



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

**(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2021-005482

Application No. SD-2022-00036

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: March 30, 2022 HEARING DATE OF DEFERRAL: April 6, 2022

SUBMITTAL

DESCRIPTION: Supplemental submittal addressing referral agency comments. Please refer to

the enclosed comment response letter for more detail.

CONTACT NAME: Aaron McLean

TELEPHONE: 303-962-8516 EMAIL: aaronmclean@gallowayus.com



6162 S. Willow Drive, Suite 320  
Greenwood Village, CO 80111  
303.770.8884 • [GallowayUS.com](http://GallowayUS.com)

**SENT VIA EMAIL**

March 31, 2022

Jolene Wolfley, Chair  
Development Review Board  
City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**RE: PR-2021-005482: 2121 Yale Boulevard SE  
Design Review Board (DRB) – Supplemental Submittal Package**

Dear Ms. Wolfley,

Thank you for the referral comments received on the subject project, we appreciate the thoroughness and responsiveness of staff in working through the issues. We have reviewed the comments and per discussion with staff during our DRB meeting on March 30, 2022; along with subsequent coordination, we respectively provide the responses below in conjunction with the enclosed supporting documents.

**Planning Department:**

- Utility and AMAFCA signatures will be required for the Final Plat and must be obtained and included with the Final Plat application submittal prior to acceptance of the Final Plat and placement on a DRB agenda.  
**Galloway Response: Noted, thank you.**
- DXF File approval from AGIS will be required for the Final Plat and must be obtained and included with the Final Plat application submittal prior to acceptance of the Final Plat and placement on a DRB agenda.  
**Galloway Response: Noted, thank you.**
- Final Plat is required within one year of Preliminary Plat approval.  
**Galloway Response: Noted, thank you.**

A recorded IIA will be required with the Final Plat, and must be obtained and included with the Final Plat application submittal prior to the acceptance of the Final Plat and placement on a DRB agenda.

**Galloway Response: Noted, thank you.**

- The applicant appears to have met the requirements for notice per IDO Table 6-1-1.  
**Galloway Response: Noted, thank you.**
- Future development must meet all applicable standards and provisions of the IDO, the DPM, and other adopted City regulations.  
**Galloway Response: Noted, thank you.**
- All Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico. Future Landscape Plans must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.  
**Galloway Response: Noted, thank you.**



- The project and application numbers must be added to Plan sheets, prior to final sign-off from Planning.  
**Galloway Response: Noted, thank you.**
- Future site plans will need to be referred to that following Commenting Agencies (6-4)—Kirtland AFB Military Influence Area  
**Galloway Response: Noted, thank you.**
- Future development must comply with the Airport Protection Overlay Zone & (what sub area?) sub-area standards of the IDO.  
**Galloway Response: Noted, thank you.**

**Transportation Engineering Comments:**

1. The Traffic Impact Study for this development has been approved on March 15, 2022.  
**Galloway Response: Noted, thank you.**
2. Provide cross-sections for all roads surrounding the site along with the application. These shall include the newly proposed lanes, bicycle facilities, and sidewalk.  
**Galloway Response: Please refer to the enclosed exhibit(s).**
3. Within application, please explain how the light poles are to be accounted for? (A four-foot pedestrian path is required around all light poles and other obstructions.)  
**Galloway Response: Please refer to the enclosed exhibit(s).**
4. For all turn lanes shown on the infrastructure list, provide length of each within item description for further clarification. (This shall match requirements for the proposed Traffic Impact Study.)  
**Galloway Response: Please refer to the enclosed updated Infrastructure List.**
5. Please elaborate or provide an exhibit on the proposed crosswalk island shown on the infrastructure list.  
**Galloway Response: Please refer to the enclosed exhibit(s).**

**Hydrology Comments:**

- Hydrology has an approved Conceptual Grading and Drainage (M15D021) with approval date of 1/6/22.  
**Galloway Response: Noted, thank you.**
- Please provide a cross lot drainage easements on the plat stating beneficiaries and maintenance responsibilities.  
**Galloway Response: Please refer to Note #8 of the Preliminary Plat document.**

**ABCWUA Comments:**

1. Availability Statement #210509R has been issued and sets the criteria for service. Public improvements are required.  
**Galloway Response: Noted, thank you.**
2. This project is within the adopted service area.  
**Galloway Response: Noted, thank you.**
3. Pro rata is not owed for this property.  
**Galloway Response: Noted, thank you.**

4. Infrastructure List:
  - a. Please revise the list to add additional line items for the sewer main in Buena Vista, Miles Road, and onsite. There should be 3 sewer items total.  
**Galloway Response: Please refer to the enclosed updated Infrastructure List.**
5. Plat:
  - a. Overall no objections.
  - b. Please ensure the sewer easement matches the work order alignment.  
**Galloway Response: Noted, thank you.**
6. Easements:
  - a. Please provide the depth of the sewer main onsite so we may review to determine if additional easement is necessary to maintain the pipe beyond the 20' standard width.  
**Galloway Response: The lowest depth for the on-site sanitary sewer design is approximately 11.5'.**
  - b. Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20' is required for a single utility and 25' for water and sewer both within the same easement. Easements for standard sized water meters need to be 5'x5' and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35'x35' easement is required. Actual easement widths may vary depending on the depth of the lines to be installed.  
**Galloway Response: Noted, thank you.**

**PNM Comments:**

1. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.  
**Galloway Response: Noted, thank you.**
2. Any existing and/or new PNM easements and facilities need to be reflected on the resulting Plat and any subsequent, associated Site Plan.  
**Galloway Response: Noted, thank you.**
3. PNM has existing facilities and/or easements around the entire perimeter of and within the site, including along Gibson Blvd and crossing the site in-line with the Buena Vista and Wilmoore Drives' alignments.  
**Galloway Response: Noted, thank you.**
4. Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM.  
**Galloway Response: Noted, thank you.**
5. Any PNM facilities located on this site require easements that reflect their location(s) and status.  
**Galloway Response: Noted, thank you.**

**Middle Rio Grande Conservancy District Comments:**

- This property is outside the MRGCD's jurisdiction. Please remove the signature line and approval note from page 1.  
**Galloway Response: Noted, thank you.**

PR-2021-005482  
2121 Yale Blvd SE  
3/31/2022

**Albuquerque Public Schools Comments:**

- No comments

**New Mexico Department of Transportation Comments:**

- No comments

**MRMPO Comments:**

- No adverse comments

Sincerely,

**GALLOWAY**



Aaron McLean  
Development Services Project Manager  
[AaronMcLean@GallowayUS.com](mailto:AaronMcLean@GallowayUS.com)  
303-962-8516

CC: I25 & Gibson, LLC  
Wes Butero, Chief Development Officer

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Plat of Lots A Thru F Lovelace Hieghts Addition**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**That certain parcel of land situated within Section 33, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising All of Tracts "B-1" and "C-1" of LOVELACE HEIGHTS ADDITION, being a replat of Lovelace Heights Addition and Tract 1-A, of Newport Industrial Parl West - Unit 2, Albuquerque, New Mexico, as the same are shown and designated on said Replat, filed in the office of the County Clerk of Bernalillo County, New Mexico on August 30, 1985 in Volume C28, folio 44 and All of Track "A-1A" of Lovelace Heights Addition, being a replat of Tract A-1 of said Addition, as the same is shown and designated on said Replat, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 1987 in Volume C33, folio 29.**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
643186		12' Wide	130' Eastern Right Turn Decel Lane w/ 100' Transition	East Bound Gibson Boulevard	Buena vista Drive	Wilmoore Drive	/	/	/
643186		12' Wide	115' Western Right Turn Decel Lane w/ 100' Transition	East Bound Gibson Boulevard	Walker Dr	Oniste Private Drive	/	/	/
643186		10' Wide	Multi-Use Pedestrian Trail	East Bound Gibson Boulevard	Walker Dr	Yale Boulevard	/	/	/
643186			Sidewalk Culvert (x9)	East Bound Gibson Boulevard	Walker Dr	Yale Boulevard	/	/	/
643186			Curb & Gutter w/ detached 6' Sidewalk	Miles Road	Walker Drive	Yale Boulevard	/	/	/
643186			Curb & Gutter w/ detached 6' Sidewalk	South Bound Yale Boulevard	Gibson Boulevard	Miles Road	/	/	/
643186			Replace Existing Concrete Valley Gutter	South Bound Yale Blvd at Miles Rd			/	/	/
643186		12' Wide	150' Left Turn Lane w/ 100' Transition (sized to fit w/ southbound left turn lane)	North Bound Yale Boulevard	Renard Place	Miles Road	/	/	/
643186			Raised Pedestrian Crosswalk Island	SEC Gibson Blvd & Yale Blvd			/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
643186		8" PVC	Sanitary Sewer Main	Buena Vista Drive	Renard Place	Miles Road	/	/	/
643186		8" PVC	Sanitary Sewer Main	Miles Road	Buena Vista Drive	On-site Private Drive	/	/	/
643186		8" PVC	Sanitary Sewer Main	On-site Private Drives	Lot A	Lot F	/	/	/
643186		6' Wide	Attached Sidewalk	Walker Drive	Miles Road	Gibson Boulevard	/	/	/
643186			Refresh Pavement Markings & Striping	East Bound Gibson Boulevard	Walker Drive	Yale Boulevard	/	/	/
643186			Refresh Pavement Markings & Striping	Southbound Approach Yale Blvd at Gibson Blvd			/	/	/
643186			Refresh Pavement Markings & Striping	Southbound Departure Yale Boulevard	Gibson Boulevard	Miles Road	/	/	/
643186			Refresh Pavement Markings & Striping	Miles Road	Walker Drive	Yale Boulevard	/	/	/
643186			Traffic Sign Relocation/Replacement (as necessary)	All R.O.W Frontages			/	/	/
643186			Convert Existing Thru-Lane to Right- Turn Lane w/ associated striping (290')	Southbound Yale Boulevard	Gibson Boulevard	Miles Road	/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature      Date		City User Dept. Signature      Date	

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_  
\_\_\_\_\_
- 2 \_\_\_\_\_  
\_\_\_\_\_
- 3 \_\_\_\_\_  
\_\_\_\_\_

**AGENT / OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

**Aaron Mclean**  
NAME (print)

**Galloway & Company, Inc**  
FIRM

*Aaron Mclean*      3/31/2022  
SIGNATURE - date

\_\_\_\_\_ DRB CHAIR - date

\_\_\_\_\_ TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_ UTILITY DEVELOPMENT - date

\_\_\_\_\_ CITY ENGINEER - date

\_\_\_\_\_ PARKS & RECREATION - date

\_\_\_\_\_ AMAFCA - date

\_\_\_\_\_ CODE ENFORCEMENT - date

\_\_\_\_\_ - date

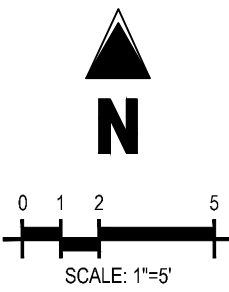
**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER





GIBSON BOULEVARD



EXISTING CURB AND GUTTER TO REMAIN

R1'

EXISTING CURB TO REMAIN

R35'

PROPOSED CONCRETE ISLAND

PROPOSED CURB CHASE TO MATCH EXISTING GUTTER WIDTH

1.83'

R37'

EXISTING CURB RAMP TO REMAIN

R3'

R2'

PROPOSED CURB CHASE TO MATCH EXISTING GUTTER WIDTH

R3'

R2'

R35'

1.5'

PROPOSED CONCRETE ISLAND

R37'

R3'

1.83'

R2'

R2'

10'

11'

11'

YALE BOULEVARD

EXISTING INLET TO REMAIN

EXISTING CURB AND GUTTER TO REMAIN

#4 REBAR 18" O.C. EACH WAY

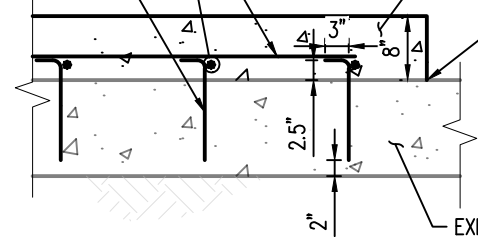
#6 EPOXY COATED L-BARS 18" O.C. EACH WAY

PROPOSED CONCRETE ISLAND, MONOLITHICALLY POURED

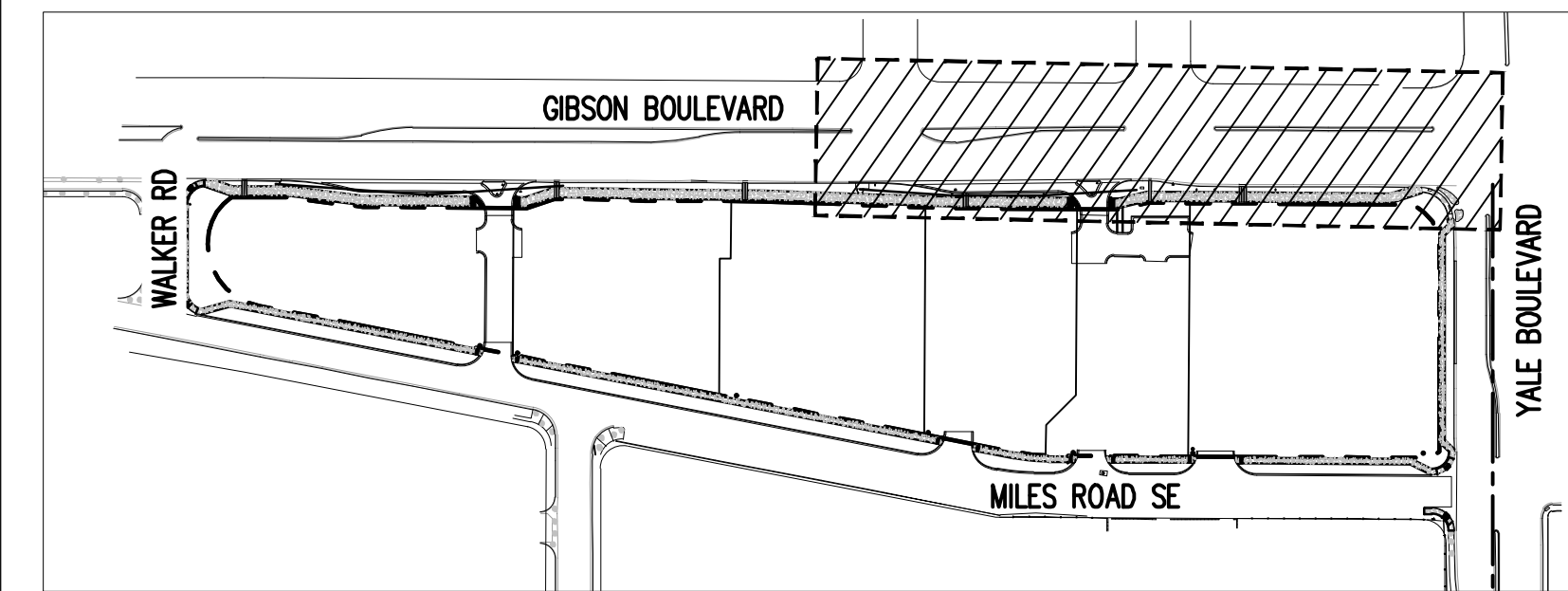
JOINT SEALANT

EXISTING CONCRETE PAVEMENT

PEDESTRIAN ISLAND CONNECTION TO EXISTING PAVEMENT  
NOT TO SCALE







**SITE LEGEND**  
SCALE: 1" = 200'

**ROADWAY NOTES**

1. ALL RADII ARE AT FLOWLINE UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED.
3. ADD 5100 TO ALL 2-DIGIT SPOT ELEVATIONS.

EXISTING CONDITIONS:  
THE POSTED SPEED LIMIT ON GIBSON BLVD IS 45 MPH  
THE DESIGN SPEED ON GIBSON BLVD IS 45 MPH

SEE DRY UTILITY PLANS (SHEETS C4.0 & 4.1) FOR UTILITY  
POLES TO BE RELOCATED. ALL OTHERS SHALL BE  
PROTECTED IN PLACE

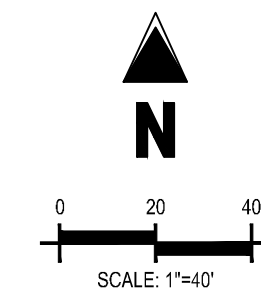
SEE GENERAL NOTES (SHEET C0.1) FOR STRIPING AND  
SIGNAGE NOTES

**GRADING LEGEND**

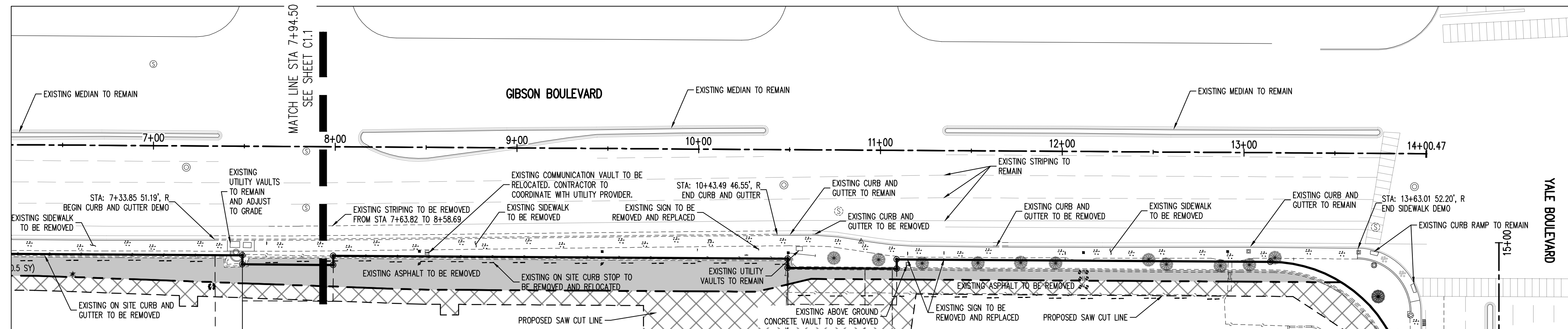
- 5460 --- EXISTING MAJOR CONTOUR
- 52 --- EXISTING MINOR CONTOUR
- 65 --- PROPOSED MAJOR CONTOUR
- 66 --- PROPOSED MINOR CONTOUR
- 15.00 --- PROPOSED SPOT ELEVATION
- TC --- PROPOSED TOP OF CURB ELEVATION
- FL --- PROPOSED FLOWLINE ELEVATION
- EOC --- EDGE OF CONCRETE
- EOA --- EDGE OF ASPHALT
- ME --- MATCH EXISTING

**SITE LEGEND**

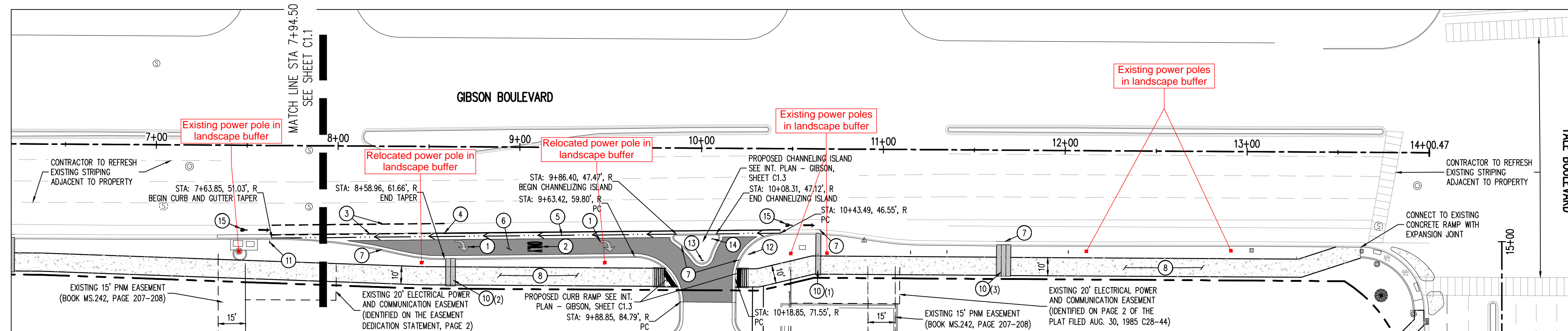
- EXISTING PROPERTY BOUNDARY LINE
- PROPOSED PROPERTY BOUNDARY LINE
- EXISTING EASEMENT
- PROPOSED SAWCUT LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB
- EXISTING CURB TO BE REMOVED
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING CONCRETE SIDEWALK TO BE REMOVED
- PROPOSED CONCRETE SIDEWALK
- EXISTING ON SITE ASPHALT PAVEMENT TO BE REMOVED
- EXISTING ROW ASPHALT PAVEMENT TO BE REMOVED
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- ⊙ --- EXISTING SANITARY SEWER MANHOLE TO REMAIN
- ⊙ --- EXISTING STORM SEWER MANHOLE TO REMAIN
- ⊙ --- EXISTING UTILITY POLE TO REMAIN
- ⊙ --- EXISTING LIGHT POLE TO BE REMOVED
- ⊙ --- EXISTING LIGHT POLE TO REMAIN
- ⊙ --- EXISTING TREE TO BE REMOVED
- ⊙ --- EXISTING TREE TO REMAIN
- ⊙ --- EXISTING FIRE HYDRANT
- ⊙ --- PROPOSED FIRE HYDRANT
- ⊙ --- PROPOSED MANHOLE COVER



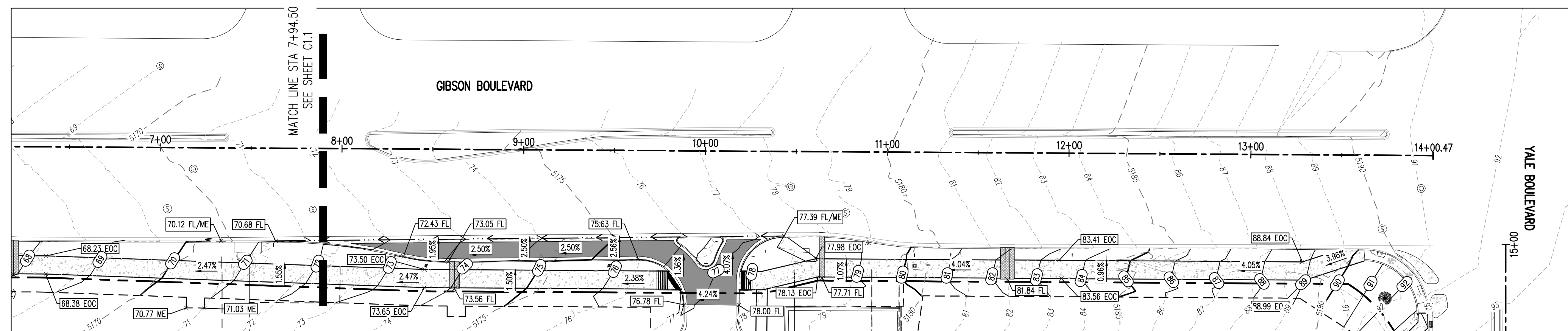
**Galloway**  
CONSULTANTS  
6162 S. Willow Drive, Suite 320  
Greenwood Village, CO 80111  
303.770.8884  
GallowayUS.com



**GIBSON BOULEVARD SE: EXISTING CONDITION AND DEMOLITION PLAN**  
SCALE: 1"=40'



**GIBSON BOULEVARD SE: HORIZONTAL CONTROL, SIGNAGE, AND STRIPING PLAN**  
SCALE: 1"=40'



**GIBSON BOULEVARD SE: GRADING PLAN**  
SCALE: 1"=40'

**ROADWAY SCHEDULE**

1. PROPOSED RETROREFLECTIVE "RIGHT" ARROW PER CITY OF ALBUQUERQUE DWG. NO. 2600-105
2. PROPOSED RETROREFLECTIVE "ONLY" PAVEMENT MARKING PER CITY OF ALBUQUERQUE DWG. NO. 2600-105
3. PROPOSED 6" DASHED WHITE RETROREFLECTIVE PAVEMENT STRIPE (2' STRIPE, 30" GAP) PER CITY OF ALBUQUERQUE DWG. NO. 2600-105
4. PROPOSED 6" SOLID WHITE RETROREFLECTIVE PAVEMENT STRIPE FOR BIKE LANE PER CITY OF ALBUQUERQUE DWG. NO. 2600-105
5. PROPOSED 3"-8" CONCRETE PAN
6. PROPOSED CONCRETE PAVING MATCH GIBSON BLVD PAVEMENT SECTION
7. PROPOSED 8" STANDARD CURB & GUTTER C.O.A. DWG. NO. 2415 A. MODIFY TO MATCH EXISTING CURB AND GUTTER ALONG GIBSON BLVD
8. PROPOSED 10' MULTI USE TRAIL PER C.O.A. DWG. NO. 2415C
9. PROPOSED BLOCK WALL TO MATCH EXISTING
10. PROPOSED SIDEWALK CULVERT PER C.O.A. DWG. NO. 2236
11. PROPOSED MUTCD R4-4 "BEGIN RIGHT TURN LANE YIELD TO BIKES" SIGN PER C.O.A. DWG. NO. 2600-301 & 2600-303
12. PROPOSED MUTCD R1-1 "STOP" SIGN PER C.O.A. DWG. NO. 2600-601
13. PROPOSED MUTCD R4-7 SIGN PER C.O.A. DWG. NO. 2600-602
14. PROPOSED MUTCD R6-1R "ONE WAY" SIGN PER C.O.A. DWG. NO. 2600-603
15. PROPOSED RETROREFLECTIVE BICYCLE LANE PAVEMENT MARKING PER CITY OF ALBUQUERQUE DWG. 2600-301

BENCH MARKS  
VERTICAL DATUM IS BASED ON ALBUQUERQUE  
SURVEY CONTROL MONUMENT "ACS BM 24-L-16"  
ELEVATION = 5191.31 FEET (NAVD 88)

**PRELIMINARY**  
FOR BIDDING ONLY  
NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	CONTRACTOR	BY
A	01/31/2022	DESIGNED BY:	DDJ	
B	03/03/2022	DRAWN BY:	KAM	
		CHECKED BY:	TDK	
		DATE	01/31/2022	



**LOVELACE HEIGHTS ADDITION**  
CITY OF ALBUQUERQUE  
2121 YALE BOULEVARD

**ROADWAY PLAN - GIBSON BOULEVARD**

DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | ZONE MAP NO. M-15 & L-15

CITY PROJECT NO. 643486

SHEET NO. PAGE 5 OF 28 | C1.2

DRB CASE NO. PR-2021-005482