 PSF FOR TWO (2) HOURS WITHOUT INTERRUPTION. CONTRACTOR SHALL MAKE ANY NECESSARY CORRECTIONS AND RE-TEST THE SYSTEM UNTIL THE OWNER'S REPRESENTATIVE IS SATISFIED THAT THE SYSTEM IS REASONABLY SOUND.
- ALL WIRING FOR CONNECTION OF THE VALVES TO THE CONTROLLER SHALL FOLLOW MANUFACTURERS SPECIFICATIONS.
 - CONTROL WIRE SHALL BE INSTALLED IN A 1" ELECTRICAL CONDUIT.
 - CONTRACTOR TO MINIMIZE IRRIGATION OVERTHROW TO IMPERVIOUS AND NATURAL AREAS THROUGH FIELD ADJUSTMENTS TO INDIVIDUAL HEADS.
 - ALL UNAPPROVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR.
 - ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.



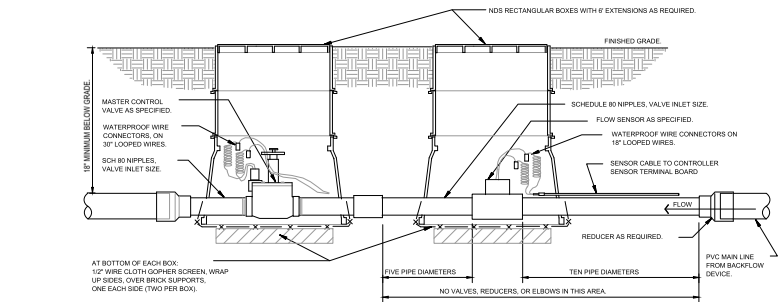
- 2 IRRIGATION CONTROLLER - WALL MOUNT**
ELEVATION NTS
- NOTES:**
- FOR EASE OF INSTALLATION INTO A CONTROLLER WITH MORE THAN 24 STATIONS, INSTALL A JUNCTION BOX AT THE BASE OF CONTROLLER AND TRANSITION LARGER VALVE AND COMMON WIRES FROM FIELD TO 18 AWG MULTI CONDUCTOR WIRE TO BE USED IN CONTROLLER.
 - USE STEEL CONDUIT FOR ABOVE GRADE AND SCH 40 PVC CONDUIT FOR BELOW GRADE CONDITIONS.
 - PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.



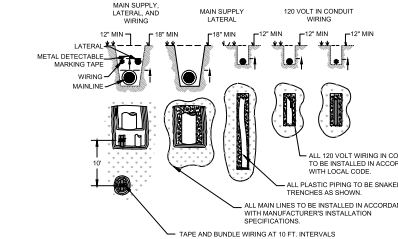
3 RAIN SENSOR - BUILDING MOUNT
SECTION NTS



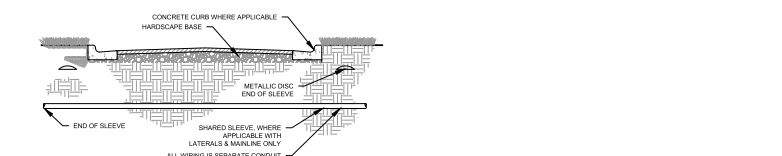
4 BACKFLOW PREVENTER
SECTION NTS



5 MASTER CONTROL VALVE / FLOW SENSOR ASSEMBLY
SECTION NTS



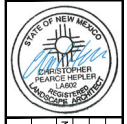
6 TYPICAL TRENCHING
SECTION NTS



7 TYPICAL SLEEVING
SECTION NTS

NO.	REVISIONS	DATE	BY

Kimley-Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.



DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
	AS SHOWN	JNL	JNL	GJP

IRRIGATION NOTES

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 315-1575



SHEET NUMBER
IR2.0



1. This drawing is an instrument of service and the property of DAVID HIDALGO ARCHITECT, INC. and shall remain the sole property of DAVID HIDALGO ARCHITECT, INC. The use of this drawing shall be restricted to the original use for which it is prepared and published herein. It is not to be used for any other purpose without the written consent of DAVID HIDALGO ARCHITECT, INC. Any reproduction or publication for any other use without the written consent of DAVID HIDALGO ARCHITECT, INC. is expressly prohibited.



EAST ELEVATION

SCALE: 1/4" = 1'-0" B



NORTH ELEVATION

SCALE: 1/4" = 1'-0" A

EXTERIOR FINISHES SCHEDULE				
KEY ITEM	MATERIAL	MANUFACTURER	COLOR / DESCRIPTION	FINISH / STYLE
[BV]	BRICK VENEER	MUTUAL MATERIALS 888-688-8250	PEWTER MISSION	RUNNING BOND, 5M100 GRAY COLORED MORTAR
[EWF]	EIFS - EXTERIOR WALL FINISH	DRYVIT 734-276-0404	COLOR TO MATCH SW 7030 AEW GRAY	SANDBLAST TEXTURE
[WC]	WOOD CLADDING (B FACADE & UNDERSIDE OF CANOPY)	IDENTITY WOOD PRODUCTS 775-704-7140	1300 - PRIZEL MEDIUM BROWN WITH DARK BROWN GLAZE, 110F REVEAL	SANDBLAST TEXTURE
[MC]	METAL CANOPY	AWNEX 775-704-7140	COLORADO SOFFIT SYSTEM CANTILEVERED SUPPORT, 12" OPEN FACE, REAR CUTTER	RAL#7021 MATTE BLACK
[C-1]	METAL COPING	LOCALLY SOURCED	TO MATCH RAL#7021 MATTE BLACK - MT0028 - FLAT BLACK	PRE-FINISHED
[WS]	ALUMINUM STOREFRONT SYSTEM	LOCALLY SOURCED	TO MATCH RAL#7021 MATTE BLACK - MT0028 - FLAT BLACK	ANODIZED
[DF-1]	HOLLOW METAL DOOR FRAME	LOCALLY SOURCED	TO MATCH RAL#7021 MATTE BLACK - MT0028 - FLAT BLACK	PAINTED
[LT-1]	RECESSED LED CAN LIGHT (@ CANOPIES)	ACUITY, LITHONIA LIGHTING	WAFLER LED RECESSED DOWNLIGHT WF4 - 4" LED MODULE	MATTE BLACK
[LT-2]	LED WALL SCONCE LIGHT	LITHONIA LIGHTING	LED WALL CYLINDER LIGHT, OLLWU	DARK BRONZE

KEYNOTES	
1	SIGN, BY OWNER, PROVIDE BLOCKING AS REQ'D. UNDER SEPARATE PERMIT.
2	3" HIGH BLACK ACRYLIC ABOVE MAIN ENTRY DOOR.
3	BOLLARD, NON-ILLUMINATED
4	ROOF SCUPPER & DOWNSPOUT
5	ROOF ACCESS LADDER
6	ELECTRICAL METER
7	GAS METER

- NOTES**
- STOREFRONT SYSTEM AND DOORS**
- STOREFRONT: EXTEND GLAZING 11'-0" AFF. INCLUDE TEMPERED GLAZING PER CODE.
 - STORE ADDRESS: PROVIDE 3" HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING ABOVE MAIN ENTRY DOOR.
 - DT WINDOW: PROVIDE READY ACCESS DT SERVICE WINDOW PER REGIONAL SPECIFICATION.
- CANOPIES AND AWNINGS**
- DT CANOPY: CANOPY AT DT WINDOW SHALL BE 11'-0" AFF. TO ALIGN WITH VISUAL HEIGHT OF STOREFRONT CANOPY.
 - STOREFRONT: INCLUDE EXTERIOR CANOPY TO REDUCE SOLAR HEAT GAIN. PREFERRED BOTTOM HEIGHT OF 11'-0" AFF TO ALIGN WITH TOP OF STOREFRONT HEADER.
 - ENTRY/EXIT CANOPY: WEATHER PROTECTIVE CANOPY SHALL BE LOCATED ABOVE ALL ENTRY AND EGRESS DOOR AT MIN. OF 5'-0".
- CANOPIES**
- EXTERIOR LIGHTING:
 - A. PROVIDE 1000 LUMEN LED RECESSED DOWNLIGHTS IN CANOPY. TRIM TO MATCH CANOPY.
 - B. PROVIDE WALL SCONCES PER ELEVATION.

ARCHITECT

DAVID HIDALGO ARCHITECT

planning | design | a r c h i t e c t s

316 south first avenue
aradisco 91006
tel: 626-446-1148 fax: 626-446-2765
Dhidalgo@Dharc.com

PROJECT:

WYOMING MALL CENTER
NEW PAD BUILDING
2004 WYOMING BOULEVARD
ALBUQUERQUE
NEW MEXICO

WESTWOOD FINANCIAL CORP
11440 SAN VICENTE BLVD., SUITE 200
LOS ANGELES, CA 90049

REVISION	DATE	BY

DRAWN BY: RMD

PROJECT ARCHITECT: DAVID J HIDALGO

DATE: 02.08.2023

SCALE: AS NOTED

PROJECT NO: 2023.02

STAMP

- DESIGN DEVELOPMENT 02.17.2023
- PROGRESS CONST. DOCS
- CITY SUBMITTAL
- BID PACKAGE
- CONSTRUCTION ISSUE
- RECORD DRAWINGS

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET: **A-3.0**

Vertical text on the left edge of the page, likely a project or drawing ID.



WEST ELEVATION

SCALE: 1/4" = 1'-0" B

EXTERIOR FINISHES SCHEDULE table with columns: KEY ITEM, MATERIAL, MANUFACTURER, COLOR / DESCRIPTION, FINISH / STYLE. Rows include items like BRICK VENEER, WOOD CLADDING, METAL CANOPY, METAL COPING, ALUMINUM STOREFRONT SYSTEM, HOLLOW METAL DOOR FRAME, RECESSED LED CAN LIGHT, and LED WALL SCONCE LIGHT.

KEYNOTES

- 1. SIGN BY OWNER. PROVIDE BLOCKING AS REQ'D. UNDER SEPARATE PERMIT.
2. 3" HIGH BLACK ACRYLIC ABOVE MAIN ENTRY DOOR.
3. BOLLARD, NON-ILLUMINATED
4. ROOF SCUPPER & DOWNSPOUT
5. ROOF ACCESS LADDER
6. ELECTRICAL METER
7. GAS METER

NOTES

- STOREFRONT SYSTEM AND DOORS
1. STOREFRONT: EXTEND GLAZING 11'-0" AFF. INCLUDE TEMPERED GLAZING PER CODE.
2. STORE ADDRESS: PROVIDE 3" HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING ABOVE MAIN ENTRY DOOR.
3. DT WINDOW: PROVIDE READY ACCESS DT SERVICE WINDOW PER REGIONAL SPECIFICATION.
CANOPIES AND AWNINGS
4. DT CANOPY: CANOPY AT DT WINDOW SHALL BE 11'-0" AFF. TO ALIGN WITH VISUAL HEIGHT OF STOREFRONT CANOPY.
5. STOREFRONT: INCLUDE EXTERIOR CANOPY TO REDUCE SOLAR HEAT GAIN. PREFERRED BOTTOM HEIGHT OF 11'-0" AFF TO ALIGN WITH TOP OF STOREFRONT HEADER.
6. ENTRY/EEXIT CANOPY: WEATHER PROTECTIVE CANOPY SHALL BE LOCATED ABOVE ALL ENTRY AND EGRESS DOOR AT MIN. OF 9'-0".
CANOPIES
7. EXTERIOR LIGHTING:
A. PROVIDE 100 LUMEN LED RECESSED DOWNLIGHTS IN CANOPY. TRIM TO MATCH CANOPY.
B. PROVIDE WALL SCONCES PER ELEVATION.



SOUTH ELEVATION

SCALE: 1/4" = 1'-0" A

Project information block including ARCHITECT (DAVID HIDALGO ARCHITECT), PROJECT (WYOMING MALL CENTER NEW PAD BUILDING), ADDRESS (2004 WYOMING BOULEVARD ALBUQUERQUE, NEW MEXICO), REVISION table, DRAWN BY (RMD), PROJECT ARCHITECT (DAVID J HIDALGO), DATE (02.08.2023), SCALE (AS NOTED), PROJECT NO. (2023010), and SHEET TITLE (EXTERIOR ELEVATIONS A-3.1).

CITY OF ALBUQUERQUE



Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

February 23, 2023

Liz Willmont
Kimley-Horn and Associates, Inc.
1000 2nd Ave
Suite 3900
Seattle, WA 98104
Via email Liz.Willmont@kimley-horn.com

Re: Coffee Shop, 2004 Wyoming Blvd. NE
Traffic Impact Analysis
HT#H20D032E
Engineer Seal date 2/8/2023

Dear Ms. Willmont,

The Coffee Shop at 2004 Wyoming Blvd. NE Traffic Impact Analysis (TIA), dated 2/21/2023, received February 21, 2023 has been accepted and approved by the City's Planning Transportation Development section. No infrastructure improvements are required due to this development.

PO Box 1293

The Traffic Impact Analysis shall be valid for a period of three years. Should significant modifications to the approved development proposal occur, the approved study shall be revised to incorporate the changes.

Albuquerque

If you have any questions, please contact me at (505) 924-3362.

NM 87103

Sincerely,

A handwritten signature in blue ink that reads "M. Grush, P.E.".

www.cabq.gov

Matt Grush, P.E.
Senior Engineer
City of Albuquerque
Planning Department
Development Review Services

via: email
C: Applicant, File

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

April 20, 2023

WFC Wyoming NM llc
C/O Westwood Financial Corp
Property Management
1233 W Loop S Suite 1500
Houston, TX 77027-9108

Project # PR-2021-005461
SI-2023-00513 - Site Plan- Major Amendment

LEGAL DESCRIPTION:

Modulus Architects & Land Use Planning Inc., agent for WFC Wyoming NM LLC c/o Westwood Financial, requests a Major Amendment to an existing Site Development Plan for all or a portion of Parcel 5-A of the amended summary plat of the Wyoming Mall parcels 1 thru 6; Parcel 3 and Parcel 6 summary plat Wyoming Mall; Parcel 1-A, 1-B, 1-C, 4-A and 5-A Plat of Parcel 1-A, 1-B, 1-C, 4-A & 5-A Wyoming Mall, zoned MX-M, located between Wyoming Blvd. NE and Lester Dr. NE, and north of Northeastern Blvd. NE, approximately 32 acres (H-20)
Staff Planner: Leroy Duarte

On April 20, 2023 the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2021-005461/Case# SI-2023-00513 - Site Plan- Major Amendment, based on the following Findings and subject to the following Conditions of Approval:

1. The request is for a major amendment for a property legally described as Parcel 5-A of the amended summary plat of the Wyoming Mall parcels 1 thru 6; Parcel 3 and Parcel 6 summary plat Wyoming Mall; Parcel 1-A, 1-B, 1-C, 4-A and 5-A Plat of Parcel 1-A, 1-B, 1-C, 4-A & 5-A Wyoming Mall, zoned MX-M located on Wyoming Blvd. NE, located between Wyoming Blvd. NE and Lester Dr. NE, and north of Northeastern Blvd. NE approximately 32 acres.
2. The applicant requests to amend the controlling site development plan to redevelop part of parcel 5-A of the site into a drive-through restaurant. A drive-thru restaurant already exists on Parcel 5-A and the request would facilitate development of another one.
3. The EPC is hearing this case pursuant to IDO section 14-16-6-4(Y)(3) Major Amendment. Major amendments shall be reviewed by the decision-making body that issued the permit or approval being amended, following the procedures for the most closely equivalent decision in Part 14-16-6 (Administration and Enforcement). The amendment exceeds the thresholds found in IDO table 6-4-4: Allowable Minor Amendments, therefore it is classified as a Major Amendment pursuant to IDO section 14-16-6-4(Y)(2)(a)(8).

4. The subject site is zoned MX-M (Mixed Use- Medium Intensity). The applicant is requesting a major amendment to amend the controlling site development plan to redevelop a parcel of the site, to facilitate future development as allowed by the MX-M zone.
5. The subject site is in an Area of Change and is along the Wyoming Multi-modal Corridor and in the Hoffmantown Activity Center.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request furthers the following policy from Comprehensive Plan Chapter 4: Community Identity.

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The major amendment request would protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of future development and would facilitate a new drive-through use; keeping the uses generally consistent with the existing commercial development within the area.

8. The request furthers the following goals, policies, and sub-policies from Comprehensive Plan Chapter 5: Land Use.
 - A. Policy 5.1.2 Development Areas: Direct more intense growth to Centers and Corridors and use Development Areas to establish and maintain appropriate density and scale of development within areas that should be more stable.

The major amendment request would direct more intense growth to Centers and Corridors and use Development Areas to establish and maintain appropriate density and scale of development within the Hoffmantown Shopping Center.
 - B. Policy 5.1.6 Activity Centers: Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses.

The major amendment request would foster mixed-use centers of activity with a range of services and amenities that support and meet the needs of nearby residents and businesses within the Hoffmantown Shopping Center because future development would offer a range of MX-M uses..
 - C. Goal 5.2 – Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

The major amendment request would allow for development that would be generally consistent with the surrounding community and would foster opportunities to work, learn, shop, and play together. Abutting the site for the proposed major amendment lies Inez Park to the west, Snow Heights Park to the south, along with residential developments adjacent to both parks that are within walking distance of the subject site..

- D. Policy 5.2.1 – Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The major amendment request would create a mix of uses that are conveniently accessible from surrounding neighborhoods. However, the request would also not create healthy, sustainable uses due to the drive-through promoting vehicle usage and does not encourage pedestrian activity.

- E. Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The surrounding area is developed and served by existing infrastructure. Future development would support additional growth and utilize existing infrastructure.

9. The request furthers the following goal, policy, and sub-policy from Comprehensive Plan Chapter 5: Land Use.

- A. Goal 5.6. City Development areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Change. The major amendment request would direct and encourage growth to the surrounding area by facilitating redevelopment of a commercial use, which would allow growth of the same consistency to occur.

- B. Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The major amendment request would allow development to occur along the Wyoming Blvd. Multi-modal Corridor and within the Hoffmantown Activity Center which is located in an area of change where new growth and development is generally desired.

- C. Sub-policy (h): Encourage development in areas with a highly connected street grid and frequent transit service.

The major amendment request would encourage development in the Hoffmantown Activity Center which is highly connected to the surrounding area by the grid pattern of streets in the NE Heights. The Wyoming Corridor which has frequent transit service by ABQ Ride Route-31 Wyoming route and the ABQ Ride Route- 98 Wyoming Commuter Route.

10. The request furthers the following policy from Comprehensive Plan Chapter 7: Urban Design.

Policy 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The major amendment request would promote infill that enhances the built environment in style and building materials by facilitating future development according to the IDO standards which will contrast with the current Wyoming Mall. In addition, Use-Specific standards will also be implemented to help mitigate any potential detrimental impacts this development could have on the surrounding

area, while also keeping the use consistency similar to other uses within the Hoffmantown Shopping Center.

11. The request furthers the following policy and sub-policy from Comprehensive Plan Chapter 8: Economic Development.

- A. Policy 8.1.2 Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

The major amendment request would facilitate development that would offer residents a specific type of goods and services that differentiates itself from the other restaurants in the surrounding area, contrasting to economic diversity and choice for the existing residents.

- B. Sub-policy (c): Prioritize local job creation, employer recruitment, and support for development projects that hire local residents.

The major amendment request would facilitate development that would create jobs and could employ residents from the surrounding neighborhoods.

12. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(I)(3) as follows:

- A. 14-16-6-6(I)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy analysis (see above), the request is consistent with applicable Comprehensive Plan Goals and policies.

- B. 14-16-6-6(I)(3)(b) The site plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

Subject site is zoned MX-M, so the above criterion does not apply.

- C. 14-16-6-6(I)(3)(c) The site plan complies with all applicable provisions of this IDO, the DPM, other adopted City Regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The site plan would comply with all applicable provisions of the IDO. The subsequent request will be reviewed via the Site Plan - Admin Process to ensure compliance with applicable provisions of the Development Process Manual (DPM) and other City regulations.

- D. 14-16-6-6(I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

The request will be reviewed via Site Plan-Admin process, which is charged with addressing infrastructure and ensuring that infrastructure such as streets, trails, sidewalks, and drainage systems has sufficient capacity to serve a proposed development.

- E. 14-16-6-6(I)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

The future, proposed development will be required to comply with the decisions made through the EPC and the Site Plan – Admin Process. The EPC’s conditions of approval will improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas. The Site Plan- Admin review will ensure infrastructure is adequately addressed so that a proposed development will not burden the surrounding area.

- F. 14-16-6-6(I)(3)(f) If the subject site is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject site is not located within an approved Master Development Plan.

- G. 14-16-6-6(I)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(F) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the impacts.

The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, the above criterion does not apply.

13. The affected, registered neighborhood organizations are the District 7 Coalition of Neighborhood Associations, North Eastern Association of Residents, and the Inez Neighborhood Association, which were notified as required. Property owners within 100 feet of the subject site were also notified as required.
14. As of this writing, Staff has not been contacted and is unaware of any opposition.

CONDITIONS OF APPROVAL – SI-2023-00513

1. The EPC delegates final sign-off authority of this site development plan to the DFT.
Response: Application is being submitted to DFT for final sign-off
2. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Facilitation Team (DFT).
Response: Noted
3. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
Response: Site Plan compiles with city requirements including DPM and ADA criteria.
4. The double trash enclosure must meet city of Albuquerque’s minimum requirements.
Response: The trash enclosure meets city requirements. Solid waste department has approved access and dumpster.
5. Any new connections to this infrastructure will require supporting documentation and discussion with ABCWUA.
Response: Noted. Applicant will be submitted a New Connection Permit with the Water Authority.

OFFICIAL NOTICE OF DECISION

Project # PR-2021-005461

April 20, 2023

Page 6 of 6

6. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Any trees within or near PNM easements should comply with IDO Section 5-6(C)(10). Shrubs and ground cover and smaller trees are generally acceptable within PNM easements.

Response: Planting compiles with the PNM facilities and easements.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **May 5, 2023**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,

Catalina Lehner

for Alan M. Varela,
Planning Director

AV/CL/LD

cc: Modulus Architects & Land Use Planning, rokoye@modulusarchitects.com
Inez NA, Maya Sutton yemaya@swcp.com
Inez NA, Donna Yetter donna.yetter3@gmail.com
North Eastern Association of Residents, Nancy Pressley- Naimark, ndpressley@msn.com
North Eastern Association of Residents, Matt Bohnhoff matt, bohnhoff@gmail.com
District 7 Coalition of Neighborhood Associations, Tyler Richter, tyler.richter@gmail.com
District 7 Coalition of Neighborhood Associations, Michael Kious, mikekious@aol.com
Legal, dking@cabq.gov
EPC File

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

RE: AGENT AUTHORIZATION NOTICE – NORTHEAST CORNER OF WYOMING BLVD NE AND NORTHEASTERN BLVD NE ALBUQUERQUE NM 87121 (2004 WYOMING BLVD NE ALBUQUERQUE 87112)

To Whom It May Concern,

WFC WYOMING NM LLC ATTN: RYAN LLC C/O WESTWOOD FINANCIAL CORP PROP MGMT, hereby authorizes Modulus Architects & Land Use Planning, Inc., to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the property located at 2004 Wyoming Blvd NE Albuquerque NM 87112 southwest corner of Unser Blvd and Central Ave Albuquerque NM 87121 and legally described as:

Lot: 5A

PARCEL 5-A PLAT OF PARCELS 1-A, 1-B, 1-C, 4-A & 5-A WYOMINGMALL CONT 2.0241 AC +/-

This authorization is valid until further written notice from WFC WYOMING NM LLC ATTN: RYAN LLC C/O WESTWOOD FINANCIAL CORP PROP MGMT, or Modulus Architects & Land Use Planning, Inc. (Agent). Please direct all correspondence and communication to our Agent for the purpose of this request for the Environmental Planning Commission and all supplements submittals.

Sincerely,

Ronaldo Gallagher

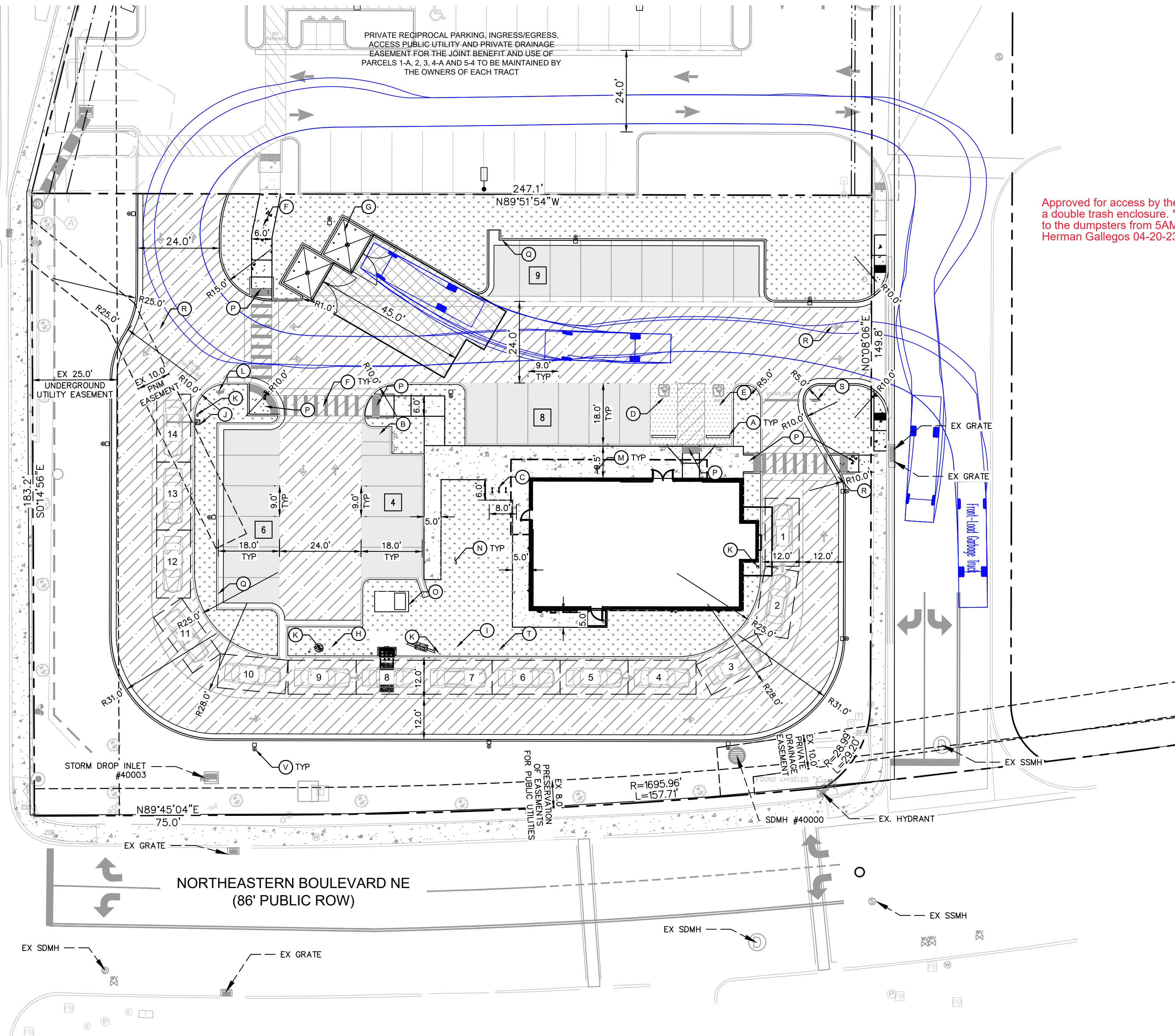
WFC WYOMING NM LLC

ATTN: RYAN LLC C/O WESTWOOD FINANCIAL CORP PROP MGMT

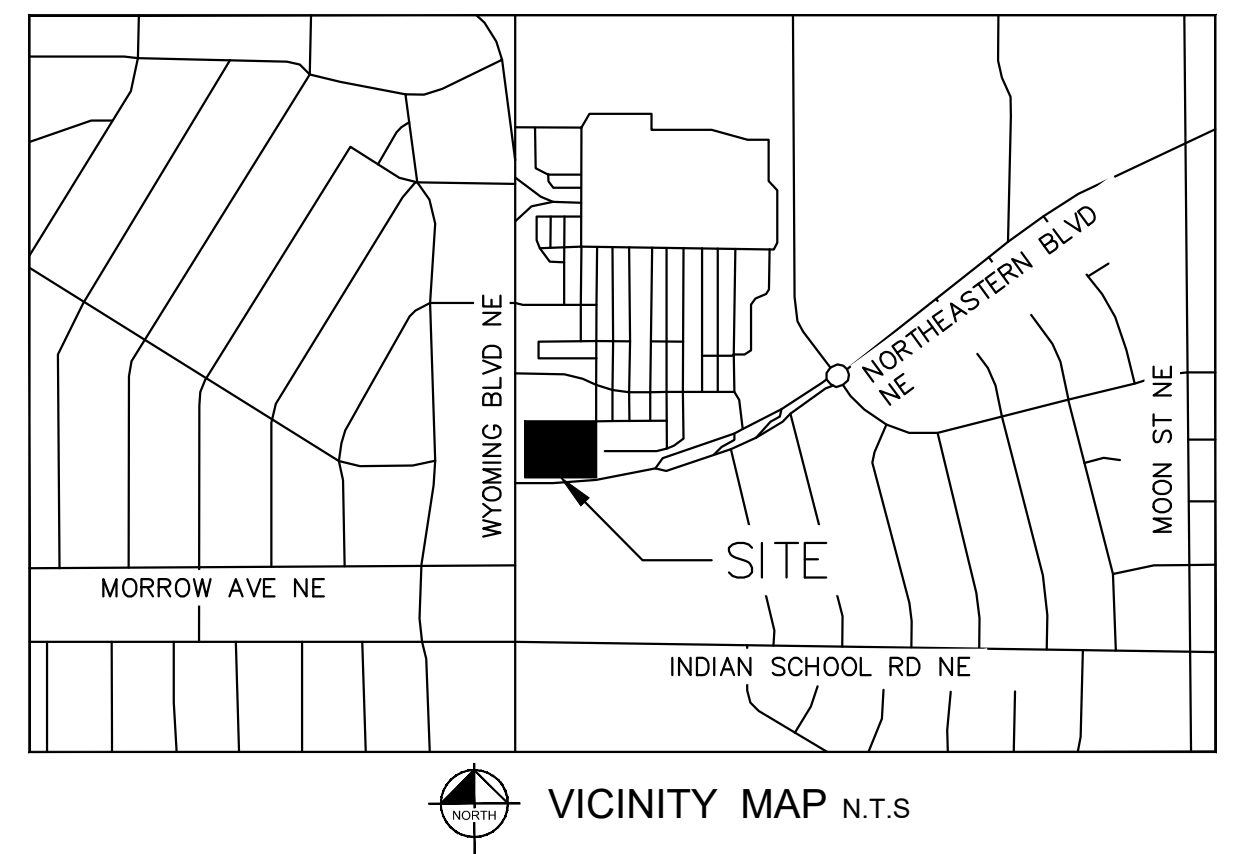
1233 W LOOP S SUITE 1500 HOUSTON TX 77027-9108

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

WYOMING BOULEVARD NE
(100' PUBLIC ROW)

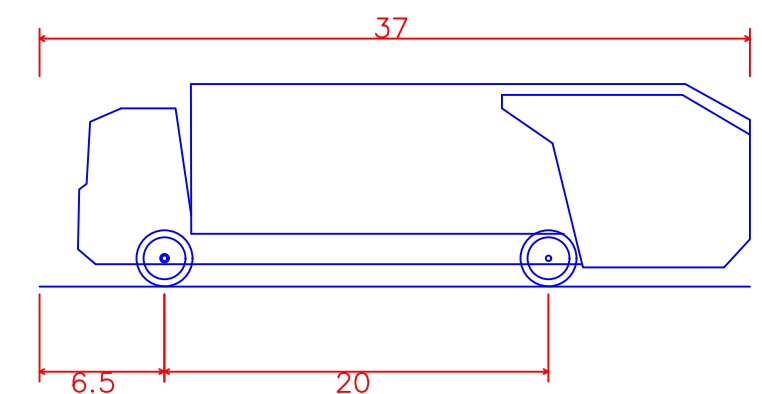


Approved for access by the Solid Waste Department for a double trash enclosure. **Access for the Solid Waste Department to the dumpsters from 5AM to 8PM is required.**
Herman Gallegos 04-20-23 Herman Gallegos

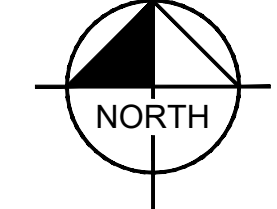
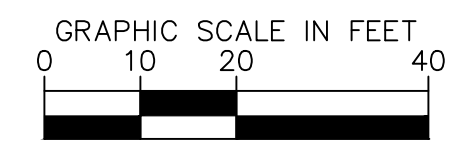


PARKING / SITE DATA PER IDO	
PORTION OF PARCEL 5-A WYOMING MALL	
EXISTING ZONING	MIXED USE (MX-M)
PROPOSED USE	RESTAURANT W/ DRIVE-THRU
LOT AREA	44,381 SF / 1.02 AC
BUILDING AREA	2,498 SF
FINISHED FLOOR ELEVATION	5382.75
IMPERVIOUS AREA	27,018.28 SF / 0.62 AC
LOT COVERAGE	5.63%
TOTAL PARKING	REQUIRED 19 SPACES PROVIDED 27 SPACES
ACCESSIBLE	1 SPACE 2 SPACES
MOTORCYCLE	1 SPACE 2 SPACES
BICYCLE	3 SPACES 6 SPACES
PARKING REQUIRED FOR DRIVE-THRU RESTAURANT IS 8 SPACES / 1,000 SF INDOOR.	

KEYNOTE LEGEND	
(A)	WHEEL STOPS
(B)	MOTORCYCLE PARKING AND SIGNAGE
(C)	BICYCLE PARKING RACK. REFER TO ARCH PLANS FOR DETAILS.
(D)	ACCESSIBLE PARKING STALL AND SIGNAGE.
(E)	VAN ACCESSIBLE PARKING STALL AND SIGNAGE.
(F)	BIKEWAY AND PEDESTRIAN ACCESS.
(G)	RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCH. PLANS.
(H)	DRIVE THRU PRE-MENU BOARD. REFER TO ARCH. PLANS.
(I)	DRIVE THRU ORDER BOARD. REFER TO ARCH. PLANS.
(J)	DRIVE THRU HEIGHT DETECTOR. REFER TO ARCH. PLANS.
(K)	PROPOSED BOLLARD. REFER TO ARCH. PLANS.
(L)	DRIVE THRU SIGNAGE. REFER TO ARCH. PLANS.
(M)	CONCRETE SIDEWALK
(N)	LANDSCAPE AREA. REFER TO LANDSCAPE PLANS.
(O)	PAD-MOUNTED TRANSFORMER
(P)	PROPOSED CURB RAMP
(Q)	PROPOSED CURB AND GUTTER
(R)	PAVEMENT STRIPING
(S)	DRIVE-THRU THANK YOU/EXIT ONLY SIGN
(T)	MENU BOARD
(U)	BUILDING OVERHANG
(V)	SITE LIGHTING



Front-Load Garbage Truck
 Overall Length: 37.000ft
 Overall Width: 6.375ft
 Overall Body Height: 10.546ft
 Min Body Ground Clearance: 1.000ft
 Track Width: 6.375ft
 Lock-to-lock time: 6.00s
 Curb to Curb Turning Radius: 29.300ft



- SITE BENCHMARKS**
- BENCHMARK #1*
A.G.R.S. MONUMENT "13_H21"
NORTHING: 1,496,268.794
EASTING: 1,555,770.607
ELEVATION: 5499.574 (NAVD 1988)
GROUND TO GRID FACTOR: 0.999649002
DELTA ALPHA ANGLE: -0°09'46.08"
 - BENCHMARK #2*
A.G.R.S. MONUMENT "14_H20"
NORTHING: 1,495,141.626
EASTING: 1,551,771.675
ELEVATION: 5415.798 (NAVD 1988)
GROUND TO GRID FACTOR: 0.999653810
DELTA ALPHA ANGLE: -0°10'13.69"

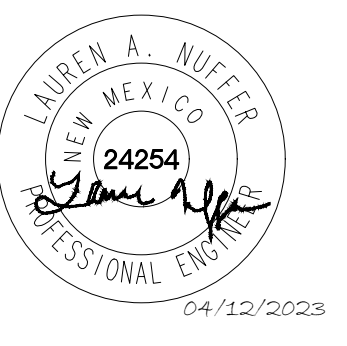
- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
 - REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC. DATED OCTOBER 2022.
 - ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY OF ALBUQUERQUE STANDARDS.
 - PER FEMA MAP NUMBER 35001C0356H DATED AUGUST 16, 2012, THIS SITE IS NOT WITHIN A FLOODPLAIN.
 - BUILDING IS FIRE SPRINKLED.
 - CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT IS NOT TO BE HELD LIABLE FOR ANY DAMAGE TO THE ASPHALT PAVEMENT.
 - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

- LEGEND**
- PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - EASEMENT/SETBACK
 - ▬ PROPOSED CONCRETE CURB
 - ▬ EXISTING CURB
 - X PROPOSED PARKING COUNT
 - ▬ PROPOSED CONCRETE SIDEWALK
 - ▬ PROPOSED STANDARD DUTY CONCRETE
 - ▬ PROPOSED HEAVY DUTY CONCRETE
 - ▬ PROPOSED STANDARD DUTY ASPHALT
 - ▬ PROPOSED HEAVY DUTY ASPHALT
 - ▬ PROPOSED LANDSCAPE

COORDINATE AND DIMENSION INFORMATION

STATE PLANE ZONE: NM-C
 GRID/GROUND COORDINATES: GRID
 TYPE: STANDARD
 HORIZONTAL DATUM: NAD83
 VERTICAL DATUM: NAVD88
 ROTATION ANGLE: 0°00'00.00"
 MATCHES DRAWING UNITS: YES
 CONTROL USED: ALBUQUERQUE GEODETIC
 REFERENCE SYSTEM: GRID TO GROUND: 1.000348716
 COMBINED SCALE FACTOR: GROUND TO GRID: 0.999651406
 DISTANCE ANNOTATION: GRID
 BEARING ANNOTATION: N=0
 BASE POINT FOR SCALING AND/OR ROTATION: E=0
 ELEVATION TRANSLATION: ±0.00'
 ELEVATIONS VALID: YES

Kimley & Horn
 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 1201 3RD AVE SUITE 2500 SEATTLE, WA 98101
 PHONE: (206) 970-1900
 WWW.KIMLEY-HORN.COM



KHA PROJECT: 090100000
 DATE: 04/22/2023
 SCALE: AS SHOWN
 DESIGNED BY: NWSP
 DRAWN BY: NWSP
 CHECKED BY: LW

SITE KEYNOTE PLAN

STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 318-1575



SHEET NUMBER
C3.0



NO.	REVISIONS	DATE	BY

FORM P: PRE-APPROVALS/SIGNATURES

Legal Description & Location: 2004 Wyoming Blvd NE Albuquerque NM 87112

PARCEL 5-A PLAT OF PARCELS 1-A, 1-B, 1-C, 4-A & 5-A WYOMINGMALL CONT 2.0241 AC +/-

Job Description: Starbucks

Hydrology:

- Grading and Drainage Plan X Approved NA
- AMAFCA Approved X NA
- Bernalillo County Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA

Renee C. Brissette
Hydrology Department

06/15/23
Date

Transportation:

- Traffic Circulations Layout (TCL) X Approved NA
- Traffic Impact Study (TIS) X Approved NA
- Neighborhood Impact Analysis (NIA) Approved X NA
- Bernalillo County Approved X NA
- MRCOG Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA

Ernest Armijo
Transportation Department

6/27/2023
Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Water/Sewer Availability Statement/Serviceability Letter x Approved NA
- ABCWUA Development Agreement Approved x NA
- ABCWUA Service Connection Agreement Approved x NA

Sarah Luckie
ABCWUA

5/4/2023
Date

- Infrastructure Improvements Agreement (IIA*) Approved x NA
- Solid Waste Department Signature on the plan X Approved NA
- Fire Marshall Signature on the plan X Approved NA

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 1, 2023

Lauren A. Nuffer, P.E.
Kimley-Horn and Associates, Inc.
1100 W Town and Country Rd., Suite 700
Orange, CA 92868

**RE: Starbucks - Wyoming Blvd. NE
Grading Plan and Drainage Report
Engineer's Stamp Date: 03/31/23
Hydrology File: H20D003E**

Dear Ms. Nuffer:

Based upon the information provided in your submittal received 03/31/2023, the Grading Plan and Drainage Report are approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the detention pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

FINAL DRAINAGE REPORT
FOR
Starbucks Wyoming Blvd

Lease Site of Parcel 5-A
Wyoming Mall
Albuquerque, NM 87112

April 26, 2023

PREPARED FOR:

WESTWOOD FINANCIAL
10877 WILSHIRE BLVD, SUITE 1105
LOS ANGELES, CA 90024

PREPARED BY:

KIMLEY-HORN
1201 THIRD AVENUE, SUITE 2800
SEATTLE, WA 98101
OFFICE: (206) 667-8610

KHA PROJECT #: 090100000

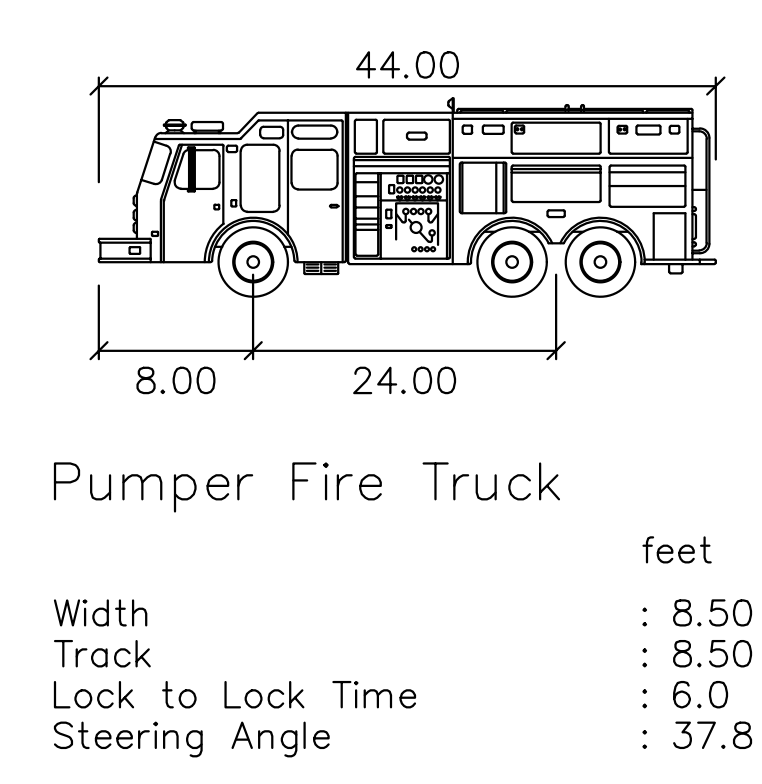
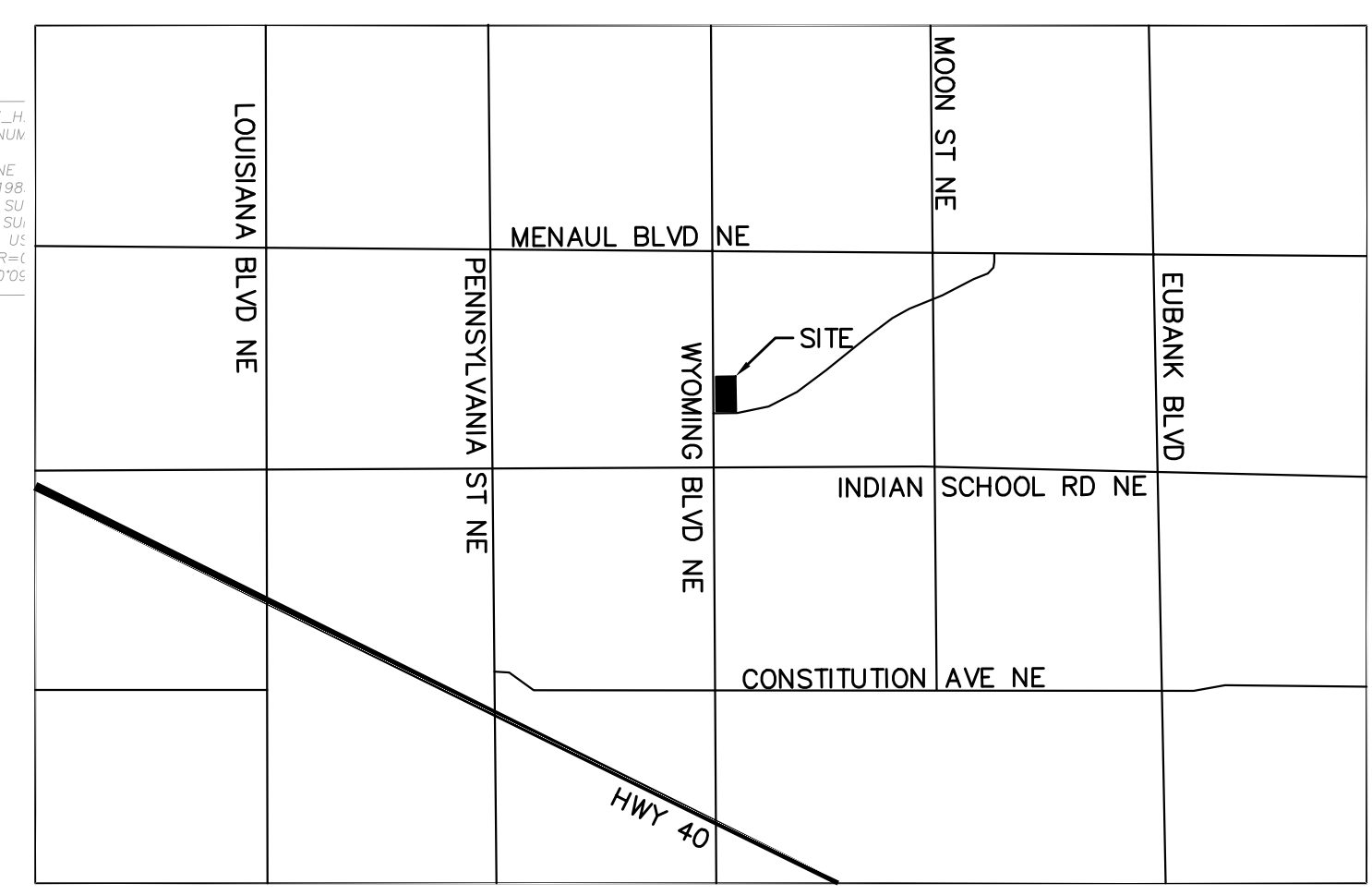
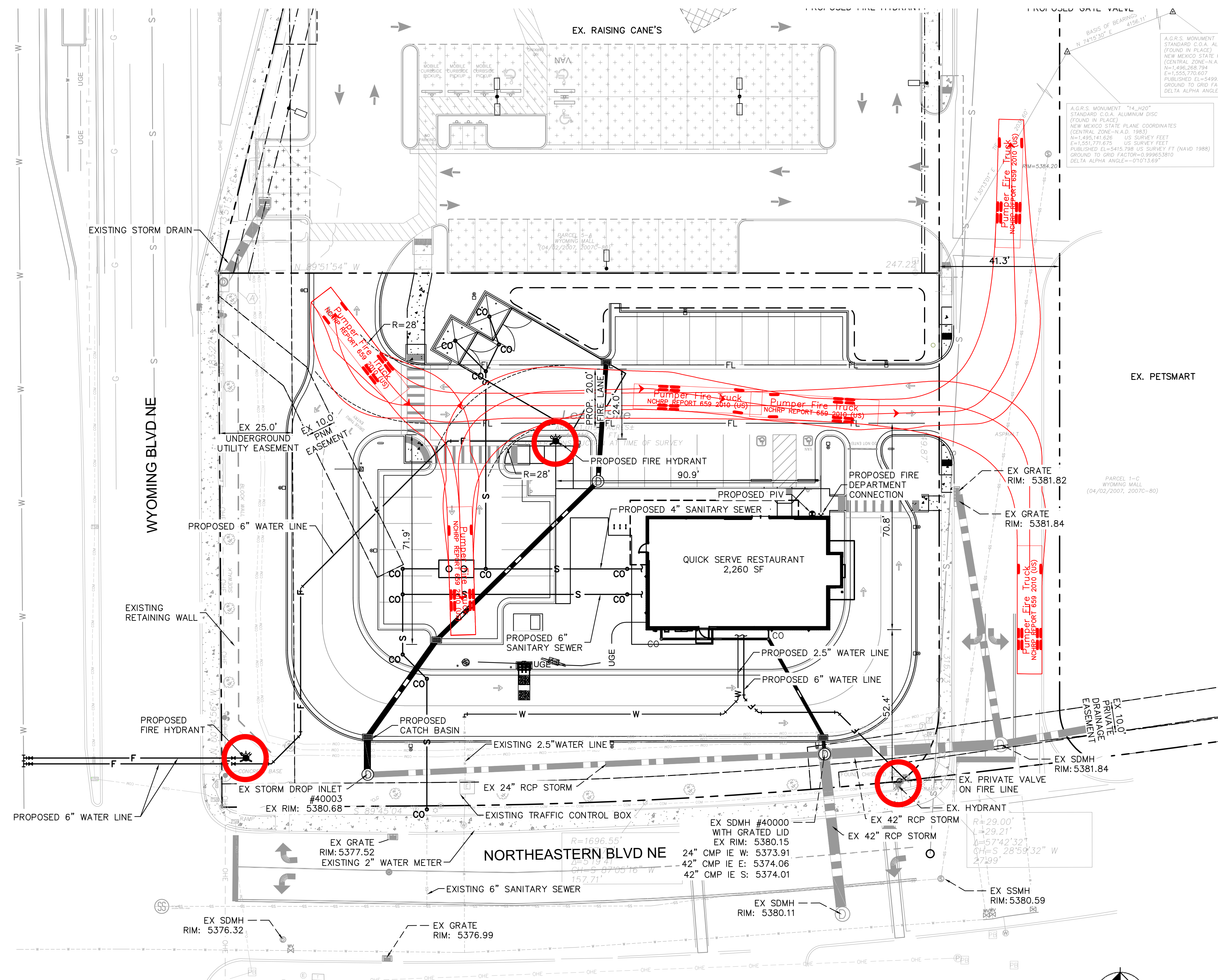
City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 05/01/23
BY: *Renee C. Brissette*
HydroTrans # H20D003E

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE
CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY
ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT
THE CITY OF ALBUQUERQUE FROM REQUIRING
CORRECTION, OR ERROR OR DIMENSIONS IN PLANS,
SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLANS
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT
AUTHORIZATION.



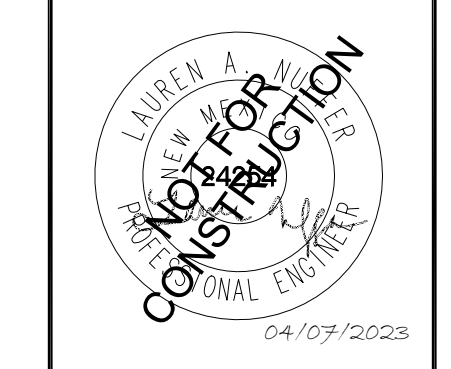
Kimley»Horn
Expect More. Experience Better.



- FIRE ONE NOTES**
- BUILDING: ±2,260 SF
 - BUILDING TYPE: VB - SPRINKLED
 - OCCUPANCY CLASSIFICATION: A2-ASSEMBLY (IFC 2018)
 - STRUCTURE HEIGHT: 22
 - FIRE FLOW: 1,500 GPM FOR 2 HOURS
 - HYDRANTS:
 - MIN. NUMBER OF HYDRANTS: 1
 - MAX HYDRANT SPACING: 500 FT
 - MAX DISTANCE ON FRONTAGE TO HYDRANT: 250 FT
 - THE PARKING SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
 - THE MINIMUM DRIVE AISLE WILL BE 24 UNLESS OTHERWISE SPECIFIED.
 - BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
 - ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
 - FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
 - INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.
 - ALL FIRE HYDRANT SUPPLY LINES THAT BRANCH OFF OF THE WATER LINES SHALL BE 6" DIA. UNLESS OTHERWISE NOTED ON THE PLANS.
 - WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWING SHALL BE ONSITE FOR INSPECTIONS.

No.	REVISIONS	DATE	BY

Kimley»Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 1201 3RD AVE SUITE 2500, SEATTLE, WA 98101
 PHONE: (206) 970-1900
 WWW.KIMLEY-HORN.COM



KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
	04/07/2023	AS SHOWN	NW	NW	LW

FIRE ONE PLAN

QUICK SERVE RESTAURANT
 ALBUQUERQUE, NM 87112
 2004 WYOMING BLVD NE

SHEET NUMBER
F1

ALBUQUERQUE FIRE MARSHAL'S OFFICE
 DIVISION OFFICE PLANS
 CHECKING DIVISION
PERMIT
 PERMIT NUMBER: FP 22-012581
 APPROVED DATE: 04/14/23
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
 FIRE FLOW: 1750 GPM, 1 HYDRANT - VB

nm811
 Know what's below. Call before you dig.

CAUTION!!
 CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. if it is used for any purpose other than that for which it was prepared.

January 11, 2023

Chair

Klarissa J. Peña
City of Albuquerque
Councilor, District 3

Vice Chair

Debbie O'Malley
County of Bernalillo
Commissioner, District 1

Tammy Fiebelkorn
City of Albuquerque
Councilor, District 7

Trudy E. Jones
City of Albuquerque
Councilor, District 8

Timothy M. Keller
City of Albuquerque
Mayor

Charlene Pyskoty
County of Bernalillo
Commissioner, District 5

Steven Michael Quezada
County of Bernalillo
Commissioner, District 2

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Liz Willmot
Kimley-Horn
1000 2nd Avenue, Suite 3900
Seattle WA 98104

RE: Water and Sanitary Sewer Availability Statement #221218

Project Name: Quick Serve Restaurant

Project Address: 2004 Wyoming Boulevard NE, Albuquerque, NM 87112

**Legal Description: PARCEL 5-A PLAT OF PARCELS 1-A, 1-B, 1-C, 4-A & 5-A
WYOMING MALL CONT 2.0241 AC+/-**

UPC: 102005901708131000

Zone Atlas Map: H-20

Dear Ms. Willmot:

Project Description: The subject site is located at the northeast corner of Wyoming Boulevard and Northeastern Boulevard, within the City of Albuquerque. The proposed development consists of approximately 2.02 acres and the property is currently zoned MX-M for moderate intensity mixed use. The property lies within the Pressure Zone 4ER in the Montgomery Trunk.

The request for availability indicates plans to develop a new 2,260 SF building with drive thru and associated improvements.

Existing Conditions: Water infrastructure in the area consists of the following:

- 12-inch Cast Iron distribution line (project #23-062-28-80) along Wyoming Boulevard.
- Six-inch Cast Iron distribution line (project #03-012-69) along Northeastern Boulevard.

Sanitary sewer infrastructure in the area consists of the following:

- 21-inch CCIP lined Reinforced Concrete Pipe sanitary sewer interceptor line (project #26-5768.91-05) along Wyoming Boulevard.
- Eight-inch Concrete Pipe sanitary sewer collector line (TBook#2046) along Northeastern Boulevard.

Water Service: New metered water service to the property can be provided contingent upon a developer funded project to install a new fire hydrant on the 12-inch line in Wyoming Boulevard. Please see the information in the fire-flow section for details on the new hydrant. Upon completion of the infrastructure construction, the development may receive service via routine connection to the existing six-inch distribution main along Northeastern Boulevard. The engineer is responsible for determining pressure losses and sizing of the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection.

Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: New sanitary sewer service can be provided via routine connection to the existing eight-inch collector along Northeastern Boulevard. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

All food service establishments must install a grease trap upstream of the domestic private sewer connection prior to discharge into the public sanitary sewer lines.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1750 GPM gallons-per-minute. One fire hydrant is required. There is one existing hydrant available and one new hydrant is proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met. Analysis was performed by simulating the required fire flow at the existing six-inch line in Northeastern Boulevard.

In order to provide the required fire flow, infrastructure improvements are required. These improvements consist of installing a new fire hydrant in the south-west corner of the site along the 12-inch line in Wyoming Boulevard

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker or a reduced

pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at (505) 289-3454 for more information.

Pretreatment – Fats, Oils and Greases: The development is for commercial use and has the potential to discharge Fats, Oils, Grease and/or Solids (FOGS) to the sanitary sewer and/or falls under one of the applicable users in the SUO:

FOGS Applicability SUO Section 3-3-2 A.:

Users "... such as food service establishments, commercial food processors, automotive shops, auto wash racks, car washes, vehicle fueling stations, septic tank pumpers, grease rendering facilities, breweries/distilleries, bottling plants, commercial and industrial laundries, slaughterhouses & meat packing establishments (fish, fowl, meat, curing, hide curing), oil tank firms and transporters..."

Such Users must comply with all FOGS discharge requirements defined in SUO Section 3-3-2 and FOGS Policy including but not limited to:

1. Installation of an adequately sized Grease Interceptor (GI) approved by the appropriate code enforcement authority (City of Albuquerque, and/or Bernalillo County)
 - a. Interceptors and/or Separators are required for dumpster pads and outdoor washdown areas that have the potential to discharge grease, sand, solids, flammable liquids to the sanitary sewer. Pad shall be installed at an elevation higher than surrounding grade. It is not required for dumpster pads to have a sewer connection.
 - b. Placement of Interceptors in drive-thru or traffic lanes is not allowed.

2. All FOGS source within the facility are plumbed to the GI as required by the appropriate plumbing code.
3. Long term Best Management Practices (BMP), and GI maintenance such as pumping and manifest requirements.
4. Unobstructed access to inspections of the facility and records.

A copy of the Sewer Use and Wastewater Control Ordinance and FOGS Policy can be found on the Pretreatment page of the Water Authority Website:

<https://www.abcwua.org/sewer-system-industrial-pretreatment-overview/>

Contact the Industrial Pretreatment Engineer, Travis Peacock, at (505) 289-3439 or pretreatment@abcwua.org for coordination or clarification of any of the above requirements.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of Water Authority owned facilities such as pump stations, reservoirs, wells, lift stations, or any other facility.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: Design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Connection Permit process. Construction must be performed by a licensed and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed

development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,

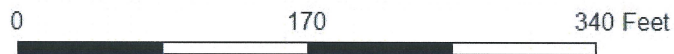
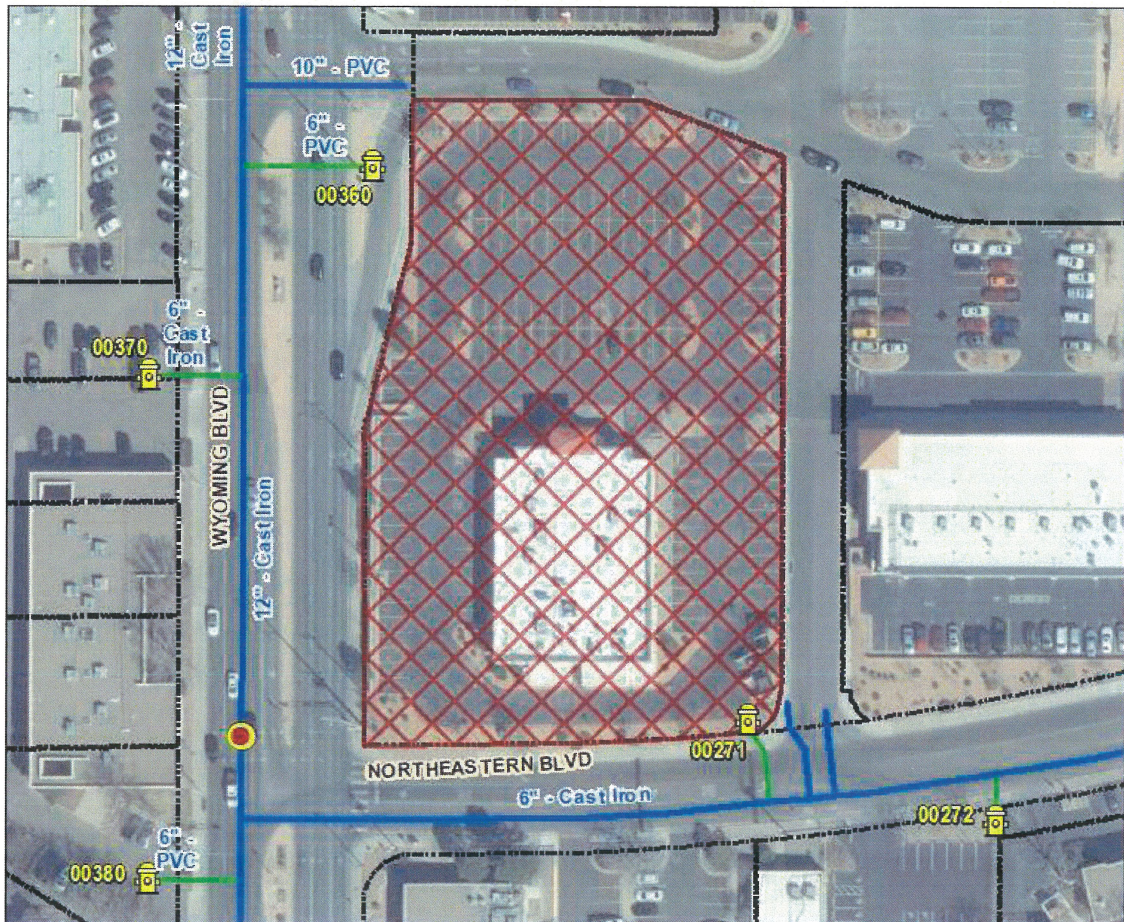


Mark S. Sanchez
Executive Director







Enclosures: Infrastructure Maps

f/ **Availability Statement #221218**

221218 - Water

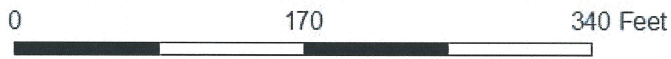
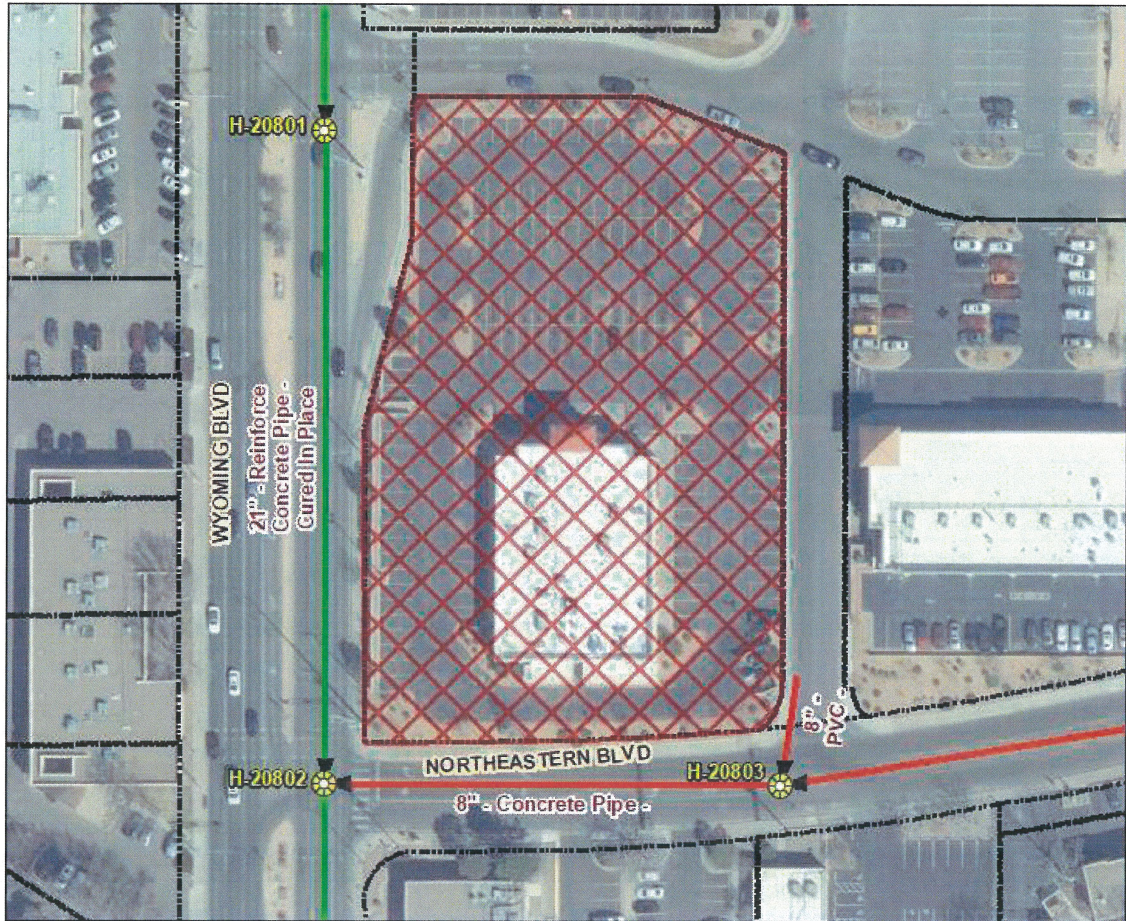


Legend

- | | |
|---|--|
|  Hydrant |  Project Location |
| Water Pipe |  Base Map City |
| Subtype | Fire Flow Analysis Points |
|  Distribution Line |  Analysis Point (1) |
|  Hydrant Leg | |



221218 - Sanitary Sewer



Legend

- Sewer Manhole
- Project Location
- Base Map City
- Sewer Pipe**
- Subtype**
- COLLECTOR
- INTERCEPTOR

