



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.		
SUBDIVISIONS	<input checked="" type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Final Approval on EPC Major Amendment to Site Plan for Subdivision to add in a new Raising Canes restaurant.		

APPLICATION INFORMATION		
Applicant/Owner: Raising Cane's Restaurants, LLC (applicant)		Phone: (972) 769-3364
Address: 6800 Bishop Road		Email: Cassie.Kussow@kimley-horn.com
City: Plano	State: TX	Zip: 75024
Professional/Agent (if any): Modulus Architects & Land Use Planning, Inc.		Phone: (505) 338-1499
Address: 100 Sun Ave. NE Suite 600		Email: rokoye@modulusarchitects.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site:	List all owners	Tradecor 4800 Montgomery LLC
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: TR B-1	Block: A	Unit:
Subdivision/Addition: VISTA GRANDE ADDN UNIT 1	MRGCD Map No.:	UPC Code: 101706044751711603
Zone Atlas Page(s): G-17-Z	Existing Zoning: MX-M	Proposed Zoning N/A
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): +/- 1.2533
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 4800 Montgomery BLVD NE	Between: MONTGOMERY BLVD NE	and: San Mateo Blvd
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
Project #2021-005467, SI-2022-00520		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 5/3/2022
Printed Name: Regina Okoye	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized* with the Development Review Application and this Form P2 at the front followed by the remaining documents *in the order provided on this form*.

SKETCH PLAN – DRB

SITE PLAN – DRB

MAJOR AMENDMENT TO SITE PLAN – DRB

EXTENSION OF SITE PLAN – DRB

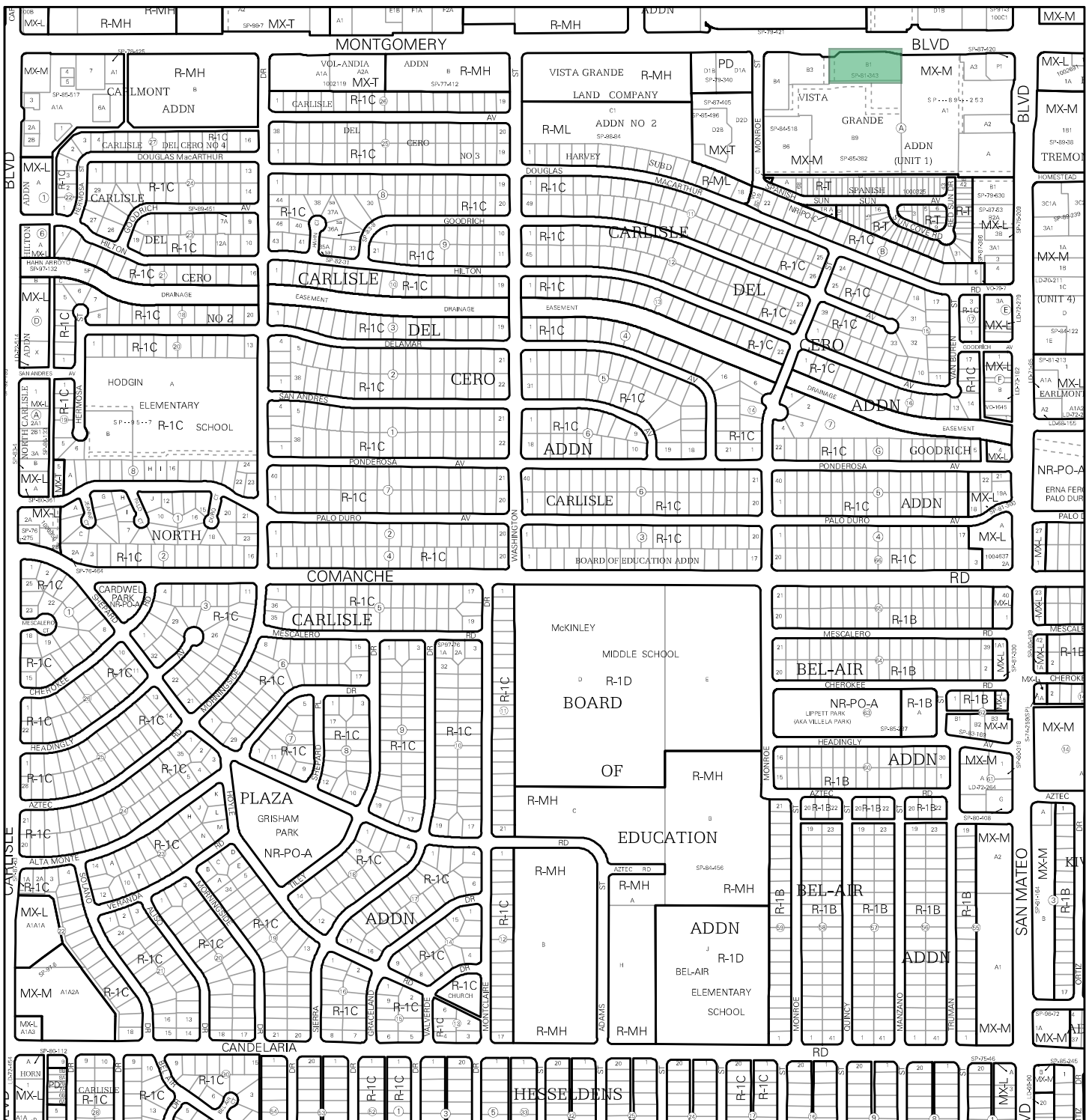
- ___ Interpreter Needed for Hearing? ___ if yes, indicate language: _____
- ___ PDF of application as described above
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)
- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(l)(3)
- ___ Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- ___ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (*not required for Extension*)
- ___ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) (*not required for extension*)
 - ___ Office of Neighborhood Coordination neighborhood meeting inquiry response
 - ___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - ___ Completed neighborhood meeting request form(s)
 - ___ If a meeting was requested or held, copy of sign-in sheet and meeting notes
- ___ Sign Posting Agreement
- ___ Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
 - ___ Proof of emailed notice to affected Neighborhood Association representatives
 - ___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
- ___ Completed Site Plan Checklist
- ___ Site Plan and related drawings
- ___ Copy of the original approved Site Plan or Master Development Plan (*for amendments and extensions*)
- ___ Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
- ___ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units
- ___ Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2.)(d.) if site is within a designated landfill buffer zone
- ___ Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS - EPC

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

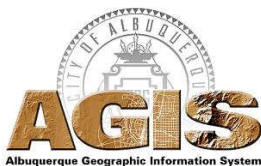
A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized* with the Development Review Application and this Form P2 at the front followed by the remaining documents *in the order provided on this form*.

- N/A Interpreter Needed for Hearing? ___ if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Solid Waste Department signature on Site Plan
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- Approved Grading and Drainage Plan
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Site Plan and related drawings
- Infrastructure List, if require

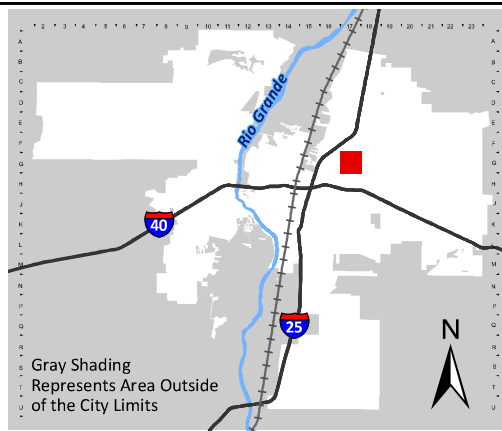


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

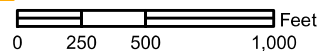


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
G-17-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





January 14, 2022

To Whom It May Concern:

Please let this letter serve as authorization, from Raising Cane's, as the developer, and TRADECOR 4800 Montgomery LLC, as the owner, for Modulus Architects and Land Use Planning, Inc to proceed with securing necessary entitlements and permits with the Authority Having Jurisdiction for the proposed Raising Cane's Chicken Finger Restaurant and Drive through located at 4800 Montgomery Boulevard NE, Albuquerque, New Mexico.

Sincerely,

LuAron Foster Digitally signed by LuAron Foster
DN: cn=LuAron Foster, o=Raising Cane's, ou,
email=lfoster@raisingcanes.com, c=US
Date: 2022.01.21 08:50:53 -06'00'

LuAron Foster
Senior Property Development Manager
Raising Cane's Chicken Fingers
6800 Bishop Road
Plano, TX 75024
(972) 769-3364

DocuSigned by:
Britt Rand Sanchez Britt Rand Sanchez, Member
E9D3E73E11B6400...

TRADECOR 4800 Montgomery LLC
7500 San Jacinto PL E-180
Plano, TX 75024

April 5, 2022

Chair

Klarissa J. Peña
City of Albuquerque
Councilor, District 3

Vice Chair

Debbie O'Malley
County of Bernalillo
Commissioner, District 1

Tammy Fiebelkorn
City of Albuquerque
Councilor, District 7

Trudy E. Jones
City of Albuquerque
Councilor, District 8

Timothy M. Keller
City of Albuquerque
Mayor

Charlene Pyskoty
County of Bernalillo
Commissioner, District 5

Steven Michael Quezada
County of Bernalillo
Commissioner, District 2

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Liz Willmot
Kimley-Horn
1000 2nd Avenue
Suite 3900
Seattle, WA 98104

RE: Water and Sanitary Sewer Availability Statement #220303
Project Name: Raising Cane's C0852
Project Address: 4800 Montgomery Boulevard NE
Legal Description: Tract B-1, Block A, Vista Grande Addition Unit 1
UPC: 101706044751711603
Zone Atlas Map: G-17

Dear Ms. Willmot:

Project Description: The subject site is located along Montgomery Boulevard, west of San Mateo Boulevard, within the City of Albuquerque. The proposed development consists of approximately 1.25 acres and the property is currently zoned MX-M for mixed-use, moderate intensity. The property lies within the Pressure Zone 2E in the Montgomery Trunk. The request for availability indicates plans to develop the lot for a commercial restaurant, the proposed improvements consist of a new 3,331 SF building with drive thru, hardscaped patio, and associated improvements.

Existing Conditions: Water infrastructure in the area consists of the following:

- Six-inch cast iron distribution line (project #03-43-64) along both the northern and southern side of Montgomery Boulevard.
- 36-inch concrete cylinder distribution line (project #09-128-61) along Montgomery Boulevard.

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch vitrified clay sanitary sewer collector (project #014-258-60) along Montgomery Boulevard.

Water Service: New metered water service to the property can be provided via routine connection to the existing six-inch distribution main along the southern side of Montgomery Boulevard. Connection to the 36-inch line is prohibited per the Development Practice Manual Article 9-6 Item 7, "Mains equal to or larger than 16 inches shall not to be tapped for service." The engineer is responsible for determining pressure losses and sizing of the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: New sanitary sewer service can be provided via routine connection to the existing eight-inch collector along Montgomery Boulevard. It is understood that the proposed connection point is to come from a manhole on the northeastern side of the site. There is no record of a manhole in this location. Connection can be made by coring into the main. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

All food service establishments must install a grease trap upstream of the domestic private sewer connection prior to discharge into the public sanitary sewer lines.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1,500 gallons-per-minute. One fire hydrant is required. There is one existing hydrant available and one new hydrant is proposed with this project. The Fire one plan does not call out the existing hydrant and the new hydrant is shown to be outside public easement. All proposed hydrants located outside public easements are to be considered private and painted orange. If the existing hydrant needs to be moved, it must remain within public easement. As modeled using InfoWater™ computer software, the fire flow can be met. Analysis was performed by simulating the required fire flow at hydrant #107.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the reduced principle backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker or a reduced pressure principle backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced pressure principle backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at (505) 289-3454 for more information.

Pretreatment: The development is for commercial use and has the potential to discharge Fats, Oils, Grease and/or Solids (FOGS) to the sanitary sewer and/or falls under one of the applicable users in the SUO:

FOGS Applicability SUO Section 3-3-2 A.:

Users "...such as food service establishments, commercial food processors, automotive shops, auto wash racks, car washes, vehicle fueling stations, septic tank pumps, grease rendering facilities, breweries/distilleries, bottling plants, commercial and industrial laundries, slaughterhouses & meat packing establishments (fish, fowl, meat, curing, hide curing), oil tank firms and transporters..."

Such Users must comply with all FOGS discharge requirements defined in SUO Section 3-3-2 and FOGS Policy including but not limited to:

1. Installation of an adequately sized Grease Interceptor (GI) approved by the appropriate code enforcement authority (City of Albuquerque, and/or Bernalillo County)
2. All FOGS source within the facility are plumbed to the GI as required by the appropriate plumbing code.
3. Long term Best Management Practices (BMP), and GI maintenance such as pumping and manifest requirements.
4. Unobstructed access to inspections of the facility and records.

A copy of the Sewer Use and Wastewater Control Ordinance and FOGS Policy can be found on the Pretreatment page of the Water Authority Website:

<https://www.abcwua.org/sewer-system-industrial-pretreatment-overview/>

Contact the Industrial Pretreatment Engineer, Travis Peacock, at (505) 289-3439 or pretreatment@abcwua.org for coordination or clarification of any of the above requirements.

Easements: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet

by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: Design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Mini Work Order process. However, if the work will be done within the City of Albuquerque public right-of-way, coordination with the City of Albuquerque Design Review and Construction Section must take place if this mechanism will be acceptable. Construction must be performed by a licensed and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding account fees.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,




Mark S. Sanchez
Executive Director


Enclosures: Infrastructure Maps
f/ Availability Statement #220303


220303 - Water Map



Legend

 Project Location


 Valve


 Hydrant

Pipe

SUBTYPE

 Distribution Line

 Hydrant Leg

 --- Fire Flow Analysis Points

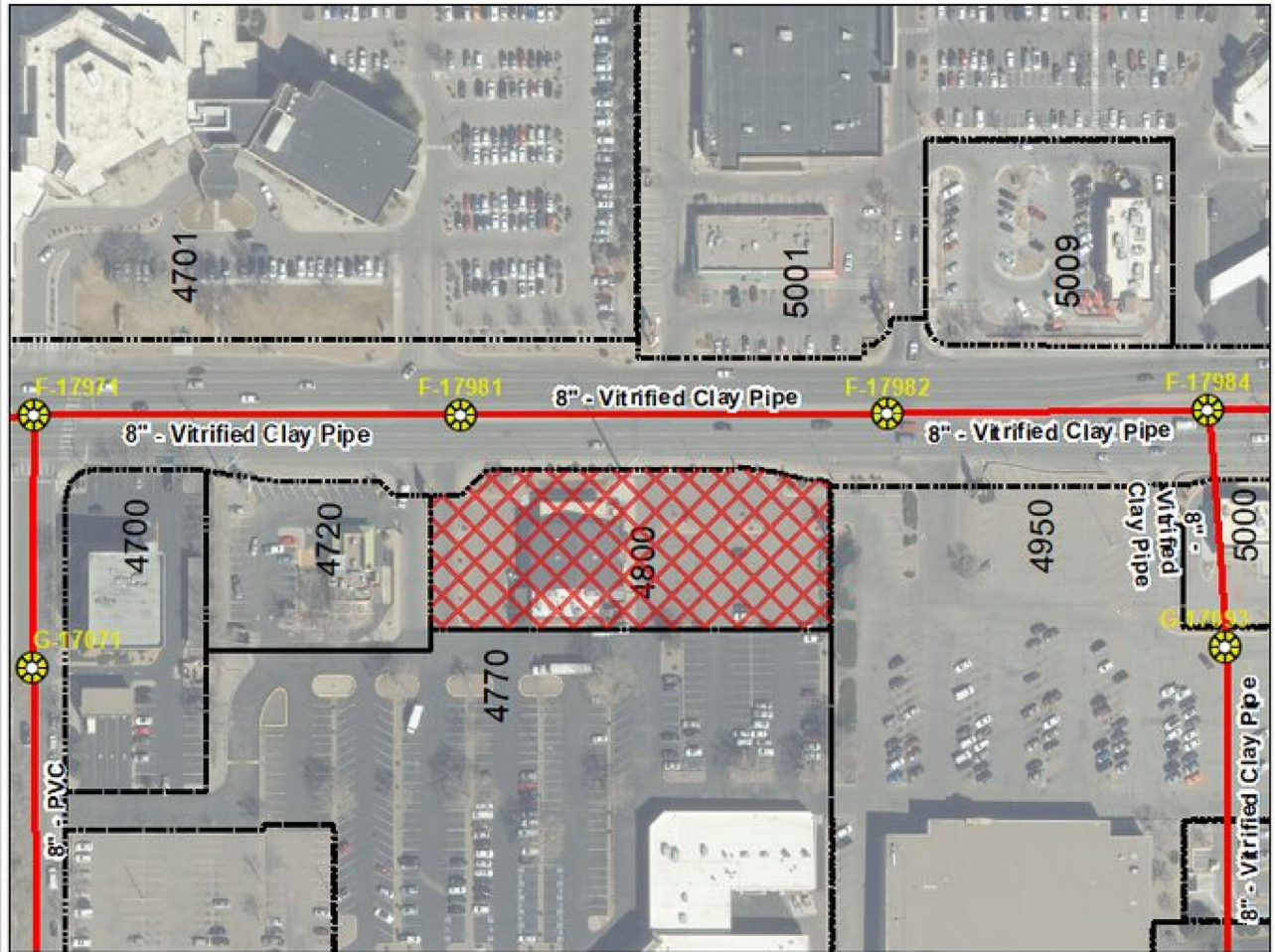
1 --- Analysis Point

0 305 610 Feet





Water Utility
Authority

220303 - Sanitary Sewer



Legend

-  Project Location
-  Sewer Manhole

Sewer Pipe SUBTYPE

-  COLLECTOR

0 305 610 Feet



Water Utility
Authority

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 2, 2022

Lauren Nuffer, P.E.
Kimley-Horn
13455 Noel Road Two Galleria Office Tower Suite 700
Dallas, TX 75024

**RE: Raising Cain's C0852
4800 Montgomery Blvd, NE
Grading and Drainage Plan
Engineer's Stamp Date: 4/27/22
Hydrology File: G17D011**

Dear Ms. Nuffer:

Based upon the information provided in your submittal received 5/2/22, the Grading and Drainage Plans are approved for Building Permit, DRB submittals, and Work Order.

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

Please use the attached City of Albuquerque Treasury Deposit form and when ready please email this form to Yolanda Montoya (yolandamontoya@cabq.gov). She will then produce and email back with a receipt and instructions on how to pay online. Once paid, please email me proof of payment. This will insure that Hydrology will be able to process Permanent Release of Occupancy approval when officially submitted.

If you have any questions, please contact me at 924-3695 or dggutierrez@cabq.gov.

Sincerely,

David G. Gutierrez, P.E.
Senior Engineer, Hydrology
Planning Department

PO Box 1293

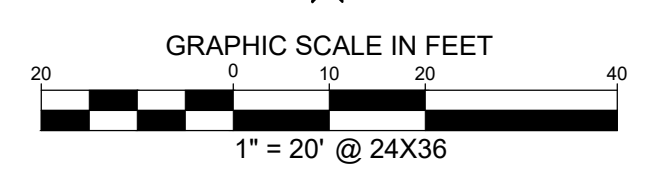
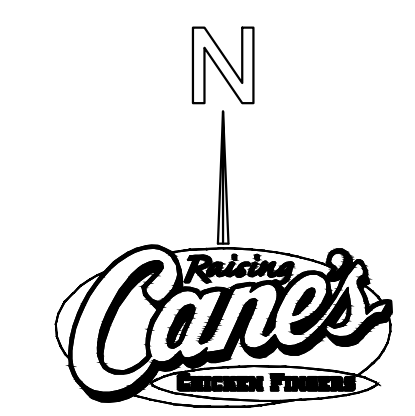
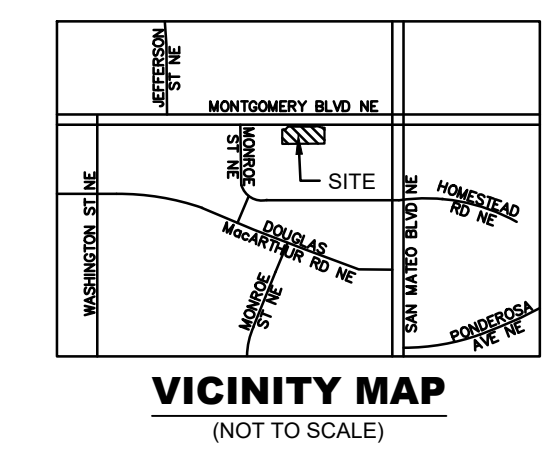
Albuquerque

NM 87103

www.cabq.gov

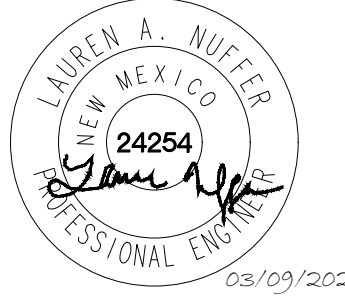


Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tel: 972-765-3100 Fax: 972-769-3101



Store:
Montgomery & San Mateo
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A

Engineer's Information:
Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
13455 Noel Road
Two Galleria Office Tower
Suite 700
Dallas, TX 75240
CONTACT: LAUREN NUFFER, P.E.
(972) 770-1300
LAUREN.NUFFER@KIMLEY-HORN.COM
LIZ.WILLMOT@KIMLEY-HORN.COM
Professional of Record:



Prototype : P4E-V-AV 2021- 2.0 RELEASE
Prototype Issue Date: 10.04.2021
Kitchen Issue Date: 08.02.2021
Design Bulletin Updates: --
Date Issued: Bulletin Number: --

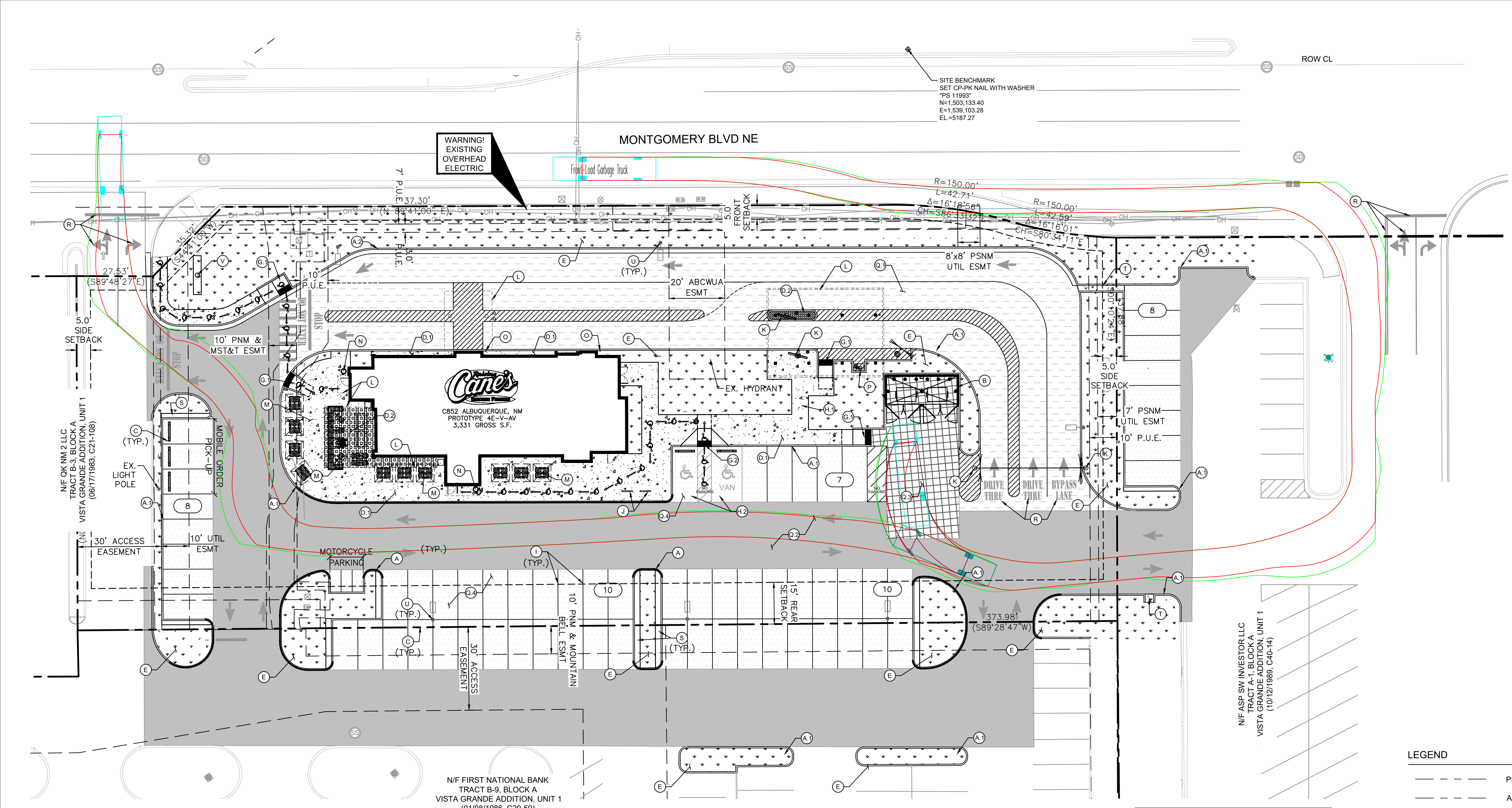
2ND BLDG. RESUBMITTAL

REVISIONS:

1	11/12/2021	80% REVIEW SET
2	11/30/2021	1ST BLDG SUBMITTAL
3	12/20/2021	1ST BLDG RESUBMITTAL
4	01/17/2022	2ND BLDG RESUBMITTAL
5		
6		
7		
8		
9		

Sheet Title:
SITE KEYNOTE PLAN
Date: 03.09.2022
Project Number: 090042000
Drawn By: LW/LN
Sheet Number:

C5.0



KEYNOTE LEGEND

(A)	CONSTRUCT 6" TYPE 1 PINNED CURB, REFER TO CITY OF ALBUQUERQUE CONSTRUCTION DETAILS ON SHEET C10.0
(A2)	CONSTRUCT 6" STANDARD CURB & GUTTER, REFER TO CITY OF ALBUQUERQUE CONSTRUCTION DETAILS ON SHEET C10.0
(B)	RECYCLING/TRASH DUMPSTER LOCATION, REFER TO ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY
(C)	WHEEL STOPS, SEE DETAIL ON SHEET C9.0
(D)	PRIVATE CONCRETE SIDEWALK, SEE DETAIL ON SHEET C9.0
(D2)	COVERED PATIO INTEGRAL COLOR SMOKESTACK 102 - 5LB
(D3)	PAVERS IN MENU ISLAND: BELGARD HOLLAND STONE, LEGACY PAVERS IN HERRINGBONE/BASKETWEAVE PATTERN CHARCOAL OR SIMILAR GRAY COLOR SEE LANDSCAPE FOR INSTALLATION DETAIL
(E)	LANDSCAPE AREA, REFER TO LANDSCAPE PLANS
(E2)	BARRIER FREE RAMP, SEE DETAIL ON SHEET C9.0
(E3)	SIDEWALK RAMP AND DETECTABLE WARNING SYSTEM PER CITY OF ALBUQUERQUE STANDARD DWG 2442 (DETAIL A)
(H)	RAMP, SEE GRADING PLAN SHEET C6.0 FOR DETAILS
(H2)	ACCESSIBLE PARKING STALL
(I)	PAVEMENT STRIPING, REFER TO SHEET C5.2
(J)	BICYCLE RACK PARKING RACK, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(K)	DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(L)	CANOPY, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(M)	PROPOSED PATIO, REFER TO ARCHITECTURAL PLANS FOR SEATING AND SPACING LAYOUT

(N)	PROPOSED TRASH CAN, REFER TO ARCHITECTURAL SITE DETAILS
(O)	BOLLARD IN CURB, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(P)	HAND WASH STATION, REFER TO ARCHITECTURAL PLANS FOR DETAIL
(P3)	INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) STANDARD DUTY CONCRETE PAVEMENT, SEE DETAIL ON SHEET C9.0
(P32)	MEDIUM DUTY ASPHALT PAVEMENT, SEE DETAIL ON SHEET C9.0
(P33)	HEAVY DUTY CONCRETE PAVEMENT, SEE DETAIL ON SHEET C9.0
(P34)	LIGHT DUTY ASPHALT PAVEMENT, SEE DETAIL ON SHEET C9.0
(R)	DIRECTIONAL PAVEMENT MARKING, REFER TO SHEET C5.2
(S)	CONCRETE SIDEWALK, 2.5' WIDTH ADJACENT TO PARKING SPACES
(T)	CONCRETE FLUME
(U)	PROPOSED SITE LIGHTING, REFER TO ELECTRICAL PLANS FOR DETAIL
(V)	RAISING CANE'S PYLON SIGN TO BE DESIGNED BY OTHERS

- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
 - REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
 - EXISTING STRUCTURES AND OR UTILITIES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC. DATED FEBRUARY 2021.
 - ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY OF ALBUQUERQUE STANDARDS.
 - PER FEMA MAP NUMBER 35001C0139G DATED SEPTEMBER 26, 2008, THIS SITE IS NOT WITHIN A FLOODPLAIN, BUT IS ADJACENT TO FLOOD ZONE AO
 - BUILDING IS FIRE SPRINKLED.
 - CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT IS NOT TO BE HELD LIABLE FOR ANY DAMAGE TO THE ASPHALT PAVEMENT.

COORDINATE AND DIMENSION INFORMATION

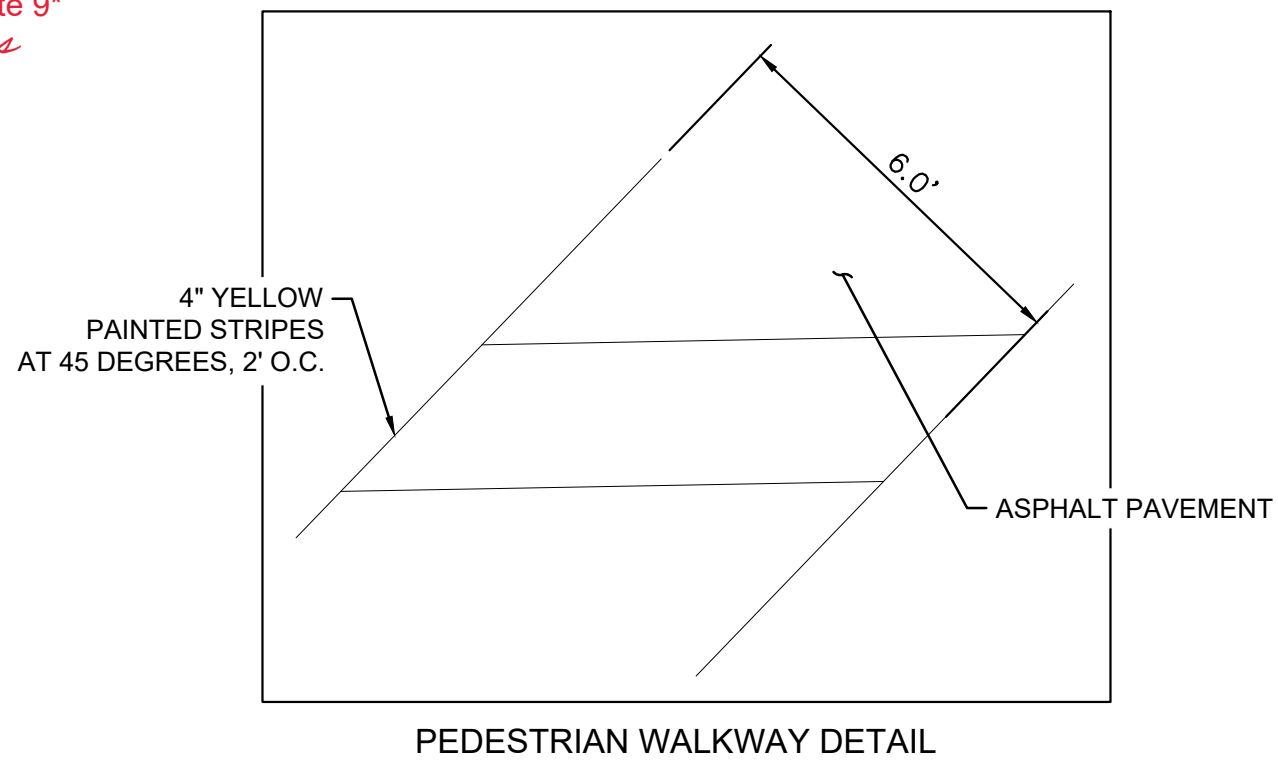
STATE PLANE ZONE: NM-C
GRID/GROUND COORDINATES: STANDARD
TYPE: NAD83
HORIZONTAL DATUM: NAVD83
VERTICAL DATUM: 0'00'00.00"
ROTATION ANGLE: YES
MATCHES DRAWING UNITS: ALBUQUERQUE GEODETIC
CONTROL USED: GROUND
REFERENCE SYSTEM: GROUND
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000348716
GROUND TO GRID: 0.999651406

DISTANCE ANNOTATION: GRID
BEARING ANNOTATION: GRID
BASE POINT FOR SCALING AND/OR ROTATION: N=0
E=0
±0.00'
ELEVATIONS VALID: YES

Approved for access by the
Solid Waste Department 1 dumpster 1 recycle dumpster
Herman Gallegos 04-01-22 *See note 9*
Herman Gallegos

PARKING / SITE DATA PER IDO

TRACT B-1 VISTA GRANDE SUBDIVISION	
EXISTING ZONING	MIXED USE (MX-M)
PROPOSED USE	RESTAURANT W/ DRIVE-THRU
LOT AREA	55,027 SF / 1.26 AC
BUILDING AREA	3,331 SF
FINISHED FLOOR ELEVATION	5,187.71 FT
IMPERVIOUS AREA	44,679 SF
LOT COVERAGE	81.2%
	REQUIRED PROVIDED
TOTAL PARKING	34 SPACES 35 SPACES
ACCESSIBLE	2 SPACES 2 SPACES
MOTORCYCLE	2 SPACES 3 SPACES
BICYCLE	3 SPACES 5 SPACES
PARKING REQUIRED FOR DRIVE-THRU RESTAURANT IS 8 SPACES / 1,000 SF INDOOR AND 3 SPACES / 1,000 SF OF OUTDOOR SPACE.	



LEGEND

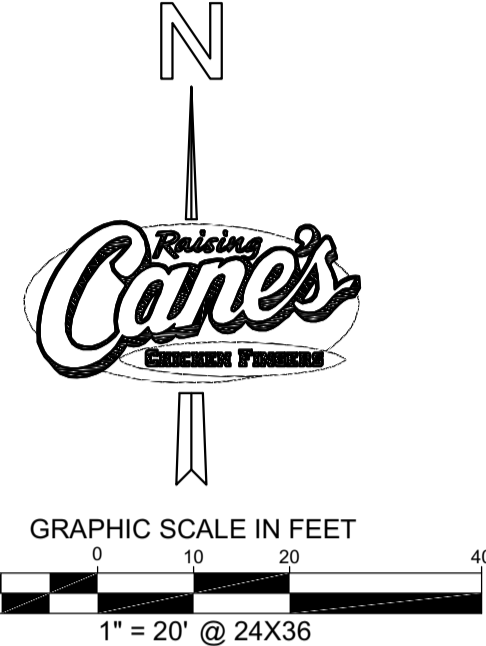
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EASEMENT/SETBACK
---	PROPOSED SAWCUT
---	PROPOSED CONCRETE CURB
---	EXISTING CURB
(X)	PROPOSED PARKING COUNT
---	PROPOSED LANDSCAPE AREA
(D)	CONCRETE SIDEWALK
(D2)	COVERED PATIO INTEGRAL COLOR SMOKESTACK 102 - 5LB
(D3)	PAVERS AT CENTER MENU ISLAND UNDER CANOPY BELGARD HOLLAND STONE, LEGACY PAVERS IN HERRINGBONE/BASKETWEAVE PATTERN CHARCOAL OR SIMILAR GRAY COLOR SEE DETAIL SHEET C9.0
(E2)	LIGHT DUTY ASPHALT PAVEMENT
(E3)	MEDIUM DUTY ASPHALT PAVEMENT
(E32)	INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) STANDARD DUTY CONCRETE PAVEMENT
(E33)	HEAVY DUTY CONCRETE PAVEMENT
---	ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)





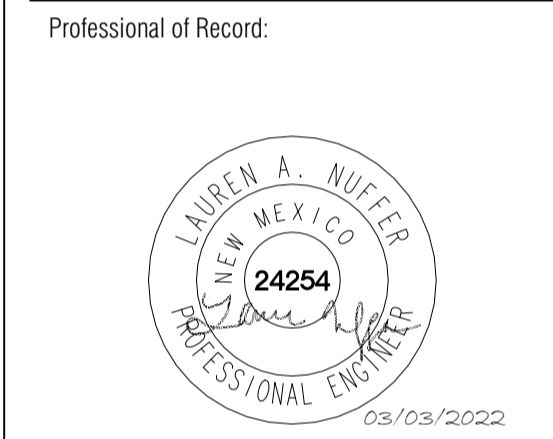
ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: P-22-009
APPROVED DATE: 03/03/22
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1500GPM 1HYDRANT 3331SQFT V-B



Store:
Montgomery & San Mateo
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A

Engineer's Information:
Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
13455 Noel Road
Two Galleria Office Tower
Suite 700
Dallas, TX 75240
CONTACT: LAUREN NUFFER, P.E.
(972) 770-1300
LAUREN.NUFFER@KIMLEY-HORN.COM
LIZ.WILLMOT@KIMLEY-HORN.COM



Prototype : P4E-V-AV 2021- 2.0 RELEASE

Prototype Issue Date:	10.04.2021
Kitchen Issue Date:	08.02.2021
Design Bulletin Updates:	--
Date Issued:	Bulletin Number:
--	--

2ND BLDG. RESUBMITTAL

REVISIONS:

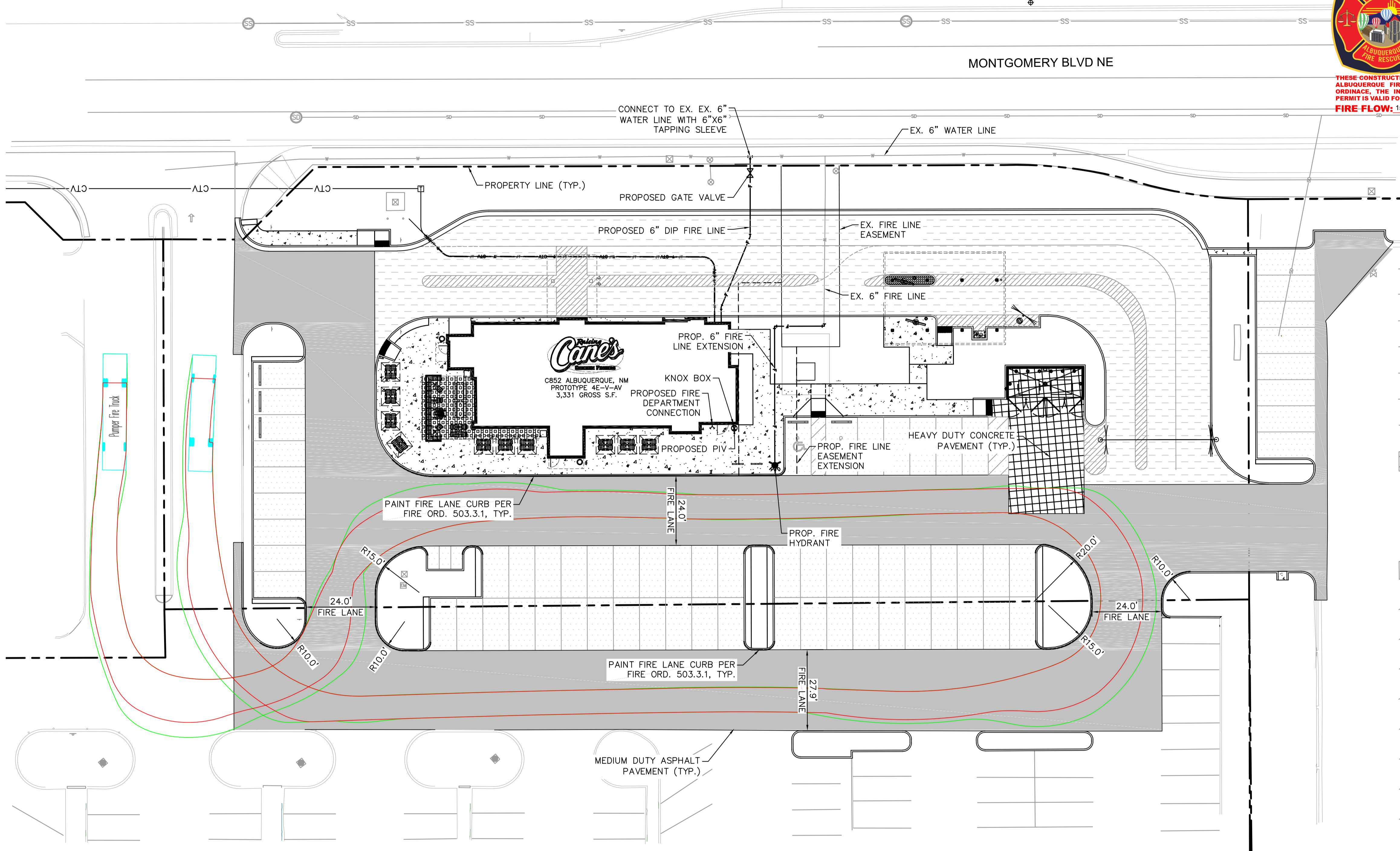
11/12/2021	80% REVIEW SET
11/30/2021	1ST BLDG SUBMITTAL
12/20/2021	1ST BLDG RESUBMITTAL
01/17/2022	2ND BLDG RESUBMITTAL

Sheet Title:
FIRE PLAN

Date: 03.03.2022

Project Number: 090042000

Drawn By: LW/LN



- FIRE ONE NOTES**
- BUILDING: 3,331 SF
 - BUILDING TYPE: VB - SPRINKLED
 - OCCUPANCY CLASSIFICATION: A2 - ASSEMBLY (IFC 2018)
 - STRUCTURE HEIGHT: 19'-10"
 - FIRE FLOW: 1,500 GPM FOR 2 HOURS
 - HYDRANTS:
 - MIN. NUMBER OF HYDRANTS: 1
 - MAX HYDRANT SPACING: 500 FT
 - MAX DISTANCE ON FRONTAGE TO HYDRANT: 250 FT
 - THE PARKING SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
 - THE MINIMUM DRIVE AISLE WILL BE 24' UNLESS OTHERWISE SPECIFIED.
 - BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
 - ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
 - FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
 - INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.
 - ALL FIRE HYDRANT SUPPLY LINES THAT BRANCH OFF OF THE WATER LINES SHALL BE 6" DIA. UNLESS OTHERWISE NOTED ON THE PLANS.
 - WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWING SHALL BE ONSITE FOR INSPECTIONS.





Re: Project #2021-005467, SI-2022-00520, Raising Cane's Restaurants LLC Site Plan-EPC, Major Amendment (4800 Montgomery BLVD NE, Albuquerque, NM 87109)

Dear DRB Chair,

Modulus Architects & Land Use Planning, Inc., hereafter referred to as "Agent" for the purpose of this request, represents Raising Cane's Restaurants, LLC, hereafter referred to as "Applicant." Regarding the project referenced above, please see our responses listed below. The site is located at 4800 Montgomery Blvd NE, Albuquerque, NM 87109. The parcel (the "subject site") is approximately 1.3 acres in size, zoned MX-M and is located on the southeast corner of Montgomery Blvd & Monroe St NE. The subject site is Tract B-1 only. The EPC approved ***Project #2021-005467 SI-2022-00520*** on April 21, 2022. The approved Site Plan was delegated to the DRB for a final sign-off. Below is how the applicant address all the "Conditions of Approval" per the NOD dated April 21, 2022.

1. The EPC delegates final sign-off authority of this site development plan to the Site Plan-DRB Process as per IDO Section 6-5(G)(1). The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.

Response: All EPC Conditions have been satisfied and that other applicable City requirements have been met.

2. CONDITIONS FROM TRANSPORTATION DEVELOPMENT SERVICES:

A. The Traffic Study shall need to be reviewed and approved prior to site plan approval through DRB action. All recommendations within the Traffic Study shall be implemented by the site plan; any public infrastructure shall be placed onto an infrastructure list and built per a work order.

Response: The Traffic Study has been approved and all improvements have been implemented into the Site Plans.

B. Show property lines and easements on site plan. Shared access easement will need to be established for the new business.

Response: Property line is shown on the site plans. A shared access easement will be identified in the platting action.

C. Show widths of all existing vehicular ways and sidewalk surrounding the site. Additional infrastructure may be required at DRB to abide by DPM requirements within the right-of-way.

Response: Existing vehicular ways, sidewalks, and easements are dimensioned.

D. Provide all required parking calculations for the site, the ADA parking, bicycle and motorcycle parking.

Response: Required and proposed parking calculations are provide for standard vehicular, accessible vehicular, bicycle, and motorcycle stalls.

E. Dimension all driving aisles, pedestrian ways and parking spaces, following DPM requirements.

Response: A Dimensional Control Plan has been provided, which includes dimensions for proposed driving aisles, pedestrian ways, and parking spaces.

F. Use keyed notes to call out curb on the site plan. Curb shall be between 6-8" high to separate parking spaces from landscaping and sidewalk. Follow requirements of the DPM for all curb radii along the driving aisle and for the landscape islands; a minimum 15-foot radius should be required around the building site for passenger car traffic, and a minimum 25-foot radius should be required for the inner drive-thru aisle along with a 12-foot wide drive aisle at the 90-degree turn adjacent to the median.

Response: Proposed curbing is called out and is referencing City of Albuquerque standard details. Curbing is 6" high and was designed per DPM standards. Inner drive-thru aisle radius has been updated accordingly. Including the striped median, the drive aisles in the drive-thru are each 12' wide.

G. Include all civil details for sidewalk, curb ramps, paving, curb, bike racks, and signage.

Response: Project Detail sheets have been included which contain details for sidewalk, curb ramps, paving, and curb. An Architectural Detail sheet contains the bike rack detail. A Striping and Signage Plan includes all proposed signage details.

H. Show bike racks and motorcycle parking on the plan. Provide overall dimensioning for the bike rack area based upon parking requirements.

Response: Bike racks and motorcycle parking is shown on the plan. The bike rack area has been shown and dimensioned at 6'x2' per bike parking space.

I. For perpendicular curb ramps, show a minimum 4-foot by 4-foot landing area at the top of the ramp for wheelchairs to turn.

Response: Landing areas are now shown. The proposed ramps are 5' wide, so the landings shown are 5' wide by 4' deep.

J. A 6-foot wide ADA pathway is needed to connect to the right-of-way from the business entry and from the main entry to the handicapped spaces. Show dimensioning of all new walkways.

Response: A detail of the pathway has been added to the Site Keynote Plan to confirm its width of 6'.

K. Include van accessible aisle requirements. Show "No Parking" at the back of all of the accessible aisles.

Response: "No Parking" striping annotation has been added to the back of both accessible aisles.

L. Include "Do Not Enter", one-way signs, and directional arrows on pavement for the drive-thru.

Response: "Do Not Enter" signs are proposed on both sides of the drive-thru exit in addition to striping on the pavement. "Drive Thru" and arrow pavement markings identify the flow of traffic through the drive thru.

M. If using Mobile Order Pick-up, provide designated signage for those parking spaces.

Response: A Striping & Signage Plan has been provided which provides details for the Mobile Order Pick-Up spaces.

3. CONDITIONS FROM THE SOLID WASTE MANAGEMENT DEPARTMENT

The double trash enclosures proposed for this site must be approved through the building permit process by the Solid Waste Department. They have been approved for access only.

Response: Coordination and approval have been conducted through the Solid Waste department. The approval letter from solid waste has been attached to this application.

4. CONDITION FROM PUBLIC SERVICE COMPANY OF NEW MEXICO:

A. Any existing and/or new PNM easements and facilities need to be reflected on this Site Plan.

Response: PNM easements are being identified on the Site Plan.

B. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Any trees within or near PNM easements should comply with IDO Section 5-6(C) (10). Shrubs and ground cover and smaller trees are generally acceptable within PNM easements.

Response: The landscaping is abiding by IDO Section 5-6-(C)(10). There are no trees in easement.

Thank you,

REGINA OKOYE, ENTITLEMENTS PROJECT MANAGER

MODULUS ARCHITECTS & LAND USE PLANNING, INC.

100 Sun Avenue NE, Suite 600

Albuquerque, NM 87109

Office 505.338.1499 (Ext. 1003)

Mobile + Text 505.267.7686

Email: rokoye@modulusarchitects.com

Website: www.modulusarchitects.com

Join us on Facebook: [Modulus Architects on Facebook](#)

New Mexico | Texas | Arizona | Colorado | Oklahoma



POST EPC MEMORANDUM

TO: DRB – final sign off

FROM: Megan Jones, Current Planner

DATE: 5-3-22

RE: 4800 Montgomery Major Amendment- Post EPC Conditions

Thank you for working with me on fulfilling post EPC requirements to meet Conditions of Approval, 1-4, for SI-2022-00520.

Modulus Architects, Agent for Raising Canes LLC, has adequately satisfied Conditions for NOD dated April 21, 2022 (PR# 2021-005467, SI-2022-00520) Site Plan EPC, Major Amendment.

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

April 21, 2022

Raising Cane's Restaurants LLC
6800 Bishop Rd.
Plano, TX 75024

Project #2021-005467
SI-2022-00520 Site Plan- Major Amendment

LEGAL DESCRIPTION:

Modulus Architects & Land Use Planning, agents for Raising Cane's Restaurants LLC, requests a Major Amendment to an existing Site Development Plan for all or a portion of Tract B-1, Block A, amended plat of Tracts B-1-1 and B-2, Block A, Vista Grande Addition, Unit 1, being a replat of Tract B, Vista Grande excluding northerly portion to ROW; Tracts B-3 and B-4, Block A Vista Grande Addition Unit 1, being a replat of Tract B-2; Tract B-6, Block A of Tracts B-6, B-7, and B-8 Block A, Vista Grande Addition Unit one; Tract B-9 Block A, Vista Grande Addition Unit 1, Replat of Tract B-7 and B-8, zoned MX-M, located at 4800 Montgomery Blvd. NE, between Montgomery Blvd. NE and Monroe St. NE, approximately 9.6 acres (G-17-Z)

Staff Planner: Megan Jones

On April 21, 2022, the Environmental Planning Commission (EPC) voted to APPROVE Project #2021-005467, SI-2022-00520 Site Plan- Major Amendment, based on the following Findings and subject to the following Conditions of Approval:

FINDINGS:

1. The request is for a Site Plan-EPC for Tract B-1, Block A, amended plat of Tracts B-1-1 and B-2, Block A, Vista Grande Addition, Unit 1, being a replat of Tract B, Vista Grande excluding northerly portion to ROW; Tracts B-3 and B-4, Block A Vista Grande Addition Unit 1, being a replat of Tract B-2; Tract B-6, Block A of Tracts B-6, B-7, and B-8 Block A, Vista Grande Addition Unit one; Tract B-9 Block A, Vista Grande Addition Unit 1, Replat of Tract B-7 and B-8, between San Mateo Blvd. NE and Monroe St. NE, (4800 Montgomery Blvd. NE), containing approximately 9.6 acres (the "subject site").
2. The subject site is zoned MX-M (Mixed-use – Moderate Intensity), a zoning designation received upon adoption of IDO in May 2018. The subject site was formerly zoned C-2

(commercial). The subject site includes 5 tracts, B-1, B-3, B-4, B-6, and B-9. Only Tract B-1 (1.26 acres) and is being planned for future development at this time.

3. The amendment exceeds the thresholds found in IDO table 6-4-4: Allowable Minor Amendments, therefore it is classified as a Major Amendment pursuant to IDO section 14-16-6-4(Z)(1)(b). Pursuant to IDO Section 14-16-6-4(Q), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(J).
4. The applicant requests a Major Amendment to redevelop Tract B-1 of the controlling Vista Grande Site Development Plan (the “subject site”) as a new 3,331 square foot (SF) Raising Canes restaurant with a drive through accessory use, reducing the square footage of the existing building by 2,929 SF.
5. The subject site is located in an Area of Change, within the San Mateo/Montgomery Activity Center, within 600’ of the San Mateo Blvd Major Transit Corridor and on the Montgomery Blvd. major Transit Corridor as designated by the Comprehensive Plan. The subject site is part of the Mid Heights Community Planning Area (CPA).
6. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 4: Community Identity.

Goal 4.1.2– Character, Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

This request would facilitate the identity and cohesiveness of the Vista Grande Shopping Center and the San Mateo/Montgomery Activity Center by providing a commercial-retail (restaurant) use in a mixed-use zone district. Tract B-1 would redevelop with a drive-through accessory use. The restaurant will be accessible by residents of the single-family neighborhood to the south, employees and shoppers in the Activity Center, and commuters along Montgomery Blvd.

This request is being reviewed as an amendment to the controlling SDP. Note that future construction will reduce the gross floor area of the building by 2,929 SF. The new building would be constructed as a 3,331 SF building and remain consistent in scale to surrounding retail. If the request is approved, the Site Plan is to be delegated to the DRB for final sign-off. The new site plan will follow the Design Standards of the Integrated Development Ordinance (IDO) MX-M Zone District dimensional standards (Table 5-1-2), buffer landscaping (14-16-5-6-(E)), and building design standards (14-16-5-11). Additionally, Use-specific standards for a drive-through will be followed.

Future development will be subject to IDO requirements which will help to ensure appropriate character of building design and scale so that the surrounding neighborhood and Activity Center is not adversely affected.

8. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 5: Land Use.

A. Policy 5.1.2: Development Areas: Direct more intense growth to Centers and Corridors and use Development Areas to establish and maintain appropriate density and scale of development within areas that should be more stable.

Policy 5.1.6 Activity Centers: Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses.

The request would capture of growth in Centers and Corridors. The subject site is located in the San Mateo/Montgomery Activity Center. Activity Centers are intended to incorporate a mix of neighborhood scale services within mixed use centers. They are intended to serve neighborhoods within a 20-minute walk or short bike ride. The development of a new restaurant will provide a commercial service to the surrounding retail and neighborhood. It is within 600' of the nearby single-family residential development, and is accessible by transit.

Additionally, subject site is located in an Area of Change which allows for development that benefits the surrounding community. Revitalizing the subject site on a Major Transit Corridor and Activity Center will direct growth to the Activity Center Shopping Center as well as help to shape the built environment into a sustainable development pattern.

B. Goal 5.2 Complete Communities: Foster communities where residents can live, work, learn, shop and play together.

Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would continue to create a healthy and sustainable community because it would facilitate further development in an area with a mix of uses including commercial-retail, offices, religious, hospital and single-family residential while providing an additional restaurant use to the immediate and surrounding community. The subject site is conveniently accessible by all transportation modes. It is within a 20-minute walk or bike ride by employees or shoppers within the Activity Center and residents of the residential neighborhood to the south.

Additionally, the amendment would allow redevelopment of the site that will provide more job opportunities along a Major Transit Corridor. The development will enhance the Activity Center's ability to provide an area where residents and employees can live, work, and shop.

- C. Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The request is consistent with this Goal because the subject site is within the developed Vista Grande Shopping Center (Site Development Plan), the San Mateo/Montgomery Activity Center, and within 600' of two Major Transit Corridors. The subject site is served by existing infrastructure and public facilities, which future development will utilize. The development made possible by the request would support additional growth in an area with existing infrastructure and public facilities.

- D. Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Change where growth is expected and desired. The request would encourage, enable, and direct commercial growth to it.

- E. Policy 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The subject site is located in an Area of Change, within the San Mateo/Montgomery Activity Center, and within 600' of two Major Transit Corridors. The intent of this policy is to direct growth and more intense development to Centers and Corridors. The amendment of Tract b-1 within the controlling SDP is consistent with this policy because its location is appropriate for small scale commercial uses and accessible by all transportation modes.

- F. Sub-Policy 5.6.2.h: Encourage development in areas with a highly connected street grid and frequent transit service.

The request furthers this policy because the subject site is located within 600' of two Major Transit Corridors, Montgomery Blvd. NE and San Mateo Blvd. NE. Development is encouraged within Areas of Change, Centers, and Corridors and the subject site is within all three. Montgomery Blvd. is well served by transit (ABQ Ride Route #54, and #157). Route #5 offers service Monday through Sunday with a peak frequency of 25 minutes during the weekdays. There are two bus stops near the site parallel to Montgomery Blvd. (Bus Stop Route 5, 157).

9. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 7: Urban Design.

Policy 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site (Tract B-1) is located within the controlling Vista Grande Shopping Center Site Development Plan. The existing building sits vacant, within a developed shopping center

and Activity Center. The request will allow the redevelopment of the infill site into a new restaurant, which will generally enhance the surrounding built environment. The controlling SDP does not have design guidelines, and the building will follow the IDO Development Standards. Many of the surrounding structures were developed Pre-IDO.

10. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 8: Economic Development.

A. Policy 8.1.2 Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

B. Policy 8.1.2.c: Prioritize local job creation, employer recruitment, and support for development projects that hire local residents.

The request would bring economic growth opportunities to the San Mateo/Montgomery Activity Center and the City. The restaurant would provide a variety jobs on a designated Major Transit Corridor improving the quality of life of those needing accessible job opportunities. The restaurant would be a new choice in the Activity Center and bring new neighborhood-scale commercial development to an established shopping center. The applicant has not demonstrated how Raising Cane's will recruit and retain local employees.

11. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

A. 14-16-6-6(J)(3)(a) As demonstrated by the policy analysis of the site plan, the request is consistent with applicable Comprehensive Goals and Policies.

B. 14-16-6-6(J)(3)(b) The subject site is zoned MX-M; therefore, this criterion does not apply.

C. 14-16-6-6(J)(3)(c) With the application of conditions of approval, the site plan major amendment would comply with all applicable provisions of the IDO.

D. 14-16-6-6(J)(3)(d) The proposed future Site Plan request will be reviewed via Site Plan DRB process, which is charged with addressing infrastructure and ensuring that infrastructure such as streets, trails, sidewalks, and drainage systems has sufficient capacity to serve a proposed development.

E. 14-16-6-6(J)(3)(e) The future, proposed development will be required to comply with the decisions made through- the EPC and the Site Plan DRB Process. The EPCs' conditions of approval will improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas. The Site Plan DRB review will ensure infrastructure is adequately addressed so that a proposed development will not burden the surrounding area.

- F. 14-16-6-6(J)(3)(f) The subject site is not located within an approved Master Development Plan.
 - G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, the above criterion does not apply.
12. The affected, registered neighborhood organizations is the, District 4 Coalition of Neighborhood Associations, District 7 Coalition of Neighborhood Associations, and the Hodgkin Neighborhood Association which were notified as required. Property owners within 100 feet of the subject site were also notified, as required.
 13. A pre-submittal neighborhood meeting was offered and a facilitated meeting was offered with no requests. The District 4 Coalition of NAs contacted the applicant requesting a link to the EPC Hearing via Zoom, which was provided.
 14. IDO 14-16-5-5(I)(2) Drive-through or Drive-up Facility Design for Parking and Loading Development Standards requires a 6-foot-wide buffer between the drive-through by pass lane and the major public right of way. The north east corner of the drive-through lane appears to not meet this requirement. The buffer provides protection for pedestrian and transit along Montgomery Blvd. which is a Major Transit Corridor. A Waiver – DRB may be needed to develop the drive-through as designed, as determined by the DRB at final sign off.
 15. Conditions of approval are needed to ensure that applicable IDO regulations are met and to provide clarification.
 16. As of this writing, Staff has not received any comments in support or opposition to the request.
 17. The EPC is requesting that the DRB apply applicable Development Standards within 14-16-5-3(D) Pedestrian Circulation of the IDO to the future site plan.

CONDITIONS OF APPROVAL:

1. The EPC delegates final sign-off authority of this site development plan to the Site Plan-DRB Process as per IDO Section 6-5(G)(1). The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.
2. Conditions from Transportation Development Services:
 - A. The Traffic Study shall need to be reviewed and approved prior to site plan approval through DRB action. All recommendations within the Traffic Study shall be implemented by the site plan; any public infrastructure shall be placed onto an infrastructure list and built per a work order.
 - B. Show property lines and easements on site plan. Shared access easement will need to be established for the new business.

- C. Show widths of all existing vehicular ways and sidewalk surrounding the site. Additional infrastructure may be required at DRB to abide by DPM requirements within the right-of-way.
 - D. Provide all required parking calculations for the site, the ADA parking, bicycle and motorcycle parking.
 - E. Dimension all driving aisles, pedestrian ways and parking spaces, following DPM requirements.
 - F. Use keyed notes to call out curb on the site plan. Curb shall be between 6 – 8” high to separate parking spaces from landscaping and sidewalk. Follow requirements of the DPM for all curb radii along the driving aisle and for the landscape islands; a minimum 15-foot radius should be required around the building site for passenger car traffic, and a minimum 25-foot radius should be required for the inner drive-thru aisle along with a 12-foot wide drive aisle at the 90-degree turn adjacent to the median.
 - G. Include all civil details for sidewalk, curb ramps, paving, curb, bike racks, and signage.
 - H. Show bike racks and motorcycle parking on the plan. Provide overall dimensioning for the bike rack area based upon parking requirements.
 - I. For perpendicular curb ramps, show a minimum 4-foot by 4-foot landing area at the top of the ramp for wheelchairs to turn.
 - J. A 6-foot wide ADA pathway is needed to connect to the right-of-way from the business entry and from the main entry to the handicapped spaces. Show dimensioning of all new walkways.
 - K. Include van accessible aisle requirements. Show “No Parking” at the back of all of the accessible aisles.
 - L. Include “Do Not Enter”, one-way signs, and directional arrows on pavement for the drive-thru.
 - M. If using Mobile Order Pick-up, provide designated signage for those parking spaces.
3. Conditions from the Solid Waste Management department
- The double trash enclosures proposed for this site must be approved through the building permit process by the Solid Waste Department. They have been approved for access only.
4. Conditions from the Public Service Company of New Mexico (PNM)
- A. Any existing and/or new PNM easements and facilities need to be reflected on this Site Plan.
 - B. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Any trees within or near PNM easements should comply with IDO Section 5-6(C) (10). Shrubs and ground cover and smaller trees are generally acceptable within PNM easements.

OFFICIAL NOTICE OF DECISION

PR-2021-005467

April 21, 2022

Page 8 of 8

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **May 6, 2022**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,



Digitally signed by James M. Aranda
DN: cn=James M. Aranda, o=City of
Albuquerque, ou=Planning
Department,
email=jmaranda@cabq.gov, c=US
Date: 2022.04.25 09:46:11 -06'00'

for Alan M. Varela,
Planning Director

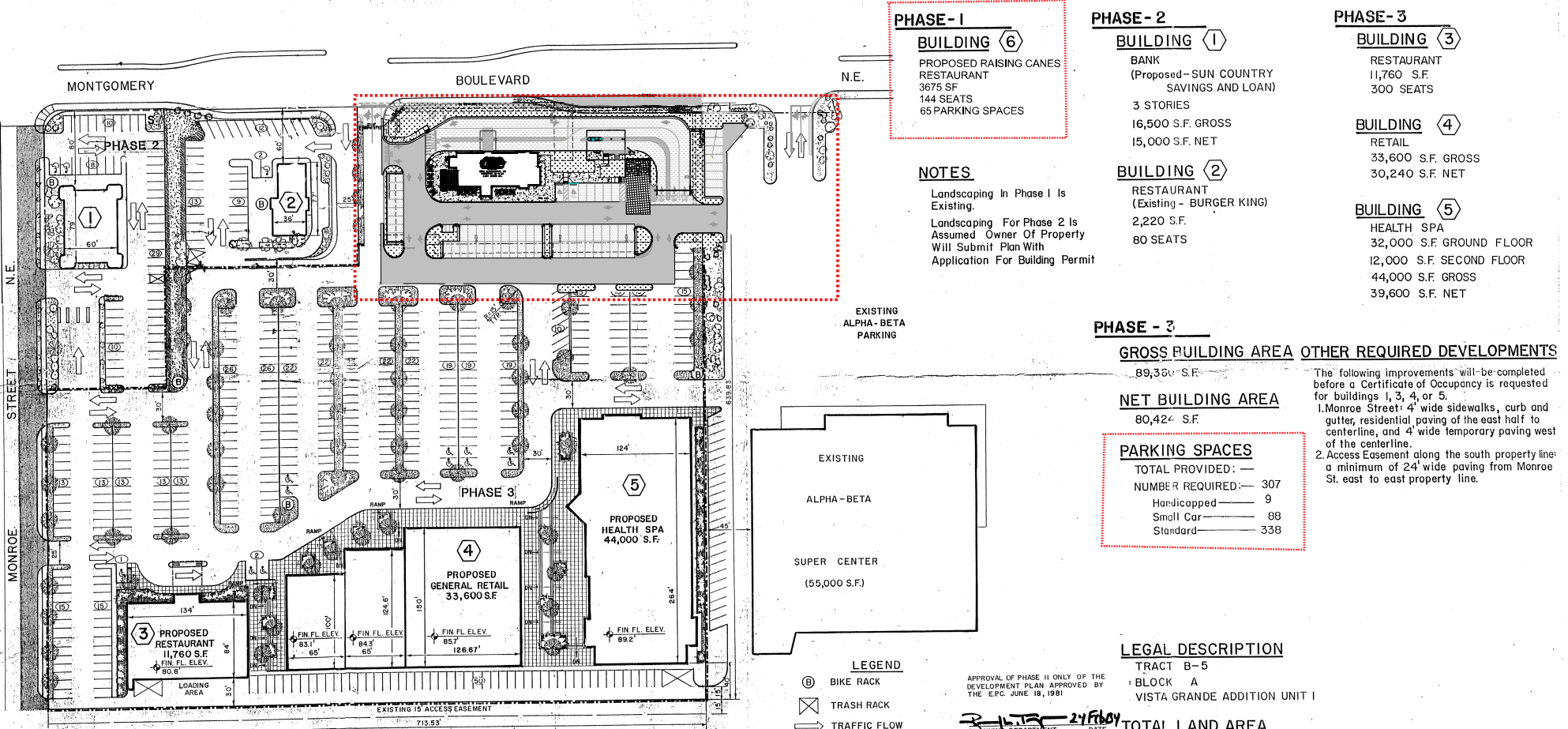
AV/CL/MJ

cc: Raising Cane's Restaurants LLC, Cassie.Kussow@kimley-horn.com
Modulus Architects & Land Use Planning Inc., rokoye@modulusarchitects.com
Hodgin NA, Pat Mallory malloryabq@msn.com
Hodgin NA, Marilyn Strube mstrube@greer-stafford.com
District 4 Coalition of Neighborhood Associations, Daniel Regan dlreganabq@gmail.com
District 4 Coalition of Neighborhood Associations, Mildred Griffiee mgriffiee@noreste.org
District 7 Coalition of Neighborhood Associations, Darcy Bushnell dmc793@gmail.com
District 7 Coalition of Neighborhood Associations, Tyler Richter tyler.richter@gmail.com
Nick Romero, nick.dominic89@gmail.com
Legal, dking@cabq.gov
EPC File

**SITE PLAN EPC MAJOR AMENDMENT
TRACT B-1, APRIL 2022**

PROJECT DESCRIPTION
ALL EXISTING IMPROVEMENTS ONSITE, INCLUDING ROCK & BREWS BUILDING, ASPHALT DRIVE AISLES AND PARKING STALLS, CURBING, AND UTILITIES SERVING THE EXISTING BUILDING WILL BE DEMOLISHED. A NEW BUILDING WITH ASSOCIATED ASPHALT DRIVE AISLES AND PARKING STALLS, CURBING, AND UTILITY SERVICES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE INTEGRATED DEVELOPMENT ORDINANCE (IDO) RULES AND REGULATIONS, AS DETAILED IN THIS EPC MAJOR AMENDMENT SUBMITTAL.

VISTA GRANDE SHOPPING CENTER



PHASE - 1
BUILDING ⑥
PROPOSED RAISING CANES RESTAURANT
3675 SF
144 SEATS
65 PARKING SPACES

PHASE - 2
BUILDING ①
BANK
(Proposed - SUN COUNTRY SAVINGS AND LOAN)
3 STORIES
16,500 S.F. GROSS
15,000 S.F. NET

PHASE - 3
BUILDING ③
RESTAURANT
11,760 S.F.
300 SEATS

BUILDING ④
RETAIL
33,600 S.F. GROSS
30,240 S.F. NET

BUILDING ⑤
HEALTH SPA
32,000 S.F. GROUND FLOOR
12,000 S.F. SECOND FLOOR
44,000 S.F. GROSS
39,600 S.F. NET

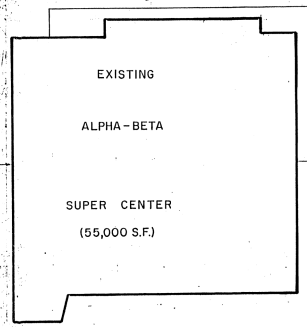
NOTES
Landscaping In Phase 1 Is Existing.
Landscaping For Phase 2 Is Assumed Owner Of Property Will Submit Plan With Application For Building Permit

BUILDING ②
RESTAURANT
(Existing - BURGER KING)
2,220 S.F.
80 SEATS

PHASE - 3
GROSS BUILDING AREA 89,300 S.F.
OTHER REQUIRED DEVELOPMENTS
The following improvements will be completed before a Certificate of Occupancy is requested for buildings 1, 3, 4, or 5.
1. Monroe Street: 4' wide sidewalks, curb and gutter, residential paving of the east half to centerline, and 4' wide temporary paving west of the centerline.
2. Access Easement along the south property line: a minimum of 24' wide paving from Monroe St. east to east property line.

NET BUILDING AREA
80,420 S.F.

PARKING SPACES
TOTAL PROVIDED: —
NUMBER REQUIRED: — 307
Handicapped — 9
Small Car — 88
Standard — 338



- LEGEND**
- Ⓟ BIKE RACK
 - ⓧ TRASH RACK
 - TRAFFIC FLOW
 - S FREE STANDING SIGN
 - ♿ HC PARKING
 - LANDSCAPE AREA
 - DRIVE UP TELLER
 - EXISTING IMPROVEMENTS
 - NUMBER OF PARKING SPACES

APPROVAL OF PHASE II ONLY OF THE DEVELOPMENT PLAN APPROVED BY THE EPC JUNE 19, 1981

PLANNING DEPARTMENT DATE 2/21/84
WATER RESOURCES DEPT. DATE 2/21/84
PARK & RECREATION DEPT. DATE 2/21/84
CITY ENGINEERING DIVISION DATE 2/21/84
TRAFFIC DIVISION DATE 2/21/84

LEGAL DESCRIPTION
TRACT B-5
BLOCK A
VISTA GRANDE ADDITION UNIT I

TOTAL LAND AREA
9.1897 ACRES
ZONED: C-2

SITE DEVELOPMENT PLAN

SCALE: 1" = 50'-0"

Owner: LINCOLN ROAD, LTD.
Developer: MURILLO DEVELOPMENTS LTD.
Engineer / Architect: LEEDSHILL - HERKENHOFF, INC.

DATE: April 20, 1983
REVISED: May 20, 1983
REVISED: SEPT. 2, 1983
REVISED: SEPT. 30, 1983
REVISED: DECEMBER 2, 1983

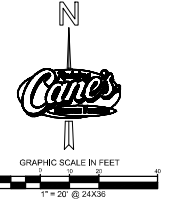
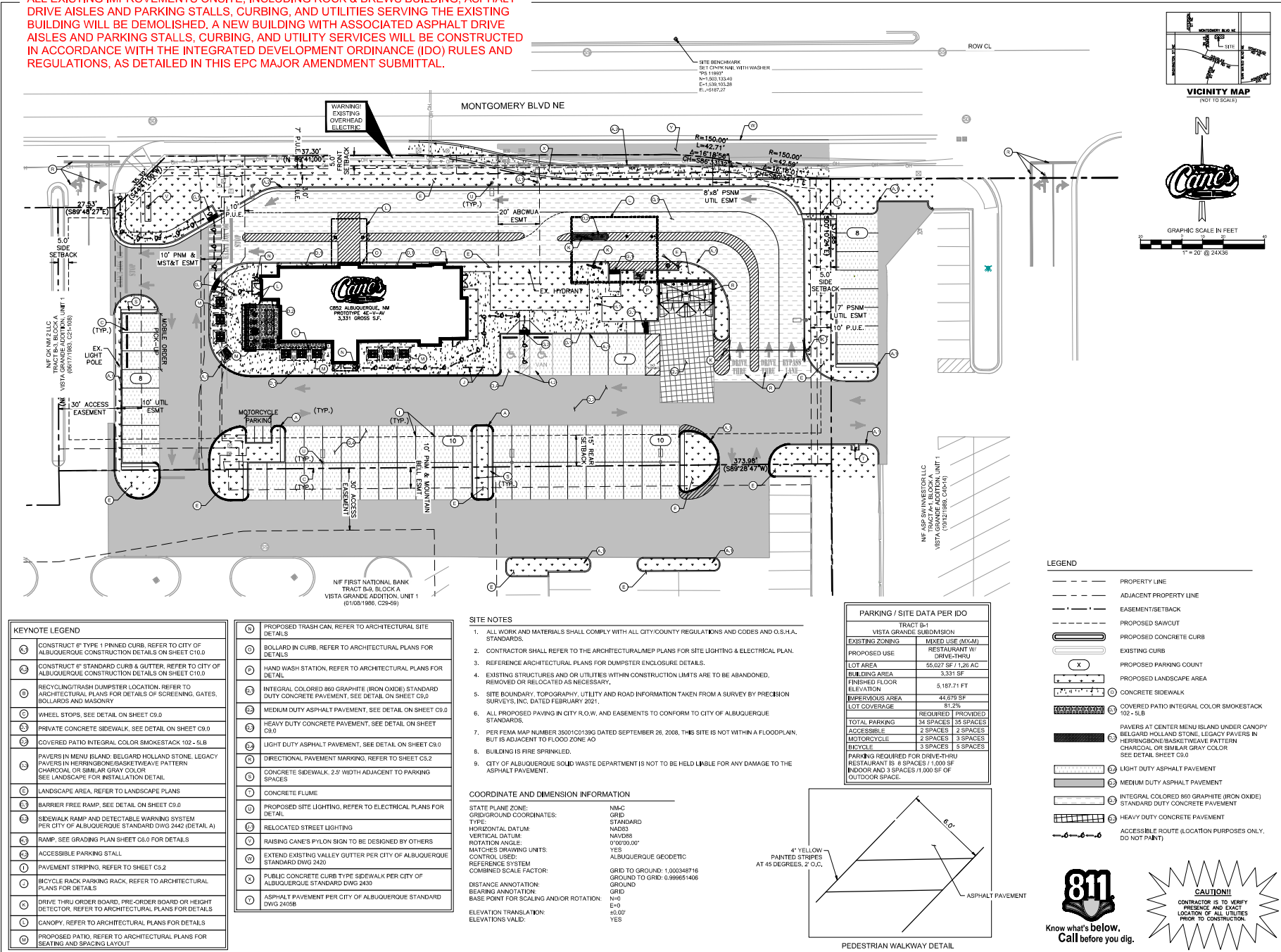


Z-73-13-2

DRB MAJOR AMENDMENT, MAY 2022

PROJECT DESCRIPTION

ALL EXISTING IMPROVEMENTS ONSITE, INCLUDING ROCK & BREWS BUILDING, ASPHALT DRIVE AISLES AND PARKING STALLS, CURBING, AND UTILITIES SERVING THE EXISTING BUILDING WILL BE DEMOLISHED. A NEW BUILDING WITH ASSOCIATED ASPHALT DRIVE AISLES AND PARKING STALLS, CURBING, AND UTILITY SERVICES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE INTEGRATED DEVELOPMENT ORDINANCE (IDO) RULES AND REGULATIONS, AS DETAILED IN THIS EPC MAJOR AMENDMENT SUBMITTAL.



KEYNOTE LEGEND

(1)	CONSTRUCT 6" TYPE 1 PINNED CURB. REFER TO CITY OF ALBUQUERQUE CONSTRUCTION DETAILS ON SHEET C1.0
(2)	CONSTRUCT 6" STANDARD CURB & GUTTER. REFER TO CITY OF ALBUQUERQUE CONSTRUCTION DETAILS ON SHEET C1.0
(3)	RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND KIOSKWAY
(4)	WHEEL STOPS. SEE DETAIL ON SHEET C5.0
(5)	PRIVATE CONCRETE SIDEWALK. SEE DETAIL ON SHEET C5.0
(6)	COVERED PATIO INTEGRAL COLOR SMOKESTACK 102 - 5LB
(7)	PAVERS IN MENU ISLAND: BELGARD HOLLAND STONE, LEGACY PAVERS IN HERRINGBONE/BASKETWEAVE PATTERN CHARCOAL OR SIMILAR GRAY COLOR. SEE LANDSCAPE FOR INSTALLATION DETAIL.
(8)	LANDSCAPE AREA. REFER TO LANDSCAPE PLANS
(9)	BARRIER FREE RAMP. SEE DETAIL ON SHEET C5.0
(10)	SIDEWALK RAMP AND DETECTABLE WARNING SYSTEM PER CITY OF ALBUQUERQUE STANDARD DWG 2440 (DETAIL A)
(11)	RAMP. SEE GRADING PLAN SHEET C6.0 FOR DETAILS
(12)	ACCESSIBLE PARKING STALL
(13)	PAVEMENT STRIPING. REFER TO SHEET C5.2
(14)	BICYCLE RACK PARKING RACK. REFER TO ARCHITECTURAL PLANS FOR DETAILS
(15)	DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR. REFER TO ARCHITECTURAL PLANS FOR DETAILS
(16)	CANOPY. REFER TO ARCHITECTURAL PLANS FOR DETAILS
(17)	PROPOSED PATIO. REFER TO ARCHITECTURAL PLANS FOR SEATING AND SPACING LAYOUT

KEYNOTE LEGEND (Continued)

(18)	PROPOSED TRASH CAN. REFER TO ARCHITECTURAL SITE DETAILS
(19)	BOLLARD IN CURB. REFER TO ARCHITECTURAL PLANS FOR DETAILS
(20)	HAND WASH STATION. REFER TO ARCHITECTURAL PLANS FOR DETAIL
(21)	INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) STANDARD UTILITY CONCRETE PAVEMENT. SEE DETAIL ON SHEET C5.0
(22)	MEDIUM DUTY ASPHALT PAVEMENT. SEE DETAIL ON SHEET C5.0
(23)	HEAVY DUTY CONCRETE PAVEMENT. SEE DETAIL ON SHEET C5.0
(24)	LIGHT DUTY ASPHALT PAVEMENT. SEE DETAIL ON SHEET C5.0
(25)	DIRECTIONAL PAVEMENT MARKING. REFER TO SHEET C5.2
(26)	CONCRETE SIDEWALK, 2.5' WIDTH ADJACENT TO PARKING SPACES
(27)	CONCRETE FLUME
(28)	PROPOSED SITE LIGHTING. REFER TO ELECTRICAL PLANS FOR DETAIL
(29)	RELOCATED STREET LIGHTING
(30)	RAISING CANE'S PYLON SIGN TO BE DESIGNED BY OTHERS
(31)	EXTEND EXISTING VALLEY GUTTER PER CITY OF ALBUQUERQUE STANDARD DWG 2420
(32)	PUBLIC CONCRETE CURB TYPE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DWG 2430
(33)	ASPHALT PAVEMENT PER CITY OF ALBUQUERQUE STANDARD DWG 2405

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- EXISTING STRUCTURES AND/OR UTILITIES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC. DATED FEBRUARY 2021.
- ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY OF ALBUQUERQUE STANDARDS.
- PER FEMA MAP NUMBER 35001C0139G DATED SEPTEMBER 26, 2008, THIS SITE IS NOT WITHIN A FLOODPLAIN, BUT IS ADJACENT TO FLOOD ZONE AO
- BUILDING IS FIRE SPRINKLED.
- CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT IS NOT TO BE HELD LIABLE FOR ANY DAMAGE TO THE ASPHALT PAVEMENT.

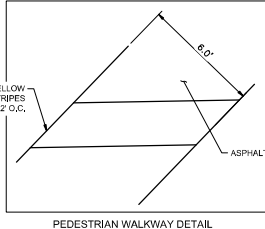
COORDINATE AND DIMENSION INFORMATION

STATE PLANE ZONE: NMC
 GRID/GROUND COORDINATES: TYPE: STANDARD
 HORIZONTAL DATUM: NAD83
 VERTICAL DATUM: NAVD83
 ROTATION ANGLE: 0°00'00.00"
 MATCHED DRAWING UNITS: YES
 CONTROL USED: ALBUQUERQUE GEODETIC
 REFERENCE SYSTEM: GRID TO GROUND: 1,000348716
 COMBINED SCALE FACTOR: GROUND TO GRID: 0.999651406
 DISTANCE ANNOTATION: GROUND
 BEARING ANNOTATION: GRID
 BASE POINT FOR SCALING AND/OR ROTATION: N=0
 E=0
 ELEVATION TRANSLATION: +50.00'
 ELEVATIONS VALID: YES

PARKING / SITE DATA PER IDO

EXISTING ZONING	MIXED USE (MCM)
PROPOSED USE	RESTAURANT W/ DRIVE-THRU
LOT AREA	55,027 SF 1.26 AC
BUILDING AREA	3,331 SF
FINISHED FLOOR ELEVATION	5,187.71 FT
IMPERVIOUS AREA	44,679 SF
LOT COVERAGE	81.2%
TOTAL PARKING	34 SPACES 35 SPACES
ACCESSIBLE	2 SPACES 2 SPACES
MOTORCYCLE	2 SPACES 3 SPACES
BICYCLE	3 SPACES 3 SPACES

PARKING REQUIRED FOR DRIVE-THRU RESTAURANT IS 8 SPACES (1,000 SF INDOOR AND 3 SPACES (1,000 SF OF OUTDOOR SPACE).



LEGEND

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EASEMENT/SETBACK
---	PROPOSED SAWCUT
---	PROPOSED CONCRETE CURB
---	EXISTING CURB
---	PROPOSED PARKING COUNTRY
---	PROPOSED LANDSCAPE AREA
---	CONCRETE SIDEWALK
---	COVERED PATIO INTEGRAL COLOR SMOKESTACK 102-5LB
---	PAVERS AT CENTER MENU ISLAND UNDER CANOPY BELGARD HOLLAND STONE, LEGACY PAVERS IN HERRINGBONE/BASKETWEAVE PATTERN CHARCOAL OR SIMILAR GRAY COLOR. SEE DETAIL SHEET C5.0
---	LIGHT DUTY ASPHALT PAVEMENT
---	MEDIUM DUTY ASPHALT PAVEMENT
---	INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) STANDARD UTILITY CONCRETE PAVEMENT
---	HEAVY DUTY CONCRETE PAVEMENT
---	ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)



Site:
Montgomery & San Mateo
ALBUQUERQUE, NM 87112
Restaurant #RCB52
P4E-V-AV SCHEME A

Engineer Information:
Kimley-Horn
 & ASSOCIATES, INC.
 3455 Noel Road
 Two Colliers Office Tower Suite 700
 Dallas, TX 75240
 CONTACT: LAUREN NUFFER, P.E.
 (972) 778-3307
 LAUREN.NUFFER@KIMLEY-HORN.COM
 J.WELLMAN@KIMLEY-HORN.COM



Prototype: P4E-V-AV 2021-2.0 RELEASE
 Prototype Issue Date: 11.04.2021
 Kitchen Issue Date: 08.02.2021
 Design: Lauren Nuffer
 Date Issued: 08.02.2021
 Sheet Number: 1

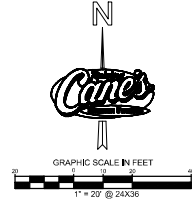
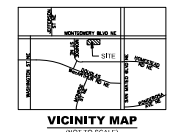
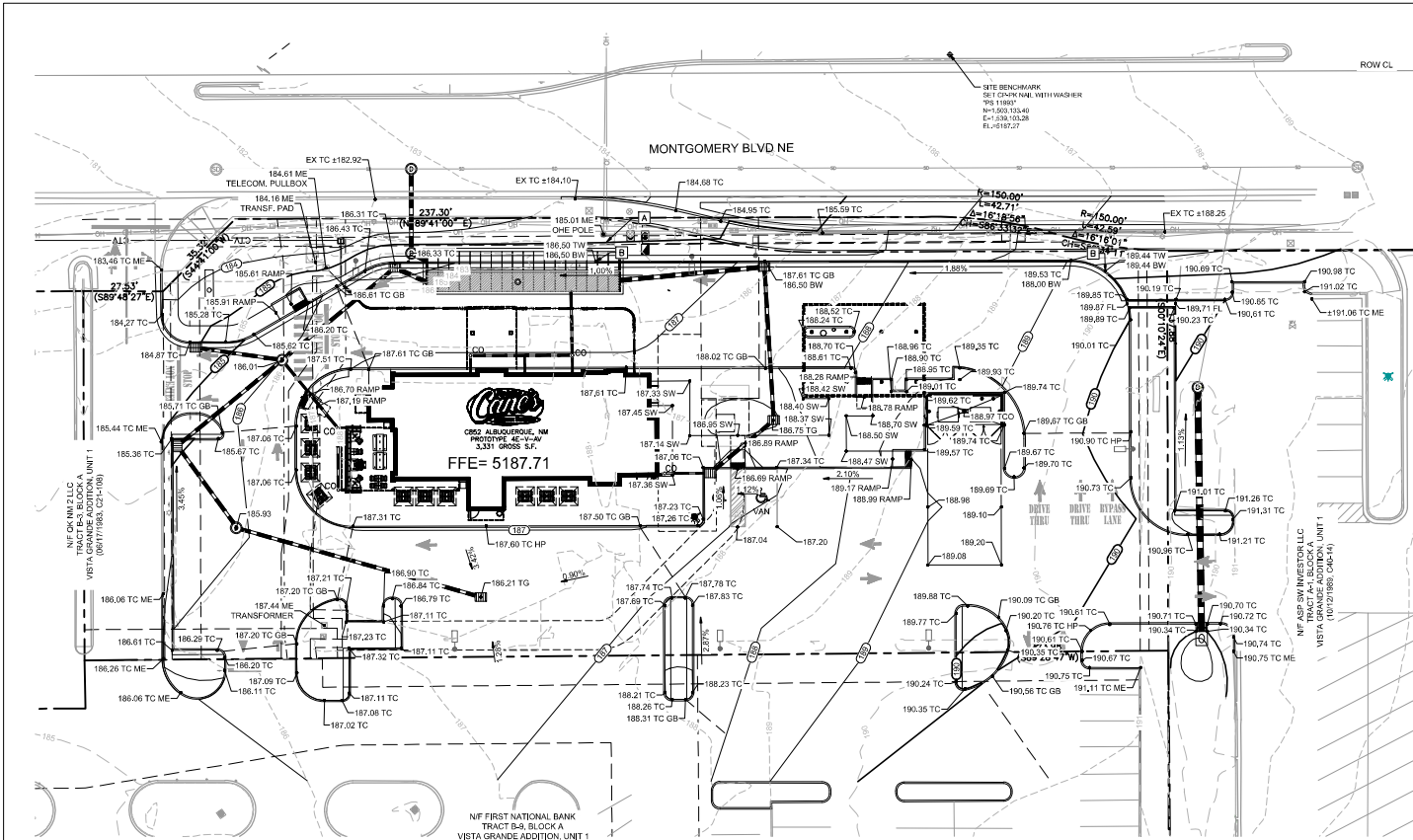
2ND BLDG. RESUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
1	11/12/2021	00% DESIGN SET
2	11/20/2021	15% DESIGN SUBMITTAL
3	12/20/2021	15% DESIGN SUBMITTAL
4	01/17/2022	2ND IS 20% SUBMITTAL

Sheet Title:
SITE KEYNOTE PLAN
 Date: 04.27.2022
 Project Number: 09042000
 Drawn By: LWN
 Sheet Number: 1

C5.0



LEGEND

---	PROPOSED PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED FLOW ARROW WITH SLOPE
---	PROPOSED SPOT ELEVATION
---	EXISTING STORM INLET
---	GRADE BREAK
---	HIGH POINT
---	TOP OF PAVEMENT
---	TOP OF SIDEWALK
---	MATCH EXISTING ELEVATION
---	TOP OF GRATE
---	FLOW LINE
---	TOP OF CLEANOUT
---	TOP OF WALL
---	BOTTOM OF WALL
---	PROPOSED RIDGE

GRADING CONSTRUCTION NOTES

A	1. CUT SLOPE BETWEEN EDGE OF EXISTING OVERHEAD ELECTRIC POLE AND TOP OF PROPOSED CURB. REFERENCE GRADING NOTE 5 THIS SHEET.
B	CONTRACTOR TO OFF WALL BY FACE OF CURB PER CITY OF ALBUQUERQUE STANDARD DWG 2410. TOP OF WALL = TOP OF CURB ELEVATION PER DRAWING. BOTTOM OF WALL = BOTTOM OF EXPOSED WALL. BURY WALL A MINIMUM OF 18" BELOW UNIMBED GRADE. CURB HEIGHT = 18" MAX HEIGHT = 18"

GRADING NOTES

- ADD 6000' TO ALL SPOT ELEVATIONS & CONTOUR LABELS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY/STATE STANDARDS AND SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
- CONTRACTOR SHALL REFER TO FINAL GEOTECH REPORT FOR BUILDING SUBGRADE AND SITE PREPARATION REQUIREMENTS.
- CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
- ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
- ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
- REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
- ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.



Site:
Montgomery & San Mateo
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A

Engineer Information:
Kimley-Horn
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 3455 Noel Road
 Two Galleries Office Tower
 Suite 700
 Dallas, TX 75240
 CONTACT: LAUREN BAUFER, P.E.
 (972) 778-3300
 LAUREN.BAUFER@KIMLEY-HORN.COM
 J.WELLMAN@KIMLEY-HORN.COM



Project No: PAC-4-V-2021-2-D RELEASE

Project Issue Date: 11.04.2021

Kitchen Issue Date: 08.02.2021

Design Revision Updates:

Date Issued: Sheet Number:

2ND BLDG. RESUBMITTAL

REVISIONS

11/12/2021	00% REVIEW SET
11/20/2021	1ST BLDG. RESUBMITTAL
12/20/2021	1ST BLDG. RESUBMITTAL
01/17/2022	2ND BLDG. RESUBMITTAL

Sheet Title:
GRADING PLAN

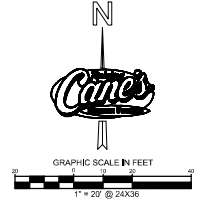
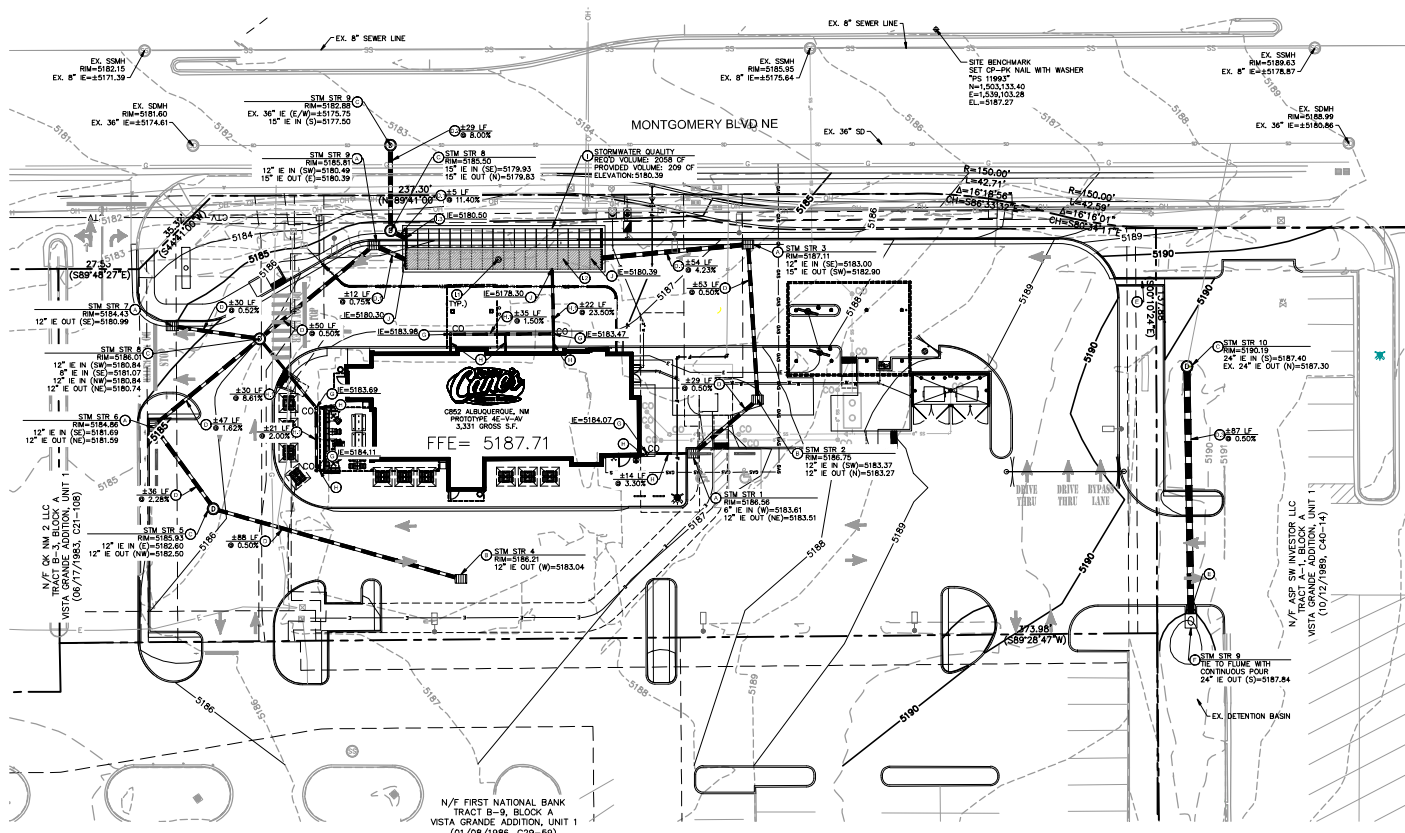
Date: 04.27.2022

Project Number: 090045000

Drawn By: LWN/LN

Sheet Number:

C6.0



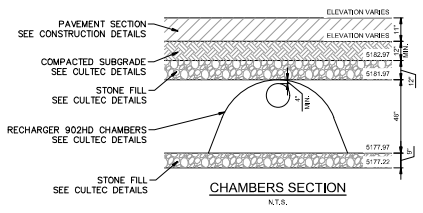
UTILITY LEGEND

---	PROPERTY LINE
- - - -	EXISTING EASEMENT
- · - · -	PROPOSED EASEMENT
---	EXISTING FIRE LANE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED WATER LINE
---	PROPOSED FIRE WATER LINE
---	PROPOSED UNDERGROUND GAS LINE
---	PROPOSED UNDERGROUND ELECTRIC LINE
---	PROPOSED UNDERGROUND TELEPHONE LINE
---	PROPOSED STORM DRAINAGE LINE
---	EXISTING STORM DRAINAGE LINE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING GAS LINE
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER LINE
○	PROPOSED FIRE HYDRANT
●	PROPOSED SEWER METER
○	PROPOSED SEWER CLEANOUT
⊕	PROPOSED WATER VALVE
⊕	PROPOSED BEND
⊕	PROPOSED BEND
⊕	PROPOSED SEWER CLEAN OUT
⊕	EXISTING POWER POLE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING SANITARY SEWER MANHOLE
⊕	EXISTING SIGN
⊕	THRUST BLOCK

- STORM NOTES**
- REFER TO CITY STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
 - GUTTER TRANSITION ADJACENT TO TYPE "A" INLETS TO FOLLOW CITY OF ALBUQUERQUE STANDARD DETAILS, DWG NO. 2207.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS, INSTALLATION, AND UTILITY CROSSINGS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION AND ELEVATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY CODES AND/OR UTILITY SERVICE COMPANIES.
 - CONTRACTOR IS RESPONSIBLE FOR PAYMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY STANDARDS.
 - THE AREA OF LAND TREATMENT D WITHIN THE PROJECT AREA IS 56.69 SF OR 1.35 AC.

STORM KEYNOTE LEGEND

○	STORM INLET TYPE "A"
○	PER CITY OF ALBUQUERQUE STANDARD DETAILS, DWG. NO. 2207
○	STORM INLET TYPE "D", SINGLE GRATE TYPE
○	PER CITY OF ALBUQUERQUE STANDARD DETAILS, DWG. NO. 2208
○	STORM MANHOLE TYPE "C"
○	PER CITY OF ALBUQUERQUE STANDARD DETAILS, DWG. NO. 2208
○	12" HDPE PIPE
○	15" HDPE PIPE
○	15" REINFORCED CONCRETE PIPE
○	24" REINFORCED CONCRETE PIPE
○	FLUME
○	SLOPE PAVED HEADWALL
○	ROOF DRAIN CLEANOUT
○	6" HDPE ROOF LEADER @ 1.00% MN.
○	8" HDPE ROOF LEADER
○	CULTEC RECHARGER 802HD CHAMBERS OR APPROVED EQUIVALENT PRODUCT
○	QUANTITY = 36, SEE SECTION THIS SHEET & CULTEC DETAILS SHEET C11.0 - C11.4
○	6" STONE FILL BETWEEN CHAMBERS, 12" AROUND PERIMETER
○	INSPECTION PORT
○	ISOLATOR ROW
○	CHAMBER OUTFALL POINT
○	TIE TO CHAMBER SYSTEM



Site:
Montgomery & San Mateo
ALBUQUERQUE, NM 87112
Restaurant #RCB52
P4E-V-AV SCHEME A

Engineer Information:
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Prototype: PAC-44V-2021-2-D RELEASE

Prototype Issue Date:	13.04.2021
Kitchen Issue Date:	08.02.2021
Design 300mm Updates:	-
Date Issued:	08/22/2022
Revision Number:	-

2ND BLDG. RESUBMITTAL

REVISIONS

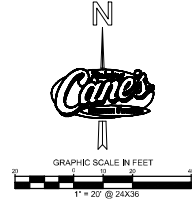
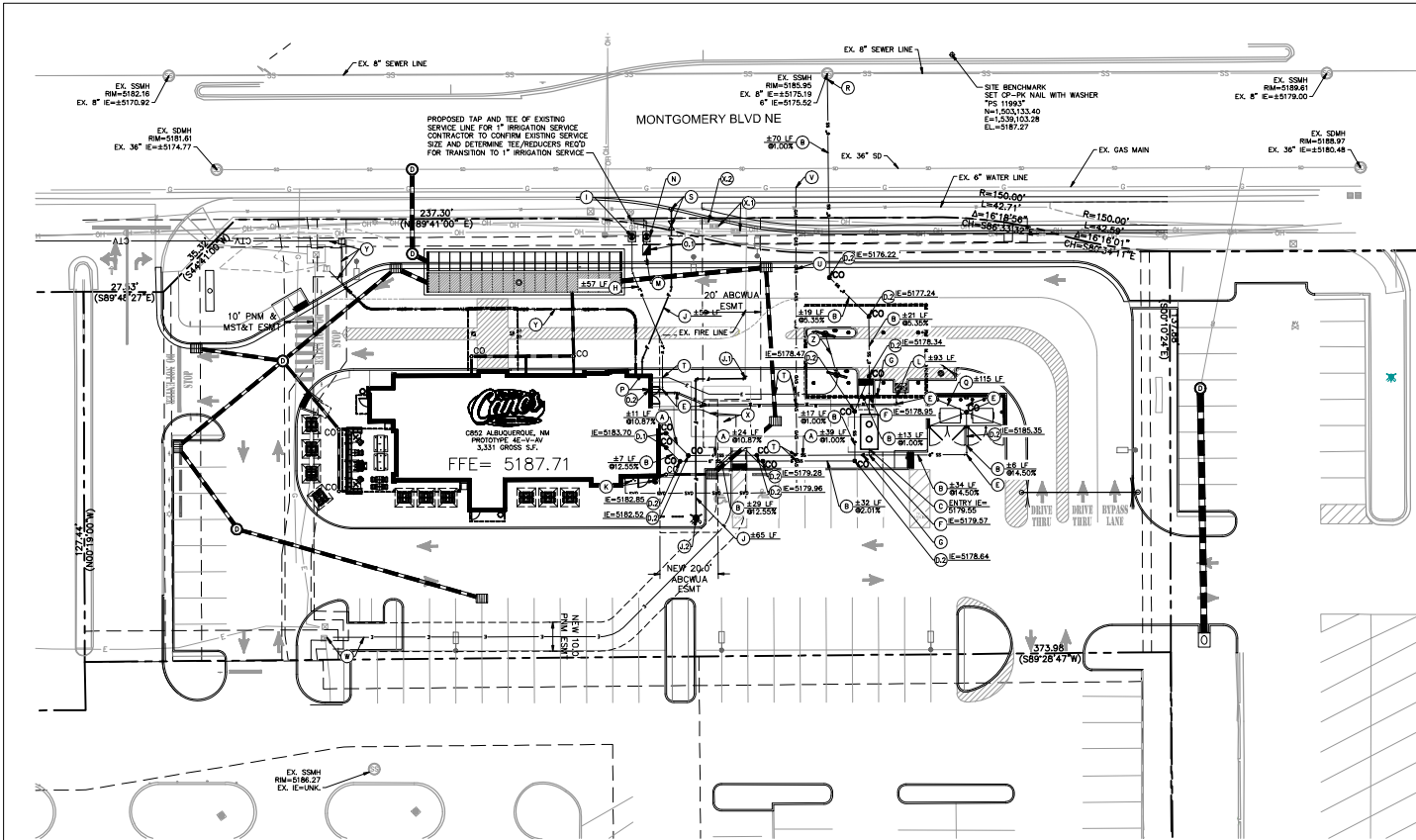
11/12/2021	00% RESUBMIT
11/30/2021	15% BLDG. SUBMITTAL
12/23/2021	15% BLDG. RESUBMITTAL
01/17/2022	2ND BLDG. RESUBMITTAL

Sheet Title:
STORM DRAINAGE PLAN

Date: 04.27.2022
 Project Number: 090042000
 Drawn By: LWN/IN
 Sheet Number:



C7.0



UTILITY LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
---	EXISTING FIRE LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED WATER LINE
---	PROPOSED FIRE WATER LINE
---	PROPOSED UNDERGROUND GAS LINE
---	PROPOSED UNDERGROUND ELECTRIC LINE
---	PROPOSED UNDERGROUND TELEPHONE LINE
---	PROPOSED UNDERGROUND CABLE LINE
---	PROPOSED JOINT TRENCH
---	PROPOSED STORM DRAINAGE LINE
---	EXISTING STORM DRAINAGE LINE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING GAS LINE
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER LINE
◆	PROPOSED FIRE HYDRANT
●	PROPOSED WATER METER
○	PROPOSED SEWER CLEANOUT
⊕	PROPOSED WATER VALVE
⊕	PROPOSED TEE
⊕	PROPOSED BEND
⊕	PROPOSED SEWER CLEAN OUT
◆	EXISTING POWER POLE
◆	EXISTING FIRE HYDRANT
○	EXISTING SANITARY SEWER MANHOLE
⊕	EXISTING SIGN

UTILITY NOTES

- SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
- REFER TO CITY STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
- REFER TO ARCHITECTURAL MEP PLANS FOR LOCATION AND SIZING OF SLEEVES FOR FRANCHISE UTILITIES, IRRIGATION, ETC.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPES SHALL BE AS FOLLOWS:
PRIVATE: PVC SDR 35 PER ASTM D 3034
PUBLIC: PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 50)
PRIVATE (8 INCHES OR SMALLER): TYPE "K" SOFT COPPER, ASTM B88 OR PVC DR-18 (C-900) PER ASTM D 2241 OR ADS POTABLE WATER SERVICE TUBING (POLYLEX-C75 REAF70)
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS AND INSTALLATION OF UTILITIES AND WITH TCEQ GUIDELINES FOR UTILITY CROSSINGS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DEFLECT ELECTRIC, GAS, CABLE, AND TELEPHONE CONDUIT AND PIPING AS REQUIRED TO AVOID UTILITY CONFLICTS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY CODES AND/OR UTILITY SERVICE COMPANIES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS IN REGARDS TO TAPS, HYDRANTS, VALVES, ETC.
- CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY STANDARDS.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET COVER ON ALL WATER LINES OR AS PER CITY REQUIREMENTS.
- POLYFLEX BY ADS TO BE USED IN PLACE OF COPPER WHERE ALLOWED BY CITY, CONTRACTOR TO VERIFY WITH CITY WHETHER IT CAN BE USED AND VERIFY WITH MEP REQUIRED INTERNAL DIAMETER FOR SUFFICIENT WATER FLOW TO BUILDING.

UTILITY KEYNOTE LEGEND

- PROPOSED 4" SDR 35 PVC SEWER PIPE, LENGTH AND SLOPE PER PLAN, TRENCH, BEDDING, AND BACKFILL PER CITY OF ALBUQUERQUE STD, SPECIFICATIONS SECTION 700
- PROPOSED 6" SDR 35 PVC SEWER PIPE, LENGTH AND SLOPE PER PLAN, TRENCH, BEDDING, AND BACKFILL PER CITY OF ALBUQUERQUE STD, SPECIFICATIONS SECTION 700
- PROPOSED GREASE TRAP LOCATION
- CONNECT TO BUILDING SEWER, INVERT PER PLAN, REFERENCE MEP PLANS FOR CONTINUATION
- PROPOSED SEWER CLEANOUT
- PROPOSED BEND, CONCRETE BLOCKING REQUIRED PER CITY OF ALBUQUERQUE STD, DWG 2320
- PROPOSED 8"x8" TEE
- PROPOSED 8"x4" REDUCER
- PROPOSED 2" COPPER, TYPE K DOMESTIC WATERLINE, LENGTH PER PLAN, INSTALL TRENCH BEDDING AND BACKFILL PER CITY OF ALBUQUERQUE STD, SPECIFICATIONS SECTION 700
- REMOVE EXISTING WATER METER AND INSTALL NEW 1/2" DOMESTIC WATER METER PER CITY OF ALBUQUERQUE STD, DWG 2385 & 2387
- PROPOSED 8" CLASS 350 (C350) DIP FIRE LINE WITH TRACER WIRE, LENGTH PER PLAN (4" MIN. COVER), TRENCH PER CITY OF ALBUQUERQUE STD, SPECIFICATIONS SECTION 700
- TIE TO AND EXTEND EX. 6" FIRE LINE WITH 90° DIP BEND
- PROPOSED FIRE HYDRANT PER CITY OF ALBUQUERQUE STD, SPECIFICATIONS SECTION 801
- PROPOSED PDC & PIV. SEE SPRINKLER PLANS FOR DETAILS
- PROPOSED 1" IRRIGATION SERVICE, REFER TO LANDSCAPE FOR CONTINUATION
- PROPOSED 1" IRRIGATION METER, REFER TO LANDSCAPE
- PROPOSED IRRIGATION BFP, REFER TO LANDSCAPE
- PROPOSED DOMESTIC RPBA INTERNAL TO BUILDING. SEE MEP PLANS FOR DETAILS
- BUILDING WATER & FIRE CONNECTION, REFER TO MEP AND SPRINKLER PLANS FOR CONTINUATION
- PROPOSED 1/2" EACH H/C WATER TO DAMPSTER WITH RP2 VALVE, REFER TO MEP PLANS
- CORREXISTING SSMH FOR TIE-IN PER CITY OF ALBUQUERQUE STD, DWG 2116

UTILITY KEYNOTE LEGEND

- INSTALL 8"x6" TAPPING SLEEVE AND GATE VALVE WITH THRUST BLOCK, VALVE BOX PER CITY OF ALBUQUERQUE STD, DWGS 2336 AND 2339
- WET UTILITY CROSSING, MAINTAIN 2' MINIMUM VERTICAL SEPERATION
- PROPOSED GAS SERVICE BY OTHERS
- CONNECTION TO EXISTING GAS MAIN BY OTHERS
- CONNECTION TO EXISTING UNDERGROUND ELECTRIC AND PRIMARY SERVICE TO TRANSFORMER BY OTHERS
- PAD-MOUNTED TRANSFORMER & SECONDARY ELECTRICAL SERVICE, SEE ELECTRICAL FOR DETAILS
- RELOCATED ELECTRICAL PULLBOXES
- RESET EXISTING ELECTRICAL PULLBOX AT FINISHED GRADE
- TELECOM/CATV SERVICE, SEE E4 PLANS
- CONDUIT TO MENU BOARDS, SEE ELECTRICAL FOR DETAILS

RESPONSIBILITY OF FRANCHISE UTILITY SERVICE

	UTILITY COMPANY	GENERAL CONTRACTOR
ELECTRIC SERVICE		
PRIMARY CONDUCTORS	X	---
TRANSFORMER PAD	---	---
TRANSFORMER ON POLE	---	---
SECONDARY CONDUIT TO METER	X	---
SECONDARY CONDUCTORS TO METERS	---	X
SECONDARY CONDUIT FROM METER TO MAIN PANEL	---	X
SECONDARY CONDUCTORS FROM METER TO MAIN PANEL	---	X
GAS SERVICE		
SERVICE FROM ROW TO BUILDING	X	---
CONDUIT FROM ROW TO BUILDING	---	X
INSTALL GAS METER	X	---
TELEPHONE SERVICE		
SERVICE FROM ROW TO BUILDING	X	---
CONDUIT FROM ROW TO BUILDING	---	X

WATER METER & SEWER SCHEDULE

I.D.	TYPE	SIZE	NO.	SEWER
1	DOMESTIC	1.5"	1	6"
2	IRRIGATION	1"	1	---

CAUTION!
CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



Site: **Montgomery & San Mateo ALBUQUERQUE, NM 87112 Restaurant #RCB52 P4E-V-AV SCHEME A**

Kimley-Horn AND ASSOCIATES, INC.
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3455 Nool Road Suite 700 Dallas, TX 75240 CONTACT: LAUREN NUFFER, P.E. (972) 778-3300 LAUREN.NUFFER@KIMLEY-HORN.COM E.W.MOYER@KIMLEY-HORN.COM



2ND BLDG. RESUBMITTAL

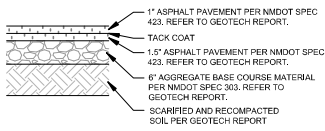
Prototype	P4E-V-AV 2021-22 RELEASE
Prototype Issue Date	10/04/2021
Revision Issue Date	08/02/2021
Design Authority Updates	---
Date Issued	Build Number

REVISIONS

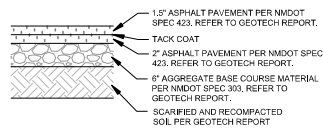
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11/20/2021	15% TO SUBMITTAL	
12/20/2021	15% TO SUBMITTAL	
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Sheet Title: **UTILITY PLAN**
Date: 04/27/2022
Project Number: 09042000
Drawn By: LWL11

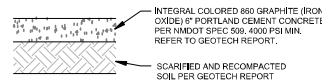
Sheet Number: **C8.0**



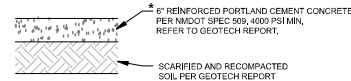
LIGHT DUTY ASPHALT PAVEMENT SECTION



MEDIUM DUTY ASPHALT PAVEMENT SECTION

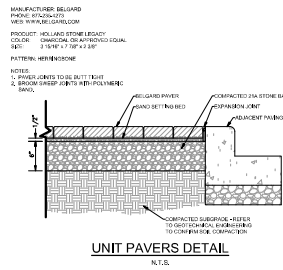


INTEGRAL COLORED STANDARD DUTY CONCRETE PAVEMENT SECTION

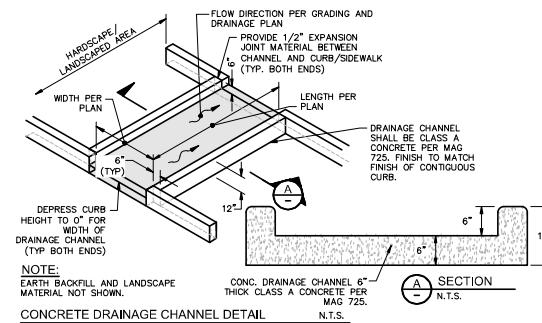


HEAVY DUTY CONCRETE PAVEMENT SECTION

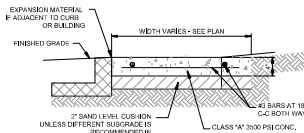
* CONCRETE FOR RIGID PAVEMENT SHOULD HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI, A MODULUS OF ELASTICITY OF 500 PSI, AND BE PLACED WITH A MAXIMUM SLUMP OF 4 INCHES. REFER TO GEOTECH REPORT.



UNIT PAVERS DETAIL
N.T.S.



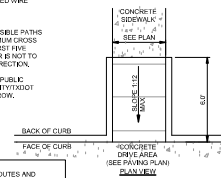
CONCRETE DRAINAGE CHANNEL DETAIL
N.T.S.



- NOTES:
1. PROVIDE BITUMINOUS EXPANSION MATERIAL WHERE WALK ADJUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE.
 2. SPACE CONTROL JOINT UNIFORMLY AT INTERVALS EQUAL TO THE WALK WIDTH OR AS SHOWN ON ARCHITECTURAL PLANS.
 3. PLACE PREMOULDED EXPANSION JOINT MATERIAL AROUND ALL STRUCTURES IN NEW WALK ALONGSIDE ALL ADJACENT BUILDINGS AND ABUTTING STRUCTURES TO THE NEW CONCRETE SIDEWALK.
 4. SEAL EXPANSION & CONTRACTION JOINTS WITH AN APPROVED TYPE SEALANT.
 5. SIDEWALK PAVEMENT WHERE PATIO FURNITURE IS TO BE PLACED MUST BE 4000 PSI.

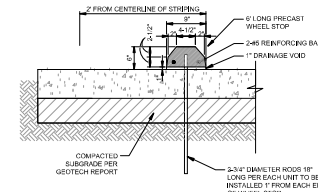
NOTE: REFER TO GEOTECH REPORT FOR FURTHER INFORMATION.

- NOTES:
1. RAMP SHALL HAVE A LIGHT BROOM SMOOTH FINISH PER ADA/AS REQUIRED BY STATE.
 2. TAPERED CURB AND GUTTER SECTION, SHOWN IN GUTTER FLOWLINE AS REQUIRED.
 3. RAMP SHALL BE CONSTRUCTED OF 4\"/>



NOTE: ALL ACCESSIBLE ROUTES AND BARRIER FREE RAMPS MUST COMPLY WITH NEW YORK'S ACCESSIBILITY STANDARDS, LATEST EDITION.

BARRIER FREE RAMP DETAIL
N.T.S.



NOTE: PRECAST CONCRETE OR PLASTIC WHEEL STOPS MAY BE USED WITH CANES CONSTRUCTION MANAGERS APPROVAL.

PRECAST CONCRETE WHEEL STOP DETAIL
N.T.S.



Site:
Montgomery & San Mateo
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A

Engineer Information:
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Prototype: P4E-V-AV 2021-22 RELEASE

Prototype Issue Date:	11/04/2021
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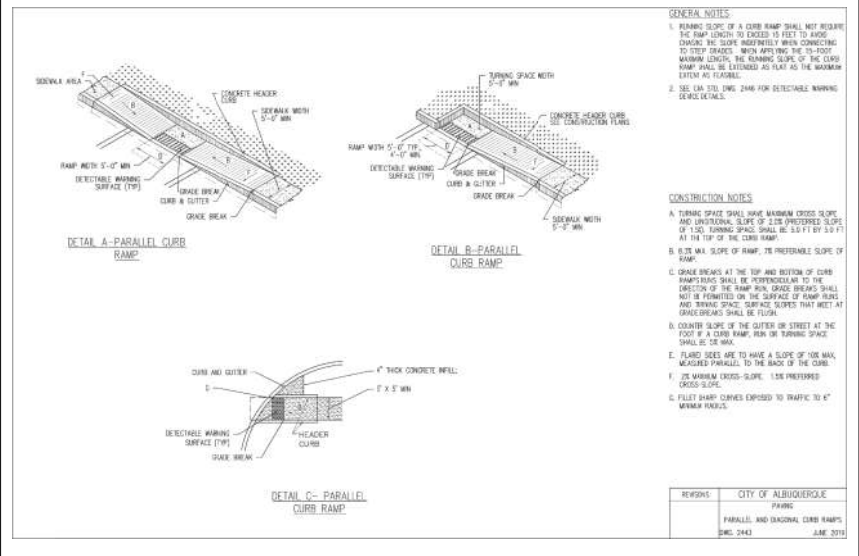
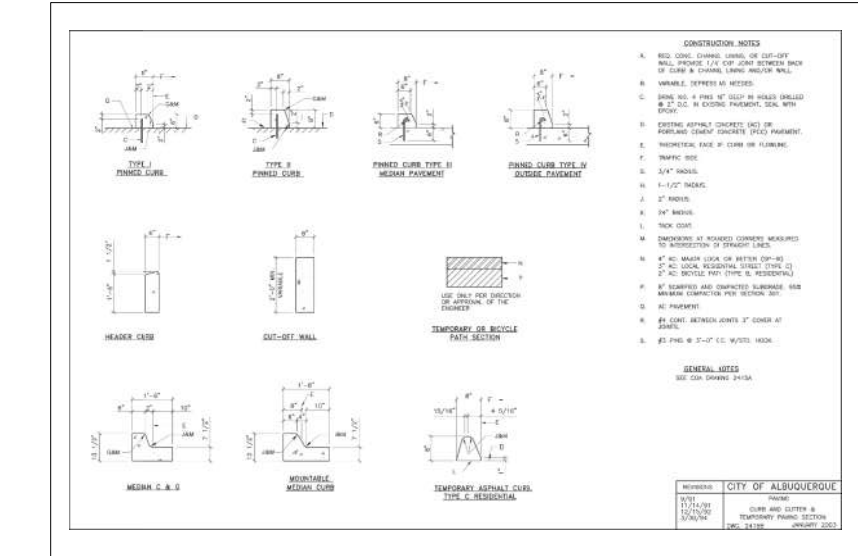
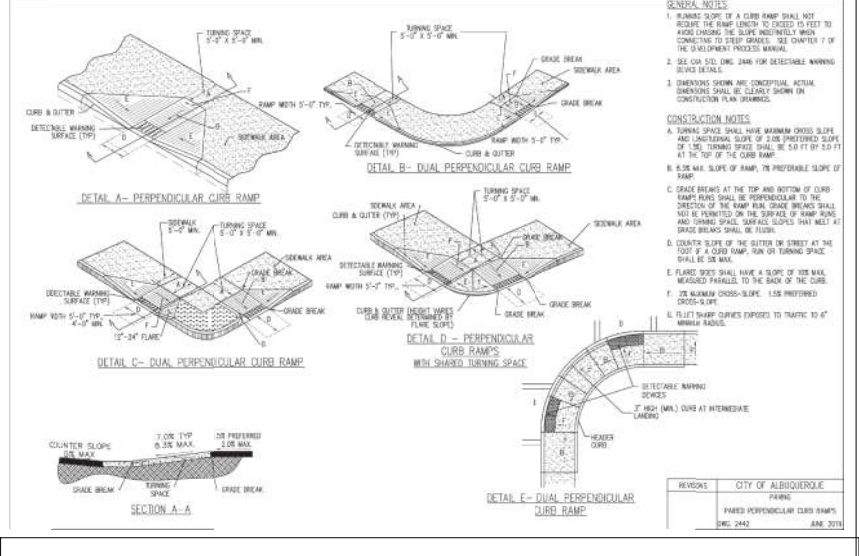
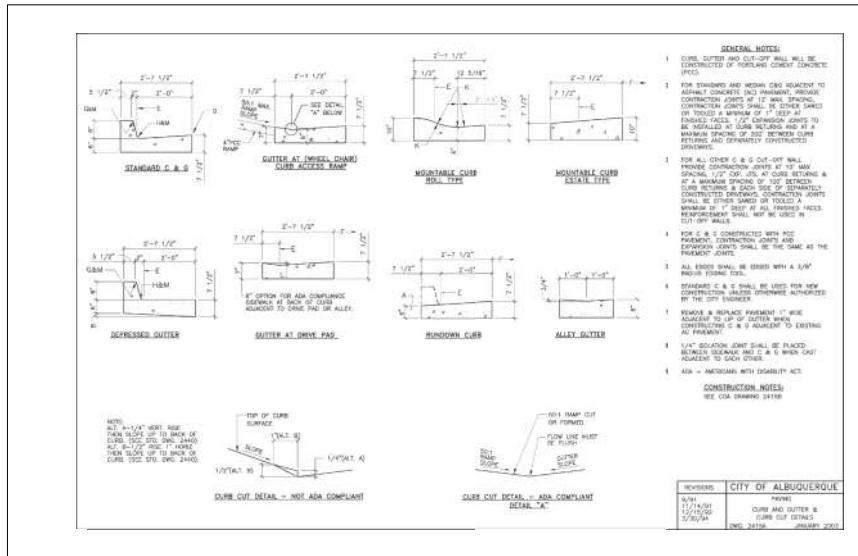
2ND BLDG. RESUBMITTAL

REVISED:	
11/12/2021	80% REVIEW SET
11/20/2021	1ST BLDG. RESUBMITTAL
12/20/2021	1ST BLDG. RESUBMITTAL
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Sheet Title:
CONSTRUCTION DETAILS

Date: 04.27.2022
Project Number: 090042000
Drawn By: LWN
Sheet Number:

C9.0



Montgomery & San Mateo
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A

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Prototype	P4E-V-AV 2021-23 RELEASE
Prototype Issue Date	10/04/2021
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Date Issued	Build Number
-	-

2ND BLDG. RESUBMITTAL

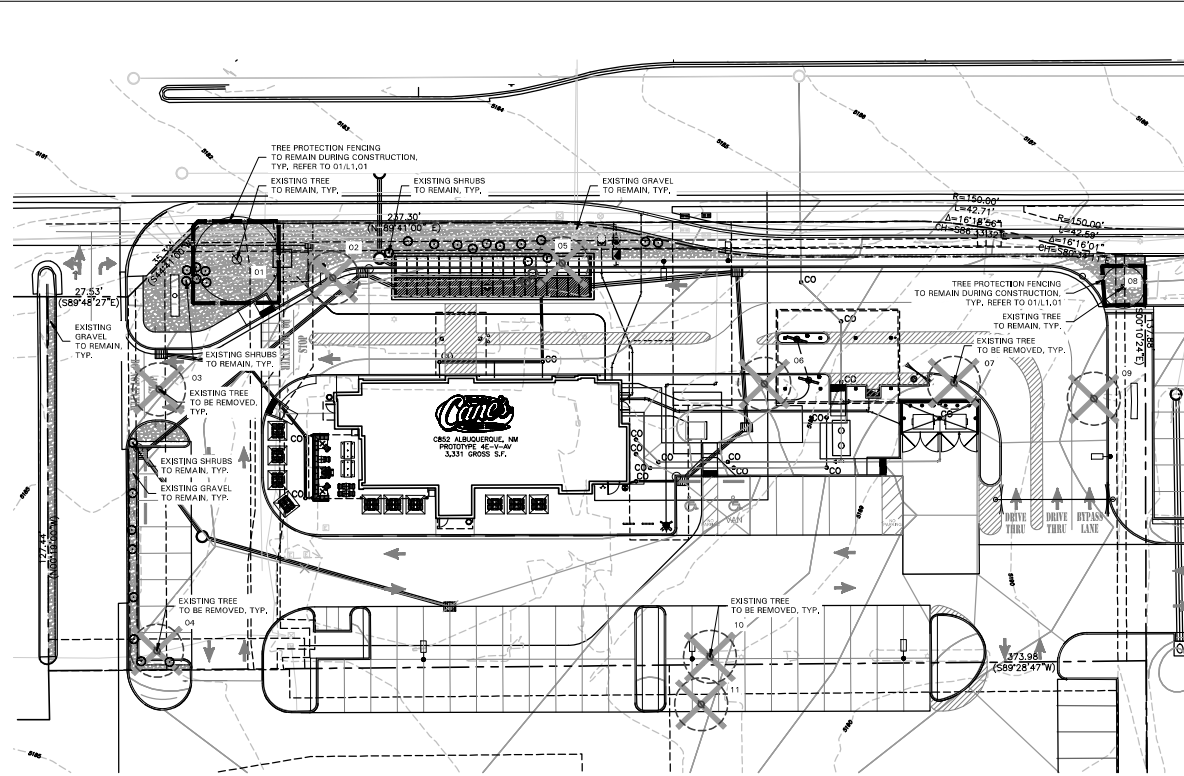
REVISIONS	CITY OF ALBUQUERQUE
11/12/2021	80% REVIEW SET
11/30/2021	1ST BLDG. SUBMITTAL
12/20/2021	1ST BLDG. RESUBMITTAL
01/17/2022	2ND BLDG. RESUBMITTAL

Sheet Title: **CITY CONSTRUCTION DETAILS**
Date: 04/27/2022
Project Number: 09042000
Drawn By: LWL11
Sheet Number:



CAUTION!
CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

C10.0

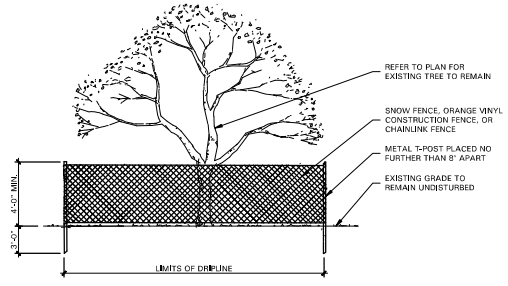
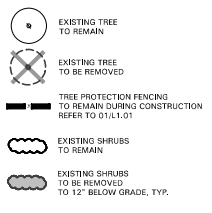


TREE SURVEY FIELD DATA				
No.	Dia. (inches)	Species (common name)	Status	Remarks
1		TREE	TO REMAIN	
2		TREE	TO BE REMOVED	
3		TREE	TO BE REMOVED	
4		TREE	TO BE REMOVED	
5		TREE	TO BE REMOVED	
6		TREE	TO BE REMOVED	
7		TREE	TO BE REMOVED	
8		TREE	TO BE REMOVED	
9		TREE	TO BE REMOVED	
10		TREE	TO BE REMOVED	
11		TREE	TO BE REMOVED	

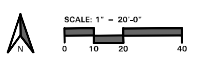
TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE CANOPY OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 15% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A SCUBAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TONIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMER, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4) FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

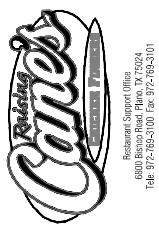
EXISTING TREE LEGEND



01 TREE PROTECTIVE FENCING
NOT TO SCALE



BELLE FIRMA
4348 North Central Exp
Suite 301
Dallas, Texas 75206
214.866.7182



Site:
4800 Montgomery Blvd NE
ALBUQUERQUE, NM 87112
Restaurant #RCB52
P4E-V-AV SCHEME A
Professional of Record: **KEN MCCracken**

Ken McCracken,
Architect
Architectural Program Management

1101 Central Expressway South
Suite 100
Albuquerque, NM 87103
CONTACT: EVERETT FIELDS
409.674.1544
EFIELDS@PACINC.COM



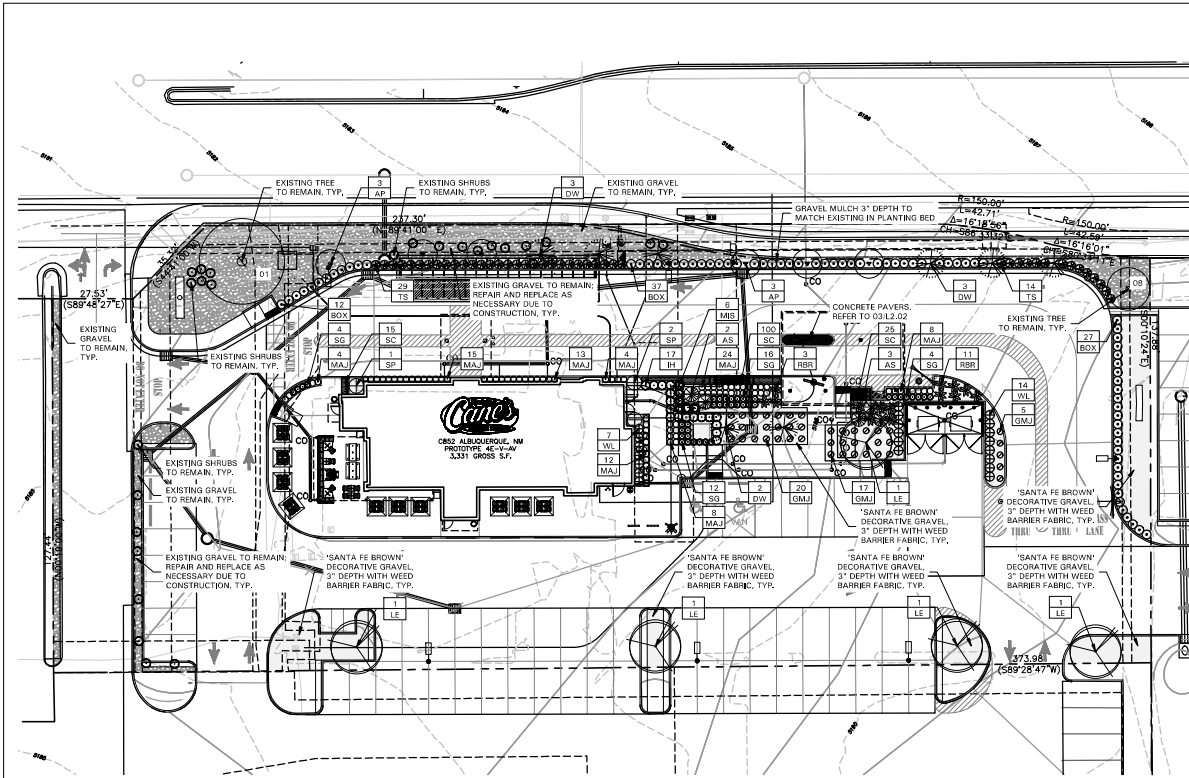
Prototype:	P4E-V-AV 2021-23 RELEASE
Prototype Issue Date:	10.04.2021
Kitchen Issue Date:	08.02.2021
Design Rollup Updates:	-
Date Issued:	Sheet Number:
-	-

2ND BLDG. RESUBMITTAL

REV	DATE	DESCRIPTION
1	11/12/2021	00% RESUBMIT SET
2	11/30/2021	1ST BLDG. SUBMITTAL
3	12/27/2021	1ST BLDG. RESUBMITTAL
4	01/17/2022	2ND BLDG. RESUBMITTAL
5		
6		
7		
8		
9		

Sheet Title:
TREE PRESERVATION PLAN
Date: 03.29.2022
Project Number: RSC21059.0
Drawn By: TM/KH

L1.01



LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 12" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SABB IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

CONCRETE PAVER NOTES

- CONTRACTOR SHALL ADHERE TO THE MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND ANY OTHER REQUIREMENTS OUTLINED BY THE MANUFACTURER FOR ALL PAVER INSTALLATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO COMMENCING ANY WORK.
- CONCRETE PAVERS SHALL BE:
 - BELGARD LEGACY SERIES
 - MODEL HOLLAND STONE PATTERN, HERRINGBONE
 - COLOR: CHARCOAL
- CONTRACTOR SHALL SUBMIT A STANDARD COLOR SAMPLE BOARD TO THE OWNER'S AUTHORIZED REPRESENTATIVE FOR FINAL COLOR SELECTION PRIOR TO PLACING ORDER.
- THE FINAL COLOR SELECTION SHALL BE MADE BY THE OWNER'S AUTHORIZED REPRESENTATIVE ON-SITE.
- CONCRETE PAVERS AVAILABLE FROM: WWW.BELGARD.COM
- THE CONTRACTOR SHALL CONSTRUCT A SAMPLE PANEL 4'-0" BY 4'-0" ON-SITE, AT NO EXPENSE TO THE OWNER, FOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.
- THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY AND ALL WORK EXECUTED BY THE CONTRACTOR WHICH DOES NOT MEET HIGHER EXPECTATIONS AND THE MANUFACTURER'S SPECIFICATIONS.
- THE CONTRACTOR SHALL MAKE ANY MODIFICATIONS REQUIRED BY THE OWNER'S AUTHORIZED REPRESENTATIVE AT NO EXPENSE TO THE OWNER.

LANDSCAPE TABULATIONS

THE CITY OF ALBUQUERQUE, NEW MEXICO

SITE LANDSCAPE REQUIREMENTS

- The total landscaped area required for each development shall equal not less than 15% of the net lot area.
- Tree canopies and ground-level plants shall cover a minimum of 75% of the total landscape area.
- Of the required vegetative coverage, a minimum of 25% shall be provided as ground-level plants.

Total Site: 54,989 s.f.
 Building Foot: 3,331 s.f.
 Net Lot Area: 51,658 s.f.

Required	Provided
7,749 s.f. (15%)	9,282 s.f. (17%)
Total Landscape Area: 10,788 s.f.	
Required:	Provided:
8,091 s.f. (75%)	8,300 s.f.
	(2) small existing trees @ 300 s.f. = 600 s.f.
	(5) trees @ 100 s.f. = 500 s.f.
	(14) small trees @ 300 s.f. = 4,200 s.f.
	2,022 s.f. (25% of 8,091)
	2,404 s.f. (29% of 8,091)

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	WATER USE	QTY.	SIZE	REMARKS
AP	<i>Pinus ponderosa</i>	Alfalfa Pine	Low to Medium	6	2" cal.	B&B or container grown, 6' ht., full to base, 3' spread
DW	<i>Chilopsis linearis</i>	Desert Willow	Low to Medium	8	2" cal.	container grown, 3-5' tall, 8" ht. min., 4' spread max.
IE	<i>Alnus parvifolia</i> 'Sempervirens'	Larabee's Elm	Low to Medium	5	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
AS	<i>Pinus glabra</i> 'Cinola'	Dwarf Italian Spruce	Medium to High	5	15 gal.	B&B or container grown, full to base, 3' spread
BDK	<i>Juniperus monosperma</i> 'Winter Gem'	Winter Gem Rosewood	Medium	78	5 gal.	container full, 20" spread, 24" ht.
DMJ	<i>Juniperus procumbens</i> 'New'	Green Mound Juniper	Low	42	5 gal.	container full, 20" spread, 24" ht.
IH	<i>Leucosiphon subula</i> 'Bay Bronze'	Indian Hawthorne 'Bay Bronze'	Medium	17	5 gal.	container full, 20" spread, 24" ht.
MAJ	<i>Juniperus sibirica</i> 'Mini Arcadia'	Mini Arcadia Juniper	Low	98	5 gal.	container full, 20" spread, 24" ht.
MIS	<i>Microbania eriosperma</i> 'Adagio'	Microbania 'Adagio'	Medium	6	5 gal.	container full, 30" ht.
RBR	<i>Leucocorydium longimanus</i>	Red Branch Rain sage	Low	14	5 gal.	container full, 20" spread, 24" ht.
SC	<i>Salvia arvensis</i> 'Red'	Seasonal Color	Medium	140	4" pots	container full, 12" ht., selection by Owner
SG	<i>Salvia greggii</i>	Salvia Greggii	Medium	38	5 gal.	container full, 20" spread, 24" ht.
SP	<i>Juniperus chinensis</i> 'Spartan'	Spartan Juniper	Low	3	15 gal.	B&B or container grown, full to base, 3' spread
TS	<i>Leucocorydium longimanus</i> 'Green Cloud'	Tease Sage 'Green Cloud'	Low	43	5 gal.	container full, 20" spread, 24" ht.
WL	<i>Ligustrum japonica</i>	Wax Leaf Ligustrum	Medium	21	5 gal.	container full, 20" spread, 30" ht.

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITH VARIETIES. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

STREET TREES

- One (1) tree every 25 feet on center along street frontage.

MONTGOMERY BOULEVARD: 3561 L.

- Required (14) trees, 2" cal.
 Provided (14) trees, 2" cal.

PARKING LOT (REAR)

- One (1) tree is required per 10 parking spaces.
- No parking space may be more than 100 feet in any direction from a tree trunk.
- At least 75% of the required parking area trees shall be deciduous canopy type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.

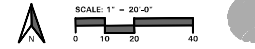
Parking Spaces: 39

- Required: (3) trees
 Provided: (3) trees
 75% deciduous
 75% deciduous

DRIVE THROUGH SCREENING

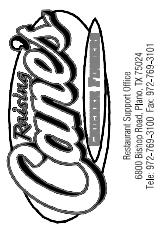
- At least 2 evergreen trees shall be planted in the landscape buffer area required.

- Required: (2) evergreen trees
 Provided: (2) evergreen trees
 36" evergreen screen
 36" evergreen screen



BELLE FIRMA

4348 North Central Express Suite 301 Dallas, Texas 75206 214.866.7192 office



Site: 4800 Montgomery Blvd NE ALBUQUERQUE, NM 87112 Restaurant #RCB52 P4E-V-AV SCHEME A

Ken McCracken, Architect

1101 Central Expressway South Suite 100 Albu, NM 87103 CONTACT: EVERETT FIELDS 409.674.154 EFIELDS@RCBGNC.COM



Prototype: P4E-V-AV 2024-23 RELEASE

Prototype Issue Date: 11/04/2021

Kitchen Issue Date: 08/02/2021

Design Bulletin Updates: -

Date Issued: -
 Subfile Number: -

2ND BLDG. RESUBMITTAL

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LANDSCAPE PLAN

Date: 03/29/2022
 Project Number: BSC21059.0
 Drawn By: T.M.H.

L2.01

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
 1. Planting trees, shrubs and grasses
 2. Bed preparation and fertilization
 3. Notification of sources
 4. Water and maintenance until final acceptance
 5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen; April 14, 2014 Edition; by American National Standards Institute, Inc. (ANSI) - plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. New Mexico Association of Nurserymen, Grades and Standards
- D. Horita Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bad mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor installing any portion of landscape installation. General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All areas to receive solid soil shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, underground irrigation or grass will be accepted unless they show healthy growth and satisfactory foliage condition.
 2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, clearing up and all other work necessary of maintenance.
 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

- 1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The contractor shall replace all dead material as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died or the shape, size or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.

- a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted in the original position. All replacement plants, including labor and equipment used in replacement, shall carry a twelve (12) month guarantee. Any additional replanting runs in law or bad areas, incurred as a result of making replacements shall be immediately repaired.
- b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
- c. When plant replacements are made, plants, soil, mulch, fertilizer and much are to be unified as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
- d. When plant replacements are made, plants, soil, mulch, fertilizer and much are to be unified as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Preparation:

- 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
- 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root system.

B. Delivery:

- 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
- 2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on site.
- 3. Protect root balls by holding in with sandcut or other approved moisture retaining material if not planted within 24 hours of delivery.
- 4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
- 5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
- 6. Remove rejected plant material immediately from job site.
- 7. To avoid damage or stress, do not lift, move, adjust or otherwise manipulate plants by trunk or stems.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

- 1. Fridge, fertile, dark loamy soil, free of clay lumps, subsoil, roots and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dalleggrass or Nutsedge shall be rejected.
- 2. Physical properties as follows:
 - a. Clay - between 7-27 percent
 - b. Sil - between 15-25 percent
 - c. Sand - less than 52 percent
- 3. Organic matter shall be 3%-10% of total dry weight.
- 4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

B. Organic Matter:

- 1. Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.

C. Sharp Sand:

- 1. Sharp sand must be free of seeds, soil particles and debris.

D. Mulch:

- 1. Double Shredded Hardwood Mulch, partially decomposed, dark brown unless otherwise specified on plans.

E. Organic Fertilizer:

- 1. Fertilizer shall be recommended for reforestation purposes. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

F. Commercial Fertilizer:

- 1. 10-20-10 or similar analysis. Nitrogen should be a minimum 50% slow release organic Nitrogen (SRL) or U.F. with a minimum 8% sulfur and 4% iron, plant micronutrients.

G. Peat:

- 1. Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

A. Steel Edging:

- 1. All steel edging shall be 3/16" thick x 4" deep x 10' long with 6 stakes per section, painted black and the factory as manufactured by The J.Z. Rausch Company and under its trade name DURADEE Heavy Duty Steel.

B. Staking Material for Shade Trees:

- 1. Refer to details.

C. Gravel:

- 1. Washed native pea gravel, graded 1 inch to 1-1/2 inch.

D. Filter Fabric:

- 1. Mesh Misesage® by Mesh Construction Products or approved equal.

E. River Rock:

- 1. "Colorado" or native river rock, 2" - 4" dia.

F. Decomposed Granite:

- 1. Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

3.1 BED PREPARATION AND FERTILIZATION

A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

B. All planting areas shall be conditioned as follows:

- 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6) inches prior to adding compost and fertilizer. Apply fertilizer as per manufacturer's recommendations. Add six (6) inches of compost and till into a depth of six (6) inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
- 2. All planting areas shall receive a three (3") inch layer of specified mulch.
- 3. Backfill for tree pits shall be as follows: Use existing top soil on site unless imported topsoil as needed; free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- 4. Grass Areas:
 1. Blocks of soil should be laid joint to joint (interlocked joints) after finishing the ground firm. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of soil should be filled with topsoil where they are evidently spaced open, then watered thoroughly.

3.2 INSTALLATION

A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.

B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shrubs and nursery materials shall be thoroughly protected from the driving winds during transit. All plants which cannot be planted at one time shall be stored on site, shall be well protected against the possibility of drying by wind and Balls of earth of 8 x 8 Balls shall be used to protect plants with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.

C. Position the trees and shrubs in their intended location as per plan.

D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.

E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did so soil surface in original place of growth.

F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than its vertical dimension. Remove and haul from site all rocks and stones over three-quarter (3/4") inch in diameter. Plants should be thoroughly moist before removing containers.

G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.

H. Percolation Tests: Fill the hole with water. If the water level does not penetrate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect if the percolation test fails.

I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug to final rock, topsoil from

PART 3 - EXECUTION

3.1 BED PREPARATION AND FERTILIZATION

A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

B. All planting areas shall be conditioned as follows:

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C. Position the trees and shrubs in their intended location as per plan.

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H. Percolation Tests: Fill the hole with water. If the water level does not penetrate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect if the percolation test fails.

I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug to final rock, topsoil from

3.3 CLEANUP AND ACCEPTANCE

A. Cleanup: During the work, the premises shall be kept neat and orderly. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

B. END OF SECTION

C. END OF SECTION

D. END OF SECTION

E. END OF SECTION

F. END OF SECTION

G. END OF SECTION

H. END OF SECTION

I. END OF SECTION

J. END OF SECTION

K. END OF SECTION

L. END OF SECTION

M. END OF SECTION

N. END OF SECTION

O. END OF SECTION

P. END OF SECTION

1. Dead wood, suckers, broken and badly burned branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.

2. Pruning shall be done with clean, sharp tools.

3. Immediately after pruning operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

4. Sheel Curbing Installation:

1. Curbing shall be aligned as indicated on plans. Stake out limitations of steel curbing and obtain Owner's approval prior to installation.

2. All steel curbing shall be free of knots and approved bends.

3. Top of curbing shall be 2" maximum height above final finished grade.

4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.

5. Do not install steel edging along sidewalks or curbs.

6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

A. Cleanup: During the work, the premises shall be kept neat and orderly. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

B. END OF SECTION

C. END OF SECTION

D. END OF SECTION

E. END OF SECTION

F. END OF SECTION

G. END OF SECTION

H. END OF SECTION

I. END OF SECTION

J. END OF SECTION

K. END OF SECTION

L. END OF SECTION

M. END OF SECTION

N. END OF SECTION

O. END OF SECTION

P. END OF SECTION

1. Dead wood, suckers, broken and badly burned branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.

2. Pruning shall be done with clean, sharp tools.

3. Immediately after pruning operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

4. Sheel Curbing Installation:

1. Curbing shall be aligned as indicated on plans. Stake out limitations of steel curbing and obtain Owner's approval prior to installation.

2. All steel curbing shall be free of knots and approved bends.

3. Top of curbing shall be 2" maximum height above final finished grade.

4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.

5. Do not install steel edging along sidewalks or curbs.

6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

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Restaurant Concept Office
6800 Broadway Blvd. Plano, TX 75024
Tel: 972-789-3100 Fax: 972-789-3101

Site:
4800 Montgomery Blvd NE
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A

Professional of Record: **KEN McCracken**

Ken McCracken,
Architect
Architect • Program Management • Planning

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EFIELDS@FADGINC.COM



04.26.22

Prototype: P4E-V-AV 2021 - 2.0 RELEASE

Prototype Issue Date: 12.04.2021

Kitchen Issue Date: 08.02.2022

Designer: Bill Wainwright

Date Issued: -

Sheet Number: -

2ND BLDG. RESUBMITTAL

REV	DATE	DESCRIPTION
1	11/12/2021	ISSUE FOR PERMITS SET
2	11/30/2021	1ST BLDG. RESUBMITTAL
3	12/27/2021	1ST BLDG. RESUBMITTAL
4	01/17/2022	2ND BLDG. RESUBMITTAL
5		
6		
7		
8		
9		

Sheet Title:

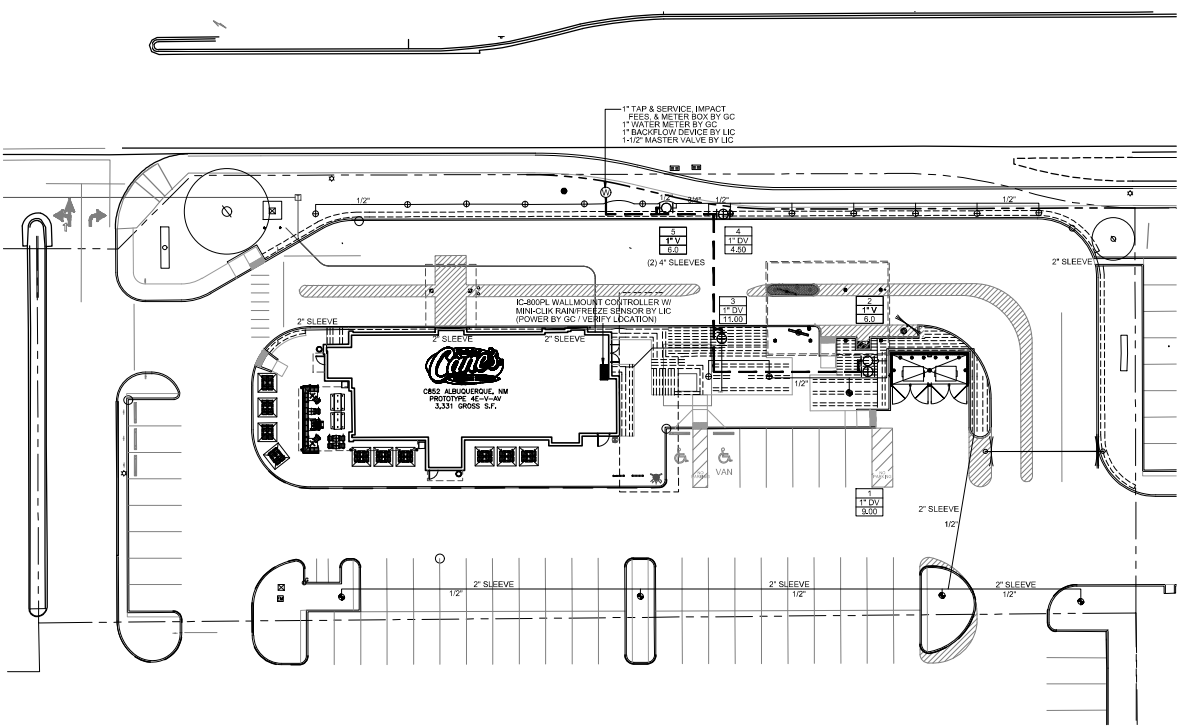
IRRIGATION PLAN

Date: 03.29.2022

Project Number: PAC21059.0

Drawn By: SAH

Sheet Number:

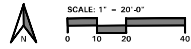


IRRIGATION LEGEND:

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
⊕	BUBBLER HEAD	HUNTER (30 PSI)	PCB-50 PLASTIC BUBBLER NOZZLE ON HUNTER SJ SWING JOINT
●	BUBBLER HEAD	HUNTER (30 PSI)	PCB-10 PLASTIC BUBBLER NOZZLE ON HUNTER SJ SWING JOINT
⊖	REMOTE CONTROL VALVE	HUNTER	PGV SERIES WITH ACCL-SYNC PRESSURE REGULATOR, REFER TO PLANS FOR SIZE
■	CONTROLLER	HUNTER	I-CORE WALLMOUNT WITH MINI-CLICK WIRELESS RAIN AND FREEZE SENSOR
—	MAINLINE PIPING	REFER TO SPEC.	1-1/2" CLASS 200 PVC
—	LATERAL PIPING	REFER TO SPEC.	3/4" & LARGER - CLASS 200 PVC 1/2" - CLASS 315 PVC
⊖	REMOTE CONTROL DRIP VALVE	HUNTER	PCZ-100 CONTROL ZONE KIT, REFER TO PLAN FOR SIZE
—	DRIP HEADER PIPING	REFER TO SPEC.	CLASS 200 PVC UNLESS OTHERWISE NOTED
⋮	PLANTING BED DRIPLINE TUBING	HUNTER	PLD-CV-06-16 AT 18" O.C. WITH PLD INSERT FITTINGS, 12 GAL. GALVANIZED STAKES AND DRIP INDICATOR HEAD
⊗	WATER METER	REFER TO SPEC.	PER LOCAL BUILDING CODE
NN	PVB BACKFLOW PREVENTER	FEBCO	#765, REFER TO PLAN FOR SIZE
⊗	MASTER VALVE	HUNTER	ICV, REFER TO PLAN FOR SIZE
□	STATION NUMBER VALVE SIZE GPM (APPROX.)		

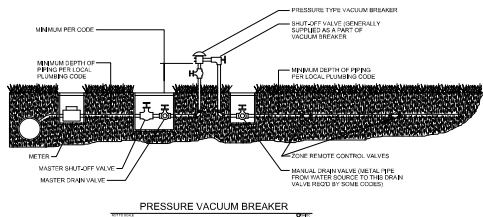
PIPE SIZE CHART

FLOW/GPM:	PIPE SIZE:
0 - 4.0	1/2"
4.1 - 9.5	3/4"
9.6 - 14.5	1"
14.6 - 27.0	1-1/4"
27.1 - 35.0	1-1/2"
35.1 - 55.0	2"

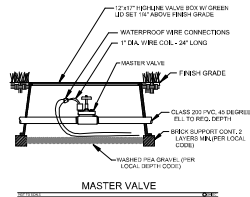


4348 North Central Expy
Suite 301
Dallas, Texas 75206
214.868.7182 office

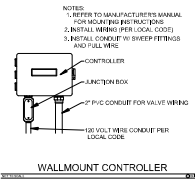
L3.01



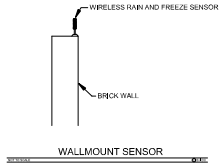
PRESSURE VACUUM BREAKER



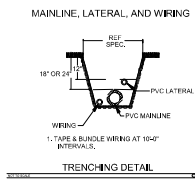
MASTER VALVE



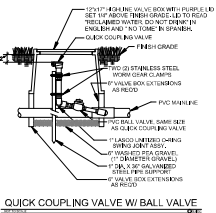
WALLMOUNT CONTROLLER



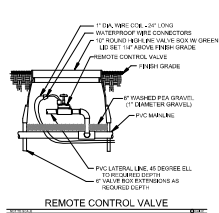
WALLMOUNT SENSOR



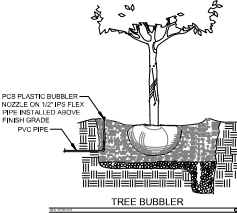
TRENCHING DETAIL



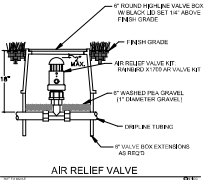
QUICK COUPLING VALVE W/BALL VALVE



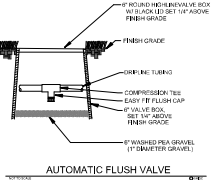
REMOTE CONTROL VALVE



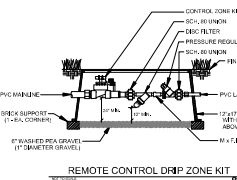
TREE BUBBLER



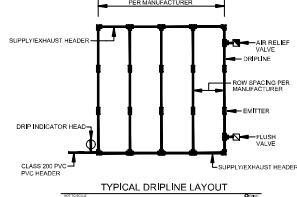
AIR RELIEF VALVE



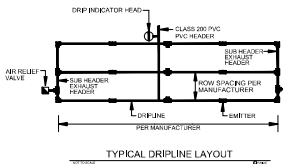
AUTOMATIC FLUSH VALVE



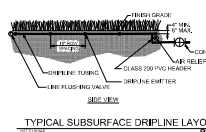
REMOTE CONTROL DRIP ZONE KIT



TYPICAL DRIPLINE LAYOUT



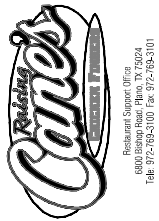
TYPICAL DRIPLINE LAYOUT



TYPICAL SUBSURFACE DRIPLINE LAYOUT

NOTES:

- ALL 24 VOLT LEAD AND COMMON VALVE WIRING SHALL BE A MINIMUM OF UF-14 GA. SINGLE CONDUCTOR. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR PROPER WIRE SIZE. WIRE SPLICES SHALL BE 3M-DBY PERMANENT AND WATERPROOF PER THE SPECIFICATIONS.
- COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LANDSCAPE CONTRACTOR TO ENSURE ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
- PIPING AND VALVES IN PAVING SHOWN FOR CLARITY. INSTALL IN ADJACENT PLANTING BED OR LAWN AREA.
- LATERAL PIPING SHALL HAVE A MINIMUM OF 12" OF COVER. MAINLINE AND PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18" OF COVER. ALL FITTINGS TO BE SCHEDULE 40 PVC. USE WELD-ON #705 SOLVENT AND #P-68 PRIMER FOR PVC CONNECTIONS PER THE SPECIFICATIONS.
- SIZE ALL LATERAL PIPING PER MANUFACTURER'S RECOMMENDATIONS OF NOT EXCEEDING 5 FPS. REFERENCE PIPE SIZE CHART.
- CONNECT TREE BUBBLER AND DRIP INDICATOR HEADS TO LATERAL PIPING WITH HUNTER 1/2" SJ SWING JOINT.
- INSTALL QUICK COUPLING VALVES IN TWELVE BY SEVENTEEN (12"x17") INCH HIGHLINE VALVE BOX. CONNECT QUICK COUPLING VALVES TO MAINLINE PIPE WITH HUNTER HSJ SWING JOINT. SUPPLY OWNER WITH ONE (1) COUPLER KEY WITH SWIVEL HOSE BIBB EACH. VALVES TO BE INSTALLED SO THAT TOP OF QUICK COUPLER IS 2" BELOW BOTTOM OF VALVE BOX TOP. PURPLE LID READS "NON-POTABLE. NOT SAFE FOR DRINKING" IN ENGLISH AND SPANISH. INSTALL EVERY 150'-0" ON CENTER ALONG ENTIRE LENGTH OF MAINLINE.
- PERFORM ELECTRICAL WORK IN ACCORDANCE WITH LOCAL BUILDING CODE. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX AND HARDWIRED WITH FIVE (5) FEET OF CONTROLLER LOCATION BY GENERAL CONTRACTOR.
- INSTALL REMOTE CONTROL VALVES AND WIRE SPLICES IN TEN (10") INCH HIGHLINE VALVE BOXES.
- INSTALL SLEEVES UNDER ALL HARDSCAPE SURFACES SUCH AS ROADS, DRIVES, WALKS, ETC. WHETHER SHOWN OR NOT. SLEEVES SHALL BE CLASS 200 PVC, SIZED AS NOTED ON PLANS AND INSTALLED BY IRRIGATION CONTRACTOR.
- ADJUST NOZZLES FOR SITUATIONS THAT REQUIRE LESS THAN 90 DEGREE RADIUS SPRAY. THIS MAY REQUIRE ADJUSTABLE NOZZLES. NO OVERSPRAY ALLOWED ON ANY HARDSCAPE SURFACES.
- DESIGN PRESSURE IS 86.0 PSI. STATIC PRESSURE IS 85 PSI. TEN DAYS PRIOR TO START OF CONSTRUCTION, VERIFY STATIC PRESSURE. IF STATIC PRESSURE IS LESS THAN STATED DO NOT START WORK UNTIL NOTIFIED TO PROCEED.
- MINIMUM DISTANCE BETWEEN MAIN LINE AND LATERAL LINE FITTINGS (EXCEPT FOR REDUCER BUSHINGS) TO BE EIGHTEEN (18") INCHES AND MINIMUM HORIZONTAL DISTANCE OF TWENTY-FOUR (24") INCHES BETWEEN ANY VALVES THAT ARE INSTALLED SIDE BY SIDE.
- INSTALL REMOTE CONTROL DRIP ZONE KITS IN TWELVE BY SEVENTEEN (12"x17") INCH HIGHLINE VALVE BOXES.
- INSTALL DRIPLINE MINIMUM OF 2" AND A MAXIMUM OF 4" FROM HARDSCAPE SURFACES. STAKE DRIPLINE AND RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE BEFORE INSTALLATION. DO NOT EXCEED MANUFACTURER'S RECOMMENDATIONS OF 5-40" PS IN DRIPLINE.
- PROVIDE AND INSTALL DISTRIBUTION TUBING, STAKES, EMITTERS, TRANSFER FITTINGS, DIFFUSER BUG CAP, CONTROL ZONE KITS, ETC. NECESSARY FOR PROPER INSTALLATION OF THE BEDS. ALL PVC HEADER PIPING TO BE CLASS 200 PVC SOLVENT WELD PIPE. INSERT ALL HUNTER PLO BARBED FITTINGS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL ONE DRIP INDICATOR HEAD FOR EACH DRIP ZONE. INDICATOR HEAD TO BE A HUNTER ECO INDICATOR HEAD.
- AIR/VACUUM RELIEF VALVE TO BE HUNTER PLD-ARV INSTALLED IN A SIX-INCH (6") HIGHLINE VALVE BOX WITH 6" OF GRAVEL SLUMP. AUTOMATIC FLUSH VALVE TO BE HUNTER AFV INSTALLED IN A SIX-INCH (6") HIGHLINE VALVE BOX WITH 6" OF GRAVEL SLUMP.
- ALL HUNTER PLD-CV DRIPLINE AND DISTRIBUTION TUBING TO BE INSTALLED BELOW FINISH GRADE APPROXIMATELY 4" TO 6" PER MANUFACTURER'S RECOMMENDATIONS. ALL DRIPLINE TO BE INSTALLED MINIMUM OF 14" AND MAXIMUM OF 12" ROW SPACING UNLESS INSTRUCTED OTHERWISE. VERIFY THE EXACT EMITTER FLOW, EMITTER SPACING, AND ROW SPACING WITH MANUFACTURER PRIOR TO INSTALLING TO PROVIDE PROPER PRECIPITATION RATE BASED ON PLANT MATERIAL AND SOIL TYPE. TUBING TO BE STAKED WITH 12 GA. GALVANIZED STEEL DOWNS. INSTALL STAKES EVERY 3'-0" ALONG LENGTH OF TUBING AND A MINIMUM OF 24" FROM ANY FITTINGS.
- INCLUDE THE FOLLOWING ALLOWANCES FOR PROVIDING AND INSTALLING AIR RELIEF VALVES AND FLUSH VALVES FOR THE DRIP SYSTEM. EXACT QUANTITY AND LOCATION OF THESE DEVICES WILL BE DETERMINED AT THE TIME OF INSTALLATION. IN GENERAL, ALL AIR RELIEF VALVES WILL BE INSTALLED AT THE HIGH POINTS AND FLUSH VALVES WILL BE INSTALLED AT THE LOW POINTS OF EXHAUST HEADER. ALLOW FOR APPROXIMATELY ONE (1) AIR RELIEF VALVE AND APPROXIMATELY ONE (1) FLUSH VALVE FOR EACH DRIP ZONE KIT.
- WHERE POSSIBLE LOCATE ALL MAINLINES, VALVES, OR CONTROL WIRES SHALL BE LOCATED AND INSTALLED OUTSIDE RIGHT-OF-WAY.
- ALL STATE OF NEW MEXICO LAWS/RULES AND ALL LOCAL CODES/ORDINANCES ARE MADE PART OF THESE PLANS AND SPECIFICATIONS WHETHER SHOWN OR NOT. THESE LAWS AND ORDINANCES WILL SUPERCEDE THE PLANS, DETAILS, AND/OR SPECIFICATIONS FOR THIS PROJECT. CONTRACTOR IS CAUTIONED THAT THEY ARE TO INCLUDE ANY AND ALL COST NECESSARY TO MEET OR EXCEED THE LAWS OF THE STATE OF NEW MEXICO OR LOCAL CODES CONCERNING LANDSCAPE IRRIGATION.



4800 Montgomery Blvd NE
 ALBUQUERQUE, NM 87112
 Restaurant #RC852
 P4E-V-AV SCHEME A
 Professional Record KEN MCCracken

Ken McCracken,
 Architect
 1101 Central Expressway South
 Suite 100
 Albu, NM 87103
 CONTACT: EVERETT FIELDS
 409.819.1184
 EFIELDSP@FADGNC.COM



Project	P4E-V-AV 2021-2-D RELEASE
Permit Issue Date	12.04.2021
Permit Issue Date	08.02.2021
Owner/Architect/Engineer	
Date Issued	Submittal Number

2ND BLDG. RESUBMITTAL

REV	DATE	DESCRIPTION
1	11/12/2021	ISSUE FOR PERMITS
2	11/30/2021	1ST BLDG. SUBMITTAL
3	12/27/2021	1ST BLDG. RESUBMITTAL
4	01/17/2022	2ND BLDG. RESUBMITTAL
5		
6		
7		
8		
9		

IRRIGATION SPECIFICATIONS

Date: 03.29.2022
 Project Number: RAC21059.0
 Drawn By: SAH
 Sheet Number:



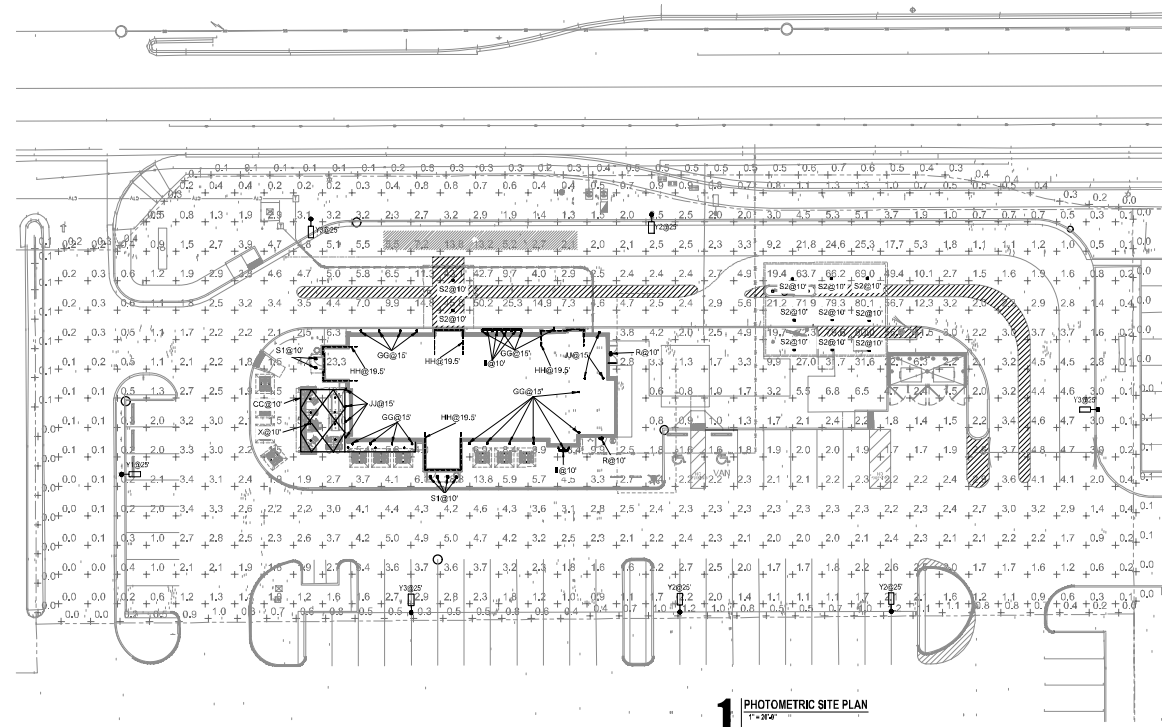
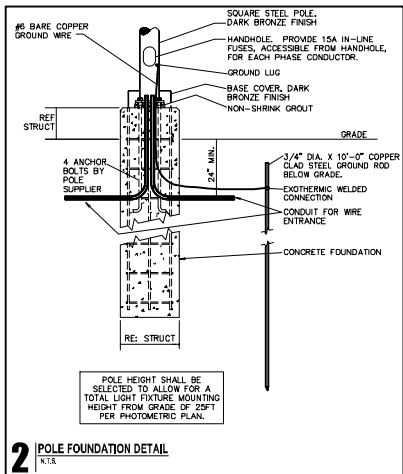
James F. Turner
Engineers, L.P.
8800 Greenwood Road, Reno, TX 75204
Tel: 972-299-1100 Fax: 972-299-1011

POLE LUMINAIRE LOCATIONS										
No.	Label	X	Z	Min	Max	Orientation	H	A	V	Q
1	Y1	153822	150292	25	25	0	0	-28840	1502974	0
2	Y2	153826	150295	25	25	0	0	-69096	1502935	0
3	Y3	153824	150293	25	25	0	0	-58400	1502935	0
4	Y2	153818	150285	25	25	180	0	-28840	1502880	0
5	Y3	153814	150282	25	25	180	0	-28840	1502820	0
6	Y3	153828	150298	25	25	0	0	-28840	1502980	0
7	Y3	153828	150298	25	25	0	0	-69096	1502935	0

LIGHTING STATISTICS						
Location	Avg	Min	Max	Min/Max	Avg/Min	Avg/Max
Landscaping/Parking	5.2E	0.1E	50.0E	NA	NA	NA
Property Line	6.4E	1.2E	60.0E	NA	NA	NA

POLE LUMINAIRE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	LAMP TYPE	WATTS	VOLTS	COMMENTS
Y1	LIMONIA	DSX1 LED P3 40K BLC MVOLT	LED	162	120-277	MOUNT FIXTURE AT TOP OF POLE 22' FROW GRADE
Y2	LIMONIA	DSX1 LED P3 20K TFM MVOLT HS	LED	162	120-277	MOUNT FIXTURE AT TOP OF POLE 22' FROW GRADE
Y3	LIMONIA	DSX1 LED P3 40K BLC MVOLT	LED	162	120-277	MOUNT FIXTURE AT TOP OF POLE 22' FROW GRADE

CONFIRM ALL FINISHES WITH OWNER AND ARCHITECT.
REFER TO LIGHTING FIXTURE SCHEDULE (EXTERIOR) ON SHEET E1.1b FOR ALL OTHER EXTERIOR LIGHT FIXTURE INFORMATION.



Site:
4800 Montgomery Blvd NE
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A

Prepared by: Ken McCracken
Architect

Ken McCracken
Architect
Architect/Engineer/Planner/Designer/Interior Designer

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Project: P4E-V-AV 2021-23 RELEASE

Project Issue Date: 10/04/2021

Project Issue Date: 08/02/2021

Design 30/000 Log: -

Date Issued: -

Sheet Number: -

DRB SUBMITTAL

REVISIONS	
1	11/12/2021 001 NEW REV
2	11/23/2021 011 DRB SUBMITTAL
3	12/27/2021 012 DRB SUBMITTAL
4	01/17/2022 013 DRB SUBMITTAL
5	05/23/2022 014 DRB SUBMITTAL
6	
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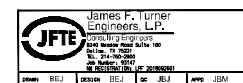
Show File: PHOTOMETRIC SITE PLAN

Date: 05.03.2022

Project Number: P4E21059.0

Drawn By: LLJM

Sheet Number:



E1.1a

SCHEDULE OF EXTERIOR FINISHES


KEY	MATERIAL	MANUFACTURER	FINISH	COLOR/FINISH	DESCRIPTION	KEY	MATERIAL	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
EXTERIOR METALS											
(EM1)	STANDING SEAM ROOF	SEBRIDGE MANUFACTURING COMPANY	TEE LOCK PANEL SYSTEM	KYNAR 500 MATTE BLACK	GALVANIZED STEEL SHEET-W/ KYNAR FINISH (24-GA.) STANDARD COLOR	(EWS)	EXTERIOR WINDOW SYSTEMS	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	
(EM2)	METAL CAP FLASHING	SEBRIDGE MANUFACTURING COMPANY		KYNAR 500 MATTE BLACK	GALVANIZED STEEL SHEET-W/ KYNAR FINISH (24-GA.) STANDARD COLOR	(EWS)	EXTERIOR WINDOW SYSTEMS	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	
(EM3)	POWER COATED STEEL	SEBRIDGE MANUFACTURING COMPANY		CHARCOAL	METAL AGENT FINISH	(EWS)	OPERABLE WINDOW	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	
(EM4)	METAL AGENT FINISH	SEBRIDGE SUPPLIER		DISTRESSED SALVAGED RED	METAL PANEL TO BE APPLIED OVER STUCCO WALL	(EWS)	SPANDREL GLASS WINDOW SYSTEMS	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	
EXTERIOR WALL FINISHES											
(EWF1)	BRICK VENEER	BELDEN	NORMAN STANDARD	MEDIUM RANGE IRONSPOT	1/2" RUNNING BOND. REFER TO DETAIL. MORTAR: SOLIDUM COLORS, INC. 1/8" LIGHT BUFF. BRICK: WEATHER STUCCO JOINT ON EXTERIOR BRICK	(F)	EXTERIOR PAINT	BENJAMIN MOORE	SUPER SPEC (P24)	PAINT TO MATCH WALL MATERIAL - SEMI-GLOSS	TWO COATS REQUIRED - EXTERIOR PIPE AND CONDUIT
(EWF2)	EXTERIOR WALL FINISHES	DRYVIT	SANDPEBBLE "E"	SW 7660 SUMMIT GRAY	APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR BRICK	(F)	EXTERIOR PAINT	BENJAMIN MOORE	SUPER SPEC (P29)	BLACK-LOW LUSTRE	TWO COATS REQUIRED - PATIO STEEL
(EWF3)	CAST STONE	MARCSONE	643-ARCHESTO-GREY		MORTAR: ARGOS MAGNOLIA MASON'S MIX	REFER TO SHEET A4.09 FOR ELEVATIONS AT FRONT ENTRY.					
(EWF4)	BRICK VENEER	SORAL	QUEEN	ALAMO	MORTAR: LA FARGE MORY BUFF. SACK RUB FINISH						
(EWF5)	EXTERIOR WALL FINISHES	DRYVIT	SANDPEBBLE "E"	#430-MONTECAL-PGG	APPLIED OVER PORTLAND CEMENT STUCCO EXTERIOR WALL. APPLIED OVER EPS AT ROOF SCREEN.						
(EWF6)	EXTERIOR WALL FINISHES	DRYVIT	SANDPEBBLE "E"	#436-CHESTER-SHELL	APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS. APPLIED OVER MASONRY AT CORRAL						

KEYNOTES	
1	SEIN, BY OWNER, PROVIDE BLOCKING AS REQ'D (4'-0" x 8'-0"). UNLESS SEPARATE PERMIT.
2	ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHP
3	WALL ART BY OWNER
4	CONTROL JOINT
5	PRE-FABRICATED METAL CANOPY, G.C. TO PERMIT SEPARATELY, 6" WD BLOOMING REQUIRED IN WALL CAVITY.
6	6" STUCCO OR BRICK ACCENT BAND AS SHOWN
7	METAL GUTTER & DOWNSPOUT, G.C. TO PERMIT FOR CONTINUATION
8	ROOF SCUPPER & DOWNSPOUT, OMIT STUCCO BAND IN DOWNSPOUT. EML RE: 7/16/49. CONNECT TO STORM DRAIN SYSTEM. RE: CIVIL
9	CAST STONE BEL
10	4" BOLLARD W/ BLACK PLASTIC SLEEVE. RE: SIG 20, 11/40/21
11	EXTERIOR SPEAKERS - MOUNTED AT 10'-2"
12	WALL MOUNTED FOC. VIEWRY LOCATION WITH FIRE DEPARTMENT
13	METAL OVERFLOW SCUPPER, EM2
14	DRIPPO OUTLET AND SECURITY BOX.
15	CRS METERS & BRICK. PAINT TO MATCH ADJACENT WALL FINISH
16	UTILITY METERS & CONDUIT. PAINT TO MATCH ADJACENT CLADDING MATERIAL
17	PRE-FINISHED METAL PANELS BY OWNER.
18	BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT
19	EXTERIOR LIGHTING. REFER TO ELECTRICAL DWGS.
20	NOT USED
21	EPS ROOF SCREEN TO CONCEAL ROOF TOP EQUIPMENT
22	PARAPET LIGHTING, PROVIDED BY OWNER & INSTALLED BY A/E, FINISH TO MATCH EM2. RE: ELECTRICAL DWGS.
23	STEEL CANOPY STRUCTURE COLUMNS FOR OUTDOOR PATIO. RE: STRUCTURAL.
24	KNOX BOX PER CITY FIRE DEPT. REQUIREMENTS
25	NOT USED
26	ROOF GUARD RAILING, PAINTING P-10. RE: ROOF PLAN
27	SURFACE MOUNTED WALL BRN T.C. URM/MTD @ 52' A.F.F.
28	DRN 4-DXFT KEY STORAGE BOX.


GENERAL NOTES	
1	SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL)
2	CANOPYS AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET P-02, G.C. TO PERMIT CANOPYS AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.
3	CONFIRM OUTDOOR SPEAKER LOCATIONS WITH LT.
4	LOGO SIGN, PAINTED MURAL W/ SIGNAGE VENDOR.

SEALANT NOTES	
1	PROVIDE SEALANT & BACKER ROOFS AT ALL DISSIMILAR MATERIALS.
2	MATCH FRAME COLOR AT ALL DOORS AND WINDOWS, MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS. AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.

LIGHT FIXTURE TYPE		NOTES:	
■	JJ	■	B2 (FAN)
■	GG	■	CC
■	X		
■	R		

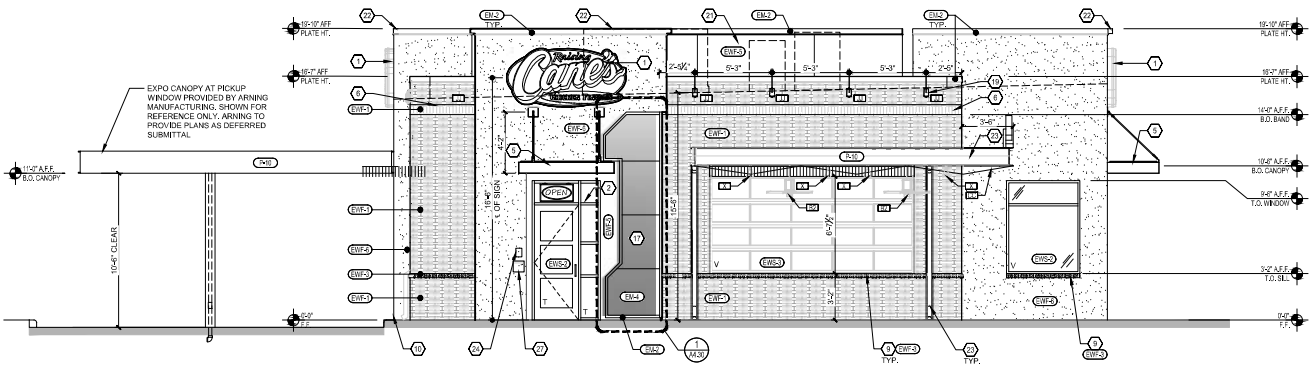


Shop: **4800 Montgomery Blvd NE**
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A
 Prepared by: **KEN MCCracken**
 Ken McCracken, Architect
 1101 Central Expressway South, Suite 100
 Albu. N. 75013
 CONTACT: EVERETT FIELDS
 (405) 874-1144
 EFIELD@RCMDG.COM

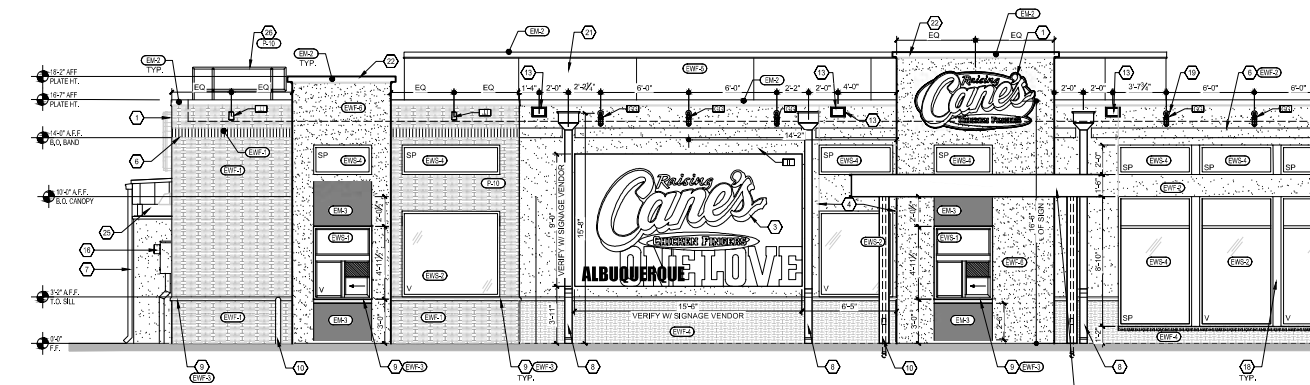


11/30/21
 Project: P4E-V-AV 2021-2.D RELEASED
 Proposal Issue Date: 10.04.2021
 Revision Issue Date: 08.02.2021
 Design Set:
 Date Issued:
 Sub Item Number:
1ST BLDG. SUBMITTAL

SHEET TITLE: **EXTERIOR ELEV.**
 DATE: 11.30.2021
 PROJECT NUMBER: RC852/099.0
 DRAWN BY: LLJ/94
 SHEET NUMBER: **A4.10**



1 | ELEVATION (FRONT ENTRY)
SCALE: 1/4" = 1'-0"



2 | ELEVATION (DRIVE-THRU)
SCALE: 1/4" = 1'-0"

SCHEDULE OF EXTERIOR FINISHES

KEY	MATERIAL	MANUFACTURER	PRODUCT	COLOR/ FINISH	DESCRIPTION	KEY	MATERIAL	MANUFACTURER	PRODUCT	COLOR/ FINISH	DESCRIPTION
EXTERIOR METALS						EXTERIOR WINDOW SYSTEMS					
(EM1)	STANDING SEAM ROOF	BERNARDI MANUFACTURING COMPANY	TITE-LOCK PANEL SYSTEM	KYNAR 500 MATTE BLACK	GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR	(EWS)	EXTERIOR WINDOW SYSTEMS	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE
(EM2)	METAL CAP FLASHING	BERNARDI MANUFACTURING COMPANY		KYNAR 500 MATTE BLACK	GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR	(EWS)	EXTERIOR WINDOW SYSTEMS	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE
(EM3)	POWER COATED STEEL	SEBRIDGE SUPPLY		CHARCOAL	METAL ACCENT PANEL	(EWS)	OPERABLE WINDOW	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE
(EM4)	METAL ACCENT PANELS	SEBRIDGE SUPPLY		DISTRESSED/ SALVAGED RED	METAL PANEL TO BE APPLIED OVER STUCCO WALL	(EWS)	SPANDREL GLASS WINDOW SYSTEMS	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE
* AT ROOF MECHANICAL SCREEN EPS SHALL BE USED IN LIEU OF STUCCO. REFER TO DETAILS.											
EXTERIOR WALL FINISHES						EXTERIOR PAINT					
(EW1)	BRICK VENEER	BELDEN	NORMAN STANDARD	MEDIUM RANGE IRONSPOT	1:2 RUNNING BOND. REFER TO DETAIL. MORTAR: SOLOMAN COLORS, INC. 10X LIGHT BUFF. PROFILE: WEATHERSTUCK JOINT ON EXTERIOR BRICK	(P1)	EXTERIOR PAINT	BENJAMIN MOORE	SUPER SPEC (P24)	PAINT TO MATCH WALL MATERIAL - SEMI-GLOSS	TWO COATS REQUIRED - EXTERIOR PIPE AND CONDUIT
(EW2)	EXTERIOR WALL FINISHES	DRYVIT	SANDPEBBLE "E"	SW 7669 SUMMIT GRAY	APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS.	(P2)	EXTERIOR PAINT	BENJAMIN MOORE	SUPER SPEC (P23)	BLACK - LOW LUSTRE	TWO COATS REQUIRED - PATIO STEEL
(EW3)	CAST STONE	MARCSYONE	6443 - ARCHITECTS GREY		MORTAR: ARGOS MAGNOLIA MASON'S MIX	REFER TO SHEET A4.30 FOR ELEVATIONS AT FRONT ENTRY.					
(EW4)	BRICK VENEER	SORAL	QUEEN	ALAMO	MORTAR: LAFARGE IVORY BUFF. SACK RUB FINISH						
(EW5)	EXTERIOR WALL FINISHES	DRYVIT	SANDPEBBLE "E"	#132 MOUNTAIN FOG	APPLIED OVER PORTLAND CEMENT STUCCO EXTERIOR WALL. APPLIED OVER EPS AT ROOF SCREEN.						
(EW6)	EXTERIOR WALL FINISHES	DRYVIT	SANDPEBBLE "E"	#436 OYSTER SHELL	APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS. APPLIED OVER MASONRY AT CORRAL						

KEYNOTES

- 1 SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D (4'-0" x 8'-0"). INDICATE SEPARATE PERMIT.
- 2 ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHP.
- 3 WALL ART BY OWNER.
- 4 CONTROL JOINT.
- 5 PRE-FABRICATED METAL CANOPY, G.C. TO PERMIT SEPARATELY. 6x WD BLOOMING REQUIRED IN WALL CAVITY.
- 6 METAL GUTTER & DOWNSPOUT SMC. RE: A4.10 FOR CONTINUATION.
- 7 ROOF SCUPPER & DOWNSPOUT. OMIT STUCCO BAND @ DOWNSPOUT EM4. RE: 7/MS.40. CONNECT TO STORM DRAIN SYSTEM. RE: CIVIL.
- 8 CAST STONE SILL.
- 9 4" BOLLARD W/ BLACK PLASTIC SLEEVE. RE: SIA2.20. 11.AD.21.
- 10 EXTERIOR SPEAKERS - MOUNTED AT 10'-2"
- 11 WALL MOUNTED FOC. VERIFY LOCATION WITH FIRE DEPARTMENT.
- 12 METAL OVERFLOW SCUPPER, EM2.
- 13 CARPRO OUTLET AND SECURITY BOX.
- 14 GAS METER & BRICK. PAINT TO MATCH ADJACENT WALL FINISH.
- 15 UTILITY METERS & CONDUIT. PAINT TO MATCH ADJACENT CLADDING MATERIAL.
- 16 PRE-FINISHED METAL PANELS BY OWNER.
- 17 BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT.
- 18 EXTERIOR LIGHTING. REFER TO ELECTRICAL DWGS.
- 19 NOT USED.
- 20 EPS ROOF SCREEN TO CONCEAL ROOF TOP EQUIPMENT.
- 21 PARAPET LIGHTING. PROVIDED BY OWNER & INSTALLED BY AGI, FINISH TO MATCH EM2. RE: ELECTRICAL DWGS.
- 22 STEEL CANOPY STRUCTURE COLUMNS FOR OUTDOOR PATIO. RE: STRUCTURAL.
- 23 KNOX BOX PER CITY FIRE DEPT. REQUIREMENTS.
- 24 NOT USED.
- 25 ROOF JOINT RAILING. PAINTING P-10. RE: ROOF PLAN.
- 26 SURFACE MOUNTED WALL BRN. T.O. USR.MTD @ 5'-2" AFF.
- 27 DETA 4-DXIT KEY STORAGE BOX.

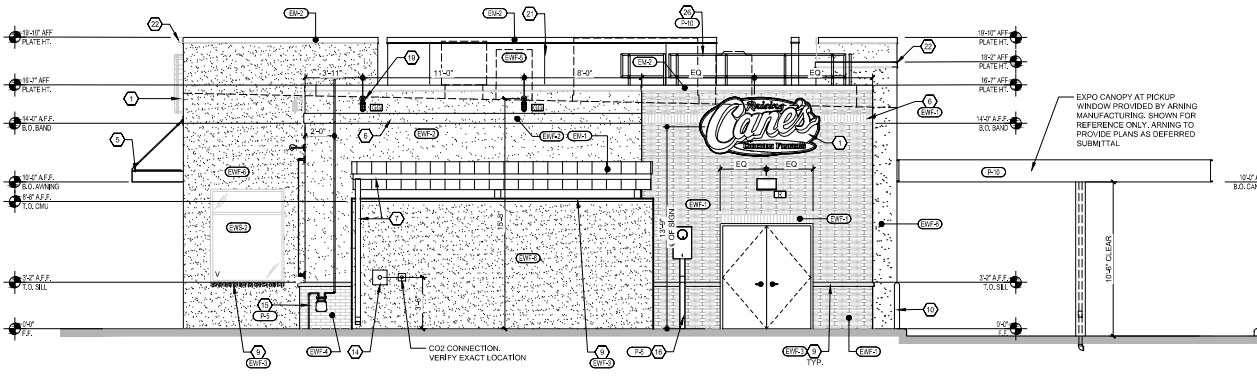
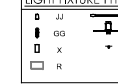
GENERAL NOTES

- 1 SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).
- 2 CANOPIES AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET P-02. G.C. TO PERMIT CANOPIES AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.
- 3 CONFIRM OUTDOOR SPEAKER LOCATIONS WITH LT.
- 4 LOGO SIGN. PAINTED MURAL W/ SIGNAGE VENDOR.

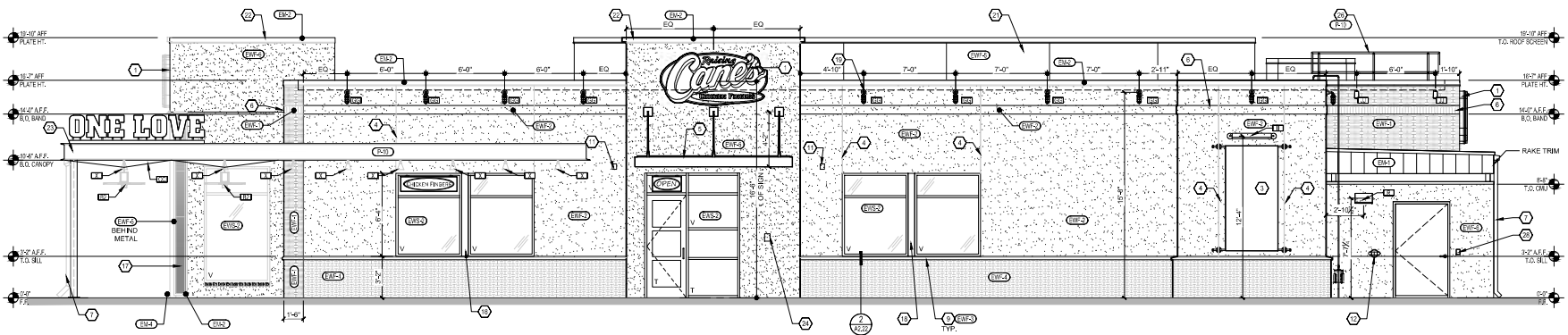
SEALANT NOTES

- 1 PROVIDE SEALANT & BAKER ROOS AT ALL DISSIMILAR MATERIALS.
- 2 MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS. AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS. MATCH DARKER MATERIAL.

LIGHT FIXTURE TYPE



1 | ELEVATION (REAR)
SCALE: 1/4" = 1'-0"



2 | ELEVATION (SIDE ENTRY)
SCALE: 1/4" = 1'-0"



Shop: **4800 Montgomery Blvd NE**
ALBUQUERQUE, NM 87112
Restaurant #RCB52
P4E-V-AV SCHEME A

Ken McCracken, Architect

1101 Central Expressway South, Suite 100
Albuquerque, NM 87103
CONTACT: EVERETT BELDS
409.174.1444
EFILED@P4E-VAV.COM

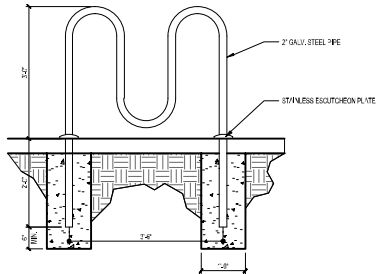


11/30/21
Project: P4E-V-AV 2021-2.D RELEASED
Permit Issue Date: 10.04.2021
Design Set Item Updates: -
Date Issued: -
SubItem Number: -

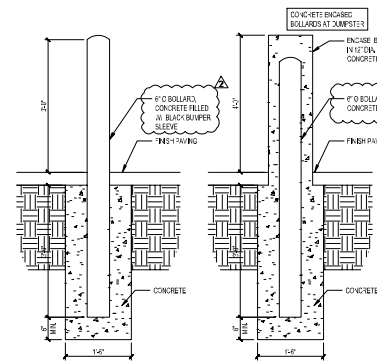
1ST BLDG. SUBMITTAL

REV	DATE	DESCRIPTION
1	11/30/2021	003 REVIEW SET
2	11/30/2021	1ST BLDG SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		

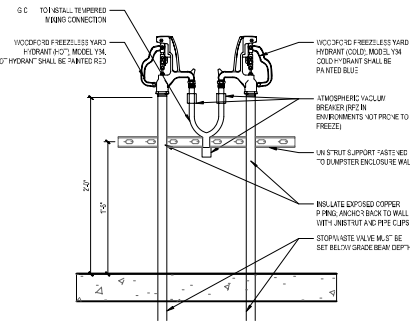
Sheet Title: **EXTERIOR ELEV.**
Date: 11.30.2021
Project Number: RAC21059.0
Drawn By: LLJ/A
Sheet Number: **A4.20**



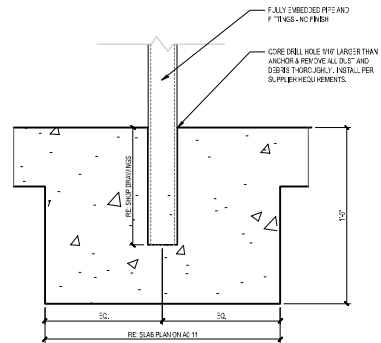
1 | BIKE RACK
3/4" x 1/4"



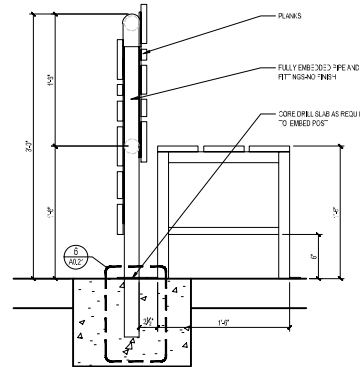
02 | PIPE BOLLARD
3/4" x 1/4"



3 | POST HYDRANT
1/2" x 1/2"

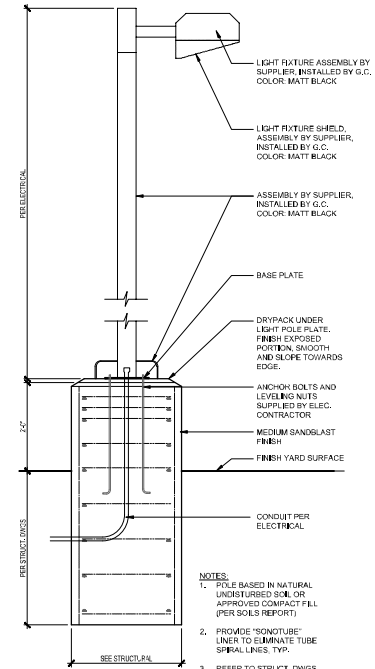


6 | PATIO POST DETAIL
3/4" x 1/4"



7 | EMBEDDED PATIO FURNITURE
3/4" x 1/4"

4 | NOT USED



12 | SITE LIGHT
3/4" x 1/4"

5 | NOT USED
1" x 1/2"



Restaurant Support Office
4800 Montgomery Blvd. NE, ALBUQUERQUE, NM 87112
Tel: 972-769-3100 Fax: 972-769-3101

4800 Montgomery Blvd NE
ALBUQUERQUE, NM 87112
Restaurant #RC852
P4E-V-AV SCHEME A

Ken McCracken,
Architect

1101 Central Expressway South
Suite 100
Albuquerque, NM 87105
CONTACT: EVERETT FIELDS
1407 6th St NE
ALBUQUERQUE, NM 87106



Project:	P4E-V-AV 2021-20 RELEASE
Project Issue Date:	10.21.2021
Project Issue Title:	08.22.2021
Project File Path:	
Date Issued:	8/18/2021

2ND BLDG. RESUBMITTAL

REV.	DATE	DESCRIPTION
1	11.11.2021	80% REVISION SET
2	1.30.2024	5" REVISION SET
3	2.27.2024	5" REVISION SET
4	3.11.2022	2ND BLDG. RESUBMITTAL
5		
6		
7		
8		
9		

Date:	01.17.2022
Project Number:	4502-23910
Drawn By:	L.L.M.
Sheet Number:	

A0.21

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Restaurant # RC852

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract B-1 of Vista Grande Addition Plat

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	205'	Concrete Curb & Gutter	East side of Montgomery Blvd NE	East Property Line	204' West of East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	203'	Concrete Valley Gutter	East side of Montgomery Blvd NE	East Property Line	204' West of East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	1,192 SF	Asphalt Pavement	East side of Montgomery Blvd NE	East Property Line	160' West of East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	1,214 SF	Concrete Sidewalk	East side of Montgomery Blvd NE	East Property Line	204' West of East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	62'	6" Sanitary Sewer Pipe	East side of Montgomery Blvd NE	North Property Line	62' North of North Property Line	/	/	/
<input type="text"/>	<input type="text"/>	17'	15" RCP Storm Drain Pipe	East side of Montgomery Blvd NE	North Property Line	17' North of North Property Line	/	/	/
<input type="text"/>	<input type="text"/>	22'	Gas Pipe	East side of Montgomery Blvd NE	North Property Line	22' North of North Property Line	/	/	/
<input type="text"/>	<input type="text"/>	1	Relocation of Light Pole	East side of Montgomery Blvd NE	Behind Existing Property Line	Behind Future Property Line	/	/	/
<input type="text"/>	<input type="text"/>	2	Relocation of Electric Pullbox	East side of Montgomery Blvd NE	Existing Sidewalk	Future Sidewalk	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	76'	Removal of Valley Gutter	East side of Montgomery Blvd NE	East Property Line	204' West of East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	205'	Removal of Curb & Gutter	East side of Montgomery Blvd NE	East Property Line	204' West of East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	244 SF	Removal of Asphalt Pavement	East side of Montgomery Blvd NE	East Property Line	40' West of East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	1,215 SF	Removal of Concrete Sidewalk	East side of Montgomery Blvd NE	East Property Line	204' West of East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	178 SF	Removal and Replacement of Asphalt Pavement for Utility Trenching	East side of Montgomery Blvd NE	19' North of North Property Line	64' North of North Property Line	/	/	/
<input type="text"/>	<input type="text"/>	101 SF	Removal and Replacement of Asphalt Pavement for Utility Trenching	East side of Montgomery Blvd NE	North Property Line	19' North of North Property Line	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 _____

2 _____

3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

NAME (print)

FIRM

SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION - date

AMAFCA - date

CODE ENFORCEMENT - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER