

ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

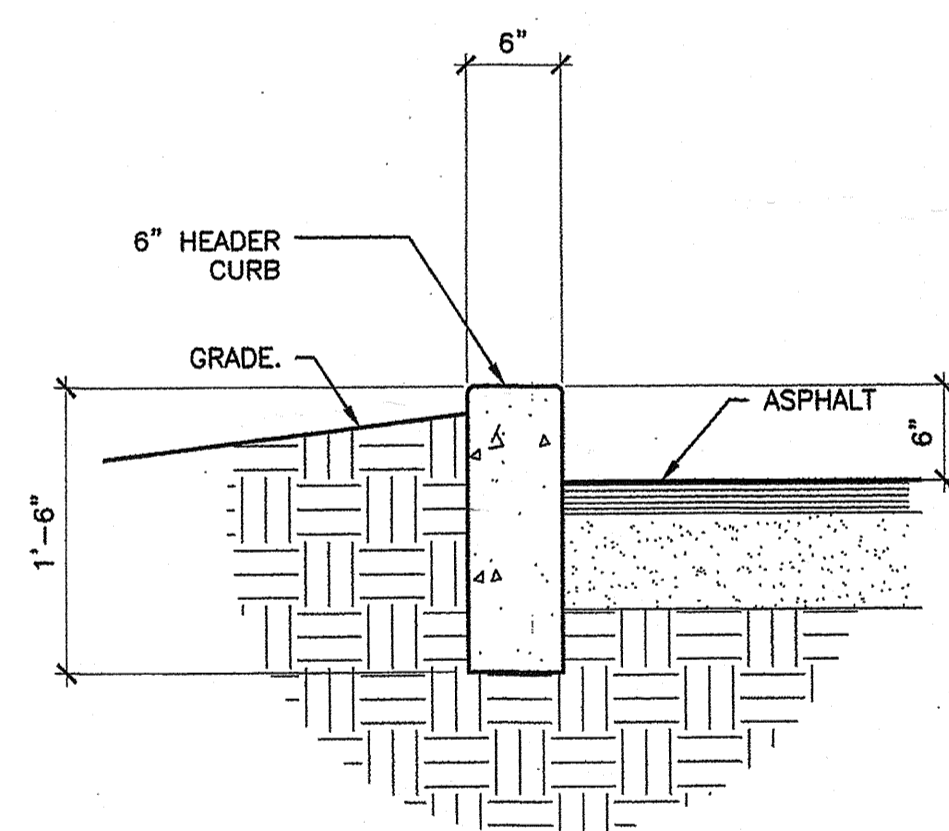
APPROVED BY

DATE

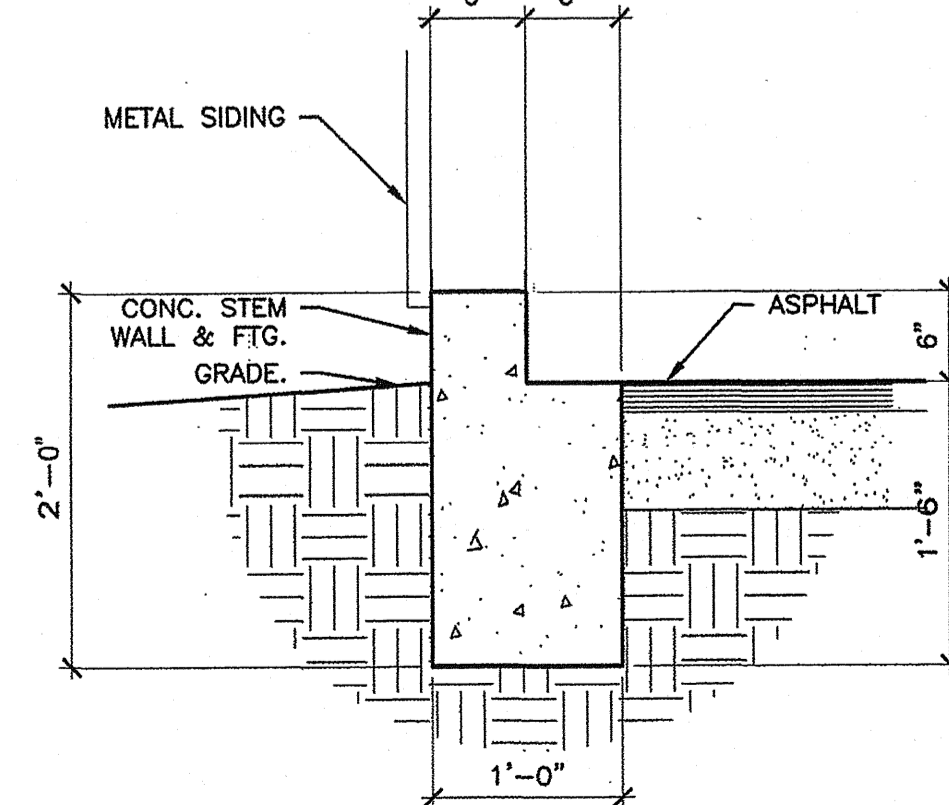
PROJECT NUMBER:	1001523
APPLICATION NUMBER:	18 DRB-70050
This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [redacted] and the findings and conditions in the Official Notification of Decision are satisfied.	
Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or public improvements.	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL	
<i>Raymond M. Muel</i> Traffic Engineering, Transportation Division	3/1/17 Date
<i>Theresa L. Gade</i> Water Utility Department	03-01-17 Date
<i>Isidoro</i> Parks and Recreation Department	3/1/17 Date
<i>James D. Boyles</i> City Engineer	2/14/2018 Date
N/A Environmental Health Department	Date
N/A Solid Waste Management	Date
N/A DRB Chairperson, Planning Department	2-14-2018 Date
* Environmental Health, if necessary	

GENERAL NOTES

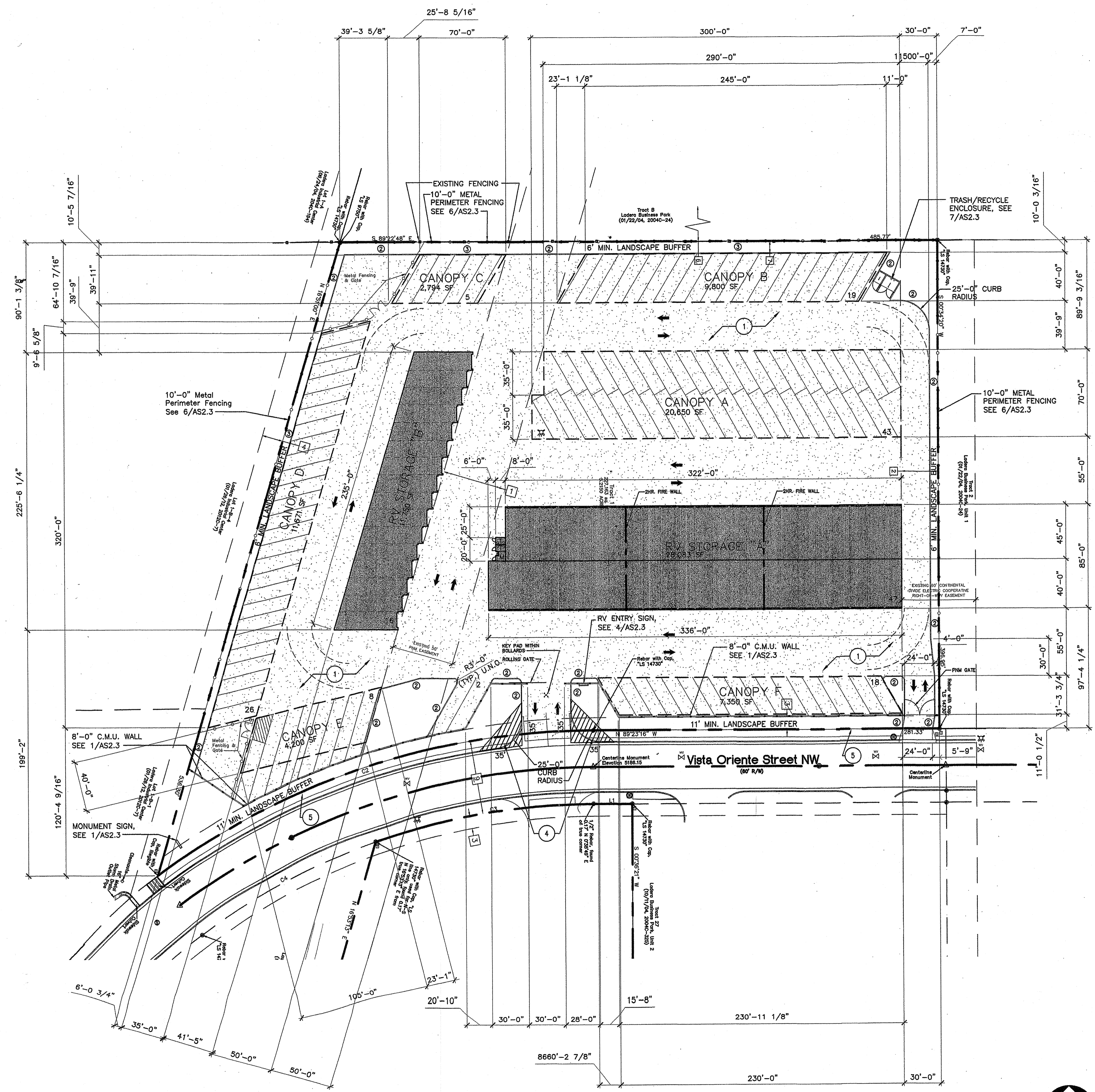
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- ALL SIDEWALKS ALONG STREETS SHALL BE PLACED AT THE PROPERTY LINE.



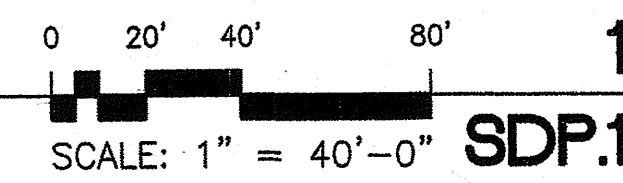
FTG. • BACK OF CANOPIES 3
SCALE: 1" = 1'-0" SDP.1



FTG. • BACK OF CANOPIES 2
SCALE: 1" = 1'-0" SDP.1



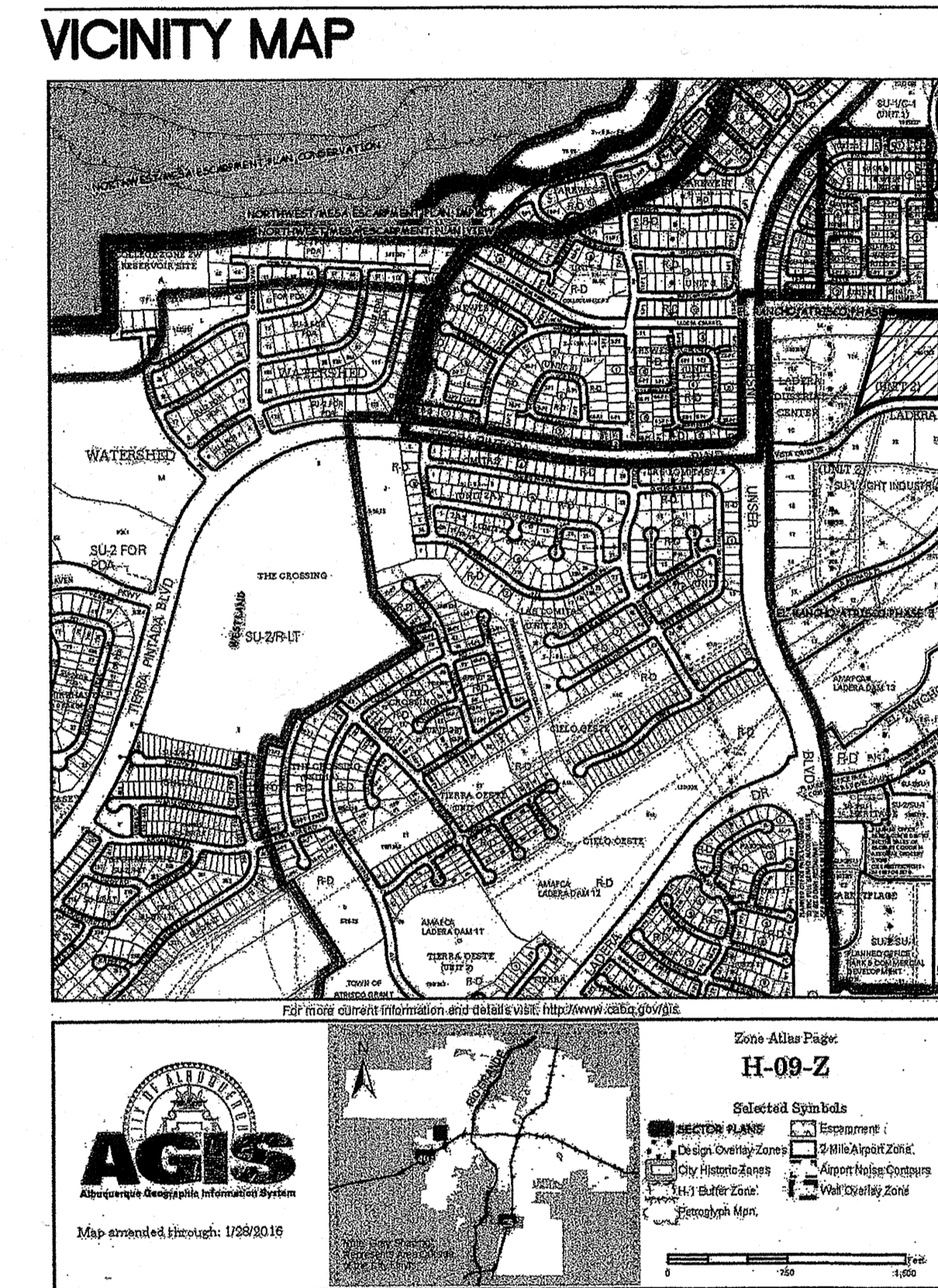
SITE DEVELOPMENT PLAN
SCALE: 1" = 40'



- KEYED NOTES**
- ASPHALT PAVING
 - 6" HEADER CURB. TYP. U.N.O. REFER TO DETAIL 3/SDP.1
 - FOOTING AT BACK SIDE OF CANOPIES. TYP. U.N.O. REFER TO DETAIL 2/SDP.1
 - 35' X 35' CLEAR SIGHT TRIANGLE. MEASURED FROM FACE OF CURB. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - PROPOSED 6' CONCRETE PUBLIC SIDEWALK PER COA STD. DET. 2430.

SITE CRITERIA

PROJECT: ALBUQUERQUE RV AND BOAT STORAGE
 LOCATION: 2201 VISTA ORIENTE NW
 OWNER: LADERA ENTERPRISES, LLC
 ARCHITECT: JUNO ARCHITECTS
 LEGAL DESCRIPTION: TRACT 1 UNIT 2 LADERA BUSINESS PARK
 ZONING ATLAS MAP: H-9-Z
 CURRENT ZONING CLASSIFICATION: SU-1 LIGHT INDUSTRIAL
 BUILDING TYPE: II-B, NON-SPRINKLERED
 TOTAL BUILDING AREA:
 RV STORAGE A = 28083 SF
 RV STORAGE B = 11750 SF
 TOTAL = 39833 SF
 TOTAL LOT AREA: 5.215 AC.
 PARKING ANALYSIS:
 RV-STORAGE = N/A
 (NOTE: ALL OFFICE FUNCTIONS AND PARKING FOR THE SAME, INCLUDING ACCESSIBLE PARKING, MOTORCYCLE PARKING AND BICYCLE SPACES, ARE ACROSS THE STREET IN PHASE ONE OF THE FACILITY)
 NUMBER OF RV STORAGE SPACES: 184
 MAXIMUM BUILDING HEIGHT: 32 FEET



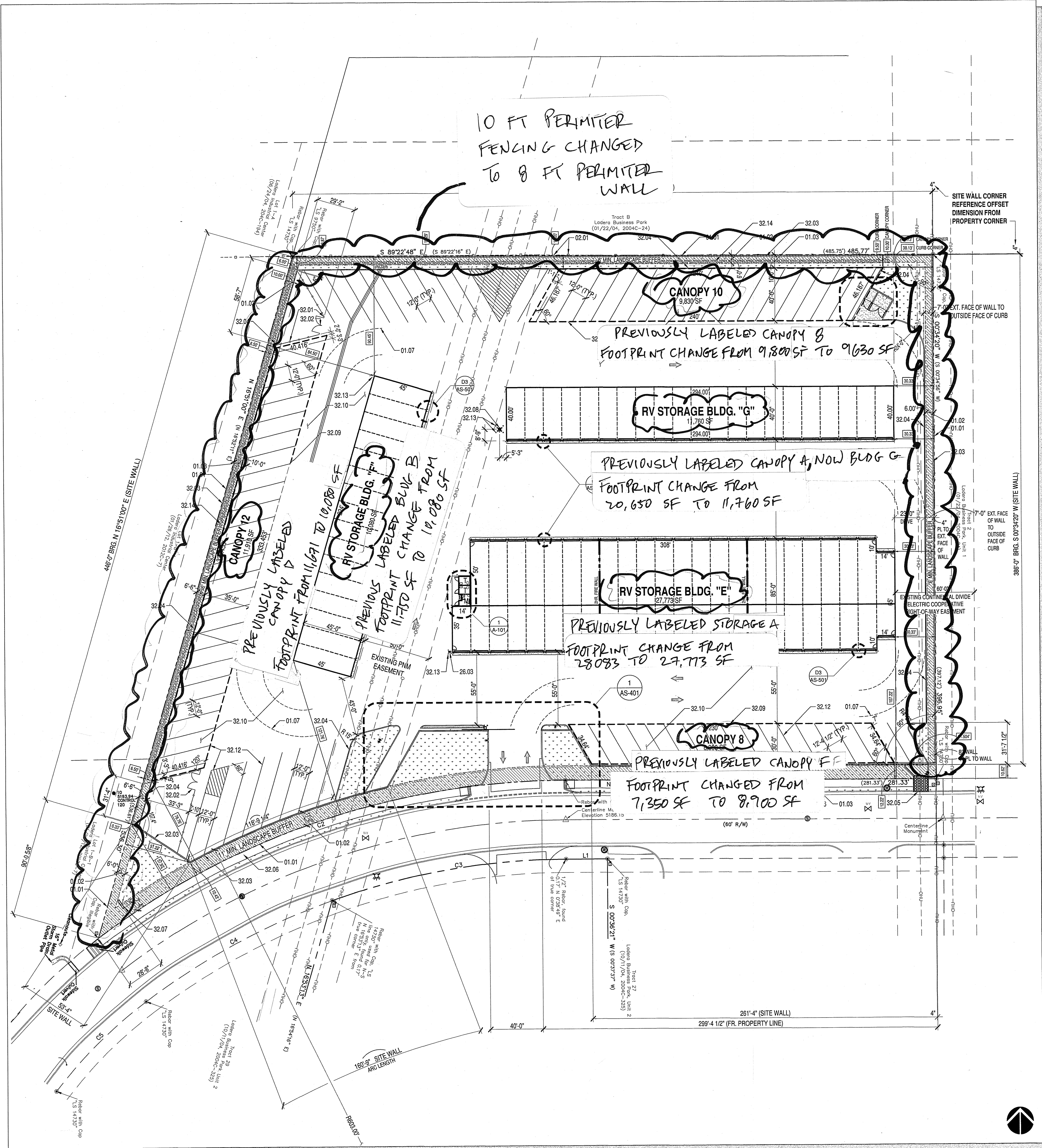
JUNO ARCHITECTS
 7925 Bosque St. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 890-1736

PROJECT:
ALBUQUERQUE RV + BOAT STORAGE
 2201 VISTA ORIENTE NW, ALBUQUERQUE, NM

SHEET TITLE:
SITE DEVELOPMENT PLAN

REVISION	DATE

ARCHITECT STAMP: KEVIN JUNO No. 1660
 CONSULTANT STAMP: [redacted]
 DATE: 12-20-16
 PROJECT NO.: 1614
 SHEET NO.: SDP.1



ARCHITECTURAL SITE PLAN
1"=40'

1
AS-101

GENERAL NOTES

- A. GENERAL SITE LAYOUT: BUILDING E & G AND CANOPY B & 10 ARE LAID OUT PERPENDICULAR / ORTHOGONAL TO THE EAST PROPERTY LINE.
- B. PRIOR TO BIDDING AND AGAIN PRIOR TO COMMENCING WORK, GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO FIELD VERIFY ALL EXISTING CONDITIONS RELATIVE TO THE NEW WORK. CONTRACTOR TO REPORT ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS, NEW WORK, AND ANY RELATED WORK TO THE ARCHITECT PRIOR TO BIDDING/COMMENCING WORK.
- C. COORDINATE WORK WITH SITE PLANS, ARCHITECTURAL PLANS, CIVIL, UTILITIES DRAWINGS, MECHANICAL, PLUMBING, ELECTRICAL, DWGS.
- D. NEW FILL MATERIAL SHALL BE ENGINEERED FILL.
- E. AT ALL EXTERIOR CONCRETE SIDEWALK LOCATIONS PROVIDE 6X6 / 10X10 WELDED WIRE MESH REINFORCING CENTERED IN THE SLAB U.N.O. ON STRUCTURAL OR CIVIL SHEETS. INSTALL OVER COMPACTED GRADE TO 90% MINIMUM. SEE GEOTECHNICAL ENGINEERING REPORT.
- F. UTILITIES ARE SHOWN IN APPROXIMATE LOCATION ONLY. SEE CIVIL AND SURVEY SHEETS.
- G. CONTRACTOR MUST VERIFY EXISTING CONDITIONS AND EXACT LOCATIONS WITH APPROPRIATE PUBLIC UTILITIES BEFORE COMMENCING WORK.
- H. AT EXTERIOR SITE UTILITIES WORK: SAW CUT TRENCHES, INSTALL WORK, COMPACT TO 90% MIN. AND REPLACE W/ PAVING / CONCRETE, MATCH EXISTING. COORDINATE THIS WORK WITH MECHANICAL, PLUMBING & ELECTRICAL. ALL TRENCHES WILL BE REQUIRED TO HAVE NEW PAVEMENT MATERIAL INSTALLED OVER TRENCH UNLESS OTHERWISE INDICATED.
- I. SEE GEOTECHNICAL INVESTIGATION REPORT AND RECOMMENDATIONS FOR SITE WORK.
- J. SEE CIVIL, LANDSCAPE, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE INFORMATION AND FOR UNDERGROUND IMPROVEMENTS / WORK ITEMS.
- K. STAKING AND BUILDING LAYOUT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- L. SEE LANDSCAPE FOR ALL IRRIGATION PIPE SLEEVING.
- M. GROUT ALL CMU BELOW GRADE SOLID. GROUT ALL REINFORCED CMU CELLS SOLID.
- N. COMPLY W/ ALL CITY OF ALBUQUERQUE REQUIREMENTS FOR TRAFFIC CONTROL, STREET CLOSURE, WORKING WITHIN THE CITY RIGHT-OF-WAY, ETC.
- O. COMPLY W/ ALL REGULATORY REQUIREMENTS FOR TRAFFIC CONTROL AND STREET LINE UP CLOSURE.

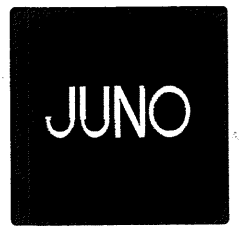
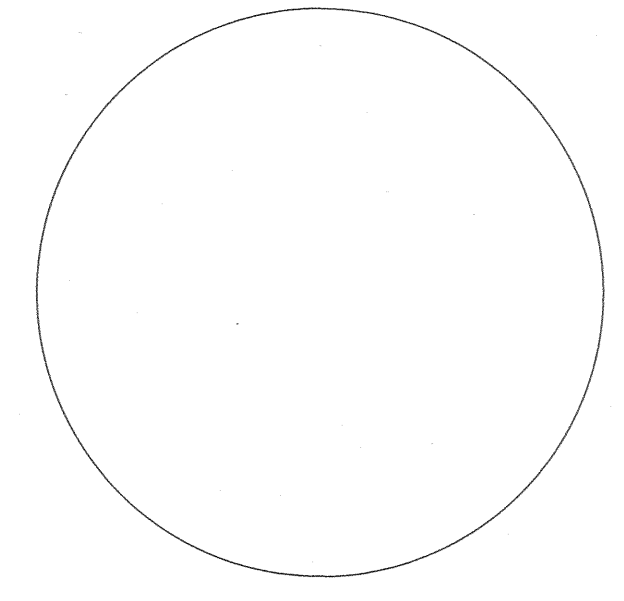
KEYED NOTES

- 01.01 PROPERTY LINE.
- 01.02 LANDSCAPE SETBACK.
- 01.03 BUILDING SETBACK.
- 01.07 50' FIRE TRUCK TURNING RADIUS.
- 02.01 DASHED LINE INDICATES REMOVE EXISTING T-POST FENCING.
- 26.03 AUTOMATIC GATE ACCESS CONTROL DEVICE.
- 32.01 6' HIGH METAL FENCE.
- 32.02 PAIR 6'-0" X 6'-0" H METAL GATE.
- 32.03 8'-0" HIGH ABOVE FINISH GRADE MAX. CMU RETAINING WALL. TYPICAL ALONG NORTH, EAST AND WEST PROPERTY LINE IS A 4" OFFSET.
- 32.04 CONCRETE CURB, SEE CIVIL.
- 32.05 OUTFALL / COVERED SIDEWALK CULVERTS, SEE CIVIL.
- 32.06 PUBLIC SIDEWALK, SEE CIVIL.
- 32.07 MONUMENT SIGN, SEE DETAIL B2/AS-501.
- 32.08 FIRE HYDRANT, SEE UTILITY PLAN.
- 32.09 DASHED LINE INDICATES OVERHEAD PARKING CANOPY. SEE METAL BUILDING DRAWINGS.
- 32.10 ASPHALT PAVING OVER BASE COURSE, SEE CIVIL.
- 32.11 CONCRETE ALLEY GUTTER, SEE CIVIL.
- 32.12 PAINTED PARKING STRIPING (TYP.).
- 32.13 STEEL PIPE BOLLARD (TYP.). SEE DETAIL.
- 32.14 12" DEEP SWALE, SEE CIVIL.

LEGEND

- X-XX" DIMENSIONS SHOWN ARE FROM PROPERTY LINE, STEEL LINE (SEE METAL BUILDING DRAWINGS), FACE OF CMU OR FACE OF OBJECT UNLESS NOTED OTHERWISE
- XX-XX" OFFSET DIMENSION (FROM PROPERTY LINE)
- X-XX" ARC LENGTH
- X-X" ARC LENGTH

CITY APPROVAL STAMP



ARCHITECTS
7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 890-1736

PROJECT:
ABQ RV + BOAT STORAGE
2201 VISTA ORIENTE NW, ALBUQUERQUE, NM

SHEET TITLE:
ARCHITECTURAL SITE PLAN

NO.	REVISION	DATE

ARCHITECT STAMP	CONSULTANT STAMP	DATE: 12/22/20
		PROJECT NO. 1614
		SHEET NO. AS-101