



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2021-005467
Application No. SI-2022-00861

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: _____ HEARING DATE OF DEFERRAL: May 18, 2022

SUBMITTAL DESCRIPTION: This submittal address all comments received from the DRB to include:

Updated Plans, Colored Elevations, Sign Package and updated Infrastructure List.

CONTACT NAME: Regina Okoye
505.338.1499 (Ext. 1003)
TELEPHONE: _____ EMAIL: rokoye@modulusarchitects.com



May 11, 2022

To: Jay Rodenbeck
One Albuquerque Planning
jrodenbeck@cabq.gov
505.924.3994

Re: Raising Cane's (4800 Montgomery Blvd NE) PR-2021-005467

Dear Mr. Rodenbeck:

Please find the following responses addressing comments received in a letter dated May 4, 2022 from the One Albuquerque Planning:

Department/Reviewer (Development Review Board)

Comment 1: Signature blocks for DRB members and Solid Waste must be added to the Site

Response 1: Comment addressed, see sheet C5.0 – Site Keynote Plan.

Comment 2: The project and application numbers must be added to the Site Plan

Response 2: Comment addressed in C5.0 Keynote Plan.

Comment 3: Future development must meet all applicable standards and provisions of the IDO and the DPM.

Response 3: Comment Noted.

Comment 4: There is an Infrastructure List included with the application submittal. Therefore, a recorded Infrastructure Improvements Agreement (IIA) must be submitted prior to final sign off from Planning if/once the EPC Final Site Plan Sign Off is approved by the DRB.

Response 4: Comment Noted.

Comment 5: The Infrastructure List must be signed and dated.

Response 5: Resubmitted Infrastructure List has been signed and dated.

Comment 6: Confirmation must be provided that the Building Design requirements of 5-11(E) of the IDO are being met in a comment response letter and/or on the elevations. Staff could not discern that the requirements are being met per the EPC Staff Report, EPC Site Plan Amendment submittal, and the EPC Final Site Plan Sign Off submittal.

Response 6: Refer to the provided compliance letter meeting the Building Design requirement of 5-11(E).

Comment 7: To confirm the requirements of the 5-11 (E) of the IDO are being met, staff request color elevations.

Response 7: Refer to the provided rendered elevations with material finish sheet.

Comment 8: 5-5(l)(2)(a) of the IDO requires a landscape buffer at least 6-feet in width to screen drive-through lanes adjacent to public rights-of-way. The applicant asserts that a portion of the buffer on the northeastern portion of the site adjacent to Montgomery Boulevard cannot meet the 6-foot width requirement, and the buffer is as narrow as 3.6 feet in width. The applicant has applied for a Waiver from this requirement which is scheduled to be heard at the May 18 DRB meeting. **The EPC Final Site Plan Sign Off cannot be approved until/unless the Waiver is approved.**

Response 8: Comment noted.

Department/Reviewer (Water Utility Authority)

Comment 1: Please provide a copy of your project's topographic survey. The proposed sanitary sewer manhole connection is not within our mapping yet appears in the street view image. We would like to add this manhole to our database.

Response 1: Topographic survey has been included in this submittal package.

Comment 2: Revise the irrigation meter to connect directly to the six-inch public water main. We do not allow multiple meters from a single tap.

Response 2: The irrigation meter has been revised as noted.

Comment 3: Note that the fireline connection will be required to be a dry-tap. We do not allow wet-taps for 6-inch services onto 6-inch mains.

Response 3: Comment addressed in the Note 16 in C8.0 Utility Plan.

Comment 4: Infrastructure List:
a) No objections
b) The Water Authority improvements may be constructed via a mini-work order or included in the DRC Work Order.

Response 4: Comment Noted.

Comment 5: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. Easements for standard sized water meters need to be 5'x5' and include the length of the water service if located on private property.

Response 5: Comment addressed in C8.0 Utility Plan.

Comment 6: Information Only
a) Availability Statement #220303 has been issued and provides the conditions for service. Routine connections are available
b) This project is within the adopted service area
c) Pro rata is not owed for this property.

Response 5: Comment Noted.

Department/Reviewer (Parks & Recreation)

No Comments.

Department/Reviewer (Code Enforcement)

Comment 1: As noted on Amended Site Plan, development must follow the approved EPC Plan; where silent, relevant IDO sections will apply.

Response 1: Comment Noted.

Comment 2: Follow IDO section 5-8 Outdoor and Site Lighting (not specified on plan)

Response 2: Comment noted, the proposed lighting submittal is included for reference.

Comment 3: Follow IDO section 5-12 for Signs, both Freestanding and Wall signs, even if painted on building, must meet percent of façade requirements (15% for MX-M zone).

Response 3: Refer to the provided compliance letter meeting the Building Design requirement of 5-12.

Comment 4: Freestanding Pylon Sign must be located at least 3 feet from property line (not indicated on site plan), as per IDO section 5-1(G), Table 5-1-4.

Response 4: Comment addressed in sheet C5.1 - Dimensional Control Plan.

Department/Reviewer (Transportation Development)

Comment 1: Platting action shall be approved prior to site plan approval. Establish shared access as part of plating action

Response 1: Comment noted. Easements will be finalized during the platting process.

Comment 2: On the infrastructure list, "Montgomery" is misspelled. Also, call out width and length of lane extensions and additions per the Traffic Impact Study

Response 2: The street name has been corrected and width and length of right-turn lane extension has been added. Refer to the Infrastructure List.

Comment 3: On separate sheet, show queue for the drive-thru at 20-foot lengths.

Response 3: Comment noted, see sheet C5.0 – Site Keynote Plan.

Comment 4: Use exact detail for graphics of ramps on site plan. Specify header curb, minimum landing area, etc.

Response 4: Comment noted. All ramps have been called out with City of Albuquerque ramp details.

Comment 5: At least one 8-foot-wide van accessible aisle is needed for the handicapped spaces.

Response 5: Comment addressed. Updates can be found in sheet C5.1 Dimensional Control Plan

Comment 6: Include motorcycle parking sign as part of the detail sheet. The curb pick-up sign is illegible.

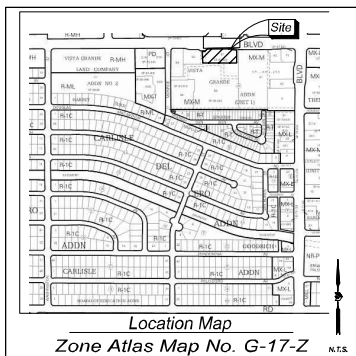
Response 6: Motorcycle Parking Only sign has been added and the Mobile Curbside Pick-Up sign has been altered, see sheet C5.2 – Striping and Signage Plan.

Comment 7: Detail on-site parking striping. Specify color, spacing of diagonal striping, etc.

Response 7: Comment addressed on sheet 5.2 – Striping and Signage Plan

Comment 8: Show clear sight triangles along with the standard note on landscape height restrictions. Use intersection clear sight distance along Montgomery Blvd. Specify on both site plan and landscaping plan

Response 8: Comment noted, see sheet C5.0 – Site Keynote Plan.



Zoning Data
 NUMBER OF STRIPED PARKING SPACES:
 REGULAR = 79
 HANDICAPPED = 4
 TOTAL = 83



Flood Note
 BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS IN ZONES "AO" AND "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 3000303003, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 08, 2009 AND IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING HAS BEEN PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

Notes Corresponding to Schedule B-II

PER OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT NO 21031117X202138704 DATED 05/04/2021

- SD# B-II DESCRIPTION
- ITEM NO. [] RESERVATIONS CONTAINED IN PATENT FROM UNITED STATES OF AMERICA RECORDED IN BOOK 64, PAGE 565, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS PARCELS 1 & 4, NOT PLOTTABLE.
- [60] COVENANTS, CONDITIONS, RESTRICTIONS, TERMS, PROVISIONS, ASSESSMENTS, LIENS, LEASES AND EASEMENTS IN BOOK MISC. 573, PAGE 676 AS DOCUMENT NO. 177-74438, AND IN BOOK MISC. 883, PAGE 808 AS DOCUMENT NO. 81-62036, AND IN SPECIAL WARRANTY DEED RECORDED OCTOBER 14, 1987 IN BOOK MISC. PAGE 8153 AS DOCUMENT NO. 177-74438, AND IN RECORDS OF BERNALILLO COUNTY, NEW MEXICO, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C), AFFECTS PARCELS 1 & 4 AND NOT PLOTTABLE.
- [1] EASEMENT(S) RESERVED ADDRESS THE INVOLVED LAND, AS SHOWN ON THE RECORDED PLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 23, 1981, IN PLAT BOOK C19, FOLIO 27, AFFECTS PARCEL 1, AS PLOTTED.
- [2] EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO, FILED NOVEMBER 16, 1977, RECORDED IN BOOK MISC. 571, PAGE 345 AS DOCUMENT NO. 771-7541, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS PARCEL 1, AS PLOTTED.
- [3] EASEMENT GRANTED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, FILED DECEMBER 17, 1981, RECORDED IN BOOK MISC. 497, PAGE 349 AS DOCUMENT NO. 81-65300, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS PARCEL 1, AS PLOTTED.
- [4] UNDERGROUND EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, FILED FEBRUARY 16, 1982, RECORDED IN BOOK MISC. 910, PAGE 155 AS DOCUMENT NO.82-8151, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS PARCEL 1, AS PLOTTED.
- [5] UNDERGROUND EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, FILED FEBRUARY 16, 1982, RECORDED IN BOOK MISC. 910, PAGE 155 AS DOCUMENT NO.82-8151, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. INTEREST OF PUBLIC SERVICE COMPANY OF NEW MEXICO HAVING BEEN AMENDED BY WAIVER AND RELEASE OF EASEMENT FILED NOVEMBER 8, 2004, RECORDED IN BOOK 466, PAGE 3609 AS DOCUMENT NO. 2004156040, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS PARCEL 1, AS PLOTTED.
- [6] UNDERGROUND EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, FILED JUNE 9, 1982, RECORDED IN BOOK MISC. 21-A, PAGE 502, AS DOCUMENT NO. 83-2313, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. INTEREST OF PUBLIC SERVICE COMPANY OF NEW MEXICO HAVING BEEN AMENDED BY WAIVER AND RELEASE OF EASEMENT FILED NOVEMBER 8, 2004, RECORDED IN BOOK 466, PAGE 3609 AS DOCUMENT NO. 2004156036, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS PARCEL 1, AS PLOTTED.
- [7] PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT ENCROACHMENT AGREEMENT RECORDED JULY 26, 1982 IN BOOK MISC. OF 237330, AS DOCUMENT NO. 83-3897, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS PARCEL 1, AS PLOTTED.
- [8] PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT ENCROACHMENT AGREEMENT RECORDED JULY 26, 1982 IN BOOK MISC. OF 237330, AS DOCUMENT NO. 83-3897, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS PARCEL 1, AS PLOTTED.
- [9] AGREEMENT BETWEEN FLEMING AND MONTGOMERY AND VISTA GRANDE PARTNERSHIP, A NEW MEXICO GENERAL PARTNERSHIP, RECORDED OCTOBER 30, 1985 IN BOOK MISC. 285-A, PAGE 184 AS DOCUMENT NO. 85-9126, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS TRACTS B-1, B-2 & B-8.
- [20] SHARED PARKING AGREEMENT FILED DECEMBER 17, 2003, RECORDED IN BOOK 466, PAGE 3686 AS DOCUMENT NO. 2003218108, RE-RECORDED DECEMBER 17, 2003, IN BOOK 476, PAGE 3301 AS DOCUMENT NO. 2003233508, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS PARCELS 1 AND 4 AND NOT PLOTTABLE.
- [21] RATIFICATION OF SHARED PARKING AGREEMENT FILED DECEMBER 17, 2003, RECORDED IN BOOK 476, PAGE 3676 AS DOCUMENT NO. 2003233513, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS PARCELS 1 AND 4 AND NOT PLOTTABLE.
- [22] UNDERGROUND EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO, FILED NOVEMBER 9, 2004, RECORDED IN BOOK 466, PAGE 3607 AS DOCUMENT NO. 200419038, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS PARCEL 1, AS PLOTTED.
- [23] PERMANENT EASEMENT FILED AUGUST 27, 2014, AS DOCUMENT NO. 2014067544, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS PARCEL 1, AS PLOTTED.
24. INTENTIONALLY OMITTED.
25. INTENTIONALLY OMITTED.
- [26] NOTICE OF NON-EXERCISE OF FIRST RIGHT OF REFUSAL, AS SET FORTH ON DOCUMENT RECORDED DECEMBER 8, 20111182, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS PARCEL 1 AND NOT PLOTTABLE.
- [27] UNRECORDED LEASE BETWEEN ION FUNDING 2001-A, L.P., A DELAWARE LIMITED PARTNERSHIP, AS LESSOR AND ORACLE INVESTMENTS, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY, AS LESSEE, DATED JUNE 26, 2004, AS AMENDED.

Key Note Legend

- AFFECTS SUBJECT PROPERTY: AS SHOWN
- AFFECTS SUBJECT PROPERTY: NON-SURVEY WATER
- △ DOES NOT AFFECT SUBJECT PROPERTY

Notes

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION OF ABOVE GROUND APPEARANCES AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA. EXCEPT FOR THE UTILITIES SHOWN ON THIS SURVEY, THE LOCATION OF ALL UTILITIES IN THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS INDICATED AND POSITIVE AS THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
2. NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
3. NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION, NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
4. NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN NOTATED TO MATCH BOUND BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.
6. ELEVATION DATUM IS BASED ON NAD83 FROM ADGNS MONUMENT "T...18", PUBLISHED ELEVATION (FEET) = 5212.228
7. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT HAVE BEEN DEMONSTRATED TO PRODUCE DATA THAT MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR A TOPOGRAPHIC MAP COMPILED AT A SCALE OF 1"=20' WITH A CONTOUR INTERVAL OF ONE FOOT.

Statement of Encroachments

△ APPARENT ENCROACHMENT OF COMMERCIAL BUILDING ONTO PNM & WEST 1 EASEMENT

COORDINATE AND DIMENSION INFORMATION			PLSS INFORMATION		PROPERTY INFORMATION	
PROJ. CODE	PROJ. COORDINATES	FEET STANDARD	LAND GRANT	RANGE	MERIDIAN	PROPERTY OWNER
NM-C	NAD83	1.00000000	N/A	03 EAST	NMPM	TRACORP 4800 MONTGOMERY LLC
ALBUQUERQUE GEODETIC REFERENCE SYSTEM GRID TO GROUND: 1.00026869 GROUND TO GRID: 0.99968924			SECTION 2	TOWNSHIP 10 NORTH	MEMBER NMPM	SUBMERIDIAN NAME MESA GRANDE, UNIT 1
STATE OF NEW MEXICO COUNTY OF BERNALILLO CITY OF ALBUQUERQUE			COUNTY	BERNALILLO	STATE	NM
URS 10716044751711803 ADDRESS 4800 MONTGOMERY BLVD., N.E.						

Legal Description Per Field Survey

PARCEL 1
 A TRACT OF LAND LYING AND SITUATE WITHIN SECTION 2, TOWNSHIP 10 NORTH RANGE 3 EAST, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT B-1, BLOCK A, VISTA GRANDE ADDITION, UNIT 1, AS THE SAME IS SHOWN AND DESCRIBED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON NOVEMBER 23, 1981 IN MAP BOOK C19, PAGE 27, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;
 THENCE S 00° 19' 16" E, 374.00 FEET;
 THENCE S 89° 41' 00" W, 374.00 FEET;
 THENCE N 00° 19' 00" W, 125.00 FEET;
 THENCE N 89° 41' 00" E, 27.50 FEET;
 THENCE N 44° 41' 00" E, 35.36 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF MONTGOMERY BLVD., N.E.;
 THENCE ALONG SAID RIGHT-OF-WAY LINE N 89° 41' 00" E, 237.50 FEET;
 THENCE 42.57 FEET ALONG A CURVE TO THE RIGHT, WHOSE RADIUS IS 150.00 FEET AND WHOSE LONG CHORD BEARS S 89° 11' 12" E, 42.43 FEET THROUGH A CENTRAL ANGLE OF 16° 15' 37"; THENCE 42.57 FEET ALONG A CURVE TO THE LEFT WHOSE RADIUS IS 150.00 FEET AND WHOSE LONG CHORD BEARS S 82° 11' 12" E, 42.43 FEET THROUGH A CENTRAL ANGLE OF 16° 15' 37" TO THE NORTHEAST CORNER OF DESCRIBED TRACT, MARKED BY A FOUND NAIL WITH WASHER (ELEVATION 5212.228);
 THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE, N 45° 07' 17" E, A DISTANCE OF 35.32 FEET TO AN ANGLE POINT, MARKED BY A FOUND NO. 4 REBAR;
 THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE, N 89° 06' 16" E, A DISTANCE OF 237.50 FEET TO A POINT OF CURVATURE, MARKED BY A FOUND NO. 5 REBAR;
 THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 42.71 FEET, A RADIUS OF 150.00 FEET, A DELTA ANGLE OF 16° 15' 37", A CHORD BEARING OF S 83° 13' 20" E, AND A CHORD LENGTH OF 42.44 FEET TO A POINT OF REVERSE CURVATURE, MARKED BY A SET NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11813";
 THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE, ALONG A REVERSE CURVE TO THE LEFT, HAVING AN ARC LENGTH OF 42.69 FEET, A RADIUS OF 150.00 FEET, A DELTA ANGLE OF 16° 15' 37", A CHORD BEARING OF S 80° 34' 11" E, AND A CHORD LENGTH OF 42.44 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT, MARKED BY A FOUND PINK NAIL WITH WASHER (ELEVATION 5212.228);
 THENCE S 89° 28' 42" W, A DISTANCE OF 373.88 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A FOUND PINK NAIL WITH WASHER (ELEVATION 5212.228);
 THENCE S 00° 19' 16" W, A DISTANCE OF 127.44 FEET TO THE POINT OF BEGINNING, CONTAINING 1.0632 ACRES (55,027 SQUARE FEET), MORE OR LESS.

PARCEL 4
 TOGETHER WITH NON-EXCLUSIVE RIGHTS OF EASEMENT UNDER AND IN ACCORD WITH THE DECLARATION OF RESTRICTIONS AND GRANT OF EASEMENTS RECORDED NOVEMBER 30, 1977 IN BOOK MISC. 573, PAGE 376 AS DOCUMENT NO. 77-74438 AND THAT CERTAIN SPECIAL COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED NOVEMBER 25, 1981 IN BOOK MISC. 883, PAGE 808 AS DOCUMENT NO. 81-62036, AND SHARED PARKING AGREEMENT FILED DECEMBER 9, 2003, RECORDED IN BOOK 466, PAGE 3686 AS DOCUMENT NO. 2003218108, RE-RECORDED DECEMBER 17, 2003, IN BOOK 476, PAGE 3301 AS DOCUMENT NO. 2003233508, AND RATIFICATION OF SHARED PARKING AGREEMENT FILED DECEMBER 17, 2003, RECORDED IN BOOK 476, PAGE 3676 AS DOCUMENT NO. 2003233513, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OF AND ONLY FOR THE DURATION AS PROVIDED FOR THEREIN.

ALTA/NSPS Land Title Survey

Tract B-1, Block 1,
 Vista Grande Addition, Unit 1
 Albuquerque, Bernalillo County, New Mexico
 January 2022

Legal Description Per Title Commitment

A TRACT OF LAND BEING A PORTION OF TRACT B-1 OF THE AMENDED PLAT OF TRACTS B-1 & B-2, BLOCK A, VISTA GRANDE ADDITION, UNIT ONE, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESCRIBED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON NOVEMBER 23, 1981 IN VOLUME C19, FOLIO 27, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;
 THENCE S 00° 19' 16" E, 374.00 FEET;
 THENCE S 89° 41' 00" W, 374.00 FEET;
 THENCE N 00° 19' 00" W, 125.00 FEET;
 THENCE N 89° 41' 00" E, 27.50 FEET;
 THENCE N 44° 41' 00" E, 35.36 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF MONTGOMERY BLVD., N.E.;
 THENCE ALONG SAID RIGHT-OF-WAY LINE N 89° 41' 00" E, 237.50 FEET;
 THENCE 42.57 FEET ALONG A CURVE TO THE RIGHT, WHOSE RADIUS IS 150.00 FEET AND WHOSE LONG CHORD BEARS S 89° 11' 12" E, 42.43 FEET THROUGH A CENTRAL ANGLE OF 16° 15' 37"; THENCE 42.57 FEET ALONG A CURVE TO THE LEFT WHOSE RADIUS IS 150.00 FEET AND WHOSE LONG CHORD BEARS S 82° 11' 12" E, 42.43 FEET THROUGH A CENTRAL ANGLE OF 16° 15' 37" TO THE NORTHEAST CORNER OF DESCRIBED TRACT, MARKED BY A FOUND NAIL WITH WASHER (ELEVATION 5212.228);
 THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE, N 45° 07' 17" E, A DISTANCE OF 35.32 FEET TO AN ANGLE POINT, MARKED BY A FOUND NO. 4 REBAR;
 THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE, N 89° 06' 16" E, A DISTANCE OF 237.50 FEET TO A POINT OF CURVATURE, MARKED BY A FOUND NO. 5 REBAR;
 THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 42.71 FEET, A RADIUS OF 150.00 FEET, A DELTA ANGLE OF 16° 15' 37", A CHORD BEARING OF S 83° 13' 20" E, AND A CHORD LENGTH OF 42.44 FEET TO A POINT OF REVERSE CURVATURE, MARKED BY A SET NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11813";
 THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE, ALONG A REVERSE CURVE TO THE LEFT, HAVING AN ARC LENGTH OF 42.69 FEET, A RADIUS OF 150.00 FEET, A DELTA ANGLE OF 16° 15' 37", A CHORD BEARING OF S 80° 34' 11" E, AND A CHORD LENGTH OF 42.44 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT, MARKED BY A FOUND NO. 5 REBAR;
 THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, S 00° 19' 16" E, A DISTANCE OF 127.44 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A FOUND PINK NAIL WITH WASHER (ELEVATION 5212.228);
 THENCE S 89° 28' 42" W, A DISTANCE OF 373.88 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A FOUND PINK NAIL WITH WASHER (ELEVATION 5212.228);
 THENCE S 00° 19' 16" W, A DISTANCE OF 127.44 FEET TO THE POINT OF BEGINNING, CONTAINING 1.0632 ACRES (55,027 SQUARE FEET), MORE OR LESS.

Property Information Per County Assessor

LINE # 10716044751711803
 OWNER: TRACORP AND MONTGOMERY LLC
 PROPERTY ADDRESS: 4800 MONTGOMERY BLVD., N.E.

Access Note

ACCESS AND EGRESS TO THE PREMISES IS PROVIDED BY MONTGOMERY BOULEVARD, N.E., THE SAME BEING A PAVED AND DEDICATED RIGHT OF WAY MAINTAINED BY THE CITY OF ALBUQUERQUE.

Surveyor's Certificate

TO RAISING CAJON'S RESTAURANTS, L.L.C., A LOUISIANA LIMITED LIABILITY COMPANY, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND TRACORP 4800 MONTGOMERY LLC, AN ARIZONA LIMITED LIABILITY COMPANY, AS FOLLOWS:
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 8, 9, 11(a), 13 AND 16 OF TABLE A REQUIRING THE FIELDWORK WAS COMPLETED ON AUGUST 8, 2021.
 DATE OF PLAT OR MAP: JANUARY 3, 2022

I, FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARD REQUIREMENTS FOR BOUNDARY SURVEYS AS ADOPTED BY THE NEW MEXICO BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS.

TOPOGRAPHY BY FIELD SURVEYS USING GPS WITH MEASUREMENTS BASED ON ALBUQUERQUE GEODETIC REFERENCE SYSTEM (AGRS) MONUMENTS, ELEVATIONS BASED ON ADGNS MONUMENT "T...18" (NAD 1983). THIS SURVEY MEETS THE MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND SURVEYORS.

Ray Madano
 LARRY N. MEDRANO
 N.M.P.S. No. 11993
 DATE: 2022.01.03 10:45:55-37:107
 REASON: I attest to the accuracy and integrity of this document.

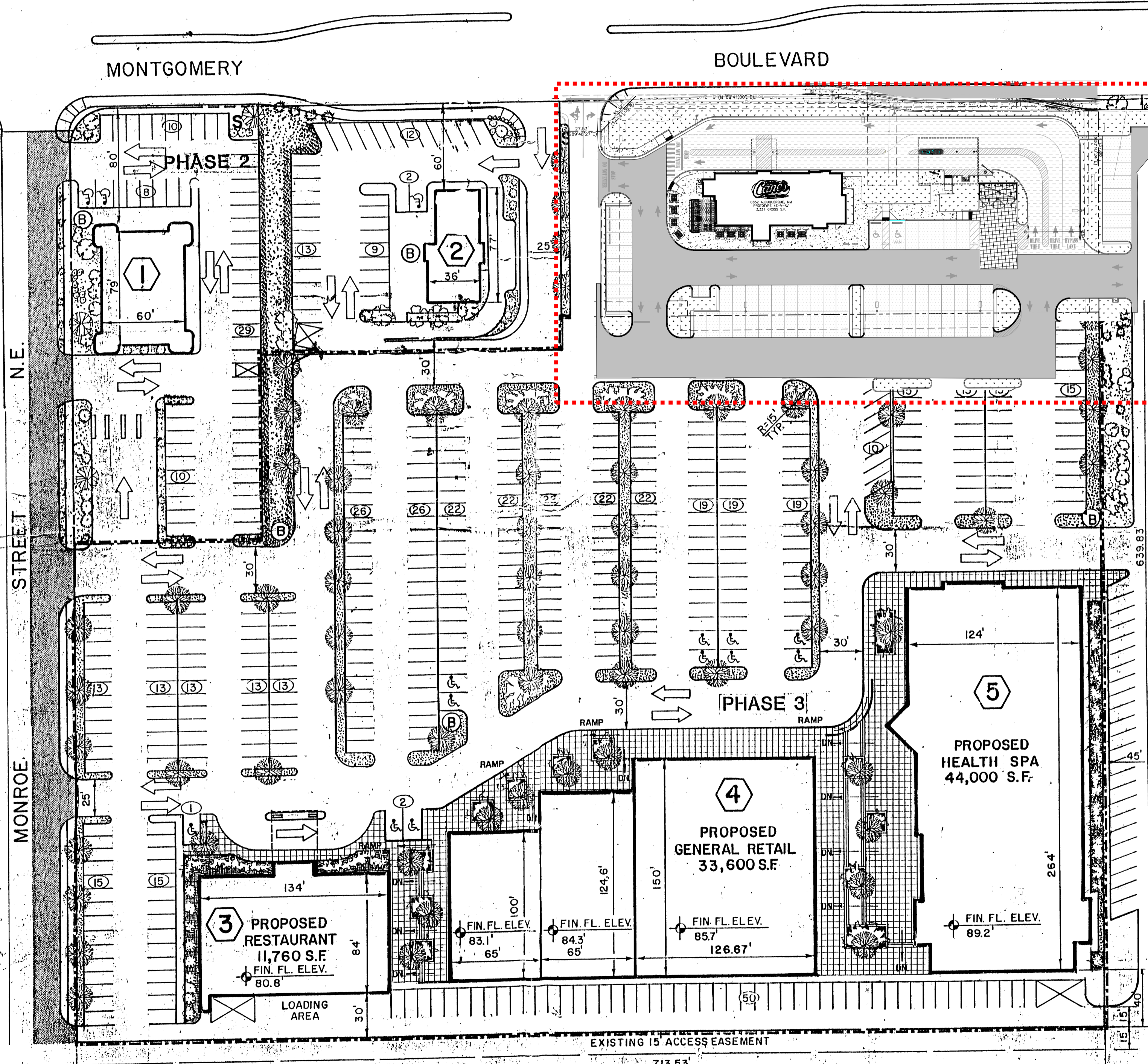


PRECISION SURVEY, INC.		PROJECT INFORMATION	
8000 San Mateo Blvd., Suite 404, NE Albuquerque, NM 87109 505.261.7800 www.precision-survey.com	PROJECT: 2022-001 DATE: 2022-01-03	CLIENT: TRACORP DRAWN BY: J.M. CHECKED BY: J.M. PLS JOB NO: 10716044751711803	DATE OF SURVEY: 01/03/2022 SHEET NUMBER: 1 OF 2

**SITE PLAN EPC MAJOR AMENDMENT
TRACT B-1, APRIL 2022**

PROJECT DESCRIPTION
ALL EXISTING IMPROVEMENTS ONSITE, INCLUDING ROCK & BREWS BUILDING, ASPHALT DRIVE AISLES AND PARKING STALLS, CURBING, AND UTILITIES SERVING THE EXISTING BUILDING WILL BE DEMOLISHED. A NEW BUILDING WITH ASSOCIATED ASPHALT DRIVE AISLES AND PARKING STALLS, CURBING, AND UTILITY SERVICES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE INTEGRATED DEVELOPMENT ORDINANCE (IDO) RULES AND REGULATIONS, AS DETAILED IN THIS EPC MAJOR AMENDMENT SUBMITTAL.

VISTA GRANDE SHOPPING CENTER



PHASE - 1
BUILDING 6
PROPOSED RAISING CANES RESTAURANT
3675 SF
144 SEATS
65 PARKING SPACES

PHASE - 2
BUILDING 1
BANK
(Proposed - SUN COUNTRY SAVINGS AND LOAN)
3 STORIES
16,500 S.F. GROSS
15,000 S.F. NET

PHASE - 3
BUILDING 3
RESTAURANT
11,760 S.F.
300 SEATS

BUILDING 4
RETAIL
33,600 S.F. GROSS
30,240 S.F. NET

BUILDING 5
HEALTH SPA
32,000 S.F. GROUND FLOOR
12,000 S.F. SECOND FLOOR
44,000 S.F. GROSS
39,600 S.F. NET

NOTES
Landscaping In Phase 1 Is Existing.
Landscaping For Phase 2 Is Assumed Owner Of Property Will Submit Plan With Application For Building Permit

BUILDING 2
RESTAURANT
(Existing - BURGER KING)
2,220 S.F.
80 SEATS

PHASE - 3
GROSS BUILDING AREA OTHER REQUIRED DEVELOPMENTS
89,360 S.F.

NET BUILDING AREA
80,424 S.F.

PARKING SPACES
TOTAL PROVIDED: —
NUMBER REQUIRED: — 307
Handicapped — 9
Small Car — 88
Standard — 338

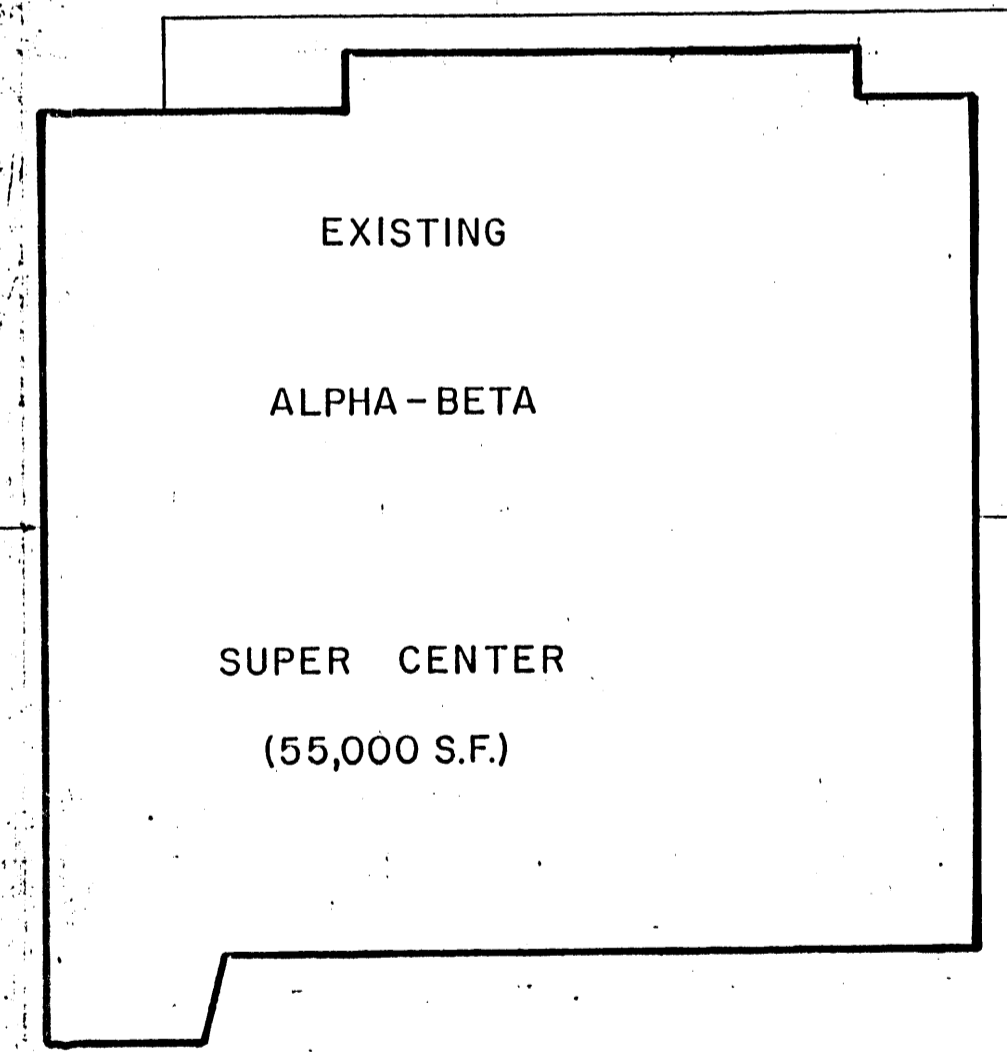
The following improvements will be completed before a Certificate of Occupancy is requested for buildings 1, 3, 4, or 5.
1. Monroe Street: 4' wide sidewalks, curb and gutter, residential paving of the east half to centerline, and 4' wide temporary paving west of the centerline.
2. Access Easement along the south property line: a minimum of 24' wide paving from Monroe St. east to east property line.

PROJECT NUMBER: PR-2021-005467
Application Number: SI-2022-00861

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [] and the Findings and Conditions in the Official Notification of Decision are satisfied. []
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DBR SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABC/WJIA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Environmental Health, if necessary	Date



- LEGEND**
- (B) BIKE RACK
 - (X) TRASH RACK
 - (S) TRAFFIC FLOW
 - (S) FREE STANDING SIGN
 - (HC) HC PARKING
 - (L) LANDSCAPE AREA
 - (D) DRIVE UP TELLER
 - (I) EXISTING IMPROVEMENTS
 - (O) NUMBER OF PARKING SPACES

APPROVAL OF PHASE II ONLY OF THE DEVELOPMENT PLAN APPROVED BY THE EPC JUNE 18, 1981

PLANNING DEPARTMENT DATE 2/18/84
WATER RESOURCES DEPT. DATE 2/18/84
PARK & RECREATION DEPT. DATE 2/21/84
CITY ENGINEERING DIVISION DATE 2/24/84
TRAFFIC DIVISION DATE 2/24/84

LEGAL DESCRIPTION
TRACT B-5
BLOCK A
VISTA GRANDE ADDITION UNIT I

TOTAL LAND AREA
9.1897 ACRES
ZONED: C-2

SITE DEVELOPMENT PLAN

SCALE: 1" = 50'-0"

Owner: LINCOLN ROAD, LTD.
Developer: MURILLO DEVELOPMENTS LTD.
Engineer / Architect: LEEDSHILL - HERKENHOFF, INC.

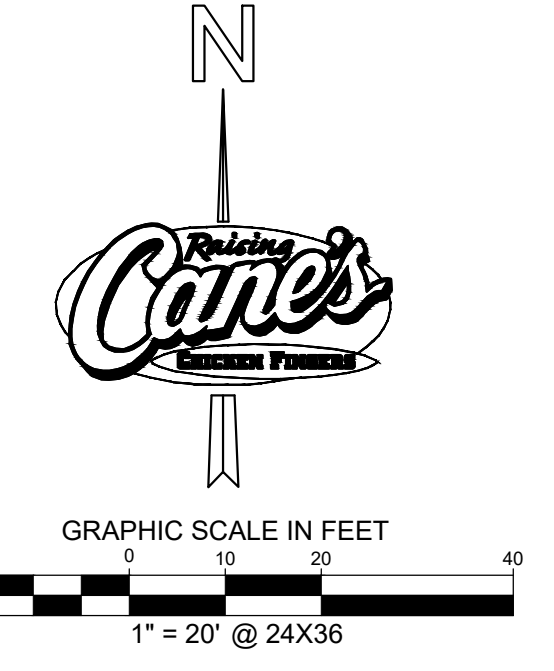
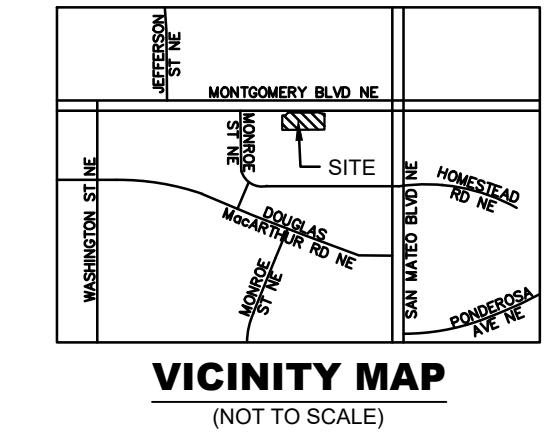
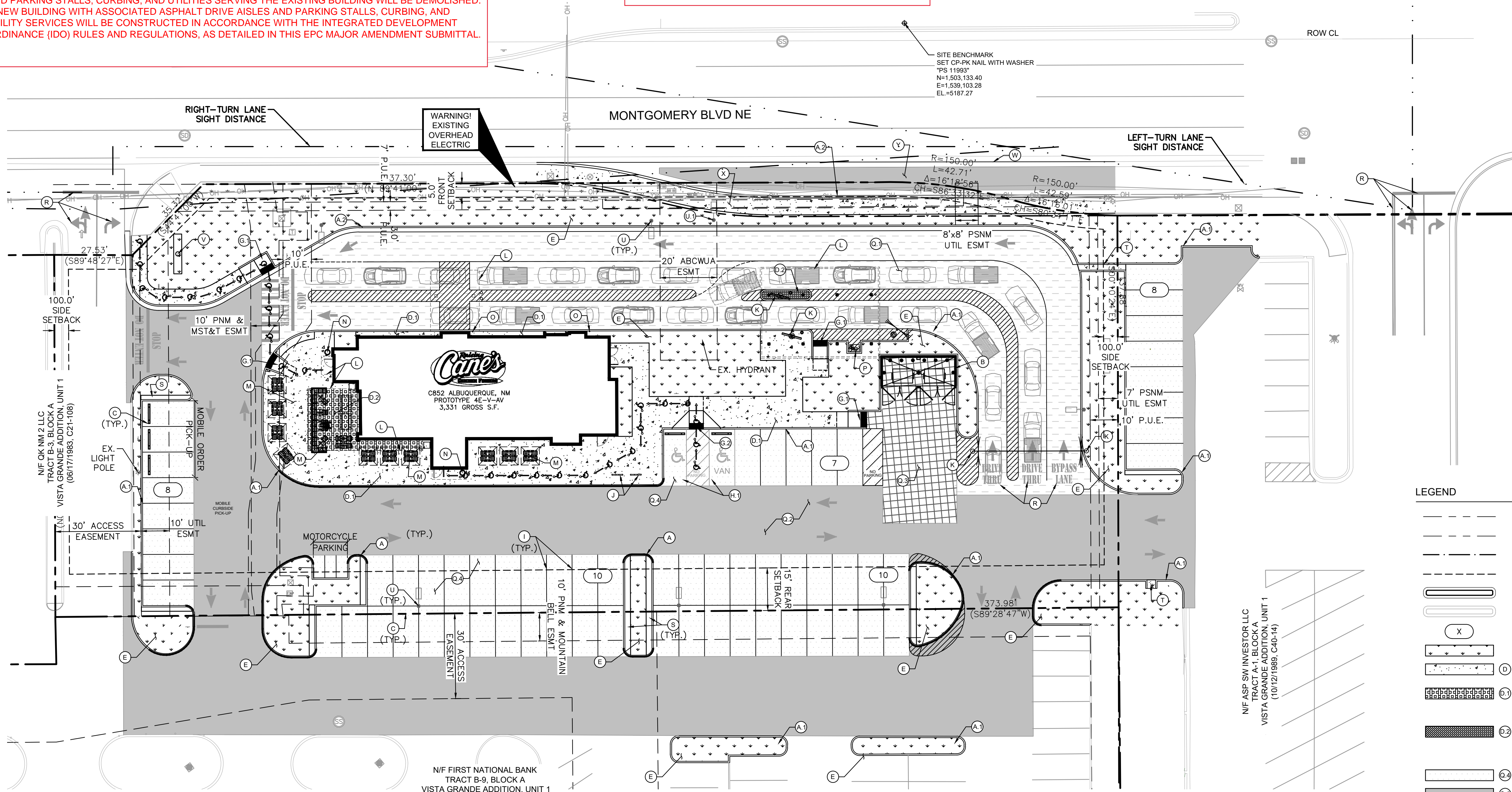
DATE: April 20, 1983
REVISED: May 20, 1983
REVISED: SEPT. 2, 1983
REVISED: SEPT. 30, 1983
REVISED: DECEMBER 2, 1983



Z-73-13-2

PROJECT DESCRIPTION
 ALL EXISTING IMPROVEMENTS ONSITE, INCLUDING ROCK & BREWS BUILDING, ASPHALT DRIVE AISLES AND PARKING STALLS, CURBING, AND UTILITIES SERVING THE EXISTING BUILDING WILL BE DEMOLISHED. A NEW BUILDING WITH ASSOCIATED ASPHALT DRIVE AISLES AND PARKING STALLS, CURBING, AND UTILITY SERVICES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE INTEGRATED DEVELOPMENT ORDINANCE (IDO) RULES AND REGULATIONS, AS DETAILED IN THIS EPC MAJOR AMENDMENT SUBMITTAL.

DRB MAJOR AMENDMENT, MAY 2022



LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - EASEMENT/SETBACK
- - - PROPOSED SAWCUT
- ▬ PROPOSED CONCRETE CURB
- ▬ EXISTING CURB
- (X) PROPOSED PARKING COUNT
- ▬ PROPOSED LANDSCAPE AREA
- ▬ CONCRETE SIDEWALK
- ▬ COVERED PATIO INTEGRAL COLOR SMOKESTACK 102 - 5LB
- ▬ PAVERS AT CENTER MENU ISLAND UNDER CANOPY BELGARD HOLLAND STONE, LEGACY PAVERS IN HERRINGBONE/BASKETWEAVE PATTERN CHARCOAL OR SIMILAR GRAY COLOR SEE DETAIL SHEET C9.0
- ▬ LIGHT DUTY ASPHALT PAVEMENT
- ▬ MEDIUM DUTY ASPHALT PAVEMENT
- ▬ INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) STANDARD DUTY CONCRETE PAVEMENT
- ▬ HEAVY DUTY CONCRETE PAVEMENT
- ▬ ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)

KEYNOTE LEGEND

(A)	CONSTRUCT 6" TYPE 1 PINNED CURB, REFER TO CITY OF ALBUQUERQUE CONSTRUCTION DETAILS ON SHEET C10.0
(A2)	CONSTRUCT 6" STANDARD CURB & GUTTER, REFER TO CITY OF ALBUQUERQUE CONSTRUCTION DETAILS ON SHEET C10.0
(B)	RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY
(C)	WHEEL STOPS, SEE DETAIL ON SHEET C9.0
(D)	PRIVATE CONCRETE SIDEWALK, SEE DETAIL ON SHEET C9.0
(D2)	COVERED PATIO INTEGRAL COLOR SMOKESTACK 102 - 5LB
(D3)	PAVERS IN MENU ISLAND: BELGARD HOLLAND STONE, LEGACY PAVERS IN HERRINGBONE/BASKETWEAVE PATTERN CHARCOAL OR SIMILAR GRAY COLOR SEE LANDSCAPE FOR INSTALLATION DETAIL
(E)	LANDSCAPE AREA, REFER TO LANDSCAPE PLANS
(E2)	BARRIER FREE RAMP, SEE DETAIL ON SHEET C9.0
(E3)	SIDEWALK RAMP AND DETECTABLE WARNING SYSTEM PER CITY OF ALBUQUERQUE STANDARD DWG 2442 (DETAIL A)
(H)	ACCESSIBLE PARKING STALL
(I)	PAVEMENT STRIPING, REFER TO SHEET C5.2
(J)	BICYCLE RACK PARKING RACK, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(K)	DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(L)	CANOPY, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(M)	PROPOSED PATIO, REFER TO ARCHITECTURAL PLANS FOR SEATING AND SPACING LAYOUT

(N)	PROPOSED TRASH CAN, REFER TO ARCHITECTURAL SITE DETAILS
(O)	BOLLARD IN CURB, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(P)	HAND WASH STATION, REFER TO ARCHITECTURAL PLANS FOR DETAIL
(P2)	INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) STANDARD DUTY CONCRETE PAVEMENT, SEE DETAIL ON SHEET C9.0
(P3)	MEDIUM DUTY ASPHALT PAVEMENT, SEE DETAIL ON SHEET C9.0
(P4)	HEAVY DUTY CONCRETE PAVEMENT, SEE DETAIL ON SHEET C9.0
(P5)	LIGHT DUTY ASPHALT PAVEMENT, SEE DETAIL ON SHEET C9.0
(R)	DIRECTIONAL PAVEMENT MARKING, REFER TO SHEET C5.2
(S)	CONCRETE SIDEWALK, 2.5' WIDTH ADJACENT TO PARKING SPACES
(T)	CONCRETE FLUME
(U)	PROPOSED SITE LIGHTING, REFER TO ELECTRICAL PLANS FOR DETAIL
(U2)	RELOCATED STREET LIGHTING
(V)	RAISING CANE'S PYLON SIGN TO BE DESIGNED BY OTHERS
(W)	EXTEND EXISTING VALLEY GUTTER PER CITY OF ALBUQUERQUE STANDARD DWG 2420
(X)	PUBLIC CONCRETE CURB TYPE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DWG 2430
(Y)	ASPHALT PAVEMENT PER CITY OF ALBUQUERQUE STANDARD DWG 2405B

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- EXISTING STRUCTURES AND OR UTILITIES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC. DATED FEBRUARY 2021.
- ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY OF ALBUQUERQUE STANDARDS.
- PER FEMA MAP NUMBER 35001C0139G DATED SEPTEMBER 26, 2008, THIS SITE IS NOT WITHIN A FLOODPLAIN, BUT IS ADJACENT TO FLOOD ZONE AO
- BUILDING IS FIRE SPRINKLED.
- CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT IS NOT TO BE HELD LIABLE FOR ANY DAMAGE TO THE ASPHALT PAVEMENT.

COORDINATE AND DIMENSION INFORMATION

STATE PLANE ZONE: NM-C
 GRID/GROUND COORDINATES: NAD83
 TYPE: NAVD83
 HORIZONTAL DATUM: 0°00'00.00"
 VERTICAL DATUM: YES
 ROTATION ANGLE: ALBUQUERQUE GEODETIC
 MATCHES DRAWING UNITS: YES
 CONTROL USED: ALBUQUERQUE GEODETIC
 REFERENCE SYSTEM: YES
 COMBINED SCALE FACTOR: GRID TO GROUND: 1.000348716
 GROUND TO GRID: 0.999651406
 DISTANCE ANNOTATION: GRID
 BEARING ANNOTATION: GRID
 BASE POINT FOR SCALING AND/OR ROTATION: N=0
 E=0
 ±0.00'
 ELEVATION TRANSLATION: GRID
 ELEVATIONS VALID: YES

PROJECT NUMBER: PR-2021-005467

Application Number: SI-2022-00861

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

PARKING / SITE DATA PER IDO

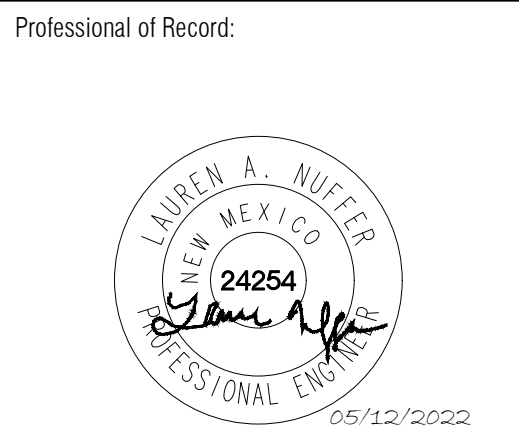
TRACT B-1 VISTA GRANDE SUBDIVISION	
EXISTING ZONING	MIXED USE (MX-M)
PROPOSED USE	RESTAURANT W/ DRIVE-THRU
LOT AREA	55,027 SF / 1.26 AC
BUILDING AREA	3,331 SF
FINISHED FLOOR ELEVATION	5,187.71 FT
IMPERVIOUS AREA	44,679 SF
LOT COVERAGE	81.2%
TOTAL PARKING	REQUIRED 34 SPACES PROVIDED 35 SPACES
ACCESSIBLE	2 SPACES 2 SPACES
MOTORCYCLE	2 SPACES 3 SPACES
BICYCLE	3 SPACES 5 SPACES

PARKING REQUIRED FOR DRIVE-THRU RESTAURANT IS 8 SPACES / 1,000 SF INDOOR AND 3 SPACES / 1,000 SF OF OUTDOOR SPACE.



Store:
Montgomery & San Mateo
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A

Engineer's Information:
Kimley»Horn
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 13455 Noel Road
 Two Galleria Office Tower
 Suite 700
 Dallas, TX 75240
 CONTACT: LAUREN NUFFER, P.E.
 (972) 770-1300
 LAUREN.NUFFER@KIMLEY-HORN.COM
 LIZ.WILLMOT, P.E.
 LIZ.WILLMOT@KIMLEY-HORN.COM



Prototype : P4E-V-AV 2021 - 2.0 RELEASE
 Prototype Issue Date: 10.04.2021
 Kitchen Issue Date: 08.02.2021
 Design Bulletin Updates: --
 Date Issued: Bulletin Number: --

2ND BLDG. RESUBMITTAL

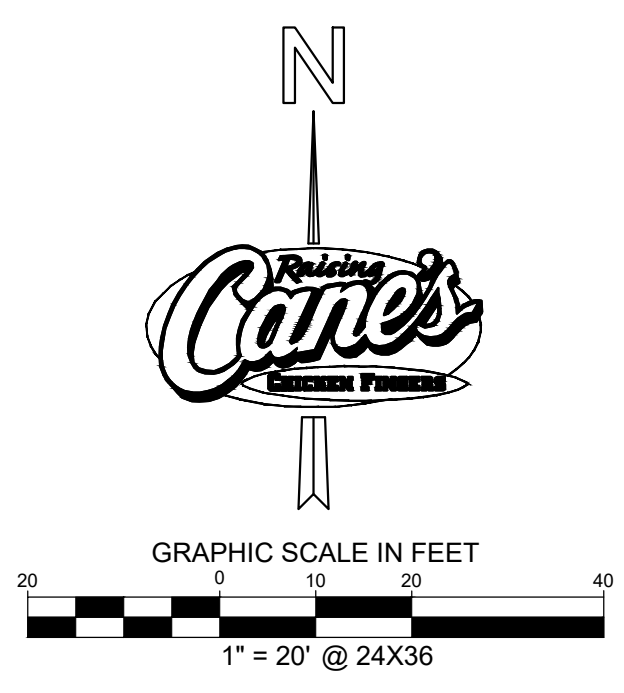
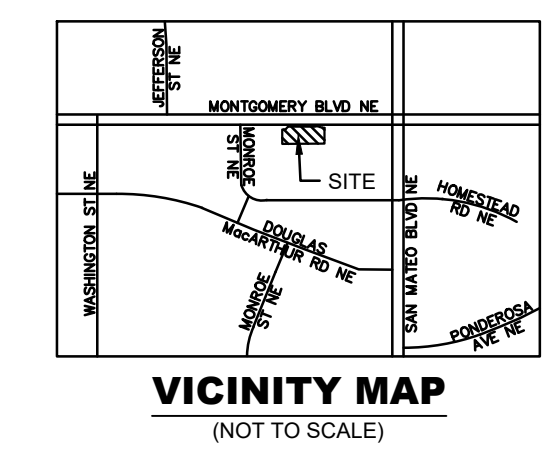
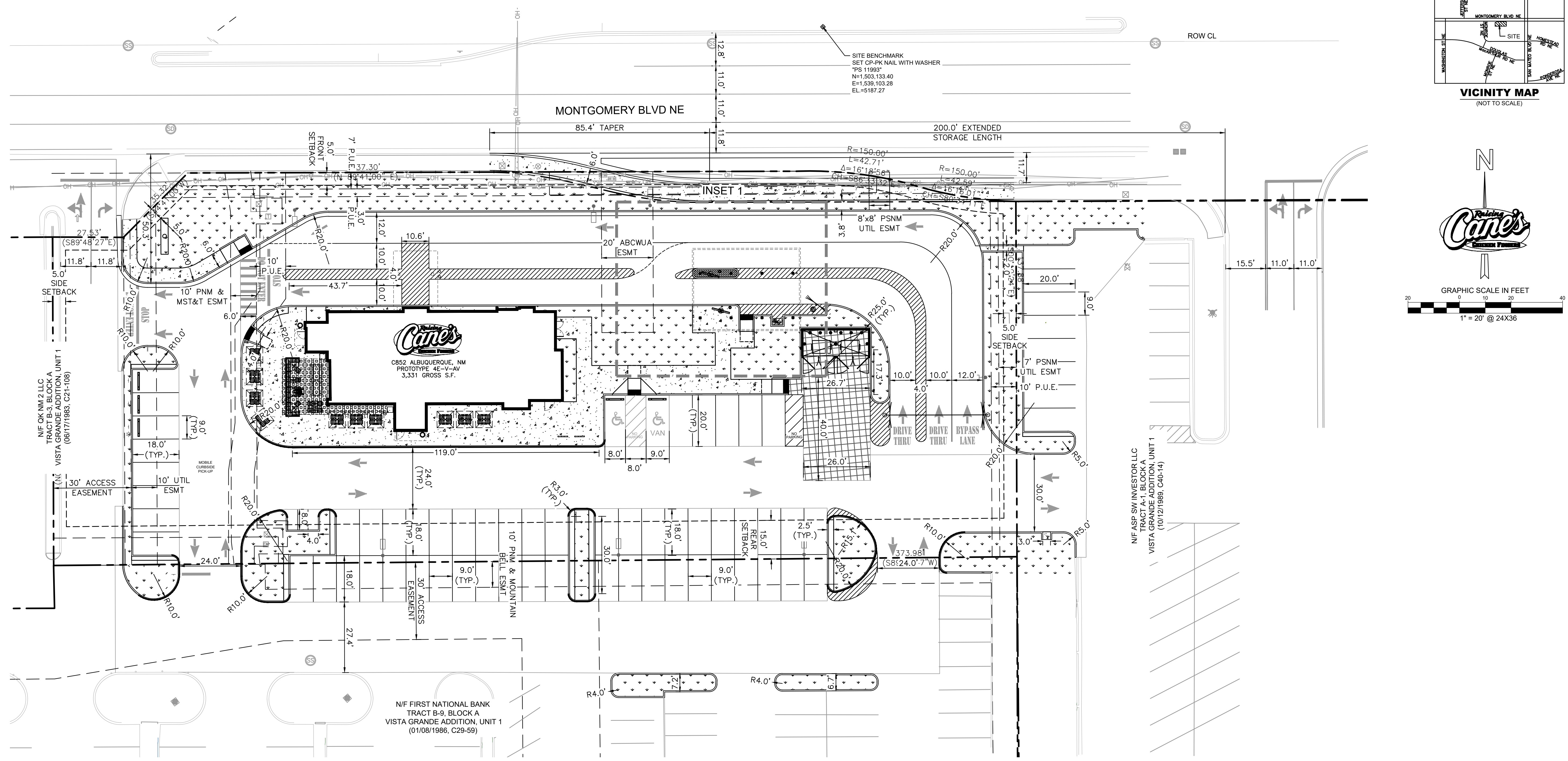
REVISIONS:

11/12/2021	80% REVIEW SET
11/30/2021	1ST BLDG SUBMITTAL
12/20/2021	1ST BLDG RESUBMITTAL
01/17/2022	2ND BLDG RESUBMITTAL

SITE KEYNOTE PLAN

Date: 05.12.2022
 Project Number: 090042000
 Drawn By: LW/LN
 Sheet Number:

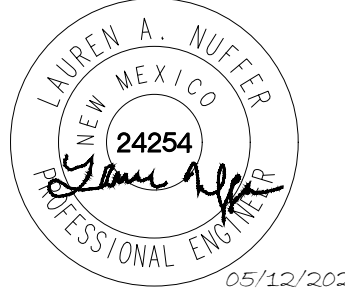
C5.0



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tel: 972-765-3100 Fax: 972-769-3101

Store:
Montgomery & San Mateo
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A

Engineer's Information:
Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
13455 Noel Road
Two Galleria Office Tower
Suite 700
Dallas, TX 75240
CONTACT: LAUREN NUFFER, P.E.
(972) 770-1300
LAUREN.NUFFER@KIMLEY-HORN.COM
LIZ.WILLMOT@KIMLEY-HORN.COM



Professional of Record:

Prototype :	P4E-V-AV 2021- 2.0 RELEASE
Prototype Issue Date:	10.04.2021
Kitchen Issue Date:	08.02.2021
Design Bulletin Updates:	--
Date Issued:	Bulletin Number:
--	--

2ND BLDG. RESUBMITTAL

REVISIONS:

1	11/12/2021	80% REVIEW SET
2	11/30/2021	1ST BLDG SUBMITTAL
3	12/20/2021	1ST BLDG RESUBMITTAL
4	01/17/2022	2ND BLDG RESUBMITTAL
5		
6		
7		
8		

Sheet Title:

DIMENSION CONTROL PLAN

Date: 05.12.2022

Project Number: 090042000

Drawn By: LW/LN

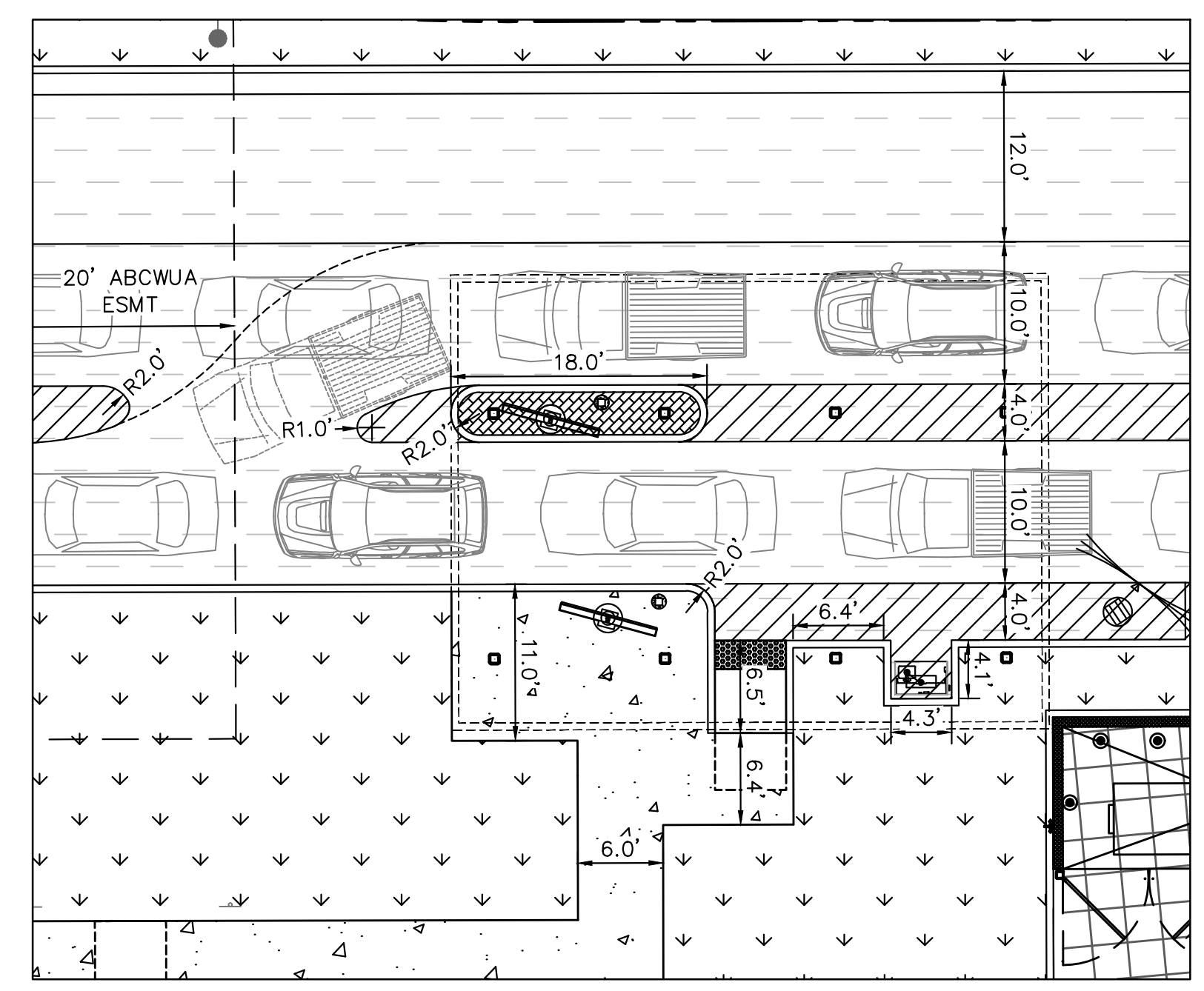
Sheet Number:

LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT/SETBACK
	PROPOSED SAWCUT
	PROPOSED CONCRETE CURB
	EXISTING CURB
	PROPOSED LANDSCAPE AREA

- GENERAL NOTES**
- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
 - CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
 - ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 - ALL RADII THAT ARE NOT SPECIFICALLY DIMENSIONED ARE 3'.

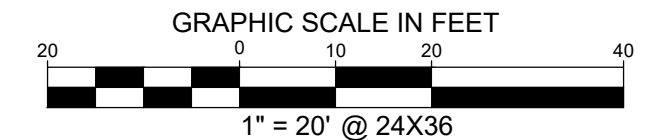
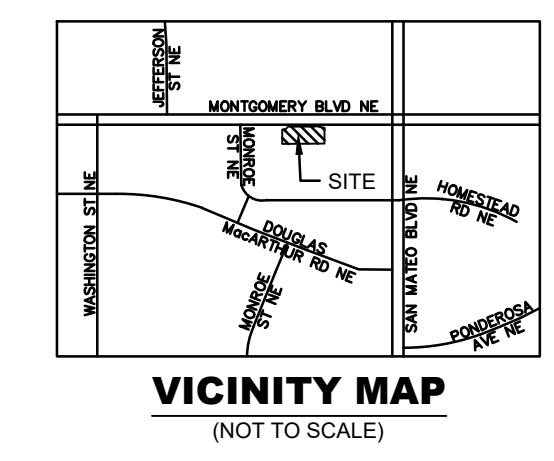
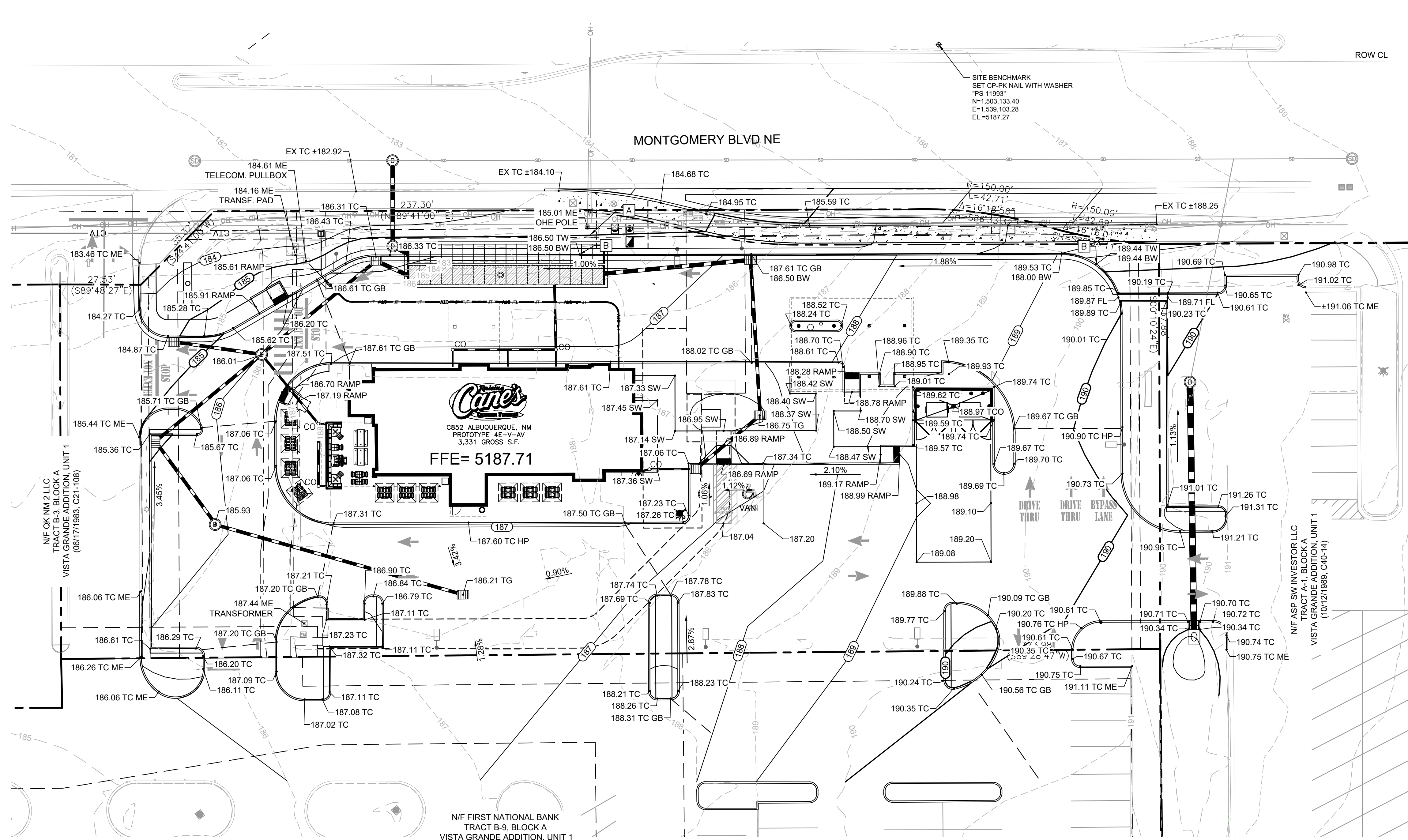
- DIMENSION NOTES**
- ALL CURB RADII ARE TO BE 3' UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



INSET 1
SCALE: 1"=10'



C5.1



LEGEND

---	PROPOSED PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED FLOW ARROW WITH SLOPE
---	PROPOSED SPOT ELEVATION
□	EXISTING STORM INLET
GB	GRADE BREAK
HP	HIGH POINT
P	TOP OF PAVEMENT
SW	TOP OF SIDEWALK
ME	MATCH EXISTING ELEVATION
TG	TOP OF GRATE
FL	FLOW LINE
TCO	TOP OF CLEANOUT
TW	TOP OF WALL
BW	BOTTOM OF WALL
---	PROPOSED RIDGE

GRADING NOTES

- ADD 5000' TO ALL SPOT ELEVATIONS & CONTOUR LABELS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY/AHJ STANDARDS AND SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
- CONTRACTOR SHALL REFER TO FINAL GEOTECH REPORT FOR BUILDING SUBGRADE AND SITE PREPARATION REQUIREMENTS.
- CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
- ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
- ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
- REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
- ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.

GRADING CONSTRUCTION NOTES

A	3:1 CUT SLOPE BETWEEN EDGE OF EXISTING OVERHEAD ELECTRIC POLE AND TOP OF PROPOSED CURB, REFERENCE GRADING NOTE 5 THIS SHEET
B	CONSTRUCT CUT-OFF WALL IN PLACE OF CURB PER CITY OF ALBUQUERQUE STANDARD DWG 2415C. TOP OF WALL = TOP OF CURB, ELEVATION PER DRAWING. BOTTOM OF WALL = BOTTOM OF EXPOSED WALL. BURY WALL A MINIMUM OF 18" BELOW FINISHED GRADE. MIN HEIGHT = 0', MAX HEIGHT = 18"



Store:
Montgomery & San Mateo
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A

Kimley»Horn

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 13455 Noel Road
 Two Galleria Office Tower
 Suite 700
 Dallas, TX 75240
 CONTACT: LAUREN NUFFER, P.E.
 (972) 770-1300
 LAUREN.NUFFER@KIMLEY-HORN.COM
 LIZ.WILLMOT@KIMLEY-HORN.COM



Professional of Record:

Prototype :	P4E-V-AV 2021- 2.0 RELEASE
Prototype Issue Date:	10.04.2021
Kitchen Issue Date:	08.02.2021
Design Bulletin Updates:	--
Date Issued:	Bulletin Number:
--	--

2ND BLDG. RESUBMITTAL

REVISIONS:

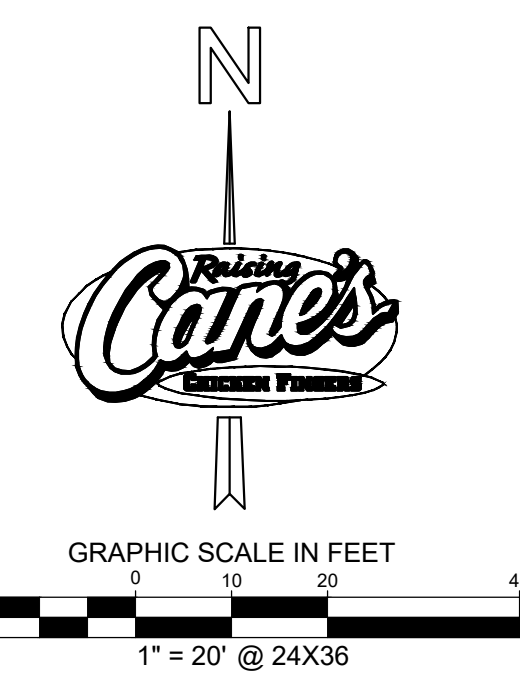
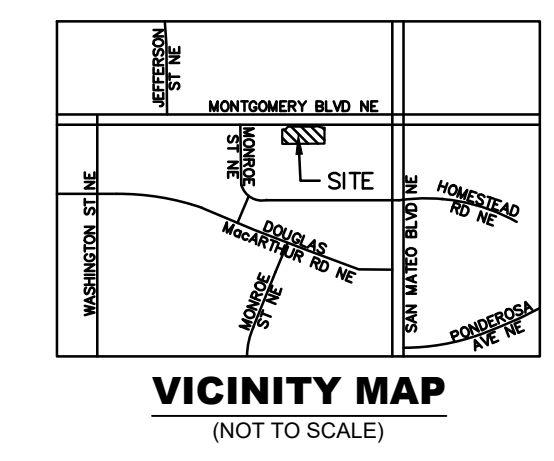
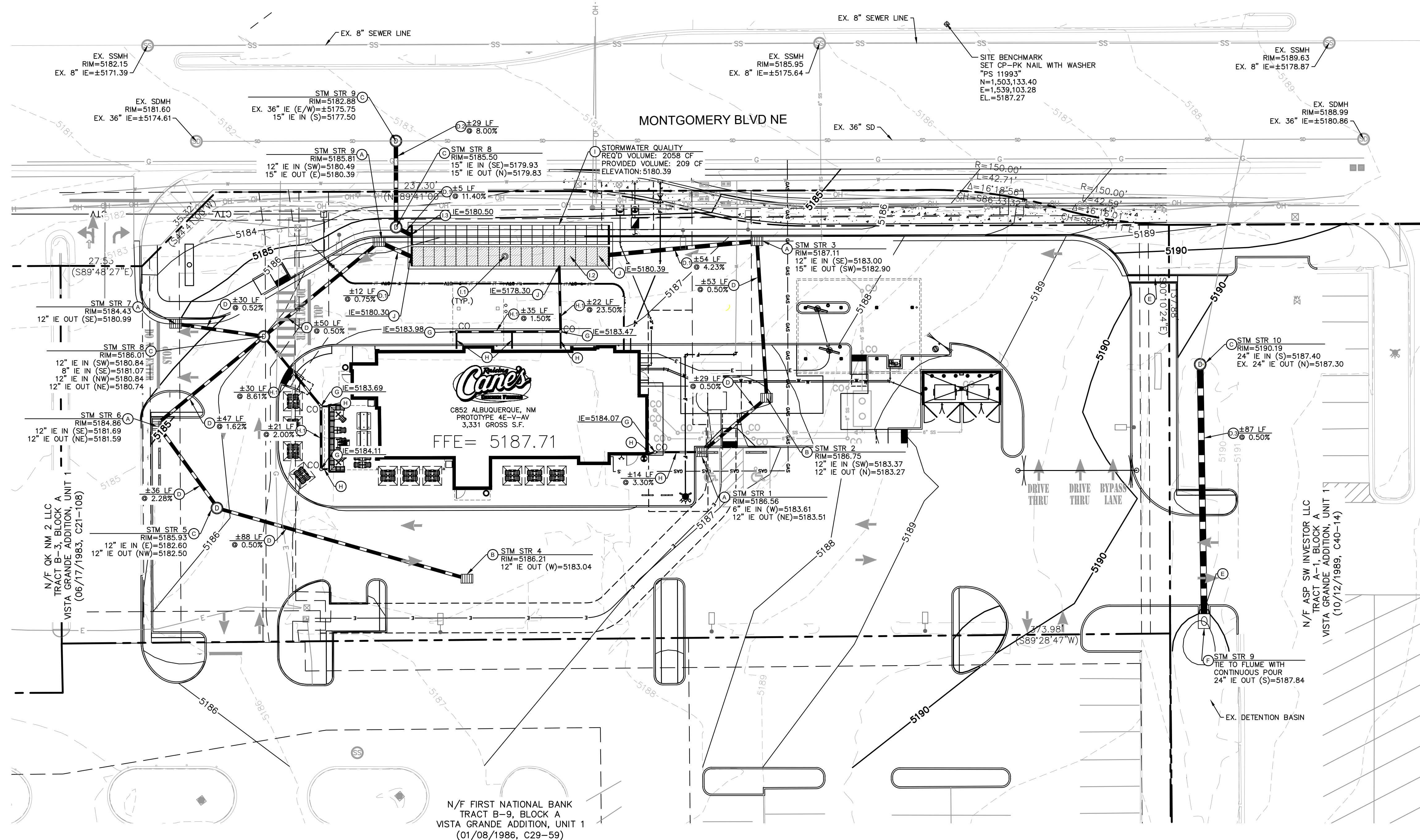
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4	01/17/2022	2ND BLDG RESUBMITTAL
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Sheet Title:

GRADING PLAN

Date:	05.12.2022
Project Number:	090042000
Drawn By:	LW/LN
Sheet Number:	

C6.0



UTILITY LEGEND

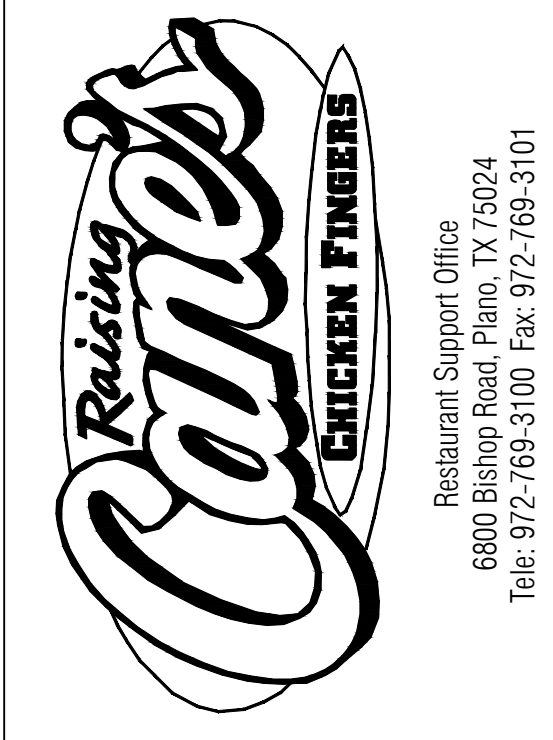
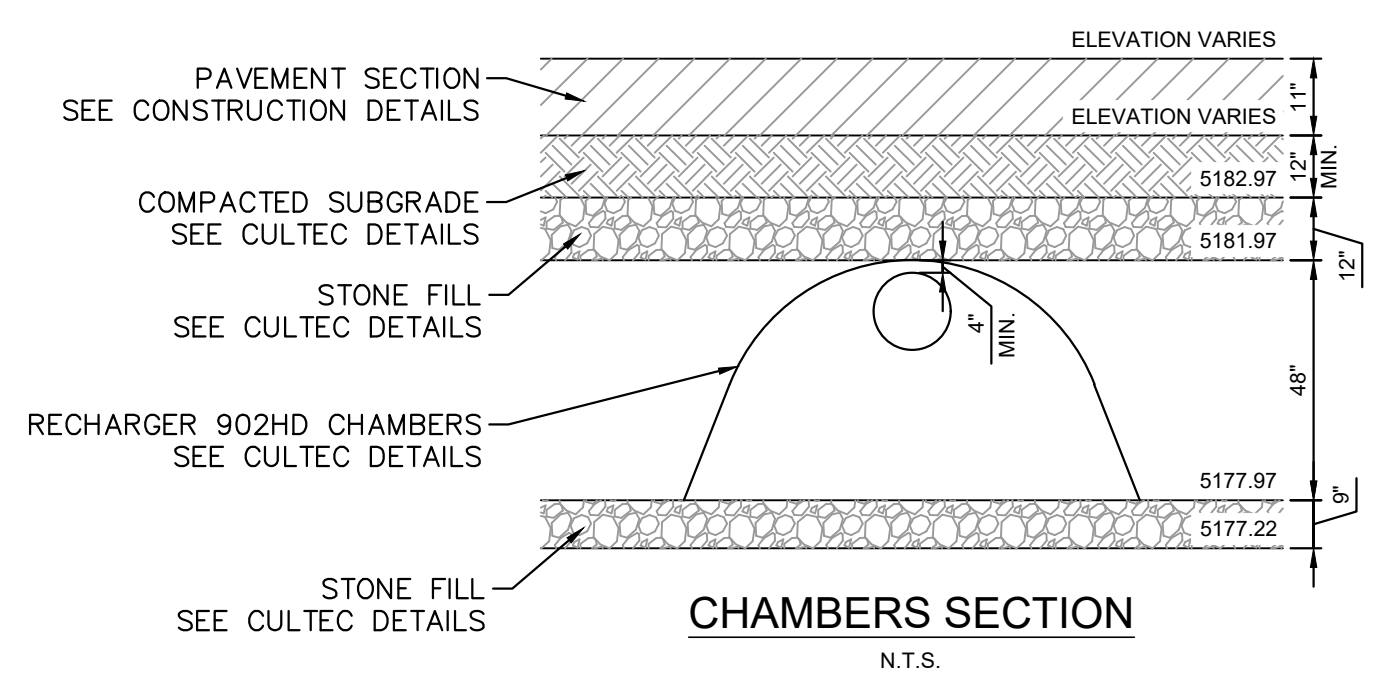
---	PROPERTY LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
---	EXISTING FIRE LANE
S	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE
F	PROPOSED FIRE WATER LINE
GAS	PROPOSED UNDERGROUND GAS LINE
UGT	PROPOSED UNDERGROUND TELEPHONE LINE
---	PROPOSED STORM DRAINAGE LINE
---	EXISTING STORM DRAINAGE LINE
---	EXISTING OVERHEAD POWER LINE
GAS	EXISTING GAS LINE
W	EXISTING WATER LINE
SS	EXISTING SANITARY SEWER LINE
◇	PROPOSED FIRE HYDRANT
●	PROPOSED WATER METER
○	PROPOSED SEWER CLEANOUT
⊗	PROPOSED WATER VALVE
⊥	PROPOSED TEE
⊥	PROPOSED BEND
⊗	PROPOSED SEWER CLEAN OUT
⊗	EXISTING POWER POLE
◇	EXISTING FIRE HYDRANT
⊗	EXISTING SANITARY SEWER MANHOLE
+	EXISTING SIGN
⊥	THRUST BLOCK

STORM NOTES

- REFER TO CITY STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
- GUTTER TRANSITION ADJACENT TO TYPE "A" INLETS TO FOLLOW CITY OF ALBUQUERQUE STANDARD DETAILS, DWG NO. 2207.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS, INSTALLATION, AND UTILITY CROSSINGS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION AND ELEVATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY CODES AND/OR UTILITY SERVICE COMPANIES.
- CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY STANDARDS.
- THE AREA OF LAND TREATMENT D WITHIN THE PROJECT AREA IS 58,667 SF OR 1.35 AC.

STORM KEYNOTE LEGEND

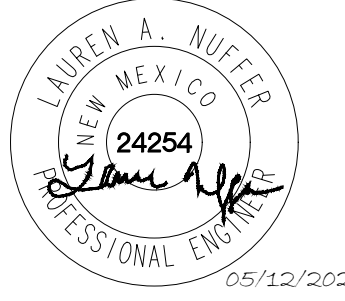
(A)	STORM INLET TYPE "A" PER CITY OF ALBUQUERQUE STANDARD DETAILS, DWG. NO. 2201
(B)	STORM INLET TYPE "D", SINGLE GRATE TYPE PER CITY OF ALBUQUERQUE STANDARD DETAILS, DWG. NO. 2206
(C)	STORM MANHOLE TYPE "C" PER CITY OF ALBUQUERQUE STANDARD DETAILS, DWG. NO. 2208
(D)	12"Ø HDPE PIPE
(E)	15"Ø HDPE PIPE
(F)	15"Ø REINFORCED CONCRETE PIPE
(G)	24"Ø REINFORCED CONCRETE PIPE
(H)	FLUME
(I)	SLOPE PAVED HEADWALL
(J)	ROOF DRAIN CLEANOUT
(K)	6" HDPE ROOF LEADER @ 1.00% MIN.
(L)	8" HDPE ROOF LEADER
(M)	CULTEC RECHARGER 902HD CHAMBERS OR APPROVED EQUIVALENT PRODUCT QUANTITY = 36, SEE SECTION THIS SHEET & CULTEC DETAILS SHEET C11.0 - C11.4
(N)	9" STONE FILL BETWEEN CHAMBERS, 12" AROUND PERIMETER
(O)	INSPECTION PORT
(P)	ISOLATOR ROW
(Q)	CHAMBER OUTFALL POINT
(R)	TIE TO CHAMBER SYSTEM



Store:
Montgomery & San Mateo
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A

Kimley»Horn

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 LIZ.WILLMOT@KIMLEY-HORN.COM



Professional of Record:

Prototype :	P4E-V-AV 2021- 2.0 RELEASE
Prototype Issue Date:	10.04.2021
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Design Bulletin Updates:	--
Date Issued:	Bulletin Number: --

2ND BLDG. RESUBMITTAL

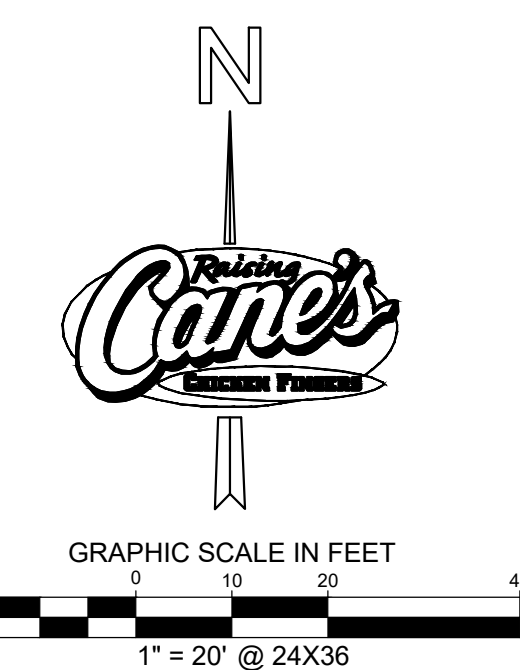
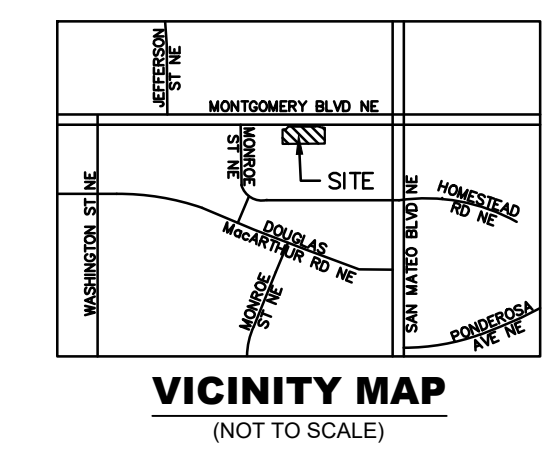
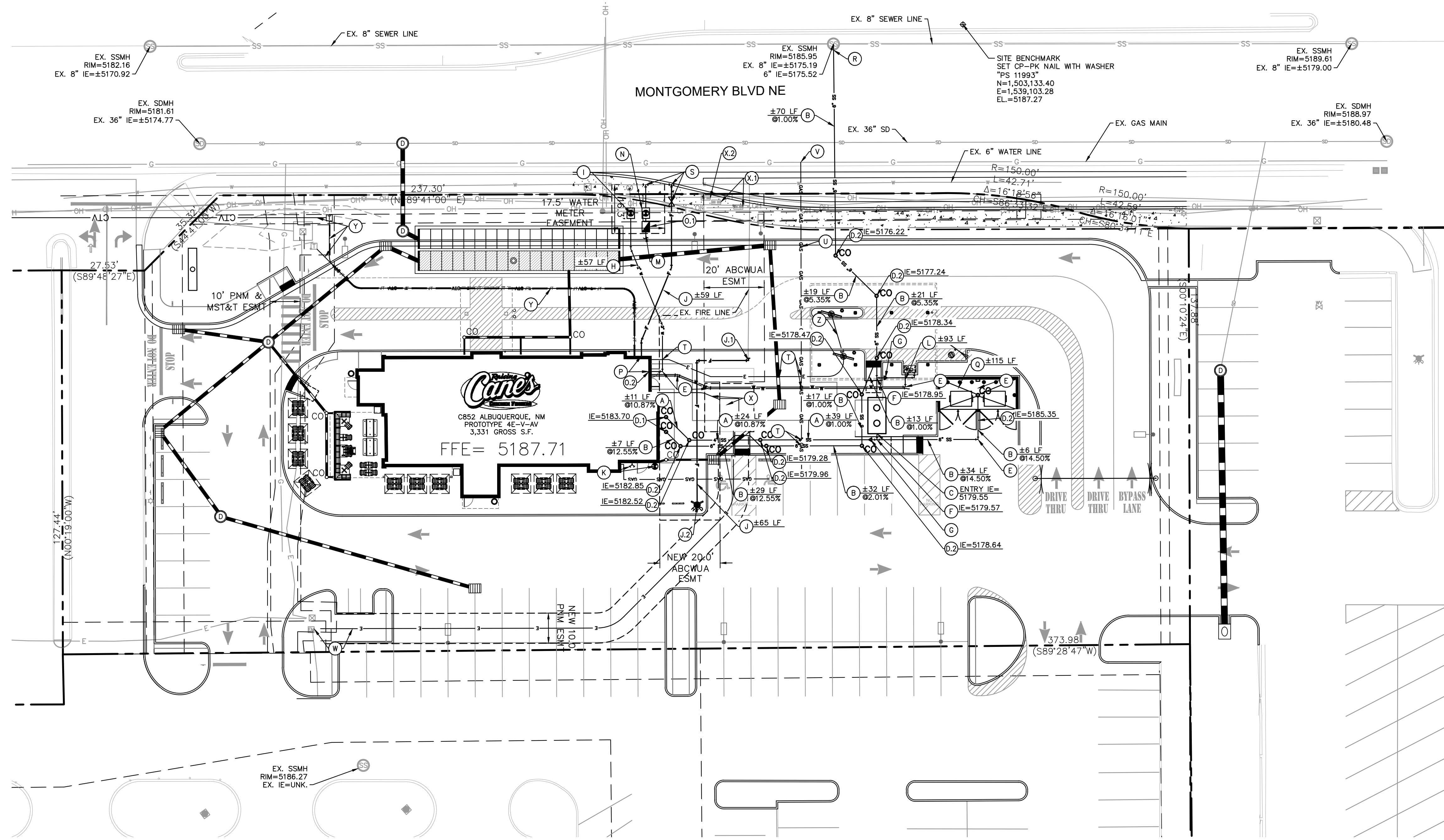
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Sheet Title:
STORM DRAINAGE PLAN
 Date: 05.12.2022
 Project Number: 090042000
 Drawn By: LW/LN
 Sheet Number:



C7.0



UTILITY LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
---	EXISTING FIRE LANE
S	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE
F	PROPOSED FIRE WATER LINE
GAS	PROPOSED UNDERGROUND GAS LINE
E	PROPOSED UNDERGROUND ELECTRIC LINE
T	PROPOSED UNDERGROUND TELEPHONE LINE
CATV	PROPOSED UNDERGROUND CABLE LINE
JT	PROPOSED JOINT TRENCH
---	PROPOSED STORM DRAINAGE LINE
---	EXISTING STORM DRAINAGE LINE
---	EXISTING OVERHEAD POWER LINE
GAS	EXISTING GAS LINE
W	EXISTING WATER LINE
SS	EXISTING SANITARY SEWER LINE
◇	PROPOSED FIRE HYDRANT
●	PROPOSED WATER METER
○	PROPOSED SEWER CLEANOUT
⊗	PROPOSED WATER VALVE
⊕	PROPOSED TEE
⊖	PROPOSED BEND
⊙	PROPOSED SEWER CLEAN OUT
⊘	EXISTING POWER POLE
◇	EXISTING FIRE HYDRANT
⊙	EXISTING SANITARY SEWER MANHOLE
⊖	EXISTING SIGN

UTILITY NOTES

- SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
- REFER TO CITY STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
- REFER TO ARCHITECTURAL/MEP PLANS FOR LOCATION AND SIZING OF SLEEVES FOR FRANCHISE UTILITIES, IRRIGATION, ETC.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
PRIVATE: PVC SDR 35 PER ASTM D 3034
- WATER LINES SHALL BE AS FOLLOWS:
PUBLIC: PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 50)
PRIVATE (LARGER THAN 3 INCHES): PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 50)
PRIVATE (3 INCHES OR SMALLER): TYPE "K" SOFT COPPER, ASTM B88 OR PVC DR-18 (C-900) PER ASTM D 2241 OR ADS POTABLE WATER SERVICE TUBING (POLYFLEX - CTS PE4710)
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS AND INSTALLATION OF UTILITIES AND WITH TCEQ GUIDELINES FOR UTILITY CROSSINGS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DEFLECT ELECTRIC, GAS, CABLE, AND TELEPHONE CONDUIT AND PIPING AS REQUIRED TO AVOID UTILITY CONFLICTS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY CODES AND/OR UTILITY SERVICE COMPANIES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS IN REGARDS TO TAPS, HYDRANTS, VALVES, ETC.
- CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY STANDARDS.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET COVER ON ALL WATER LINES OR AS PER CITY REQUIREMENTS.
- POLYFLEX BY ADS TO BE USED IN PLACE OF COPPER WHERE ALLOWED BY CITY. CONTRACTOR TO VERIFY WITH CITY WHETHER IT CAN BE USED AND VERIFY WITH MEP REQUIRED INTERNAL DIAMETER FOR SUFFICIENT WATER FLOW TO BUILDING.
- FIRELINE CONNECTION WILL BE REQUIRED TO BE A DRY-TAP.

UTILITY KEYNOTE LEGEND

(A)	PROPOSED 4" SDR 35 PVC SEWER PIPE, LENGTH AND SLOPE PER PLAN. TRENCH, BEDDING, AND BACKFILL PER CITY OF ALBUQUERQUE STD. SPECIFICATIONS SECTION 700
(B)	PROPOSED 6" SDR 35 PVC SEWER PIPE, LENGTH AND SLOPE PER PLAN. TRENCH, BEDDING, AND BACKFILL PER CITY OF ALBUQUERQUE STD. SPECIFICATIONS SECTION 700
(C)	PROPOSED GREASE TRAP LOCATION
(D)	CONNECT TO BUILDING SEWER, INVERT PER PLAN. REFERENCE MEP PLANS FOR CONTINUATION
(E)	PROPOSED SEWER CLEANOUT
(F)	PROPOSED BEND, CONCRETE BLOCKING REQUIRED PER CITY OF ALBUQUERQUE STD. DWG 2320
(G)	PROPOSED 6"x6" TEE
(H)	PROPOSED 6"x4" REDUCER
(I)	PROPOSED 2" COPPER, TYPE K DOMESTIC WATERLINE, LENGTH PER PLAN. INSTALL TRENCH BEDDING AND BACKFILL PER CITY OF ALBUQUERQUE STD. SPECIFICATIONS SECTION 700
(J)	REMOVE EXISTING WATER METER AND INSTALL NEW 1.5" DOMESTIC WATER METER PER CITY OF ALBUQUERQUE STD. DWG 2363 & 2367
(K)	PROPOSED 6" CLASS 350 (CL350) DIP FIRE LINE WITH TRACER WIRE, LENGTH PER PLAN (4" MIN. COVER). TRENCH PER CITY OF ALBUQUERQUE STD. SPECIFICATIONS SECTION 700
(L)	TIE TO AND EXTEND EX. 6" FIRE LINE WITH 90° DIP BEND
(M)	PROPOSED FIRE HYDRANT PER CITY OF ALBUQUERQUE STD. SPECIFICATIONS SECTION 801
(N)	PROPOSED FDC & PIV. SEE SPRINKLER PLANS FOR DETAILS
(O)	PROPOSED 3/4" COLD WATER LINES TO CREW AMENITY STATION
(P)	PROPOSED 1" IRRIGATION SERVICE, REFER TO LANDSCAPE FOR CONTINUATION
(Q)	PROPOSED 1" IRRIGATION METER, REFER TO LANDSCAPE
(R)	PROPOSED IRRIGATION BFP, REFER TO LANDSCAPE
(S)	PROPOSED DOMESTIC RPBA INTERNAL TO BUILDING, SEE MEP PLANS FOR DETAILS
(T)	BUILDING WATER & FIRE CONNECTION, REFER TO MEP AND SPRINKLER PLANS FOR CONTINUATION
(U)	PROPOSED 3/4" EACH H/C WATER TO DUMPSTER WITH RPZ VALVE, REFER TO MEP PLANS
(V)	CORE EXISTING SSMH FOR TIE-IN PER CITY OF ALBUQUERQUE STD. DWG 2118

UTILITY KEYNOTE LEGEND

(S)	INSTALL 6"x6" TAPPING SLEEVE AND GATE VALVE WITH THRUST BLOCK, VALVE BOX PER CITY OF ALBUQUERQUE STD. DWGS 2326 AND 2329
(T)	WET UTILITY CROSSING, MAINTAIN 2' MINIMUM VERTICAL SEPERATION
(U)	PROPOSED GAS SERVICE BY OTHERS
(V)	CONNECTION TO EXISTING GAS MAIN BY OTHERS
(W)	CONNECT TO EXISTING UNDERGROUND ELECTRIC AND PRIMARY SERVICE TO TRANSFORMER BY OTHERS
(X)	PAD-MOUNTED TRANSFORMER & SECONDARY ELECTRICAL SERVICE, SEE ELECTRICAL FOR DETAILS
(Y)	RELOCATED ELECTRICAL PULLBOXES
(Z)	RESET EXISTING ELECTRICAL PULLBOX AT FINISHED GRADE
(AA)	TELECOM/CATV SERVICE, SEE E4 PLANS
(AB)	CONDUIT TO MENU BOARDS, SEE ELECTRICAL FOR DETAILS

RESPONSIBILITY OF FRANCHISE UTILITY SERVICE

	UTILITY COMPANY	GENERAL CONTRACTOR
ELECTRIC SERVICE		
PRIMARY CONDUIT TO TRANSFORMER	X	---
PRIMARY CONDUCTORS	X	---
TRANSFORMER PAD	---	---
TRANSFORMER ON POLE	X	---
SECONDARY CONDUIT TO METER	---	X
SECONDARY CONDUCTORS TO METER	---	X
SECONDARY CONDUIT FROM METER TO MAIN PANEL	---	X
SECONDARY CONDUCTORS FROM METER TO MAIN PANEL	---	X
GAS SERVICE		
SERVICE FROM ROW TO BUILDING	X	---
CONDUIT FROM ROW TO BUILDING	---	X
INSTALL GAS METER	X	---
TELEPHONE SERVICE		
SERVICE FROM ROW TO BUILDING	X	---
CONDUIT FROM ROW TO BUILDING	---	X

NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THIS INFORMATION IMMEDIATELY UPON START OF CONSTRUCTION.

WATER METER & SEWER SCHEDULE

I.D.	TYPE	SIZE	NO.	SEWER
1	DOMESTIC	1.5"	1	6"
2	IRRIGATION	1"	1	---



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tel: 972-765-3100 Fax: 972-769-3101

Store:
Montgomery & San Mateo
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A

Kimley»Horn

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13455 Noel Road
Two Galleria Office Tower
Suite 700
Dallas, TX 75240
CONTACT: LAUREN NUFFER, P.E.
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Professional of Record:

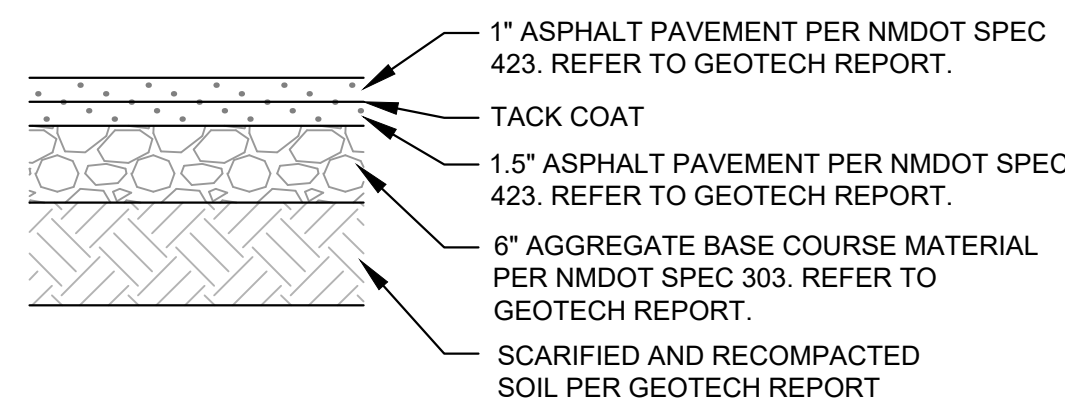
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Design Bulletin Updates:	--
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2ND BLDG. RESUBMITTAL

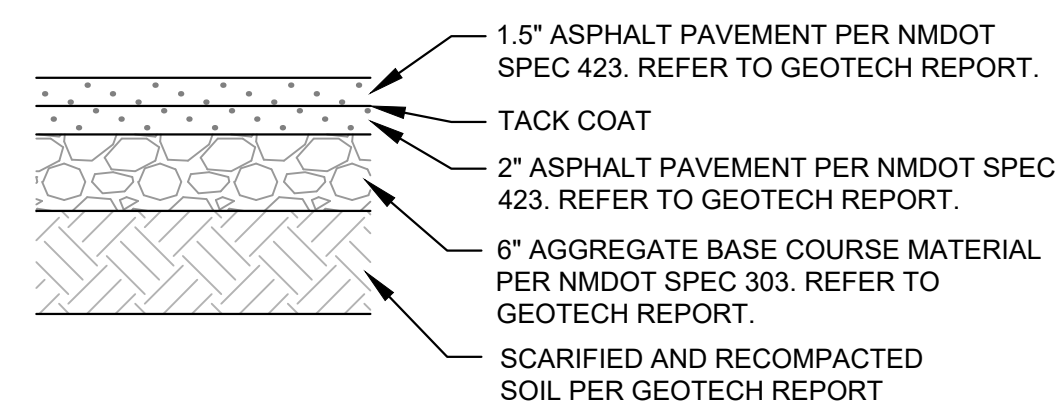
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UTILITY PLAN
Date: 05.12.2022
Project Number: 090042000
Drawn By: LW/LN
Sheet Number:

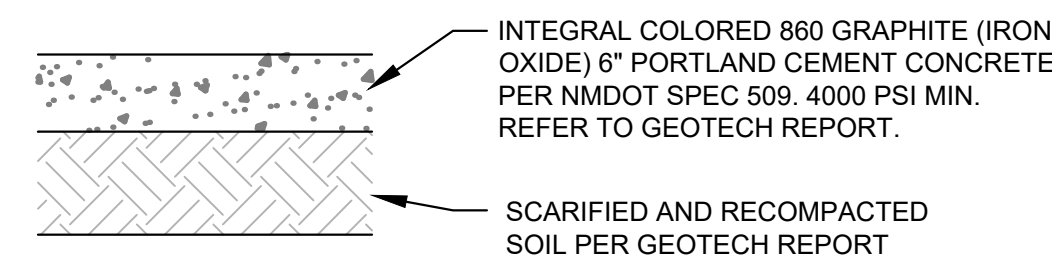
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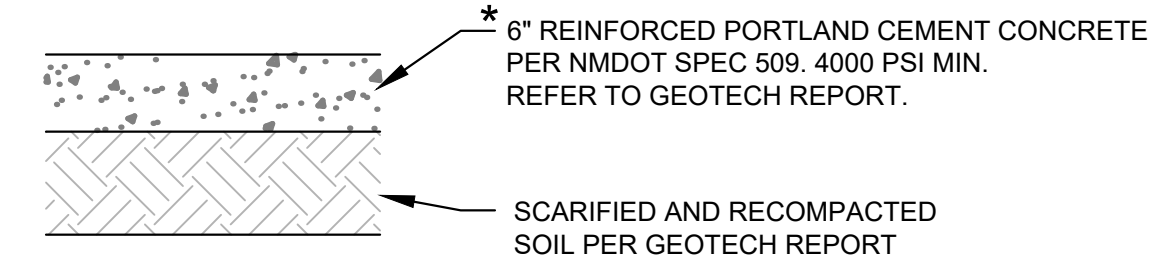
LIGHT DUTY ASPHALT PAVEMENT SECTION



MEDIUM DUTY ASPHALT PAVEMENT SECTION



INTEGRAL COLORED STANDARD DUTY CONCRETE PAVEMENT SECTION



HEAVY DUTY CONCRETE PAVEMENT SECTION

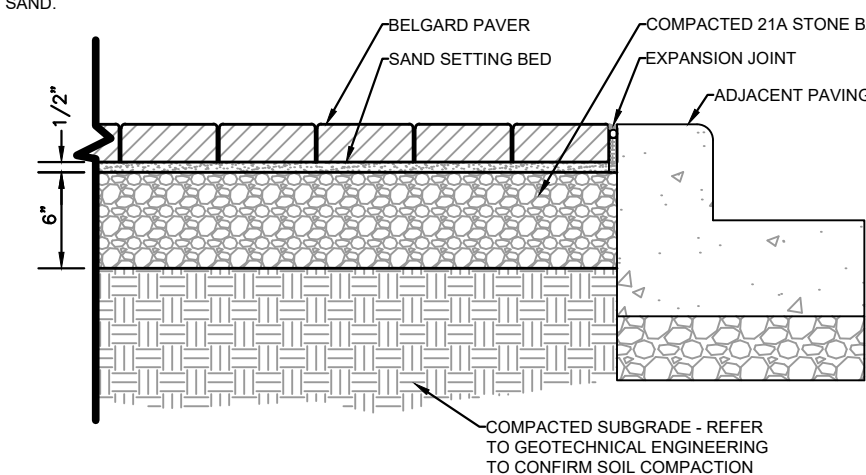
* CONCRETE FOR RIGID PAVEMENT SHOULD HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, A MODULUS OF RUPTURE OF 500 PSI, AND BE PLACED WITH A MAXIMUM SLUMP OF 4 INCHES.

MANUFACTURER: BELGARD
PHONE: 877-235-4273
WEB: WWW.BELGARD.COM

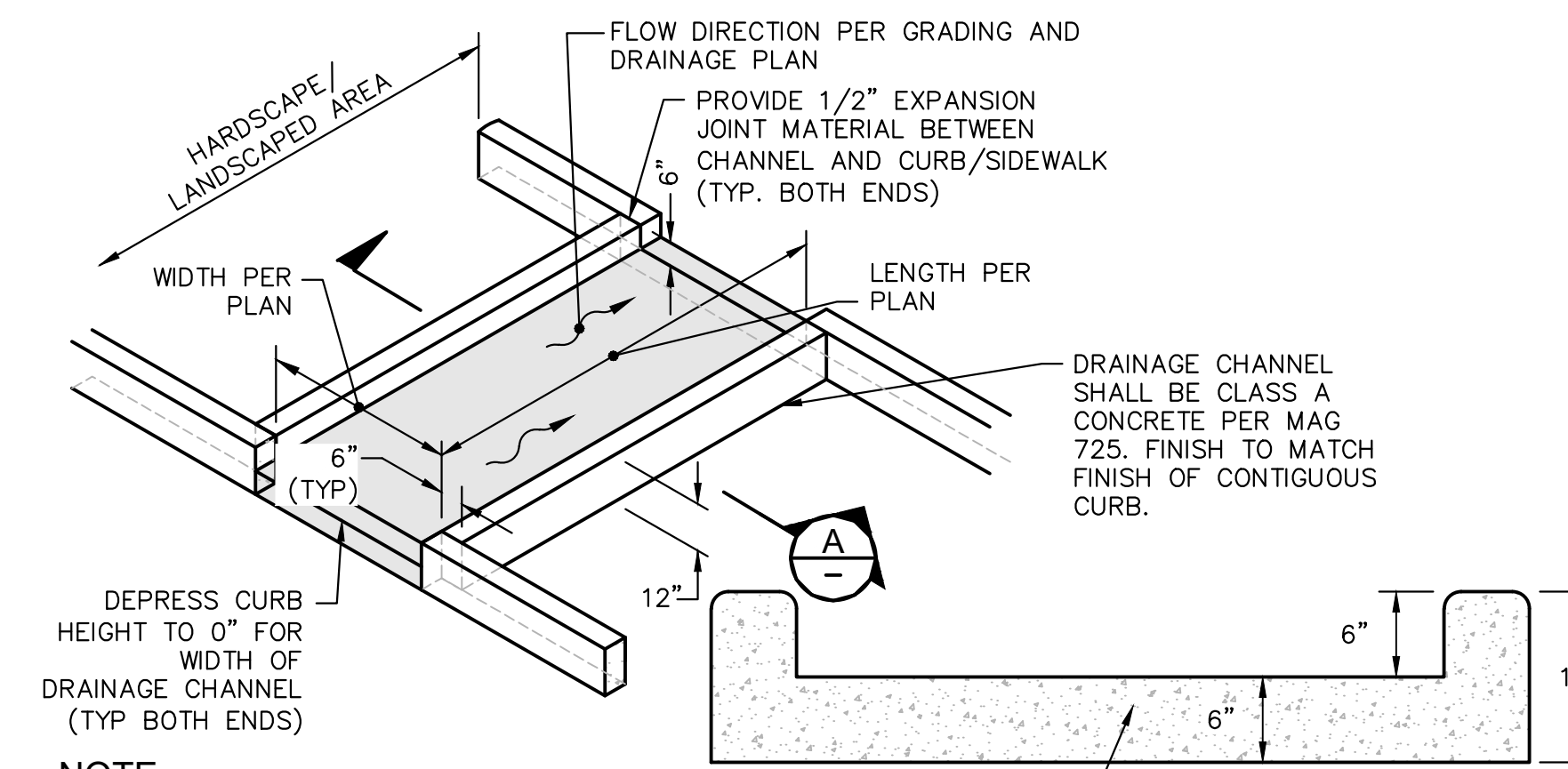
PRODUCT: HOLLAND STONE LEGACY
COLOR: CHARCOAL OR APPROVED EQUAL
SIZE: 3 15/16" x 7 7/8" x 2 3/8"

PATTERN: HERRINGBONE

NOTES:
1. PAVER JOINTS TO BE BUTT TIGHT
2. BROOM SWEEP JOINTS WITH POLYMERIC SAND.



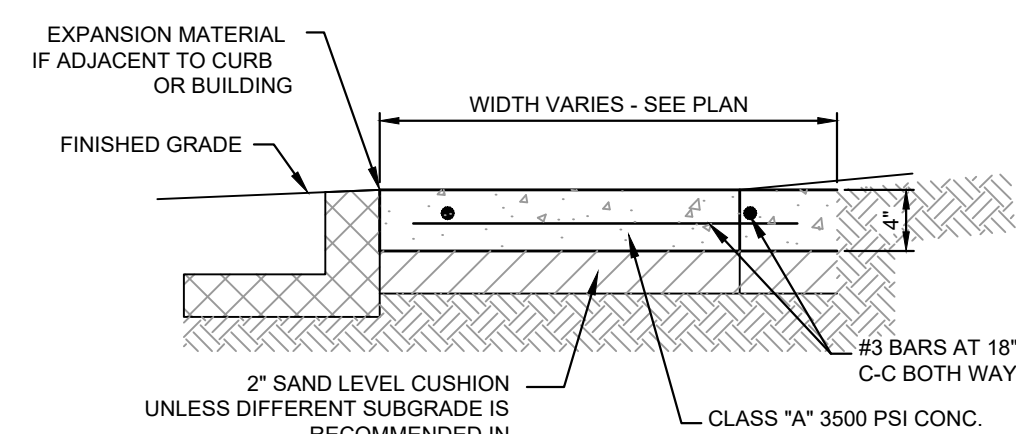
UNIT PAVERS DETAIL
N.T.S.



CONCRETE DRAINAGE CHANNEL DETAIL
N.T.S.

NOTE:
EARTH BACKFILL AND LANDSCAPE MATERIAL NOT SHOWN.

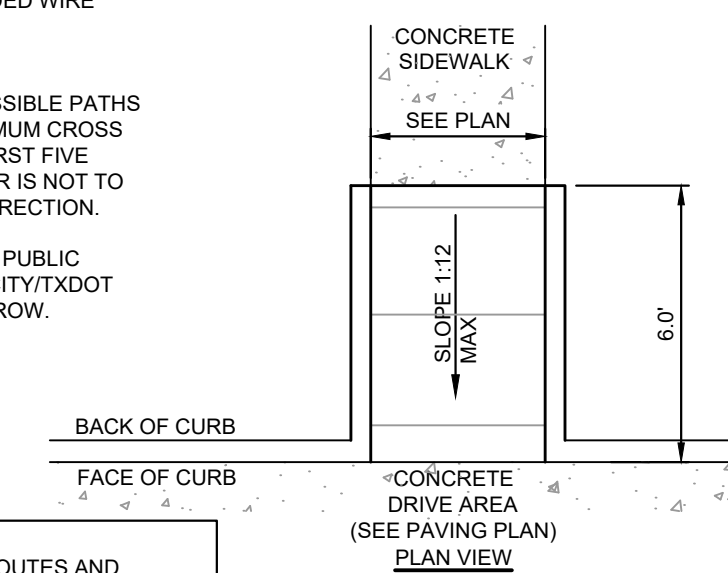
CONC. DRAINAGE CHANNEL 6" THICK CLASS A CONCRETE PER MAG 725.



- NOTES:
1. PROVIDE BITUMINOUS EXPANSION MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE
 2. SPACE CONTROL JOINT UNIFORMLY AT INTERVALS EQUAL TO THE WALK WIDTH OR AS SHOWN ON ARCHITECTURAL PLANS.
 3. PLACE PREMOULDED EXPANSION JOINT MATERIAL AROUND ALL STRUCTURES IN NEW WALK ALONGSIDE ALL ADJACENT BUILDINGS AND ABUTTING STRUCTURES TO THE NEW CONCRETE SIDEWALK
 4. SEAL EXPANSION & CONTRACTION JOINTS WITH AN APPROVED TYPE SEALANT.
 5. SIDEWALK PAVEMENT WHERE PATIO FURNITURE IS TO BE PLACED MUST BE 4000 PSI.

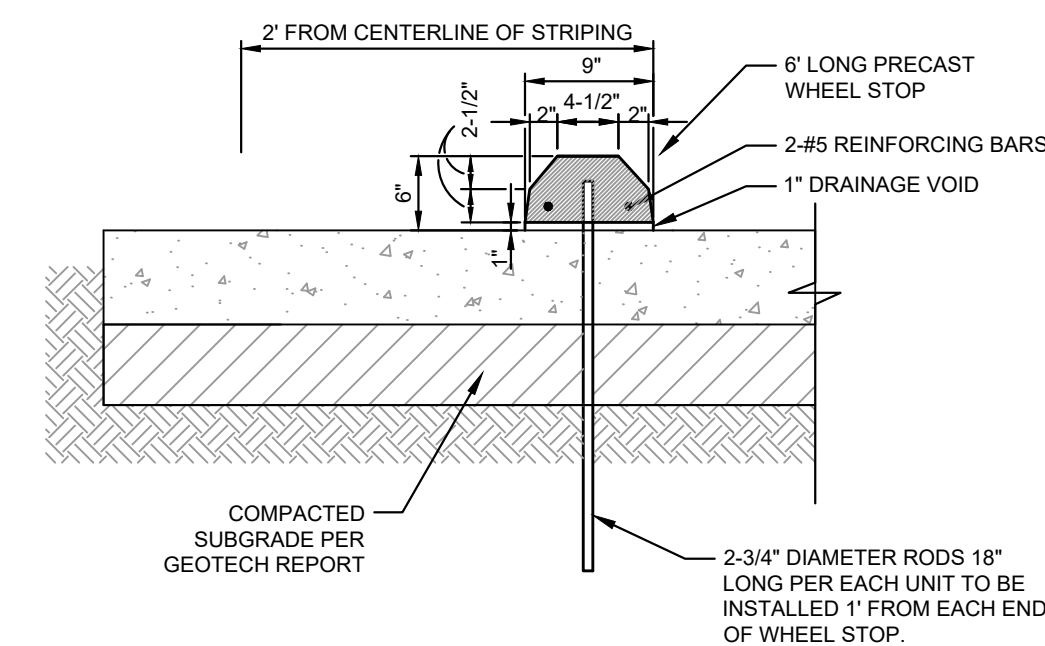
NOTE:
REFER TO GEOTECH REPORT FOR FURTHER INFORMATION.

- NOTES:
1. RAMP SHALL HAVE A LIGHT BROOM SWEEP FINISH PER ADA/TAS REQUIREMENTS.
 2. TAPERED CURB AND GUTTER SECTION. MAINTAIN GUTTER FLOWLINE AS REQUIRED.
 3. RAMP SHALL BE CONSTRUCTED OF 4" THICK, 3500 PSI CONCRETE WITH 6"x6" W2.9XW2.9 WELDED WIRE REINFORCEMENT.
 4. MAXIMUM SLOPE FOR HANDICAPPED ACCESSIBLE PATHS ARE 5% WITH A MAXIMUM CROSS SLOPE OF 2%. THE FIRST FIVE FEET FROM THE DOOR IS NOT TO EXCEED 2% IN ANY DIRECTION.
 5. NOT FOR USE WITHIN PUBLIC RIGHT OF WAY. SEE CITY/TXDOT DETAILS FOR USE IN ROW.



BARRIER FREE RAMP DETAIL
N.T.S.

NOTE:
ALL ACCESSIBLE ROUTES AND BARRIER FREE RAMPS MUST COMPLY WITH NEW MEXICO ACCESSIBILITY STANDARDS, LATEST EDITION.

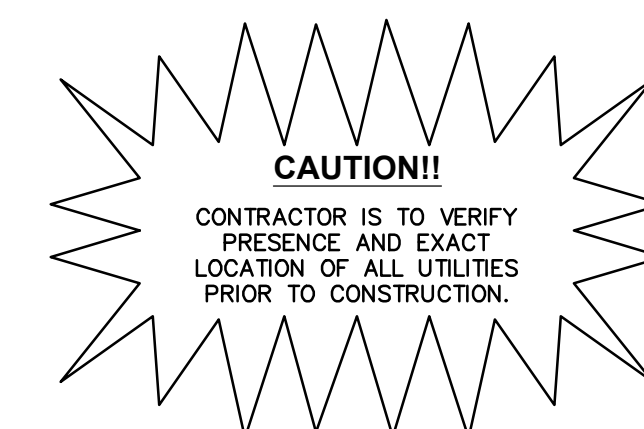


PRECAST CONCRETE WHEEL STOP DETAIL
N.T.S.

NOTE:
1. PRE-CAST CONCRETE OR PLASTIC WHEEL STOPS MAY BE USED WITH CANE'S CONSTRUCTION MANAGERS APPROVAL.



Know what's below.
Call before you dig.



Restaurant Support Office
6900 Bishop Road, Plano, TX 75024
Tele: 972-765-3100 Fax: 972-769-3101

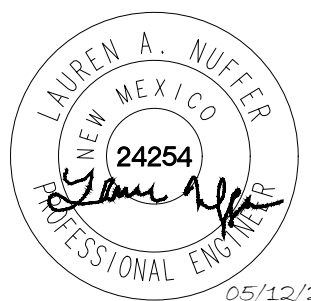
Store:
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Restaurant #RC852
P4E-V-AV SCHEME A

Engineer's Information:



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Professional of Record:



Prototype : P4E-V-AV 2021- 2.0 RELEASE

Prototype Issue Date: 10.04.2021

Kitchen Issue Date: 08.02.2021

Design Bulletin Updates: --

Date Issued: Bulletin Number: --

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Sheet Title:

CONSTRUCTION DETAILS

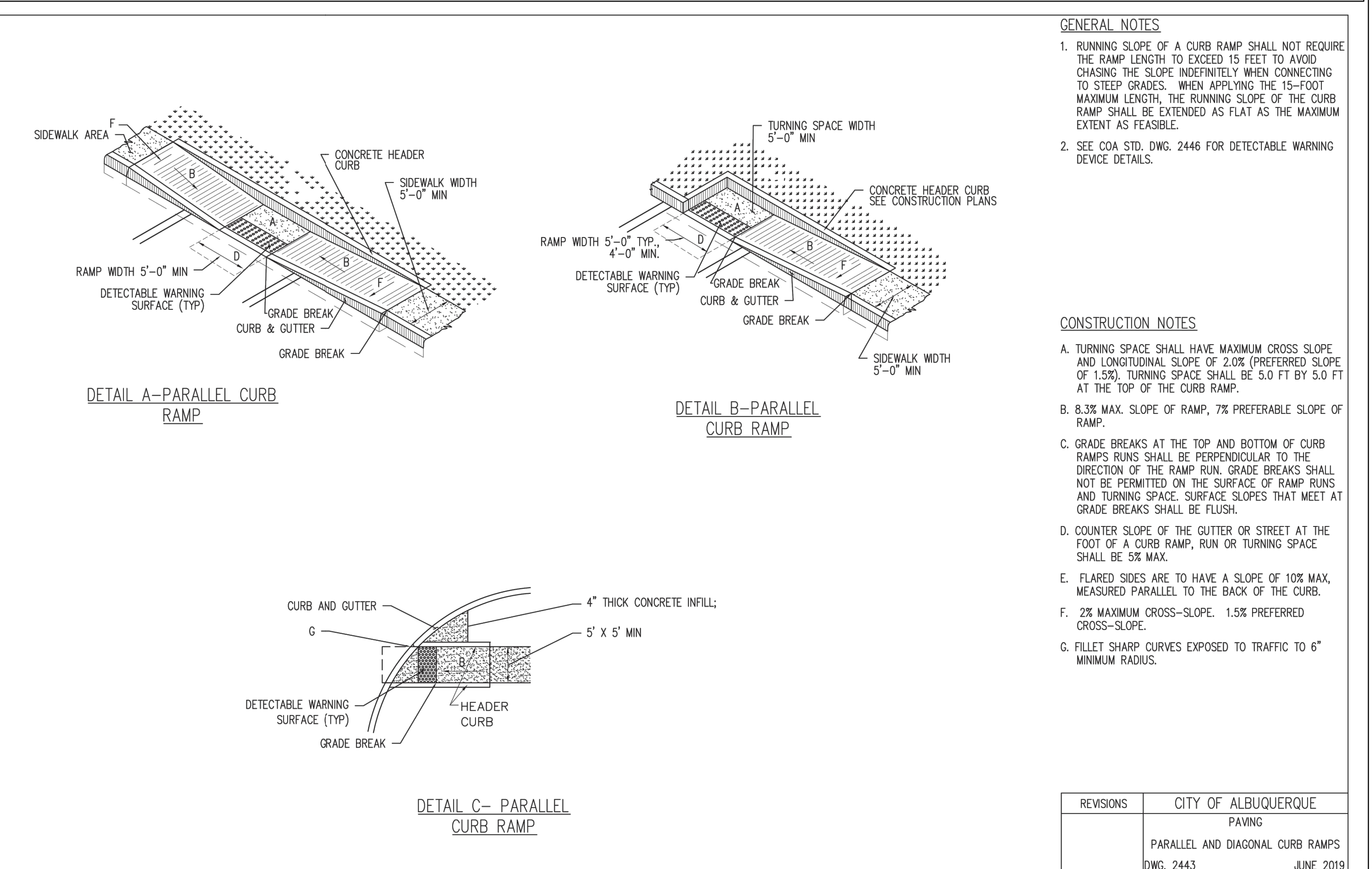
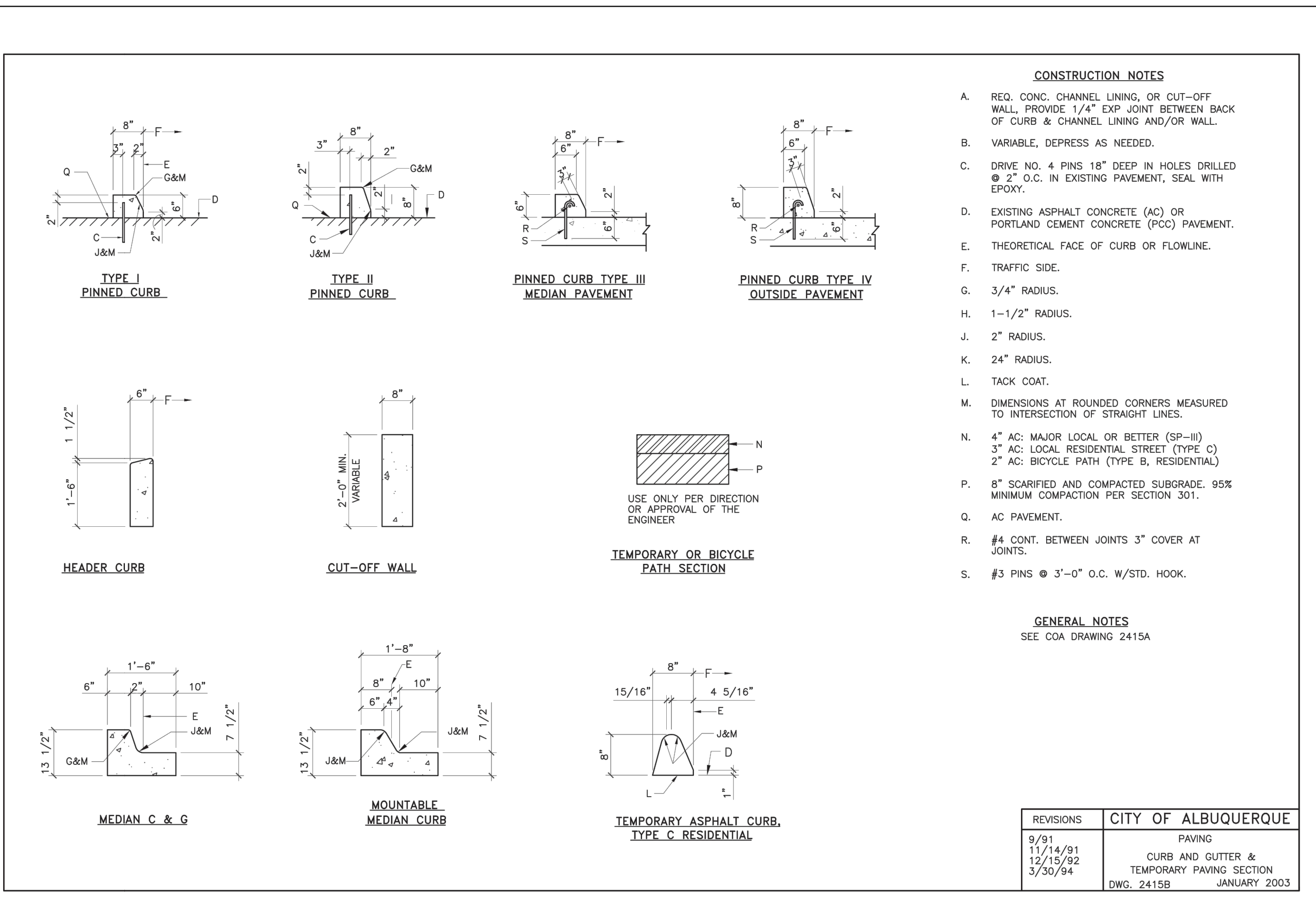
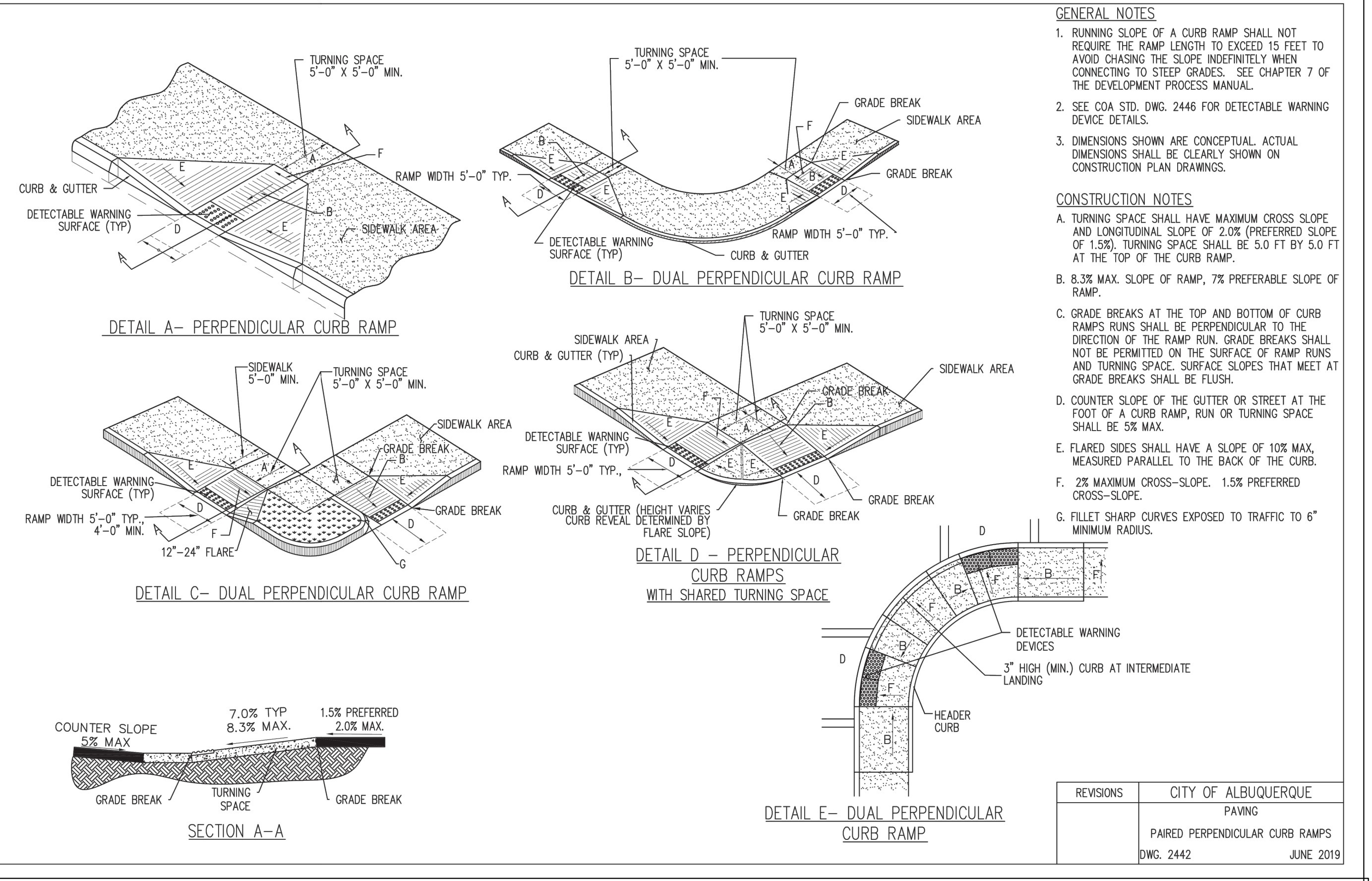
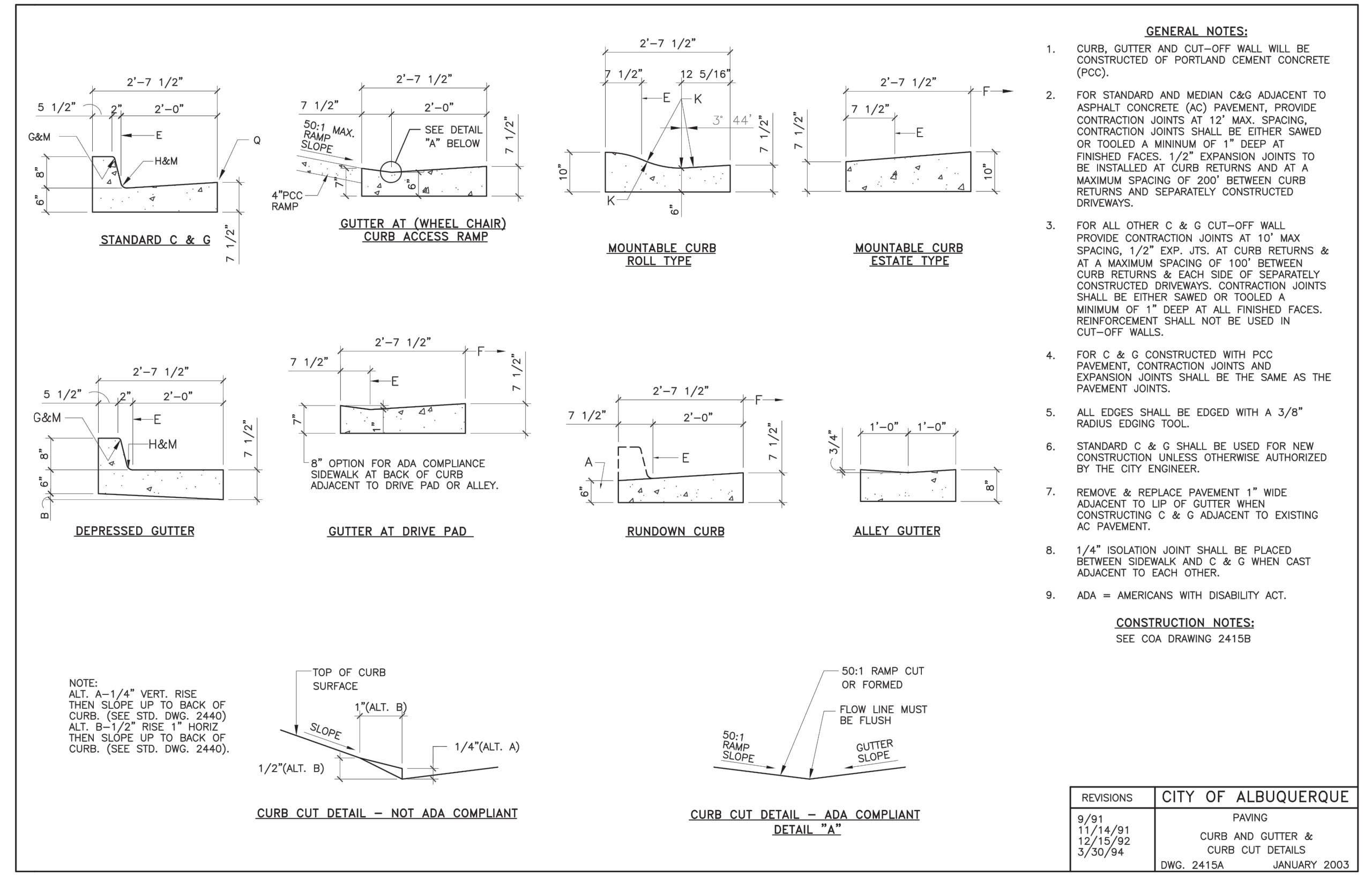
Date: 05.12.2022

Project Number: 090042000

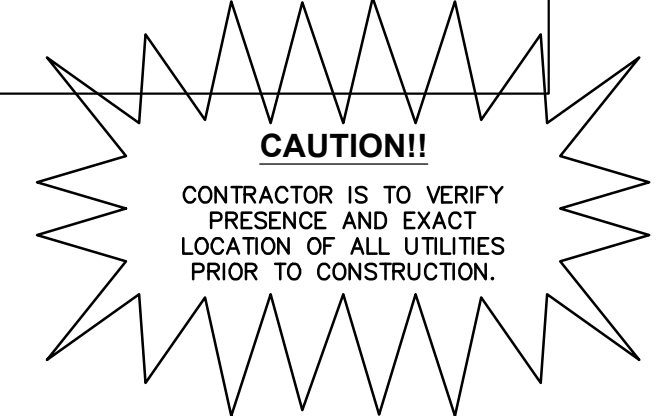
Drawn By: LW/LN

Sheet Number:

C9.0



Know what's below.
Call before you dig.



Store:
Montgomery & San Mateo
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A

Engineer's Information:
Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
13455 Noel Road
Two Galleria Office Tower
Suite 700
Dallas, TX 75240
CONTACT: LAUREN NUFFER, P.E.
(972) 770-1300
LAUREN.NUFFER@KIMLEY-HORN.COM
LIZ.WILLMOT@KIMLEY-HORN.COM
Professional of Record:



Prototype : P4E-V-AV 2021- 2.0 RELEASE
Prototype Issue Date: 10.04.2021
Kitchen Issue Date: 08.02.2021
Design Bulletin Updates: --
Date Issued: Bulletin Number: --

2ND BLDG. RESUBMITTAL

REVISIONS		
1	11/12/2021	80% REVIEW SET
2	11/30/2021	1ST BLDG SUBMITTAL
3	12/20/2021	1ST BLDG RESUBMITTAL
4	01/17/2022	2ND BLDG RESUBMITTAL
5		
6		
7		
8		
9		

Sheet Title:
CITY CONSTRUCTION DETAILS

Date: 05.12.2022
Project Number: 090042000
Drawn By: LW/LN

Sheet Number:

C10.0

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Restaurant # RC852

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract B-1 of Vista Grande Addition Plat

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		205'	Concrete Curb & Gutter	East side of Montgomery Blvd NE	East Property Line	204' West of East Property Line	/	/	/
		203'	Concrete Valley Gutter	East side of Montgomery Blvd NE	East Property Line	204' West of East Property Line	/	/	/
		1,192 SF 190 LF 12 LF	Asphalt Pavement Montgomery Right-Lane Length Montgomery Right-Lane Width	East side of Montgomery Blvd NE	East Property Line	160' West of East Property Line	/	/	/
		1,214 SF	Concrete Sidewalk	East side of Montgomery Blvd NE	East Property Line	204' West of East Property Line	/	/	/
		62'	6" Sanitary Sewer Pipe	East side of Montgomery Blvd NE	North Property Line	62' North of North Property Line	/	/	/
		17'	15" RCP Storm Drain Pipe	East side of Montgomery Blvd NE	North Property Line	17' North of North Property Line	/	/	/
		22'	Gas Pipe	East side of Montgomery Blvd NE	North Property Line	22' North of North Property Line	/	/	/
		1	Relocation of Light Pole	East side of Montgomery Blvd NE	Behind Existing Property Line	Behind Future Property Line	/	/	/
		2	Relocation of Electric Pullbox	East side of Montgomery Blvd NE	Existing Sidewalk	Future Sidewalk	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	76'	Removal of Valley Gutter	East side of Montgomery Blvd NE	East Property Line	204' West of East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	205'	Removal of Curb & Gutter	East side of Montgomery Blvd NE	East Property Line	204' West of East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	244 SF	Removal of Asphalt Pavement	East side of Montgomery Blvd NE	East Property Line	40' West of East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	1,215 SF	Removal of Concrete Sidewalk	East side of Montgomery Blvd NE	East Property Line	204' West of East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	178 SF	Removal and Replacement of Asphalt Pavement for Utility Trenching	East side of Montgomery Blvd NE	19' North of North Property Line	64' North of North Property Line	/	/	/
<input type="text"/>	<input type="text"/>	101 SF	Removal and Replacement of Asphalt Pavement for Utility Trenching	East side of Montgomery Blvd NE	North Property Line	19' North of North Property Line	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Crst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Liz Willmot, P.E.
NAME (print)
Kimley-Horn
FIRM
Liz Willmot 05/12/2022
SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION - date

AMAFCA - date

CODE ENFORCEMENT - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER