



## **Development Facilitation Team (DFT) – Review Comments**

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**Reviewer: David G. Gutierrez, P.E. | Phone: 505-289-3381 | [dggutierrez@abcwua.org](mailto:dggutierrez@abcwua.org)**

**DRB Project No: PR-2021-005482 Date: 04-12-2023 Agenda Item: 5 Zone Atlas Page: M-15**

**Legal Description: Lot C, Lovelace Heights Addition**

**Location: 2040 Gibson Blvd between YALE BLVD and MILES RD**

### **Application For: SD-2023-00083 – PRELIMINARY/FINAL PLAT (DHO) Sketch Plat 2-1-23 (DFT)**

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1. Previous Sketch Plat Comments
  - a. Availability Statement 210509 provides conditions for service for a 7-lot subdivision.
    - i. Please confirm that the 7 lot subdivision is still the proposed layout and this split of lot C will not modify this.
    - ii. This statement does expire as of February 4, 2023 and if it is desired that these conditions remain, please request a new statement referencing this one so we can provide a new one to renew the conditions.
  - b. Once development plans move forward, please provide this to Utility Development so we can ensure the site meets the requirements of the availability Statement and fire flows can be met.
  - c. If the site deviates from the original, an updated statement will need to be in place for each site as needed.
2. Please clarify these have been addressed and the existing infrastructure list for the larger subdivision is affective for this subdivision. If so, please reference the prior plat and recording information of the existing IIA (provide this if it exists).
3. The requirements from the prior Infrastructure List will cover this development but must be constructed and/or financial guaranteed prior to final sign off. If the IIA exists as mentioned above, please provide. (Check with City if IIA will be tied to this plat as well or is applicable)

**Comment:** (Provide written response explaining how comments were addressed)

DEVELOPMENT HEARING OFFICER

TRANSPORTATION DEVELOPMENT

DRB Project Number: 2021-005482  
2151 Yale Blvd. SE

AGENDA ITEM NO: 5

SUBJECT: Preliminary/Final Plat

ENGINEERING COMMENTS:

1. Please provide a cross-lot access easement for all lots on the plat.
2. An approved TCL will be required prior to site plan.

. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Ernest Armijo, P.E.  
Transportation Development  
505-924-3991 or [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

DATE: April 12, 2023

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ACTION:

APPROVED \_\_; DENIED \_\_; DEFERRED \_\_; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: \_\_\_\_\_ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)

**DEVELOPMENT HEARING OFFICER - HYDROLOGY SECTION**  
 Renée Brissette, PE, Senior Engineer | 505-924-3995 [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)

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DRB Project Number: 2020-005482 Hearing Date: 04-12-2023  
 Project: Lots C-1 & C-2, Lovelace Heights Addition Agenda Item No: 5

<input checked="" type="checkbox"/> Minor Preliminary / Final Plat	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Temp Sidewalk Deferral	<input type="checkbox"/> Sidewalk Waiver/Variance	<input type="checkbox"/> Bulk Land Plat
<input type="checkbox"/> DPM Variance	<input type="checkbox"/> Vacation of Public Easement	<input type="checkbox"/> Vacation of Public Right of Way

**ENGINEERING COMMENTS:**

- Hydrology has an approved Revised Master Drainage Plan (M15D021) with engineer's stamp 02/13/2023.
- Hydrology has no objection to the platting action.
- Comment – Hydrology will need to approve a Grading and Drainage Plan prior to Building Permit if one of these conditions is met. (500 cy of grading, 1,000 sf of proposed building, or 10,000 sf of proposed paving).

APPROVED  
 DENIED

DELEGATED TO:  TRANS  HYD  WUA  PRKS  PLNG  
 Delegated For: \_\_\_\_\_  
 SIGNED:  I.L.  SPSP  SPBP  FINAL PLAT  
 DEFERRED TO \_\_\_\_\_

# DEVELOPMENT HEARING OFFICER

## Code Enforcement Comments

*Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.*

*Jeff Palmer-Code Enforcement Supervisor  
Planning Department  
[jppalmer@cabq.gov](mailto:jppalmer@cabq.gov)*

**DATE:** 4/12/2023

### **AGENDA ITEM NO: 5**

### **DHO PROJECT NUMBER:**

**PR-2021-005482**

**SD-2023-00083 – PRELIMINARY/FINAL PLAT**

**SKETCH PLAT 2-1-23 (DFT)**

**IDO – 2021**

### **PROJECT NAME:**

**GALLOWAY & COMPANY, INC.** agent for **I25 & GIBSON LLC** requests the aforementioned action(s) for all or a portion of: **LOT C, LOVELACE HEIGHTS ADDITION** zoned **NR-C**, located at **2040 GIBSON BLVD** between **YALE BLVD** and **MILES RD** containing approximately **1.18** acre(s). **(M-15)**

**PROPERTY OWNERS:** I25 & GIBSON LLC

**REQUEST:** SUBDIVIDE EXISTING PLATTED LOT C INTO 2 LOTS

### **COMMENTS:**

1. Code Enforcement has no comments and no objections.



## DEVELOPMENT HEARING OFFICER

### Planning - Case Comments

**HEARING DATE:** 4/12/23 -- **AGENDA ITEM:** #5

**Project Number:** PR-2021-005482

**Application Number:** PS-2023-000

**Project Name:** Gibson and Yale

**Request:**

*Preliminary/Final Plat*

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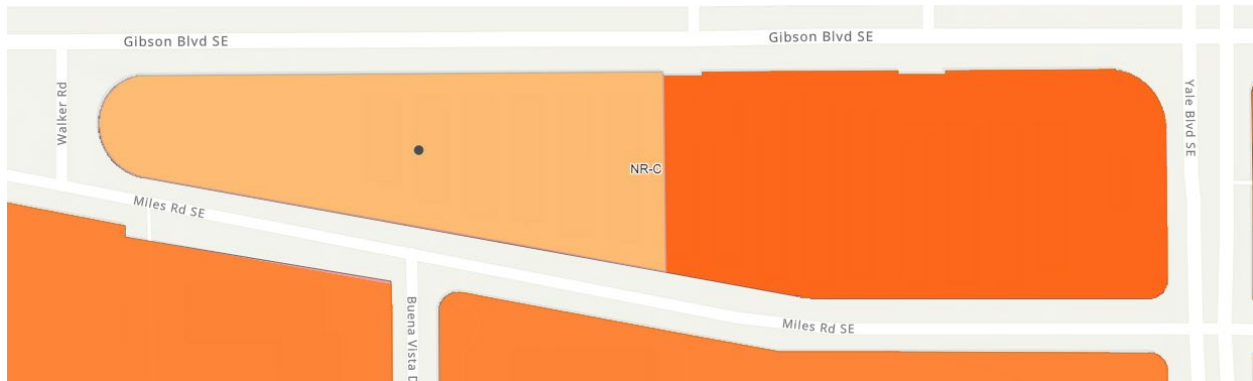
*\*These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

**COMMENTS:**

#### 1. Items Needing to be Completed or Corrected

- Clarify if any development in progress is affected by this replat in terms of parking areas or landscape areas? Each parcel should meet parking requirements for the intended use.
- Clarify if re-plat is affecting the IL-Infrastructure List, including but not limited to sidewalks?
  - DPM Table 7.2.29 regarding sidewalk/landscaping requirements:
  - Arterial street requirement is 6ft sidewalk and 5ft-6ft landscape buffer.
  - Local street requirement is 5ft sidewalk and 4ft-6ft landscape buffer.
  - Applicant has an approved infrastructure list detailing sidewalk widths.
  - **For any new sidewalks, the landscape buffer should be between the curb and the sidewalk. If the existing sidewalk is being retained and is built at the curb, then the site plan will need to include landscape buffer— including street trees-- on the inside of the sidewalk.**
- Clarify the location of lot lines for new Tracts C vis a vis the Area of Change/Consistency line. Will the re-plat affect how development can meet the screen/buffering requirements of 5-6(E)(5) Area of Change Next to Area of Consistency?

*\*(See additional comments on next page)*



- Obtain DXF approval from AGIS.
- Add project PR 2021-005482 and application number SD 2023-00083 to the Plat.

## 2. Standard Comments and Items in Compliance

- The plat has signatures from the surveyor, property owner(s), the City Surveyor, the utility companies, and AMAFCA.
- All Plan sheets are sealed and signed by a design professional licensed in the State of New Mexico. \*Future Landscape Plans must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.

## 3. Future Development Guidance

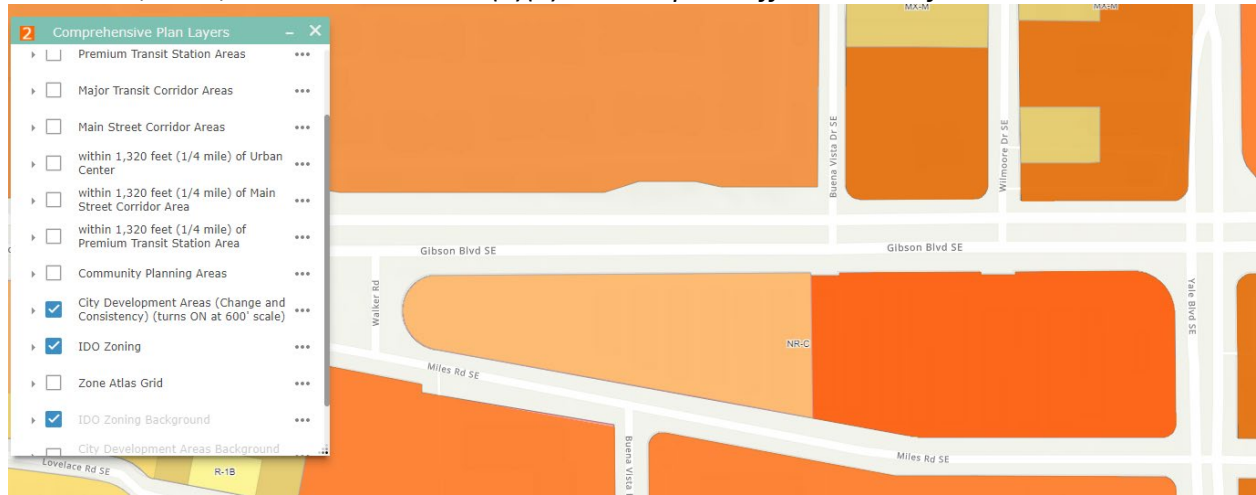
- Future development must meet all applicable standards and provisions of IDO (NR-C) and the DPM. **\*Plans should demonstrate how standards are being met.**

\*Please reference the following development standards from the IDO.

Subject to change pending formal submittal and/or proposed development types/uses.

- **Tables I, II, III – Provisions for ABC Comp Plan Centers & Corridors, and mapped areas.**
- (APO) - Airport Protection Overlay Zone (3-3) Air Space Protection Sub-area.
- **4-2 Allowed Uses, table 4-2-1.** \*Reference Use table and Use Specific Standards for proposed development standards, requirements, and restrictions.  
*Restaurant, Drive-Through, Vehicle repair, Vehicle Fueling Station, Etc.*
- **5-1 Dimension Standards for MX-L.** 5-1-G Exceptions and Encroachments.  
\*Plans should include relevant measurements for setback, height, elevation, Etc.
- **5-3 Access & Connectivity requirements.**  
\*Clarify if access is affected by replat.

- **5-5 Parking & Loading requirements, Table 5-5-1.**  
\*Plan should demonstrate that all required parking standards. Include calculations.  
Each lot and use must meeting parking requirements.
- **5-6 Landscaping, Buffering, and Screening standards and requirements.**  
\*Be aware of several sections related to new development –  
5-6-C General Landscaping, 5-6-D Required Street Trees, 5-6-F Parking Lot Landscaping, 5-6-G Equipment/Support areas. 5-6-E Edge buffer requirements,  
**5-6(E)(5) Area of Change Next to Area of Consistency- Area of Consistency in Mixed-use, NR-C, or NR-PO 14-16-5-6(E)(4) Landscaped buffer area ≥25ft.**



\*Provide landscaping plan. Include calculations and buffering/screening detail. Clarify how each all landscaping requirements are being met.

- **5-7 Walls/Fences, table 5-7-1.** \*Development requires separate permitting.
- **5-8 for Outdoor Lighting requirements.**
- **5-12 for Signage requirements and restrictions.** Per Residential zone districts.
- **Section 6-1, table 6-1-1 for public notice requirements.**
- **Referrals to Commenting Agencies** for Site Plans (6-4)-Kirtland AFB Military Influence Area and Albuquerque Int'l Sunport.
- **Vacations per 6-6-M.** \*May require additional approvals.
- **7-1 Development, dwelling and use definitions.**



*Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.*

FROM: Robert Webb/ Jolene Wolfley  
Planning Department

DATE: 4/10/23



## DEVELOPMENT HEARING OFFICER (DHO)

### Parks and Recreation Department

<https://www.cabq.gov/parksandrecreation>

#### **PR-2021-005482**

SD-2023-00083 – PRELIMINARY/FINAL PLAT

SKETCH PLAT 2-1-23 (DFT)

IDO – 2021

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PROPERTY OWNERS: I25 & GIBSON LLC

REQUEST: SUBDIVIDE EXISTING PLATTED LOT C INTO 2 LOTS

#### **Comments:**

##### 02-01-2023

Gibson Blvd SE and Yale Blvd SE are of classifications requiring street trees if new development is applicable pursuant to IDO Section 5-6(B).

Sections of Gibson have a multi-purpose trail on the south side. PRD met with the applicant previously and it is understood a 10-ft multi-purpose trail will be provided on the south side of Gibson Blvd on the subject property and is listed on the Infrastructure List for the most recent plat.

##### 04-12-2023

When the multi-purpose trail is designed, please reference the City of Albuquerque's Development Process Manual (DPM), Chapter 7, Section 3 for Trail Design standards. No objections to this request.

Comments provided by Whitney Phelan, Senior Planner, CABQ Parks & Recreation Department. Please contact via [wphelan@cabq.gov](mailto:wphelan@cabq.gov) or 505-768-5378 with questions or concerns.