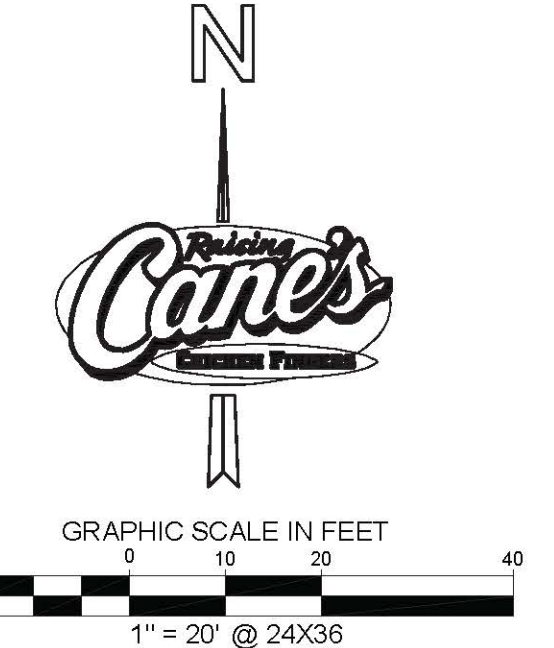
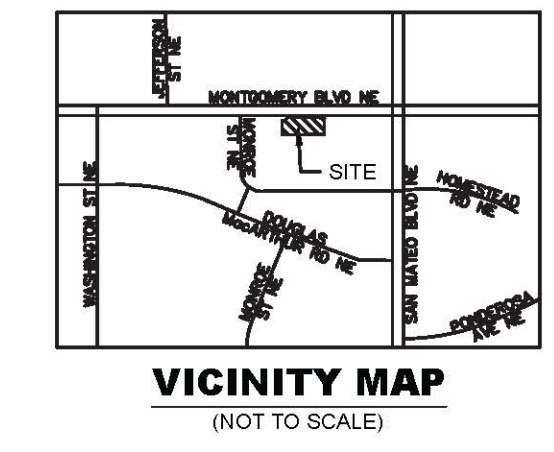
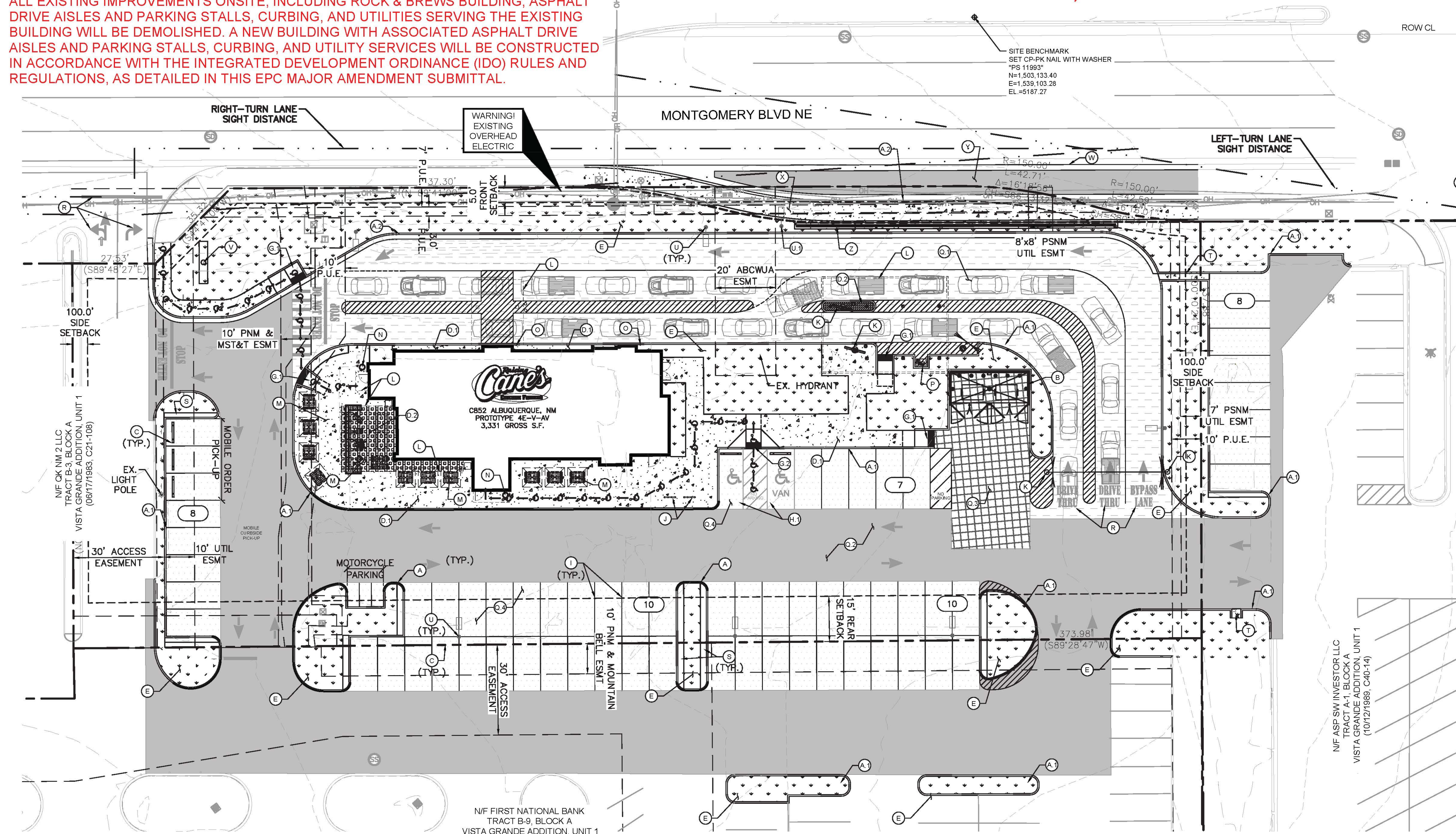


**PROJECT DESCRIPTION**  
 ALL EXISTING IMPROVEMENTS ONSITE, INCLUDING ROCK & BREWS BUILDING, ASPHALT DRIVE AISLES AND PARKING STALLS, CURBING, AND UTILITIES SERVING THE EXISTING BUILDING WILL BE DEMOLISHED. A NEW BUILDING WITH ASSOCIATED ASPHALT DRIVE AISLES AND PARKING STALLS, CURBING, AND UTILITY SERVICES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE INTEGRATED DEVELOPMENT ORDINANCE (IDO) RULES AND REGULATIONS, AS DETAILED IN THIS EPC MAJOR AMENDMENT SUBMITTAL.

# DRB MAJOR AMENDMENT, MAY 2022



**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT/SETBACK
- PROPOSED SAWCUT
- PROPOSED CONCRETE CURB
- EXISTING CURB
- (X) PROPOSED PARKING COUNT
- PROPOSED LANDSCAPE AREA
- (1) CONCRETE SIDEWALK
- (2) COVERED PATIO INTEGRAL COLOR SMOKESTACK 102 - 5LB
- (3) PAVERS AT CENTER MENU ISLAND UNDER CANOPY BELGARD HOLLAND STONE, LEGACY PAVERS IN HERRINGBONE/BASKETWEAVE PATTERN CHARCOAL OR SIMILAR GRAY COLOR SEE DETAIL SHEET C9.0
- (4) LIGHT DUTY ASPHALT PAVEMENT
- (5) MEDIUM DUTY ASPHALT PAVEMENT
- (6) INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) STANDARD DUTY CONCRETE PAVEMENT
- (7) HEAVY DUTY CONCRETE PAVEMENT
- (8) ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)

**KEYNOTE LEGEND**

(A)	CONSTRUCT 6" TYPE 1 PINNED CURB, REFER TO CITY OF ALBUQUERQUE CONSTRUCTION DETAILS ON SHEET C10.0
(A3)	CONSTRUCT 6" STANDARD CURB & GUTTER, REFER TO CITY OF ALBUQUERQUE CONSTRUCTION DETAILS ON SHEET C10.0
(B)	RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY
(C)	WHEEL STOPS, SEE DETAIL ON SHEET C9.0
(D)	PRIVATE CONCRETE SIDEWALK, SEE DETAIL ON SHEET C9.0
(D2)	COVERED PATIO INTEGRAL COLOR SMOKESTACK 102 - 5LB
(D3)	PAVERS IN MENU ISLAND: BELGARD HOLLAND STONE, LEGACY PAVERS IN HERRINGBONE/BASKETWEAVE PATTERN CHARCOAL OR SIMILAR GRAY COLOR SEE DETAIL SHEET C9.0
(E)	LANDSCAPE AREA, REFER TO LANDSCAPE PLANS
(E3)	BARRIER FREE RAMP, SEE DETAIL ON SHEET C9.0
(E2)	SIDEWALK RAMP AND DETECTABLE WARNING SYSTEM PER CITY OF ALBUQUERQUE STANDARD DWG 2442 (DETAIL A)
(H)	ACCESSIBLE PARKING STALL
(I)	PAVEMENT STRIPING, REFER TO SHEET C5.2
(J)	BICYCLE RACK PARKING RACK, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(K)	DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(L)	CANOPY, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(M)	PROPOSED PATIO, REFER TO ARCHITECTURAL PLANS FOR SEATING AND SPACING LAYOUT

(N)	PROPOSED TRASH CAN, REFER TO ARCHITECTURAL SITE DETAILS
(O)	BOLLARD IN CURB, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(P)	HAND WASH STATION, REFER TO ARCHITECTURAL PLANS FOR DETAIL
(3)	INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) STANDARD DUTY CONCRETE PAVEMENT, SEE DETAIL ON SHEET C9.0
(2)	MEDIUM DUTY ASPHALT PAVEMENT, SEE DETAIL ON SHEET C9.0
(3)	HEAVY DUTY CONCRETE PAVEMENT, SEE DETAIL ON SHEET C9.0
(4)	LIGHT DUTY ASPHALT PAVEMENT, SEE DETAIL ON SHEET C9.0
(R)	DIRECTIONAL PAVEMENT MARKING, REFER TO SHEET C5.2
(S)	CONCRETE SIDEWALK, 2'5" WIDTH ADJACENT TO PARKING SPACES
(T)	CONCRETE FLUME
(U)	PROPOSED SITE LIGHTING, REFER TO ELECTRICAL PLANS FOR DETAIL
(V)	RELOCATED STREET LIGHTING
(V)	RAISING CANE'S Pylon SIGN TO BE DESIGNED BY OTHERS
(W)	EXTEND EXISTING VALLEY GUTTER PER CITY OF ALBUQUERQUE STANDARD DWG 2420
(X)	PUBLIC CONCRETE CURB TYPE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DWG 2430
(Y)	ASPHALT PAVEMENT PER CITY OF ALBUQUERQUE STANDARD DWG 2405B
(Z)	SCREEN WALL, SEE ARCH. FOR DETAILS

**SITE NOTES**

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- EXISTING STRUCTURES AND OR UTILITIES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC. DATED FEBRUARY 2021.
- ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY OF ALBUQUERQUE STANDARDS.
- PER FEMA MAP NUMBER 35001C0139G DATED SEPTEMBER 26, 2008, THIS SITE IS NOT WITHIN A FLOODPLAIN, BUT IS ADJACENT TO FLOOD ZONE AO
- BUILDING IS FIRE SPRINKLED.
- CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT IS NOT TO BE HELD LIABLE FOR ANY DAMAGE TO THE ASPHALT PAVEMENT.
- LANDSCAPE BUFFER WAIVER VA-2021-00134 PROPOSING A REDUCED BUFFER WIDTH HAS BEEN APPROVED.
- ALL IMPROVEMENTS IN THE CITY OF ALBUQUERQUE RIGHT-OF-WAY PER WORK ORDER DRAWING #642183 SHALL BE BUILT.

**COORDINATE AND DIMENSION INFORMATION**

STATE PLANE ZONE: NM-C  
 GRID/GROUND COORDINATES: STANDARD  
 TYPE: NAD83  
 HORIZONTAL DATUM: NAVD88  
 VERTICAL DATUM: 0'00'00.00"  
 ROTATION ANGLE: YES  
 MATCHES DRAWING UNITS: ALBUQUERQUE GEODETIC  
 CONTROL USED: REFERENCE SYSTEM  
 COMBINED SCALE FACTOR: GRID TO GROUND: 1.000348716  
 GROUND TO GRID: 0.999651406

DISTANCE ANNOTATION: GRID  
 BEARING ANNOTATION: N=0  
 BASE POINT FOR SCALING AND/OR ROTATION: E=0  
 ELEVATION TRANSLATION: ±0.00'  
 ELEVATIONS VALID: YES

PROJECT NAME: RAISING CANES  
 MONTGOMERY BLVD.

PROJECT NUMBER: PR-2021-005467

Application Number: SI-2022-00861

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [Date] and the Findings and Conditions in the Official Notification of Decision are satisfied.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

<i>Ernest Arriaga</i>	July 21, 2022
Traffic Engineering, Transportation Division	Date
<i>Blaine Carter</i>	July 21, 2022
Blaine Carter (Jul 21, 2022 08:06 MDT)	Date
ABCWUA	July 20, 2022
<i>Cheryl [Signature]</i>	Date
Cheryl [Signature] (Jul 20, 2022 17:53 MDT)	Date
Parks and Recreation Department	Date
<i>Shahab [Signature]</i>	July 21, 2022
City Engineer/Hydrology	Date
<i>JH [Signature]</i>	July 21, 2022
Jeff [Signature] (Jul 21, 2022 08:24 MDT)	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
SEE SHEET 19	Date
Solid Waste Management	Date
<i>[Signature]</i>	July 26, 2022
DRB Chairperson, Planning Department	Date

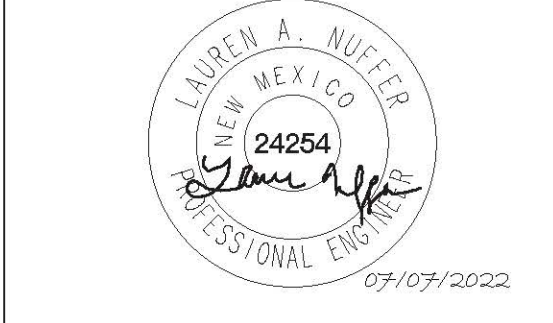
**PARKING / SITE DATA PER IDO**

TRACT B-1	
VISTA GRANDE SUBDIVISION	
EXISTING ZONING	MIXED USE (MX-M)
PROPOSED USE	RESTAURANT W/ DRIVE-THRU
LOT AREA	55,027 SF / 1.26 AC
BUILDING AREA	3,331 SF
FINISHED FLOOR ELEVATION	5,187.71 FT
IMPERVIOUS AREA	44,679 SF
LOT COVERAGE	81.2%
TOTAL PARKING	REQUIRED 34 SPACES / PROVIDED 35 SPACES
ACCESSIBLE	2 SPACES / 2 SPACES
MOTORCYCLE	2 SPACES / 3 SPACES
BICYCLE	3 SPACES / 5 SPACES
PARKING REQUIRED FOR DRIVE-THRU RESTAURANT IS 8 SPACES / 1,000 SF INDOOR AND 3 SPACES / 1,000 SF OF OUTDOOR SPACE.	



Store:  
**Montgomery & San Mateo**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**P4E-V-AV SCHEME A**

Engineers Information:  
**Kimley»Horn**  
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 13455 Noel Road  
 Two Galleria Office Tower  
 Suite 700  
 Dallas, TX 75240  
 CONTACT: LAUREN NUFFER, P.E. (972) 770-1300  
 LAUREN.NUFFER@KIMLEY-HORN.COM  
 LIZ.WILLMOT@KIMLEY-HORN.COM



Prototype: P4E-V-AV 2021-2.0 RELEASE  
 Prototype Issue Date: 10.04.2021  
 Kitchen Issue Date: 08.02.2021  
 Design Bulletin Updates: --  
 Date Issued: Bulletin Number: --

**2ND BLDG. RESUBMITTAL**

**REVISIONS:**

1	11/12/2021	80% REVIEW SET
2	11/30/2021	1ST BLDG SUBMITTAL
3	12/20/2021	1ST BLDG RESUBMITTAL
4	01/17/2022	2ND BLDG RESUBMITTAL
5		
6		
7		
8		

Sheet Title:  
**SITE KEYNOTE PLAN**  
 Date: 07.07.2022  
 Project Number: 090042000  
 Drawn By: LW/LN  
 Sheet Number:



**CAUTION!**  
 CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

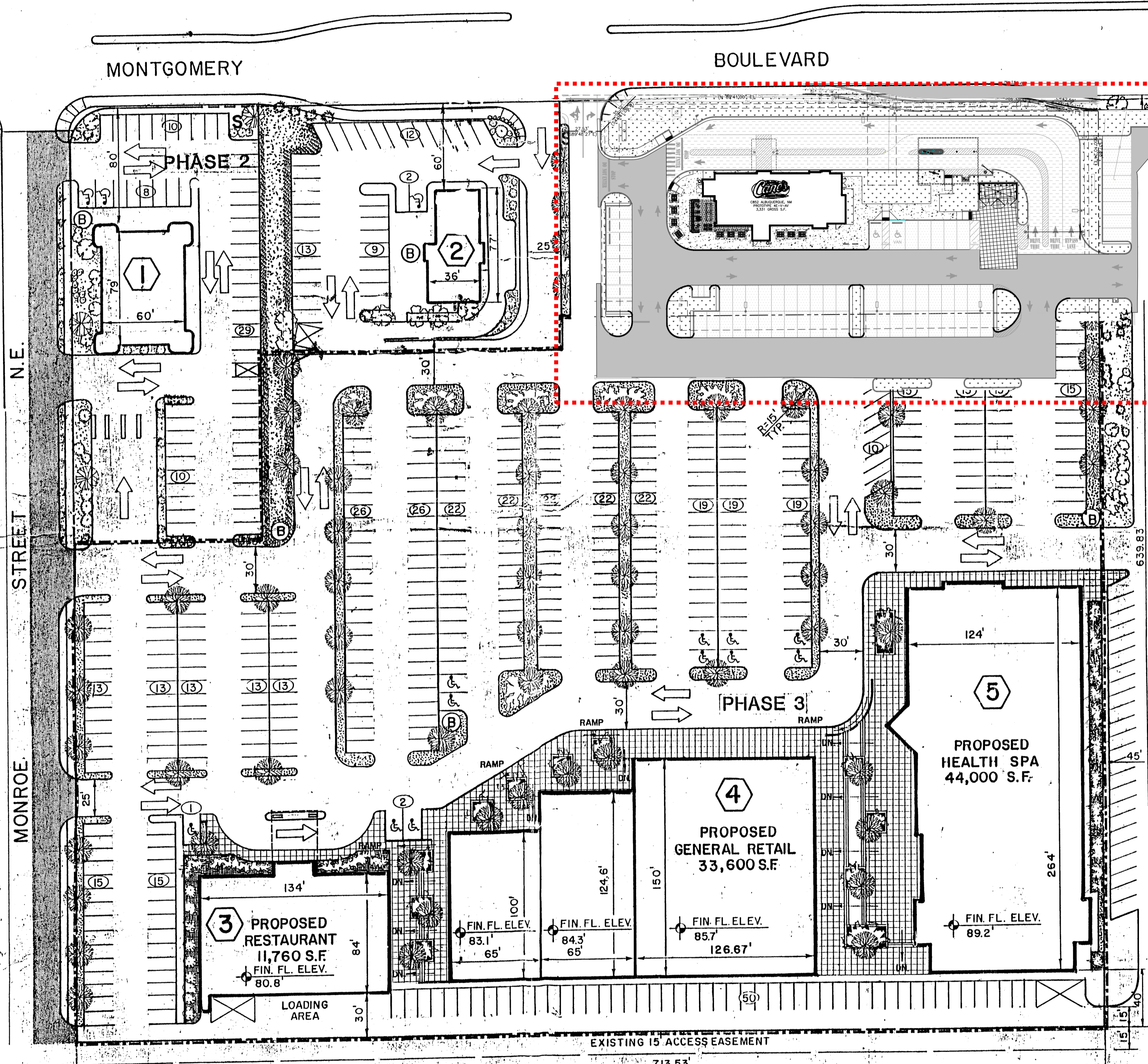
**C5.0**



**SITE PLAN EPC MAJOR AMENDMENT  
TRACT B-1, APRIL 2022**

**PROJECT DESCRIPTION**  
ALL EXISTING IMPROVEMENTS ONSITE, INCLUDING ROCK & BREWS BUILDING, ASPHALT DRIVE AISLES AND PARKING STALLS, CURBING, AND UTILITIES SERVING THE EXISTING BUILDING WILL BE DEMOLISHED. A NEW BUILDING WITH ASSOCIATED ASPHALT DRIVE AISLES AND PARKING STALLS, CURBING, AND UTILITY SERVICES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE INTEGRATED DEVELOPMENT ORDINANCE (IDO) RULES AND REGULATIONS, AS DETAILED IN THIS EPC MAJOR AMENDMENT SUBMITTAL.

# VISTA GRANDE SHOPPING CENTER



**PHASE - 1**  
**BUILDING 6**  
PROPOSED RAISING CANES RESTAURANT  
3675 SF  
144 SEATS  
65 PARKING SPACES

**PHASE - 2**  
**BUILDING 1**  
BANK  
(Proposed - SUN COUNTRY SAVINGS AND LOAN)  
3 STORIES  
16,500 S.F. GROSS  
15,000 S.F. NET

**PHASE - 3**  
**BUILDING 3**  
RESTAURANT  
11,760 S.F.  
300 SEATS

**BUILDING 4**  
RETAIL  
33,600 S.F. GROSS  
30,240 S.F. NET

**BUILDING 5**  
HEALTH SPA  
32,000 S.F. GROUND FLOOR  
12,000 S.F. SECOND FLOOR  
44,000 S.F. GROSS  
39,600 S.F. NET

**NOTES**  
Landscaping In Phase 1 Is Existing.  
Landscaping For Phase 2 Is Assumed Owner Of Property Will Submit Plan With Application For Building Permit

**BUILDING 2**  
RESTAURANT  
(Existing - BURGER KING)  
2,220 S.F.  
80 SEATS

**PHASE - 3**  
**GROSS BUILDING AREA OTHER REQUIRED DEVELOPMENTS**  
89,360 S.F.

**NET BUILDING AREA**  
80,424 S.F.

**PARKING SPACES**  
TOTAL PROVIDED: —  
NUMBER REQUIRED: — 307  
Handicapped — 9  
Small Car — 88  
Standard — 338

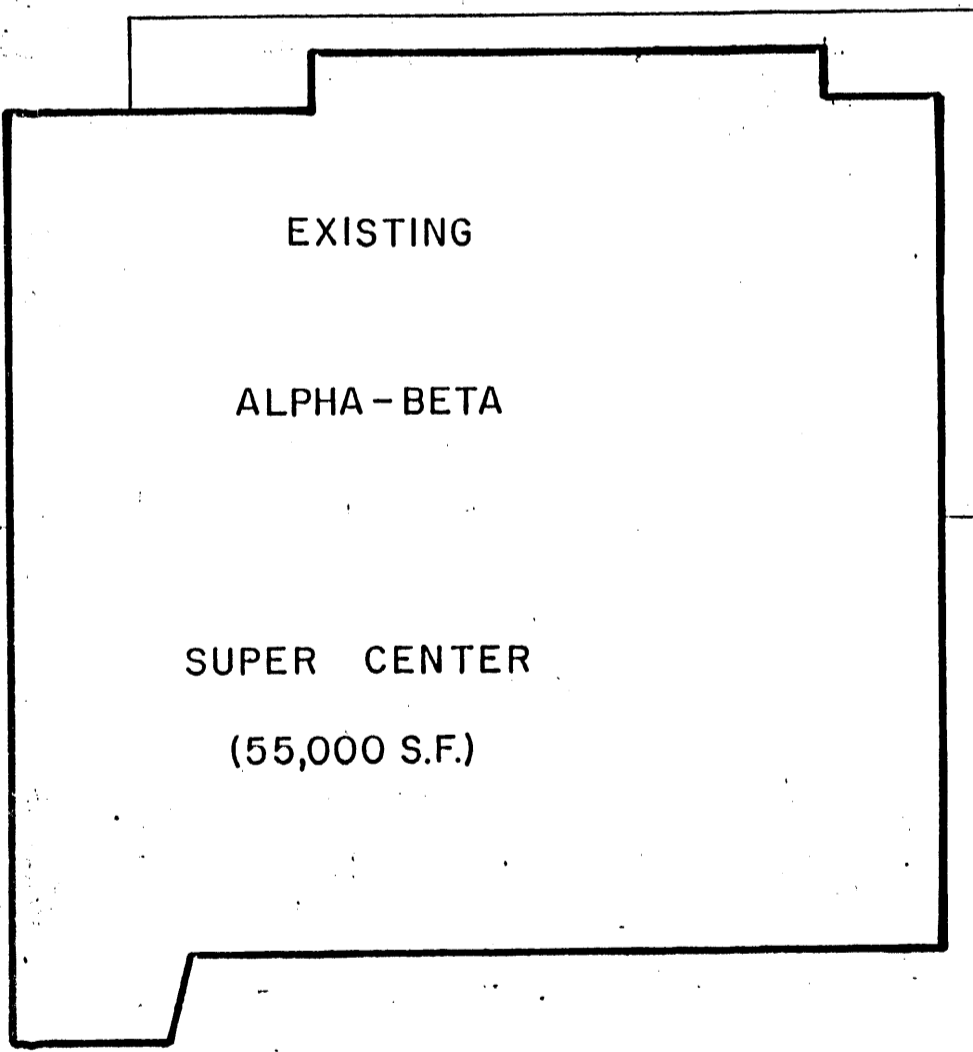
The following improvements will be completed before a Certificate of Occupancy is requested for buildings 1, 3, 4, or 5.  
1. Monroe Street: 4' wide sidewalks, curb and gutter, residential paving of the east half to centerline, and 4' wide temporary paving west of the centerline.  
2. Access Easement along the south property line: a minimum of 24' wide paving from Monroe St. east to east property line.

PROJECT NUMBER: PR-2021-005467  
Application Number: SI-2022-00861

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [ ] and the Findings and Conditions in the Official Notification of Decision are satisfied. Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DBR SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABC/WLIA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DBR Chairperson, Planning Department	Date
Environmental Health, if necessary	Date



- LEGEND**
- (B) BIKE RACK
  - (X) TRASH RACK
  - (S) TRAFFIC FLOW
  - (S) FREE STANDING SIGN
  - (HC) HC PARKING
  - (L) LANDSCAPE AREA
  - (D) DRIVE UP TELLER
  - (I) EXISTING IMPROVEMENTS
  - (O) NUMBER OF PARKING SPACES

APPROVAL OF PHASE II ONLY OF THE DEVELOPMENT PLAN APPROVED BY THE EPC JUNE 18, 1981

*[Signatures and Dates]*  
PLANNING DEPARTMENT DATE 2/1/84  
WATER RESOURCES DEPT. DATE 2/1/84  
PARK & RECREATION DEPT. DATE 2/1/84  
CITY ENGINEERING DIVISION DATE 2/24/84  
TRAFFIC DIVISION DATE

**LEGAL DESCRIPTION**  
TRACT B-5  
BLOCK A  
VISTA GRANDE ADDITION UNIT I

**TOTAL LAND AREA**  
9.1897 ACRES

**ZONED: C-2**

## SITE DEVELOPMENT PLAN

SCALE: 1" = 50'-0"

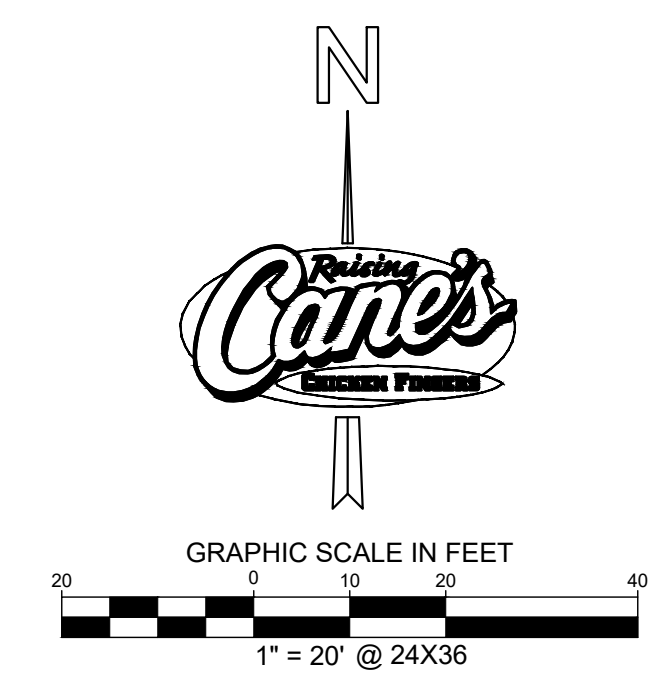
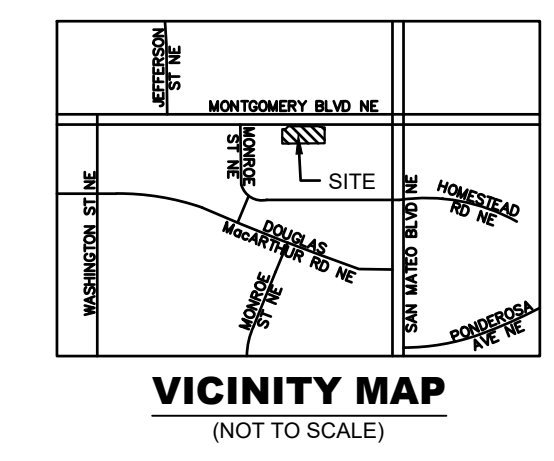
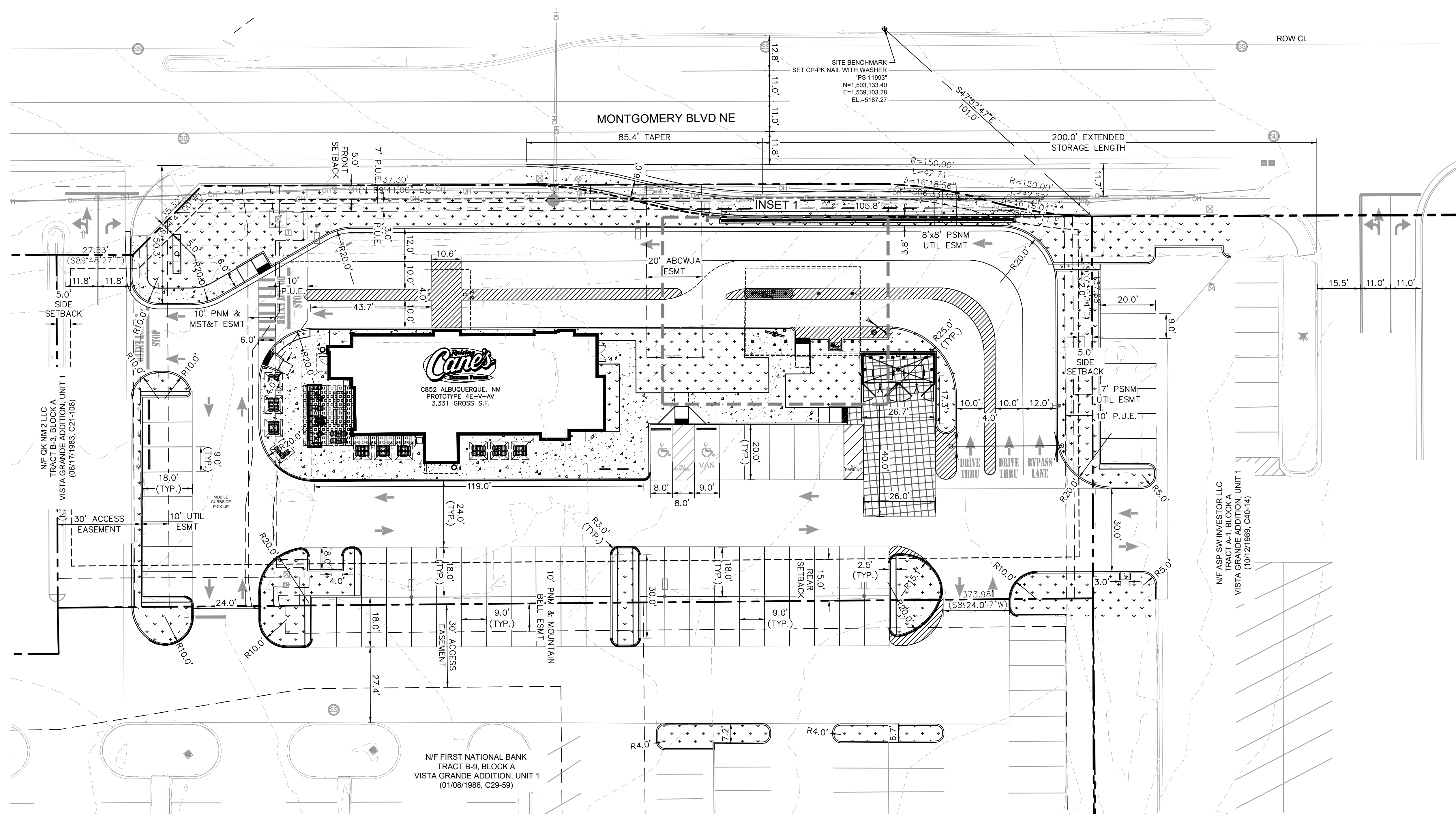
DATE: April 20, 1983  
REVISED: May 20, 1983  
REVISED: SEPT. 2, 1983  
REVISED: SEPT. 30, 1983  
REVISED: DECEMBER 2, 1983



Owner: LINCOLN ROAD, LTD.  
Developer: MURILLO DEVELOPMENTS LTD.  
Engineer / Architect: LEEDSHILL - HERKENHOFF, INC.

**Z-73-13-2**

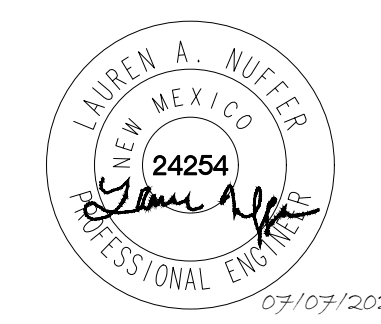




Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tel: 972-789-3100 Fax: 972-769-3101

Store:  
**Montgomery & San Mateo**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**P4E-V-AV SCHEME A**

Engineer's Information:  
**Kimley»Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
13455 Noel Road  
Two Galleria Office Tower  
Suite 700  
Dallas, TX 75240  
CONTACT: LAUREN NUFFER, P.E.  
(972) 770-1300  
LAUREN.NUFFER@KIMLEY-HORN.COM  
LIZ.WILLMOT@KIMLEY-HORN.COM  
Professional of Record:



Prototype :	P4E-V-AV 2021- 2.0 RELEASE
Prototype Issue Date:	10.04.2021
Kitchen Issue Date:	08.02.2021
Design Bulletin Updates:	--
Date Issued:	Bulletin Number:
--	--

**2ND BLDG. RESUBMITTAL**

REVISIONS:	
11/12/2021	80% REVIEW SET
11/30/2021	1ST BLDG SUBMITTAL
12/20/2021	1ST BLDG RESUBMITTAL
01/17/2022	2ND BLDG RESUBMITTAL

Sheet Title:  
**DIMENSION CONTROL PLAN**

Date: 07.07.2022

Project Number: 090042000

Drawn By: LW/LN

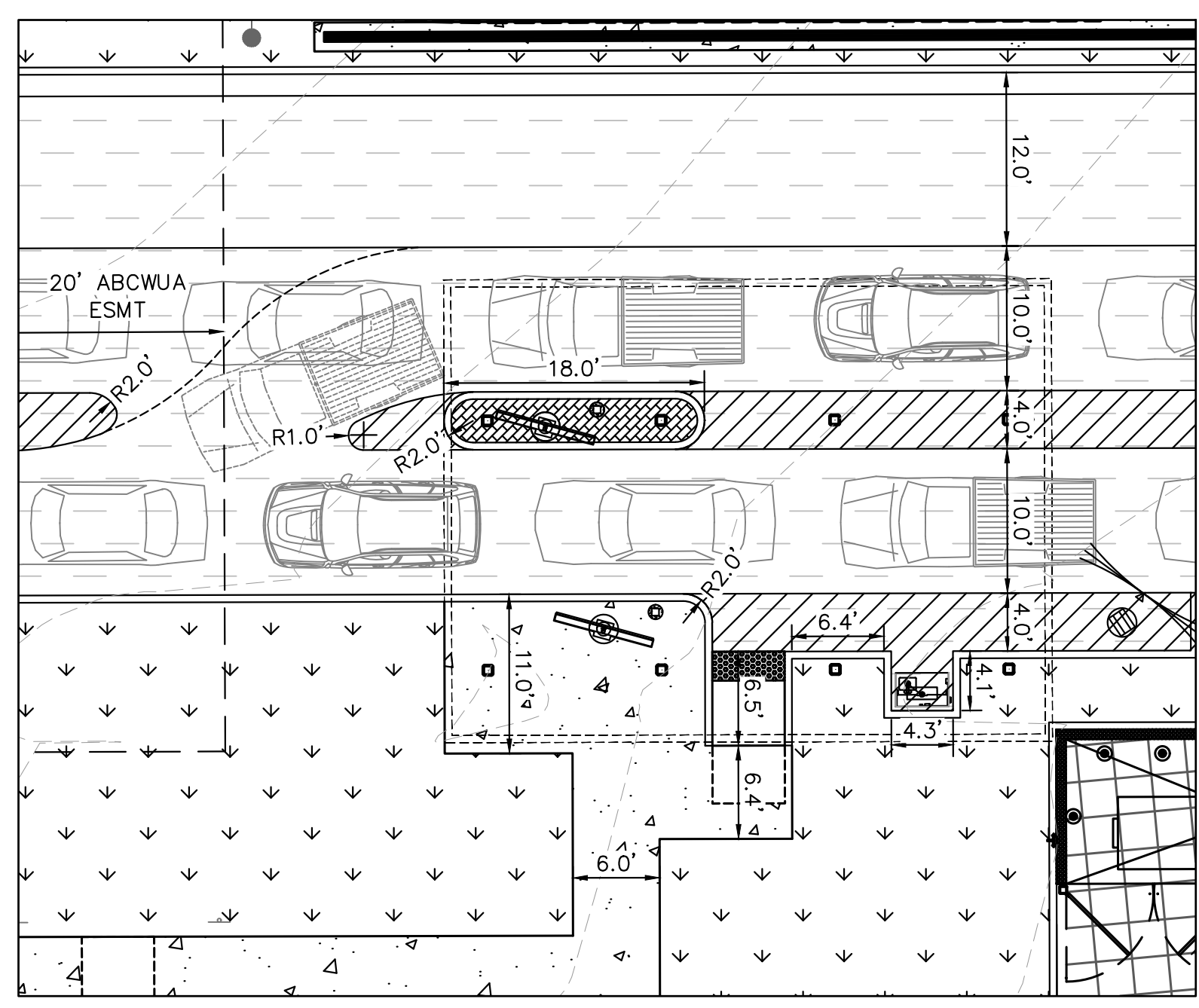
Sheet Number:

**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT/SETBACK
	PROPOSED SAWCUT
	PROPOSED CONCRETE CURB
	EXISTING CURB
	PROPOSED LANDSCAPE AREA

- GENERAL NOTES**
- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
  - CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
  - ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
  - ALL RADII THAT ARE NOT SPECIFICALLY DIMENSIONED ARE 3'.

- DIMENSION NOTES**
- ALL CURB RADII ARE TO BE 3' UNLESS OTHERWISE NOTED.
  - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

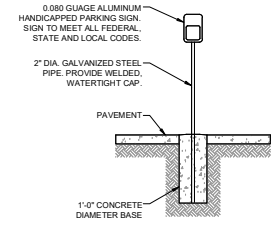
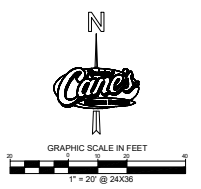
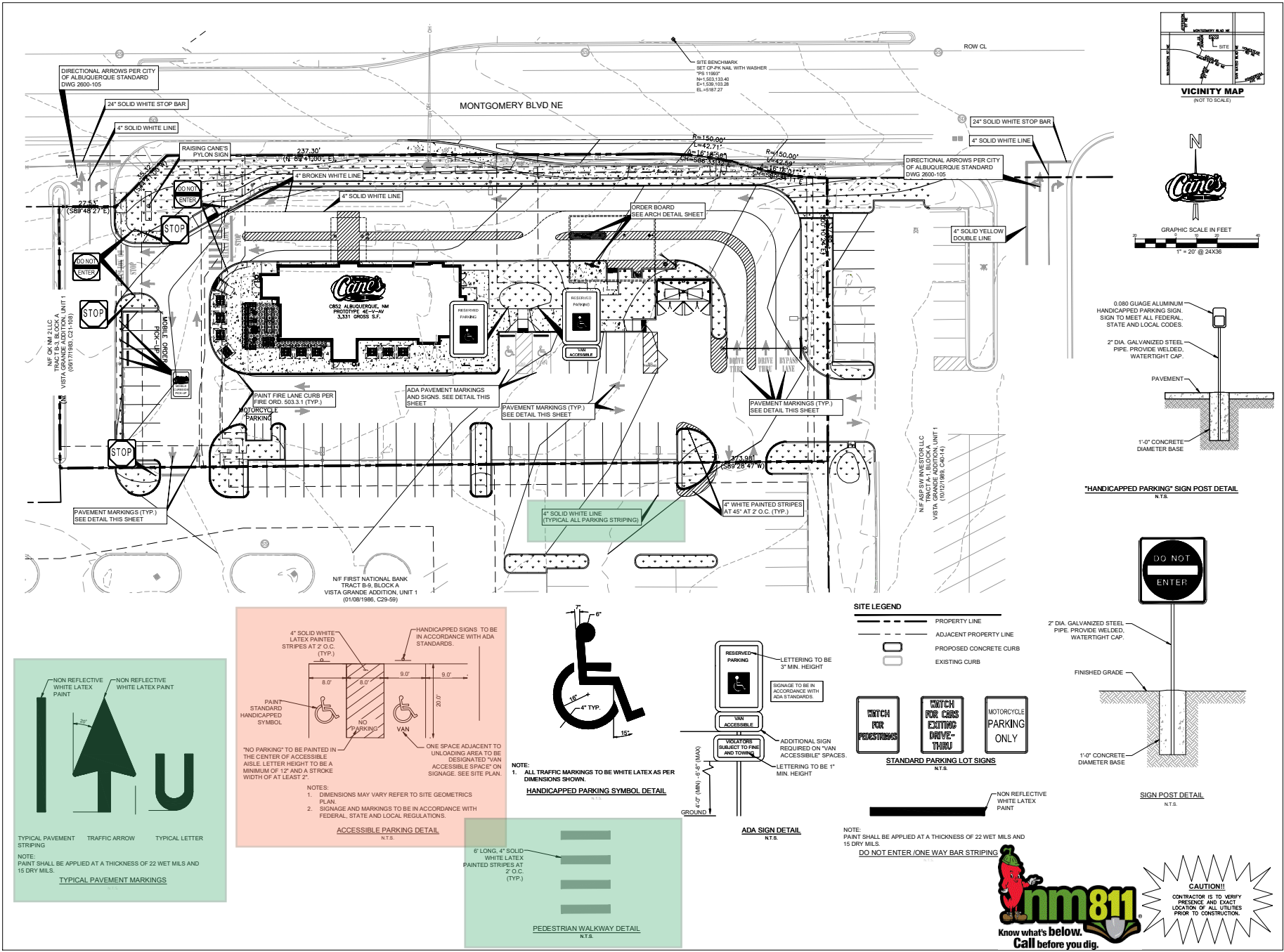


**INSET 1**  
SCALE: 1"=10'

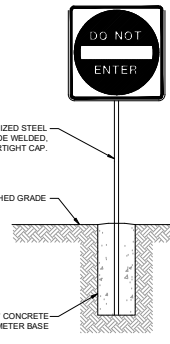


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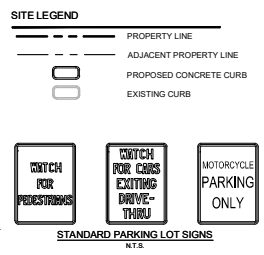




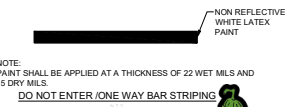
"HANDICAPPED PARKING" SIGN POST DETAIL  
N.T.S.



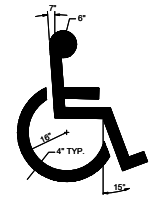
SIGN POST DETAIL  
N.T.S.



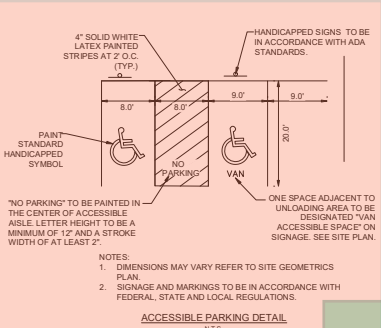
STANDARD PARKING LOT SIGNS  
N.T.S.



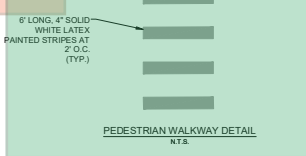
NOTE: PAINT SHALL BE APPLIED AT A THICKNESS OF 22 WET MILS AND 15 DRY MILS.  
DO NOT ENTER / ONE WAY BAR STRIPING



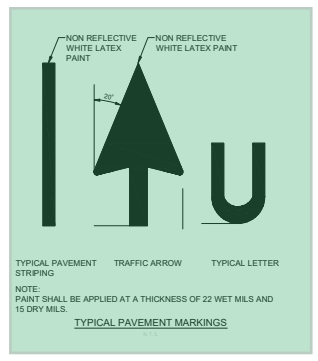
NOTE: ALL TRAFFIC MARKINGS TO BE WHITE LATEX AS PER DIMENSIONS SHOWN.  
HANDICAPPED PARKING SYMBOL DETAIL  
N.T.S.



ACCESSIBLE PARKING DETAIL  
N.T.S.



PEDESTRIAN WALKWAY DETAIL  
N.T.S.



TYPICAL PAVEMENT STRIPING  
TYPICAL PAVEMENT MARKINGS  
NOTE: PAINT SHALL BE APPLIED AT A THICKNESS OF 22 WET MILS AND 15 DRY MILS.



Site: **Montgomery & San Mateo**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**PAE-V-AV SCHEME A**

Engineer's Information:  
**Kimley-Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
13455 Noel Road  
Two Colander Office Tower  
Suite 700  
Dallas, TX 75240  
CONTACT: LAUREN NUFFER, P.E.  
972.770.1300  
LAUREN.NUFFER@KIMLEY-HORN.COM  
LJ.WILLIAMS@KIMLEY-HORN.COM



Professional of Record:

Prototype:	PAE-V-AV 2021-20 RELEASE
Prototype Issue Date:	10.04.2021
Kitchen Issue Date:	08.02.2021
Design Bulletin Updates:	--
Date Issued:	Bulletin Number: --

**2ND BLDG. RESUBMITTAL**

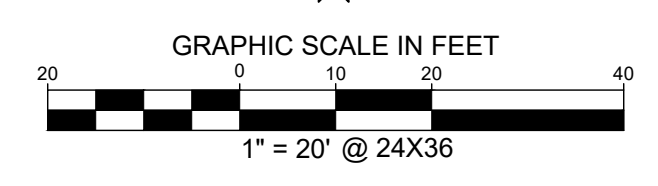
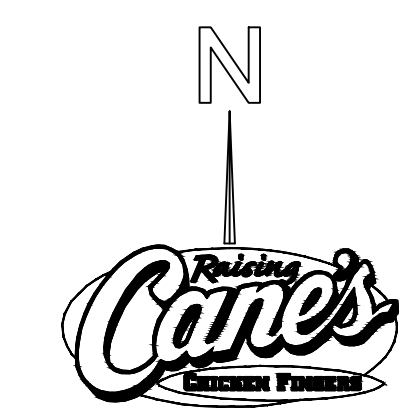
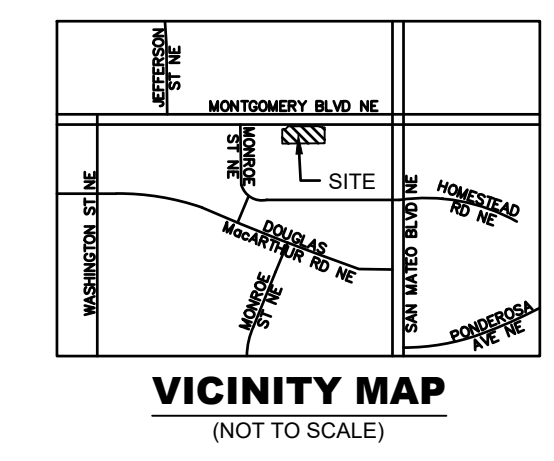
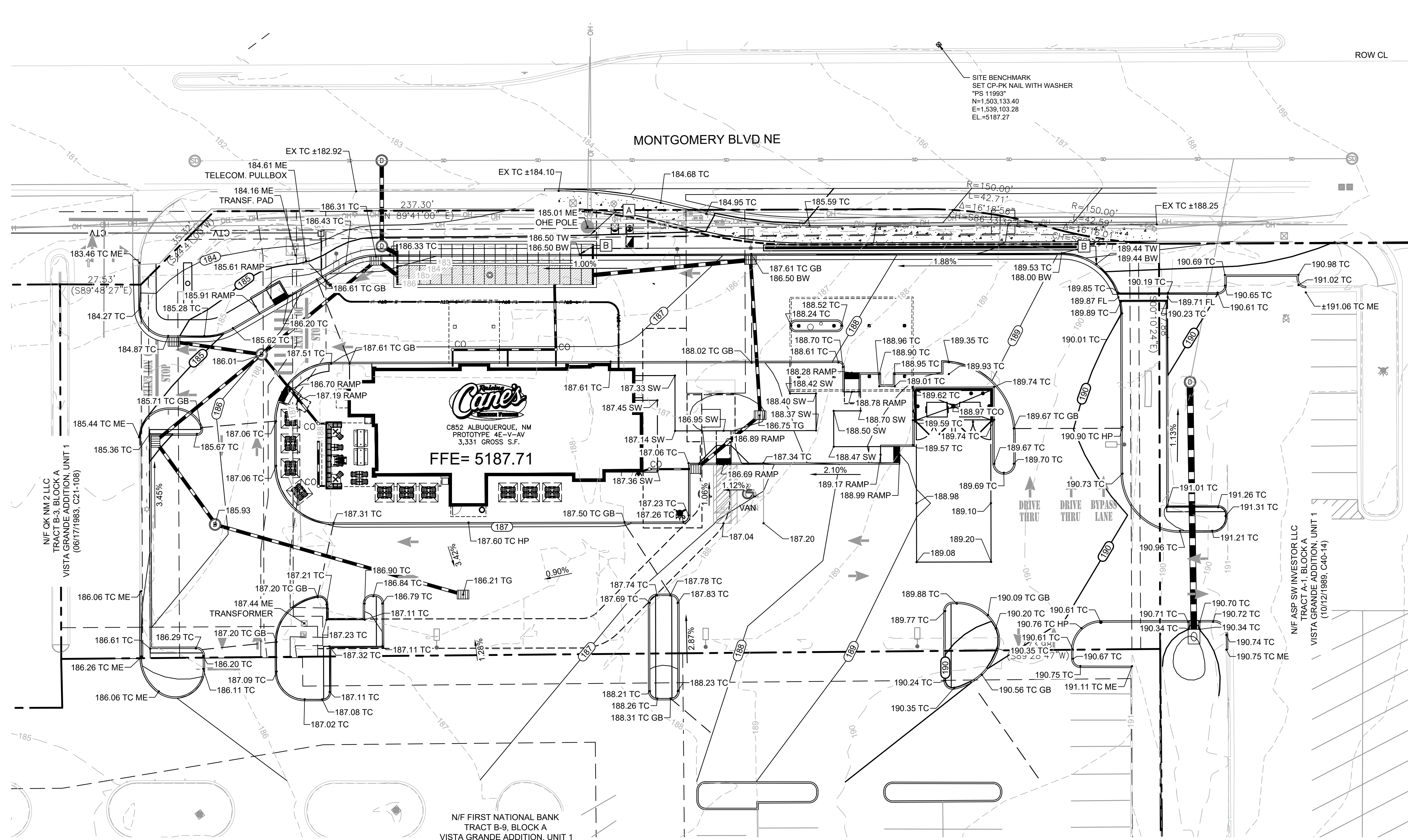
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11/12/2021	80% REVIEW SET	
11/09/2021	1ST BLDG SUBMITTAL	
12/20/2021	1ST BLDG RESUBMITTAL	
01/17/2022	2ND BLDG RESUBMITTAL	

Sheet Title: **STRIPING AND SIGNAGE PLAN**  
Date: 05.10.2022  
Project Number: 090042000  
Drawn By: LWLN  
Sheet Number:



**CAUTION!**  
CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.





**LEGEND**

---	PROPOSED PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED FLOW ARROW WITH SLOPE
---	PROPOSED SPOT ELEVATION
□	EXISTING STORM INLET
GB	GRADE BREAK
HP	HIGH POINT
P	TOP OF PAVEMENT
SW	TOP OF SIDEWALK
ME	MATCH EXISTING ELEVATION
TG	TOP OF GRATE
FL	FLOW LINE
TCO	TOP OF CLEANOUT
TW	TOP OF WALL
BW	BOTTOM OF WALL
---	PROPOSED RIDGE

**GRADING NOTES**

- ADD 5000' TO ALL SPOT ELEVATIONS & CONTOUR LABELS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY/AHJ STANDARDS AND SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
- CONTRACTOR SHALL REFER TO FINAL GEOTECH REPORT FOR BUILDING SUBGRADE AND SITE PREPARATION REQUIREMENTS.
- CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
- ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
- ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
- REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
- ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.

**GRADING CONSTRUCTION NOTES**

A	3:1 CUT SLOPE BETWEEN EDGE OF EXISTING OVERHEAD ELECTRIC POLE AND TOP OF PROPOSED CURB, REFERENCE GRADING NOTE 5 THIS SHEET
B	CONSTRUCT CUT-OFF WALL IN PLACE OF CURB PER CITY OF ALBUQUERQUE STANDARD DWG 2415C. TOP OF WALL = TOP OF CURB, ELEVATION PER DRAWING. BOTTOM OF WALL = BOTTOM OF EXPOSED WALL. BURY WALL A MINIMUM OF 18" BELOW FINISHED GRADE. MIN HEIGHT = 0', MAX HEIGHT = 18"



Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tele: 972-789-3100 Fax: 972-789-3101

Store:  
**Montgomery & San Mateo**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**P4E-V-AV SCHEME A**

Engineer's Information:  
**Kimley»Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
13455 Noel Road  
Two Galleria Office Tower  
Suite 700  
Dallas, TX 75240  
CONTACT: LAUREN NUFFER, P.E.  
(972) 770-1300  
LAUREN.NUFFER@KIMLEY-HORN.COM  
LIZ.WILLMOT@KIMLEY-HORN.COM  
Professional of Record:



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**2ND BLDG. RESUBMITTAL**

REVISIONS:

1	11/12/2021	80% REVIEW SET
2	11/30/2021	1ST BLDG SUBMITTAL
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Sheet Title:

**GRADING PLAN**

Date: 07.07.2022

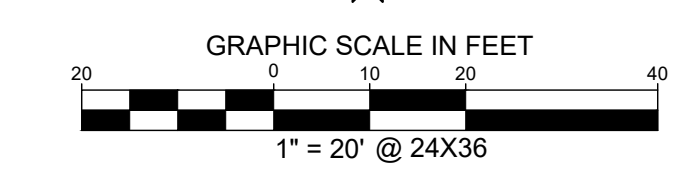
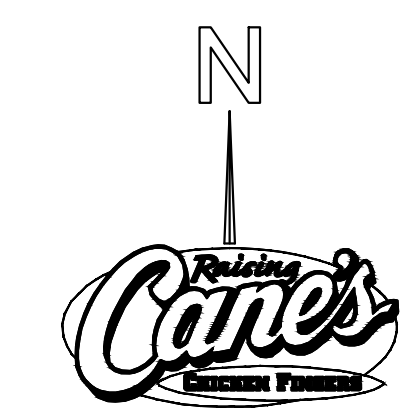
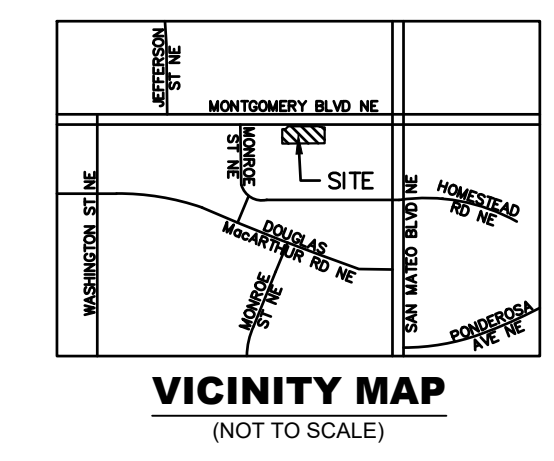
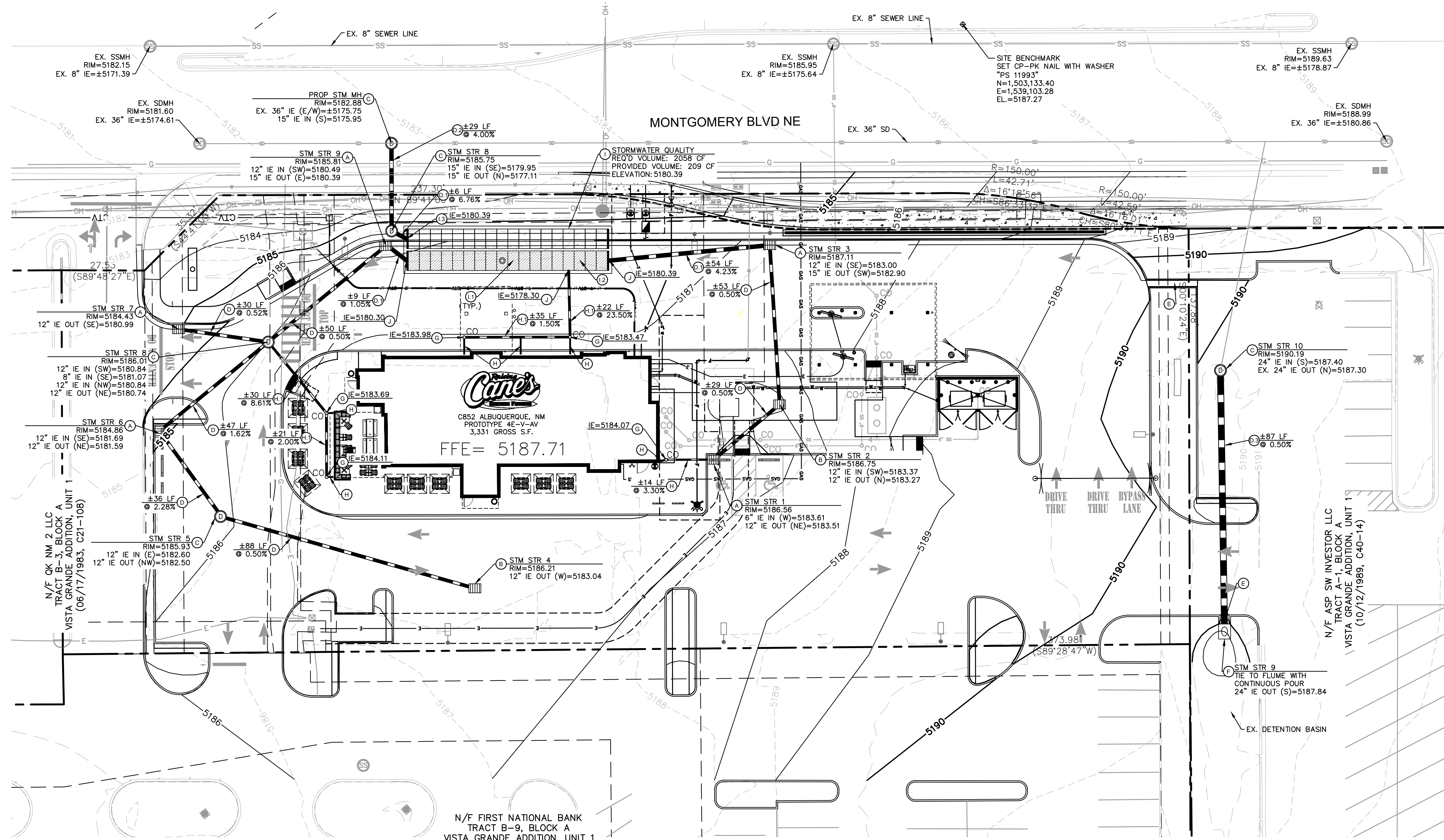
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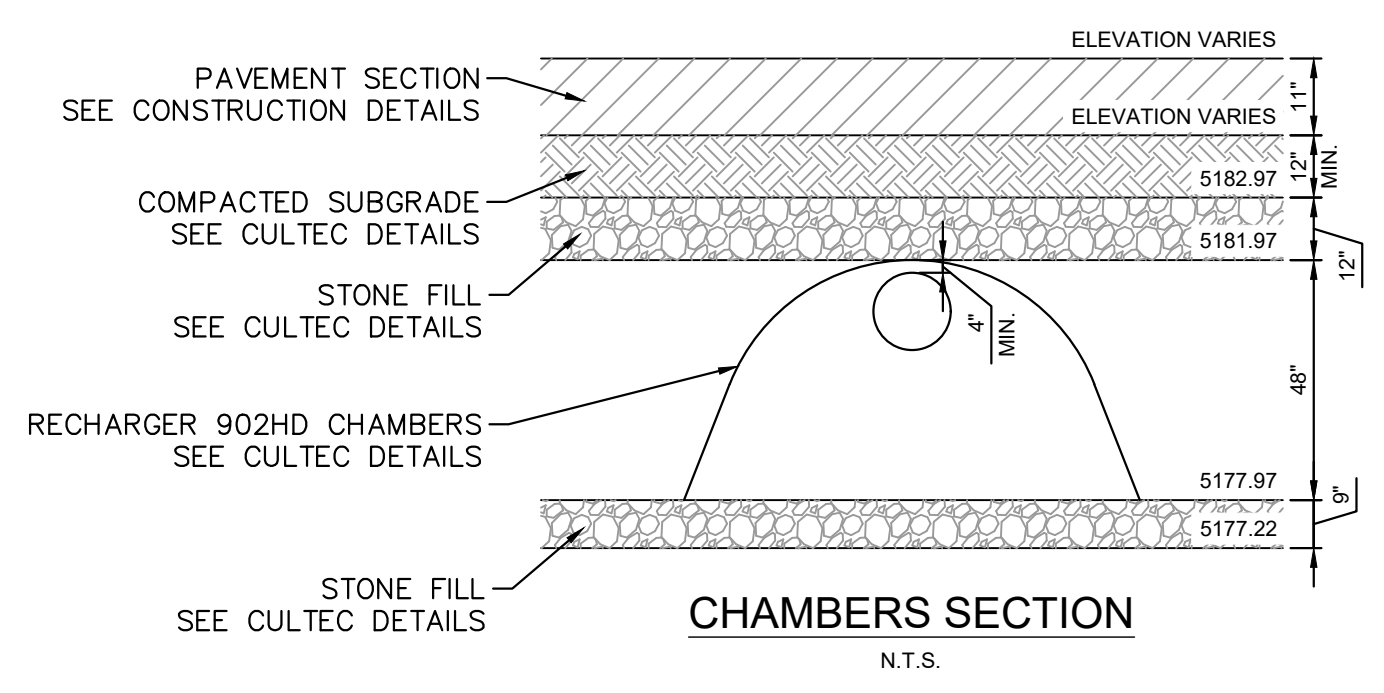
**UTILITY LEGEND**

---	PROPERTY LINE
- - - -	EXISTING EASEMENT
- · - · -	PROPOSED EASEMENT
- - - -	EXISTING FIRE LANE
— S —	PROPOSED SANITARY SEWER LINE
— W —	PROPOSED WATER LINE
— F —	PROPOSED FIRE WATER LINE
— GAS —	PROPOSED UNDERGROUND GAS LINE
— UGT —	PROPOSED UNDERGROUND ELECTRIC LINE
— UGT —	PROPOSED UNDERGROUND TELEPHONE LINE
▬▬▬▬	PROPOSED STORM DRAINAGE LINE
▬▬▬▬	EXISTING STORM DRAINAGE LINE
▬▬▬▬	EXISTING OVERHEAD POWER LINE
— GAS —	EXISTING GAS LINE
— W —	EXISTING WATER LINE
— SS —	EXISTING SANITARY SEWER LINE
◆	PROPOSED FIRE HYDRANT
●	PROPOSED WATER METER
○	PROPOSED SEWER CLEANOUT
⊗	PROPOSED WATER VALVE
⊥	PROPOSED TEE
⋈	PROPOSED BEND
⊙	PROPOSED SEWER CLEAN OUT
⊙	EXISTING POWER POLE
◆	EXISTING FIRE HYDRANT
⊙	EXISTING SANITARY SEWER MANHOLE
+	EXISTING SIGN
◁	THRUST BLOCK

- STORM NOTES**
- REFER TO CITY STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
  - GUTTER TRANSITION ADJACENT TO TYPE "A" INLETS TO FOLLOW CITY OF ALBUQUERQUE STANDARD DETAILS, DWG NO. 2207.
  - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS, INSTALLATION, AND UTILITY CROSSINGS.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION AND ELEVATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY CODES AND/OR UTILITY SERVICE COMPANIES.
  - CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY STANDARDS.
  - THE AREA OF LAND TREATMENT D WITHIN THE PROJECT AREA IS 58,667 SF OR 1.35 AC.

**STORM KEYNOTE LEGEND**

(A)	STORM INLET TYPE "A" PER CITY OF ALBUQUERQUE STANDARD DETAILS, DWG. NO. 2201
(B)	STORM INLET TYPE "D", SINGLE GRATE TYPE PER CITY OF ALBUQUERQUE STANDARD DETAILS, DWG. NO. 2206
(C)	STORM MANHOLE TYPE "C" PER CITY OF ALBUQUERQUE STANDARD DETAILS, DWG. NO. 2208
(D)	12" Ø HDPE PIPE
(E)	15" Ø HDPE PIPE
(F)	15" Ø REINFORCED CONCRETE PIPE
(G)	24" Ø REINFORCED CONCRETE PIPE
(H)	FLUME
(I)	SLOPE PAVED HEADWALL
(J)	ROOF DRAIN CLEANOUT
(K)	6" HDPE ROOF LEADER @ 1.00% MIN.
(L)	8" HDPE ROOF LEADER
(M)	CULTEC RECHARGER 902HD CHAMBERS OR APPROVED EQUIVALENT PRODUCT QUANTITY = 36, SEE SECTION THIS SHEET & CULTEC DETAILS SHEET C11.0 - C11.4
(N)	9" STONE FILL BETWEEN CHAMBERS, 12" AROUND PERIMETER
(O)	INSPECTION PORT
(P)	ISOLATOR ROW
(Q)	CHAMBER OUTFALL POINT
(R)	TIE TO CHAMBER SYSTEM



Store:  
**Montgomery & San Mateo**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**P4E-V-AV SCHEME A**

Engineer's Information:  
**Kimley»Horn**  
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 13455 Noel Road  
 Suite 700  
 Dallas, TX 75240  
 CONTACT: LAUREN NUFFER, P.E.  
 (972) 770-1300  
 LAUREN.NUFFER@KIMLEY-HORN.COM  
 LIZ.WILLMOT@KIMLEY-HORN.COM



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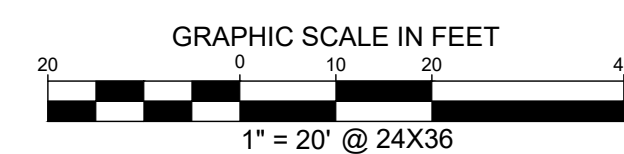
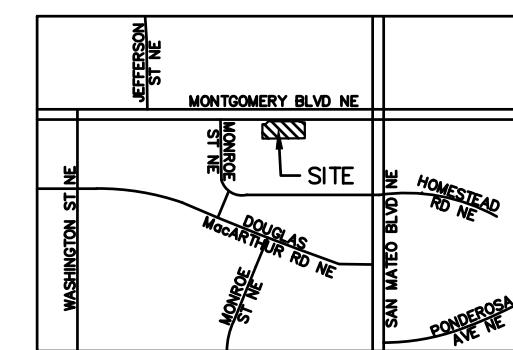
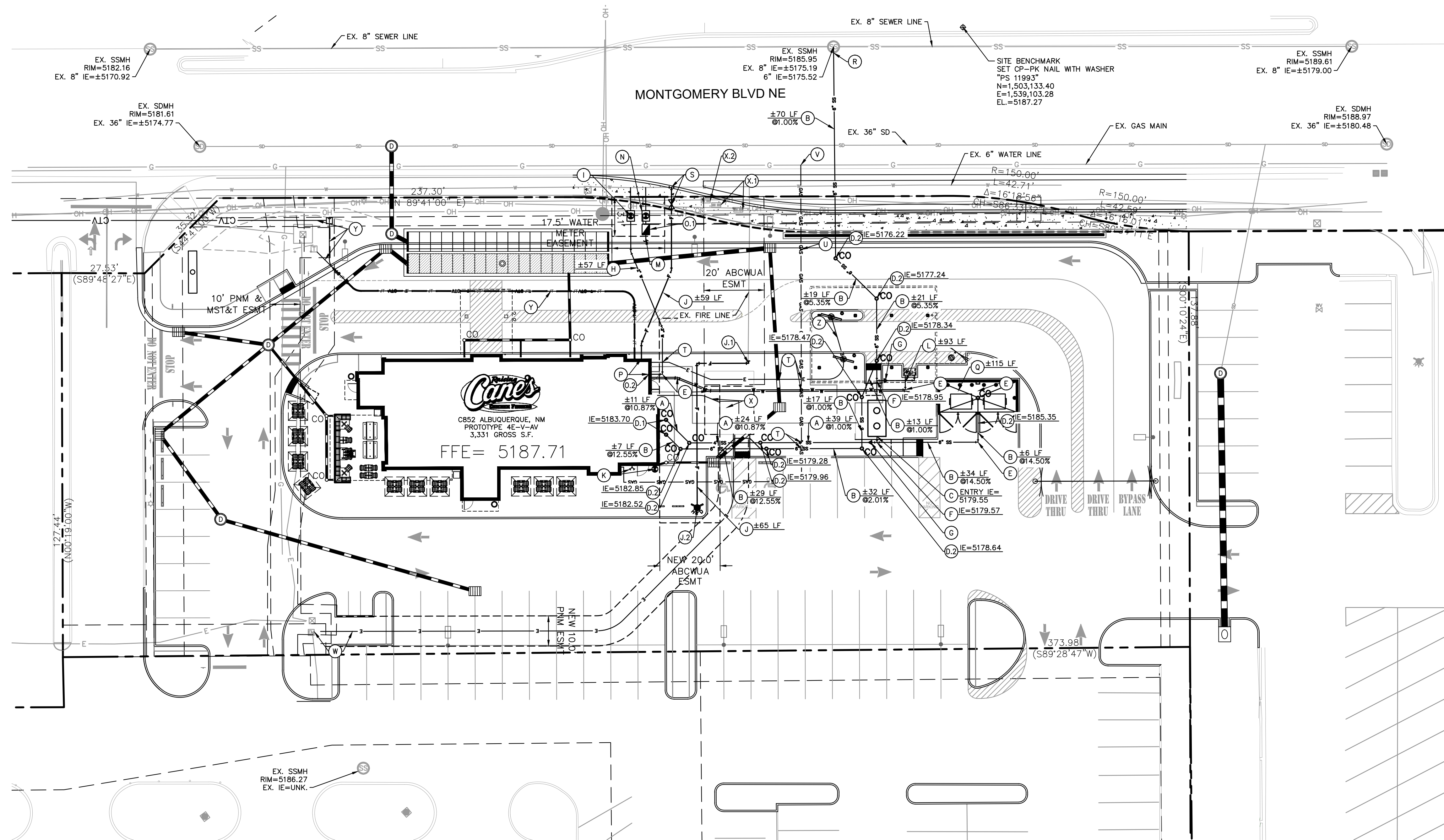
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Sheet Title:  
**STORM DRAINAGE PLAN**  
 Date: 07.07.2022  
 Project Number: 090042000  
 Drawn By: LW/LN  
 Sheet Number:



**C7.0**





**UTILITY LEGEND**

- PROPERTY LINE
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- - - EXISTING FIRE LANE
- S - PROPOSED SANITARY SEWER LINE
- W - PROPOSED WATER LINE
- F - PROPOSED FIRE WATER LINE
- GAS - PROPOSED UNDERGROUND GAS LINE
- E - PROPOSED UNDERGROUND ELECTRIC LINE
- T - PROPOSED UNDERGROUND TELEPHONE LINE
- CATV - PROPOSED UNDERGROUND CABLE LINE
- JT - PROPOSED JOINT TRENCH
- ▬▬▬ PROPOSED STORM DRAINAGE LINE
- ▬▬▬ EXISTING STORM DRAINAGE LINE
- - - EXISTING OVERHEAD POWER LINE
- GAS - EXISTING GAS LINE
- W - EXISTING WATER LINE
- SS - EXISTING SANITARY SEWER LINE
- ⊕ PROPOSED FIRE HYDRANT
- ⊙ PROPOSED WATER METER
- PROPOSED SEWER CLEANOUT
- ⊗ PROPOSED WATER VALVE
- ⊕ PROPOSED TEE
- ⊘ PROPOSED BEND
- ⊙ PROPOSED SEWER CLEAN OUT
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊙ EXISTING SIGN

**UTILITY NOTES**

1. SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
2. REFER TO CITY STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
3. REFER TO ARCHITECTURAL/MEP PLANS FOR LOCATION AND SIZING OF SLEEVES FOR FRANCHISE UTILITIES, IRRIGATION, ETC.
4. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
5. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:  
PRIVATE: PVC SDR 35 PER ASTM D 3034
6. WATER LINES SHALL BE AS FOLLOWS:  
PUBLIC: PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 50)  
PRIVATE (LARGER THAN 3 INCHES): PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 50)  
PRIVATE (3 INCHES OR SMALLER): TYPE "K" SOFT COPPER, ASTM B88 OR PVC DR-18 (C-900) PER ASTM D 2241 OR ADS POTABLE WATER SERVICE TUBING (POLYFLEX - CTS PE4710)
8. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS AND INSTALLATION OF UTILITIES AND WITH TCEQ GUIDELINES FOR UTILITY CROSSINGS.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DEFLECT ELECTRIC, GAS, CABLE, AND TELEPHONE CONDUIT AND PIPING AS REQUIRED TO AVOID UTILITY CONFLICTS.
10. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
11. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY CODES AND/OR UTILITY SERVICE COMPANIES.
12. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS IN REGARDS TO TAPS, HYDRANTS, VALVES, ETC.
13. CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY STANDARDS.
14. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET COVER ON ALL WATER LINES OR AS PER CITY REQUIREMENTS.
15. POLYFLEX BY ADS TO BE USED IN PLACE OF COPPER WHERE ALLOWED BY CITY. CONTRACTOR TO VERIFY WITH CITY WHETHER IT CAN BE USED AND VERIFY WITH MEP REQUIRED INTERNAL DIAMETER FOR SUFFICIENT WATER FLOW TO BUILDING.
16. FIRELINE CONNECTION WILL BE REQUIRED TO BE A DRY-TAP.

**UTILITY KEYNOTE LEGEND**

- (A) PROPOSED 4" SDR 35 PVC SEWER PIPE, LENGTH AND SLOPE PER PLAN. TRENCH, BEDDING, AND BACKFILL PER CITY OF ALBUQUERQUE STD. SPECIFICATIONS SECTION 700
- (B) PROPOSED 6" SDR 35 PVC SEWER PIPE, LENGTH AND SLOPE PER PLAN. TRENCH, BEDDING, AND BACKFILL PER CITY OF ALBUQUERQUE STD. SPECIFICATIONS SECTION 700
- (C) PROPOSED GREASE TRAP LOCATION
- (D) CONNECT TO BUILDING SEWER, INVERT PER PLAN. REFERENCE MEP PLANS FOR CONTINUATION
- (E) PROPOSED SEWER CLEANOUT
- (F) PROPOSED BEND, CONCRETE BLOCKING REQUIRED PER ABCWUA STD. DWG 2320
- (G) PROPOSED 6"x6" TEE
- (H) PROPOSED 6"x4" REDUCER
- (I) PROPOSED 2" COPPER, TYPE K DOMESTIC WATERLINE, LENGTH PER PLAN. INSTALL TRENCH BEDDING AND BACKFILL PER CITY OF ALBUQUERQUE STD. SPECIFICATIONS SECTION 700
- (J) REMOVE EXISTING WATER METER AND INSTALL NEW 2" DOMESTIC WATER METER AND SERVICE PER ABCWUA STD. DWG 2362
- (K) PROPOSED 6" CLASS 350 (CL350) DIP FIRE LINE WITH TRACER WIRE, LENGTH PER PLAN (4' MIN. COVER). TRENCH PER CITY OF ALBUQUERQUE STD. SPECIFICATIONS SECTION 700
- (L) TIE TO AND EXTEND EX. 6" FIRE LINE WITH 90° DIP BEND
- (M) PROPOSED FIRE HYDRANT PER CITY OF ALBUQUERQUE STD. SPECIFICATIONS SECTION 801
- (N) PROPOSED FDC & PIV. SEE SPRINKLER PLANS FOR DETAILS
- (O) PROPOSED 3/4" COLD WATER LINES TO CREW AMENITY STATION
- (P) PROPOSED 1" IRRIGATION SERVICE, REFER TO LANDSCAPE FOR CONTINUATION
- (Q) PROPOSED 1" IRRIGATION METER PER ABCWUA STD. DWG 2362
- (R) PROPOSED IRRIGATION BFP, REFER TO LANDSCAPE
- (S) PROPOSED DOMESTIC RPBA INTERNAL TO BUILDING, SEE MEP PLANS FOR DETAILS
- (T) BUILDING WATER & FIRE CONNECTION, REFER TO MEP AND SPRINKLER PLANS FOR CONTINUATION
- (U) PROPOSED 3/4" EACH H/C WATER TO DUMPSTER WITH RPZ VALVE, REFER TO MEP PLANS
- (V) CORE EXISTING SSMH FOR TIE-IN PER ABCWUA STD. DWG 2118

**UTILITY KEYNOTE LEGEND**

- (S) INSTALL 6"x6" TAPPING SLEEVE AND GATE VALVE WITH THRUST BLOCK, VALVE BOX PER ABCWUA STD. DWGS 2326 AND 2329
- (T) WET UTILITY CROSSING, MAINTAIN 2' MINIMUM VERTICAL SEPERATION
- (U) PROPOSED GAS SERVICE BY OTHERS
- (V) CONNECTION TO EXISTING GAS MAIN BY OTHERS
- (W) CONNECTION TO EXISTING UNDERGROUND ELECTRIC AND PRIMARY SERVICE TO TRANSFORMER BY OTHERS
- (X) PAD-MOUNTED TRANSFORMER & SECONDARY ELECTRICAL SERVICE, SEE ELECTRICAL FOR DETAILS
- (Y) RELOCATED ELECTRICAL PULLBOXES
- (Z) RESET EXISTING ELECTRICAL PULLBOX AT FINISHED GRADE
- (AA) TELECOM/CATV SERVICE, SEE E4 PLANS
- (AB) CONDUIT TO MENU BOARDS, SEE ELECTRICAL FOR DETAILS

**RESPONSIBILITY OF FRANCHISE UTILITY SERVICE**

	UTILITY COMPANY	GENERAL CONTRACTOR
<b>ELECTRIC SERVICE</b>		
PRIMARY CONDUIT TO TRANSFORMER	X	—
PRIMARY CONDUCTORS	X	—
TRANSFORMER PAD	—	—
TRANSFORMER ON POLE	X	—
SECONDARY CONDUIT TO METER	—	X
SECONDARY CONDUCTORS TO METER	—	X
SECONDARY CONDUIT FROM METER TO MAIN PANEL	—	X
SECONDARY CONDUCTORS FROM METER TO MAIN PANEL	—	X
<b>GAS SERVICE</b>		
SERVICE FROM ROW TO BUILDING	X	—
CONDUIT FROM ROW TO BUILDING	—	X
INSTALL GAS METER	X	—
<b>TELEPHONE SERVICE</b>		
SERVICE FROM ROW TO BUILDING	X	—
CONDUIT FROM ROW TO BUILDING	—	X

NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THIS INFORMATION IMMEDIATELY UPON START OF CONSTRUCTION.

**WATER METER & SEWER SCHEDULE**

I.D.	TYPE	SIZE	NO.	SEWER
1	DOMESTIC	1.5"	1	6"
2	IRRIGATION	1"	1	—

NOTE: ALL IMPROVEMENTS PROPOSED IN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED PER CITY OF ALBUQUERQUE DRC PROJECT 642183 DRAWINGS.



Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tel: 972-769-3100 Fax: 972-769-3101

Store:  
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**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**P4E-V-AV SCHEME A**

Engineer's Information:  
**Kimley»Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
13455 Noel Road  
Two Galleria Office Tower  
Suite 700  
Dallas, TX 75240  
CONTACT: LAUREN NUFFER, P.E.  
(972) 770-1300  
LAUREN.NUFFER@KIMLEY-HORN.COM  
LIZ.WILLMOT@KIMLEY-HORN.COM

Professional of Record:  
  
LAUREN A. NUFFER  
NEW MEXICO  
24254  
PROFESSIONAL ENGINEER  
07/07/2022

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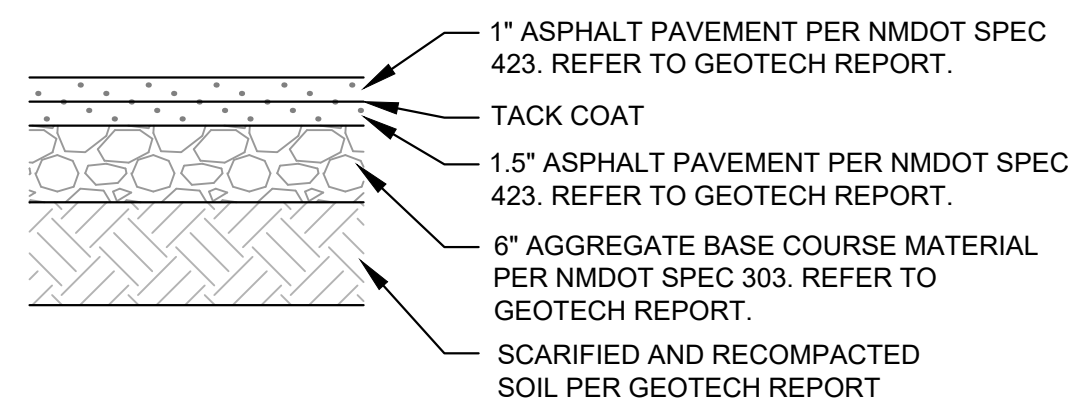
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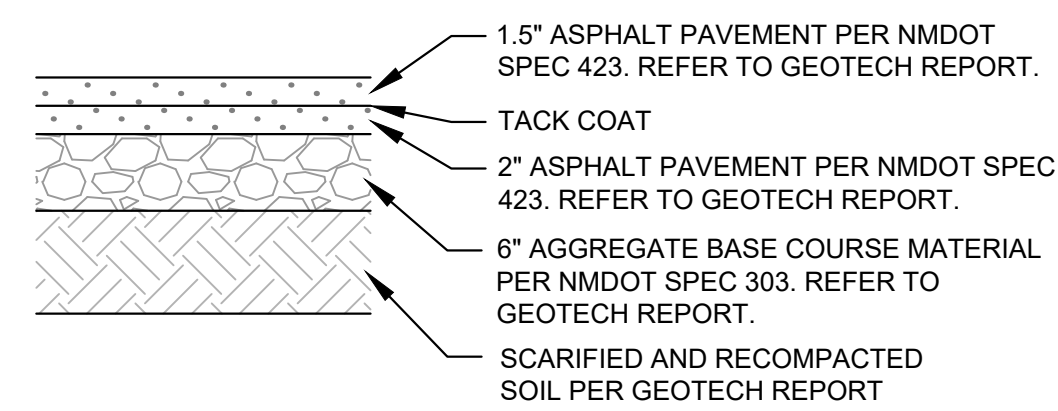
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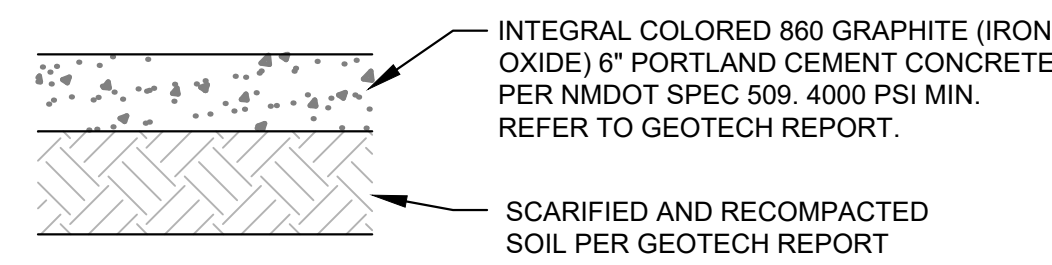




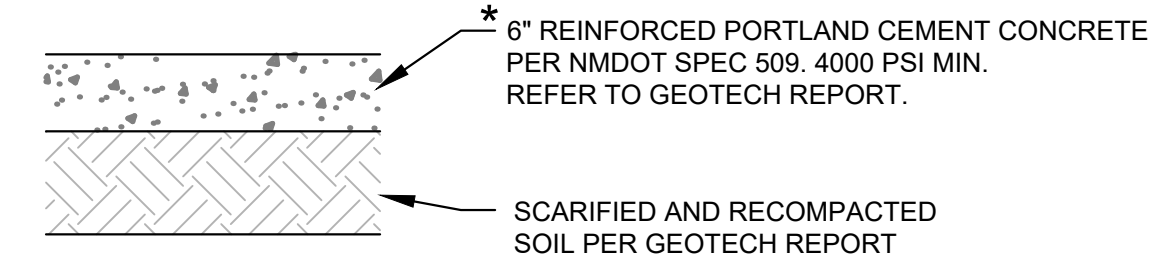
**LIGHT DUTY ASPHALT PAVEMENT SECTION**



**MEDIUM DUTY ASPHALT PAVEMENT SECTION**



**INTEGRAL COLORED STANDARD DUTY CONCRETE PAVEMENT SECTION**



**HEAVY DUTY CONCRETE PAVEMENT SECTION**

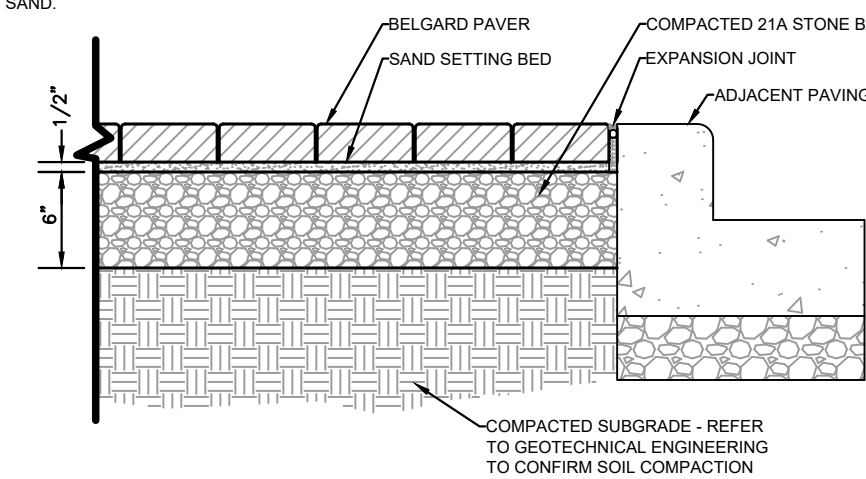
\* CONCRETE FOR RIGID PAVEMENT SHOULD HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, A MODULUS OF RUPTURE OF 500 PSI, AND BE PLACED WITH A MAXIMUM SLUMP OF 4 INCHES.

MANUFACTURER: BELGARD  
PHONE: 877-235-4273  
WEB: WWW.BELGARD.COM

PRODUCT: HOLLAND STONE LEGACY  
COLOR: CHARCOAL OR APPROVED EQUAL  
SIZE: 3 15/16" x 7 7/8" x 2 3/8"

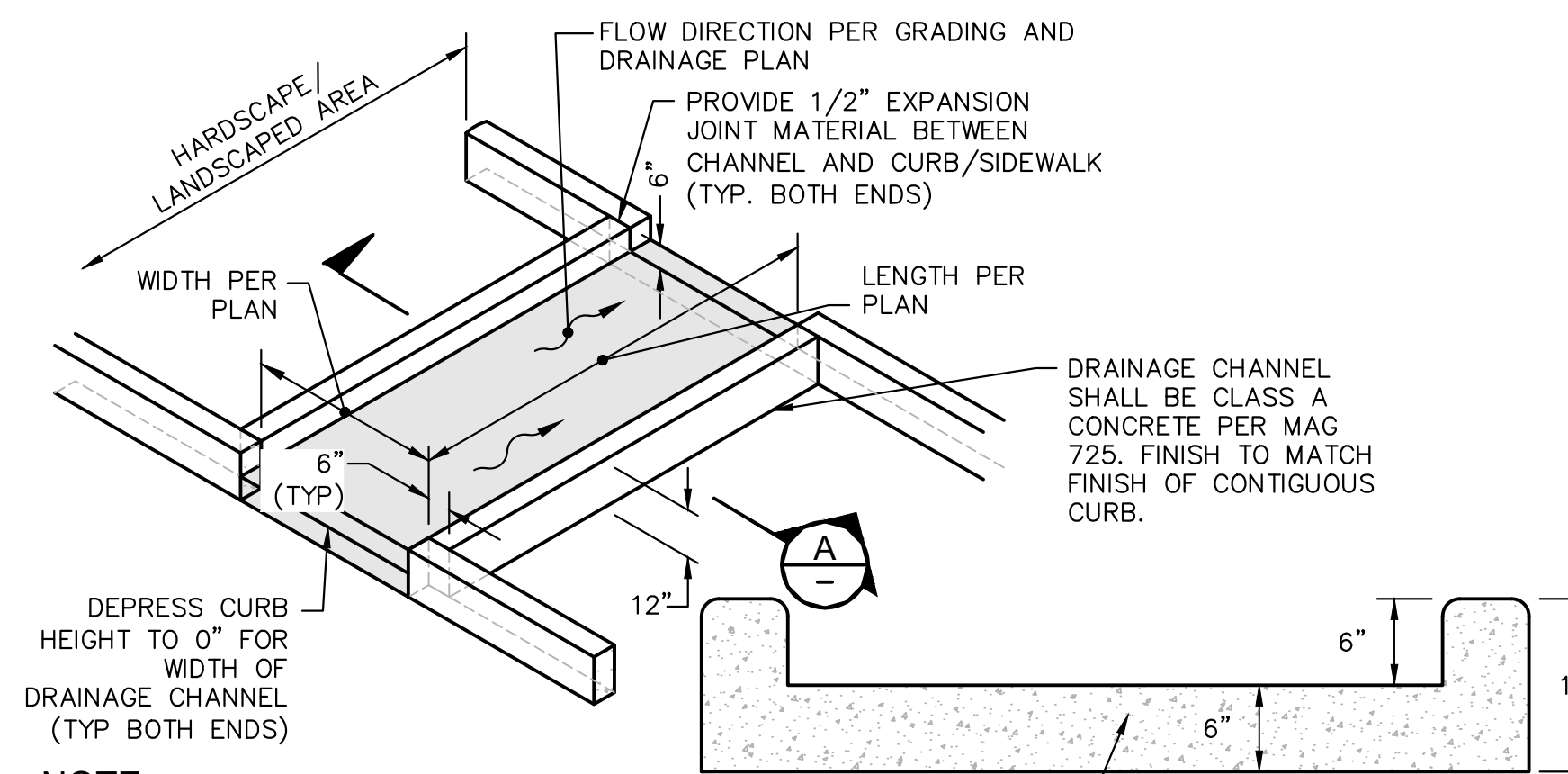
PATTERN: HERRINGBONE

NOTES:  
1. PAVER JOINTS TO BE BUTT TIGHT  
2. BROOM SWEEP JOINTS WITH POLYMERIC SAND.



**UNIT PAVERS DETAIL**

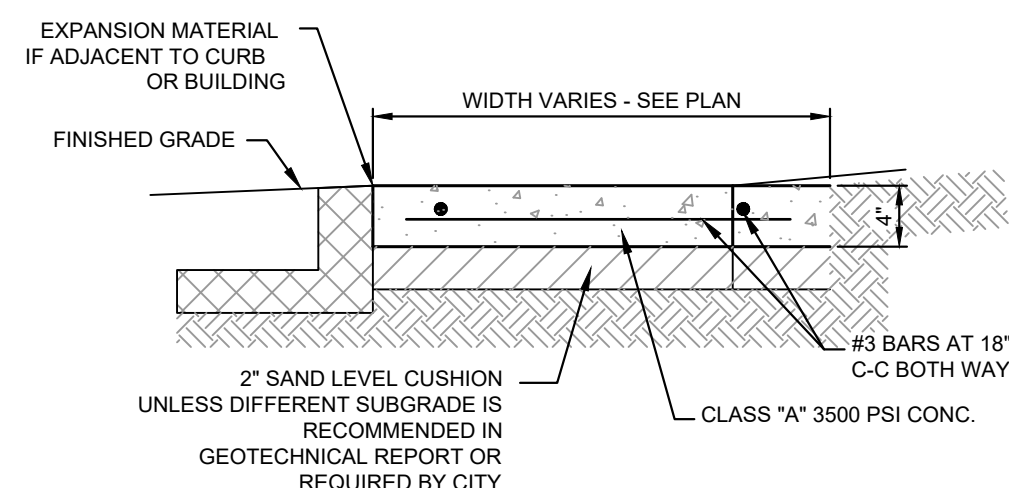
N.T.S.



NOTE:  
EARTH BACKFILL AND LANDSCAPE MATERIAL NOT SHOWN.

**CONCRETE DRAINAGE CHANNEL DETAIL**

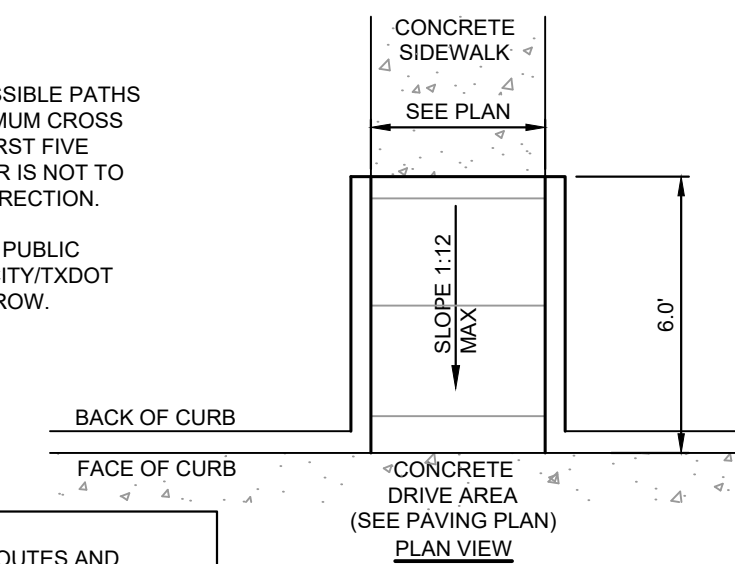
SECTION A  
N.T.S.



- NOTES:
1. PROVIDE BITUMINOUS EXPANSION MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE.
  2. SPACE CONTROL JOINT UNIFORMLY AT INTERVALS EQUAL TO THE WALK WIDTH OR AS SHOWN ON ARCHITECTURAL PLANS.
  3. PLACE PREMOULDED EXPANSION JOINT MATERIAL AROUND ALL STRUCTURES IN NEW WALK ALONGSIDE ALL ADJACENT BUILDINGS AND ABUTTING STRUCTURES TO THE NEW CONCRETE SIDEWALK.
  4. SEAL EXPANSION & CONTRACTION JOINTS WITH AN APPROVED TYPE SEALANT.
  5. SIDEWALK PAVEMENT WHERE PATIO FURNITURE IS TO BE PLACED MUST BE 4000 PSI.

NOTE:  
REFER TO GEOTECH REPORT FOR FURTHER INFORMATION.

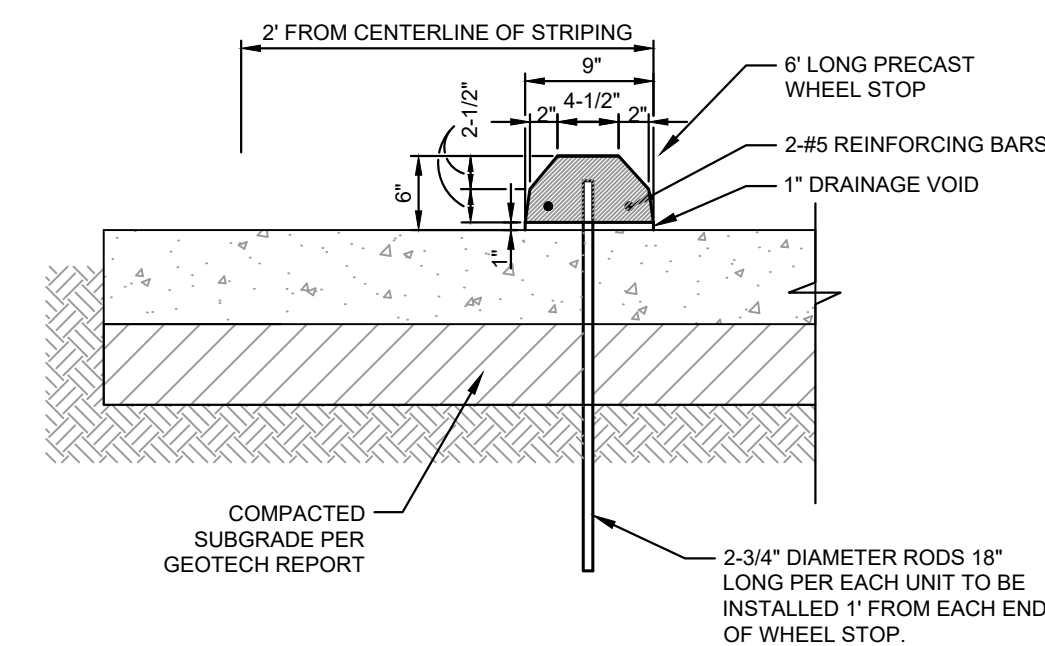
- NOTES:
1. RAMP SHALL HAVE A LIGHT BROOM SWEEP FINISH PER ADA/TAS REQUIREMENTS.
  2. TAPERED CURB AND GUTTER SECTION. MAINTAIN GUTTER FLOWLINE AS REQUIRED.
  3. RAMP SHALL BE CONSTRUCTED OF 4" THICK, 3500 PSI CONCRETE WITH 6"x6" W2.9XW2.9 WELDED WIRE REINFORCEMENT.
  4. MAXIMUM SLOPE FOR HANDICAPPED ACCESSIBLE PATHS ARE 5% WITH A MAXIMUM CROSS SLOPE OF 2%. THE FIRST FIVE FEET FROM THE DOOR IS NOT TO EXCEED 2% IN ANY DIRECTION.
  5. NOT FOR USE WITHIN PUBLIC RIGHT OF WAY. SEE CITY/TXDOT DETAILS FOR USE IN ROW.



**BARRIER FREE RAMP DETAIL**

N.T.S.

NOTE:  
ALL ACCESSIBLE ROUTES AND BARRIER FREE RAMPS MUST COMPLY WITH NEW MEXICO ACCESSIBILITY STANDARDS, LATEST EDITION.



NOTE:  
1. PRE-CAST CONCRETE OR PLASTIC WHEEL STOPS MAY BE USED WITH CANE'S CONSTRUCTION MANAGERS APPROVAL.

**PRECAST CONCRETE WHEEL STOP DETAIL**

N.T.S.



Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tele: 972-769-3100 Fax: 972-769-3101

Store:  
**Montgomery & San Mateo**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**P4E-V-AV SCHEME A**

Engineer's Information:



© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
13455 Noel Road  
Suite 700  
Dallas, TX 75240  
CONTACT: LAUREN NUFFER, P.E.  
(972) 770-1300  
LAUREN.NUFFER@KIMLEY-HORN.COM  
LIZ.WILLMOT@KIMLEY-HORN.COM

Professional of Record:



07/07/2022

Prototype : P4E-V-AV 2021- 2.0 RELEASE

Prototype Issue Date: 10.04.2021

Kitchen Issue Date: 08.02.2021

Design Bulletin Updates: --

Date Issued: Bulletin Number: --

**2ND BLDG. RESUBMITTAL**

REVISIONS:

NO.	DATE	DESCRIPTION
1	11/12/2021	80% REVIEW SET
2	11/30/2021	1ST BLDG SUBMITTAL
3	12/20/2021	1ST BLDG RESUBMITTAL
4	01/17/2022	2ND BLDG RESUBMITTAL
5		
6		
7		
8		
9		

Sheet Title:

**CONSTRUCTION DETAILS**

Date: 07.07.2022

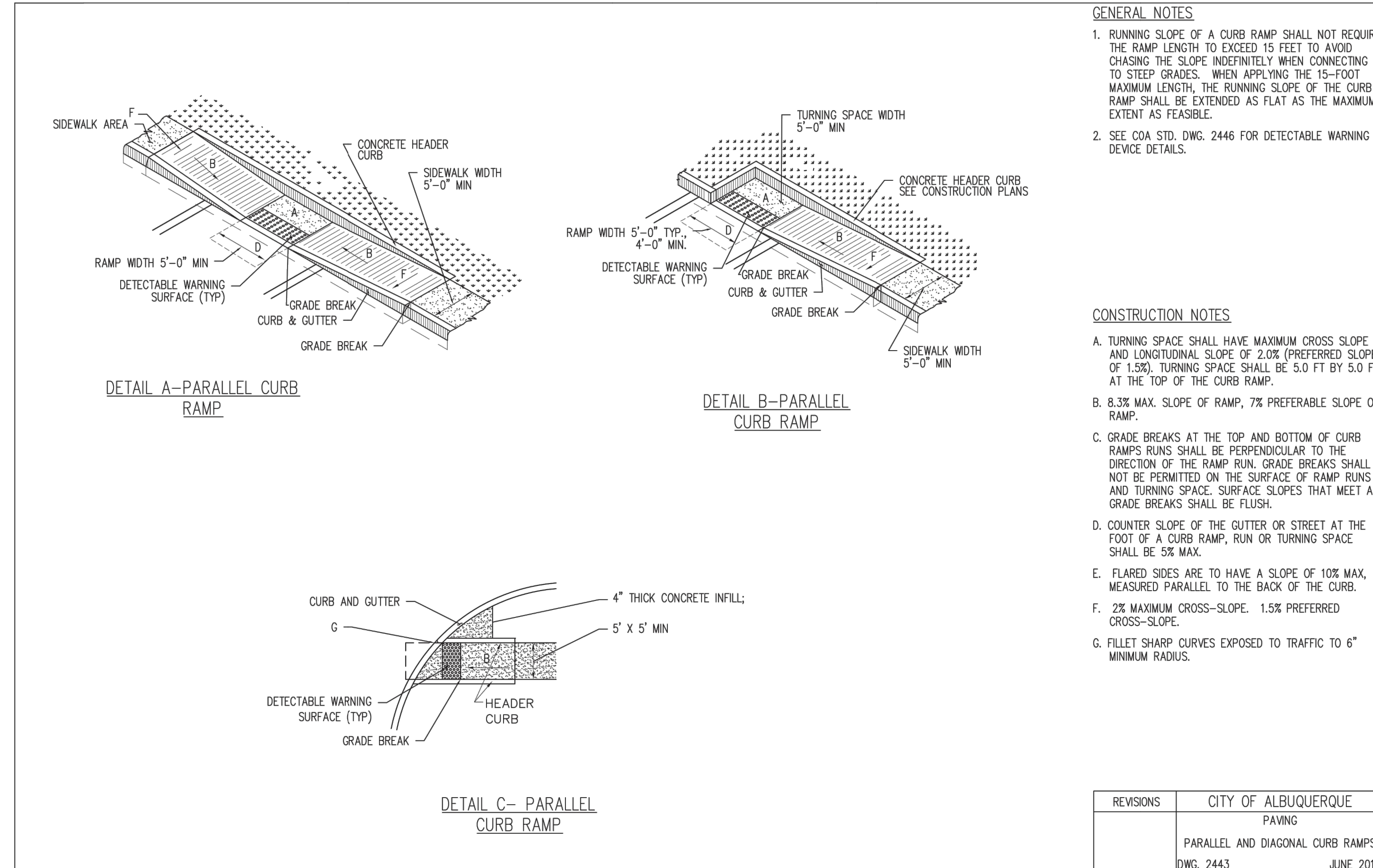
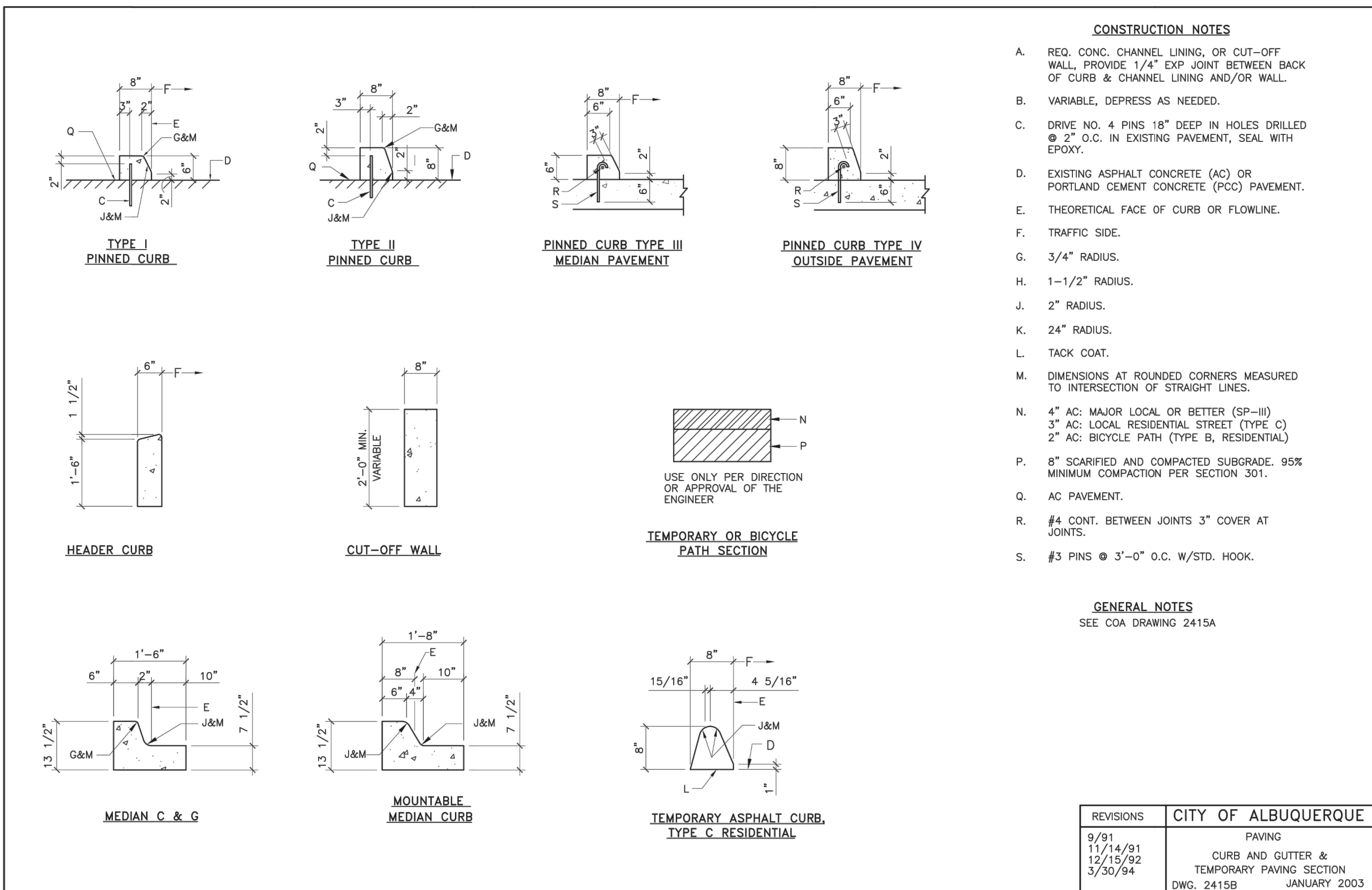
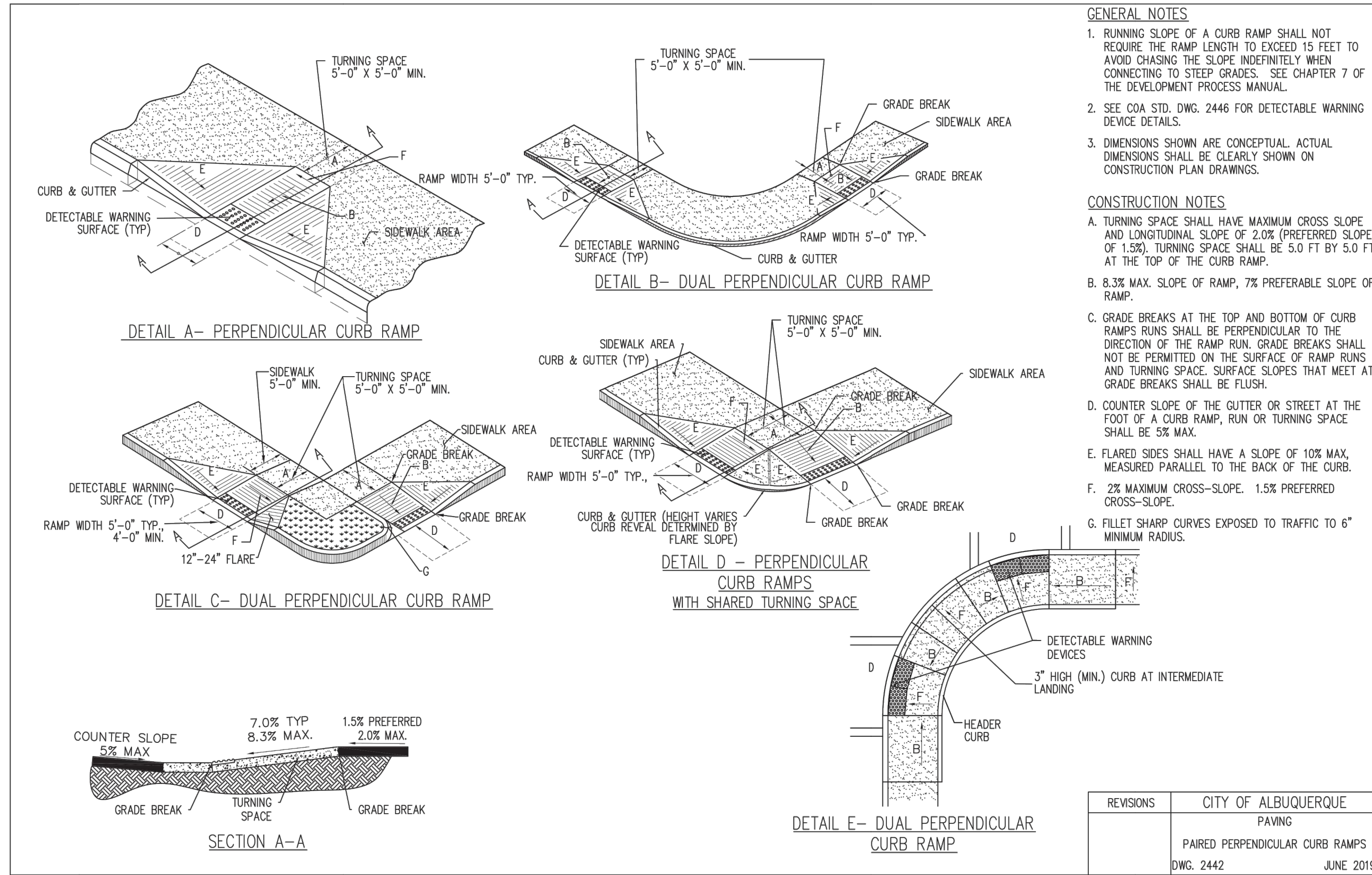
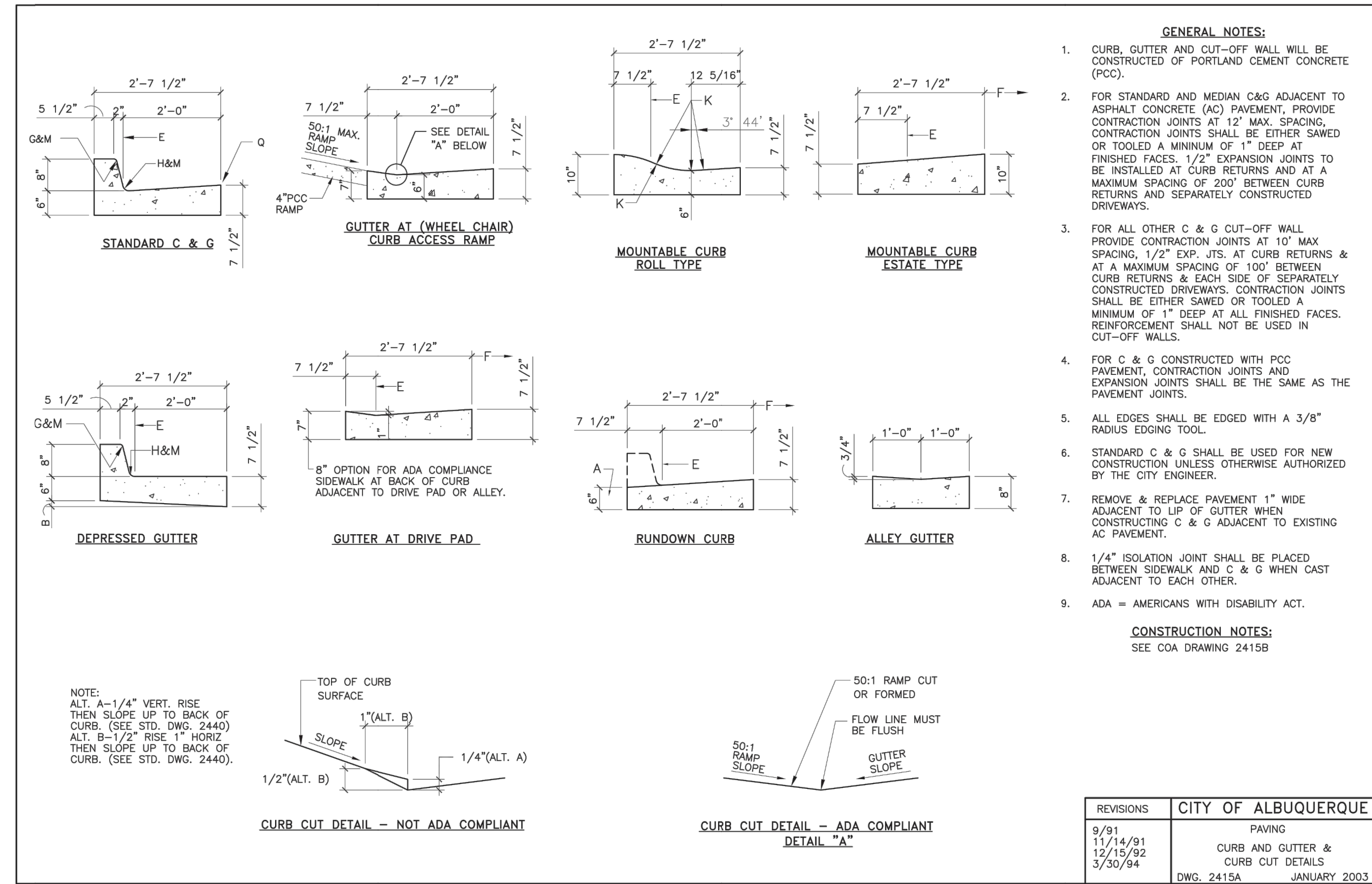
Project Number: 090042000

Drawn By: LW/LN

Sheet Number:

**C9.0**





**CAUTION!**  
CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tel: 972-769-3100 Fax: 972-769-3101

Store:  
**Montgomery & San Mateo**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**P4E-V-AV SCHEME A**

Engineer's Information:  
**Kimley»Horn**

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
13455 Noel Road  
Two Galleria Office Tower  
Suite 700  
Dallas, TX 75240  
CONTACT: LAUREN NUFFER, P.E.  
(972) 770-1300  
LAUREN.NUFFER@KIMLEY-HORN.COM  
LIZ.WILLMOT, P.E.  
LIZ.WILLMOT@KIMLEY-HORN.COM

Professional of Record:



Prototype :	P4E-V-AV 2021- 2.0 RELEASE
Prototype Issue Date:	10.04.2021
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Date Issued:	Bulletin Number:
--	--

**2ND BLDG. RESUBMITTAL**

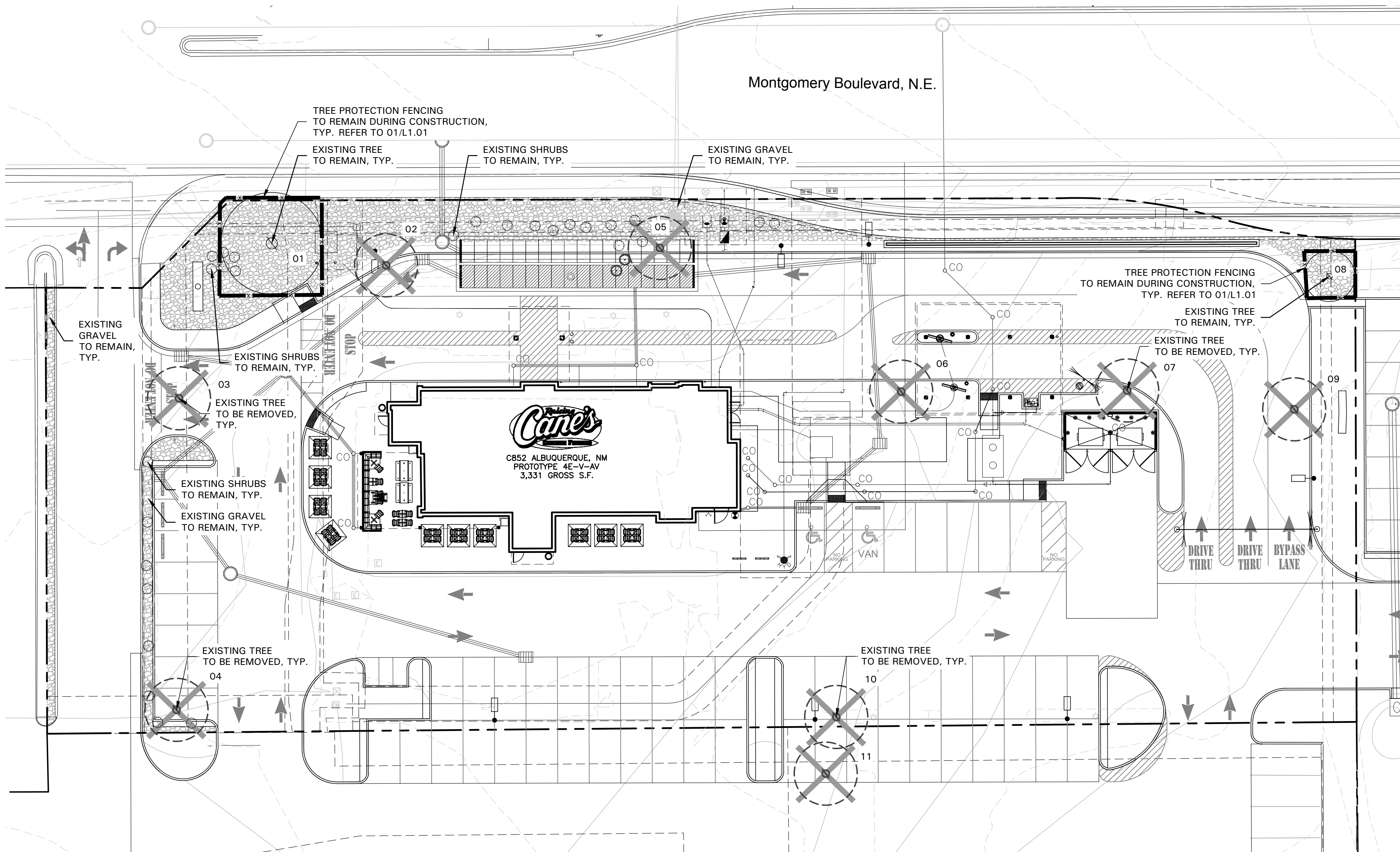
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4	01/17/2022	2ND BLDG RESUBMITTAL
5		
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9		

Sheet Title: **CITY CONSTRUCTION DETAILS**  
Date: 07.07.2022  
Project Number: 090042000  
Drawn By: LW/LN

Sheet Number:

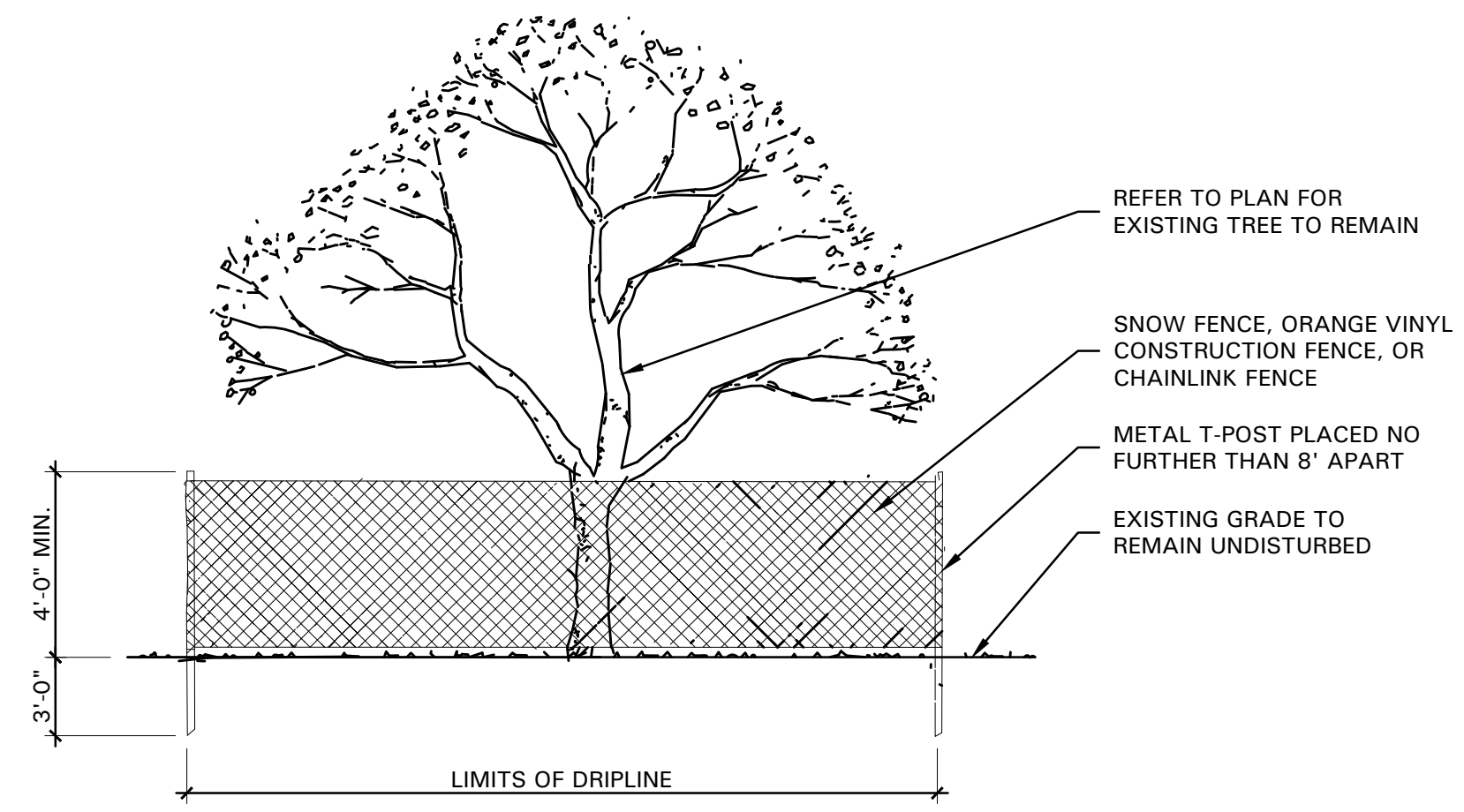
**C10.0**





TREE SURVEY FIELD DATA				
No.	Dia. (inches)	Species (common name)	Status	Remarks
1		TREE	TO REMAIN	
2		TREE	TO BE REMOVED	
3		TREE	TO BE REMOVED	
4		TREE	TO BE REMOVED	
5		TREE	TO BE REMOVED	
6		TREE	TO BE REMOVED	
7		TREE	TO REMAIN	
8		TREE	TO REMAIN	
9		TREE	TO BE REMOVED	
10		TREE	TO BE REMOVED	
11		TREE	TO BE REMOVED	

- ### TREE PRESERVATION NOTES
- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
  - IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
  - NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
  - ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
  - NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
  - NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
  - NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
  - NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
  - BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
  - IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
  - ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
  - ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
  - WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.



**01 TREE PROTECTIVE FENCING**  
NOT TO SCALE

### EXISTING TREE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L1.01
- EXISTING SHRUBS TO REMAIN
- EXISTING SHRUBS TO BE REMOVED TO 12" BELOW GRADE, TYP.



Store:  
**4800 Montgomery Blvd NE**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**P4E-V-AV SCHEME A**  
 Professional of Record: **KEN MCCRACKEN**  
 Ken McCracken,  
 Architect  
 Architecture • Program Management • Permitting  
 1101 Central Expressway South  
 Suite 100  
 Allen, TX 75013  
 CONTACT: EVERETT FIELDS  
 (469) 619-1164  
 EFIELDS@PMDGINC.COM



Prototype : P4E-V-AV 2021-2.0 RELEASE

Prototype Issue Date: 10.04.2021

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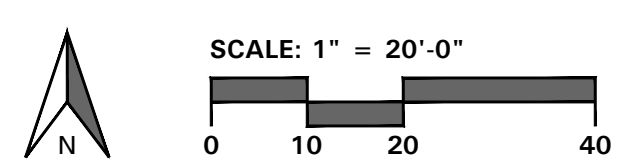
Design Bulletin Updates: --

Date Issued: -- Bulletin Number: --

### 2ND BLDG. RESUBMITTAL

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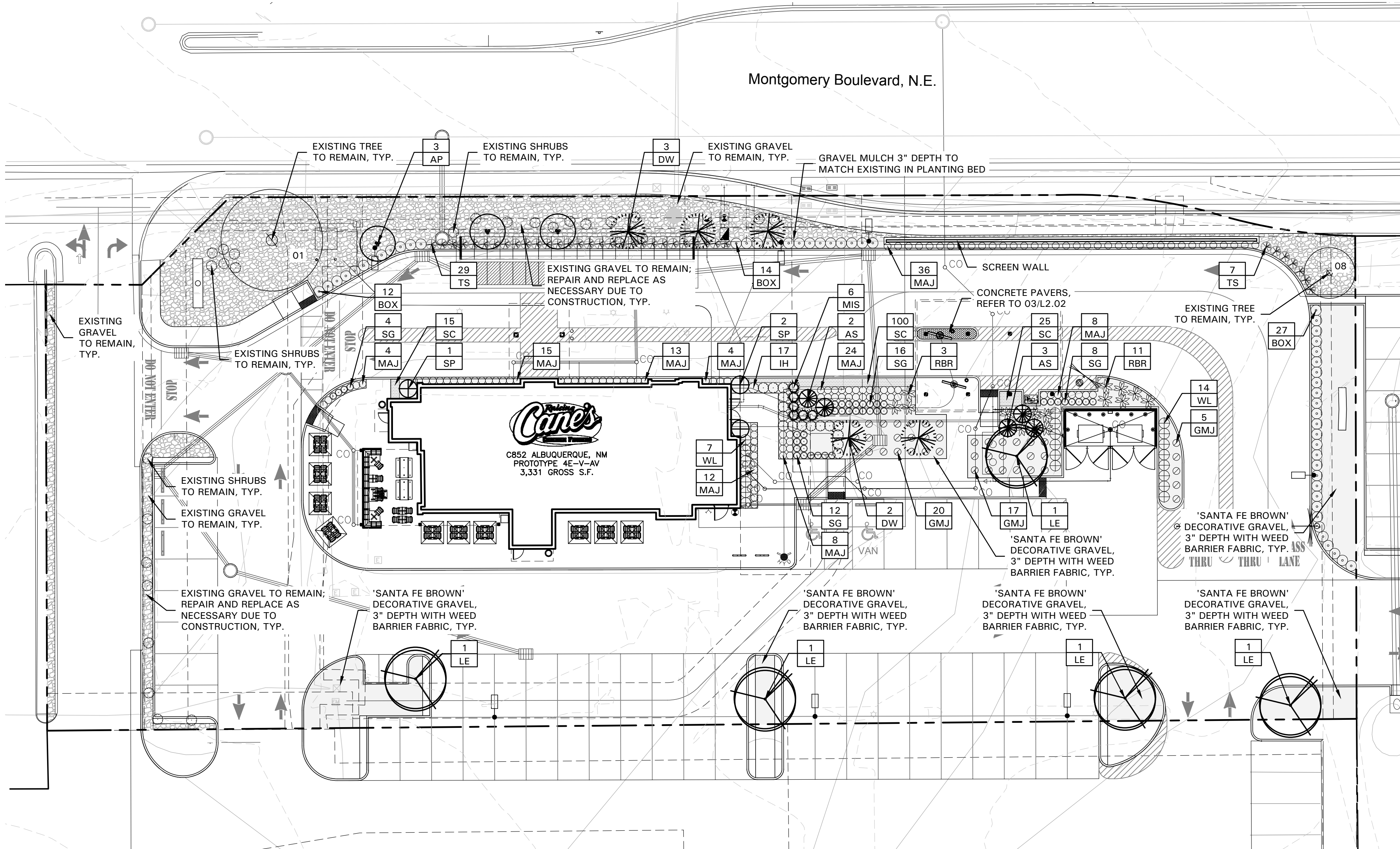
Sheet Title:  
**TREE PRESERVATION PLAN**  
 Date: 06.22.2022  
 Project Number: RAC21059.0  
 Drawn By: TM/KH



4245 North Central Expy  
 Suite 501  
 Dallas, Texas 75205  
 214.865.7192 office

# L1.01





**LANDSCAPE NOTES**

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

**MAINTENANCE NOTES**

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

**CONCRETE PAVER NOTES**

- CONTRACTOR SHALL ADHERE TO THE MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND ANY OTHER REQUIREMENTS OUTLINED BY THE MANUFACTURER FOR ALL PAVER INSTALLATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO COMMENCING ANY WORK.
- CONCRETE PAVERS SHALL BE:
  - BELGARD® LEGACY SERIES
  - MODEL: HOLLAND STONE
  - PATTERN: HERRINGBONE
  - COLOR: CHARCOAL
- CONTRACTOR SHALL SUBMIT A STANDARD COLOR SAMPLE BOARD TO THE OWNER'S AUTHORIZED REPRESENTATIVE FOR FINAL COLOR SELECTION PRIOR TO PLACING ORDER.
- THE FINAL COLOR SELECTION SHALL BE MADE BY THE OWNER'S AUTHORIZED REPRESENTATIVE ON-SITE.
- CONCRETE PAVERS AVAILABLE FROM:
  - WWW.BELGARD.COM
- THE CONTRACTOR SHALL CONSTRUCT A SAMPLE PANEL 4'-0" BY 4'-0" ON-SITE, AT NO EXPENSE TO THE OWNER, FOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.
- THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY AND ALL WORK EXECUTED BY THE CONTRACTOR WHICH DOES NOT MEET HIS/HER EXPECTATIONS AND THE MANUFACTURER'S SPECIFICATIONS.
- THE CONTRACTOR SHALL MAKE ANY MODIFICATIONS REQUIRED BY THE OWNER'S AUTHORIZED REPRESENTATIVE AT NO EXPENSE TO THE OWNER.

**LANDSCAPE TABULATIONS**

THE CITY OF ALBUQUERQUE, NEW MEXICO

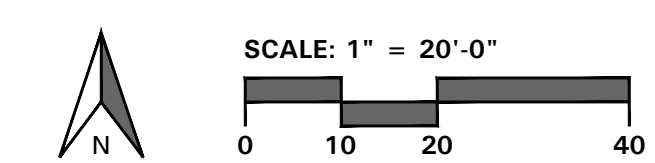
- SITE LANDSCAPE REQUIREMENTS**
- The total landscaped area required for each development shall equal not less than 15% of the net lot area.
  - Tree canopies and ground-level plants shall cover a minimum of 75% of the total landscape area.
  - Of the required vegetative coverage, a minimum of 25% shall be provided as ground-level plants.

Total Site: 54,989 s.f.	
Building Pad: 3,331 s.f.	
Net Lot Area: 51,658 s.f.	
Required	Provided
7,749 s.f. (15%)	9,282 s.f. (17%)
Total Landscape Area: 10,788 s.f.	
Required:	Provided:
8,091 s.f. (75%)	8,383 s.f. (77%)
	2,193 s.f. planting
	6,200 s.f. trees
	(2) small existing trees @ 300 s.f. = 600 s.f.
	(5) trees @ 700 s.f. = 3,500 s.f.
	(7) small trees @ 300 s.f. = 2,100 s.f.
2,022 s.f. (25% of 8,091)	2,604 s.f. (32% of 8,091)

**PLANT LIST**

SYMBOL	BOTANICAL NAME	COMMON NAME	WATER USE	QTY.	SIZE	REMARKS
<b>TREES</b>						
AP	<i>Pinus eldarica</i>	Afghan Pine	Low	3	2" cal.	B&B or container grown, 6' ht., full to base, 3' spread
DW	<i>Chilopsis linearis</i>	Desert Willow	Low to Medium	5	2" cal.	container grown, 3-5 trunk, 8' ht. min., 4' spread min.
LE	<i>Ulmus parvifolia 'Sempervirens'</i>	Lacebark Elm	Low to Medium	5	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
SP	<i>Juniperus chinensis 'Spartan'</i>	Spartan Juniper	Low	3	15 gal.	B&B or container grown, full to base, 3' spread
<b>SHRUBS/GROUND COVER</b>						
AS	<i>Picea glauca 'Conica'</i>	Dwarf Alberta Spruce	Medium to High	5	15 gal.	B&B or container grown, full to base, 3' spread
BOX	<i>Buxus microphylla 'Winter Gem'</i>	Winter Gem Boxwood	Medium	53	5 gal.	container full, 20" spread, 36" o.c.
GMJ	<i>Juniperus procumbens 'Nana'</i>	Green Mound Juniper	Low	42	5 gal.	container full, 20" spread, 24" o.c.
IH	<i>Raphiolepis indica 'Bay Breeze'</i>	Indian Hawthorne 'Bay Breeze'	Medium	17	5 gal.	container full, 20" spread, 24" o.c.
MAJ	<i>Juniperus sabina 'Mini Arcade'</i>	Mini Arcade Juniper	Low	124	5 gal.	container full, 20" spread, 24" o.c.
MIS	<i>Miscanthus sinensis 'Adagio'</i>	Miscanthus 'Adagio'	Medium	6	5 gal.	container full, 36" o.c.
RBR	<i>Rio Bravo Rainsage</i>	Rio Bravo Rainsage	Low	14	5 gal.	container full, 20" spread, 24" o.c.
SC	Seasonal Color	Seasonal Color	Medium	140	4" pots	container full, 12" o.c., selection by Owner
TS	<i>Salvia greggii 'Red'</i>	Salvia Greggii	Medium	40	5 gal.	container full, 20" spread, 24" o.c.
TS	<i>Leucophyllum frutescens 'Green Cloud'</i>	Texas Sage 'Green Cloud'	Low	36	5 gal.	container full, 20" spread, 24" o.c.
WL	<i>Ligustrum japonica</i>	Wax Leaf Ligustrum	Medium	21	5 gal.	container full, 20" spread, 36" o.c.

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.



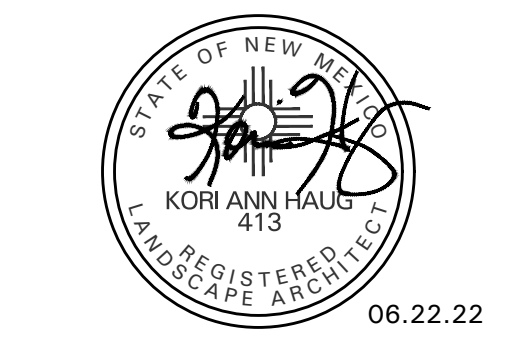
4245 North Central Expy  
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Store:  
**4800 Montgomery Blvd NE**  
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**Restaurant #RC852**  
**P4E-V-AV SCHEME A**

Professional of Record: **KEN MCCRACKEN**  
Ken McCracken,  
Architect  
Architecture • Program Management • Permitting

1101 Central Expressway South  
Suite 100  
Allen, TX 75013  
CONTACT: EVERETT FIELDS  
(469) 619-1164  
EFIELDS@PMDGINC.COM



Prototype :	P4E-V-AV 2021-2.0 RELEASE
Prototype Issue Date:	10.04.2021
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06/07/2022	CITY COMMENTS
06/22/2022	CITY COMMENTS

Sheet Title:  
**LANDSCAPE PLAN**  
Date: 06.22.2022  
Project Number: RAC21059.0  
Drawn By: TM/KH

Sheet Number:

**L2.01**



SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.
1.2 DESCRIPTION OF WORK
A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
1. Planting (trees, shrubs and grasses)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: April 14, 2014 Edition; by American National Standards Institute, Inc. (Z60.1) - plant material
B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
C. New Mexico Association of Nurserymen, Grades and Standards
D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
B. Guarantee:

- 1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.
C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
C. Selection of Plant Material:
1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
2. Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
4. Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

- do not measure from branch or root tip-to-tip.
5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
B. Delivery:
1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
6. Remove rejected plant material immediately from job site.
7. To avoid damage or stress, do not lift, move, adjust to products, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
C. Quality and size: Plant materials shall conform to the size given on the plan; and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

- specified at no additional cost to the Owner.
E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallisgrass or Nutgrass shall be rejected.
2. Physical properties as follows:
a. Clay - between 7-27 percent
b. Silt - between 15-25 percent
c. Sand - less than 52 percent
3. Organic matter shall be 3%-10% of total dry weight.
4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
C. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
D. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown unless otherwise specified on plan.
E. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
F. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 9% sulfur and 4% iron, plus micronutrients.
G. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 18" long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDGE Heavy Duty Steel.
B. Staking Material for Shade Trees: refer to details.
C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
D. Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products or approved equal.
E. River Rock: 'Colorado' or native river rock, 2" - 4" dia.
F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
B. All planting areas shall be conditioned as follows:
1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
2. All planting areas shall receive a three (3") inch layer of specified mulch.
3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
C. Grass Areas:
1. Blocks of sod shall be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
C. Position the trees and shrubs in their intended location as per plan.
D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (3/4") inch in diameter. Plants should be thoroughly moist before removing containers.
G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect if the percolation test fails.
I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from

- the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 2/3 of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of 'root scoring'.
J. Do not wrap trunks.
K. Do not over trees.
L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least three (3") inches of specified mulch.
M. All plant beds and trees to be mulched with a minimum settled thickness of three (3") inches over the entire bed or pit.
N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.

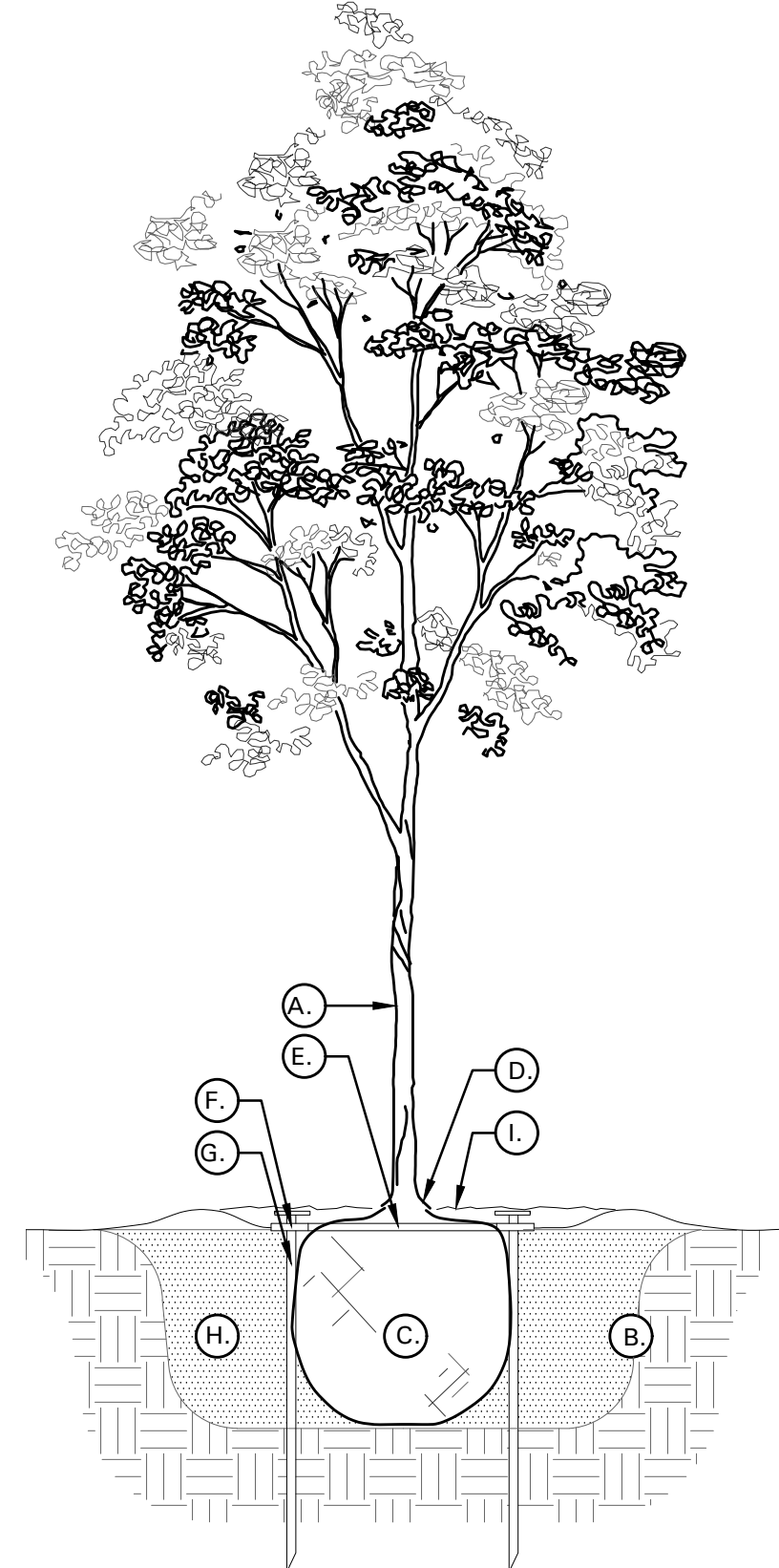
- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
2. Pruning shall be done with clean, sharp tools.
3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

- Q. Steel Curbing Installation:
1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
2. All steel curbing shall be free of kinks and abrupt bends.
3. Top of curbing shall be 1/2" maximum height above final finished grade.
4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
5. Do not install steel edging along sidewalks or curbs.
6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

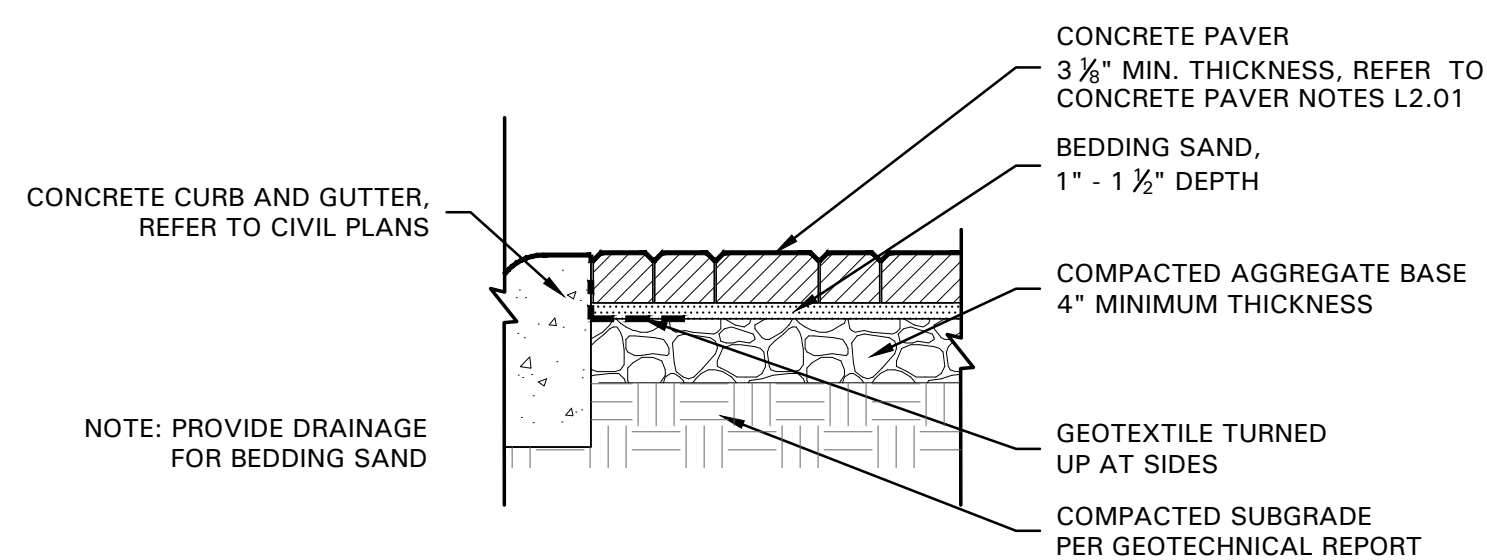
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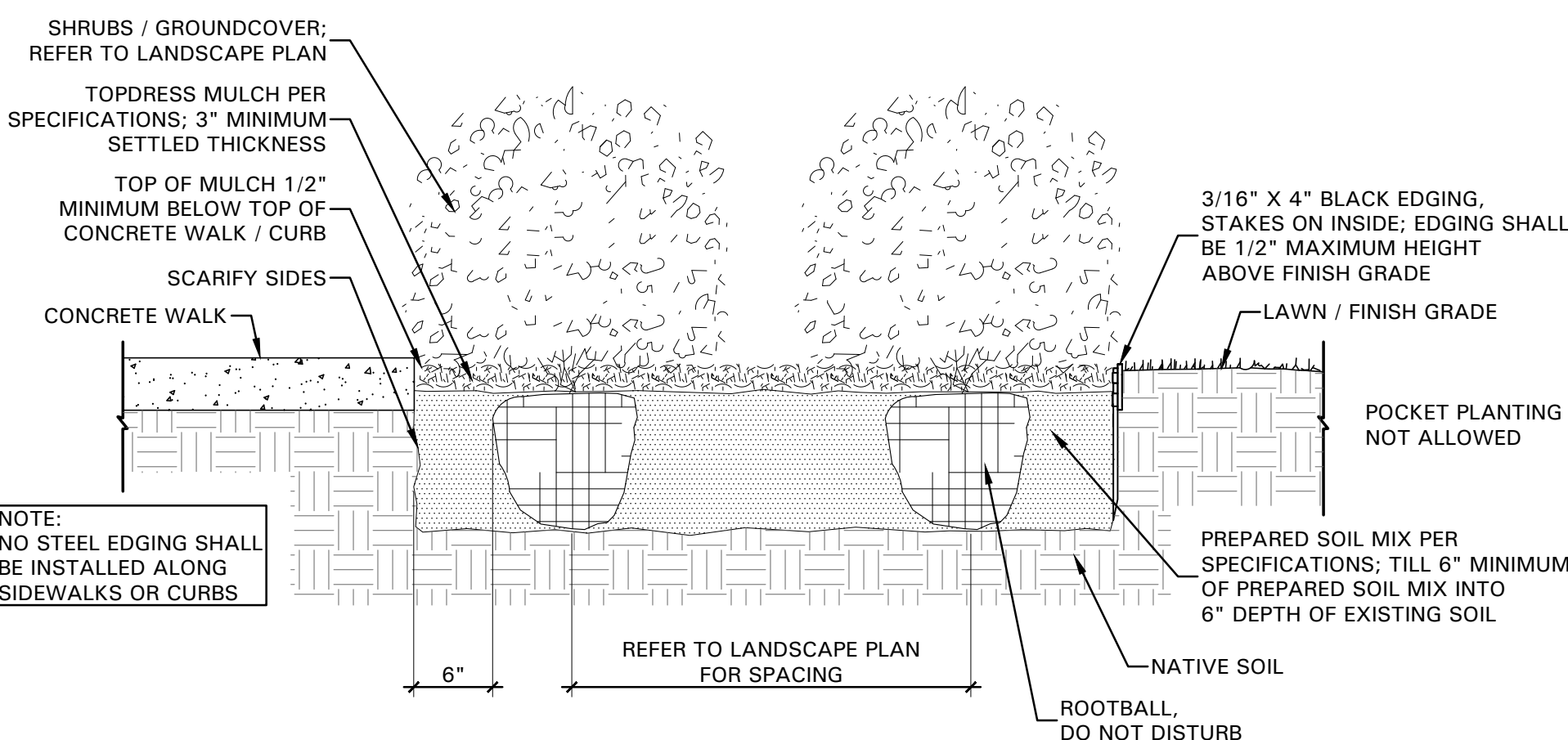
01 TREE PLANTING DETAIL NOT TO SCALE

TREE PLANTING DETAIL LEGEND AND NOTES

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
C. ROOT BALL: REMOVE TOP 1/2 BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL. TRUNK SHOULD BE IN THE CENTER OF THE RING.
F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.
G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR Mallet FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).
H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 3 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com
OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.
K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



03 CONCRETE PAVERS DETAIL NOT TO SCALE



02 SHRUB / GROUNDCOVER DETAIL NOT TO SCALE



4245 North Central Expy Suite 501 Dallas, Texas 75205 214.865.7192 office



Restaurant Support Office 6800 Bishop Road, Plano, TX 75024 Tel: 972-769-3100 Fax: 972-769-3101

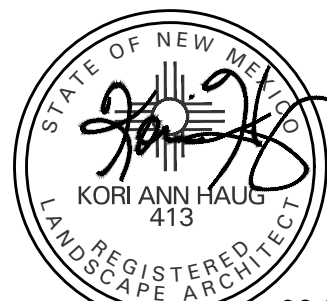
Store: 4800 Montgomery Blvd NE ALBUQUERQUE, NM 87112 Restaurant #RC852 P4E-V-AV SCHEME A

Professional of Record: KEN MCCRACKEN

Ken McCracken, Architect

Architecture • Program Management • Permitting

1101 Central Expressway South Suite 100 Allen, TX 75013 CONTACT: EVERETT FIELDS (469) 619-1164 EFIELDS@PMDGINC.COM



06.22.22

Prototype : P4E-V-AV 2021- 2.0 RELEASE

Prototype Issue Date: 10.04.2021

Kitchen Issue Date: 08.02.2021

Design Bulletin Updates: --

Date Issued: Bulletin Number: --

2ND BLDG. RESUBMITTAL

REVISIONS:

Table with 3 columns: Revision Number, Date, Description. Includes revisions for review set, 1st and 2nd bldg resubmittals, and city comments.

Sheet Title: LANDSCAPE SPECIFICATIONS

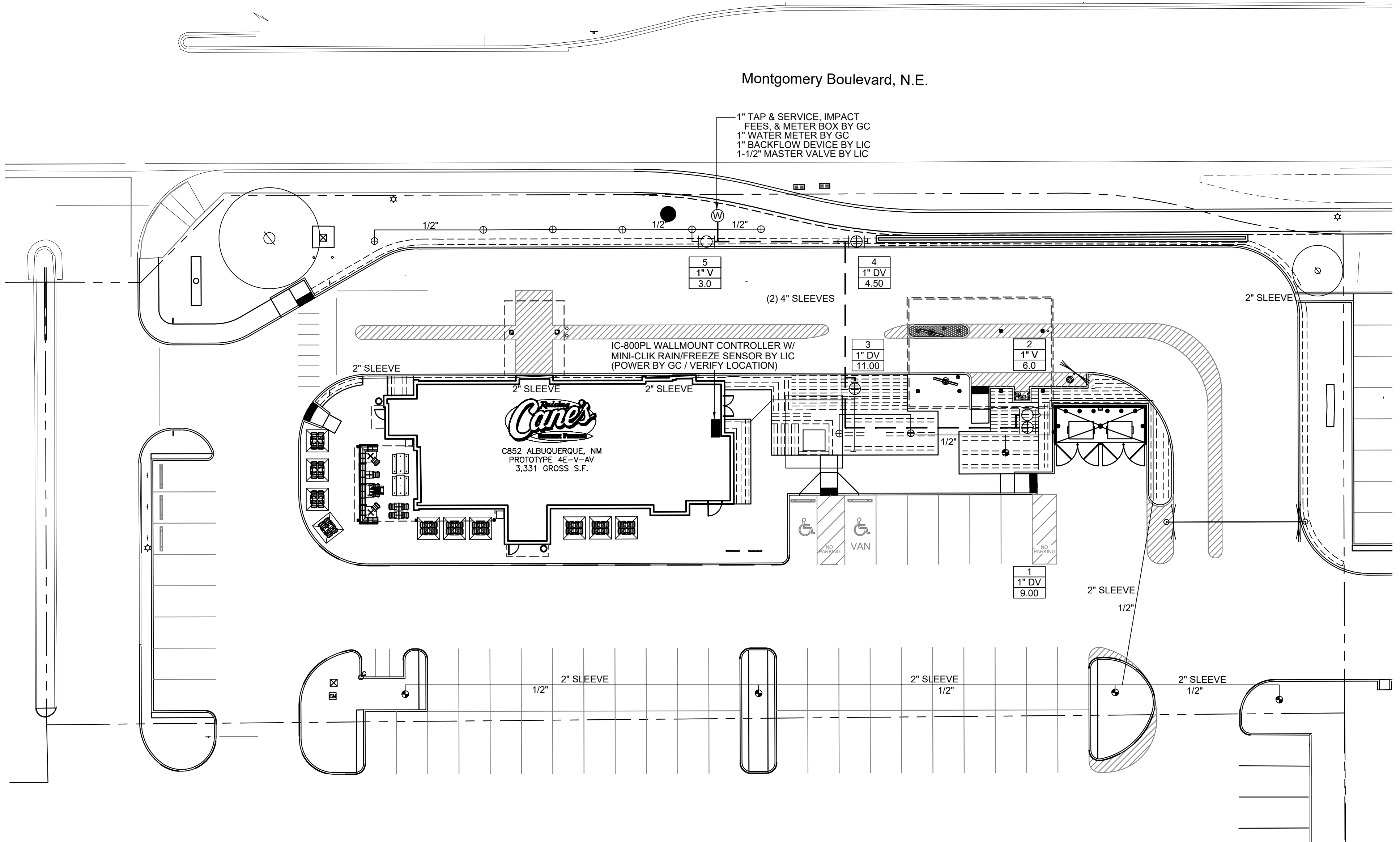
Date: 06.22.2022 Project Number: RAC21059.0

Drawn By: TM/KH

Sheet Number:

L2.02



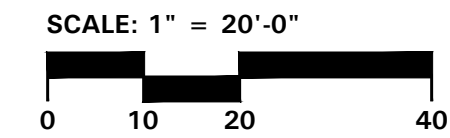


**IRRIGATION LEGEND:**

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
⊕	BUBBLER HEAD	HUNTER (30 PSI)	PCB-50 PLASTIC BUBBLER NOZZLE ON HUNTER SJ SWING JOINT
⊙	BUBBLER HEAD	HUNTER (30 PSI)	PCB-10 PLASTIC BUBBLER NOZZLE ON HUNTER SJ SWING JOINT
⊖	REMOTE CONTROL VALVE	HUNTER	PGV SERIES WITH ACCU-SYNG PRESSURE REGULATOR, REFER TO PLANS FOR SIZE
■	CONTROLLER	HUNTER	I-CORE WALLMOUNT WITH MINI-CLIK WIRELESS RAIN AND FREEZE SENSOR
—	MAINLINE PIPING	REFER TO SPEC.	1-1/2" CLASS 200 PVC
---	LATERAL PIPING	REFER TO SPEC.	3/4" & LARGER - CLASS 200 PVC 1/2" - CLASS 315 PVC
⊕	REMOTE CONTROL DRIP VALVE	HUNTER	PCZ-100 CONTROL ZONE KIT, REFER TO PLAN FOR SIZE
---	DRIP HEADER PIPING	REFER TO SPEC.	CLASS 200 PVC UNLESS OTHERWISE NOTED
⊖	PLANTING BED DRIPLINE TUBING	HUNTER	PLD-CV-06-18 AT 18" O.C. WITH PLD INSERT FITTINGS, 12 GA. GALVANIZED STAKES AND DRIP INDICATOR HEAD
⊙	WATER METER	REFER TO SPEC.	PER LOCAL BUILDING CODE
N	PVB BACKFLOW PREVENTER	FEBCO	#765, REFER TO PLAN FOR SIZE
M	MASTER VALVE	HUNTER	ICV, REFER TO PLAN FOR SIZE
□	STATION NUMBER VALVE SIZE GPM (APPROX.)		

**PIPE SIZE CHART**

FLOW/GPM:	PIPE SIZE:
0 - 4.0	1/2"
4.1 - 9.5	3/4"
9.6 - 14.5	1"
14.6 - 27.0	1-1/4"
27.1 - 35.0	1-1/2"
35.1 - 55.0	2"



**SETH HEIDMAN**  
IRRIGATION DESIGN & CONSULTING, LLC  
2009 W. Parker Rd. #140-201, Plano, Texas 75075 Tel: 972-811-5111



4245 North Central Expy  
Suite 501  
Dallas, Texas 75205  
214.865.7192 office



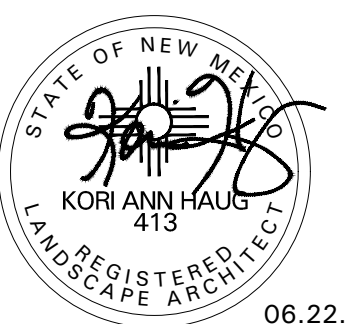
Restaurant Support Office  
6900 Bishop Road, Plano, TX 75024  
Tele: 972-765-3100 Fax: 972-769-3101

Store:  
**4800 Montgomery Blvd NE**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**P4E-V-AV SCHEME A**

Professional of Record: **KEN MCCrackEN**

**Ken McCracken,**  
Architect  
Architecture • Program Management • Permitting

1101 Central Expressway South  
Suite 100  
Allen, TX 75013  
CONTACT: EVERETT FIELDS  
(469) 619-1164  
EFIELDS@PMDGINC.COM



06.22.22

Prototype :	P4E-V-AV 2021- 2.0 RELEASE
Prototype Issue Date:	10.04.2021
Kitchen Issue Date:	08.02.2021
Design Bulletin Updates:	--
Date Issued:	Bulletin Number:
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**2ND BLDG. RESUBMITTAL**

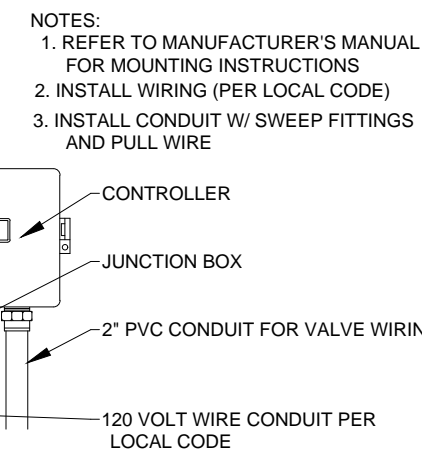
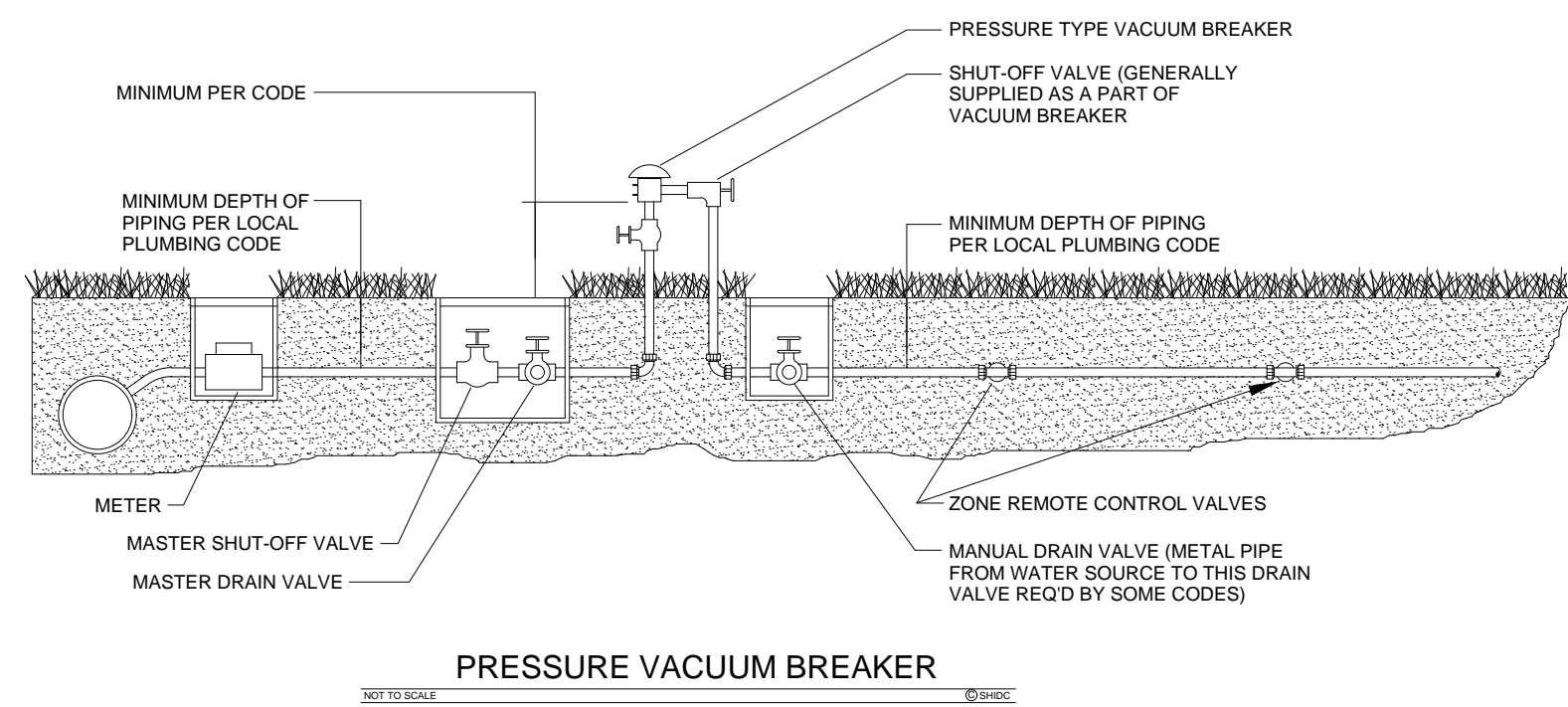
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11/30/2021	1ST BLDG SUBMITTAL	
12/27/2021	1ST BLDG RESUBMITTAL	
01/17/2022	2ND BLDG RESUBMITTAL	
06/07/2022	CITY COMMENTS	
06/22/2022	CITY COMMENTS	
5		
6		
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Sheet Title:  
**IRRIGATION PLAN**  
Date: 06.22.2022  
Project Number: RAC21059.0  
Drawn By: SAH

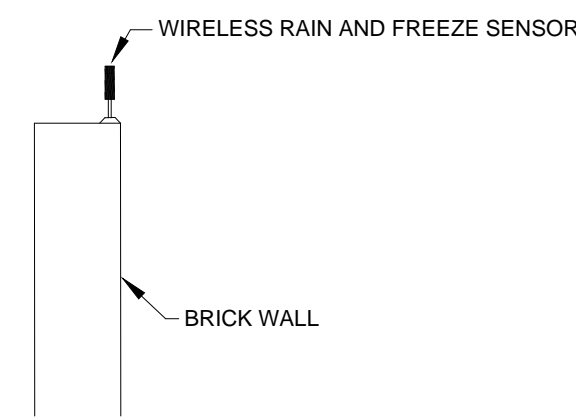
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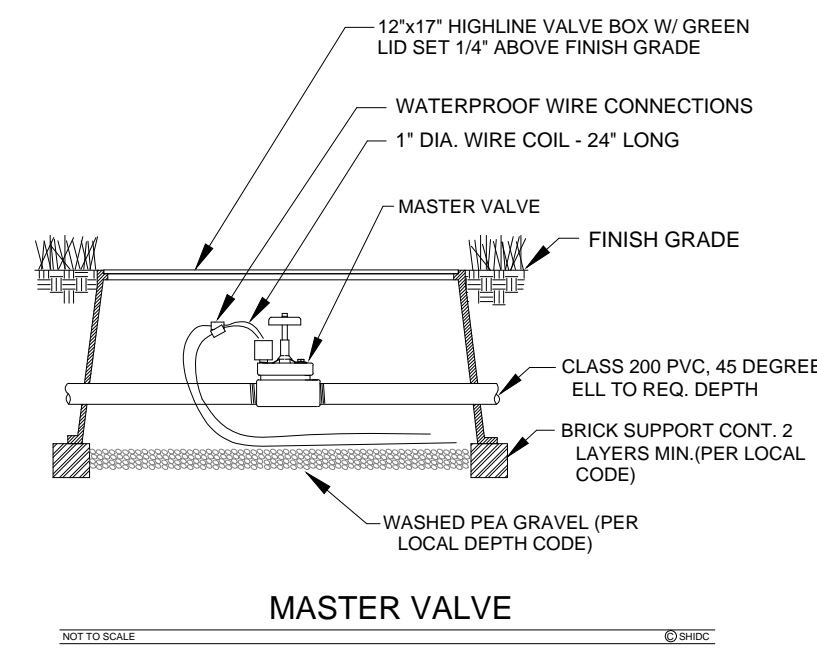




WALLMOUNT CONTROLLER

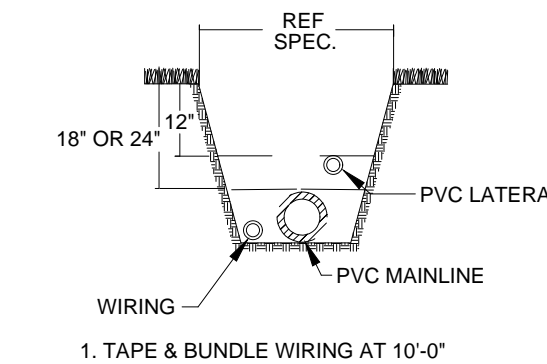


WALLMOUNT SENSOR

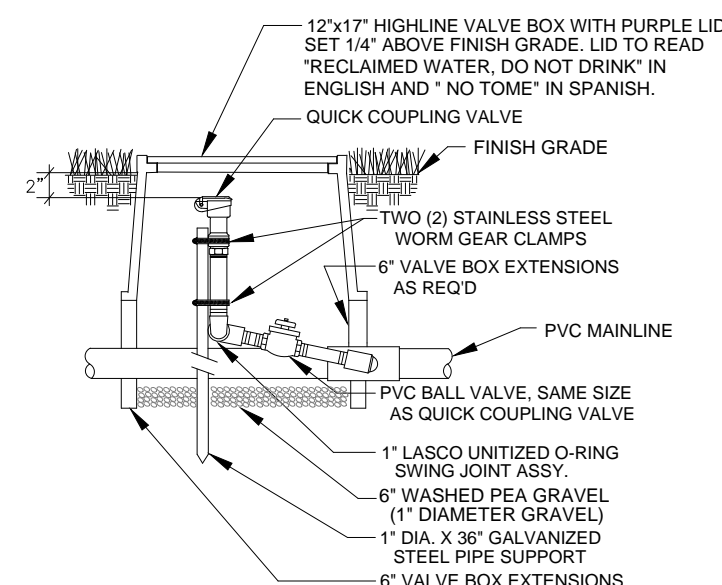


MASTER VALVE

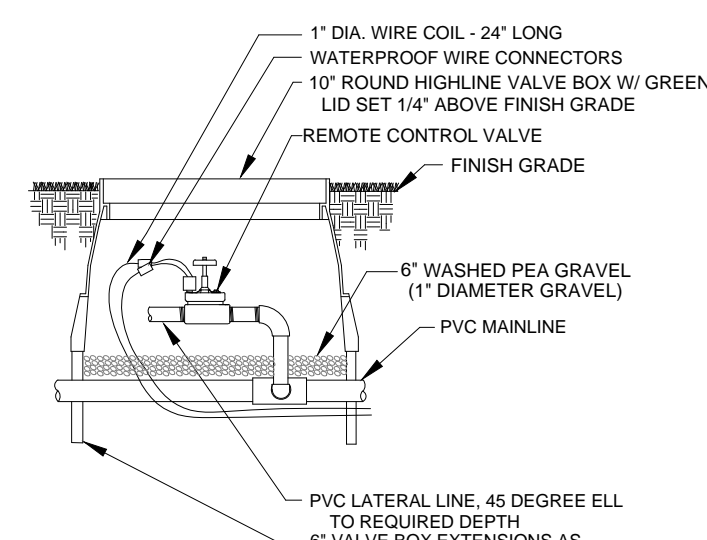
MAINLINE, LATERAL, AND WIRING



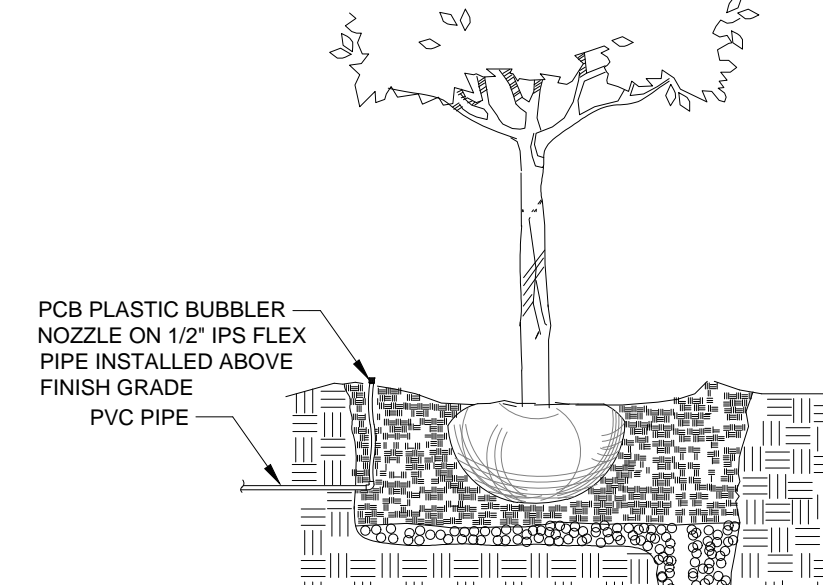
TRENCHING DETAIL



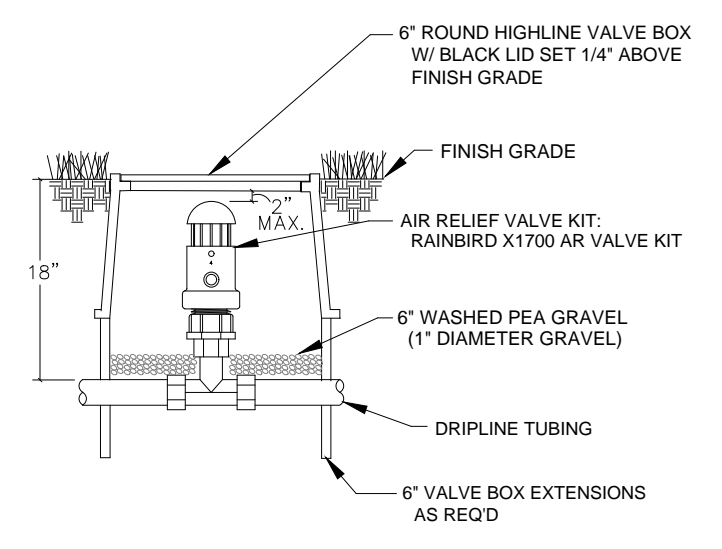
QUICK COUPLING VALVE W/ BALL VALVE



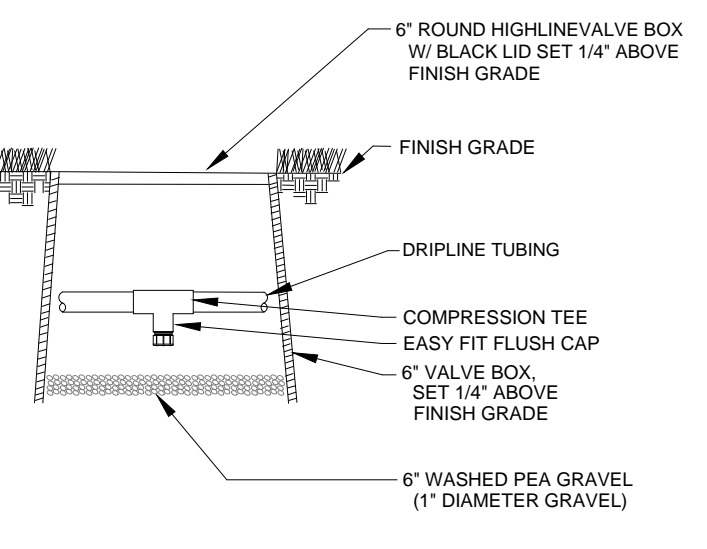
REMOTE CONTROL VALVE



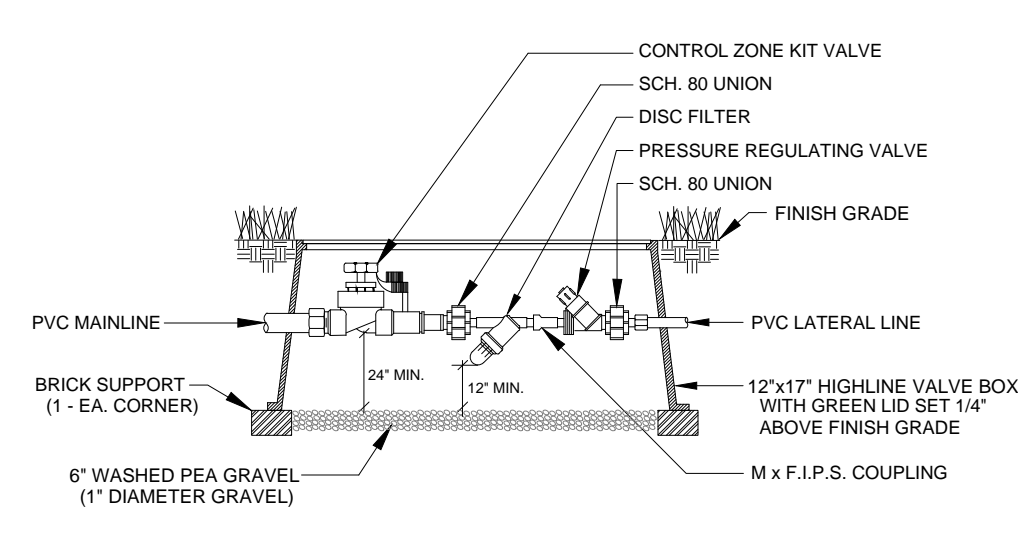
TREE BUBBLER



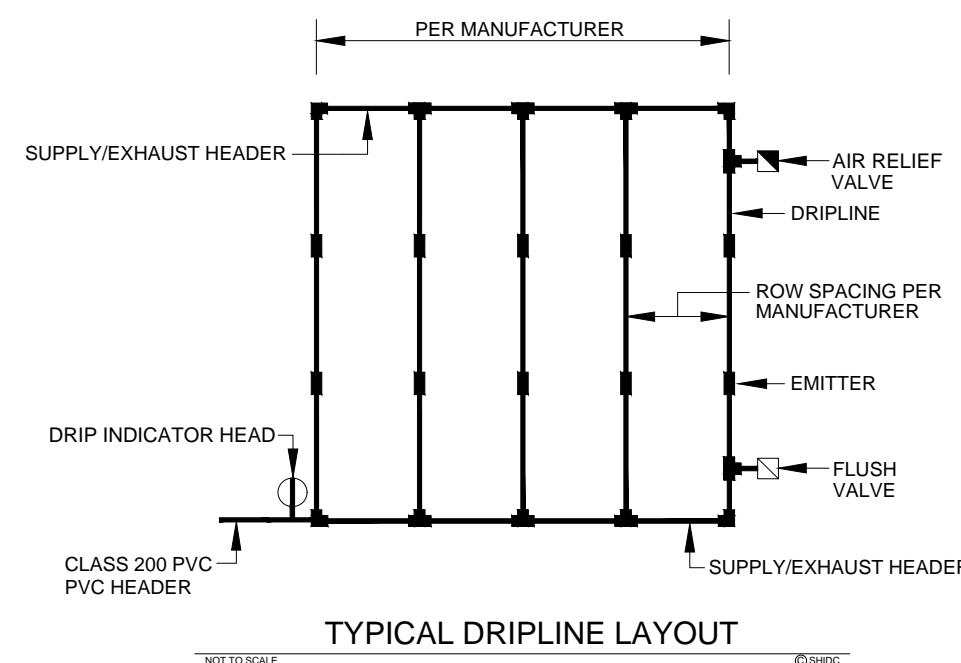
AIR RELIEF VALVE



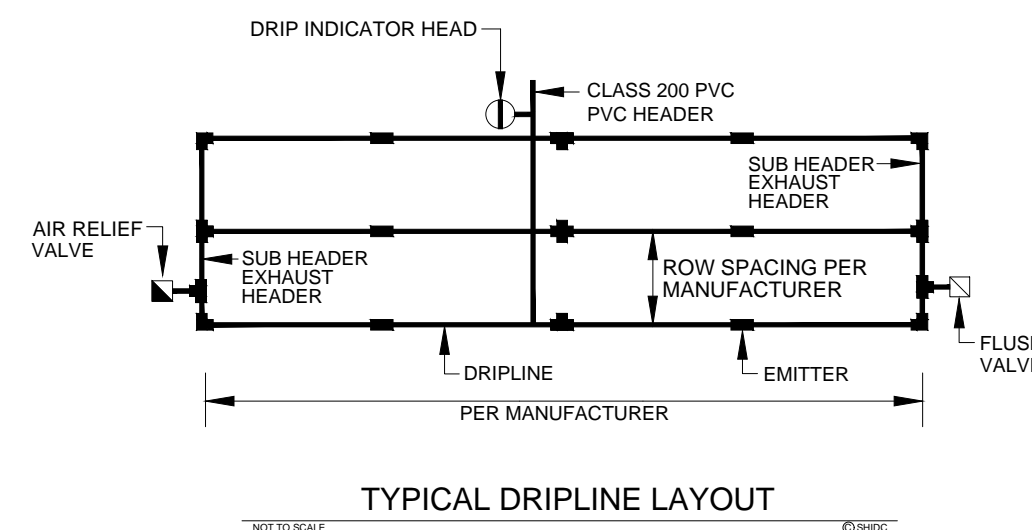
AUTOMATIC FLUSH VALVE



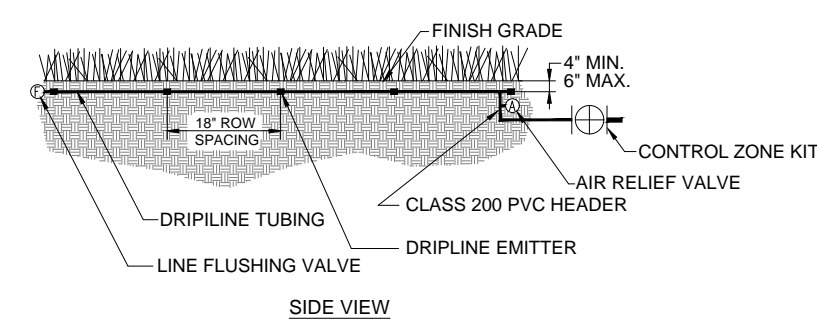
REMOTE CONTROL DRIP ZONE KIT



TYPICAL DRIPLINE LAYOUT



TYPICAL DRIPLINE LAYOUT



TYPICAL SUBSURFACE DRIPLINE LAYOUT

NOTES:

- ALL 24 VOLT LEAD AND COMMON VALVE WIRING SHALL BE A MINIMUM OF UF-14 GA. SINGLE CONDUCTOR. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR PROPER WIRE SIZE. WIRE SPLICES SHALL BE 3M-DBY PERMANENT AND WATERPROOF PER THE SPECIFICATIONS.
- COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LANDSCAPE CONTRACTOR TO ENSURE ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
- PIPING AND VALVES IN PAVING SHOWN FOR CLARITY, INSTALL IN ADJACENT PLANTING BED OR LAWN AREA.
- LATERAL PIPING SHALL HAVE A MINIMUM OF 12" OF COVER. MAINLINE AND PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18" OF COVER. ALL FITTINGS TO BE SCHEDULE 40 PVC. USE WELD-ON #705 SOLVENT AND #P-68 PRIMER FOR PVC CONNECTIONS PER THE SPECIFICATIONS.
- SIZE ALL LATERAL PIPING PER MANUFACTURER'S RECOMMENDATIONS OF NOT EXCEEDING 5 FPS. REFERENCE PIPE SIZE CHART.
- CONNECT TREE BUBBLER AND DRIP INDICATOR HEADS TO LATERAL PIPING WITH HUNTER 1/2" SJ SWING JOINT.
- INSTALL QUICK COUPLING VALVES IN TWELVE BY SEVENTEEN (12"x17") INCH HIGHLINE VALVE BOX. CONNECT QUICK COUPLING VALVES TO MAINLINE PIPE WITH HUNTER HSJ SWING JOINT. SUPPLY OWNER WITH ONE (1) COUPLER KEY WITH SWIVEL HOSE BIBB EACH. VALVES TO BE INSTALLED SO THAT TOP OF QUICK COUPLER IS 2" BELOW BOTTOM OF VALVE BOX TOP. PURPLE LID READS "NON-POTABLE, NOT SAFE FOR DRINKING" IN ENGLISH AND SPANISH. INSTALL EVERY 150'-0" ON CENTER ALONG ENTIRE LENGTH OF MAINLINE.
- PERFORM ELECTRICAL WORK IN ACCORDANCE WITH LOCAL BUILDING CODE. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX AND HARDWIRED WITHIN FIVE (5) FEET OF CONTROLLER LOCATION BY GENERAL CONTRACTOR.
- INSTALL REMOTE CONTROL VALVES AND WIRE SPLICES IN TEN (10") INCH HIGHLINE VALVE BOXES.
- INSTALL SLEEVES UNDER ALL HARDSCAPE SURFACES SUCH AS ROADS, DRIVES, WALKS, ETC. WHETHER SHOWN OR NOT. SLEEVES SHALL BE CLASS 200 PVC, SIZED AS NOTED ON PLANS AND INSTALLED BY IRRIGATION CONTRACTOR.
- ADJUST NOZZLES FOR SITUATIONS THAT REQUIRE LESS THAN 90 DEGREE RADIUS SPRAY. THIS MAY REQUIRE ADJUSTABLE NOZZLES. NO OVERSPRAY ALLOWED ON ANY HARDSCAPE SURFACES.
- DESIGN PRESSURE IS 56.0 PSI. STATIC PRESSURE IS 65 PSI. TEN DAYS PRIOR TO START OF CONSTRUCTION, VERIFY STATIC PRESSURE. IF STATIC PRESSURE IS LESS THAN STATED DO NOT START WORK UNTIL NOTIFIED TO PROCEED.
- MINIMUM DISTANCE BETWEEN MAIN LINE AND LATERAL LINE FITTINGS (EXCEPT FOR REDUCER BUSHINGS) TO BE EIGHTEEN (18") INCHES AND MINIMUM HORIZONTAL DISTANCE OF TWENTY-FOUR (24") INCHES BETWEEN ANY VALVES THAT ARE INSTALLED SIDE BY SIDE.
- INSTALL REMOTE CONTROL DRIP ZONE KITS IN TWELVE BY SEVENTEEN (12"x17") INCH HIGHLINE VALVE BOXES.
- INSTALL DRIPLINE MINIMUM OF 2" AND A MAXIMUM OF 4" FROM HARDSCAPE SURFACES. STAKE DRIPLINE AND RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE BEFORE INSTALLATION. DO NOT EXCEED MANUFACTURER'S RECOMMENDATIONS OF 5'-0" PS IN DRIPLINE.
- PROVIDE AND INSTALL DISTRIBUTION TUBING, STAKES, EMITTERS, TRANSFER FITTINGS, DIFFUSER BUG CAP, CONTROL ZONE KITS, ETC. NECESSARY FOR PROPER INSTALLATION OF THE BEDS. ALL PVC HEADER PIPING TO BE CLASS 200 PVC SOLVENT WELD PIPE. INSERT ALL HUNTER PLD BARBED FITTINGS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL ONE DRIP INDICATOR HEAD FOR EACH DRIP ZONE. INDICATOR HEAD TO BE A HUNTER ECO INDICATOR HEAD.
- AIR/VACUUM RELIEF VALVE TO BE HUNTER PLD-ARV INSTALLED IN A SIX-INCH (6") HIGHLINE VALVE BOX WITH 6" OF GRAVEL SUMP. AUTOMATIC FLUSH VALVE TO BE HUNTER AFV INSTALLED IN A SIX-INCH (6") HIGHLINE VALVE BOX WITH 6" OF GRAVEL SUMP.
- ALL HUNTER PLD-CV DRIPLINE AND DISTRIBUTION TUBING TO BE INSTALLED BELOW FINISH GRADE APPROXIMATELY 4" TO 6" PER MANUFACTURER'S RECOMMENDATIONS. ALL DRIPLINE TO BE INSTALLED MINIMUM OF 1'-0" AND MAXIMUM OF 1'-2" ROW SPACING UNLESS INSTRUCTED OTHERWISE. VERIFY THE EXACT EMITTER FLOW, EMITTER SPACING, AND ROW SPACING WITH MANUFACTURER PRIOR TO INSTALLING TO PROVIDE PROPER PRECIPITATION RATE BASED ON PLANT MATERIAL AND SOIL TYPE. TUBING TO BE STAKED WITH 12 GA. GALVANIZED TIE DOWNS. INSTALL STAKES EVERY 3'-0" ALONG LENGTH OF TUBING AND A MINIMUM OF 24" FROM ANY FITTINGS.
- INCLUDE THE FOLLOWING ALLOWANCES FOR PROVIDING AND INSTALLING AIR RELIEF VALVES AND FLUSH VALVES FOR THE DRIP SYSTEM. EXACT QUANTITY AND LOCATION OF THESE DEVICES WILL BE DETERMINED AT THE TIME OF INSTALLATION. IN GENERAL, ALL AIR RELIEF VALVES WILL BE INSTALLED AT THE HIGH POINTS AND FLUSH VALVES WILL BE INSTALLED AT THE LOW POINTS OF EXHAUST HEADER. ALLOW FOR APPROXIMATELY ONE (1) AIR RELIEF VALVE AND APPROXIMATELY ONE (1) FLUSH VALVE FOR EACH DRIP ZONE KIT.
- WHERE POSSIBLE LOCATE ALL MAINLINES, VALVES, OR CONTROL WIRES SHALL BE LOCATED AND INSTALLED OUTSIDE RIGHT-OF-WAY.
- ALL STATE OF NEW MEXICO LAWS/RULES AND ALL LOCAL CODES/ORDINANCES ARE MADE PART OF THESE PLANS AND SPECIFICATIONS WHETHER SHOWN OR NOT. THESE LAWS AND ORDINANCES WILL SUPERCEDE THE PLANS, DETAILS, AND/OR SPECIFICATIONS FOR THIS PROJECT. CONTRACTOR IS CAUTIONED THAT THEY ARE TO INCLUDE ANY AND ALL COST NECESSARY TO MEET OR EXCEED THE LAWS OF THE STATE OF NEW MEXICO OR LOCAL CODES CONCERNING LANDSCAPE IRRIGATION.



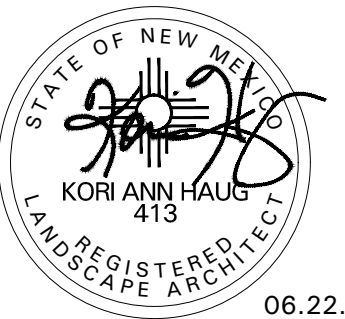
Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tel: 972-765-3100 Fax: 972-769-3101

Store:  
**4800 Montgomery Blvd NE**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**P4E-V-AV SCHEME A**

Professional of Record: KEN MCCRACKEN

Ken McCracken,  
Architect  
Architecture • Program Management • Permitting

1101 Central Expressway South  
Suite 100  
Allen, TX 75013  
CONTACT: EVERETT FIELDS  
(469) 619-1164  
EFIELDS@PMDGINC.COM



06.22.22

Prototype : P4E-V-AV 2021 - 2.0 RELEASE

Prototype Issue Date: 10.04.2021

Kitchen Issue Date: 08.02.2021

Design Bulletin Updates: --

Date Issued: Bulletin Number: --

**2ND BLDG. RESUBMITTAL**

REVISIONS:

NO.	DATE	DESCRIPTION
	11/12/2021	80% REVIEW SET
	11/30/2021	1ST BLDG SUBMITTAL
1	12/27/2021	1ST BLDG RESUBMITTAL
2	01/17/2022	2ND BLDG RESUBMITTAL
3	06/07/2022	CITY COMMENTS
4	06/22/2022	CITY COMMENTS
5		
6		
7		
8		
9		

Sheet Title:

**IRRIGATION SPECIFICATIONS**

Date: 06.22.2022

Project Number: RAC21059.0

Drawn By: SAH

Sheet Number:



4245 North Central Expy  
Suite 501  
Dallas, Texas 75205  
214.865.7192 office

**L3.02**





Restaurant Support Office  
6900 Bishop Road, Plano, TX 75024  
Tel: 972-765-3100 Fax: 972-769-3101

Store:  
**4800 Montgomery Blvd NE  
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**P4E-V-AV SCHEME A**

Professional of Record: KEN MCCRACKEN

Ken McCracken,  
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EFIELDS@PMDGINC.COM



Prototype : P4E-V-AV 2021- 2.0 RELEASE

Prototype Issue Date: 10.04.2021

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Design Bulletin Updates: --

Date Issued: Bulletin Number: --

**DRB SUBMITTAL**

**REVISIONS:**

1	11/12/2021	80% REVIEW SET
1	11/30/2021	1ST BLDG SUBMITTAL
1	12/27/2021	1ST BLDG RESUBMITTAL
2	01/17/2022	2ND BLDG RESUBMITTAL
3	05/03/2022	DRB SUBMITTAL
4		
5		
6		
7		
8		
9		

Sheet Title:

**PHOTOMETRIC  
SITE PLAN**

Date: 07.12.2022

Project Number: RAC21059.0

Drawn By: LL/JM

Sheet Number:

**POLE LUMINAIRE LOCATIONS**

No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	Y1	1538842	1502974	25	25	90	0	1538842	1502974	0
1	Y2	1539096	1502935	25	25	0	0	1539096	1502935	0
2	Y2	1539024	1502935	25	25	0	0	1539024	1502935	0
3	Y2	1539016	1503060	25	25	180	0	1539016	1503060	0
1	Y3	1539161	1502997	25	25	270	0	1539161	1502997	0
2	Y3	1538898	1503058	25	25	180	0	1538898	1503058	0
3	Y3	1538933	1502935	25	25	0	0	1538933	1502935	0

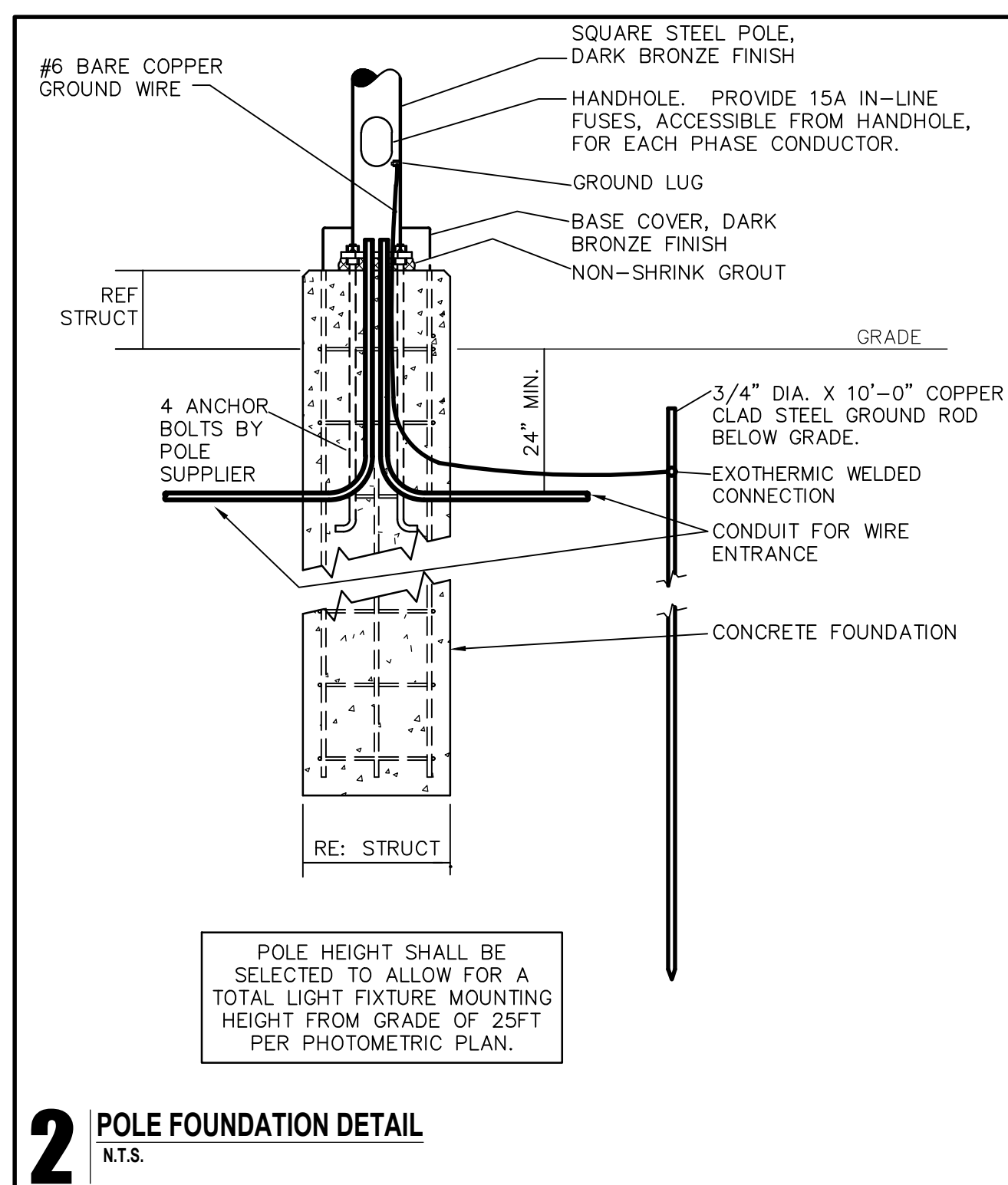
**LIGHTING STATISTICS**

Description	Avg	Max	Min	Max/Min	Avg/Min
Landscaping/Parking	5.2 fc	80.1 fc	0.0 fc	N/A	N/A
Property Line	0.4 fc	1.2 fc	0.0 fc	N/A	N/A

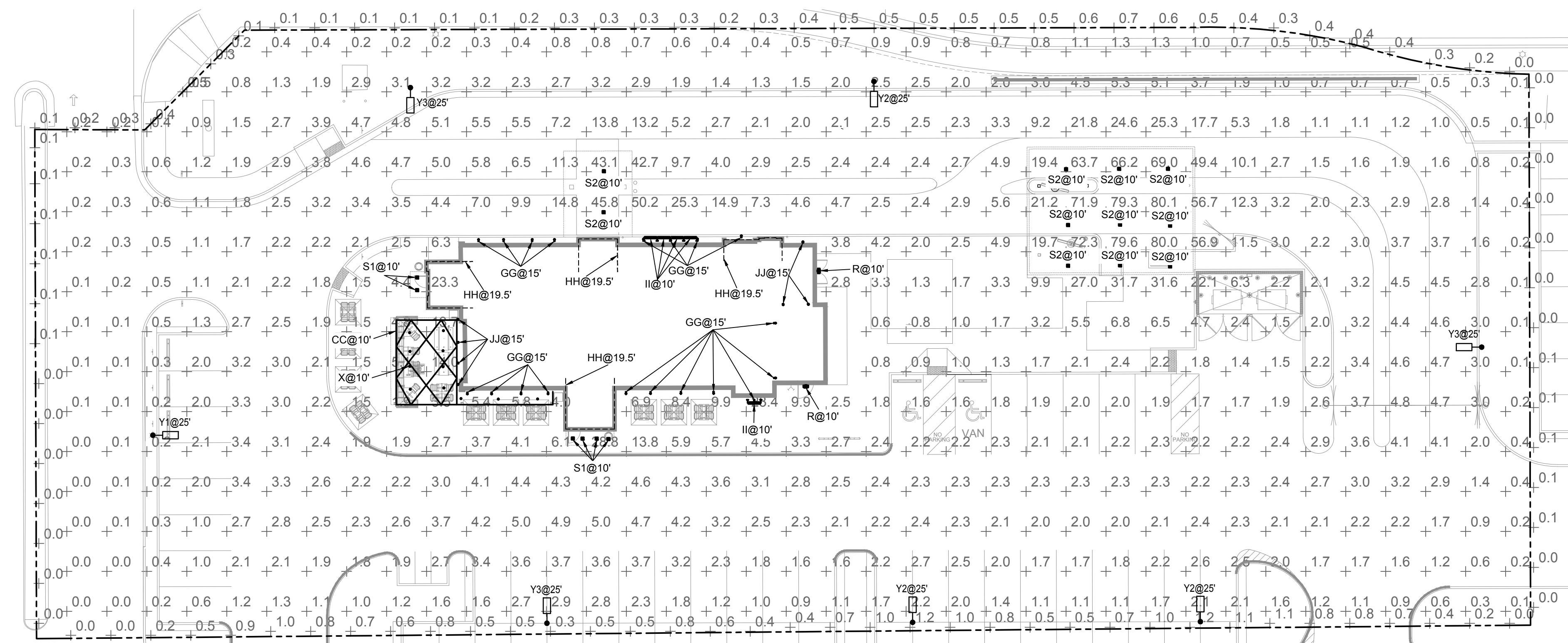
**POLE LUMINAIRE SCHEDULE**

TYPE	MANUFACTURER	CATALOG NUMBER	LAMP TYPE	WATTS	VOLTS	COMMENTS
Y1	LITHONIA	DSX1 LED P3 40K BLC MVOLT	LED	102	120-277	MOUNT FIXTURE AT TOP OF POLE 25' FROM GRADE
Y2	LITHONIA	DSX1 LED P3 40K TFM MVOLT HS	LED	102	120-277	MOUNT FIXTURE AT TOP OF POLE 25' FROM GRADE
Y3	LITHONIA	DSX1 LED P6 40K BLC MVOLT	LED	163	120-277	MOUNT FIXTURE AT TOP OF POLE 25' FROM GRADE

CONFIRM ALL FINISHES WITH OWNER AND ARCHITECT.  
REFER TO 'LIGHTING FIXTURE SCHEDULE (EXTERIOR)' ON SHEET E1.1b FOR ALL OTHER EXTERIOR LIGHT FIXTURE INFORMATION.



**2** POLE FOUNDATION DETAIL  
N.T.S.



**1** PHOTOMETRIC SITE PLAN  
1" = 20'-0"

**JFTE** James F. Turner  
Engineers, L.P.  
Consulting Engineers  
3340 Memphis Road, Suite 100  
Dallas, TX 75231  
TEL: 214-750-2900  
Job Number: 83147  
MIR REGISTRATION: JF 2018022601

DRAWN: BEJ DESIGN: BEJ QC: JBJ APPD: JBM

**E1.1a**



**SCHEDULE OF EXTERIOR FINISHES**

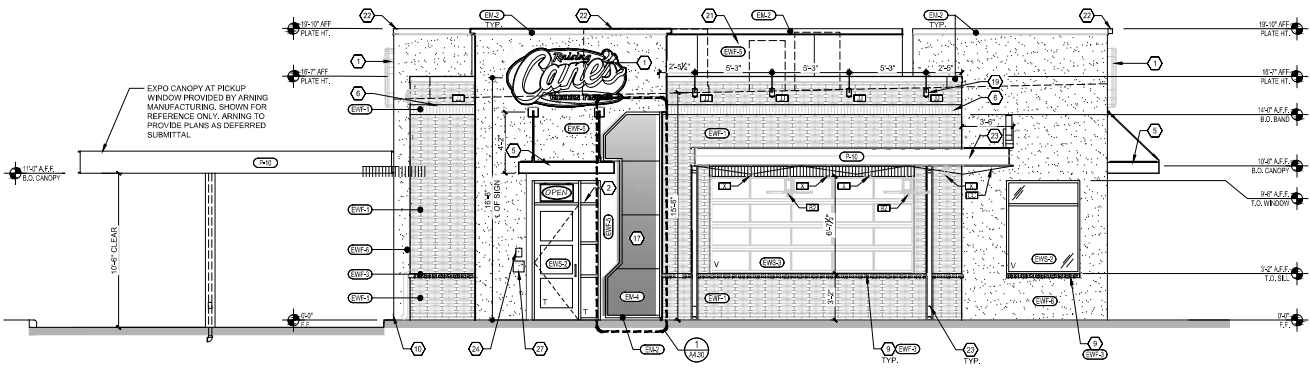
KEY	MATERIAL	MANUFACTURER	FINISH	COLOR/FINISH	DESCRIPTION	KEY	MATERIAL	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
<b>EXTERIOR METALS</b>											
(EM1)	STANDING SEAM ROOF	SEBRIDGE MANUFACTURING COMPANY	TISE LOCK PANEL SYSTEM	KYNAR 500 MATTE BLACK	GALVANIZED STEEL SHEET-W/ KYNAR FINISH (24-GA.) STANDARD COLOR	(EWS)	EXTERIOR WINDOW SYSTEMS	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	
(EM2)	METAL CAP FLASHING	SEBRIDGE MANUFACTURING COMPANY		KYNAR 500 MATTE BLACK	GALVANIZED STEEL SHEET-W/ KYNAR FINISH (24-GA.) STANDARD COLOR	(EWS)	EXTERIOR WINDOW SYSTEMS	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	
(EM3)	POWER COATED STEEL	SEBRIDGE MANUFACTURING COMPANY		CHARCOAL	METAL AGENT FINISH	(EWS)	OPERABLE WINDOW	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	
(EM4)	METAL AGENT FINISH	SEBRIDGE SUPPLIER		DISTRESSED SALVAGED RED	METAL PANEL TO BE APPLIED OVER STUCCO WALL	(EWS)	SPANDREL GLASS WINDOW SYSTEMS	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	
<b>EXTERIOR WALL FINISHES</b>											
(EWF1)	BRICK VENEER	BELDEN	NORMAN STANDARD	MEDIUM RANGE IRONSPOT	1/2" RUNNING BOND. REFER TO DETAIL. MORTAR: SOLIDUM COLORS, INC. 1/8" LIGHT BUFF. BRICK: WEATHER STUCCO JOINT ON EXTERIOR BRICK	(F)	EXTERIOR PAINT	BENJAMIN MOORE	SUPER SPEC (P24)	PAINT TO MATCH WALL MATERIAL - SEMI-GLOSS	TWO COATS REQUIRED - EXTERIOR PIPE AND CONDUIT
(EWF2)	EXTERIOR WALL FINISHES	DRYVIT	SANDPEBBLE "E"	SW 7660 SUMMIT GRAY	APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR BRICK	(F)	EXTERIOR PAINT	BENJAMIN MOORE	SUPER SPEC (P29)	BLACK-LOW LUSTRE	TWO COATS REQUIRED - PATIO STEEL
(EWF3)	CAST STONE	MARCSONE	6443-ARCHESTO-GREY		MORTAR: ARGOS MAGNOLIA MASON'S MIX	REFER TO SHEET A4.09 FOR ELEVATIONS AT FRONT ENTRY.					
(EWF4)	BRICK VENEER	SORAL	QUEEN	ALAMO	MORTAR: LA FARGE MORY BUFF. SACK RUB FINISH						
(EWF5)	EXTERIOR WALL FINISHES	DRYVIT	SANDPEBBLE "E"	#420-MONTECAL-PGG	APPLIED OVER PORTLAND CEMENT STUCCO EXTERIOR WALL. APPLIED OVER EPS AT ROOF SCREEN.						
(EWF6)	EXTERIOR WALL FINISHES	DRYVIT	SANDPEBBLE "E"	#446-CHESTER-SHELL	APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS. APPLIED OVER MASONRY AT CORRAL						

KEYNOTES	
1	SEIN, BY OWNER. PROVIDE BLOCKING AS REQ'D (4'-0" x 8'-0"). INDICATE SEPARATE PERMIT.
2	ADDRESS NUMBERS IN 6" CHARACTERS. SIZE AND LOCATION AS REQUIRED BY AHP.
3	WALL ART BY OWNER.
4	CONTROL JOINT
5	PRE-FABRICATED METAL CANOPY, G.C. TO PERMIT SEPARATELY. 6" WD BLOOMING REQUIRED IN WALL CAVITY.
6	6" STUCCO OR BRICK ACCENT BAND AS SHOWN.
7	METAL GUTTER & DOWNSPOUT ENCL. RE: AHP. (FOR CONTINUATION)
8	ROOF SCUPPER & DOWNSPOUT. OMIT STUCCO BAND IN ROOF DOWNSPOUT ENCL. RE: 7/16/49. CONNECT TO STORM DRAIN SYSTEM. RE: CIVIL.
9	CAST STONE BEL
10	4" BOLLARD W/ BLACK PLASTIC SLEEVE. RE: SIG 20, 11/40/21
11	EXTERIOR SPEAKERS - MOUNTED AT 10'-2"
12	WALL MOUNTED FOC. VIEWRY LOCATION WITH FIRE DEPARTMENT.
13	METAL OVERFLOW SCUPPER, EM2
14	DRIPPO OUTLET AND SECURITY BOX.
15	CRS METERS & BRICK. PAINT TO MATCH ADJACENT WALL FINISH.
16	UTILITY METERS & CONDUIT. PAINT TO MATCH ADJACENT FINISH CLADDING MATERIAL.
17	PRE-FINISHED METAL PANELS BY OWNER.
18	BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT.
19	EXTERIOR LIGHTING. REFER TO ELECTRICAL DWGS.
20	NOT USED
21	EPS ROOF SCREEN TO CONCEAL ROOF TOP EQUIPMENT
22	PARAPET LIGHTING. PROVIDED BY OWNER & INSTALLED BY A/E, FINISH TO MATCH EM2. RE: ELECTRICAL DWGS.
23	STEEL CANOPY STRUCTURE. COLUMNS FOR OUTDOOR PATIO. RE: STRUCTURAL.
24	KNOX BOX PER CITY FIRE DEPT. REQUIREMENTS
25	NOT USED
26	ROOF GARD RAILING. PAINTING P-10. RE: ROOF PLAN
27	SURFACE MOUNTED WALL BRN. T.O. URM/MTD @ 52' A.F.F.
28	DRN 4-DX/FT KEY STORAGE BOX.

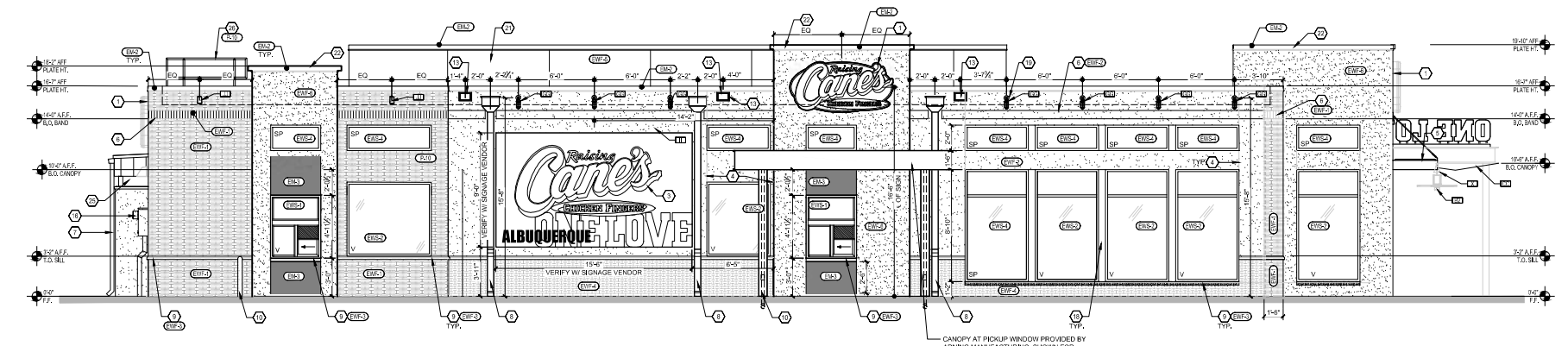
GENERAL NOTES	
1	SEIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL)
2	CANOPYS AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET P-02. G.C. TO PERMIT CANOPYS AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.
3	CONFIRM OUTDOOR SPEAKER LOCATIONS WITH LT.
4	LOGO SIGN. PAINTED MURAL W/ SEIGNAGE VENDOR.

SEALANT NOTES	
1	PROVIDE SEALANT & BACKER ROOFS AT ALL DISSIMILAR MATERIALS.
2	MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS. AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS. MATCH DARKER MATERIAL.

LIGHT FIXTURE TYPE		NOTES:	
□ JJ	□ II	V:	DENOTES VISION
□ GG	□ CC (FAN)	T:	TEMPERED GLASS
□ X	□ BC	SP:	SPANDREL GLASS
□ R			SEE WINDOW SCHEDULE



**1 | ELEVATION (FRONT ENTRY)**  
SCALE: 1/4" = 1'-0"



**2 | ELEVATION (DRIVE-THRU)**  
SCALE: 1/4" = 1'-0"

Shop: **4800 Montgomery Blvd NE**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**P4E-V-AV SCHEME A**  
 Prepared by: **KEN MCCracken**  
 Ken McCracken, Architect  
 1101 Central Expressway South, Suite 100  
 Albu. N. 75013  
 CONTACT: EVERETT FIELDS  
 (405) 874-1144  
 EFIELD@RCMDG.COM

**11/30/21**  
 11/30/2021

Revision	Date	Description
1	11/30/2021	001. PERFORM SET
2	11/30/2021	151. BLDG SUBMITTAL
3		
4		
5		
6		
7		
8		
9		

**1ST BLDG. SUBMITTAL**

Sheet Title: **EXTERIOR ELEV.**  
 Date: 11.30.2021  
 Project Number: RC852/099.0  
 Drawn By: LLJ/9  
 Sheet Number: **A4.10**



**SCHEDULE OF EXTERIOR FINISHES**

KEY	MATERIAL	MANUFACTURER	PRODUCT	COLOR/ FINISH	DESCRIPTION	KEY	MATERIAL	MANUFACTURER	PRODUCT	COLOR/ FINISH	DESCRIPTION
<b>EXTERIOR METALS</b>						<b>EXTERIOR WINDOW SYSTEMS</b>					
(EM1)	STANDING SEAM ROOF	BERNARDI MANUFACTURING COMPANY	TITE-LOCK PANEL SYSTEM	KYNAR 500 MATTE BLACK	GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR	(EWS)	EXTERIOR WINDOW SYSTEMS	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE
(EM2)	METAL CAP FLASHING	BERNARDI MANUFACTURING COMPANY		KYNAR 500 MATTE BLACK	GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR	(EWS)	EXTERIOR WINDOW SYSTEMS	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE
(EM3)	POWER COATED STEEL	SEBRIDGE SUPPLY		CHARCOAL	METAL ACCENT PANEL	(EWS)	OPERABLE WINDOW	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE
(EM4)	METAL ACCENT PANELS	SEBRIDGE SUPPLY		DISTRESSED/ SALVAGED RED	METAL PANEL TO BE APPLIED OVER STUCCO WALL	(EWS)	SPANDREL GLASS WINDOW SYSTEMS	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE
<p>EXTERIOR WALL FINISHES</p> <p>(EW1) BRICK VENEER BELDEN NORMAN STANDARD MEDIUM RANGE IRONSPOT 1:2 RUNNING BOND. REFER TO DETAIL. MORTAR: SOLOMAN COLORS, INC. 10X LIGHT BUFF. PROFILE: WEATHERSTRUCK JOINT ON EXTERIOR BRICK</p> <p>(EW2) EXTERIOR WALL FINISHES DRYVIT SANDPEBBLE "E" SW 7669 SUMMIT GRAY APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS.</p> <p>(EW3) CAST STONE MARCSTONE 6443- ARCHITECTS GREY MORTAR: ARGOS MAGNOLIA MASON'S MIX</p> <p>(EW4) BRICK VENEER SERIAL QUEEN ALAMO MORTAR: LAFARGE IVORY BUFF. SACK RUB FINISH</p> <p>(EW5) EXTERIOR WALL FINISHES DRYVIT SANDPEBBLE "E" #132 MOUNTAIN FOG APPLIED OVER PORTLAND CEMENT STUCCO EXTERIOR WALL. APPLIED OVER EPS AT ROOF SCREEN.</p> <p>(EW6) EXTERIOR WALL FINISHES DRYVIT SANDPEBBLE "E" #436 OYSTER SHELL APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS. APPLIED OVER MASONRY AT CORRAL</p>						<p>EXTERIOR PAINT</p> <p>(P1) EXTERIOR PAINT BENJAMIN MOORE SUPER SPEC (P24) PAINT TO MATCH WALL MATERIAL - SEMI-GLOSS TWO COATS REQUIRED - EXTERIOR PIPE AND CONDUIT</p> <p>(P2) EXTERIOR PAINT BENJAMIN MOORE SUPER SPEC (P23) BLACK-LOW LUSTRE TWO COATS REQUIRED - PATIO STEEL</p> <p>REFER TO SHEET A4.30 FOR ELEVATIONS AT FRONT ENTRY.</p>					

**KEYNOTES**

- 1 SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D (4'-0" x 8'-0"). INDICATE SEPARATE PERMIT.
- 2 ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHP
- 3 WALL ART BY OWNER
- 4 CONTROL JOINT
- 5 PRE-FABRICATED METAL CANOPY, G.C. TO PERMIT SEPARATELY. 6x WD BLOOMING REQUIRED IN WALL CAVITY.
- 6 8" STUCCO OR BRICK ACCENT BAND AS SHOWN
- 7 METAL GUTTER & DOWNSPOUT SMC. RE: A4.10 FOR CONTINUATION
- 8 ROOF SCUPPER & DOWNSPOUT. OMIT STUCCO BAND @ DOWNSPOUT EM4. RE: 7/16/40. CONNECT TO STORM DRAIN SYSTEM. RE: CIVIL
- 9 CAST STONE SILL
- 10 4" BOLLARD W/ BLACK PLASTIC SLEEVE. RE: SIA2.20. 11/AD.21
- 11 EXTERIOR SPEAKERS - MOUNTED AT 10'-2"
- 12 WALL MOUNTED FOC. VERIFY LOCATION WITH FIRE DEPARTMENT
- 13 METAL OVERFLOW SCUPPER, EM2
- 14 CARPRO OUTLET AND SECURITY BOX.
- 15 GAS METER & BRICK. PAINT TO MATCH ADJACENT WALL FINISH
- 16 UTILITY METERS & CONDUIT. PAINT TO MATCH ADJACENT CLADDING MATERIAL
- 17 PRE-FINISHED METAL PANELS BY OWNER.
- 18 BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT
- 19 EXTERIOR LIGHTING. REFER TO ELECTRICAL DWGS.
- 20 NOT USED
- 21 EPS ROOF SCREEN TO CONCEAL ROOF TOP EQUIPMENT
- 22 PARAPET LIGHTING. PROVIDED BY OWNER & INSTALLED BY AGI, FINISH TO MATCH EM2. RE: ELECTRICAL DWGS.
- 23 STEEL CANOPY STRUCTURE COLUMNS FOR OUTDOOR PATIO. RE: STRUCTURAL.
- 24 KNOX BOX PER CITY FIRE DEPT. REQUIREMENTS
- 25 NOT USED
- 26 ROOF JOINT RAILING. PAINTING P-10. RE: ROOF PLAN
- 27 SURFACE MOUNTED WALL BRN. T.O. USR.MTD @ 5'-2" AFF.
- 28 DRN 4-DXIT KEY STORAGE BOX.

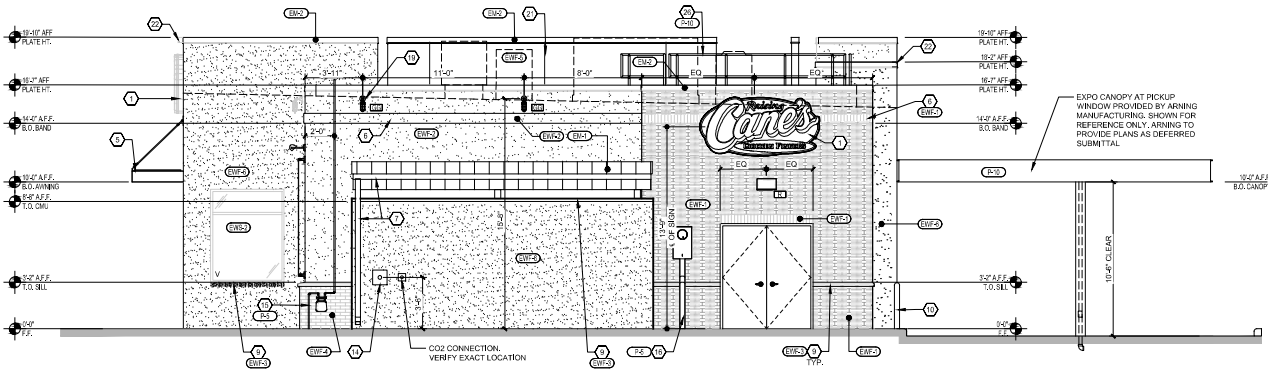
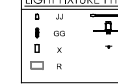
**GENERAL NOTES**

- 1 SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL)
- 2 CANOPIES AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET P-02. G.C. TO PERMIT CANOPIES AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.
- 3 CONFIRM OUTDOOR SPEAKER LOCATIONS WITH LT.
- 4 LOGO SIGN. PAINTED MURAL W/ SIGNAGE VENDOR.

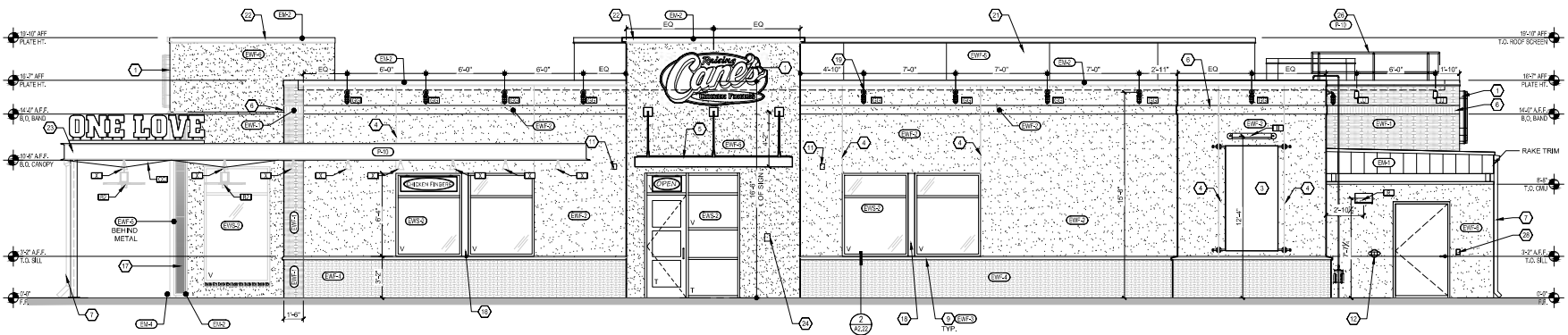
**SEALANT NOTES**

- 1 PROVIDE SEALANT & BACKER ROODS AT ALL DISSIMILAR MATERIALS.
- 2 MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS. AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS. MATCH DARKER MATERIAL.

**LIGHT FIXTURE TYPE**



**1 | ELEVATION (REAR)**  
SCALE: 1/4" = 1'-0"



**2 | ELEVATION (SIDE ENTRY)**  
SCALE: 1/4" = 1'-0"



Shop: **4800 Montgomery Blvd NE**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RCB52**  
**P4E-V-AV SCHEME A**

Ken McCracken, Architect

1101 Central Expressway South Suite 100  
Albuquerque, NM 87103  
CONTACT: EVERETT BELDS  
409.174.1444  
EFILED@P4EAV.COM



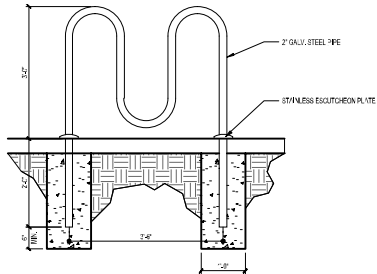
11/30/21  
Permit Issue Date: 10.04.2021  
Design Set Issue Date: 08.02.2021

**1ST BLDG. SUBMITTAL**

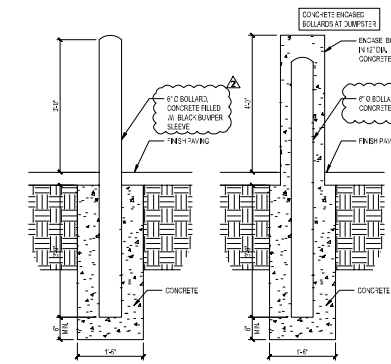
REV	DATE	DESCRIPTION
1	11/30/2021	003 REVIEW SET
2	11/30/2021	1ST BLDG SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		

Sheet Title: **EXTERIOR ELEV.**  
Date: 11.30.2021  
Project Number: RAC21059.0  
Drawn By: LLJ/A  
Sheet Number: **A4.20**

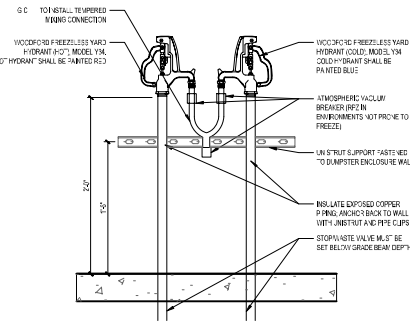




1 | BIKE RACK  
3/4" x 1/4"

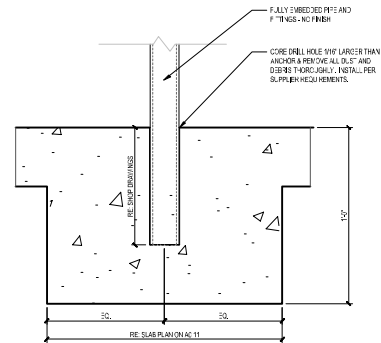


02 | PIPE BOLLARD  
3/4" x 1/4"

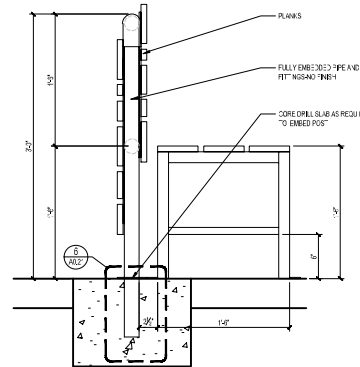


3 | POST HYDRANT  
1/2" x 1/2"

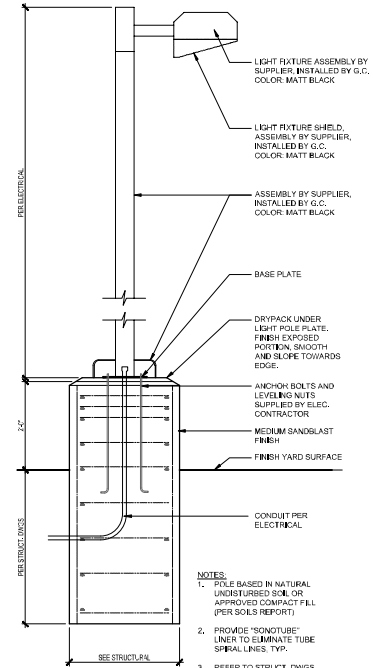
4 | NOT USED



6 | PATIO POST DETAIL  
3/4" x 1/4"



7 | EMBEDDED PATIO FURNITURE  
3/4" x 1/4"



12 | SITE LIGHT  
3/4" x 1/4"

5 | NOT USED  
1/4" x 1/4"



Restaurant Support Office  
4800 Montgomery Blvd, NE, ALBUQUERQUE, NM 87112  
Tel: 972-769-3100 Fax: 972-769-3101

Site  
4800 Montgomery Blvd NE  
ALBUQUERQUE, NM 87112  
Restaurant #RC852  
P4E-V-AV SCHEME A  
Includer of record: KCM/MS&K&N

Ken McCracken,  
Architect  
Architect of Record

1101 Central Expressway South  
Suite 100  
Albuquerque, NM 87105  
CONTACT: EVERETT FIELDS  
4097 6th St NE  
ALBUQUERQUE, NM 87110



01/17/22

Project	Project Name	Project No.
P4E-V-AV	2021-20 RELEASE	
Project Issue Date	08.24.2021	
Project Issue Title	08.24.2021	
Project Issue Updates		
Date Issued	08.24.2021	

2ND BLDG. RESUBMITTAL

REV.	DATE	DESCRIPTION
1	11/11/2021	80% REVISION SET
2	1/20/2022	5% REVISION SET
3	2/2/2022	5% REVISION SET
4	3/17/2022	2ND BLDG. RESUBMITTAL
5		
6		
7		
8		
9		

Sheet Title

SITE DETAILS

Date: 01.17.2022  
Project Number: 4502-239.0  
Drawn By: L.L.M.

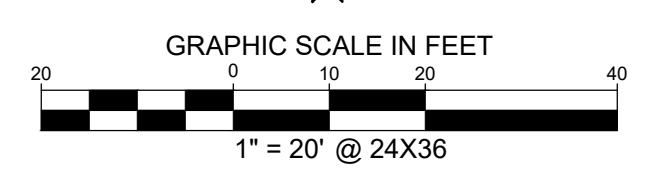
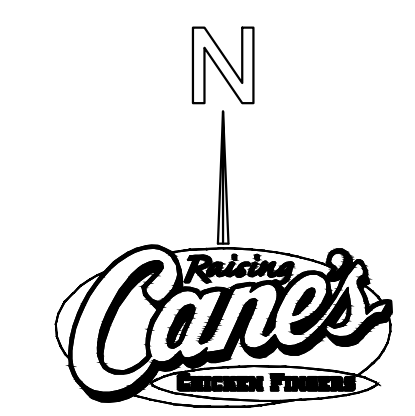
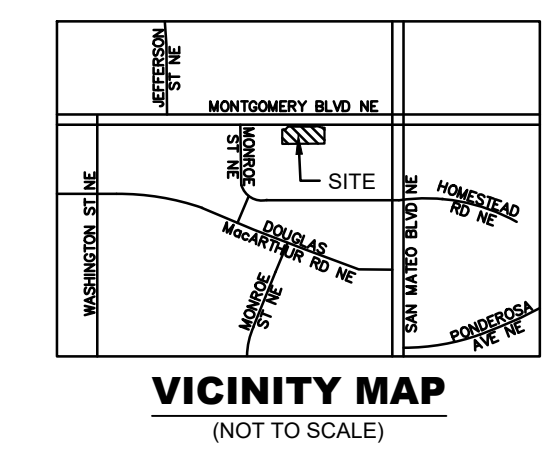
Sheet Number:

A0.21



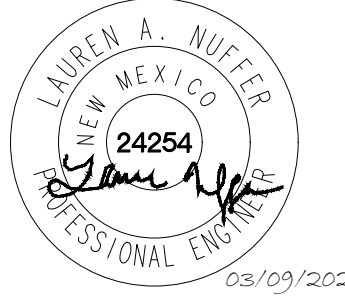


Restaurant Support Office  
6900 Bishop Road, Plano, TX 75024  
Tel: 972-765-3100 Fax: 972-769-3101



Store:  
**Montgomery & San Mateo**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**P4E-V-AV SCHEME A**

Engineer's Information:  
**Kimley»Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
13455 Noel Road  
Two Galleria Office Tower  
Suite 700  
Dallas, TX 75240  
CONTACT: LAUREN NUFFER, P.E.  
(972) 770-1300  
LAUREN.NUFFER@KIMLEY-HORN.COM  
LIZ.WILLMOT@KIMLEY-HORN.COM  
Professional of Record:



Prototype : P4E-V-AV 2021- 2.0 RELEASE  
Prototype Issue Date: 10.04.2021  
Kitchen Issue Date: 08.02.2021  
Design Bulletin Updates: --  
Date Issued: Bulletin Number: --

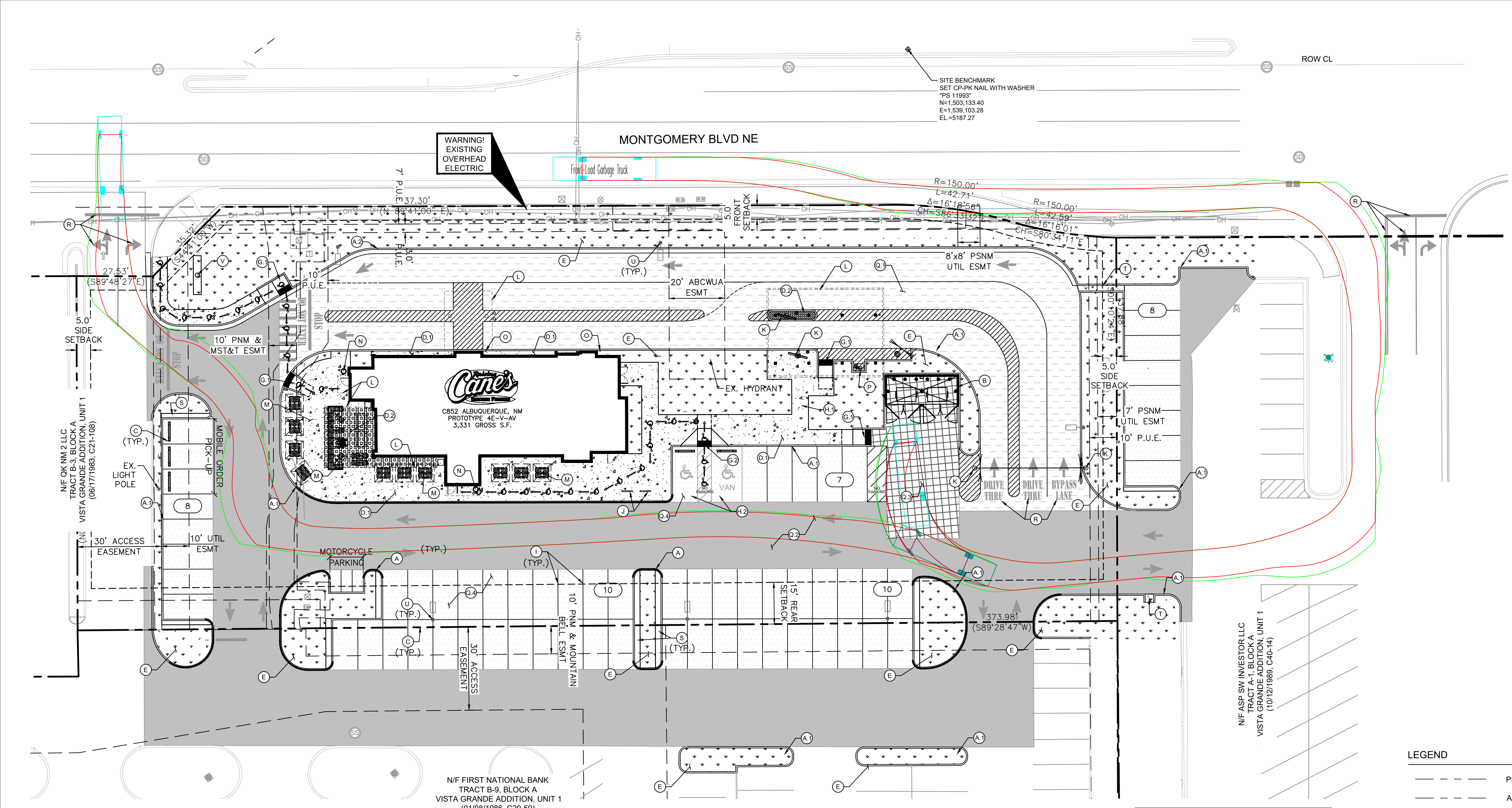
**2ND BLDG. RESUBMITTAL**

REVISIONS:

1	11/12/2021	80% REVIEW SET
2	11/30/2021	1ST BLDG SUBMITTAL
3	12/20/2021	1ST BLDG RESUBMITTAL
4	01/17/2022	2ND BLDG RESUBMITTAL
5		
6		
7		
8		
9		

Sheet Title:  
**SITE KEYNOTE PLAN**  
Date: 03.09.2022  
Project Number: 090042000  
Drawn By: LW/LN  
Sheet Number:

**C5.0**



**KEYNOTE LEGEND**

(A)	CONSTRUCT 6" TYPE 1 PINNED CURB, REFER TO CITY OF ALBUQUERQUE CONSTRUCTION DETAILS ON SHEET C10.0
(A2)	CONSTRUCT 6" STANDARD CURB & GUTTER, REFER TO CITY OF ALBUQUERQUE CONSTRUCTION DETAILS ON SHEET C10.0
(B)	RECYCLING/TRASH DUMPSTER LOCATION, REFER TO ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY
(C)	WHEEL STOPS, SEE DETAIL ON SHEET C9.0
(D)	PRIVATE CONCRETE SIDEWALK, SEE DETAIL ON SHEET C9.0
(D2)	COVERED PATIO INTEGRAL COLOR SMOKESTACK 102 - 5LB
(D3)	PAVERS IN MENU ISLAND: BELGARD HOLLAND STONE, LEGACY PAVERS IN HERRINGBONE/BASKETWEAVE PATTERN CHARCOAL OR SIMILAR GRAY COLOR SEE LANDSCAPE FOR INSTALLATION DETAIL
(E)	LANDSCAPE AREA, REFER TO LANDSCAPE PLANS
(E2)	BARRIER FREE RAMP, SEE DETAIL ON SHEET C9.0
(E3)	SIDEWALK RAMP AND DETECTABLE WARNING SYSTEM PER CITY OF ALBUQUERQUE STANDARD DWG 2442 (DETAIL A)
(H)	RAMP, SEE GRADING PLAN SHEET C6.0 FOR DETAILS
(H2)	ACCESSIBLE PARKING STALL
(I)	PAVEMENT STRIPING, REFER TO SHEET C5.2
(J)	BICYCLE RACK PARKING RACK, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(K)	DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(L)	CANOPY, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(M)	PROPOSED PATIO, REFER TO ARCHITECTURAL PLANS FOR SEATING AND SPACING LAYOUT

(N)	PROPOSED TRASH CAN, REFER TO ARCHITECTURAL SITE DETAILS
(O)	BOLLARD IN CURB, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(P)	HAND WASH STATION, REFER TO ARCHITECTURAL PLANS FOR DETAIL
(P3)	INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) STANDARD DUTY CONCRETE PAVEMENT, SEE DETAIL ON SHEET C9.0
(P32)	MEDIUM DUTY ASPHALT PAVEMENT, SEE DETAIL ON SHEET C9.0
(P33)	HEAVY DUTY CONCRETE PAVEMENT, SEE DETAIL ON SHEET C9.0
(P34)	LIGHT DUTY ASPHALT PAVEMENT, SEE DETAIL ON SHEET C9.0
(R)	DIRECTIONAL PAVEMENT MARKING, REFER TO SHEET C5.2
(S)	CONCRETE SIDEWALK, 2.5' WIDTH ADJACENT TO PARKING SPACES
(T)	CONCRETE FLUME
(U)	PROPOSED SITE LIGHTING, REFER TO ELECTRICAL PLANS FOR DETAIL
(V)	RAISING CANE'S PYLON SIGN TO BE DESIGNED BY OTHERS

- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
  - REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
  - EXISTING STRUCTURES AND OR UTILITIES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
  - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC. DATED FEBRUARY 2021.
  - ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY OF ALBUQUERQUE STANDARDS.
  - PER FEMA MAP NUMBER 35001C0139G DATED SEPTEMBER 26, 2008, THIS SITE IS NOT WITHIN A FLOODPLAIN, BUT IS ADJACENT TO FLOOD ZONE AO
  - BUILDING IS FIRE SPRINKLED.
  - CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT IS NOT TO BE HELD LIABLE FOR ANY DAMAGE TO THE ASPHALT PAVEMENT.

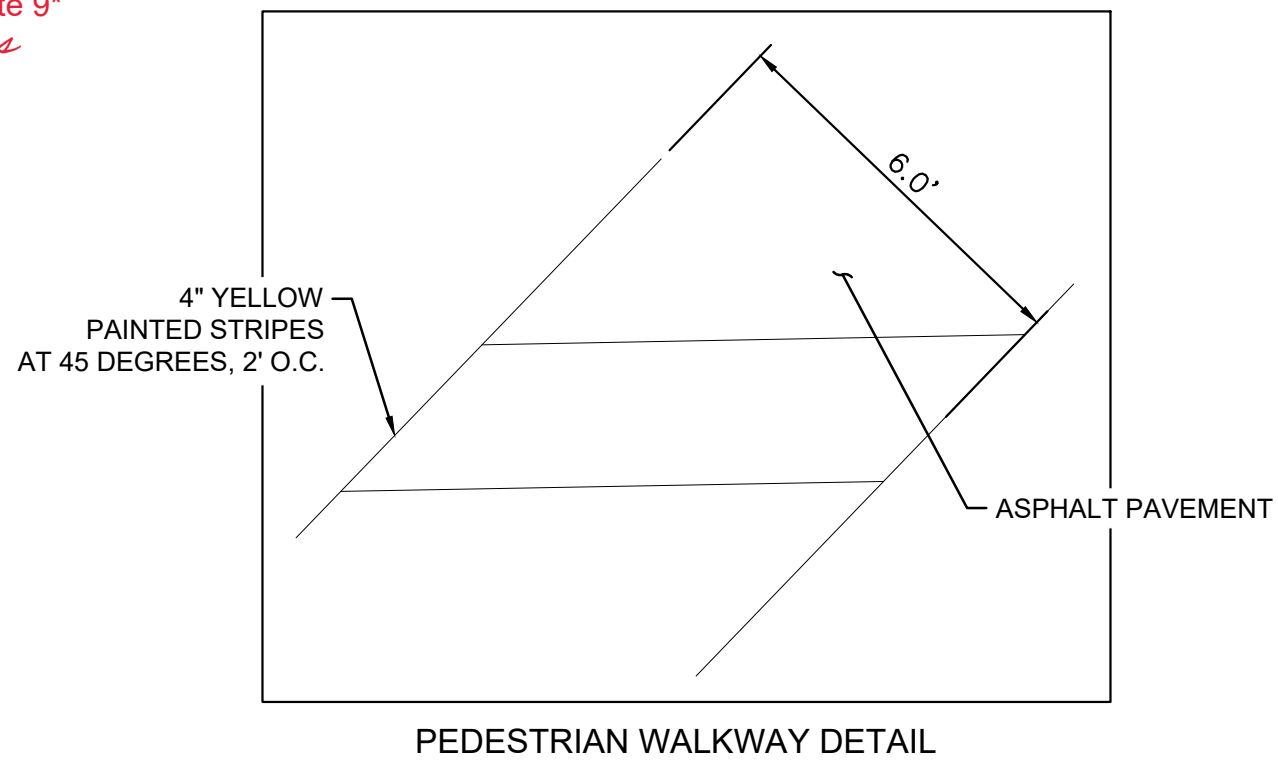
Approved for access by the  
Solid Waste Department 1 dumpster 1 recycle dumpster  
Herman Gallegos 04-01-22 \*See note 9\*  
*Herman Gallegos*

**COORDINATE AND DIMENSION INFORMATION**

STATE PLANE ZONE:	NM-C
GRID/GROUND COORDINATES:	GRID STANDARD
TYPE:	NAD83
HORIZONTAL DATUM:	NAVDS8
VERTICAL DATUM:	0'00'00.00"
ROTATION ANGLE:	YES
MATCHES DRAWING UNITS:	ALBUQUERQUE GEODETIC
CONTROL USED:	GRID
REFERENCE SYSTEM:	GRID TO GROUND: 1.000348716
COMBINED SCALE FACTOR:	GROUND TO GRID: 0.999651406
DISTANCE ANNOTATION:	GROUND
BEARING ANNOTATION:	GRID
BASE POINT FOR SCALING AND/OR ROTATION:	N=0
ELEVATION TRANSLATION:	E=0
ELEVATIONS VALID:	±0.00'
	YES

**PARKING / SITE DATA PER IDO**

TRACT B-1 VISTA GRANDE SUBDIVISION	
EXISTING ZONING	MIXED USE (MX-M)
PROPOSED USE	RESTAURANT W/ DRIVE-THRU
LOT AREA	55,027 SF / 1.26 AC
BUILDING AREA	3,331 SF
FINISHED FLOOR ELEVATION	5,187.71 FT
IMPERVIOUS AREA	44,679 SF
LOT COVERAGE	81.2%
	REQUIRED PROVIDED
TOTAL PARKING	34 SPACES 35 SPACES
ACCESSIBLE	2 SPACES 2 SPACES
MOTORCYCLE	2 SPACES 3 SPACES
BICYCLE	3 SPACES 5 SPACES
PARKING REQUIRED FOR DRIVE-THRU RESTAURANT IS 8 SPACES / 1,000 SF INDOOR AND 3 SPACES / 1,000 SF OF OUTDOOR SPACE.	



**LEGEND**

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EASEMENT/SETBACK
---	PROPOSED SAWCUT
---	PROPOSED CONCRETE CURB
---	EXISTING CURB
(X)	PROPOSED PARKING COUNT
---	PROPOSED LANDSCAPE AREA
(D)	CONCRETE SIDEWALK
(D2)	COVERED PATIO INTEGRAL COLOR SMOKESTACK 102 - 5LB
(D3)	PAVERS AT CENTER MENU ISLAND UNDER CANOPY BELGARD HOLLAND STONE, LEGACY PAVERS IN HERRINGBONE/BASKETWEAVE PATTERN CHARCOAL OR SIMILAR GRAY COLOR SEE DETAIL SHEET C9.0
(E2)	LIGHT DUTY ASPHALT PAVEMENT
(E3)	MEDIUM DUTY ASPHALT PAVEMENT
(E32)	INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) STANDARD DUTY CONCRETE PAVEMENT
(E33)	HEAVY DUTY CONCRETE PAVEMENT
---	ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)

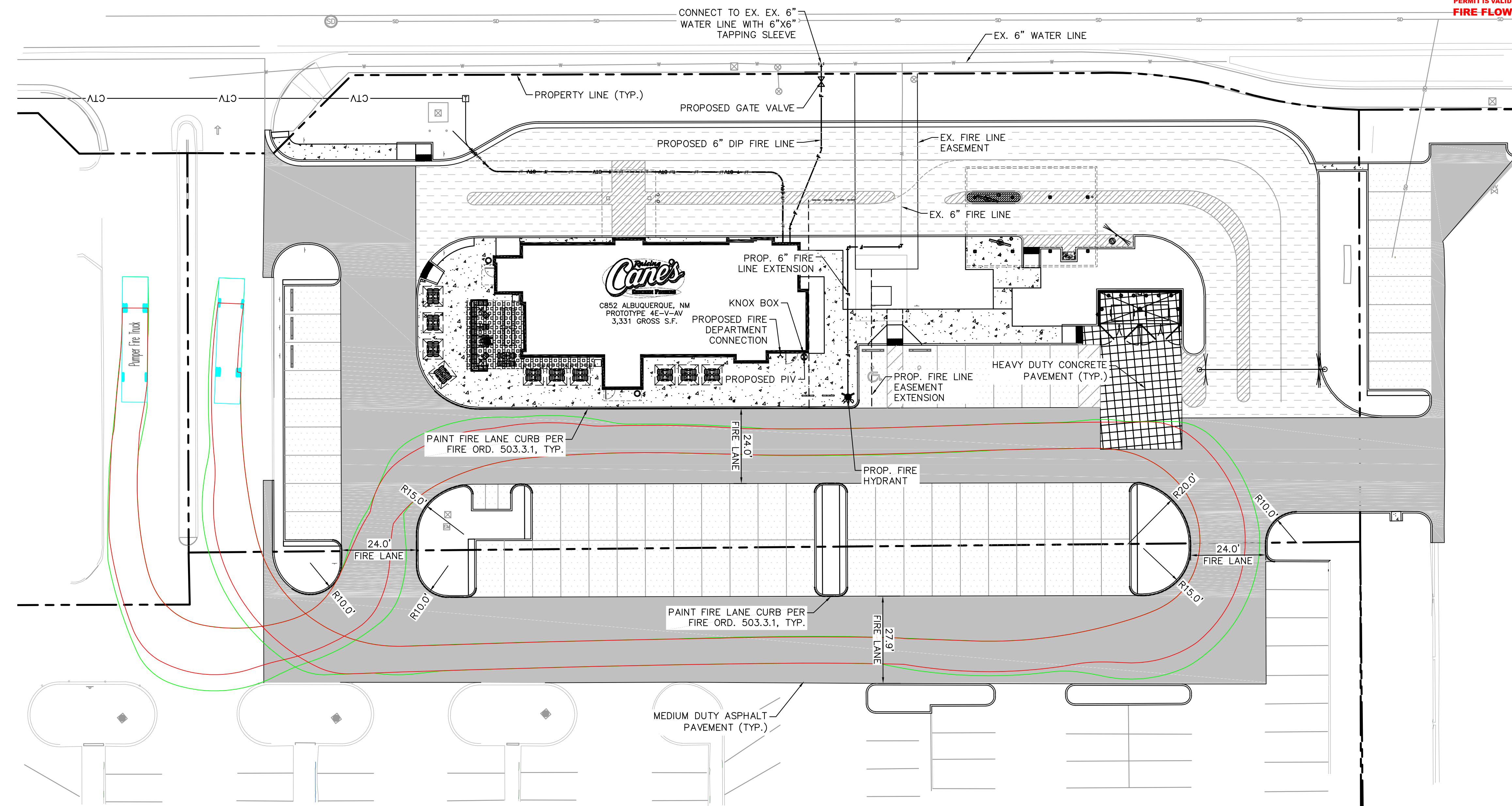
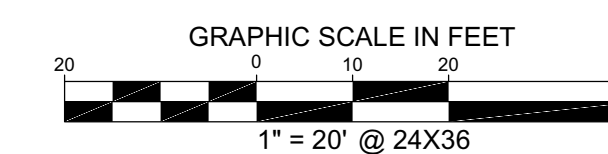
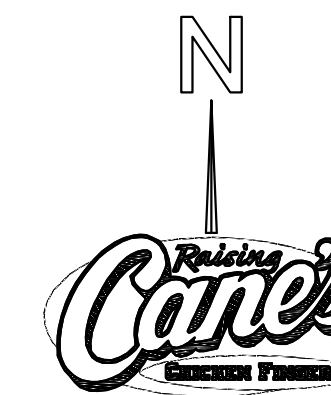






ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION  
**PERMIT**  
PERMIT NUMBER: P-22-009  
APPROVED DATE: 03/03/22  
**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.  
**FIRE FLOW: 1500GPM 1HYDRANT 3331SQFT V-B**

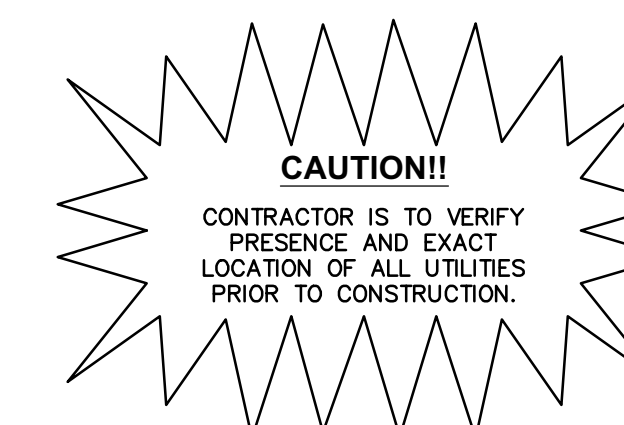


**FIRE ONE NOTES**

- BUILDING: 3,331 SF
  - BUILDING TYPE: VB - SPRINKLED
  - OCCUPANCY CLASSIFICATION: A2 - ASSEMBLY (IFC 2018)
  - STRUCTURE HEIGHT: 19'-10"
  - FIRE FLOW: 1,500 GPM FOR 2 HOURS
- HYDRANTS
  - MIN. NUMBER OF HYDRANTS: 1
  - MAX HYDRANT SPACING: 500 FT
  - MAX DISTANCE ON FRONTAGE TO HYDRANT: 250 FT
- THE PARKING SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
- THE MINIMUM DRIVE AISLE WILL BE 24' UNLESS OTHERWISE SPECIFIED.
- BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
- ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
- FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
- INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.
- ALL FIRE HYDRANT SUPPLY LINES THAT BRANCH OFF OF THE WATER LINES SHALL BE 6" DIA. UNLESS OTHERWISE NOTED ON THE PLANS.
- WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWING SHALL BE ONSITE FOR INSPECTIONS.



Know what's below.  
Call before you dig.



Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tel: 972-769-3100 Fax: 972-769-3101

Store:  
**Montgomery & San Mateo**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**P4E-V-AV SCHEME A**

Engineers Information:  
**Kimley»Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
13455 Noel Road  
Two Galleria Office Tower  
Suite 700  
Dallas, TX 75240  
CONTACT: LAUREN NUFFER, P.E.  
(972) 770-1300  
LAUREN.NUFFER@KIMLEY-HORN.COM  
LIZ.WILLMOT@KIMLEY-HORN.COM

Professional of Record:

Prototype : P4E-V-AV 2021- 2.0 RELEASE

Prototype Issue Date:	10.04.2021
Kitchen Issue Date:	08.02.2021
Design Bulletin Updates:	--
Date Issued:	Bulletin Number:
--	--

**2ND BLDG. RESUBMITTAL**

REVISIONS:

11/12/2021	80% REVIEW SET
11/30/2021	1ST BLDG SUBMITTAL
12/20/2021	1ST BLDG RESUBMITTAL
01/17/2022	2ND BLDG RESUBMITTAL
3	
4	
5	
6	
7	
8	
9	

Sheet Title:  
**FIRE PLAN**  
Date: 03.03.2022  
Project Number: 090042000  
Drawn By: LW/LN





FRONT ENTRY ELEVATION



DRIVE THRU ELEVATION

30% GLAZING REQUIREMENT ALONG DRIVE THRU AT MONTGOMERY BLVD.

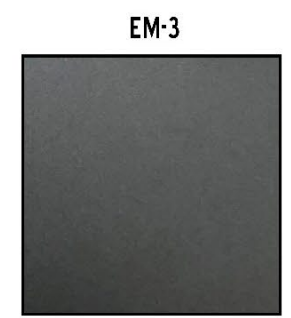


SIDE ENTRY ELEVATION

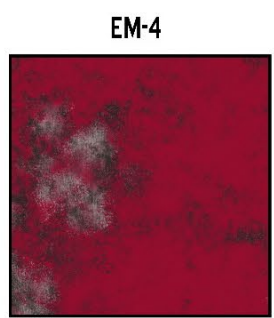


REAR ELEVATION

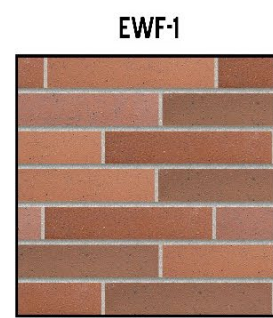
MATERIAL FINISHES



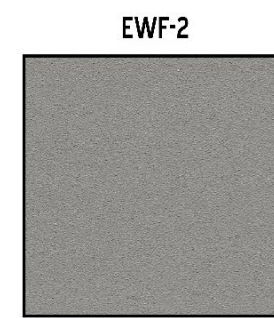
EM-3  
POWDER COATED STEEL MATTE  
BLACK FINISH



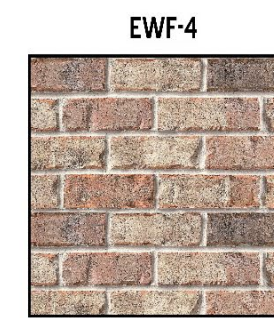
EM-4  
RECLAIMED METAL PANEL:  
VINTAGE CAR HOOD  
OCCURS AT FACE OF THE  
"I" ELEMENT ONLY



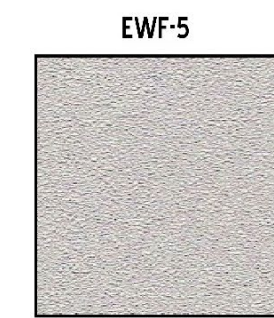
EWF-1  
BELDEN NORMAN BRICK MASONRY  
MEDIUM RANGE, SMOOTH, IRON  
SPOT. MORTAR TO MATCH  
SOLOMON PRODUCTS IO H,  
WEATHERED HORIZONTAL STRIKE.  
VERTICAL JOINTS ARE FLUSH



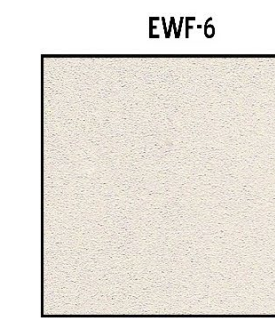
EWF-2  
"SW 7669 SUMMIT GRAY" PORTLAND  
CEMENT STUCCO



EWF-4  
BORAL: "ALAMO" QUEEN BRICK.  
MORTAR TO MATCH SOLOMON  
PRODUCTS IO H, LIGHT BUFF  
SACK RUB FINISH.



EWF-5  
"132 MOUNTAIN FOG" PORTLAND  
CEMENT STUCCO



EWF-6  
"456 OYSTER SHELL"  
CEMENT STUCCO



EWS-2  
ALUMINUM STOREFRONT SYSTEM  
FINISH: ANODIZED BLACK

EXTERIOR ELEVATIONS

C852 – Montgomery and San Mateo – Albuquerque, NM | August 20, 2021





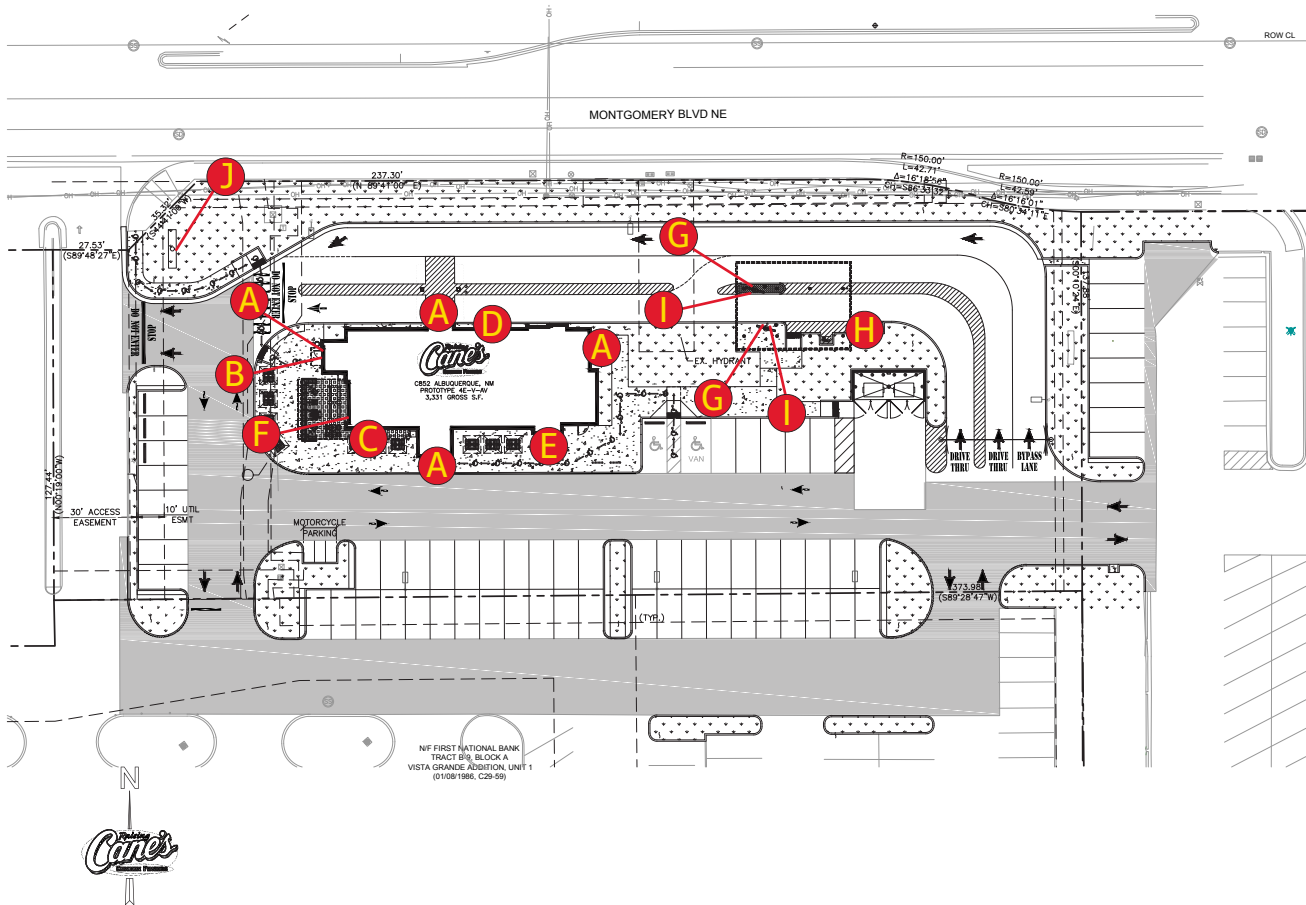


4800 Montgomery Blvd NE/RC0852  
 Albuquerque, NM 87109  
 5/4/2022

DRAWING REVISIONS		
DATE	PM	CHANGE
11/24/21	SH	Updated elevations & changed to flame, added speaker post & lemonade sign
12/21/21	SH	Updated siteplan & elevations, changed to mural
3/12/22	SH	Updated siteplan & added pylon sign
4/5/22	SH	Updated elevations & changed to OL channel letters



# SITEMAP



QTY.	CODE	DESCRIPTION
4	WS-8FT	4x8 Wall Sign
1	ONS	Open Sign
1	CFNS	Chicken Fingers Neon Sign
1	PMRL	Painted Mural
1	RD-1	Red Dog
1	CAN	One Love Channel Letters
2	DTMB	DT Menuboard
1	DTPS	Pre Sell Board
2	DTSP	Speaker Post
1	PYLON	7X14 Pylon @ 26' OAH

No development or LL restrictions noted as of 7/16/21. In Fiesta Crossings.

Freestanding sign pending LLA, multi-tenant existing

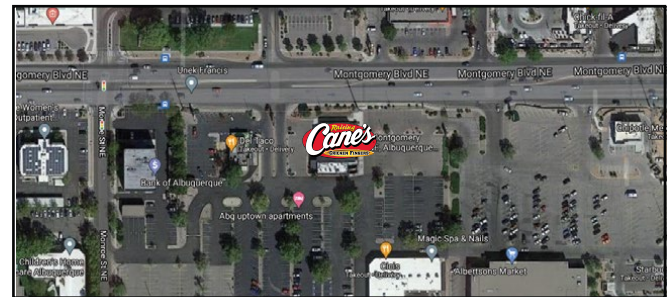
Bldg. sign NTE 15% of facade attached to. Mural, window signs and advertising counts.

Cove lighting allowed downwashed.

Drive boards not regulated. Flags not allowed

City will not allow OL canopy letters (roof)

	YES	NO
RED DOG	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MURAL	<input checked="" type="checkbox"/>	<input type="checkbox"/>
FLAGS	<input type="checkbox"/>	<input checked="" type="checkbox"/>
OLH	<input type="checkbox"/>	<input checked="" type="checkbox"/>



Location: Albuquerque, NM

Site ID: RC0852

Date: 07/20/2021

AGI Rep: S. Holmes

AGI PM: Katie Norman

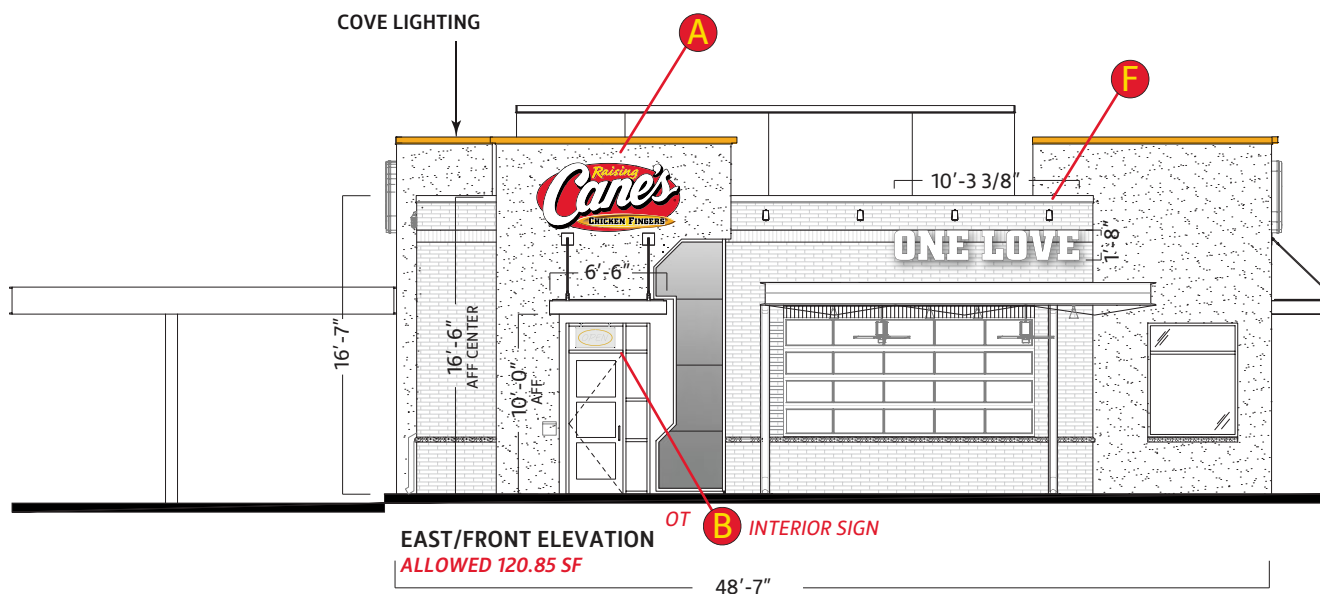
Drawn by: M. Folden

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# ELEVATIONS

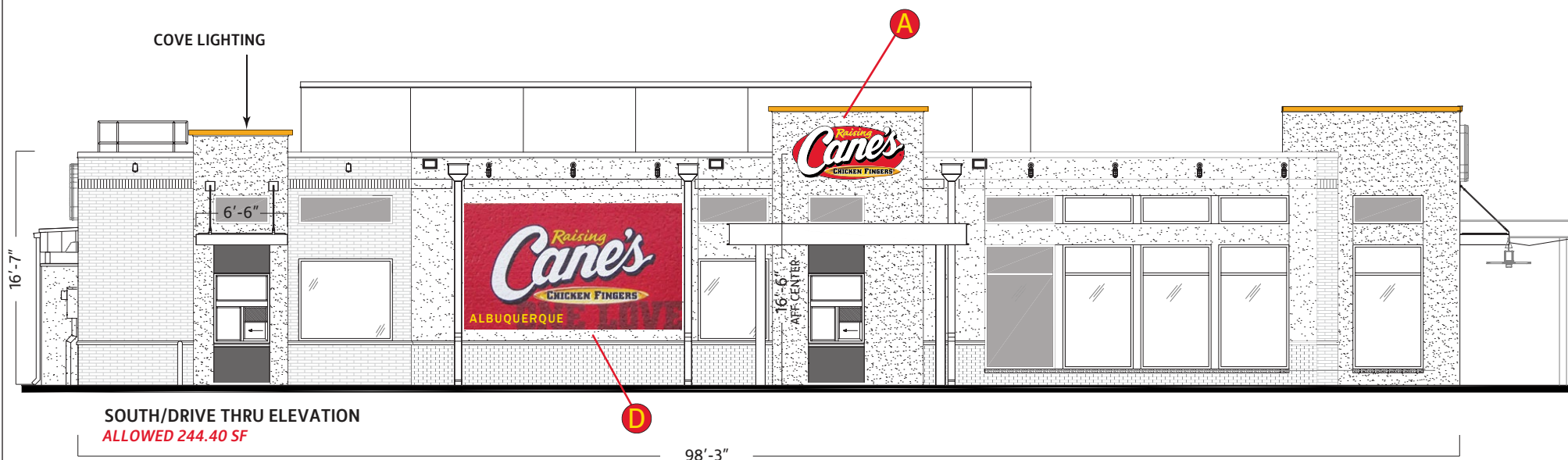


**EAST/FRONT ELEVATION**

ALLOWED 120.85 SF

48'-7"

QTY.	CODE	DESCRIPTION
A	WS-8FT	4x8 Wall Sign
B	ONS	Open Sign
C	CFNS	Chicken Fingers Neon Sign
D	PMRL	Painted Mural
E	RD-1	Red Dog
F	CAN	One Love Channel Letters
G	DTMB	DT Menuboard
H	DTPS	Pre Sell Board
I	DTSP	Speaker Post
J	PYLON	7X14 Pylon @ 26' OAH



**SOUTH/DRIVE THRU ELEVATION**

ALLOWED 244.40 SF

98'-3"

Scale: 3/32"=1'



Location: Albuquerque, NM

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Date: 07/20/2021

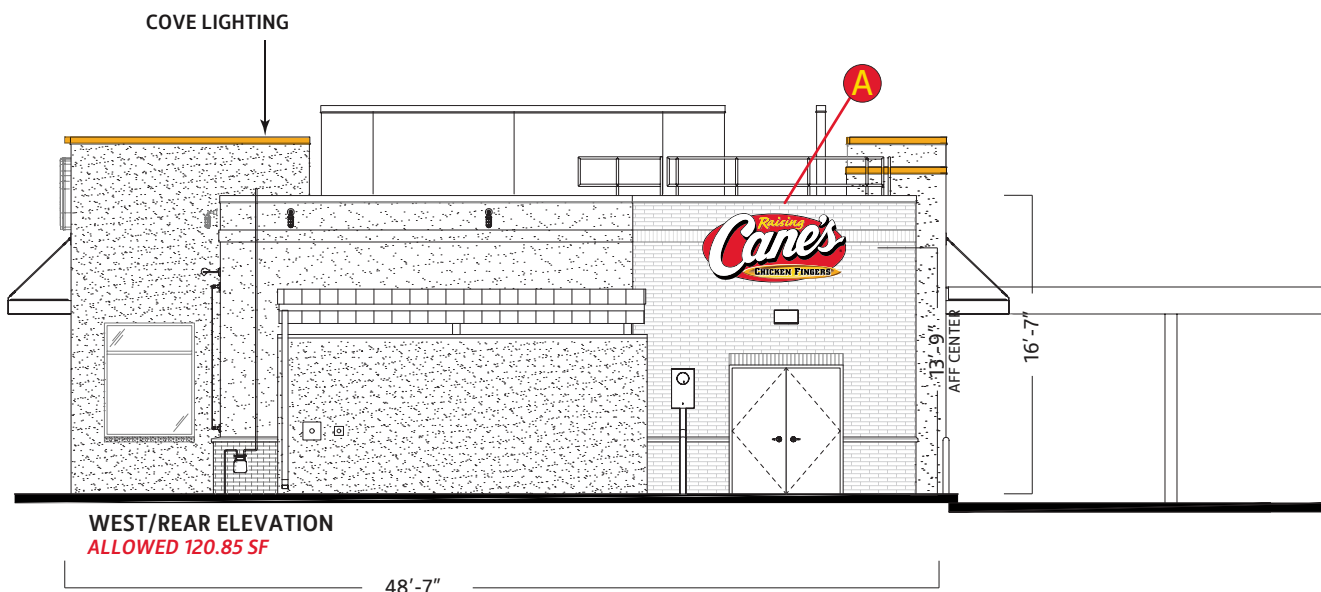
Drawn by: M. Folden

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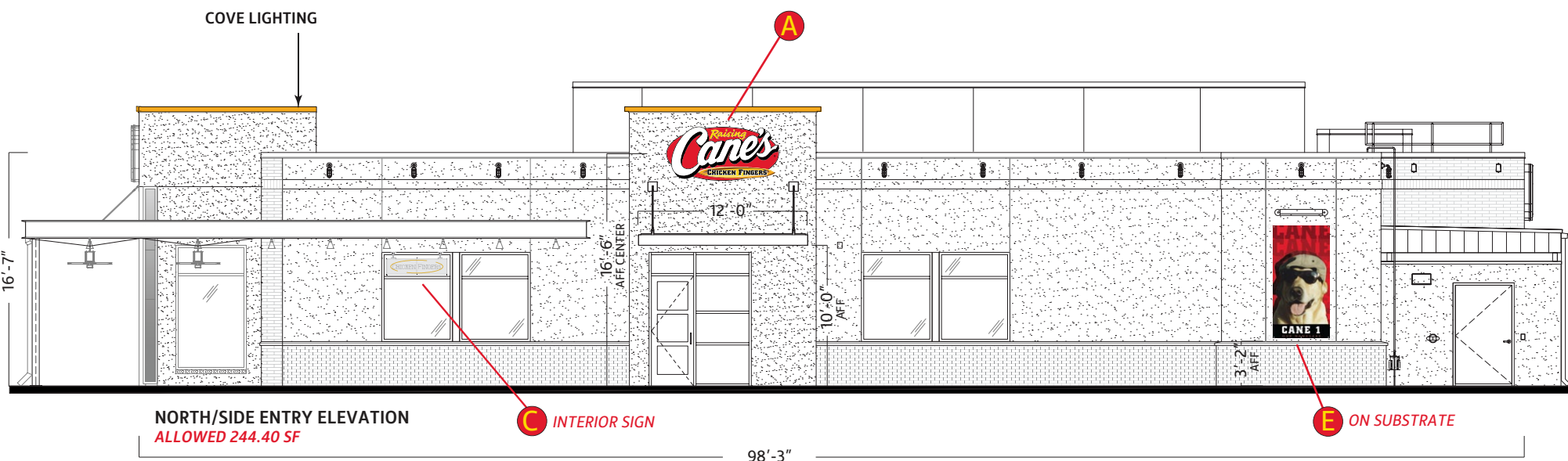




# ELEVATIONS



	QTY.	CODE	DESCRIPTION
<b>A</b>	4	WS-8FT	4x8 Wall Sign
<b>B</b>	1	ONS	Open Sign
<b>C</b>	1	CFNS	Chicken Fingers Neon Sign
<b>D</b>	1	PMRL	Painted Mural
<b>E</b>	1	RD-1	Red Dog
<b>F</b>	1	CAN	One Love Channel Letters
<b>G</b>	2	DTMB	DT Menuboard
<b>H</b>	1	DTPS	Pre Sell Board
<b>I</b>	2	DTSP	Speaker Post
<b>J</b>	1	PYLON	7X14 Pylon @ 26' OAH



Scale: 3/32"=1'



Location: Albuquerque, NM

AGI Rep: S. Holmes

Site ID: RC0852

AGI PM: Katie Norman

Date: 07/20/2021

Drawn by: M. Folden

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Scale: 3/16"=1'



**Location:** Albuquerque, NM

**Site ID:** RC0852

**Date:** 07/20/2021

**AGI Rep:** S. Holmes

**AGI PM:** Katie Norman

**Drawn by:** M. Folden

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COPY & DROP SHADOW ARE AS FOLLOWS:

'RAISING' IS FIRST SURFACE APPLIED TRANSLUCENT VINYL 3M #3630-015 'YELLOW'. DROP SHADOW IS FIRST SURFACE APPLIED TRANSLUCENT VINYL 3M #3630-53 'CARDINAL RED' BACKED WITH 3M #3635-20B BLOCKOUT FILM MATTE WHITE

BORDER IS PAINTED 'BLACK'

.177" THERMO FORMED CLEAR POLYCARBONATE FACE

BACKGROUND IS SURFACE APPLIED TRANSLUCENT VINYL 3M #3630-53 'RED'

RETAINERS, RETURNS, & CENTER CABINET PAINTED 'BLACK' W/ GLOSS FINISH

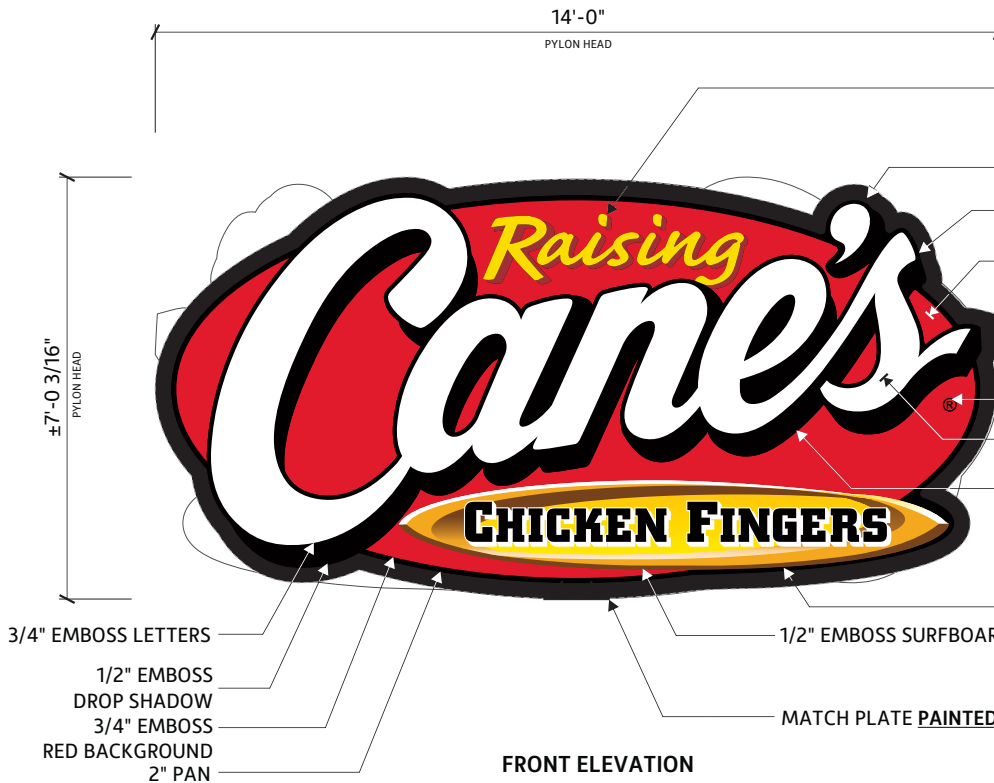
REGISTER MARK IS PAINTED MAP 'BLACK'

DOUBLE EMBOSSED LETTERS ARE PAINTED SECOND SURFACE TRANSLUCENT 'WHITE'

EMBOSS AROUND LETTERS IS PAINTED SECOND SURFACE 'BLACK'

1/2" EMBOSSED OVAL IS AS FOLLOWS:

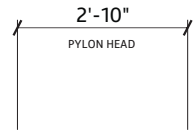
-SIDES ARE PAINTED MAP 'WHITE' & MAP TO MATCH PMS #4695C 'BROWN'  
-GRAPHICS ARE SECOND SURFACE APPLIED DIGITAL PRINT



FRONT ELEVATION

98.21

Square Footage



SIDE VIEW

ELECTRICAL DATA

VOLTAGE	208
AMPERAGE	1.56

COLOR CHART

- 3M #3630-15 'YELLOW'
- 3M #3630-73 'RED'
- 3M #3630-53 'CARDINAL RED'



Location: Albuquerque, NM

AGI Rep: S. Holmes

Site ID: RC0852

AGI PM: Katie Norman

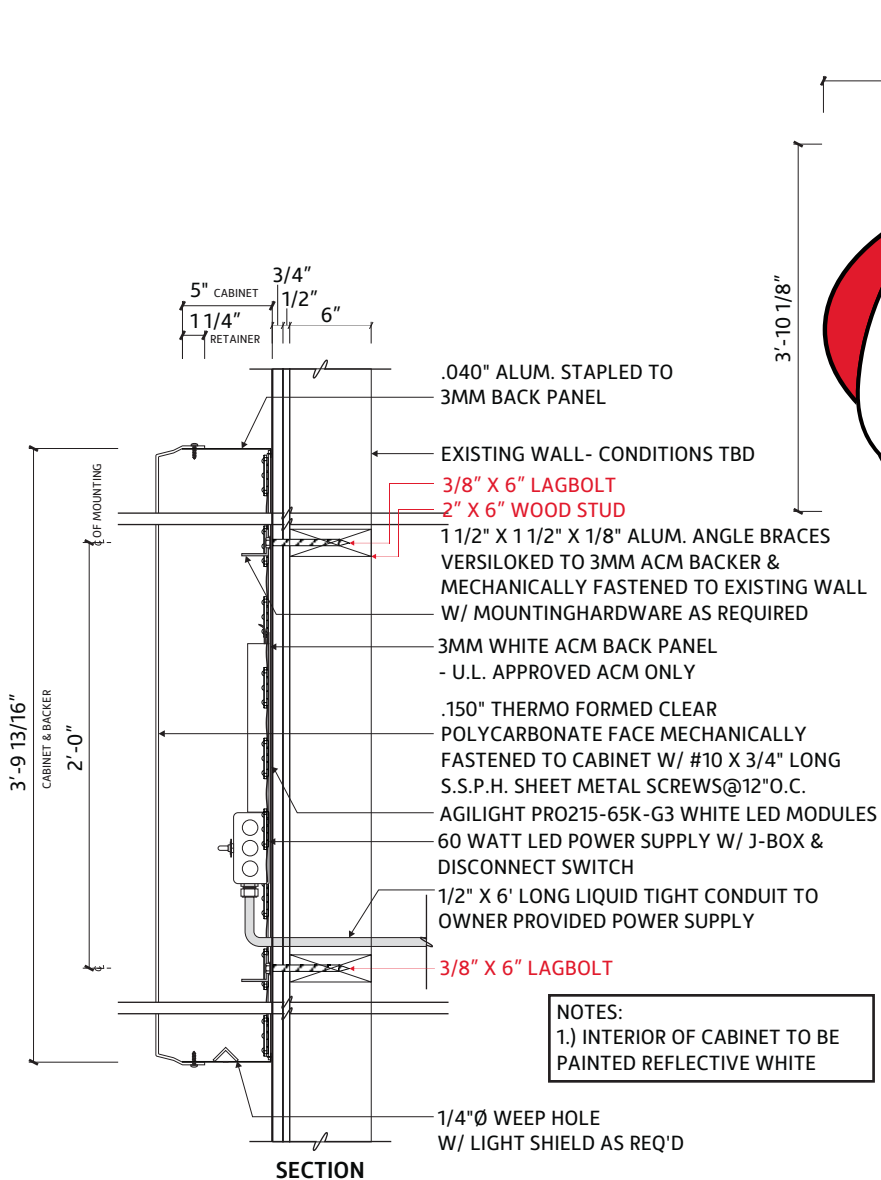
Date: 07/20/2021

Drawn by: M. Folden

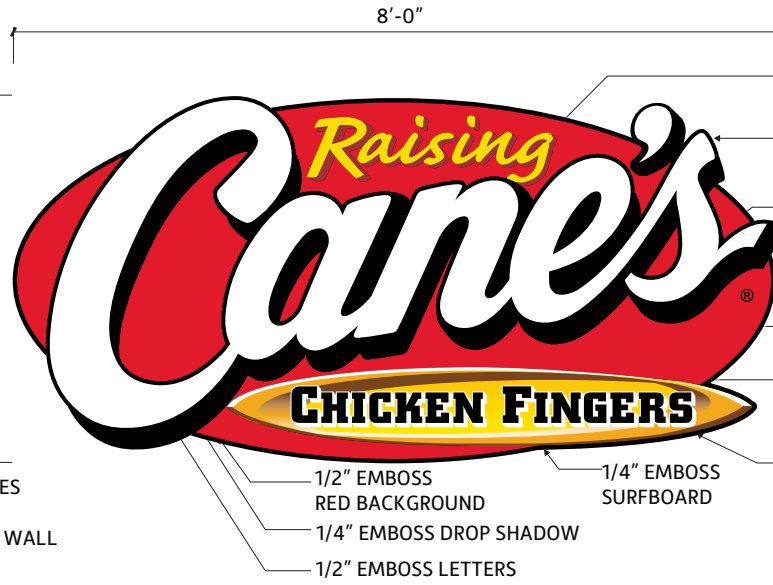
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NOTES:  
1.) INTERIOR OF CABINET TO BE  
PAINTED REFLECTIVE WHITE



30.75  
Square Footage

COPY & DROP SHADOW ARE AS  
FOLLOWS: 'RAISING' IS FIRST SURFACE  
APPLIED TRANSLUCENT VINYL 3M  
#3630-015 'YELLOW', DROP SHADOW  
IS FIRST SURFACE APPLIED TRANSLUCENT  
VINYL 3M #3630-53 'CARDINAL RED'

BORDER IS PAINTED 'BLACK'

BACKGROUND IS SURFACE APPLIED  
TRANSLUCENT VINYL 3M #3630-73 'RED'

.150" THERMO FORMED CLEAR  
POLYCARBONATE FACE  
REGISTER MARK IS PAINTED 'BLACK'

DOUBLE EMBOSSED LETTERS ARE  
PAINTED SECOND SURFACE 'WHITE'

EMBOSS AROUND LETTERS IS  
PAINTED SECOND SURFACE 'BLACK'

EMBOSSED SURFBOARD IS AS FOLLOWS:  
-SIDES ARE PAINTED TO MATCH  
PANTONE #109C 'YELLOW'  
-GRAPHICS ARE SECOND SURFACE  
APPLIED DIGITAL PRINT

ELECTRICAL DATA	
VOLTAGE	120
AMPERAGE	1.8

COLOR CHART	
	3M #3630-15 'YELLOW'
	3M #3630-73 'RED'
	3M #3630-53 'CARDINAL RED'

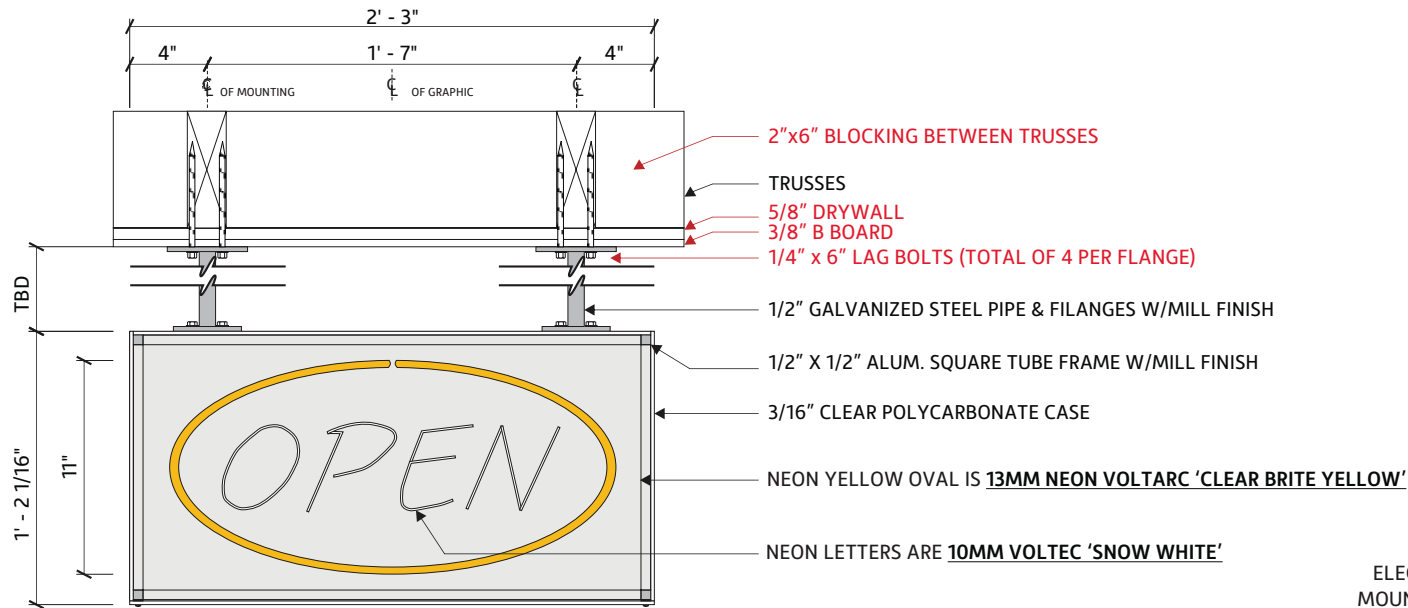


Location: Albuquerque, NM	AGI Rep: S. Holmes
Site ID: RC0852	AGI PM: Katie Norman
Date: 07/20/2021	Drawn by: M. Folden

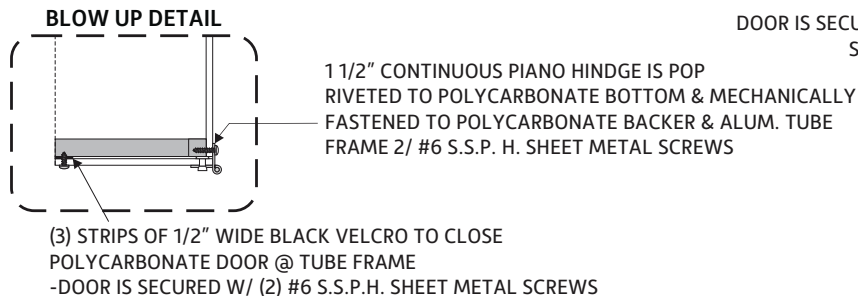
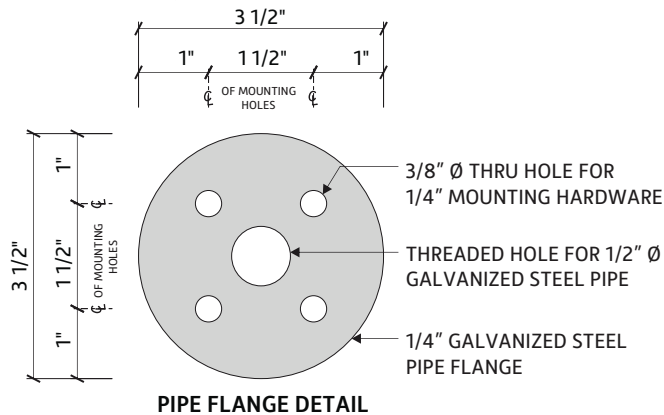
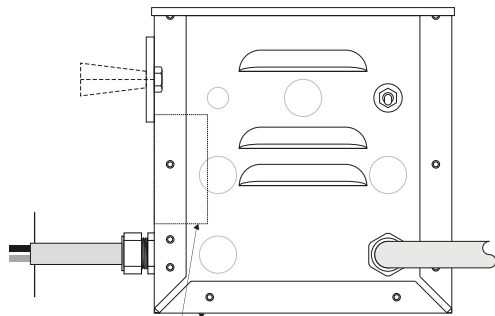
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B



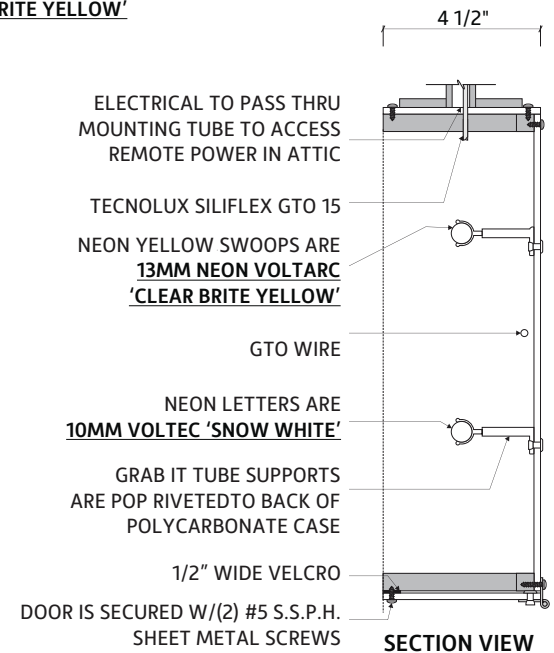
**NOTES:**  
 1.) TRANSFORMER IS MOUNTED REMOTELY  
 2.) CONNECT 14 GA GROUND WIRE TO EACH MOUNTING FLANGE & TO GROUND LUG PROVIDED BY TRANSFORMER.  
 -CONNECT TRANSFORMER GROUND TO SERVICE GROUND AT PANEL BOX



# CUTSHEET

## ONS (H)

*INTERIOR SIGN  
 PIPE LENGTH TO BE VERIFIED  
 COUNTS IN SF*



ELECTRICAL DATA	
VOLTAGE	120
AMPERAGE	2.1



Location: Albuquerque, NM

Site ID: RC0852

Date: 07/20/2021

AGI Rep: S. Holmes

AGI PM: Katie Norman

Drawn by: M. Folden

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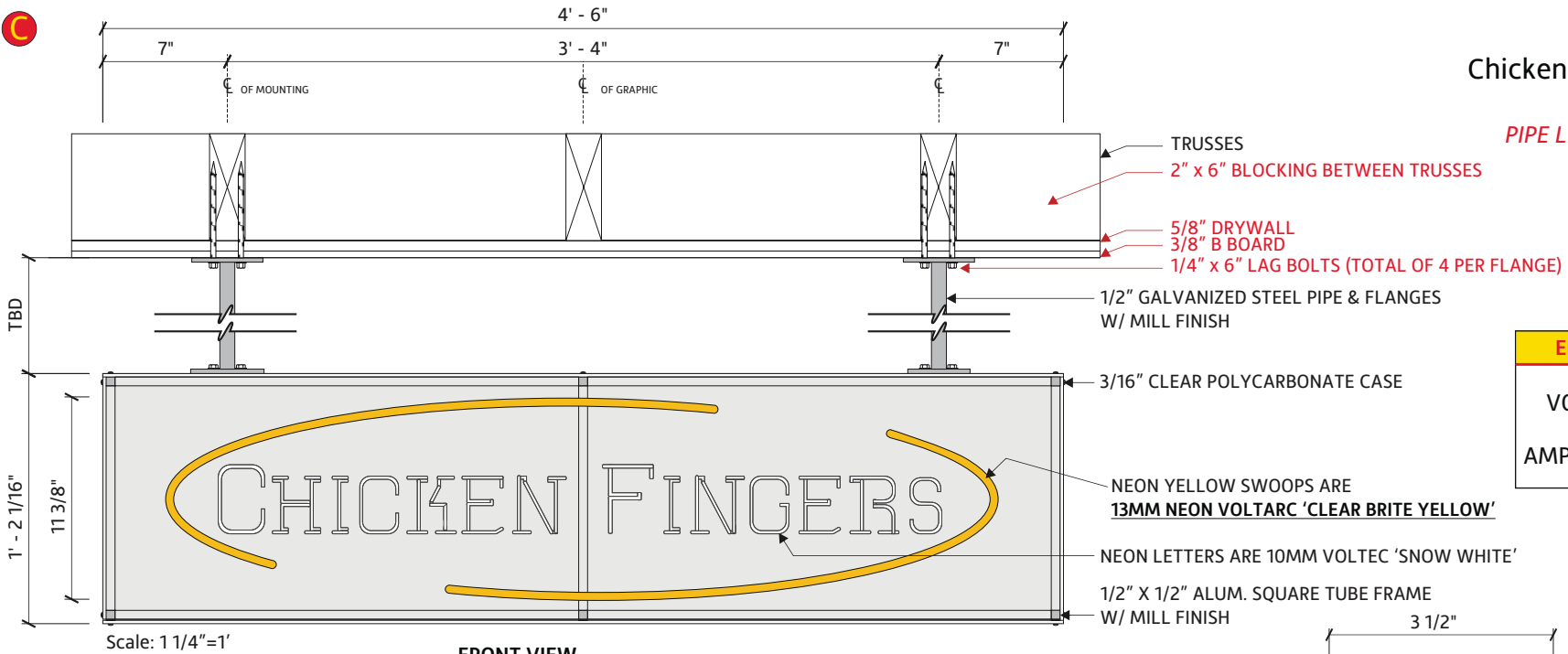
# CUTSHEET

## Chicken Fingers Neon Sign

INTERIOR SIGN

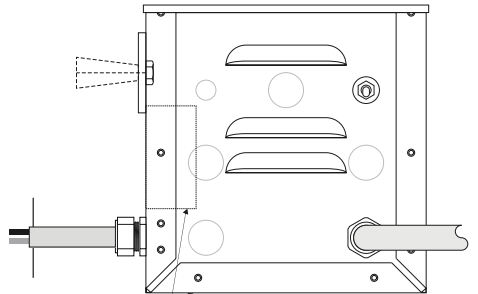
PIPE LENGTH TO BE VERIFIED

COUNTS IN SF



ELECTRICAL DATA	
VOLTAGE	120
AMPERAGE	2.1

NOTES:  
 1.) TRANSFORMER IS MOUNTED REMOTELY IN ATTIC. TRANSFORMERS ARE TO BE ELECTRONIC.



LIGHTING COMPONENTS  
 LC-2-12-3-C (2,000-12,000V 30 MA)  
 MOUNTED IN REMOVE TRANSFORMER BOX

### FRONT VIEW

ELECTRICAL TO PASS THRU MOUNTING TUBE TO ACCESS REMOTE POWER IN ATTIC

TECNOLUX SILIFLEX GTO 15  
 NEON YELLOW SWOOPS ARE 13MM NEON VOLTARC 'CLEAR BRITE YELLOW'

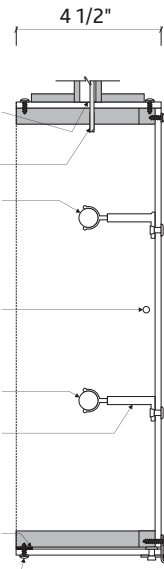
GTO WIRE

NEON LETTERS ARE 10MM VOLTEC 'SNOW WHITE'

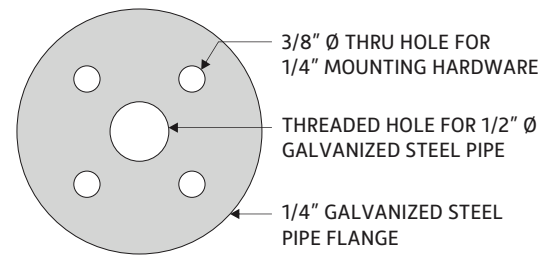
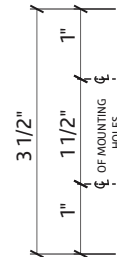
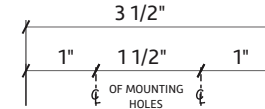
GRAB IT TUBE SUPPORTS ARE POP RIVETED TO BACK OF POLYCARBONATE CASE

1/2" WIDE VELCRO

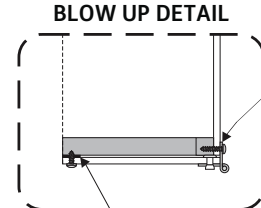
DOOR IS SECURED W/ (2) #5 S.S.P.H. SHEET METAL SCREWS



### SECTION VIEW



### PIPE FLANGE DETAIL



1 1/2" CONTINUOUS PIANO HINGE IS POP RIVETED TO POLYCARBONATE BOTTOM & MECHANICALLY FASTENED TO POLYCARBONATE BACKER & ALUM. TUBE FRAME 2/ #6 S.S.P. H. SHEET METAL SCREWS

(3) STRIPS OF 1/2" WIDE BLACK VELCRO TO CLOSE POLYCARBONATE DOOR @ TUBE FRAME -DOOR IS SECURED W/ (2) #6 S.S.P.H. SHEET METAL SCREWS



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D

CUTSHEET  
PMRL (0915)  
COUNTS AS WALL SIGN

15'-6"

9'-0"



139.50

Square Footage

FOR ARTIST RENDERING USE ONLY  
MURAL PROVIDED BY OTHER VENDOR



Location: Albuquerque, NM

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Date: 07/20/2021

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PAGE 14



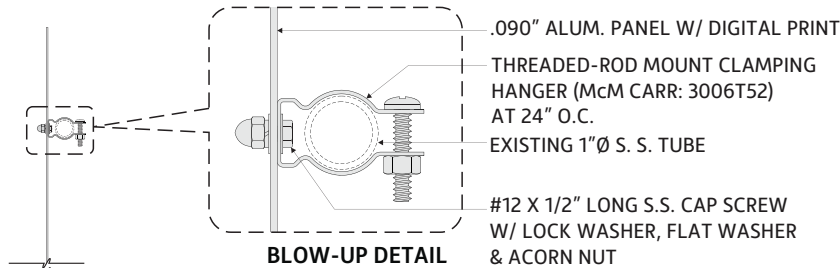


E

# CUTSHEET

## Red Dog on Substrate

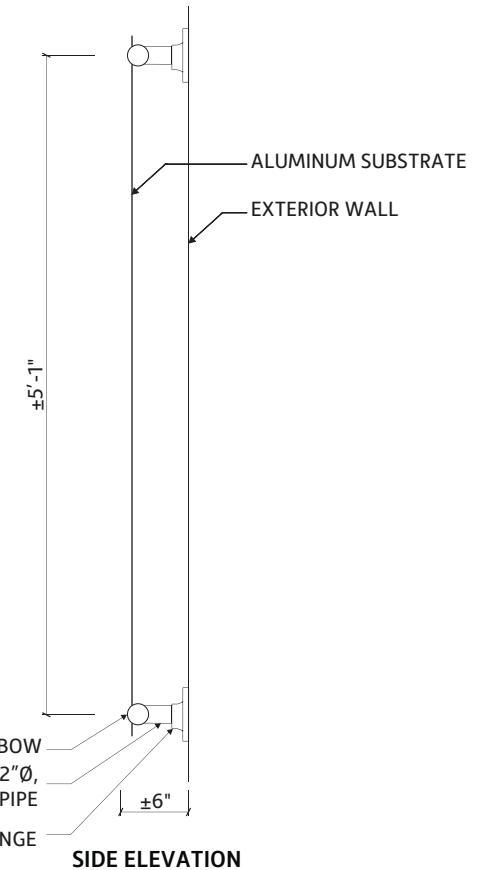
COUNTS AS WALL SIGN



SIDE VIEW

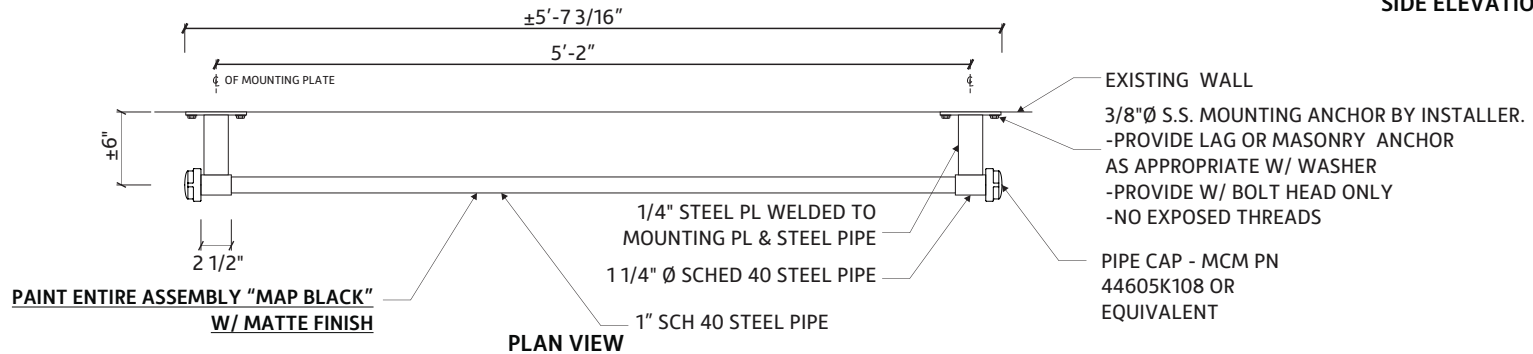
**32.00**

Square Footage



SIDE ELEVATION

THIS IS A DIGITAL PRINT ON ALUMINUM SUBSTRATE AND RIGID.



PLAN VIEW



Location: Albuquerque, NM

AGI Rep: S. Holmes

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Site ID: RC0852

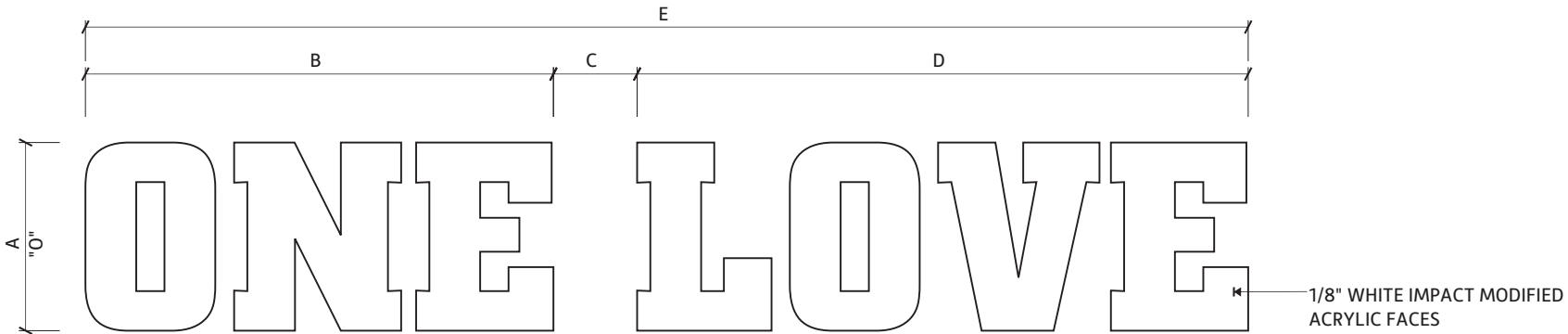
AGI PM: Katie Norman

Date: 07/20/2021

Drawn by: M. Folden

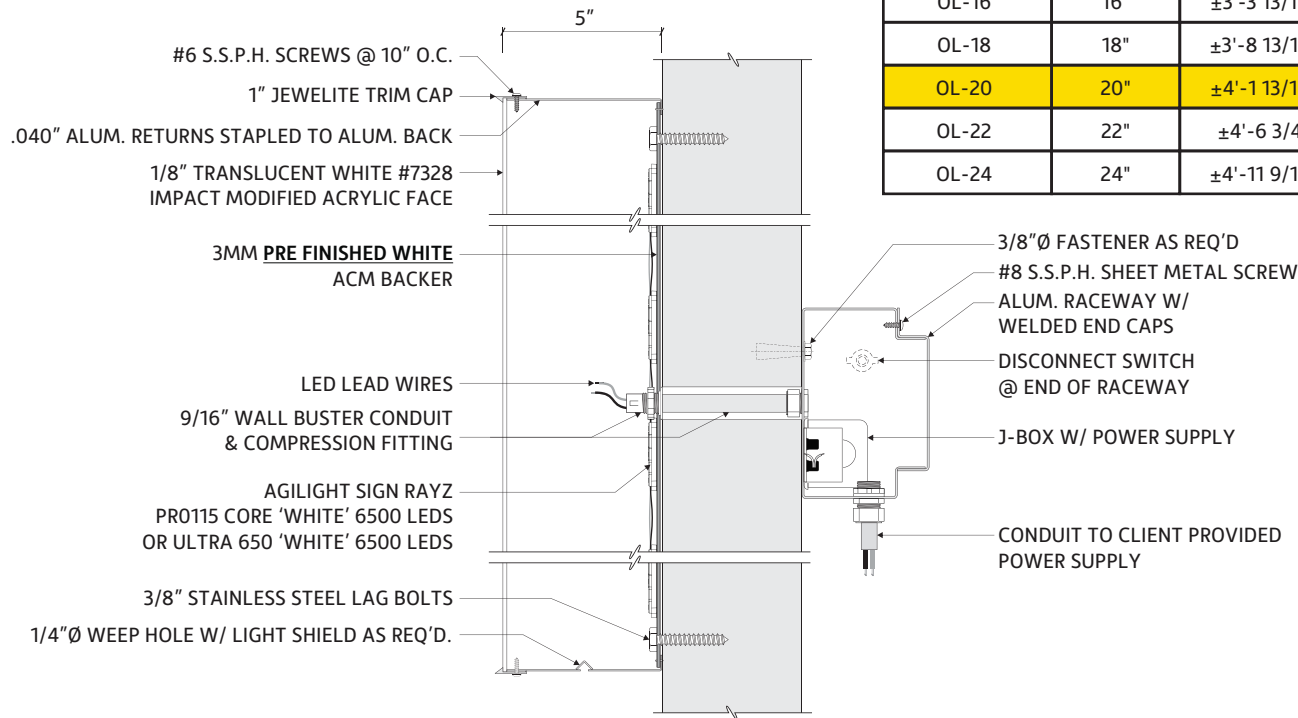






FRONT ELEVATION

SIGN SIZE	A	B	C	D	E	SQ. FT.
OL-16	16"	±3'-3 13/16"	±7 1/8"	±4'-4"	±8'-3"	11.00
OL-18	18"	±3'-8 13/16"	±8"	±4'-10 1/2"	±9'-3 3/8"	13.92
OL-20	20"	±4'-1 13/16"	±8 15/16"	±5'-5"	±10'-3 3/8"	17.13
OL-22	22"	±4'-6 3/4"	±9 13/16"	±5'-11 1/2"	±11'-4 1/8"	20.79
OL-24	24"	±4'-11 9/16"	±10 15/16"	±6'-5 13/16"	±12'-4 1/4"	24.70



SIDE SECTION



Location: Albuquerque, NM

AGI Rep: S. Holmes

Site ID: RC0852

AGI PM: Katie Norman

Date: 07/20/2021

Drawn by: M. Folden

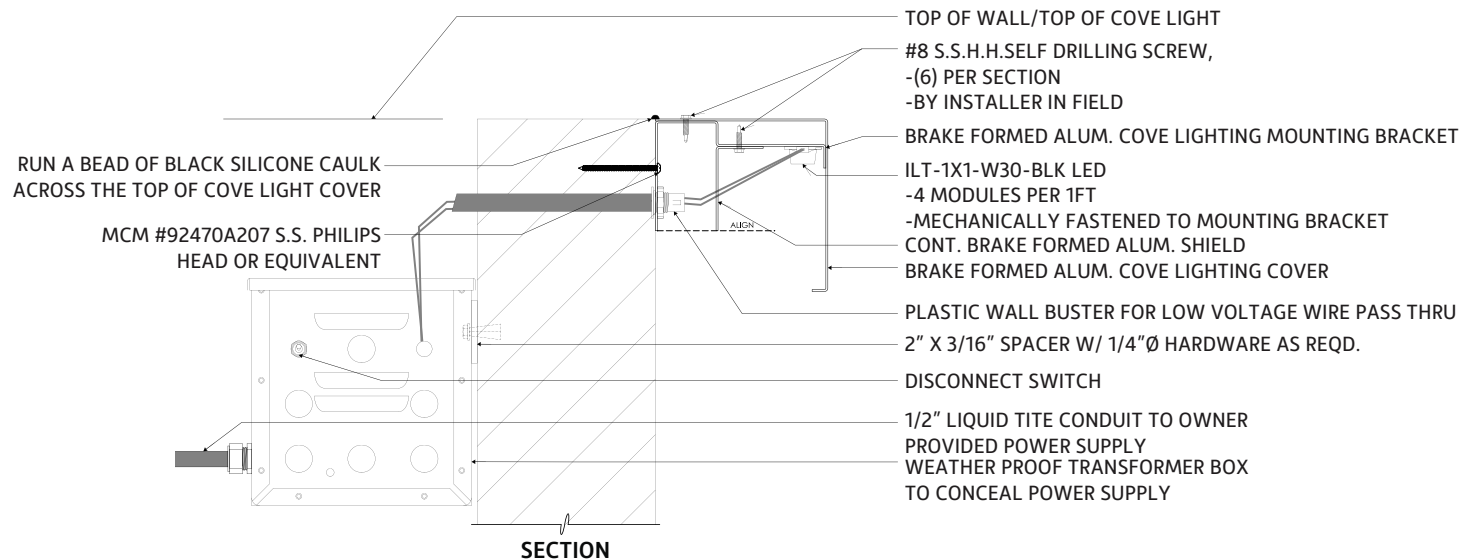
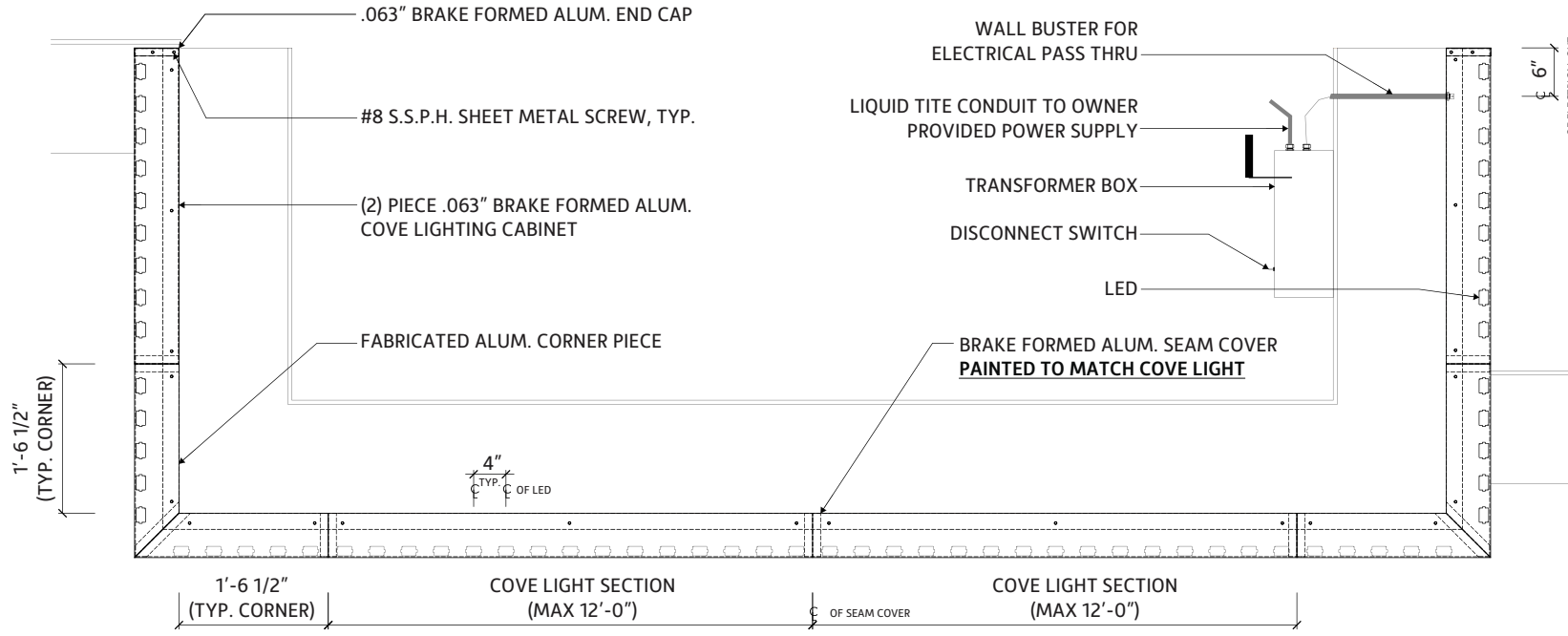
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# CUTSHEET

## Cove Lighting ILT



Location: Albuquerque, NM

Site ID: RC0852

Date: 07/20/2021

AGI Rep: S. Holmes

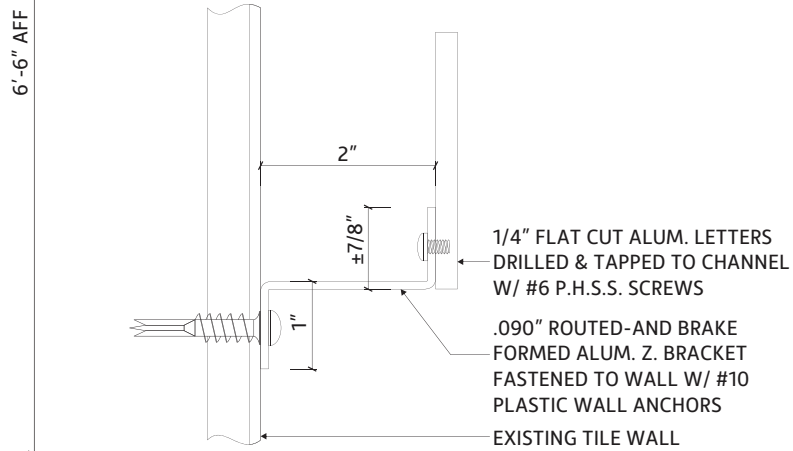
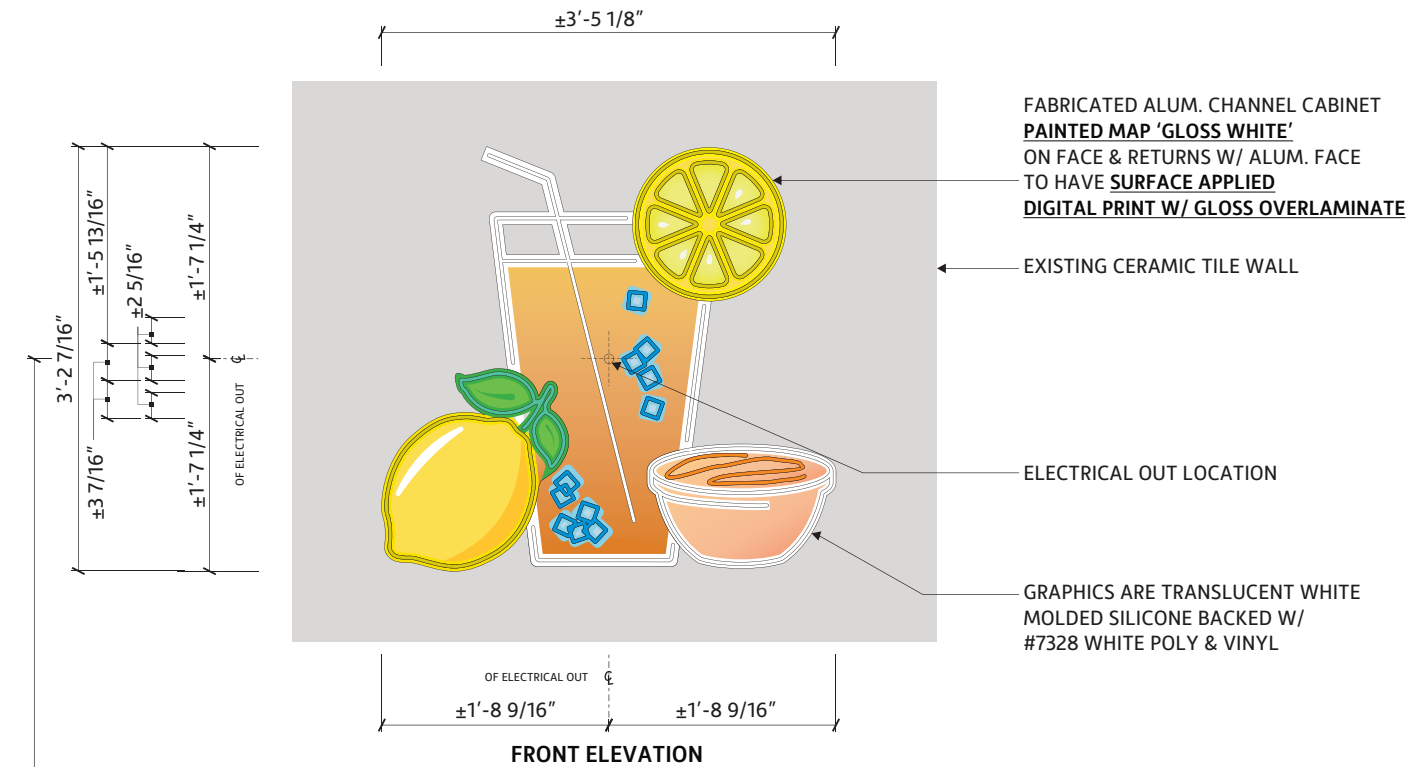
AGI PM: Katie Norman

Drawn by: M. Folden

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**SECTION VIEW @ LETTERS**



**Location:** Albuquerque, NM

**AGI Rep:** S. Holmes

**Site ID:** RC0852

**AGI PM:** Katie Norman

**Date:** 07/20/2021

**Drawn by:** M. Folden

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Location: Albuquerque, NM

AGI Rep: S. Holmes

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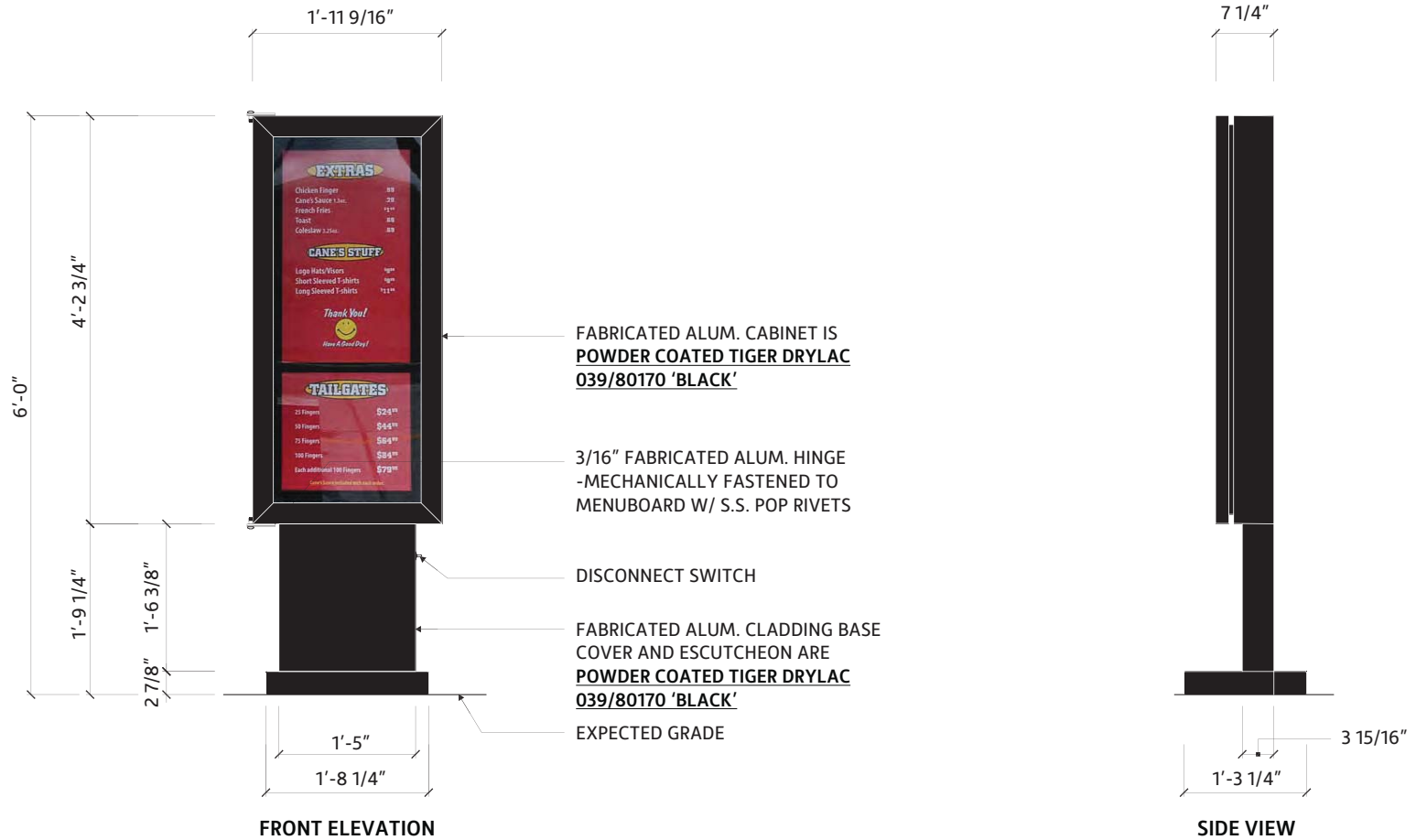
Date: 07/20/2021

Drawn by: M. Folden

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**8.31**  
Square Footage



**Location:** Albuquerque, NM

**AGI Rep:** S. Holmes

**Site ID:** RC0852

**AGI PM:** Katie Norman

**Date:** 07/20/2021

**Drawn by:** M. Folden

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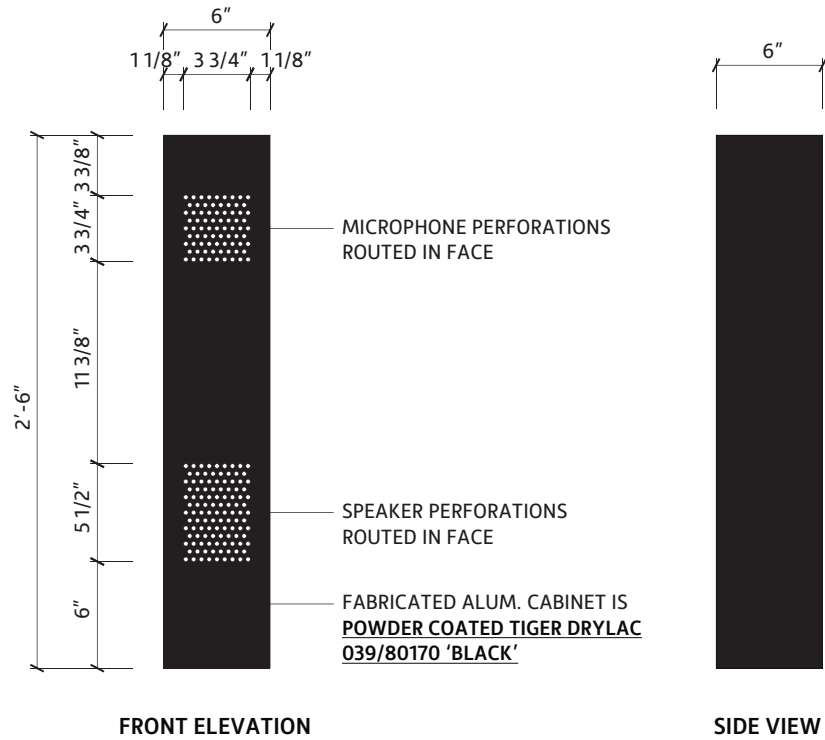






# CUTSHEET

## Speaker Post



**Location:** Albuquerque, NM

**AGI Rep:** S. Holmes

**Site ID:** RC0852

**AGI PM:** Katie Norman

**Date:** 07/20/2021

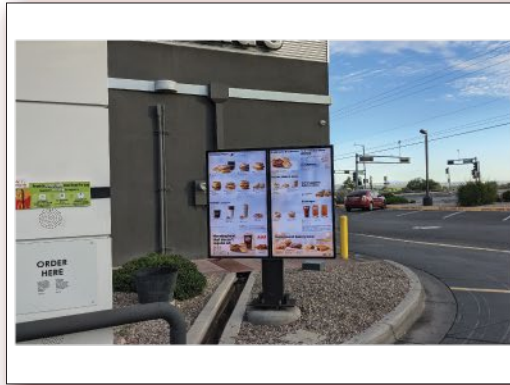
**Drawn by:** M. Folden

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# SURROUNDING SITE PHOTOS



**Location:** Albuquerque, NM

**Site ID:** RC0852

**Date:** 07/20/2021

**AGI Rep:** S. Holmes

**AGI PM:** Katie Norman

**Drawn by:** M. Folden

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# SURROUNDING SITE PHOTOS



NO IMAGE

NO IMAGE

NO IMAGE

NO IMAGE

NO IMAGE

NO IMAGE



**Location:** Albuquerque, NM

**AGI Rep:** S. Holmes

**Site ID:** RC0852

**AGI PM:** Katie Norman

**Date:** 07/20/2021

**Drawn by:** M. Folden

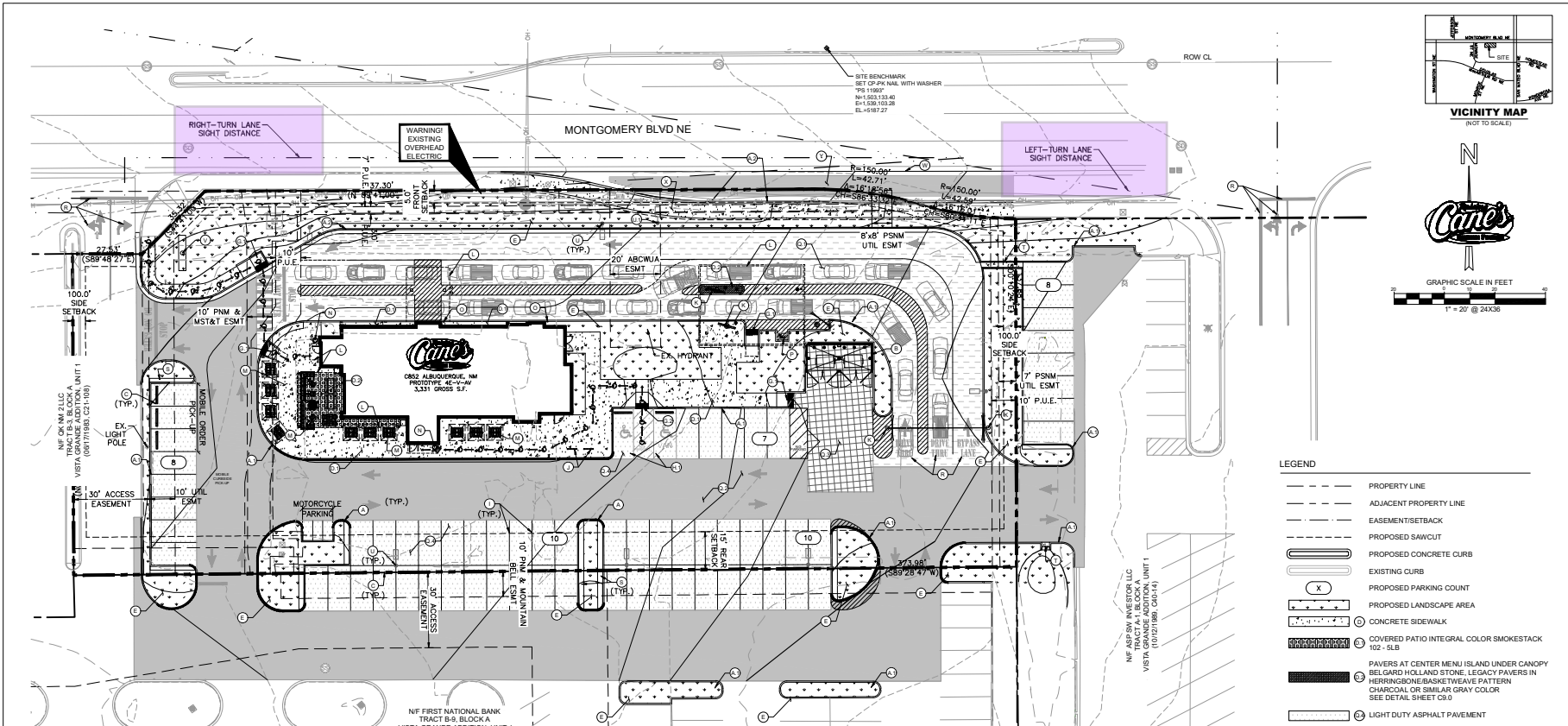
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**PROJECT DESCRIPTION**  
 ALL EXISTING IMPROVEMENTS ONSITE, INCLUDING ROCK & BREWS BUILDING, ASPHALT DRIVE AISLES AND PARKING STALLS, CURBING, AND UTILITIES SERVING THE EXISTING BUILDING WILL BE DEMOLISHED. A NEW BUILDING WITH ASSOCIATED ASPHALT DRIVE AISLES AND PARKING STALLS, CURBING, AND UTILITY SERVICES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE INTEGRATED DEVELOPMENT ORDINANCE (IDO) RULES AND REGULATIONS, AS DETAILED IN THIS EPC MAJOR AMENDMENT SUBMITTAL.

# DRB MAJOR AMENDMENT, MAY 2022



**LEGEND**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - EASEMENT/SETBACK
- - - PROPOSED SAWCUT
- ▬ PROPOSED CONCRETE CURB
- ▬ EXISTING CURB
- (X) PROPOSED PARKING COUNT
- ▬ PROPOSED LANDSCAPE AREA
- ① CONCRETE SIDEWALK
- ② COVERED PATIO INTEGRAL COLOR SMOKESTACK 102 - SLB
- ③ PAVERS AT CENTER MENU ISLAND UNDER CANOPY BELGARD HOLLAND STONE. LEGACY PAVERS IN HERRINGBONE/BASKETWEAVE PATTERN CHARCOAL OR SIMILAR GRAY COLOR SEE DETAIL SHEET C50
- ④ LIGHT DUTY ASPHALT PAVEMENT
- ⑤ MEDIUM DUTY ASPHALT PAVEMENT
- ⑥ INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) STANDARD DUTY CONCRETE PAVEMENT
- ⑦ HEAVY DUTY CONCRETE PAVEMENT
- ⑧ ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)

**KEYNOTE LEGEND**

①	CONSTRUCT 6" TYPE 1 FINNED CURB. REFER TO CITY OF ALBUQUERQUE CONSTRUCTION DETAILS ON SHEET C10.0
②	CONSTRUCT 6" STANDARD CURB & GUTTER. REFER TO CITY OF ALBUQUERQUE CONSTRUCTION DETAILS ON SHEET C10.0
③	RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASCOWRY
④	WHEEL STOPS. SEE DETAIL ON SHEET C50
⑤	PRIVATE CONCRETE SIDEWALK. SEE DETAIL ON SHEET C50
⑥	COVERED PATIO INTEGRAL COLOR SMOKESTACK 102 - SLB
⑦	PAVERS IN MENU ISLAND: BELGARD HOLLAND STONE, LEGACY PAVERS IN HERRINGBONE/BASKETWEAVE PATTERN CHARCOAL OR SIMILAR GRAY COLOR SEE LANDSCAPE FOR INSTALLATION DETAIL
⑧	LANDSCAPE AREA. REFER TO LANDSCAPE PLANS
⑨	BARRIER FREE RAMP. SEE DETAIL ON SHEET C50
⑩	SIDEWALK RAMP AND DETECTABLE WARNING SYSTEM PER CITY OF ALBUQUERQUE STANDARD DWG 2442 (DETAIL A)
⑪	ACCESSIBLE PARKING STALL
⑫	PAVEMENT STRIPING. REFER TO SHEET C52
⑬	BICYCLE RACK PARKING RACK. REFER TO ARCHITECTURAL PLANS FOR DETAILS
⑭	DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR. REFER TO ARCHITECTURAL PLANS FOR DETAILS
⑮	CANOPY. REFER TO ARCHITECTURAL PLANS FOR DETAILS
⑯	PROPOSED PATIO. REFER TO ARCHITECTURAL PLANS FOR SEATING AND SPACING LAYOUT

⑰	PROPOSED TRASH CAN. REFER TO ARCHITECTURAL SITE DETAILS
⑱	BOLLARD IN CURB. REFER TO ARCHITECTURAL PLANS FOR DETAILS
⑲	HAND WASH STATION. REFER TO ARCHITECTURAL PLANS FOR DETAIL
⑳	INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) STANDARD DUTY CONCRETE PAVEMENT. SEE DETAIL ON SHEET C50
㉑	MEDIUM DUTY ASPHALT PAVEMENT. SEE DETAIL ON SHEET C50
㉒	HEAVY DUTY CONCRETE PAVEMENT. SEE DETAIL ON SHEET C50
㉓	LIGHT DUTY ASPHALT PAVEMENT. SEE DETAIL ON SHEET C50
㉔	DIRECTIONAL PAVEMENT MARKINGS. REFER TO SHEET C52
㉕	CONCRETE SIDEWALK, 2.5' WIDTH ADJACENT TO PARKING SPACES
㉖	CONCRETE FLUME
㉗	PROPOSED SITE LIGHTING. REFER TO ELECTRICAL PLANS FOR DETAIL
㉘	RELOCATED STREET LIGHTING
㉙	RAISING CANE'S PYLON SIGN TO BE DESIGNED BY OTHERS
㉚	EXTEND EXISTING VALLEY GUTTER PER CITY OF ALBUQUERQUE STANDARD DWG 2420
㉛	PUBLIC CONCRETE CURB TYPE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DWG 2430
㉜	ASPHALT PAVEMENT PER CITY OF ALBUQUERQUE STANDARD DWG 2405B

**SITE NOTES**

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- EXISTING STRUCTURES AND/OR UTILITIES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC. DATED FEBRUARY 2021.
- ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY OF ALBUQUERQUE STANDARDS.
- PER FEMA MAP NUMBER 30001C01390 DATED SEPTEMBER 28, 2008, THIS SITE IS NOT WITHIN A FLOODPLAIN, BUT IS ADJACENT TO FLOOD ZONE AO
- BUILDING IS FIRE SPRINKLED.
- CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT IS NOT TO BE HELD LIABLE FOR ANY DAMAGE TO THE ASPHALT PAVEMENT.
- LANDSCAPE BUFFER WAIVER VA-2021-00134 PROPOSING A REDUCED BUFFER WIDTH HAS BEEN APPROVED.
- ALL IMPROVEMENTS IN THE CITY OF ALBUQUERQUE RIGHT-OF-WAY PER WORK ORDER DRAWING #842183 SHALL BE BUILT.

**COORDINATE AND DIMENSION INFORMATION**

STATE PLANE ZONE: N-M-C  
 GRID/GROUND COORDINATES: STANDARD  
 TYPE: NAD83  
 VERTICAL DATUM: NAVD83  
 ROTATION ANGLE: 0°00'00.00"  
 MATCHES DRAWING UNITS: YES  
 CONTROL USED: ALBUQUERQUE GEODETIC  
 REFERENCE SYSTEM: ALBUQUERQUE GEODETIC  
 COMBINED SCALE FACTOR: GRID TO GROUND: 1.0003487106  
 GROUND TO GRID: 0.999651488  
 GROUND GROUND  
 DISTANCE ANNOTATION: N/A  
 BEARING ANNOTATION: N/A  
 BASE POINT FOR SCALING AND/OR ROTATION: E=0  
 40.00"  
 ELEVATION TRANSLATION: YES  
 ELEVATIONS VALID: YES

**PROJECT NAME**  
 RAISING CANES  
 MONTGOMERY BLVD.

**PROJECT NUMBER:** PR-2021-005467  
**Application Number:** SI-2022-00861

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 11/20/2021, and the Findings and Conditions in the Official Notification of Decision are satisfied. Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date:	
ABCWJA	Date:	
Parks and Recreation Department	Date:	
City Engineer/Hydrology	Date:	
Code Enforcement	Date:	
*Environmental Health Department (conditional)	Date:	
Solid Waste Management	Date:	
DRB Chairperson - Planning Department	Date:	
*Environmental Health, if necessary	Date:	

21618

**PARKING / SITE DATA PER IDO**

TRACT B-1	
VISTA GRANDE SUBDIVISION	
EXISTING ZONING:	MIXED USE (M-X-A)
PROPOSED USE:	RESTAURANT W/ DRIVE THRU
LOT AREA:	55,027 SF / 1.26 AC
BUILDING AREA:	3,331 SF
FINISHED FLOOR ELEVATION:	5,187.71 FT
IMPERVIOUS AREA:	44,673 SF
LOT COVERAGE:	81.2%
TOTAL PARKING ACCESSIBLE:	34 SPACES / 35 SPACES
MOTORCYCLE:	2 SPACES / 2 SPACES
BICYCLE:	3 SPACES / 5 SPACES

PARKING REQUIRED FOR DRIVE-THRU RESTAURANT IS 8 SPACES / 1,000 SF INDOOR AND 3 SPACES / 1,000 SF OF OUTDOOR SPACE.



**CAUTION!**  
 CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



Site:  
**Montgomery & San Mateo**  
**ALBUQUERQUE, NM 87112**  
**Restaurant #RC852**  
**P4E-V-AV SCHEME A**

**Kimley-Horn**  
 AND ASSOCIATES, INC.  
 13455 Noel Road  
 Two Coloflex Offices Tower  
 Suite 700  
 Dallas, TX 75240  
 CONTACT: LAUREN NUFFER, P.E.  
 972.770.1800  
 LAUREN.NUFFER@KIMLEY-HORN.COM  
 LZ.WILLIAM@KIMLEY-HORN.COM



Professional of Record:  
 Lauren Nuffer, P.E.  
 License No. 10004

**2ND BLDG. RESUBMITTAL**

**REVISIONS:**

11/20/2021	80% REVIEW SET
11/20/2021	1ST BLDG SUBMITTAL
12/20/2021	1ST BLDG RESUBMITTAL
01/17/2022	2ND BLDG RESUBMITTAL

**SITE KEYNOTE PLAN**

Date: 05.10.2022  
 Project Number: 090042000  
 Drawn By: LWLN  
 Sheet Number:

**C5.0**




# PR-2021-005467\_SI-2022-00861\_Site\_Plan\_Aproved\_7-20-22\_Sheet\_1

Final Audit Report


2022-07-26


Created:	2022-07-20
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAABTIXhNnO12ZJSVUBqmTH4tGJhxVWKTi7


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-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)  
2022-07-20 - 10:24:56 PM GMT- IP address: 143.120.132.106
-  Document emailed to jwolfley@cabq.gov for signature  
2022-07-20 - 11:28:58 PM GMT
-  Document emailed to Shahab Biazar (sbiazar@cabq.gov) for signature  
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-  Document emailed to Ernest Amijo (eamijo@cabq.gov) for signature  
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-  Document emailed to Cheryl Somerfeldt (csomerfeldt@cabq.gov) for signature  
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2022-07-21 - 1:32:56 PM GMT- IP address: 143.120.132.81


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2022-07-21 - 2:01:56 PM GMT- IP address: 142.202.67.2


 Signer bcarter@abcwua.org entered name at signing as Blaine Carter  
2022-07-21 - 2:06:06 PM GMT- IP address: 142.202.67.2


 Document e-signed by Blaine Carter (bcarter@abcwua.org)  
Signature Date: 2022-07-21 - 2:06:08 PM GMT - Time Source: server- IP address: 142.202.67.2


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2022-07-26 - 9:11:27 PM GMT- IP address: 143.120.133.169

 Signer jwolfley@cabq.gov entered name at signing as Jolene Wolfley, CABQ Planning  
2022-07-26 - 9:12:13 PM GMT- IP address: 143.120.133.169

 Document e-signed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)  
Signature Date: 2022-07-26 - 9:12:15 PM GMT - Time Source: server- IP address: 143.120.133.169

 Agreement completed.  
2022-07-26 - 9:12:15 PM GMT