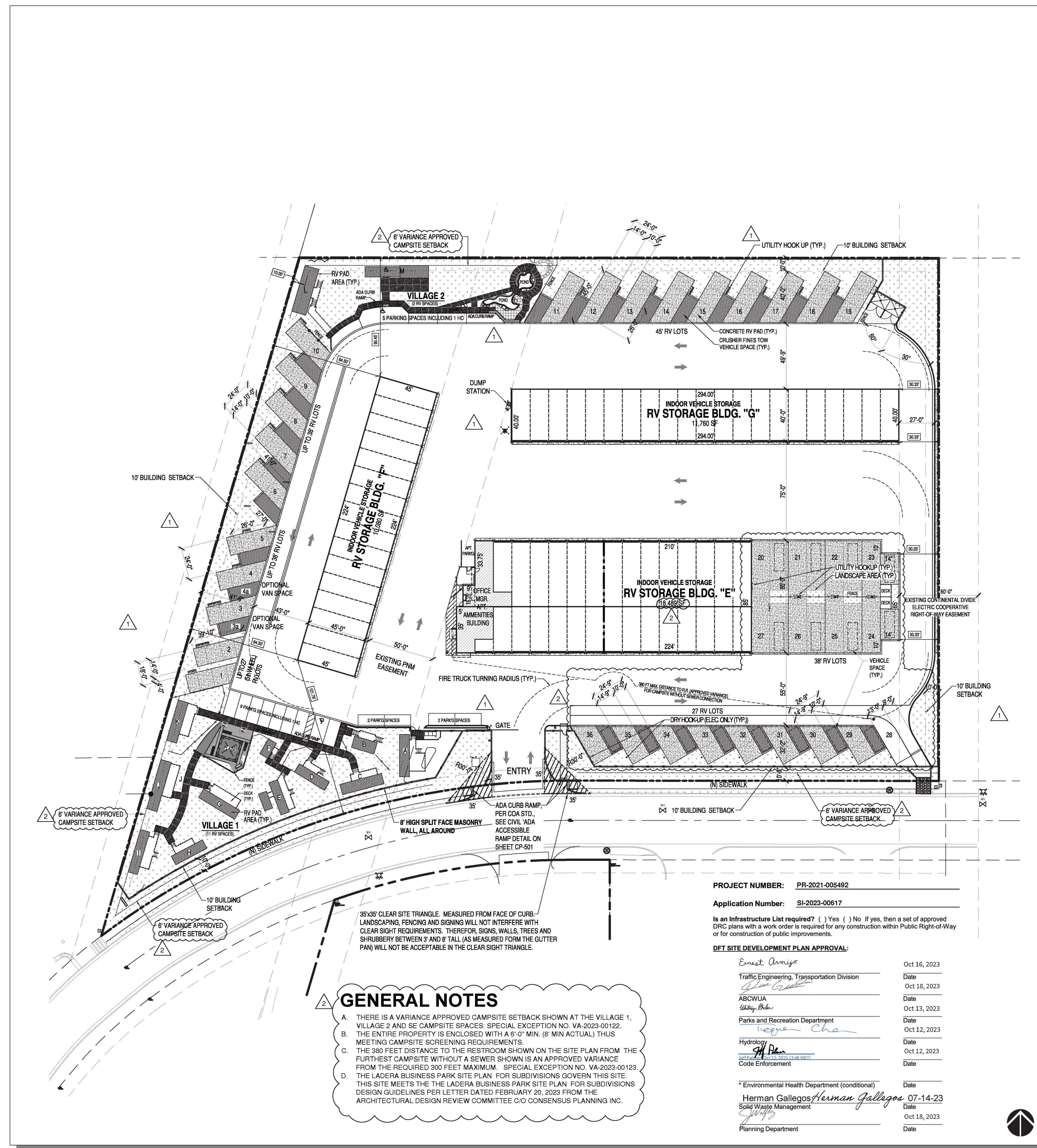


SITE USAGE CHART

NOTE: UNLESS NOTED OTHERWISE, BUILDINGS, DRIVEWAYS, DRIVEWAYS, RV SPACES ETC. ARE PER PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN.

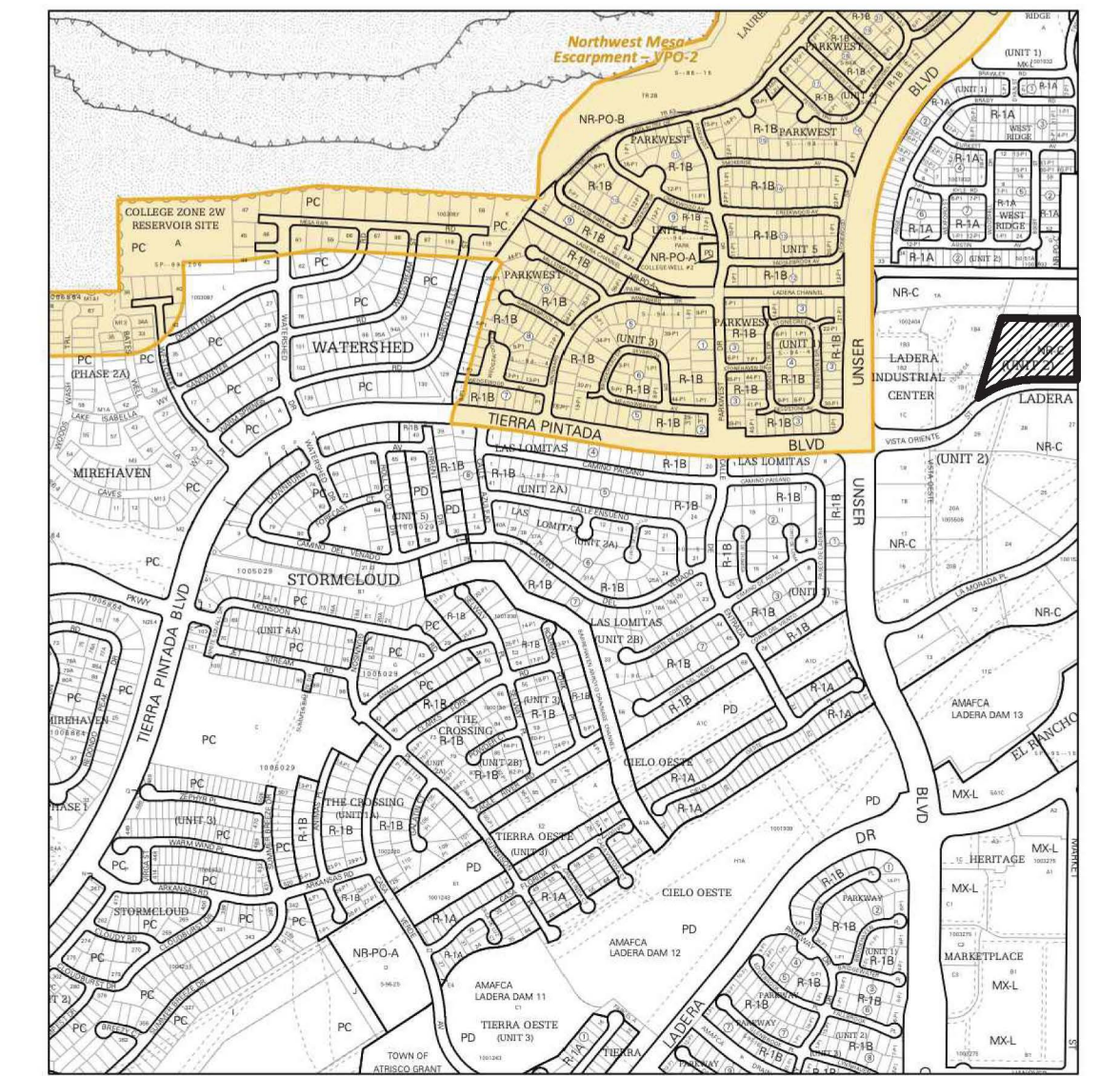
SPACE	CAMPSITE		UTILITIES PROVIDED	
	EXISTING (APPROVED)	REVISED	ELECTRIC & WATER-SEWER	ELECTRIC ONLY
1	X		X	
2	X		X	
3	X		X	
4	X		X	
5	X		X	
6	X		X	
7	X		X	
8	X		X	
9	X		X	
10	X		X	
11	X		X	
12	X		X	
13	X		X	
14	X		X	
15	X		X	
16	X		X	
17	X		X	
18	X		X	
19	X		X	
20		X	X	
21		X	X	
22		X	X	
23		X	X	
24		X	X	
25		X	X	
26		X	X	
27		X	X	
28		X		X
29		X		X
30		X		X
31		X		X
32		X		X
33		X		X
34		X		X
35		X		X
36		X		X
A		X	X	
B		X	X	
C		X	X	
D		X	X	
E		X	X	
F		X	X	
G		X	X	
H		X	X	
I		X	X	
J		X	X	
K		X	X	
L		X	X	
M		X	X	



PROPOSED SITE PLAN REVISIONS
1" = 40'

1
AA-SP-1

VICINITY MAP



IDO Zone Atlas
May 2018

Zone Atlas Page: **H-09-Z**

AGIS

For more details about the Integrated Development Ordinance visit: <http://www.ci.abq.gov/Planning/Code-Policies-Regulations/Integrated-Development-Ordinance>

IDO Zoning Information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

SITE DATA

PROJECT: ALBUQUERQUE RV AND BOAT STORAGE
ADDRESS: 2201 VISTA ORIENTE NW
OWNER: LADERA ENTERPRISES LLC
LEGAL DESCRIPTION: TRACT 1 UNIT 2 LADERA BUSINESS PARK
TOTAL LOT AREA: 5.215 ACRES
ZONING MAP: H-9-Z
CURRENT ZONING CLASSIFICATION: NR-C LIGHT INDUSTRIAL
BUILDING TYPE: II B. (NFPA 13D SPRINKLERED FOR R3 (APARTMENT) FIRE AREA)
TOTAL BUILDING AREA:

NEW BUILDING E CONFIGURATION: 18,489 SF (27,773 SF ORIGINAL PERMIT NO. BP-2021-07160) (27,729 SF PREVIOUS PERMIT NO. BP-2022-07008)

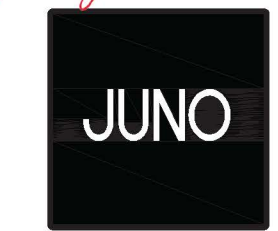
EXISTING BUILDING F: 10,080 SF
EXISTING BUILDING G: 11,760 SF
TOTAL: 40,329 SF (49,613 SF ORIGINAL)

CANOPY 8 REMOVED AND REPLACED WITH NOMADLAND RV SPACES (SEE BELOW)

NUMBER OF INDOOR RV STORAGE UNITS: 65 (81 PREVIOUS)
NUMBER OF NOMADLAND RV CAMPSITE SPACES: 36 (32 PREVIOUS)
NUMBER OF CANOPY COVERED RV SPACE: 0 (18 PREVIOUS)
NUMBER OF VILLAGE 1 & 2 CAMPSITE SPACES: 13 (13 RECONFIGURED / 13 PREVIOUS)
NUMBER OF OPEN RV VEHICLE STORAGE SPACES: 0 (4 PREVIOUS)

NUMBER OF PARKING SPACES: FOR CAMPGROUND OR RECREATIONAL VEHICLE PARK
 1 SPACE PER DESIGNATED CAMPING OR RV SPOT;
 52 SPACES PROVIDED (49 REQUIRED) (25 PREVIOUS)

MANAGER APARTMENT PARKING SPACE: 1 SPACE PROVIDED (1 REQUIRED) (SAME AS PREVIOUS)
 Approved for access by the Solid Waste Department for 2-dumpsters. All containers must be made accessible from 5AM to 8PM.
 Herman Gallegos 07-14-23



7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:
ABQ RV + BOAT STORAGE + CAMPSITE FACILITY
2201 VISTA ORIENTE NW, ALBUQUERQUE, NM

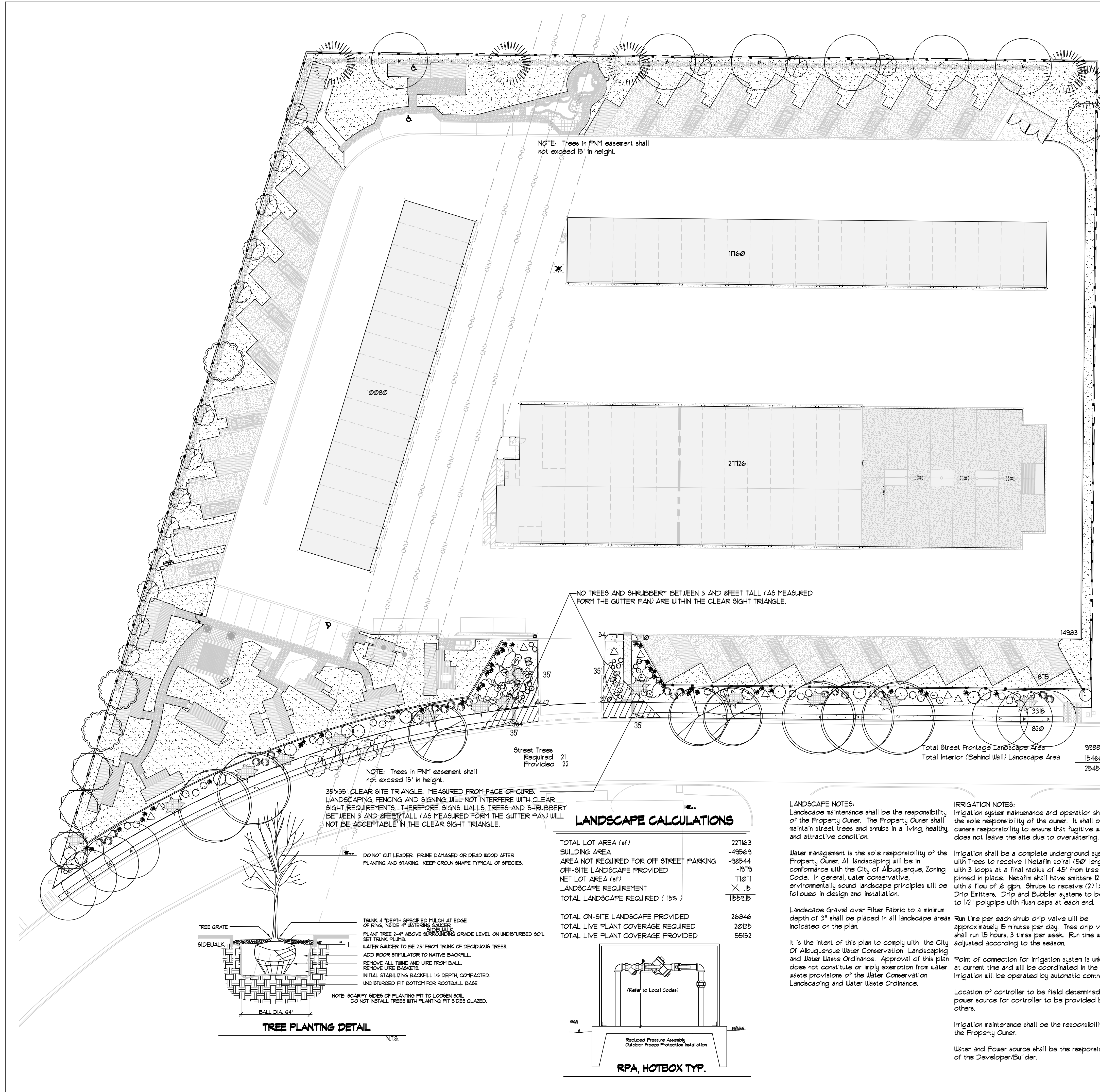
SHEET TITLE:
PROPOSED SITE PLAN REVISIONS

NO.	REVISION	DATE
1	SITE PLAN REVISIONS	2/21/23
2	DFT CODE ENFORCEMENT COMMENTS / GEN / REV.	7/13/23

ARCHITECT STAMP
 CONSULTANT STAMP
 DATE: 2/24/23
 PROJECT NO. 1614
 SHEET NO.



AA-SP-1



LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
12	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	40x35 1225 14700 M
5	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45 2025 10125 M
3	2" cal	Modesto Ash <i>Fraxinus velutina</i>	50x45 2025 6075 M
13	2" cal	Frontier Elm <i>Ulmus 'Frontier'</i>	35x25 625 8125 M
5	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25 625 3125 M
1	15 Gal	Crape Myrtle <i>Lagerstroemia indica</i>	15x20 400 400 M
3	15 Gal	Sensation Box Elder <i>Acer negundo 'Sensation'</i>	25x25 625 1875 M
26	15 Gal	Oklahoma Redbud <i>Cercis reniformis</i>	15x12 144 3144 M
4	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20x25 625 2500 M
Total Tree Coverage 50669			
Shrubs & Groundcovers			
21	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x6 36 156 M
43	5 Gal	Karl Foerster Grass <i>Calamagrostis acutiflora 'Karl Foerster'</i>	25x3 9 381 M
14	5 Gal	Deep Blue Lavender <i>Lavender angustifolia 'Hidcote'</i>	2x3 9 126 M
8	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x7 49 392 M
14	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12 144 2016 M
11	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3 9 99 M
13	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 117 M
2	5 Gal	Chamaea <i>Chrysothamnus nauseosus</i>	5x7 49 98 L
15	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x7 49 735 L
22	5 Gal	Turpentine Bush <i>Ephedra laricina</i>	4x6 36 792 L
9	5 Gal	Knock Out Roses <i>Rosa 'Knock Out'</i>	3x4 12 108 L
Total Shrub Coverage 4483			
xx	2-3cf	Boulders	To be placed at contractor discretion
9388		Exterior Landscape Crusher Fines / Filter Fabric	To Be Determined
16858		Interior Landscape Crusher Fines / Filter Fabric	To Be Determined

NOTE: Trees in FNM easement shall not exceed 15' in height.

NO TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE WITHIN THE CLEAR SIGHT TRIANGLE.

NOTE: Trees in FNM easement shall not exceed 15' in height.

35'x35' CLEAR SITE TRIANGLE. MEASURED FROM FACE OF CURB. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	227163
BUILDING AREA	-49569
AREA NOT REQUIRED FOR OFF STREET PARKING	-98544
OFF-SITE LANDSCAPE PROVIDED	-1979
NET LOT AREA (sf)	110711
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	16591.5
TOTAL ON-SITE LANDSCAPE PROVIDED	26846
TOTAL LIVE PLANT COVERAGE REQUIRED	20135
TOTAL LIVE PLANT COVERAGE PROVIDED	55152

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque, Zoning Code. In general, water conservatives, Zoning environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas indicated on the plan.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45" from tree trunk, primed in place. Netafim shall have emitters 12" o.c. with a flow of 1/2 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end.

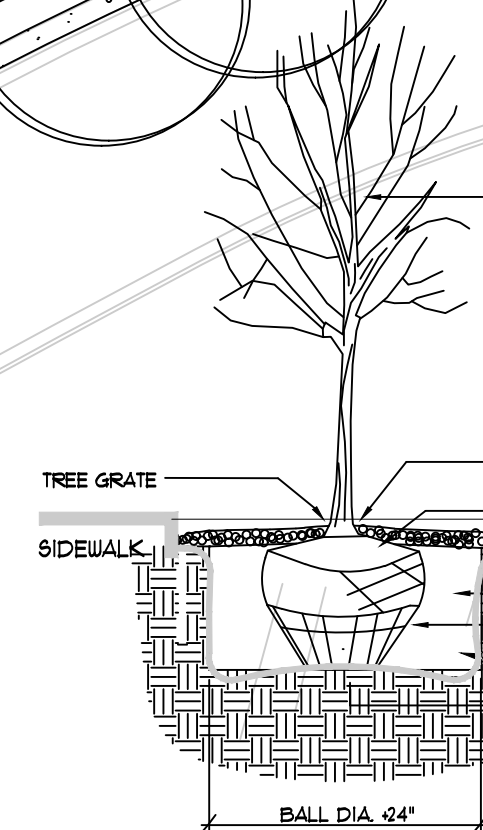
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

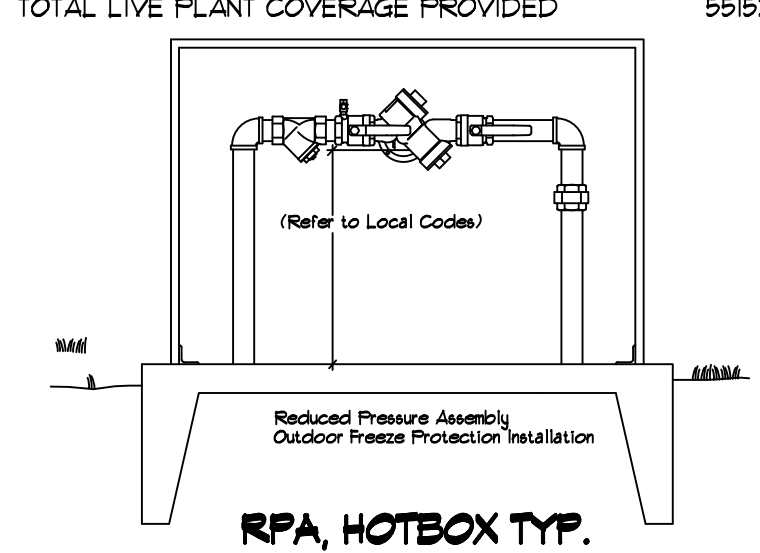
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

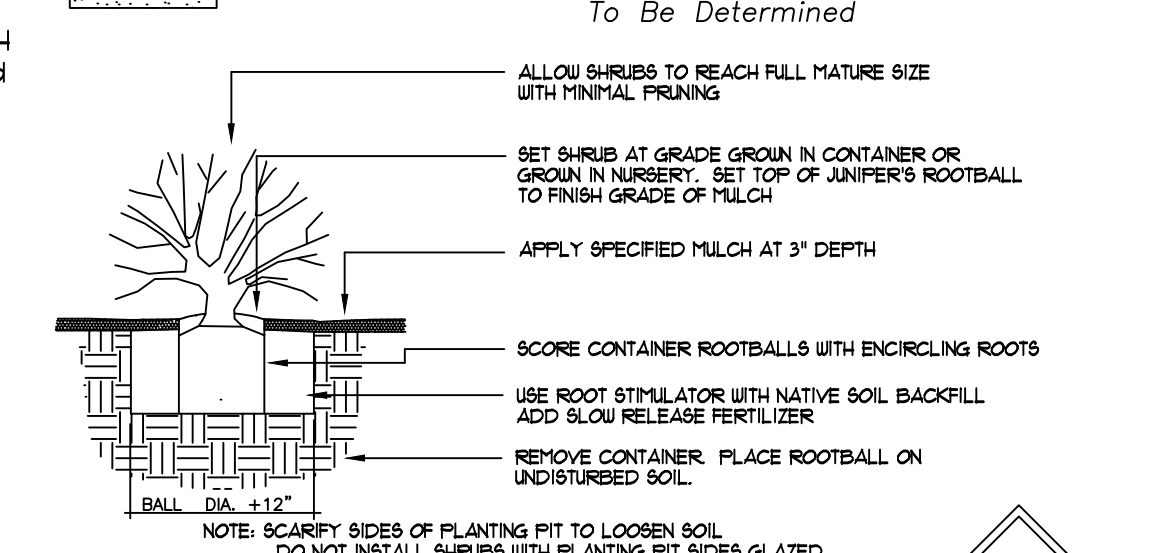
Water and Power source shall be the responsibility of the Developer/Builder.



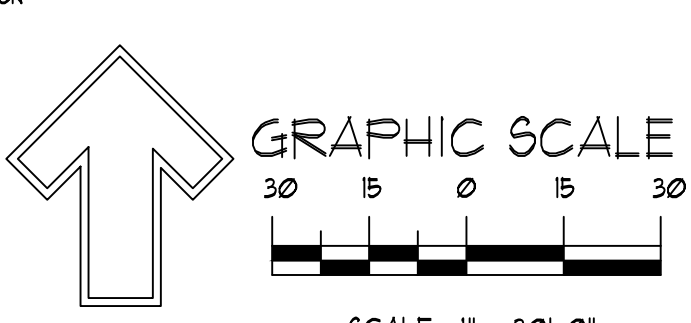
TREE PLANTING DETAIL



RPA, HOTBOX TYP.



SHRUB PLANTING DETAIL

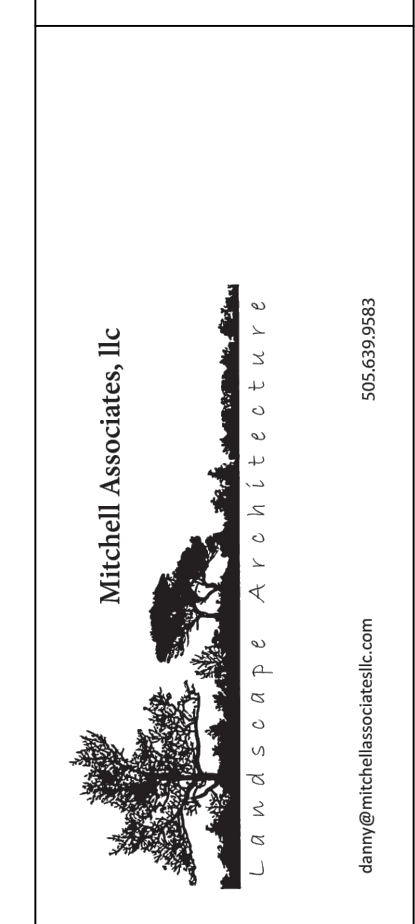


SCALE: 1" = 30'-0"

REVISIONS	Date:	Comment

Designed By: D. Mitchell
 Drawn By: Jm
 Approved By: [Signature]
 Date: NEW MEXICO ONE CALL STATEWIDE - 811 OR 1-800-321-ALERT (2537)
 Call two working days before you dig.
 File ID: [Blank]

**Albuquerque RV and Boat
 2201 Vista Oriente NW
 Albuquerque, NM 87121**



Seal: Landscape Architect
 STATE OF NEW MEXICO
 DANNY B. MITCHELL
 239
 REGISTERED LANDSCAPE ARCHITECT
 February 14, 2023
 DRAWING NO: LS-101



RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
- THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

DEPTH OF BURY: 3.0 FT. MINIMUM

1.50 FACTOR OF SAFETY:

MATERIAL: PVC

SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.

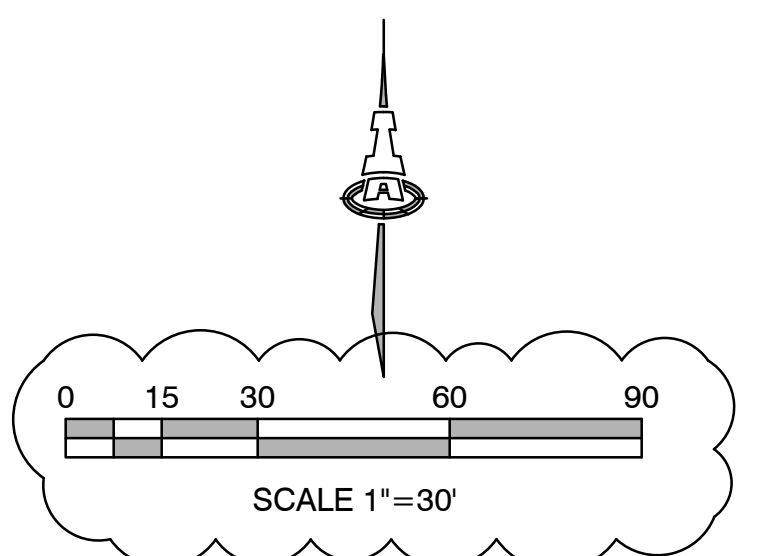
TEST PRESSURE: 150 PSI

TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

NOTES

- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET (LT) LENGTH SHOWN ON KEYED NOTES.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.



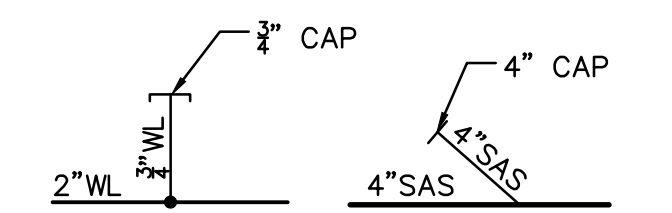
KEYED NOTES

WATER KEYED NOTES

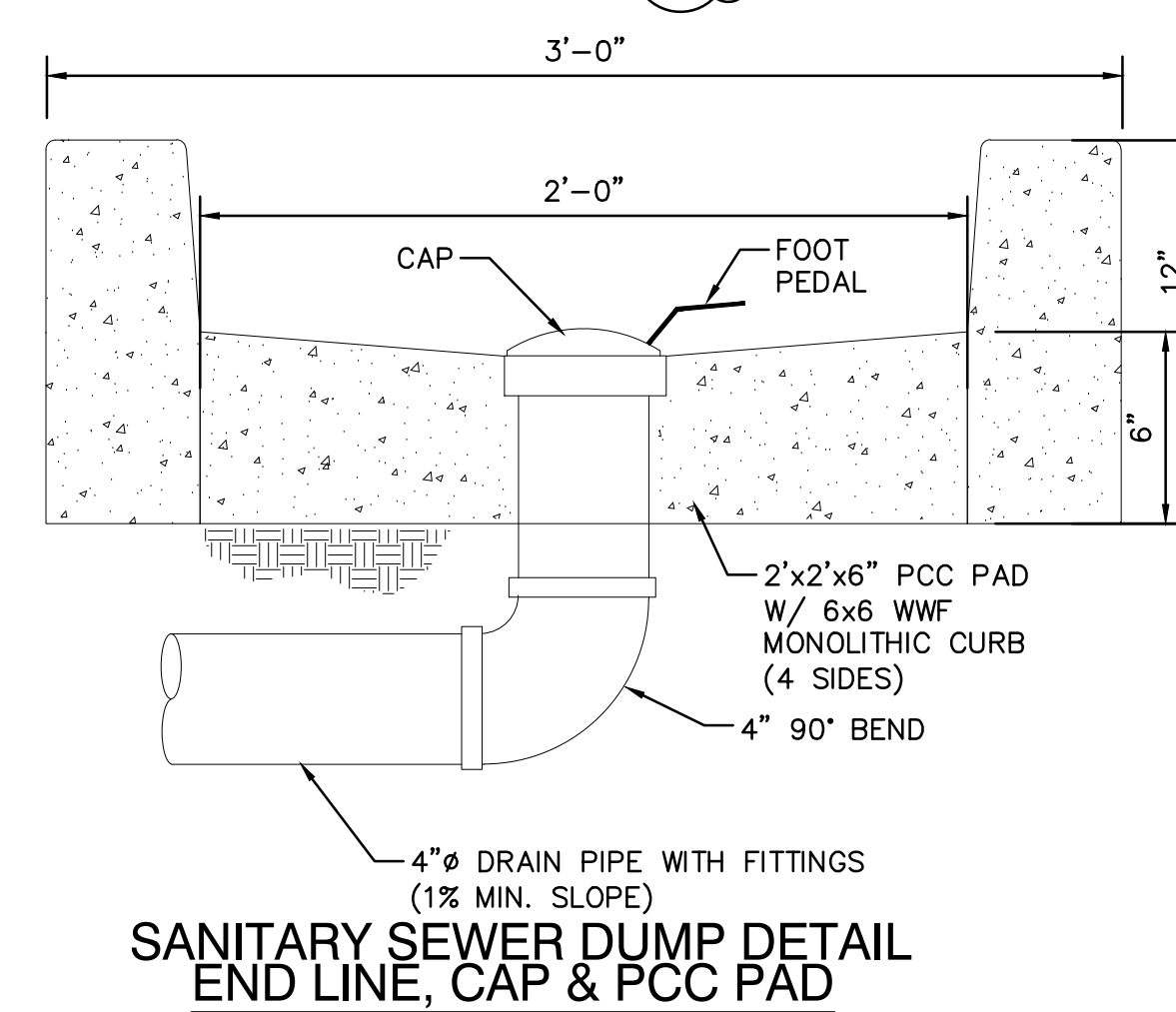
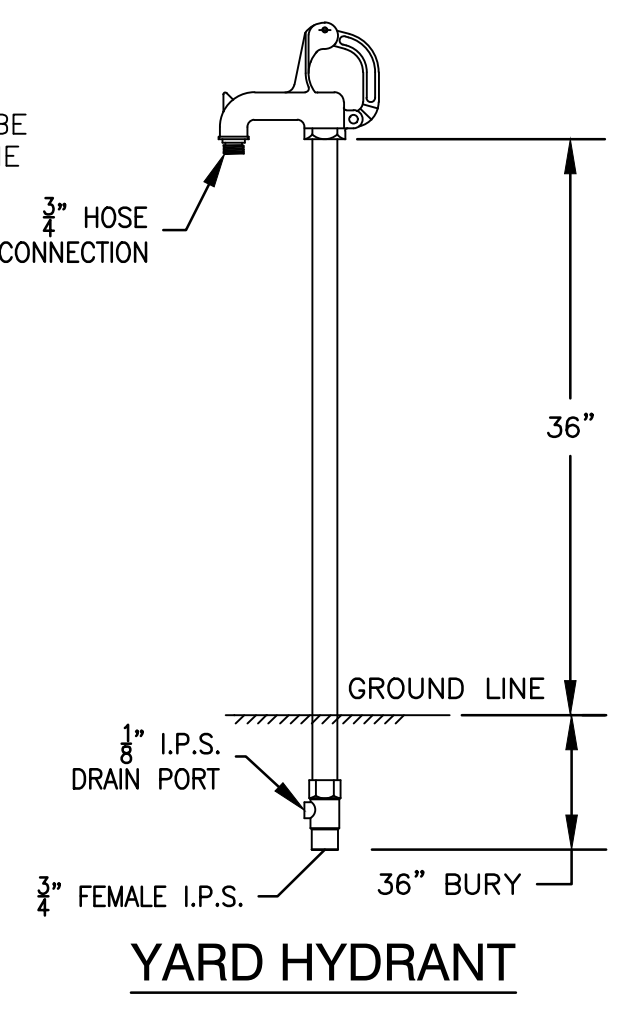
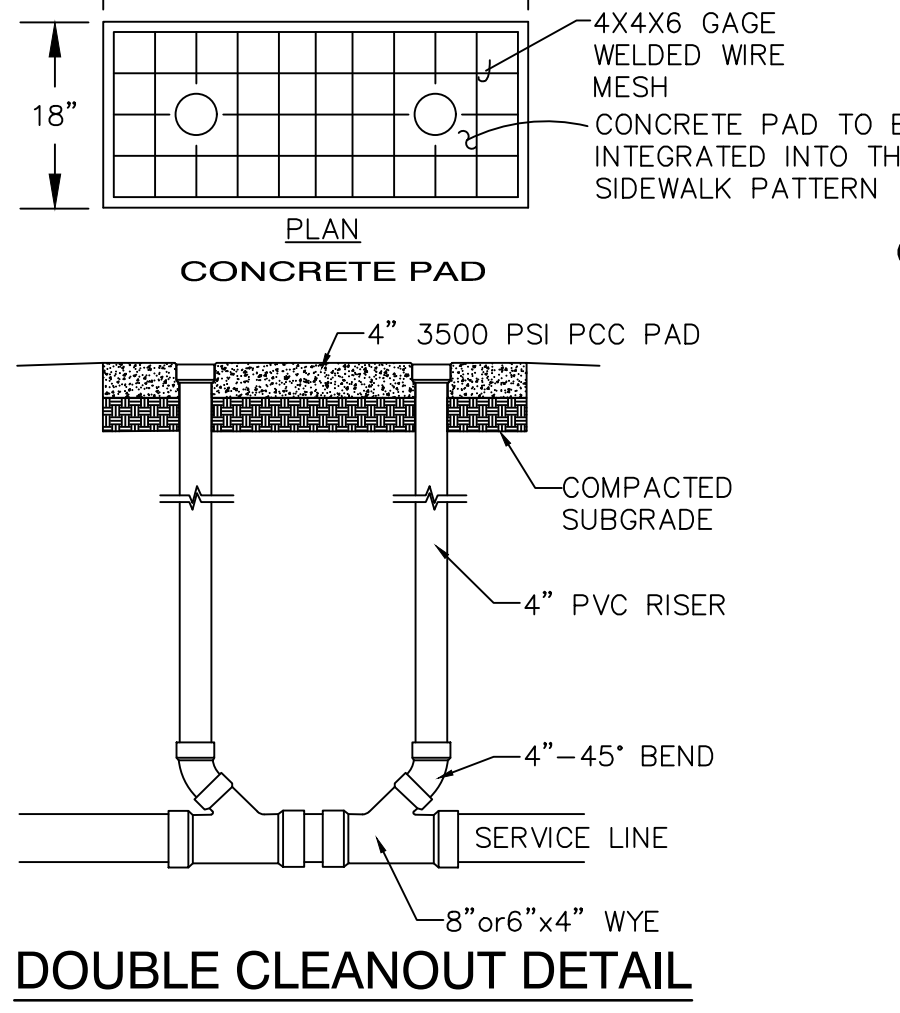
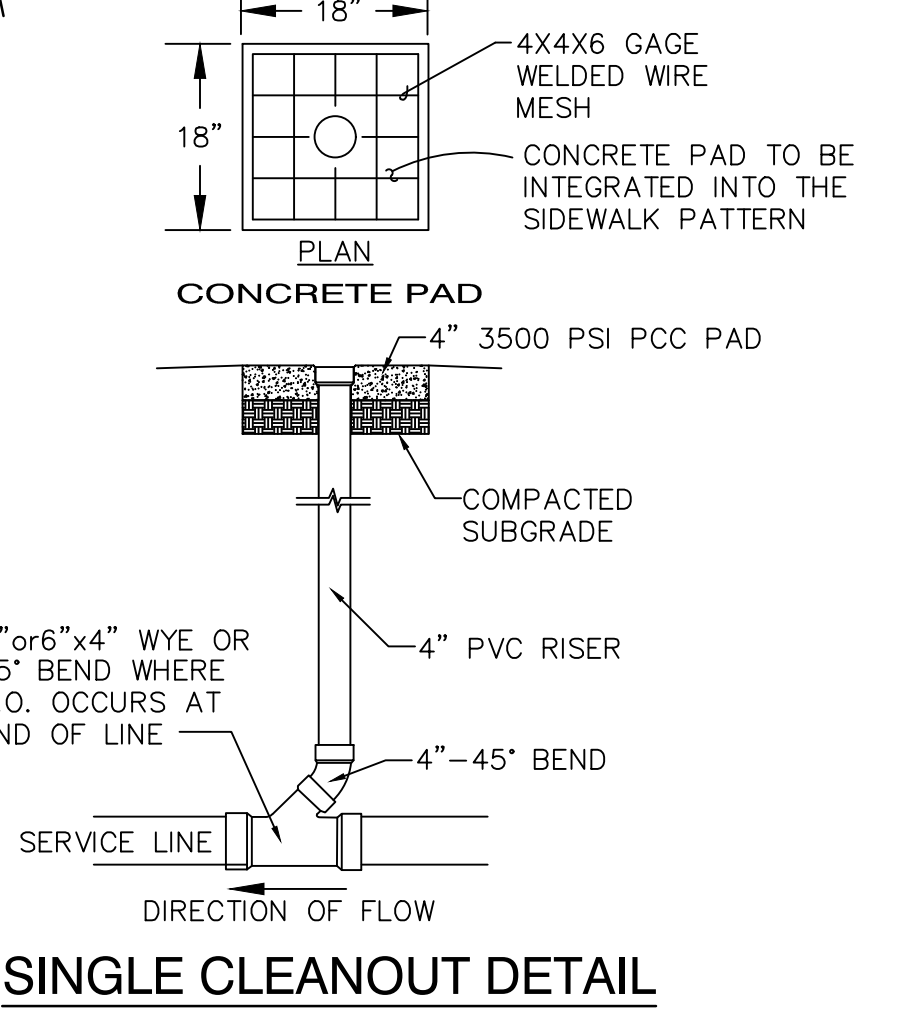
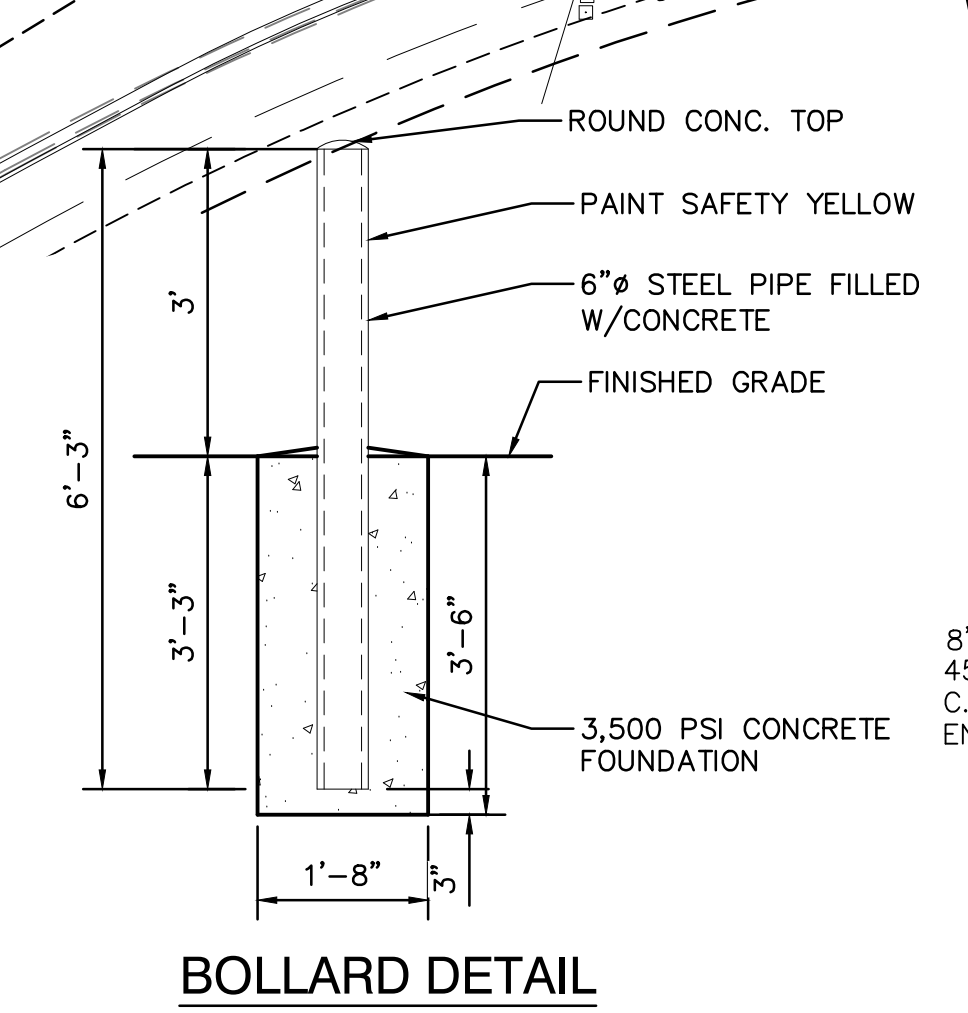
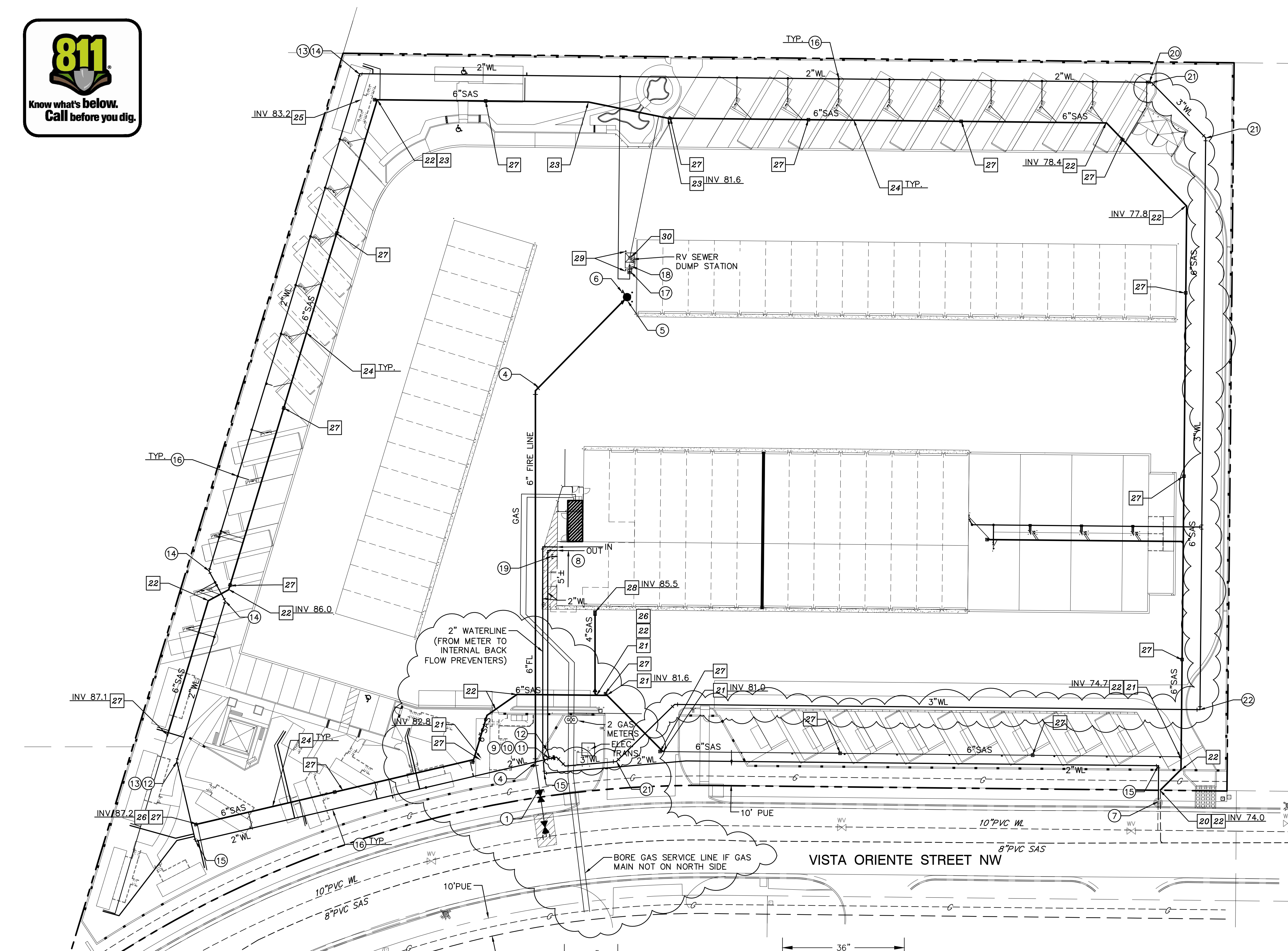
- REMOVE EXISTING 6" CAP AND CONNECT NEW 6" WATERLINE.
- 6" 45° BEND. (LT=9')
- 6" 22 1/2° BEND. (LT=4')
- 6" 11 1/2° BEND. (LT=2')
- FIRE HYDRANT PER ABCWUA STD DWG 2340. PAINTED SAFETY ORANGE.
- 4 EA. BOLLARDS (5'X5' SQUARE AROUND FIRE HYDRANT). SEE DETAIL BELOW.
- CONNECT NEW 2" WATER SERVICE LINE TO EXISTING 1 1/2" METER SETTING.
- INTERNAL BACK FLOW PREVENTERS.
- 2" TEE.
- 2"x1 1/2" REDUCER.
- 1 1/2" CAP.
- 2" 11 1/2° BEND.
- 2" 22 1/2° BEND.
- 2" 45° BEND.
- 2" 90° BEND.
- 3/4" WATER SERVICE CONNECTION, W/ 3/4" CAP AT END.
- 3/4" PRESSURE VACUUM BREAKER.
- 3" BURY 3/4" YARD HYDRANT.
- 1" IRRIGATION STUB WITH CAP.
- 3"x2" REDUCER.
- 3" 45° BEND.
- 3" 90° BEND.

SEWER

- CONNECT NEW 6" SAS SERVICE LINE TO EXISTING 6" SAS STUB AT ROW.
- 6"x6" WYE/TEE.
- 6" 45° BEND.
- 6" 22 1/2° BEND.
- 6"x4" SERVICE CONNECTION W/ 4" CAP AT END.
- 4" 45° BEND.
- 6"x4" REDUCER.
- SANITARY SEWER SINGLE CLEAN OUT.
- SANITARY SEWER DOUBLE CLEAN OUT.
- BOLLARD PER DETAIL THIS SHEET.
- 4" SANITARY SEWER DUMP PER DETAIL THIS SHEET.



ALL PERIMETER WATER AND SEWER SERVICE STUBS TO BE CAPPED. 3/4" CAP FOR WATER AND 4" CAP FOR SEWER.



PRIVATE FIRE LINE CONNECTIONS TO PUBLIC WATERLINE AND CONNECTION TO EXISTING WATER METER SETTING TO BE CONSTRUCTED UNDER ABCWUA WORK ORDER

FRED C. ARFMAN
NEW MEXICO
LICENSED PROFESSIONAL ENGINEER
7322

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaif.com

2278 CU-101.dwg Mar 16, 2023

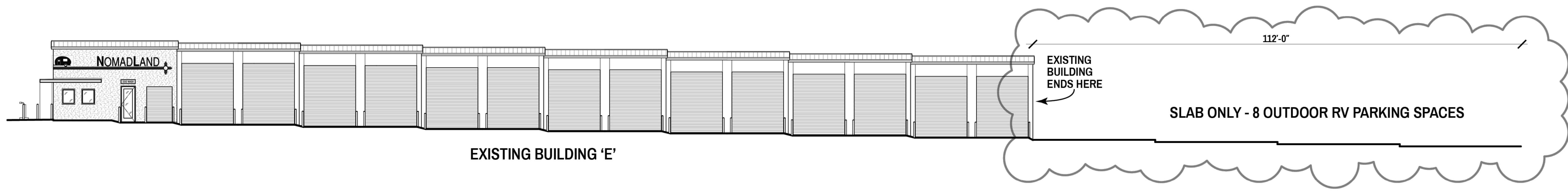
ABQ RV & BOAT STORAGE
LADERA ENTERPRISES LLC

UTILITY PLAN

Date:	No. Revision:	Date:	Job No.
			2278
Drawn By:	3 SITE PLAN REVISIONS	07/08/21	CU-101
	4 ADD RV DUMP	07/12/21	
Ckd By:	5 REROUTE WTR LINES	08/10/21	SH. OF
FCA	6 REVISE SAS INV / ALIGN	08/24/21	
	7 SITE PLAN REVISIONS	02/24/22	

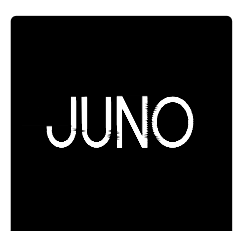
8 ADD 3" WATERLINE 04/15/22

W:\PROJECTS\2022-2023\2278 RV\2278.dwg: Building: 10/11/2023 3:43 PM
 02/24/22 10:00 AM



SOUTH ELEVATION

3/32" = 1



ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:
ABQ RV + BOAT STORAGE + CAMPSITE FACILITY
 2201 VISTA ORIENTE NW, ALBUQUERQUE, NM

SHEET TITLE:

ELEVATION

NO.	REVISION	DATE
1	DFT CODE ENFORCEMENT COMMENTS (NEW SHEET)	7/20/23

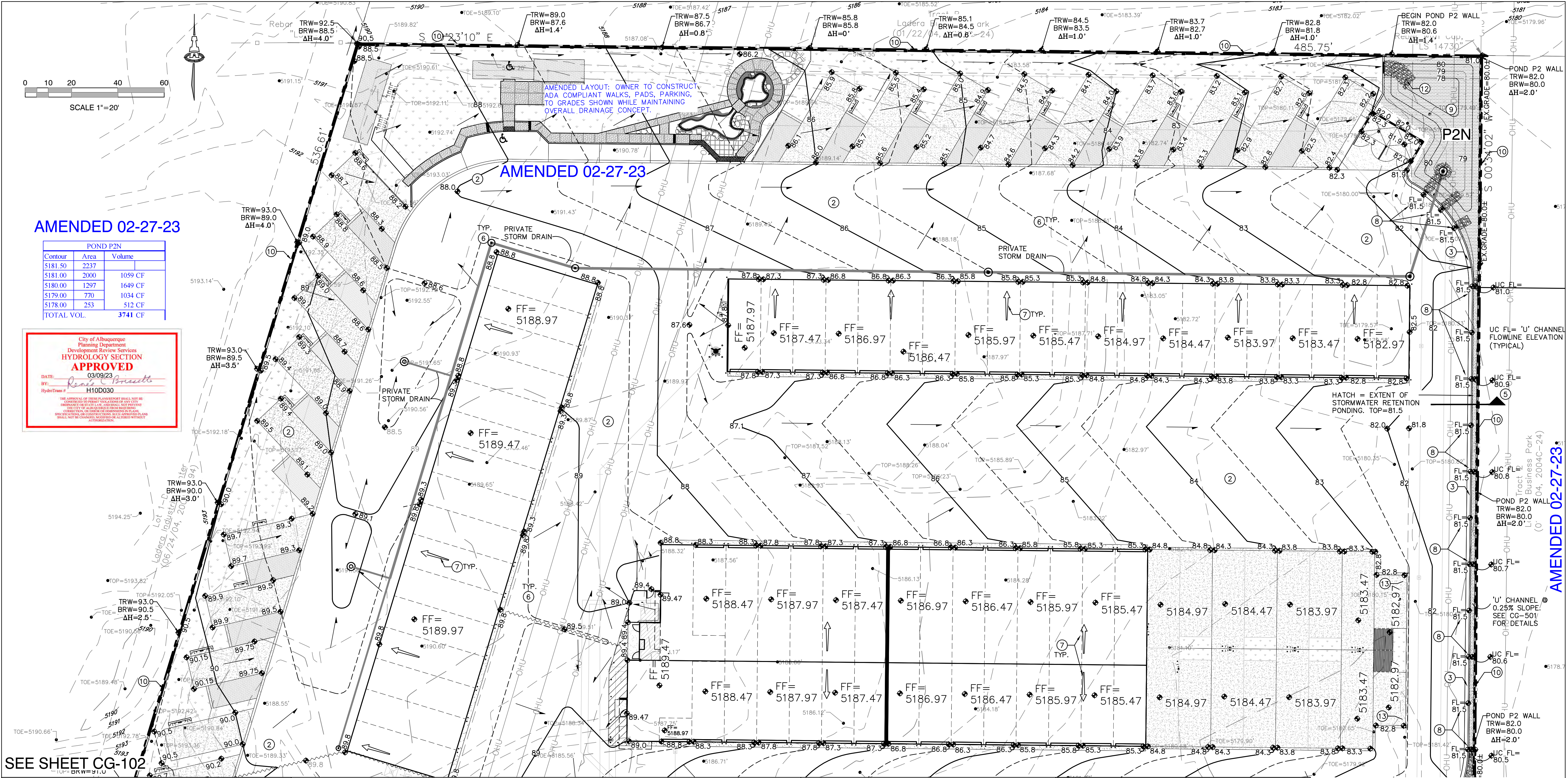
ARCHITECT STAMP CONSULTANT STAMP DATE:



Kevin Jimm
 7-20-23

DATE:
7/20/23
 PROJECT NO.
1614
 SHEET NO.

AS-201



AMENDED 02-27-23

POND P2N		
Contour	Area	Volume
5181.50	2237	
5181.00	2000	1059 CF
5180.00	1297	1649 CF
5179.00	770	1034 CF
5178.00	253	512 CF
TOTAL VOL.		3741 CF

City of Albuquerque
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 03/09/23
BY: *Renee Brummett*
HydroTeam # H10D030

THE APPROVAL OF THESE DRAWINGS SHALL NOT BE CONSIDERED TO BE A GUARANTEE OF ANY CITY, COUNTY, STATE OR FEDERAL AGENCY. THE CITY OF ALBUQUERQUE, NEW MEXICO, DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THESE DRAWINGS SHALL NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF ISAACSON & ARFMAN, P.A.

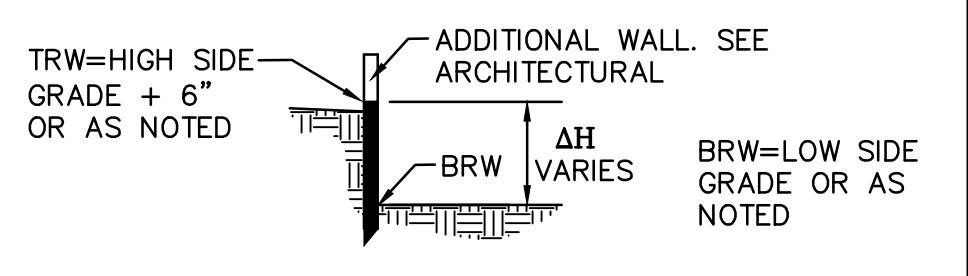
SEE SHEET CG-102

S.O.19 : NOTICE TO CONTRACTORS

- PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY**
- Build sidewalk culvert per COA STD DWG 2236.
 - Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
 - An excavation permit will be required before beginning any work within City Right-Of-Way.
 - All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
 - Two working days prior to any excavation, the contractor must contact **New Mexico One Call, dial "811"** [or (505) 260-1990] for the location of existing utilities.
 - Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
 - Backfill compaction shall be according to traffic/street use.
 - Maintenance of the facility shall be the responsibility of the owner of the property being served.
 - Work on arterial streets may be required on a 24-hour basis.
 - Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

KEYED NOTES

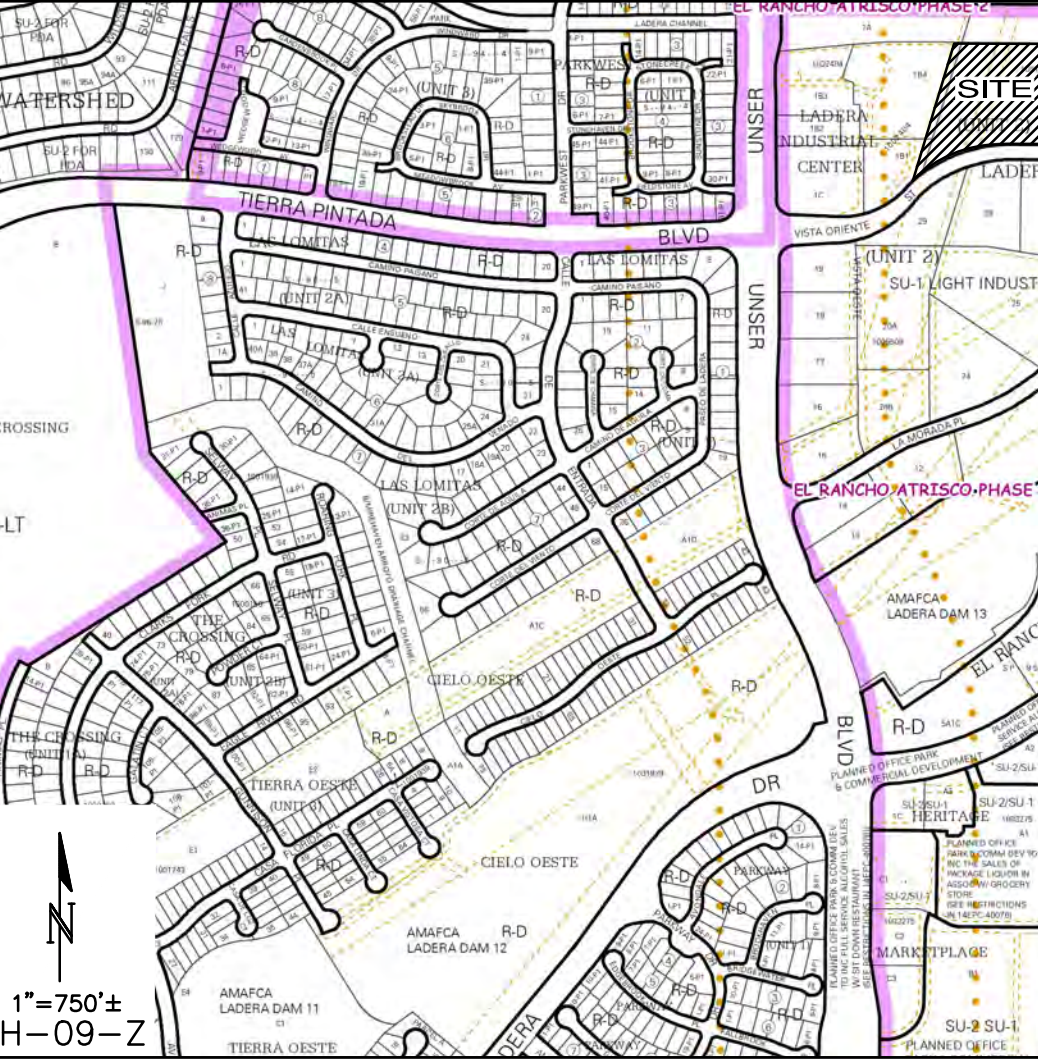
- KEYED NOTES ARE REFERENCED ON SHEETS CG-101 AND CG-102. NOT ALL NOTES ARE USED ON EACH SHEET.
- CONSTRUCT ENTRANCE DRIVES, CONCRETE VALLEY GUTTER, PUBLIC SIDEWALK, AND ADA COMPLIANT RAMPS PER COA STD. DETAILS AND SPECIFICATIONS. SEE CP-101 FOR ADDITIONAL INFORMATION.
 - CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN. SEE CP-101 FOR ADDITIONAL INFORMATION FOR MATERIAL, EXTENTS, JOINTS, AND PAVING SECTIONS.
 - CONSTRUCT 6" HIGH CURB (HEADER OR MEDIAN CURB AND GUTTER - OWNER'S OPTION). NOTE: ENGINEER RECOMMENDS MEDIAN CURB AND GUTTER FOR CONCENTRATED FLOWPATHS.
 - CONSTRUCT 2' WIDE CONC. ALLEY GUTTER. SEE CG-501 FOR SECTION.
 - SEE CG-501 FOR SECTION THROUGH EAST PROPERTY LINE.
 - 0.5' DESIGN CONTOURS ARE SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT.
 - BUILDING AND OVERHEAD CANOPY ROOF DISCHARGE DIRECTION. (OWNER'S OPTION - ENGINEER RECOMMENDS CONCRETE SPLASHPAD FOR CONCENTRATED ROOF DISCHARGE TO ASPHALT PAVEMENT.) SEE BUILDING PLANS FOR SPECIFIC ROOF DISCHARGE INFORMATION.
 - PROVIDE 2' WIDE OPENING(S) IN CURB TO PASS FLOW. INSTALL 4'X4'X8" DEEP ROCK EROSION PROTECTION AT CURB OPENINGS.
 - CONSTRUCT STORMWATER QUALITY RETENTION POND AT ELEVATIONS AND VOLUMES SHOWN. ALL STORMWATER QUALITY PONDING VOLUMES REQUIRE VERIFICATION AS PART OF AS-BUILT ENGINEER'S CERTIFICATION PROCEDURE. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE.
 - CONSTRUCT PERIMETER RETAINING/PRIVACY WALLS TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR DETAILS, ADDITIONAL WALL HEIGHT, FOOTING, GUARDRAIL, REINFORCING, ETC. NO STRUCTURE OR FOOTING MAY BE CONSTRUCTED ON ADJACENT PROPERTIES WITHOUT ADJACENT PROPERTY OWNER PERMISSION.
 - SEE CG-102 FOR ENLARGED PLAN OF OUTFALL TO VISTA ORIENTE STREET NW.
 - SEE CG-501 FOR ROCK EROSION PROTECTION DETAIL.
 - COORDINATE GRADE TRANSITION WITH OWNER. TYPICAL.



LEGEND

- 5105.85' EXISTING SPOT ELEVATION
- - - 5110 - - - EXISTING CONTOUR
- - - 12 - - - PROPOSED CONTOUR (1' INCREMENT)
- - - 10.5 - - - PROPOSED CONTOUR (0.5' INCREMENT)
- ◆ 08.9 PROPOSED SPOT ELEVATION
- FLOW ARROW
- ▨ PROPOSED STORMWATER QUALITY RETENTION POND LIMITS
- ← ROOF / CANOPY DISCHARGE DIRECTION
- ~ GRADE BREAK
- ▨ EROSION CONTROL (TO EXTENTS SHOWN)
- ▬ PERIMETER RETAINING WALL (>16" RETAINING)
- ▬ PERIMETER WALL (<16" RETAINING)

VICINITY MAP



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaacson.com

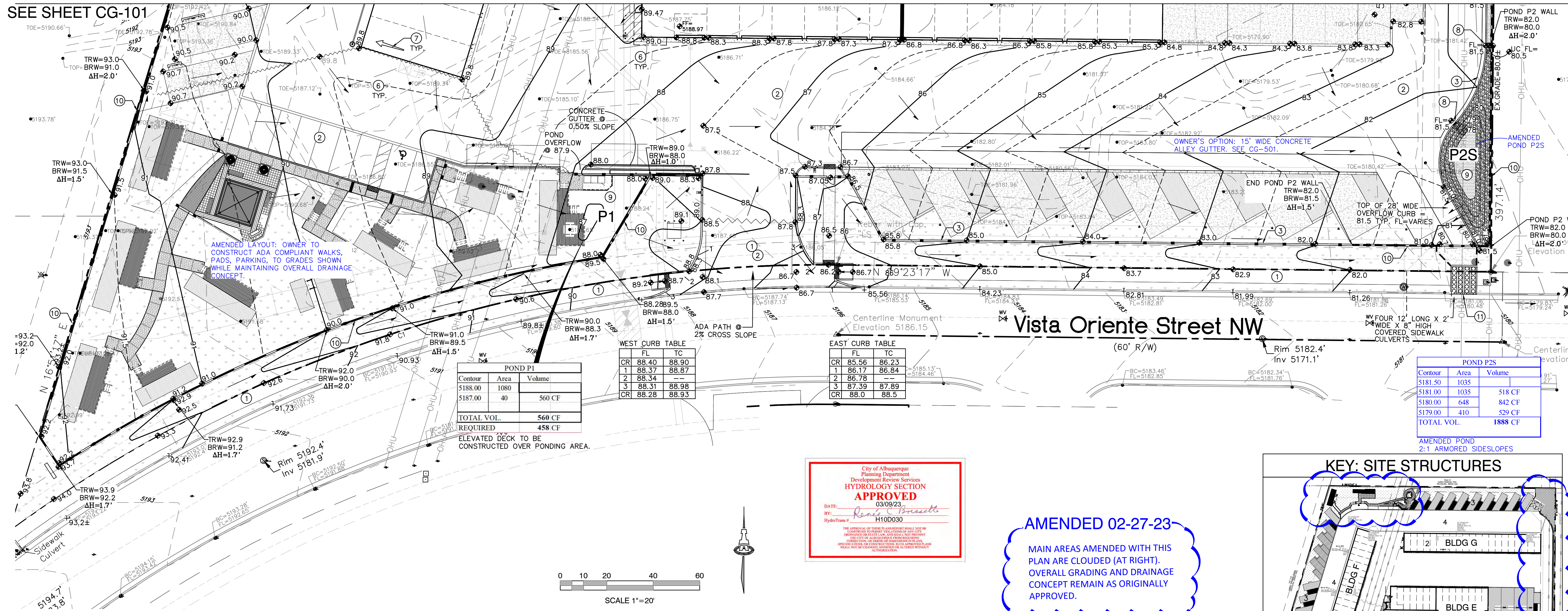
2278 CG-101 NOMAD.dwg Feb 27, 2023

ABQ RV & BOAT STORAGE
LADERA ENTERPRISES LLC

GRADING & DRAINAGE PLAN 1 OF 2

Date:	09-29-21	No. Revision:	3	Date:	07/08/21	Job No.:	2278
Drawn By:	BJB	4. ADD RV DUMP	07/12/21	CG-101			
Ckd By:	FCA	5. REROUTE WTR LINES	08/10/21				
		6. REVISE SAS INV / ALIGN	08/24/21				
		7. SITE PLAN REVISIONS	02/24/22	SH. OF			

SEE SHEET CG-101



POND P1

Contour	Area	Volume
5188.00	1080	
5187.00	40	560 CF
TOTAL VOL.		560 CF
REQUIRED		458 CF

WEST CURB TABLE

CR	FL	TC
1	88.40	88.90
2	88.37	88.87
3	88.34	88.84
CR	88.28	88.93

EAST CURB TABLE

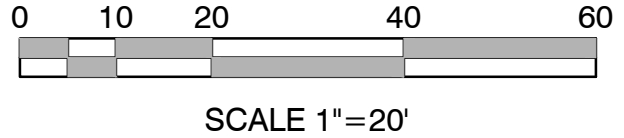
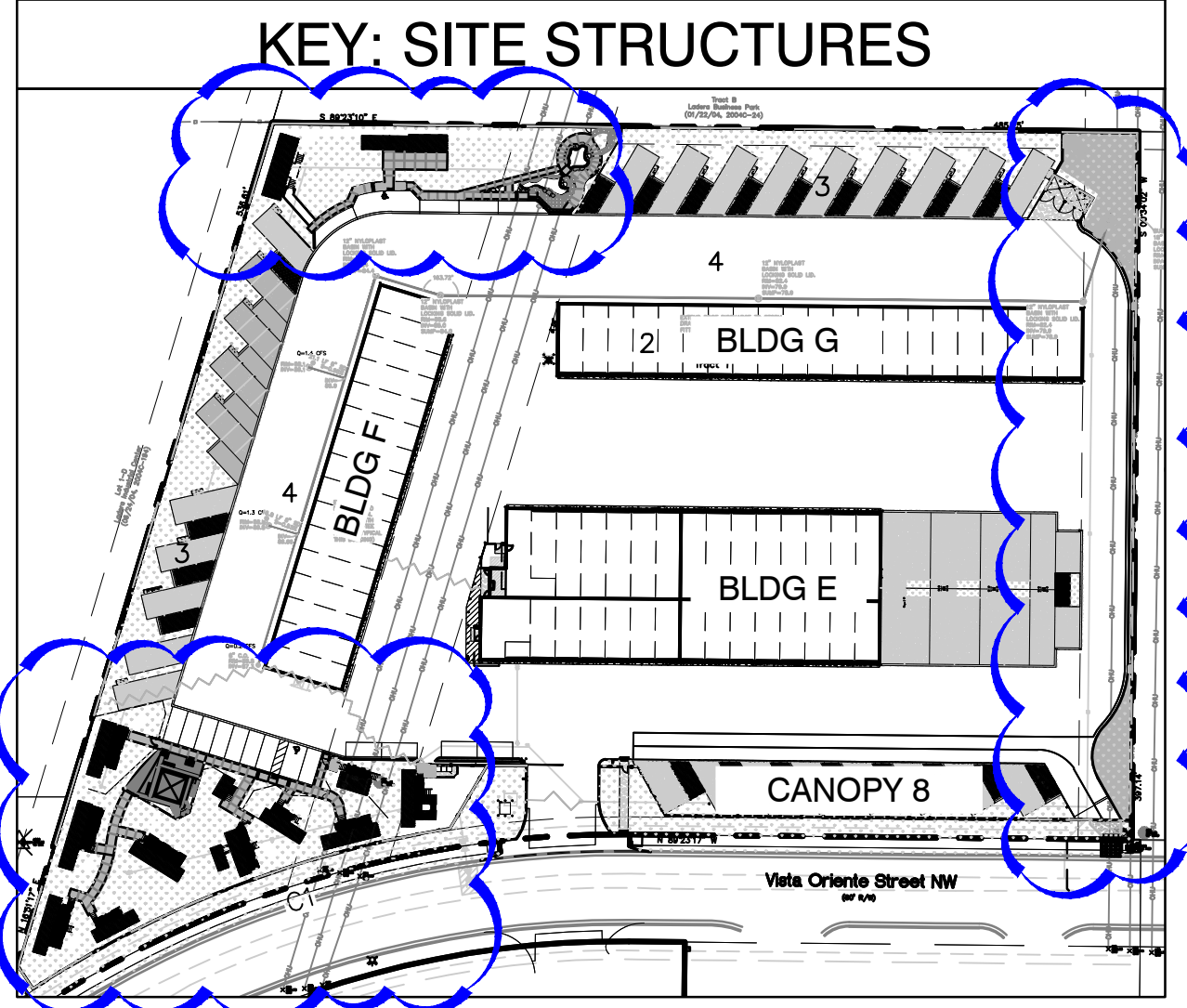
CR	FL	TC
1	85.56	86.23
2	86.17	86.84
3	86.78	87.45
CR	87.39	87.89
CR	88.0	88.5

POND P2S

Contour	Area	Volume
5181.50	1035	
5181.00	1035	518 CF
5180.00	648	842 CF
5179.00	410	529 CF
TOTAL VOL.		1888 CF



AMENDED 02-27-23
 MAIN AREAS AMENDED WITH THIS PLAN ARE CLOUDED (AT RIGHT). OVERALL GRADING AND DRAINAGE CONCEPT REMAIN AS ORIGINALLY APPROVED.

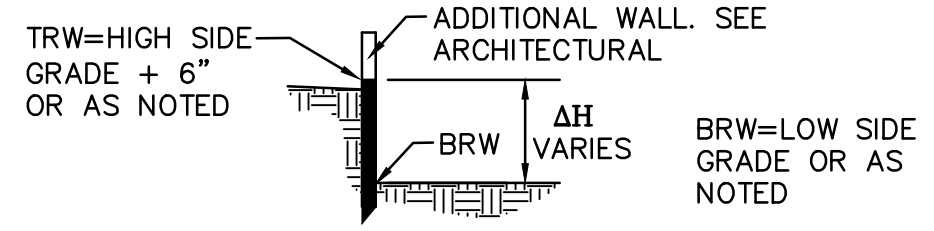


LEGEND

- 5105.65' EXISTING SPOT ELEVATION
- - - 5110 - - - EXISTING CONTOUR
- 12 — PROPOSED CONTOUR (1' INCREMENT)
- - - 10.5 - - - PROPOSED CONTOUR (0.5' INCREMENT)
- 08.9 PROPOSED SPOT ELEVATION
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- ▨ PROPOSED STORMWATER QUALITY RETENTION POND LIMITS
- ← ROOF / CANOPY DISCHARGE DIRECTION
- ~ GRADE BREAK
- ▨ EROSION CONTROL (TO EXTENTS SHOWN)
- ▬▬▬ PERIMETER RETAINING WALL (>16" RETAINING)
- ▬▬▬ PERIMETER WALL (<16" RETAINING)

KEYED NOTES

- CONSTRUCT ENTRANCE DRIVES, CONCRETE VALLEY GUTTER, PUBLIC SIDEWALK, AND ADA COMPLIANT RAMPS PER COA STD. DETAILS AND SPECIFICATIONS. SEE CP-101 FOR ADDITIONAL INFORMATION.
- CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN. SEE CP-101 FOR ADDITIONAL INFORMATION FOR MATERIAL, EXTENTS, JOINTS, AND PAVING SECTIONS.
- CONSTRUCT 6" HIGH CURB (HEADER OR MEDIAN CURB AND GUTTER - OWNER'S OPTION). NOTE: ENGINEER RECOMMENDS MEDIAN CURB AND GUTTER FOR CONCENTRATED FLOWPATHS.
- CONSTRUCT 2' WIDE CONC. ALLEY GUTTER. SEE CG-501 FOR SECTION.
- SEE CG-501 FOR SECTION THROUGH EAST PROPERTY LINE.
- 0.5' DESIGN CONTOURS ARE SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT.
- BUILDING AND OVERHEAD CANOPY ROOF DISCHARGE DIRECTION. (OWNER'S OPTION - ENGINEER RECOMMENDS CONCRETE SPLASHPAD FOR CONCENTRATED ROOF DISCHARGE TO ASPHALT PAVEMENT.) SEE BUILDING PLANS FOR SPECIFIC ROOF DISCHARGE INFORMATION.
- PROVIDE 2' WIDE OPENING(S) IN CURB TO PASS FLOW. INSTALL 4"x4"x8" DEEP ROCK EROSION PROTECTION AT CURB OPENINGS.
- CONSTRUCT STORMWATER QUALITY RETENTION POND AT ELEVATIONS AND VOLUMES SHOWN. ALL STORMWATER QUALITY PONDING VOLUMES REQUIRE VERIFICATION AS PART OF AS-BUILT ENGINEER'S CERTIFICATION PROCEDURE. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE.
- CONSTRUCT PERIMETER RETAINING/PRIVACY WALLS TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR DETAILS, ADDITIONAL WALL HEIGHT, FOOTING, GUARDRAIL, REINFORCING, ETC. NO STRUCTURE OR FOOTING MAY BE CONSTRUCTED ON ADJACENT PROPERTIES WITHOUT ADJACENT PROPERTY OWNER PERMISSION.



PROJECT DATA

PROPERTY: THE SITE IS A 5.22 ACRE, UNDEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP H-09. THE SITE IS BOUND TO THE LADERA CHANNEL, TO THE WEST AND EAST BY UNDEVELOPED LAND, AND TO THE SOUTH BY VISTA ORIENTE ST NW.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE SELF STORAGE BUILDINGS AND OUTDOOR RV STORAGE WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING AND LANDSCAPING.

PROPERTY ADDRESS: 2201 VISTA ORIENTE ST. NW, ALBUQUERQUE, 87120

LEGAL: TRACT 1, LADERA BUSINESS PARK, UNIT 2, CITY OF ALBUQUERQUE, BERNALILLO CNTY, NM.

BENCHMARK: BRASS CAP STAMPED "2-H, 1980", ON THE WEST MESA UNDER POWER LINES RUNNING NE/SW, 0.2 MI. NORTH OF LADERA DR. NW, 111FT. WEST OF THE CENTERLINE OF UNSER BLVD., IN THE MIDDLE OF A SET OF POWERPOLES.

OFF-SITE FLOW: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0326J, THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE FOR THIS TRACT WAS INCLUDED IN THE LADERA BUSINESS PARK MASTER DRAINAGE REPORT (MDR) BY MARK GOODWIN & ASSOCIATES DATED 11-21-02. PER THE MDR, THIS PROPERTY (DESIGNATED AS BASIN B-1) IS PERMITTED FREE DISCHARGE.

ENGINEER: FRED C. ARFMAN: NMPE 7322 - ISAACSON & ARFMAN, PA 128 MONROE NE 87108 - (505) 268-8828

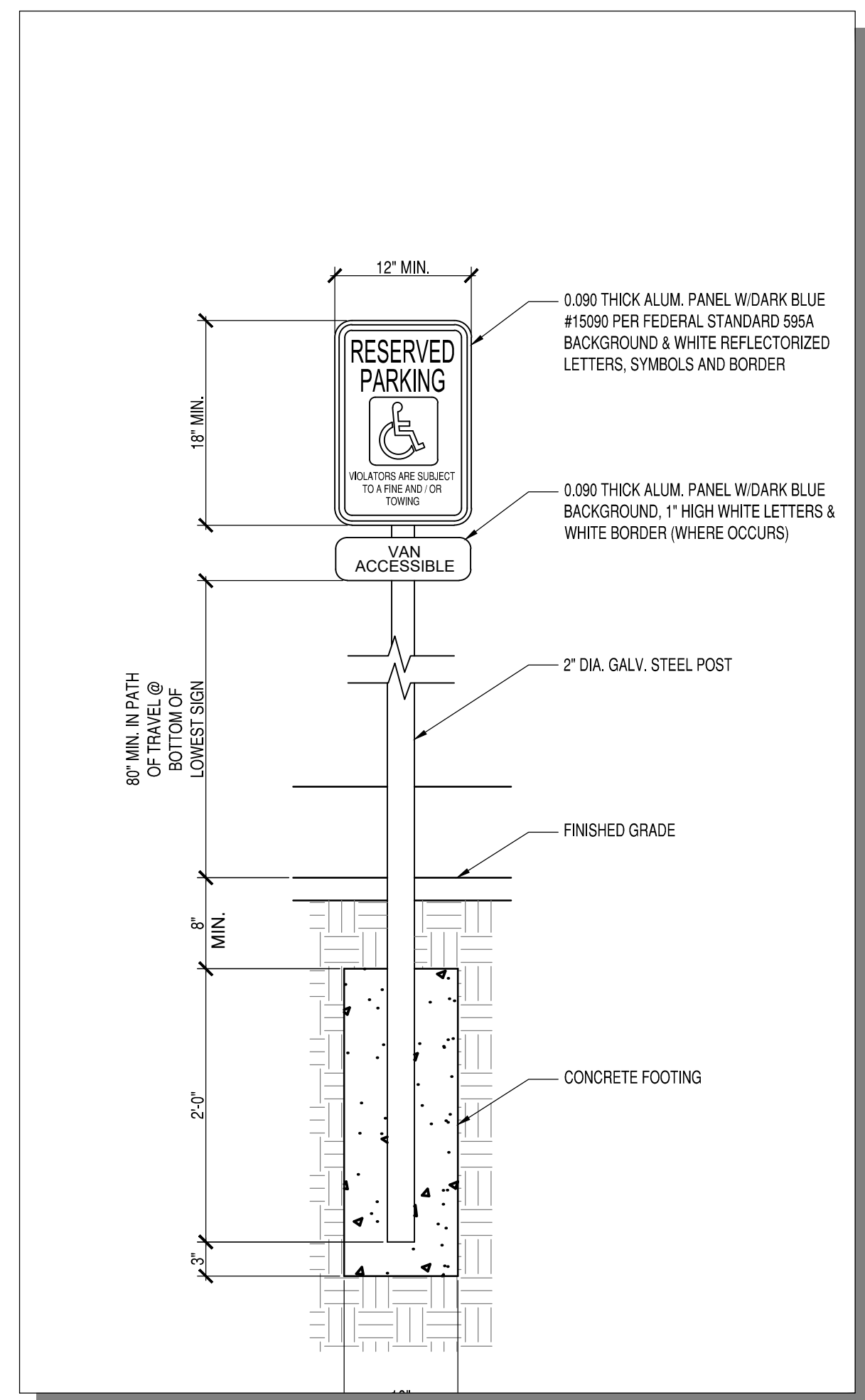
SURVEYOR: WILL PLOTNER JR.: NMPS NO. 14271 - CARTESIAN SURVEYS INC P.O. BOX 44414 RIO RANCHO, NM 87174 - (505) 891-0244

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.isacil.com

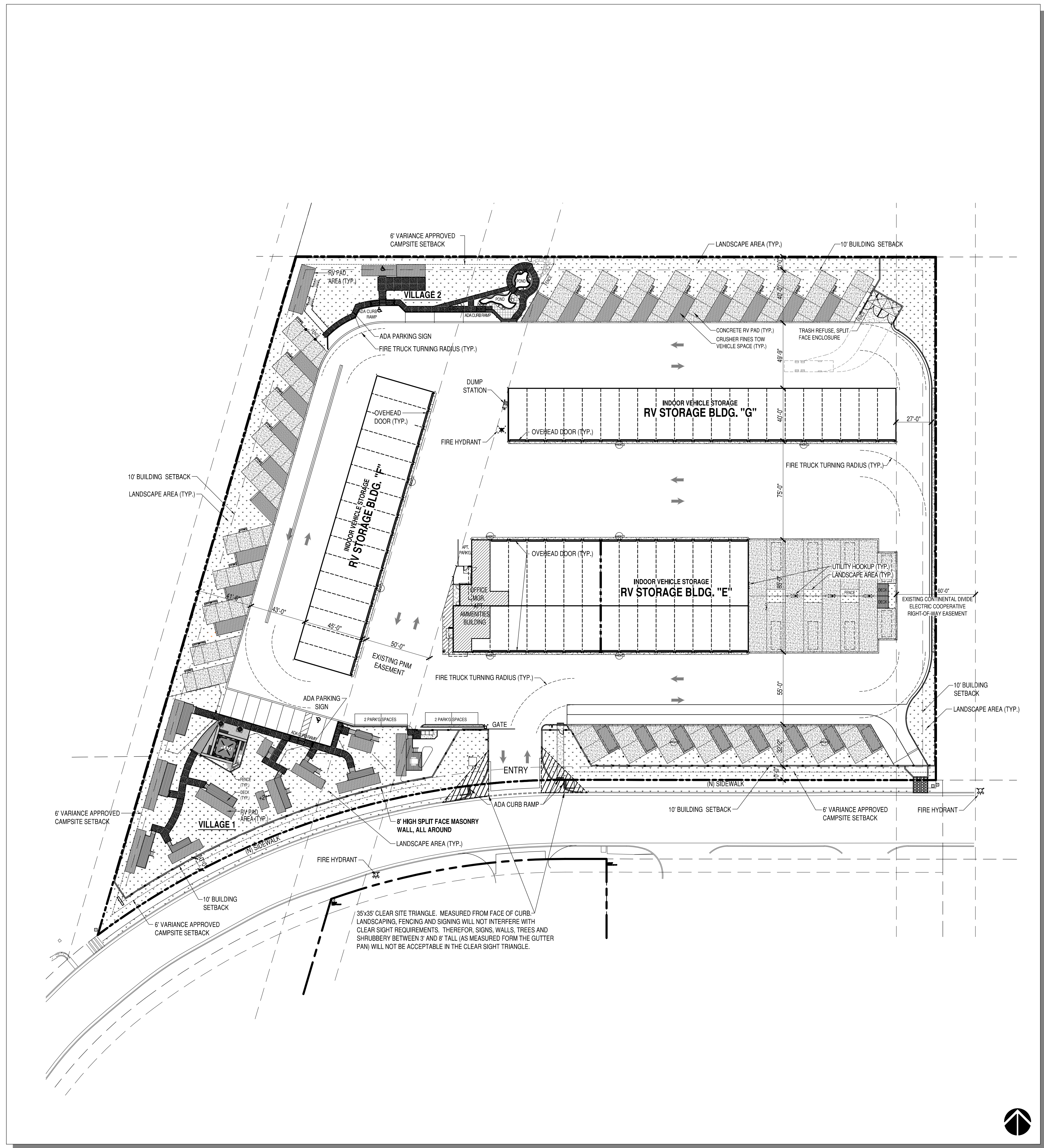
ABQ RV & BOAT STORAGE
 LADERA ENTERPRISES LLC

GRADING & DRAINAGE PLAN 2 OF 2

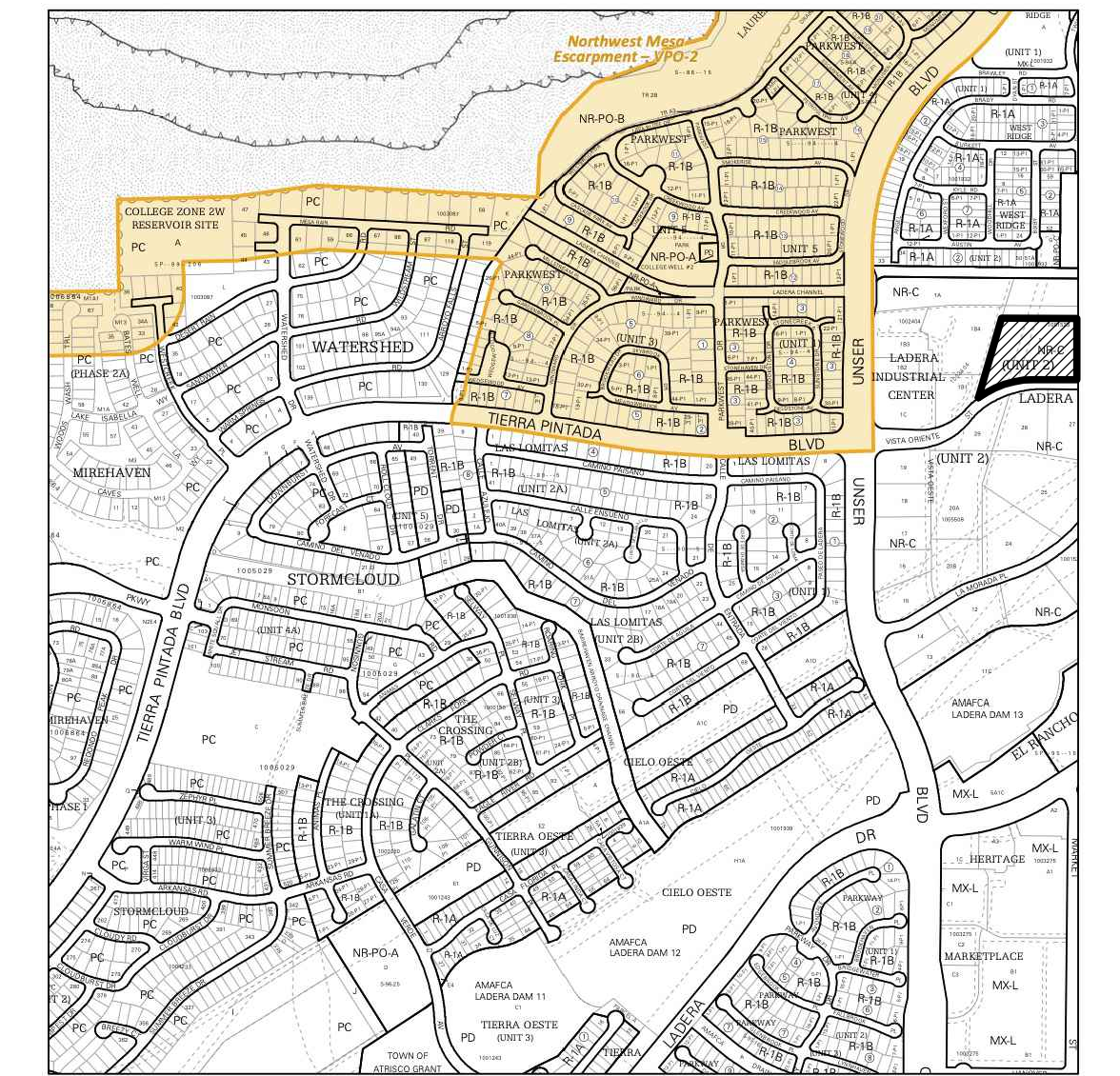
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09-09-21			2278	
Drawn By:	3 SITE PLAN REVISIONS	07/08/21	CG-102	
	4 ADD RV DUMP	07/12/21		
	5 REROUTE WTR LINES	08/10/21		
	6 REVISE SAS INV / ALIGN	08/24/21		
	7 SITE PLAN REVISIONS	02/24/22		
Ckd By:				SH OF
FCA				



TCL ADA PARKING SIGN **2**
 1" = 1'-0" **TCL-101**



TRAFFIC CONTROL LAYOUT **1**
 1" = 40' **TCL-101**



IDO Zone Atlas
 May 2018

Zone Atlas Page: **H-09-Z**

AGIS

IDO Zoning Information as of May 17, 2018. The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

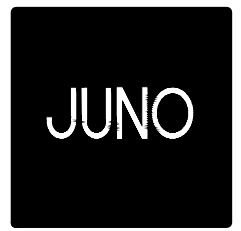
Legend:
 - Easement
 - Escarpment
 - Pecos National Monument
 - Area Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone

SITE CRITERIA

PROJECT: ALBUQUERQUE RV + BOAT STORAGE + CAMPSITES
ADDRESS: 2201 VISTA ORIENTE NW
OWNER: LADERA ENTERPRISES LLC
LEGAL DESCRIPTION: TRACT 1 UNIT 2 LADERA BUSINESS PARK
TOTAL LOT AREA: 5.215 ACRES
ZONING MAP: H-9-Z
CURRENT ZONING CLASSIFICATION: NR-C LIGHT INDUSTRIAL
BUILDING TYPE: II B. (NFPA 13D SPRINKLERED FOR R3 (APARTMENT) FIRE AREA)
TOTAL BUILDING AREA:

BUILDING E:	18,489 SF
EXISTING BUILDING F:	10,080 SF
EXISTING BUILDING G:	11,760 SF
TOTAL	40,329 SF

NUMBER OF INDOOR RV STORAGE UNITS: 65
NUMBER OF NOMADLAND RV CAMPSITE SPACES: 36
NUMBER OF VILLAGE 1 & 2 CAMPSITE SPACES: 13
NUMBER OF PARKING SPACES: FOR CAMPGROUND OR RECREATIONAL VEHICLE PARK
 1 SPACE PER DESIGNATED CAMPING OR RV SPOT;
 52 SPACES PROVIDED (49 REQUIRED)
MANAGER APARTMENT PARKING SPACE: 1 SPACE PROVIDED (1 REQUIRED)



ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:
ABQ RV + BOAT STORAGE + CAMPSITE FACILITY
2201 VISTA ORIENTE NW, ALBUQUERQUE, NM

SHEET TITLE:
TRAFFIC CONTROL LAYOUT

NO.	REVISION	DATE

ARCHITECT STAMP	CONSULTANT STAMP	DATE:
		7/20/23
		PROJECT NO.
		1614
		SHEET NO.
		TCL-101

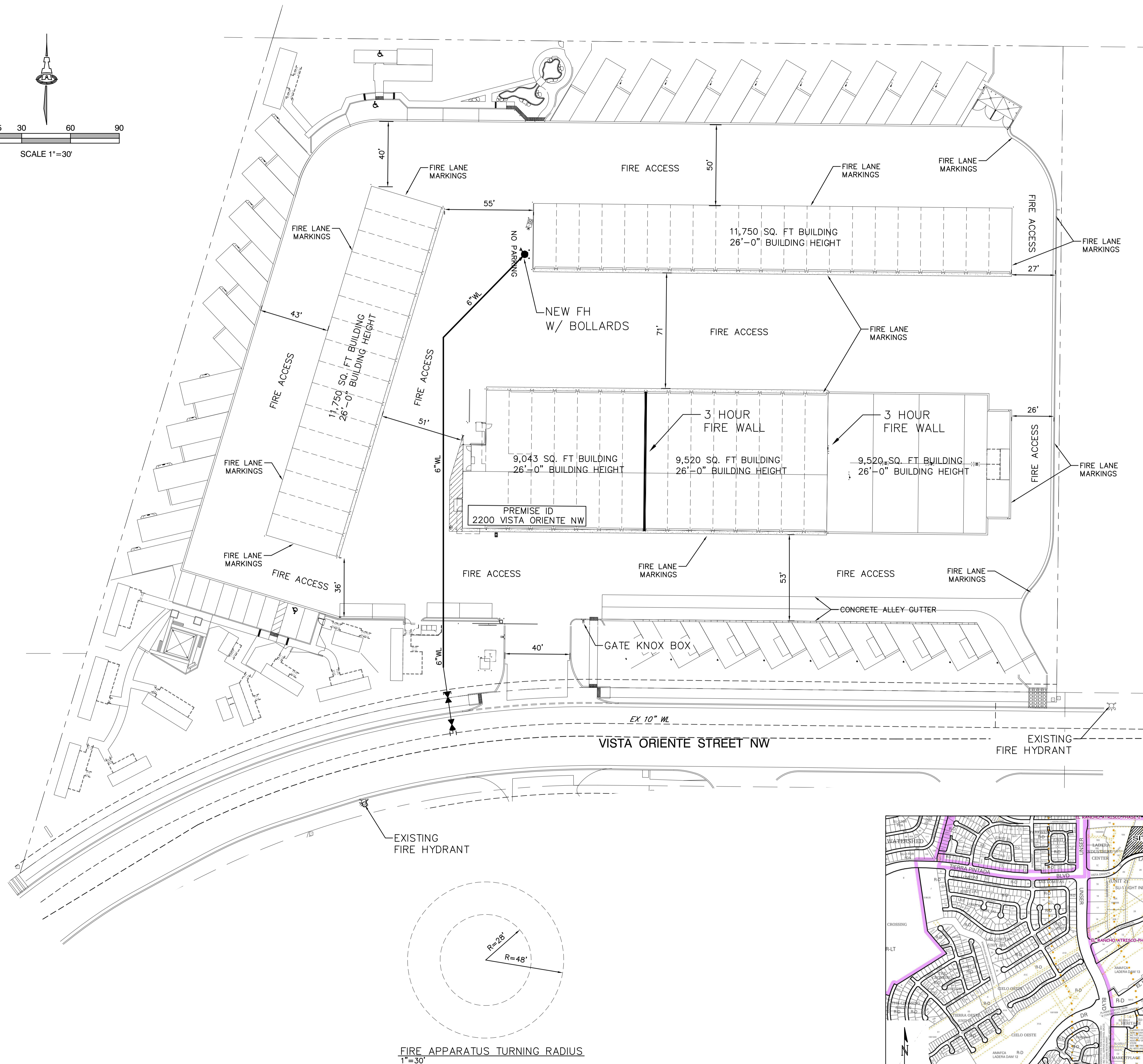
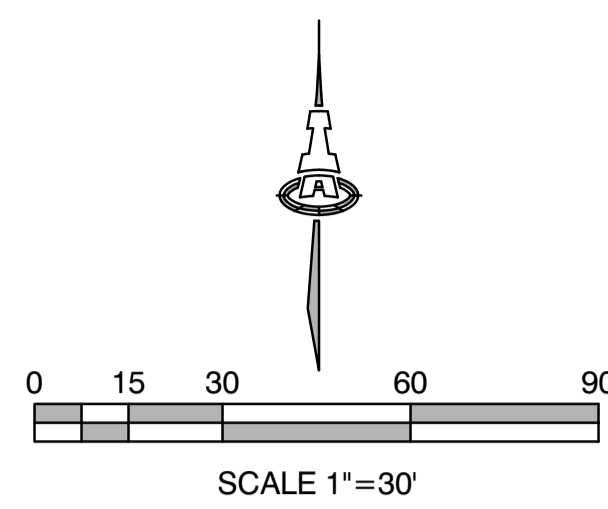
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**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**
PERMIT
PERMIT NUMBER: FP 21-005153
APPROVED DATE: 03/08/23
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: 2250GPM, 2 HYDRANTS, IIB CONSTRUCTION



2200 VISTA ORIENTE N.W.,
ALBUQUERQUE, NM 87120
PREVIOUS FIRE 1 PLAN 21-005153

1-28,083 SQ. FT BUILDING
TYPE 2B CONSTRUCTION
NON-SPRINKLED
FIRE FLOW = 3,500 GPM
SEPARATED INTO 3 SEPARATE SECTIONS BY
3 HOUR FIRE WALLS.
PER IBC 707.3.10
2-9,520 SQ FT SECTIONS
FIRE FLOW = 2,000 GPM
1-9,043 SQ FT SECTION
FIRE FLOW = 2,000 GPM
OCCUPANCY GROUP - STORAGE GROUP S1

26'-0" BUILDING HEIGHT

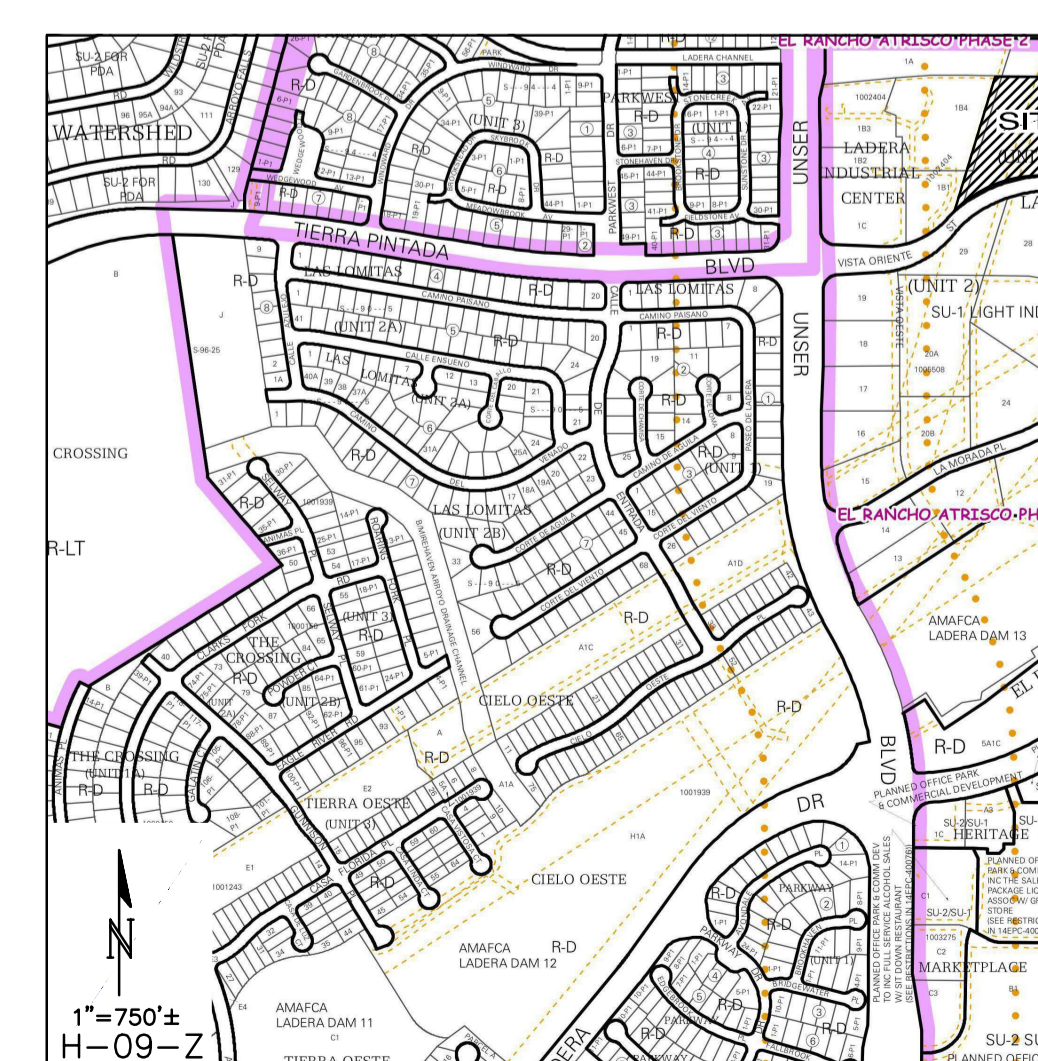
2-11,750 SQ. FT BUILDINGS
TYPE 2B CONSTRUCTION
NON-SPRINKLED
FIRE FLOW = 2,250 GPM
OCCUPANCY GROUP - STORAGE GROUP S1

26'-0" BUILDING HEIGHT

1 EXISTING FIRE HYDRANT NEAR SITE.
1 PROPOSED FIRE HYDRANTS ON SITE.

ALL ACCESS ROADS AND FIRE LANES HAVE
GRADES LESS THAN 10% AND A LOAD
CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE LANES WILL
ACCOMMODATE A 28' MINIMUM TRUCK
TURNING RADIUS.



2278 ABQ RV STORAGE FIRE 1.00 07.2023			
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ABQ RV & BOAT STORAGE			
EMERALD PROPERTIES, LLC			
FIRE HYDRANT LOCATION AND ACCESS PLAN			
Date: 03-2023	No. Revision:	Date:	Job No. 2278
Drawn By: DEC			FIRE 1
Ckd By: FCA			SH.1 OF 1



PR-2021-005492_SI-2023-00617_Site_Plan_Approved_10-12-23_Sheet_1

Final Audit Report

2023-10-18

Created:	2023-10-12
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAK1g67ebgrbZG0m--gz-nRwwZPEDaKA4C

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 Agreement completed.

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