

# SITE USAGE CHART

NOTE: UNLESS NOTED OTHERWISE, BUILDINGS, DRIVEWAYS, RAMP SPACES ETC. ARE PER PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN.

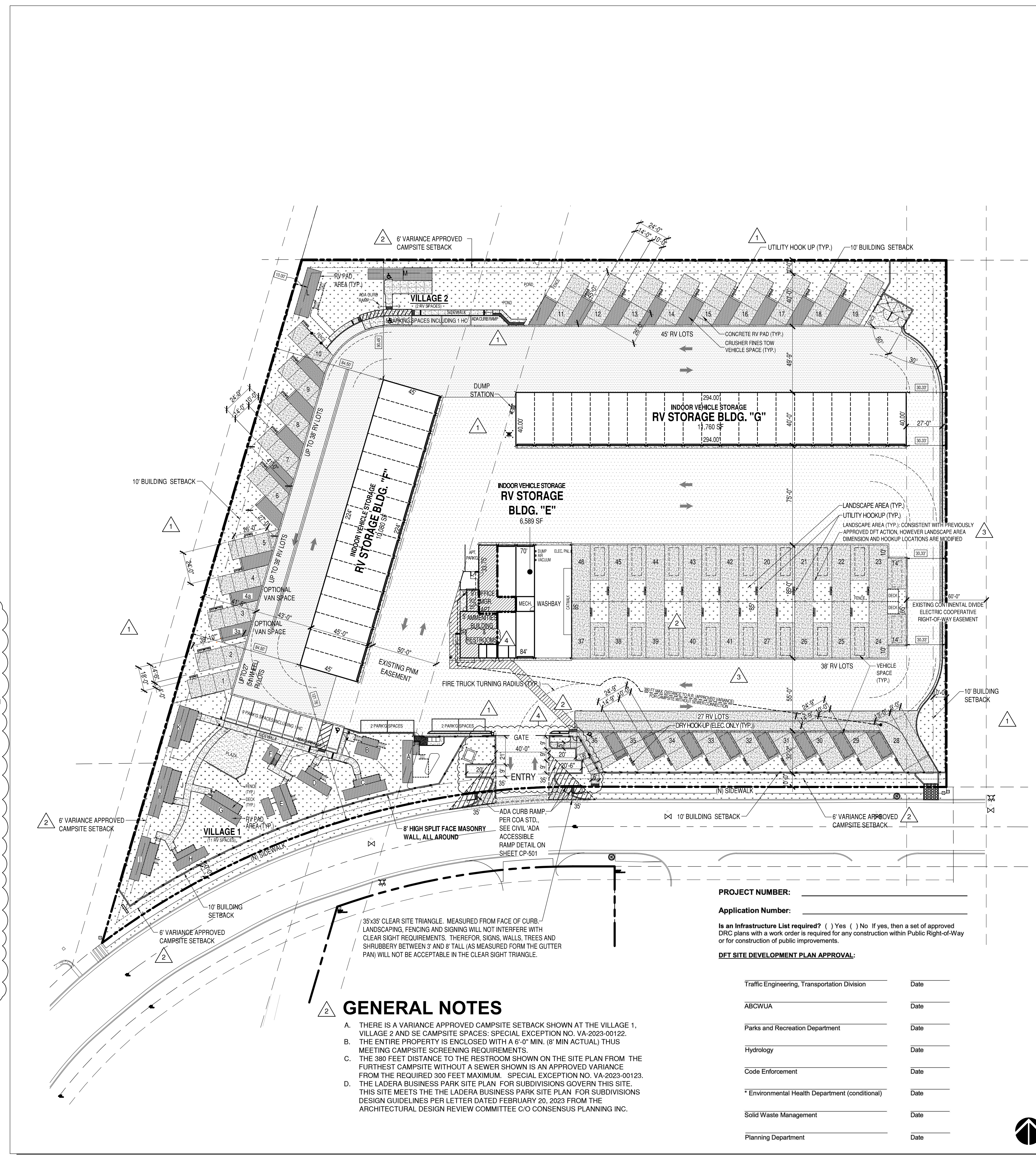
SPACE	CAMPSITE		UTILITIES PROVIDED	
	EXISTING (APPROVED)	REVISED	ELECTRIC & WATER-SEWER	ELECTRIC ONLY
1	X		X	
2	X		X	
3	X		X	
4	X		X	
5	X		X	
6	X		X	
7	X		X	
8	X		X	
9	X		X	
10	X		X	
11	X		X	
12	X		X	
13	X		X	
14	X		X	
15	X		X	
16	X		X	
17	X		X	
18	X		X	
19	X		X	
20		X		
21		X		
22		X		
23		X		
24		X		
25		X		
26		X		
27		X		
28		X		X
29		X		X
30		X		X
31		X		X
32		X		X
33		X		X
34		X		X
35		X		X
36		X		X
37		X	X	
38		X	X	
39		X	X	
40		X	X	
41		X	X	
42		X	X	
43		X	X	
44		X	X	
45		X	X	
46		X	X	
A		X	X	
B		X	X	
C		X	X	
D		X	X	
E		X	X	
F		X	X	
G		X	X	
H		X	X	
I		X	X	
J		X	X	
K		X	X	
L		X	X	
M		X	X	

### CAMPGROUND USE SPECIFIC STANDARDS (INTEGRATED DEVELOPMENT ORDINANCE AS OF AUGUST 2024)

- 4-3(D)(14) Campground or Recreational Vehicle Park
- 4-3(D)(14)(a) Minimum project size for a campground or recreational vehicle park is 1 acre.
- 4-3(D)(14)(b) The maximum gross density within a campground shall be 25 camp sites per acre. Land that is not accessible to campers shall not be included in the calculation of gross density.
- 4-3(D)(14)(c) All recreational vehicles or tents parked or attached to the ground for use as an overnight accommodation shall be on a camp site.
- 4-3(D)(14)(d) Each camp site shall provide parking spaces of adequate size to accommodate the vehicles allowed at the site. Each parking space shall be constructed so that no portion of the vehicle it is designed for shall extend onto any drive aisle within the campground.
- 4-3(D)(14)(e) Camp sites shall be set back a minimum of 20 feet from each property line.
- 4-3(D)(14)(f) Camp sites shall be screened on all sides by an opaque wall or vegetative screen at least 6 feet high unless they are set back at least 100 feet from any property line abutting a street.
- 4-3(D)(14)(g) This use shall be serviced by a private street system providing safe and convenient access to all camp sites or RV spaces, which shall be paved as required for off-street parking regulations in the DPM.
- 4-3(D)(14)(h) Water-flush toilets and urinals shall be provided and shall not be more than 300 feet in any direction of any camp site without an individual sewer connection.
- 4-3(D)(14)(i) Toilets and lavatories shall be provided as required by with Articles 14-1 and 14-3 of ROA 1994 (Uniform Administrative Code and Technical Codes and Uniform Housing Code).
- 4-3(D)(14)(j) On any side of the premises adjacent to any Residential zone district, an opaque wall or fence at least 6 feet high is required.
- 4-3(D)(14)(k) A nonconforming campground and recreational vehicle park use constructed prior to the effective date of this IDO is allowed as a permissive primary use.

### COMPLIANCE WITH USE-SPECIFIC STANDARDS

- THE SITE IS 5.25 ACRES
- MAX. NUMBER OF CAMPSITE = 131 PROVIDED = 59
- COMPLIES
- COMPLIES
- COMPLIES
- COMPLIES
- COMPLIES
- COMPLIES
- COMPLIES
- COMPLIES
- N.A.



### GENERAL NOTES

- THERE IS A VARIANCE APPROVED CAMPSITE SETBACK SHOWN AT THE VILLAGE 1, VILLAGE 2 AND SE CAMPSITE SPACES: SPECIAL EXCEPTION NO. VA-2023-00122.
- THE ENTIRE PROPERTY IS ENCLOSED WITH A 6" OF MIN. (6' MIN ACTUAL) THUS MEETING CAMPSITE SCREENING REQUIREMENTS.
- THE 380 FEET DISTANCE TO THE RESTROOM SHOWN ON THE SITE PLAN FROM THE FURTHEST CAMPSITE WITHOUT A SEWER SHOWN IS AN APPROVED VARIANCE FROM THE REQUIRED 300 FEET MAXIMUM. SPECIAL EXCEPTION NO. VA-2023-00123.
- THE LADERA BUSINESS PARK SITE PLAN FOR SUBDIVISIONS GOVERN THIS SITE. THIS SITE MEETS THE THE LADERA BUSINESS PARK SITE PLAN FOR SUBDIVISIONS DESIGN GUIDELINES PER LETTER DATED FEBRUARY 20, 2023 FROM THE ARCHITECTURAL DESIGN REVIEW COMMITTEE C/O CONSENSUS PLANNING INC.

PROJECT NUMBER: \_\_\_\_\_

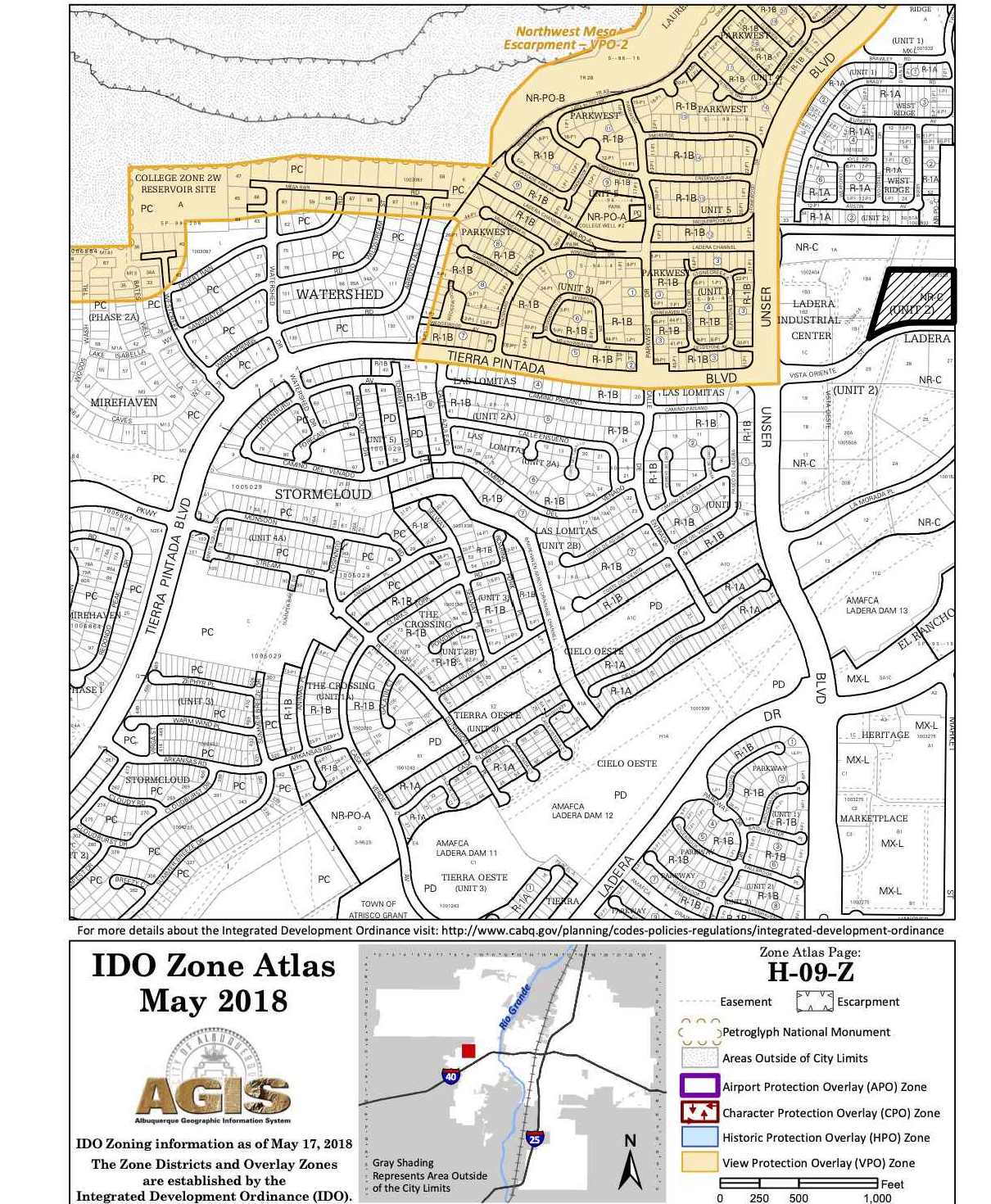
Application Number: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

# VICINITY MAP



### SITE DATA

- PROJECT: ALBUQUERQUE RV AND BOAT STORAGE  
 ADDRESS: 2201 VISTA ORIENTE NW  
 OWNER: LADERA ENTERPRISES LLC  
 LEGAL DESCRIPTION: TRACT 1 UNIT 2 LADERA BUSINESS PARK  
 TOTAL LOT AREA: 5.215 ACRES  
 ZONING MAP: H-9-Z  
 CURRENT ZONING CLASSIFICATION: NR-C LIGHT INDUSTRIAL  
 BUILDING TYPE: II B. (NFPA 13D SPRINKLERED FOR R3 (APARTMENT) FIRE AREA)  
 TOTAL BUILDING AREA:
- NEW BUILDING E CONFIGURATION: 6,589 SF (18,489 SF PREVIOUS APPROVAL) (27,773 SF ORIGINAL PERMIT NO. BP-2021-07160) (27,729 SF PREVIOUS PERMIT NO. BP-2022-07008)
  - EXISTING BUILDING F: 10,080 SF
  - EXISTING BUILDING G: 11,760 SF
  - TOTAL: 28,429 SF (40,329 SF PREVIOUS APPROVAL) (49,613 SF ORIGINAL)
  - CANOPY 8 REMOVED AND REPLACED WITH NOMADLAND RV SPACES (SEE BELOW)
  - NUMBER OF INDOOR RV STORAGE UNITS: 41 (65 PREVIOUS APPROVAL) (81 PREVIOUS)
  - NUMBER OF NOMADLAND RV CAMPSITE SPACES: 46 (36 PREVIOUS APPROVAL) (32 PREVIOUS)
  - NUMBER OF CANOPY COVERED RV SPACES: 0 (18 PREVIOUS)
  - NUMBER OF VILLAGE 1 & 2 CAMPSITE SPACES: 13 (13 RECONFIGURED / 13 PREVIOUS)
  - NUMBER OF OPEN RV VEHICLE STORAGE SPACES: 0 (4 PREVIOUS)
  - NUMBER OF PARKING SPACES: FOR CAMPGROUND OR RECREATIONAL VEHICLE PARK  
 1 SPACE PER DESIGNATED CAMPING OR RV SPOT;  
 52 SPACES PROVIDED (49 REQUIRED) (25 PREVIOUS)
  - MANAGER APARTMENT PARKING SPACE: 1 SPACE PROVIDED (1 REQUIRED) (SAME AS PREVIOUS)
  - DELIVERY PARKING: 3 SPACES



7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:  
**ABQ RV + BOAT STORAGE + CAMPSITE FACILITY**  
 2201 VISTA ORIENTE NW, ALBUQUERQUE, NM

### PROPOSED SITE PLAN REVISIONS

NO.	REVISION	DATE
1	SITE PLAN REVISIONS	2/21/23
2	DFT CODE ENFORCEMENT COMMENTS / GEN. REV.	7/13/23
3	SITE PLAN REVISION BUILDING 'E' AREA	10/14/24
4	DFT CODE ENFORCEMENT COMMENTS / GEN. REV.	11/25/24

ARCHITECT STAMP: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CONSULTANT STAMP: \_\_\_\_\_ DATE: \_\_\_\_\_

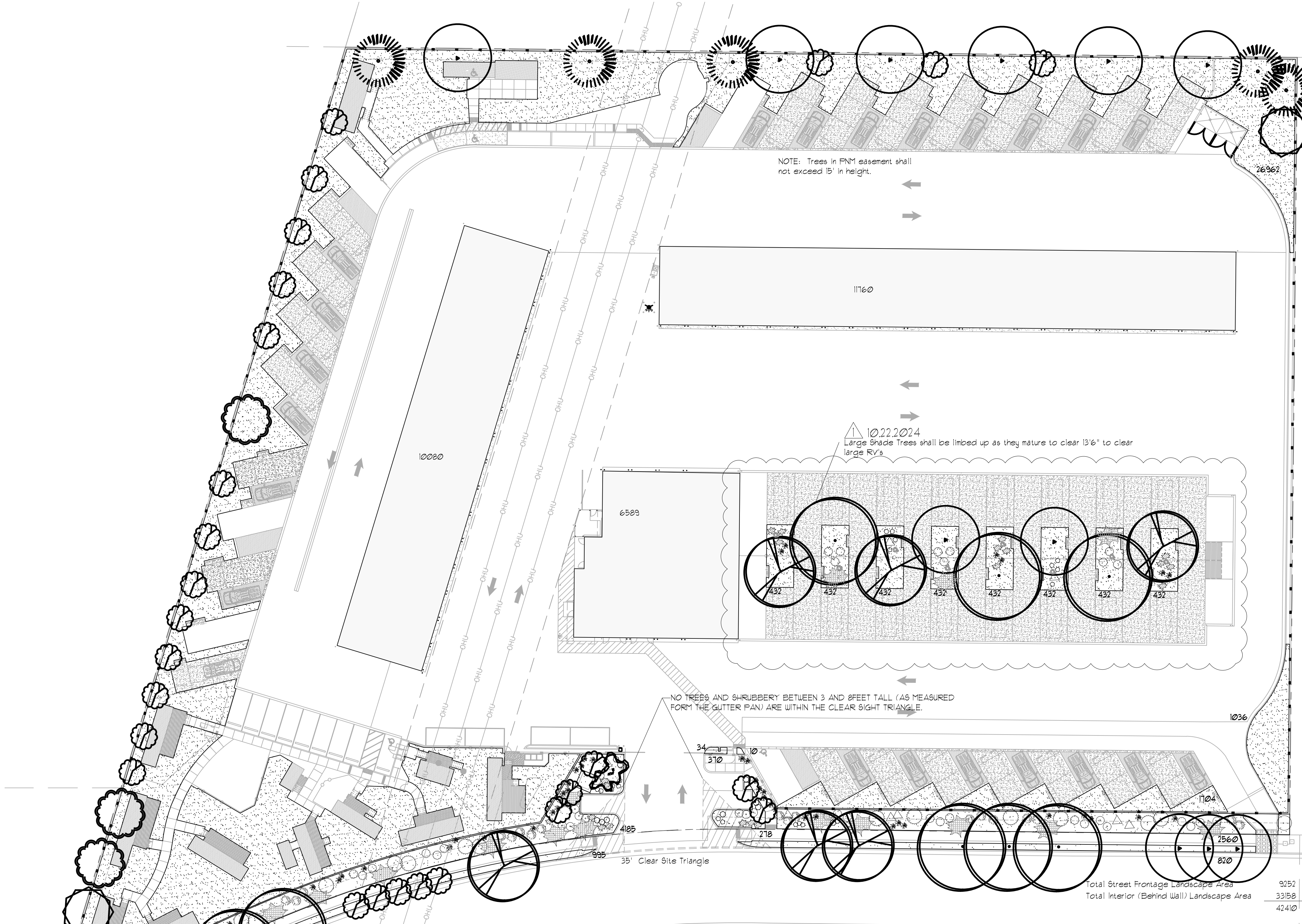


DATE: 2/24/23  
 PROJECT NO. 1614  
 SHEET NO. AA-SP-1

### PROPOSED SITE PLAN REVISIONS

1" = 40'

AA-SP-1



**LANDSCAPE LEGEND**

QTY SIZE COMMON/BOTANICAL H2O USE

**Trees**

8	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45	1590	12120	M
6	2" cal	Modesto Ash <i>Fraxinus velutina</i>	50x45	1590	9540	M
15	2" cal	Frontier Elm <i>Ulmus 'Frontier'</i>	35x25	491	1365	M
5	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25	491	2485	M
1	15 Gal	Crape Myrtle <i>Lagerstroemia indica</i>	15x20	314	314	M
3	15 Gal	Sensation Box Elder <i>Acer negundo 'Sensation'</i>	25x25	491	1473	M
26	15 Gal	Oklahoma Redbud <i>Cercis reniformis</i>	15x12	113	2938	M
4	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20x25	491	1964	M
Total Tree Coverage 38769						

**Shrubs & Groundcovers**

21	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x6	2826	593	M
49	5 Gal	Karl Foerster Grass <i>Calamagrostis acutiflora 'Karl Foerster'</i>	2.5x3	7	343	M
21	5 Gal	Deep Blue Lavender <i>Lavender angustifolia 'Hidcote'</i>	2x3	7	147	M
10	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x1	38	380	M
17	5 Gal	Buffalo Juniper <i>Juniperus sabinia 'Buffalo'</i>	1x2	113	1921	M
11	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3	7	77	M
13	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3	7	91	M
2	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x1	38	76	L
15	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x1	38	570	L
31	5 Gal	Turpentine Bush <i>Ericameria laricifolia</i>	4x6	28	868	L
20	5 Gal	Knock Out Roses <i>Rosa 'Knock Out'</i>	3x4	13	260	L
Total Shrub Coverage 5326						

9252 Exterior Landscape Crusher Fines / Filter Fabric To Be Determined

33158 Interior Landscape Crusher Fines / Filter Fabric To Be Determined

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (sf)	227165
BUILDING AREA	-28429
AREA NOT REQUIRED FOR OFF STREET PARKING	-98544
OFF-SITE LANDSCAPE PROVIDED	-98544
NET LOT AREA (sf)	90246
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	13537
TOTAL ON-SITE LANDSCAPE PROVIDED	42410
TOTAL LIVE PLANT COVERAGE REQUIRED	31808
TOTAL LIVE PLANT COVERAGE PROVIDED	44095

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque, Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas indicated on the plan.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

**IRRIGATION NOTES:**  
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owners responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end.

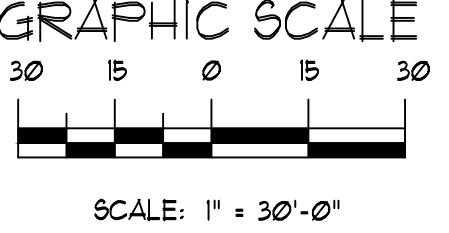
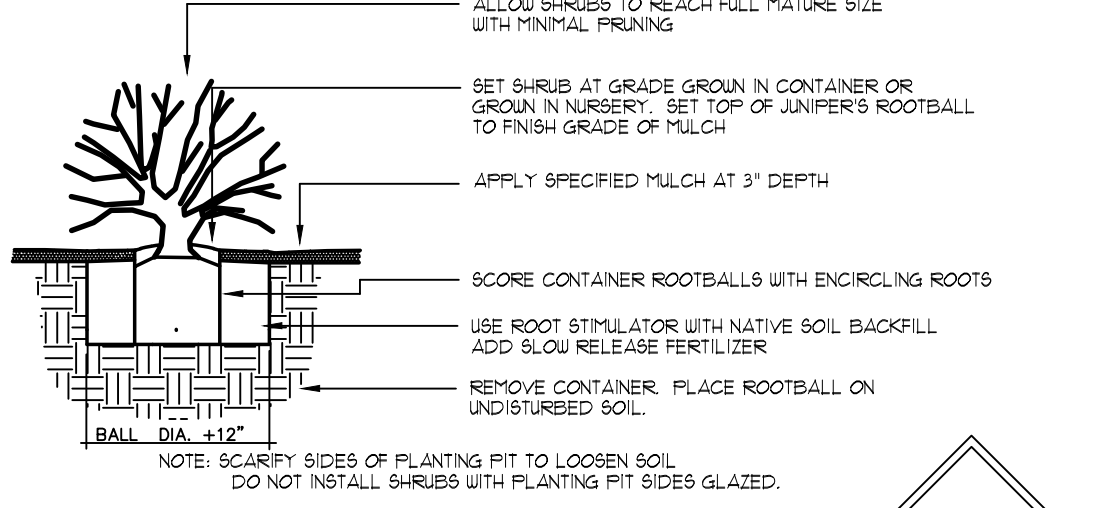
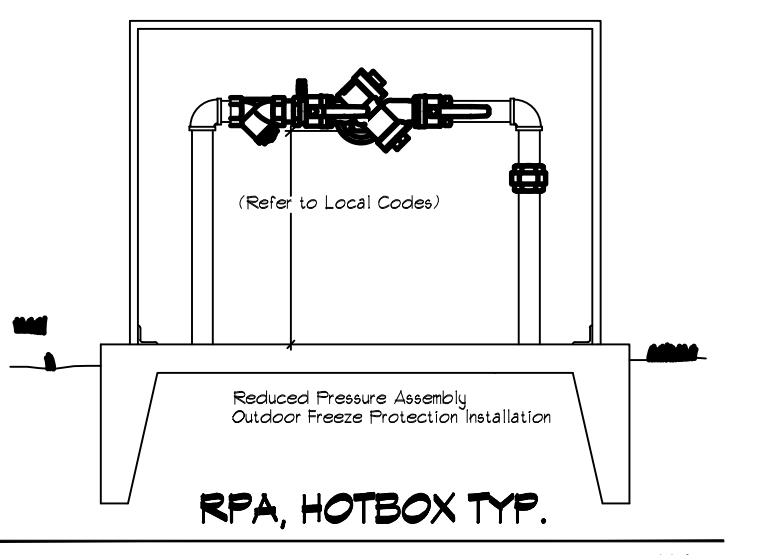
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

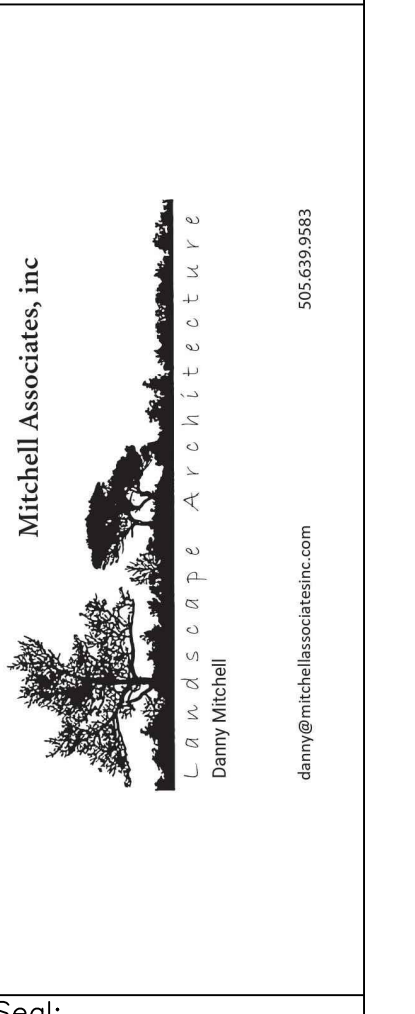
Water and Power source shall be the responsibility of the Developer/Builder.



Designed By: D. Mitchell  
Drawn By: dm  
Approved By: D. Mitchell  
Date: October 22, 2024  
PROJECT NO: 2021-069  
STATE: NM  
COUNTY: BLM  
1-800-321-ALERT (2537)  
www.nmrecall.org  
Call two working days before you dig.  
File ID: 2021-069

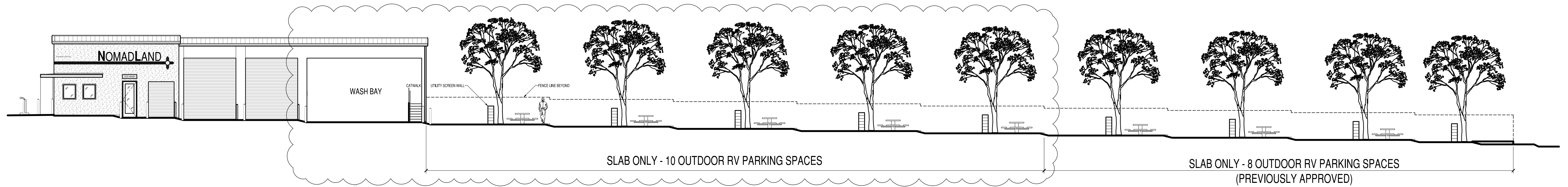
**Landscape Plan**

**Albuquerque RV and Boat  
2201 Vista Oriente NW  
Albuquerque, NM 87121**



Seal: Landscape Architect  
STATE OF NEW MEXICO  
DANNY D. MITCHELL  
239  
REGISTERED LANDSCAPE ARCHITECT  
October 22, 2024  
December 16, 2024

PROJECT NO: 2021-069  
DRAWING NO: LS-101



**SOUTH ELEVATION**  
3/32" = 1'-0"

**1**  
**AS-201**

**For Review** JUNO  
10/13/2024 8:42:53 PM

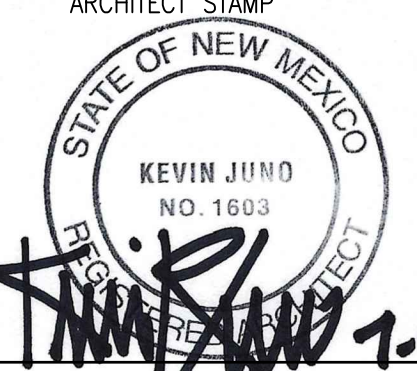

ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:  
**ABQ RV + BOAT STORAGE + CAMPSITE FACILITY**  
**2201 VISTA ORIENTE NW, ALBUQUERQUE, NM**

SHEET TITLE:  
**ELEVATION**

NO.	REVISION	DATE
1	DFT CODE ENFORCEMENT COMMENTS (NEW SHEET)	7/20/23
2	SITE PLAN REVISION BUILDING 'G' AREA	10/14/24

ARCHITECT STAMP	CONSULTANT STAMP	DATE: <b>7/20/23</b>
		PROJECT NO. <b>1614</b>
		SHEET NO. <b>AS-201</b>



### RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED TO THE RESTRAINED JOINT CRITERIA FOR GAS LINE SIZING. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM FITTING LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS TO THE RESTRAINED JOINT CRITERIA FOR GAS LINE SIZING. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
- THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

DEPTH OF BURY: 3.0 FT. MINIMUM  
 1.50 FACTOR OF SAFETY:

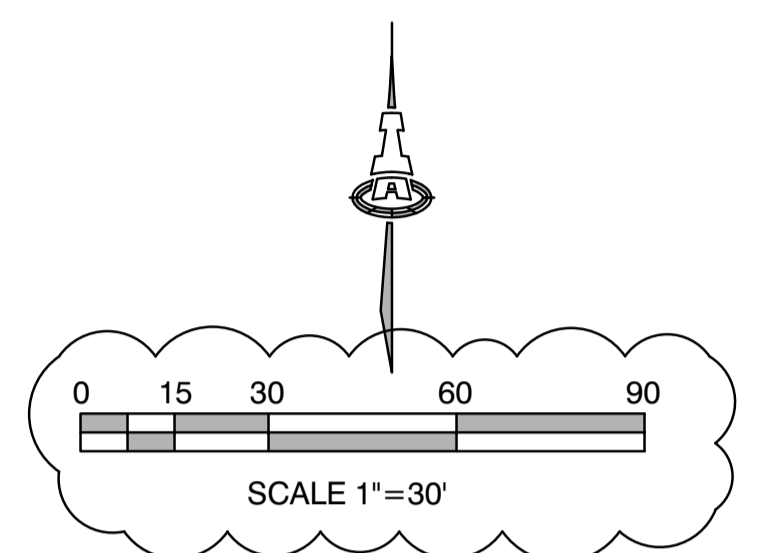
MATERIAL: PVC  
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.

TEST PRESSURE: 150 PSI  
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWA.

### NOTES

- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

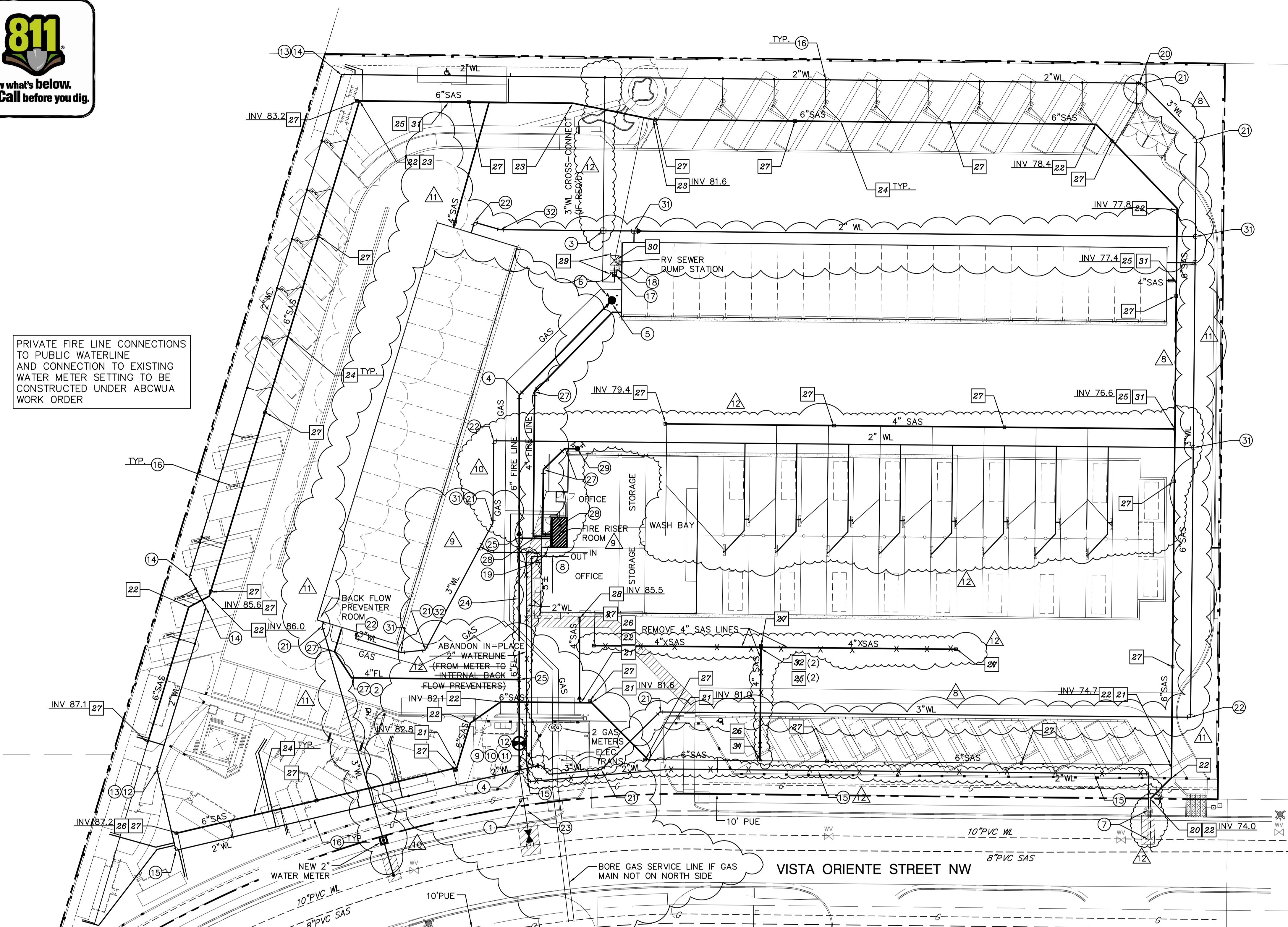


### KEYED NOTES

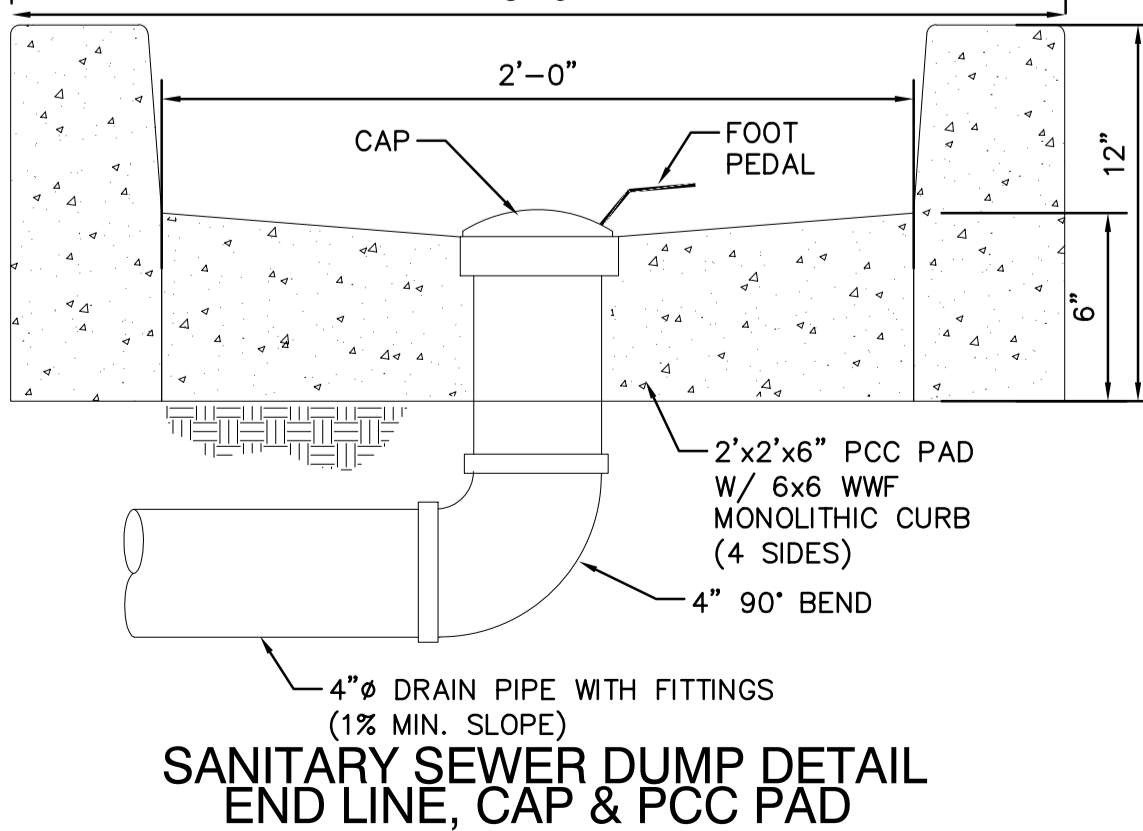
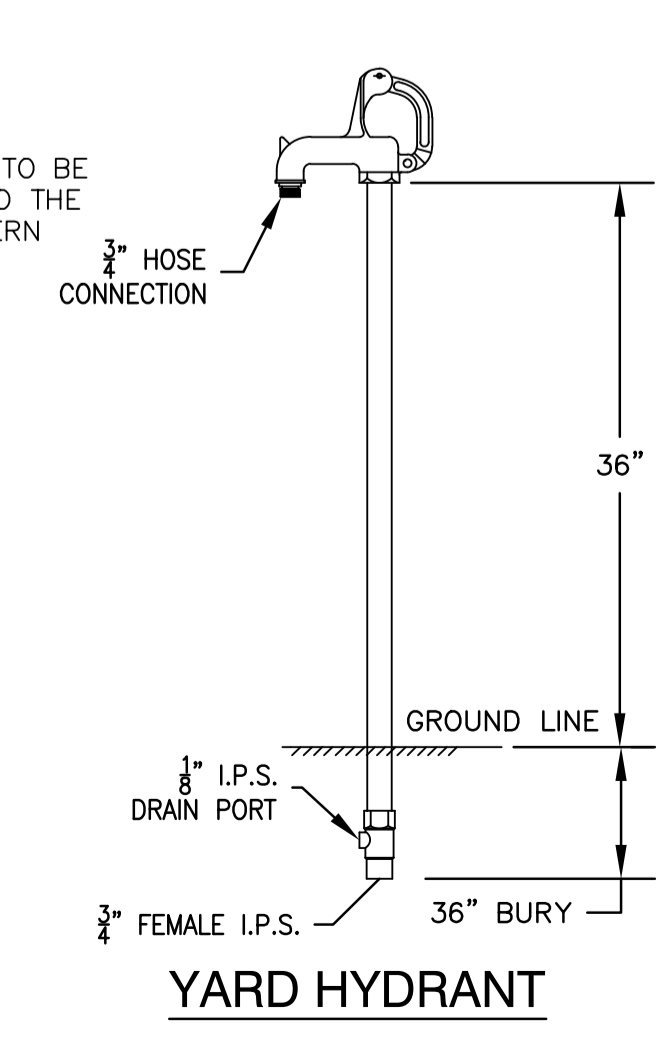
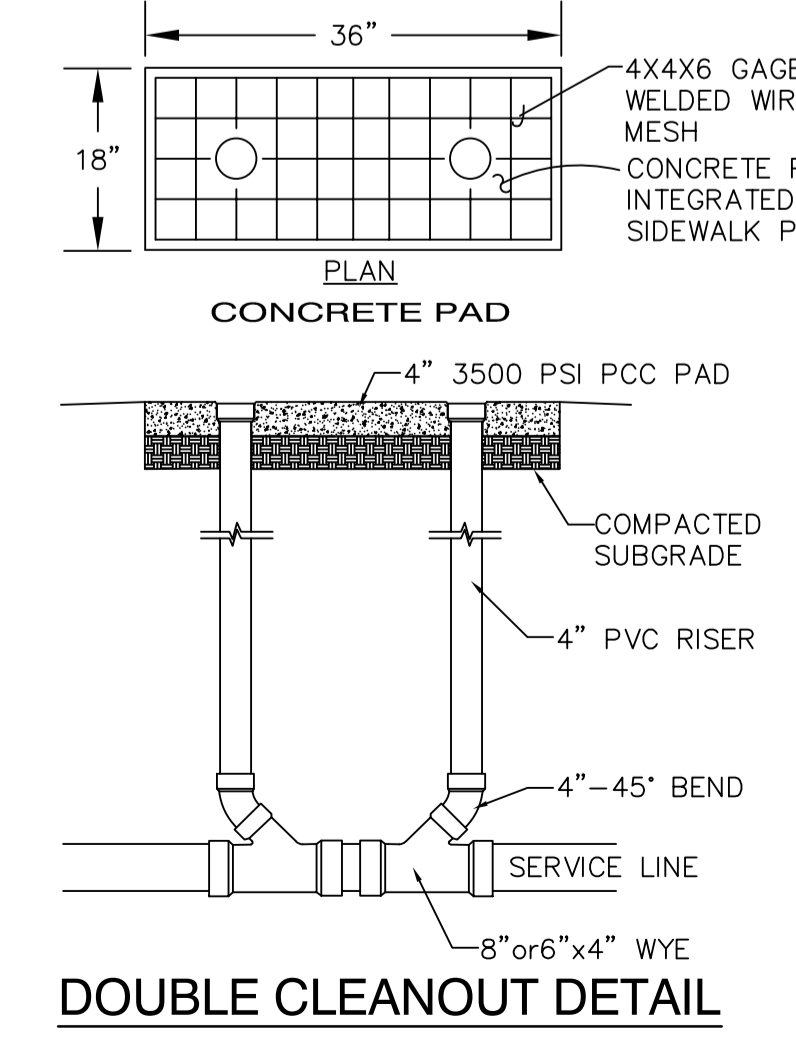
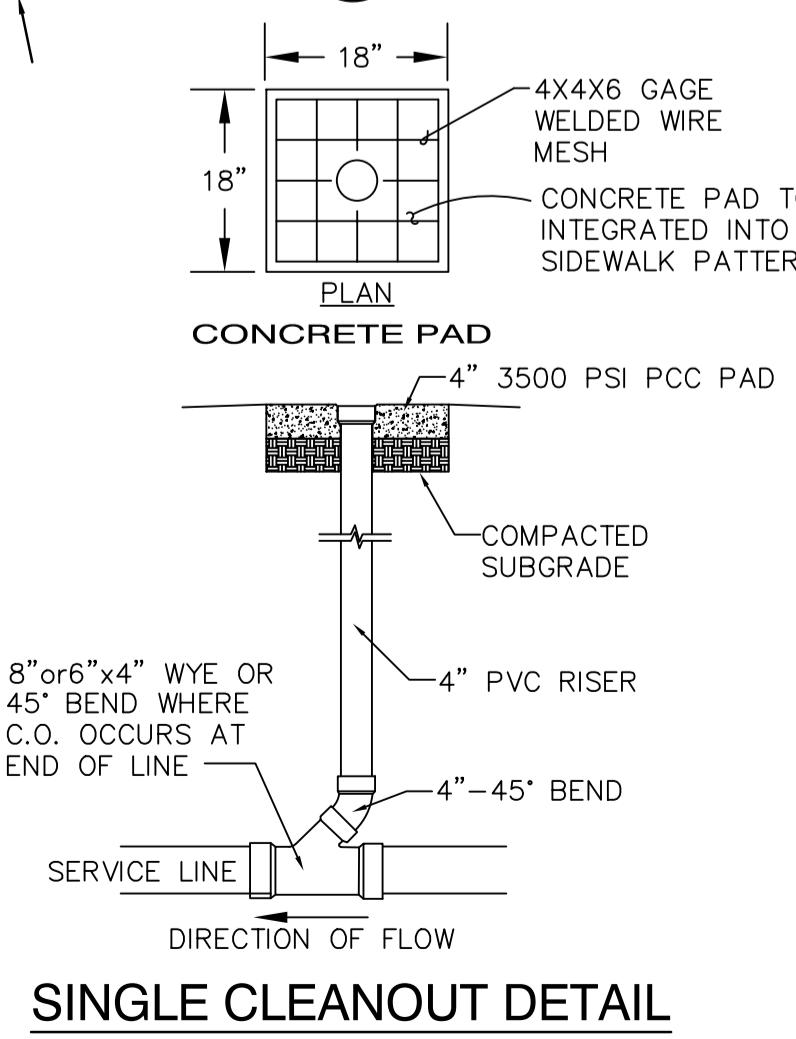
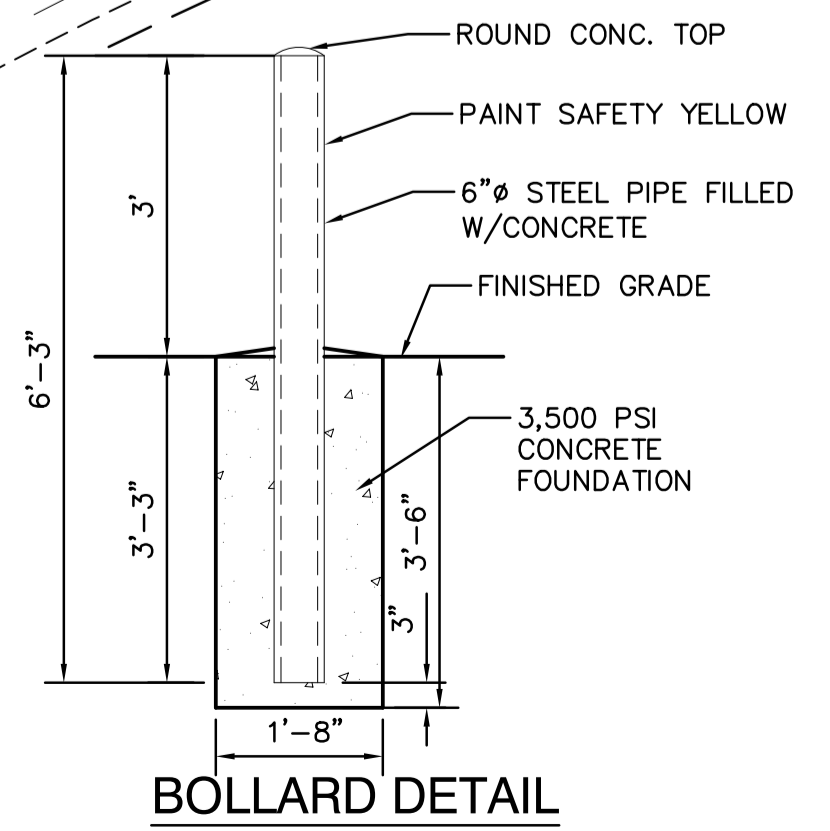
#### WATER KEYED NOTES

- REMOVE EXISTING 6" CAP AND CONNECT NEW 6" WATERLINE.
- 4" 11.25' BEND.
- 3"x3"x2"x2" CROSS
- 6" 11 1/2' BEND. (LT=2')
- FIRE HYDRANT PER ABCWA STD DWG 2340. PAINTED SAFETY ORANGE.
- 4 EA. BOLLARDS (5'X5' SQUARE AROUND FIRE HYDRANT). SEE DETAIL BELOW.
- ABANDON 1 1/2" METER, KILL SERVICE AT MAX.
- INTERNAL BACK FLOW PREVENTERS.
- 2" TEE.
- 2"x1 1/2" REDUCER.
- 1 1/2" CAP.
- 2" - 11 1/2' BEND.
- 2" - 22 1/2' BEND.
- 2" - 45' BEND.
- ABANDON 2" WATERLINE (IN PLACE).
- 3/4" WATER SERVICE CONNECTION, W/ 3/4" CAP AT END.
- 3/4" PRESSURE VACUUM BREAKER.
- 3' BURY 3/4" YARD HYDRANT.
- 1" IRRIGATION STUB WITH CAP.
- 20-3"x2" REDUCER.
- 3" 45' BEND, 3" 22 1/2' BEND
- 3" 90' BEND.
- 25-1/2" (POST INDICATOR VALVE)
- 3/4" CONDUIT FROM PIV TO FIRE RISER ROOM.
- 6"x4" TEE..(LT=NA)

- 4"x4" TEE. (LT=NA)
- 4" - 45' BEND. (LT=6')
- 4" - 90' BEND. (LT=15')
- FDC (FIRE DEPARTMENT CONNECTION).
- 3" TEE.
- 3" X 3" TEE, 3" X 2" RED. (IF NECESSARY).
- 3" 11 1/2' BEND.
- SEWER
- CONNECT NEW 6" SAS SERVICE LINE TO EXISTING 6" SAS STUB AT ROW.
- 6"x6" WYE/TEE.
- 6" 45' BEND.
- 6" 22 1/2' BEND.
- 6"x4" SERVICE CONNECTION W/ 4" CAP AT END.
- 4" 45' BEND.
- 6"x4" REDUCER.
- SANITARY SEWER SINGLE CLEAN OUT.
- SANITARY SEWER DOUBLE CLEAN OUT.
- BOLLARD PER DETAIL THIS SHEET.
- 4" SANITARY SEWER DUMP PER DETAIL THIS SHEET.
- 6"x4" WYE/TEE
- 4" WYE/TEE



PRIVATE FIRE LINE CONNECTIONS TO PUBLIC WATERLINE AND CONNECTION TO EXISTING WATER METER SETTING TO BE CONSTRUCTED UNDER ABCWA WORK ORDER



REVISION NOTE 12: REVISIONS TO WATER AND SEWER LINES 11/15/2024  
 REVISION NOTE 11: REVISIONS TO WATER AND SEWER LINES 10/21/2024

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-266-8828 www.isaacson.com

2278 CU-101.dwg Nov 22, 2024

Date:	No.:	Revision:	Date:	Job No.:
	3	SITE PLAN REVISIONS	07/08/21	2278
	4	ADD RV DUMP	07/12/21	
	5	REROUTE WTR LINES	08/10/21	CU-101
	6	REVISE SAS INV / ALIGN	08/24/21	
	7	SITE PLAN REVISIONS	02/24/22	SH. OF
	8	ADD 3" WATERLINE	04/13/22	
	9	ADD 4" FIRELINE TO FIRE RM	05/03/23	
	10	ADD 2" WM 3" WL 4" SAS GAS	05/03/23	

N:\PROJECTS\2022\2278\2278-CU-101.dwg Date: 11/22/2024 8:31 AM  
 PLOT: 2278-CU-101.dwg Date: 11/22/2024 8:31 AM

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 23, 2024

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. N.E  
Albuquerque, NM 87108

**RE: Albuquerque RV & Boat Storage  
2201 Vista Oriente St. NW  
6<sup>th</sup> Revised Grading and Drainage Plans  
Engineer's Stamp Date: 12/20/24  
Hydrology File: H10D030**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 12/20/2024, the Sixth Revised Grading & Drainage Plans are approved for Building Permit and for action by the Development Facilitation Team (DFT) for Site Plan for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

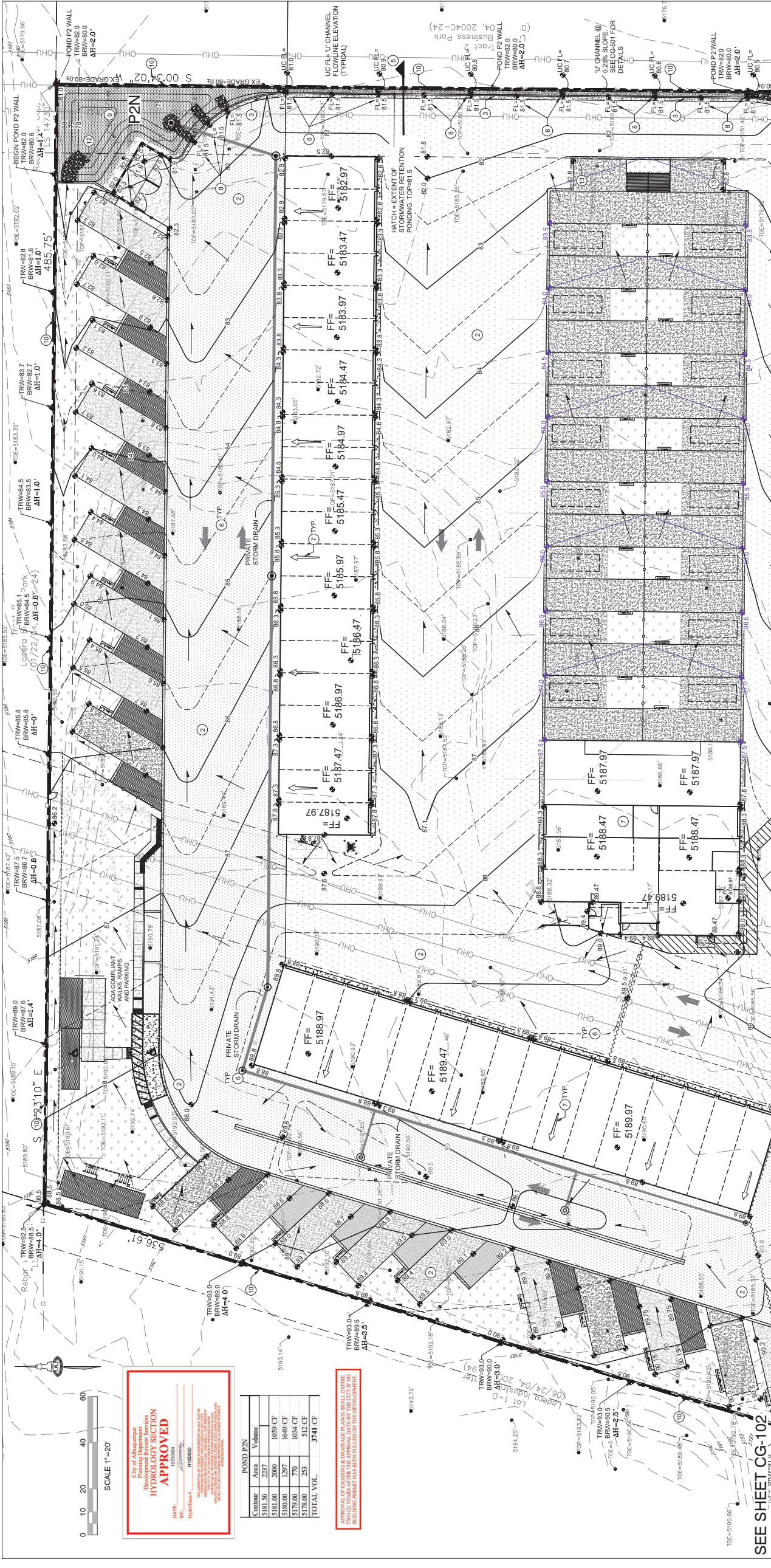
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at 505-924-3362 or [richardmartinez@cabq.gov](mailto:richardmartinez@cabq.gov).

Sincerely,

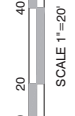
Richard Martinez, P.E.  
Senior Engineer, Hydrology  
Planning Department



City of Albuquerque  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 12/20/24  
BY: [Signature]

Contour	Area	Volume
5181.50	2257	1059 CF
5180.00	1297	1649 CF
5179.00	770	1054 CF
5178.00	253	312 CF
<b>TOTAL VOL.</b>		<b>3741 CF</b>

REVISION OF GRADING AND DRAINAGE SHALL BE MADE WITHIN TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY AND A BUILDING PERMIT HAS BEEN ISSUED FOR THE DEVELOPMENT.



SCALE 1"=20'

**SEE SHEET CG-102**

**S.O.19 : NOTICE TO CONTRACTORS**

- PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
- Build sidewalk culvert per COA STD DWG 2236.
  - Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
  - An excavation permit will be required before beginning any work within City Right-of-Way.
  - All work on this project shall be performed in accordance with applicable state and local laws, rules and regulations concerning construction safety and health.
  - Two working days prior to any excavation, the contractor must contact **New Mexico One Call, dial "811"** for (505) 260-1990 for the location of existing utilities.
  - Prior to construction, the contractor shall excavate and verify the locations of all underground utilities. If a conflict exists, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
  - Backfill compaction shall be according to traffic/street use.
  - Maintenance of the facility shall be the responsibility of the owner of the property being served.
  - Work on arterial streets may be required on a 24-hour basis.
  - Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

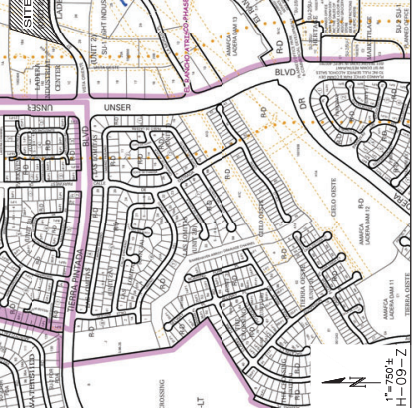
**KEYED NOTES**

- KEYED NOTES ARE REFERENCED ON SHEETS CG-101 AND CG-102. NOT ALL NOTES ARE USED ON EACH SHEET.
- CONSTRUCT ENTRANCE DRIVES, CONCRETE VALLEY GUTTER, PUBLIC SIDEWALK, AND ADA COMPLIANT RAMPS PER COA STD. INFORMATION.
- CONSTRUCT NEW PAVINGS AT ELEVATIONS SHOWN. SEE CG-101 FOR ADDITIONAL INFORMATION FOR MATERIAL, EXTENTS, JOINTS, AND PAVING SECTIONS.
- CONSTRUCT 6" HIGH CURB, HEADER OR MEDIAN CURB AND GUTTER - OWNER'S OPTION. NOTE: ENGINEER RECOMMENDS MEDIAN CURB AND GUTTER FOR CONCENTRATED FLOWPATHS.
- CONSTRUCT 2" WIDE CONC. ALLEY FLOPPER. SEE CG-501 FOR SECTION.
- DESIGN CONTOURS ARE SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT.
- BUILDING AND OVERHEAD CANOPY ROOF DISCHARGE DIRECTION. SPASHPAD FOR CONCENTRATED ROOF DISCHARGE TO ASPHALT PAVEMENT. SEE BUILDING PLANS FOR SPECIFIC ROOF DISCHARGE INFORMATION.
- PROVIDE 2" WIDE OPENING(S) IN CURB TO PASS FLOW. INSTALL 4"x4"x8" DEEP ROCK EROSION PROTECTION AT CURB OPENINGS.

**LEGEND**

- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR (1" INCREMENT)
- PROPOSED CONTOUR (0.5" INCREMENT)
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- PROPOSED STORMWATER QUALITY RETENTION POND LIMITS
- ROOF / CANOPY DISCHARGE DIRECTION
- GRADE BREAK
- EROSION CONTROL (TO EXTENTS SHOWN)
- PERIMETER RETAINING WALL (>16" RETAINING)
- PERIMETER WALL (<16" RETAINING)

**VICINITY MAP**

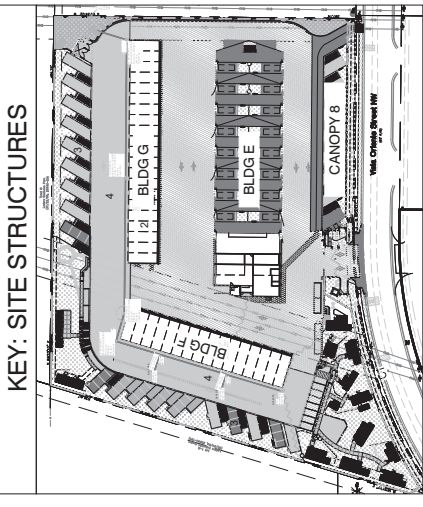
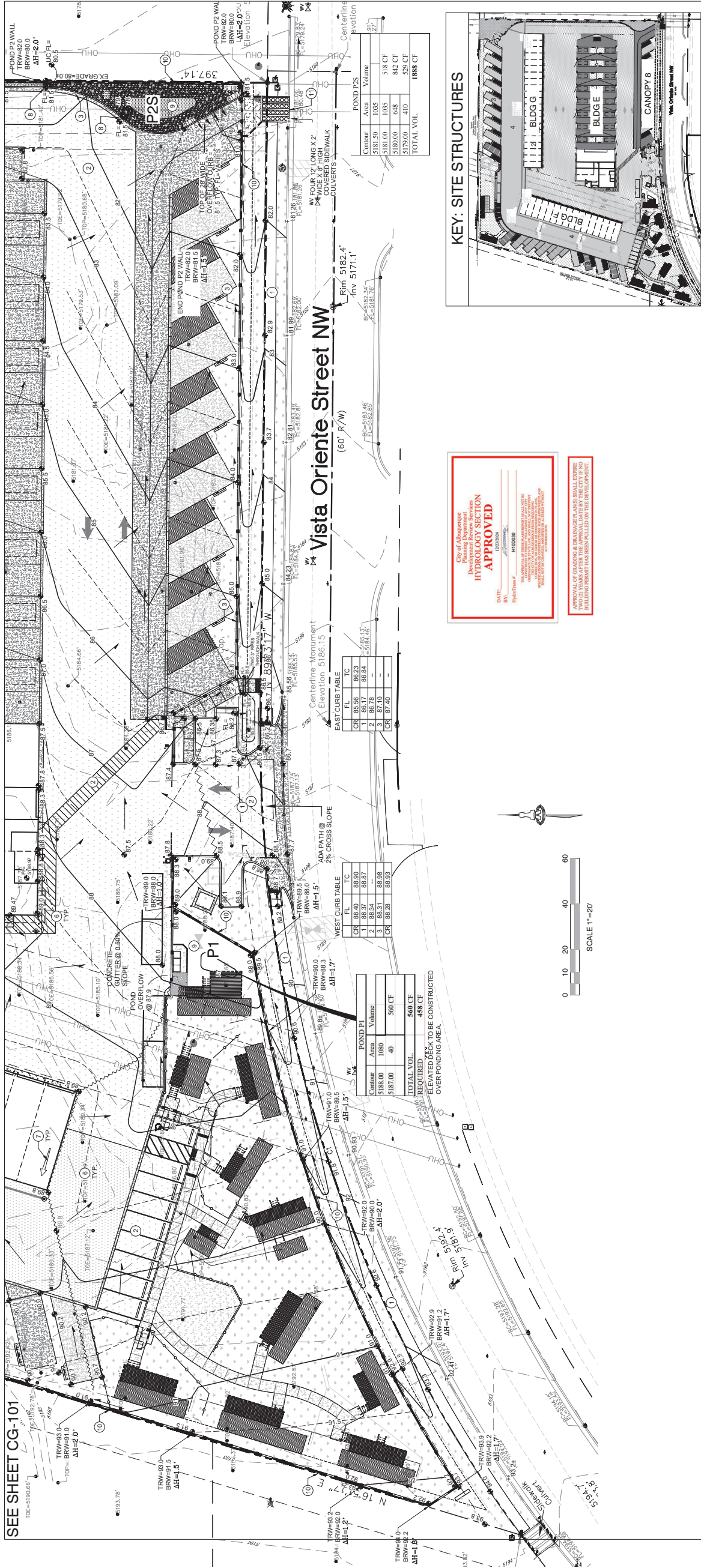


**ISAACSON & ARMAN, P.A.**  
Consulting Engineering Associates  
123 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
PH: 505-268-6828 isaacsonandarmann.com

2278 CO-101 NOMAD-ENG Dec 20/2024  
12-20-2024

**ABQ RV & BOAT STORAGE**  
LADERA ENTERPRISES LLC

Date:	12-20-24
Drawn By:	B.B.B.
Check By:	F.C.A.
Job No.:	2278
Sheet:	CG-101
Of:	51



**PROJECT DATA**

PROPERTY: THE SITE IS A 5.22 ACRE UNDEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP H-88. THE SITE IS BOUND TO THE LADERA CHANNEL, TO THE WEST AND EAST BY UNDEVELOPED LAND, AND TO THE SOUTH BY VISTA ORIENTE ST. NW.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE SELF STORAGE BUILDINGS AND OUTDOOR RV STORAGE, WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING AND LANDSCAPING.

PROPERTY ADDRESS: 2201 VISTA ORIENTE ST. NW, ALBUQUERQUE, BERNALILLO CNTY, NM.

LEGAL: TRACT 1, LADERA BUSINESS PARK, UNIT 2, CITY OF ALBUQUERQUE, BERNALILLO CNTY, NM.

RECORDING: BRASS CAP STAMPED 25 MAR 1989 ON THE WEST MESA UNRESERVED POWER LINES DRAWING NEMW 0.2 IN THE NORTH OF LADERA DR. NW, 11 FT. WEST OF THE CENTERLINE OF UNSER BLVD. IN THE MIDDLE OF A SET OF POWERPOLES.

OFF-SITE FLOW: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #50010328A, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE FOR THIS TRACT WAS INCLUDED IN THE LADERA BUSINESS PARK MASTER DRAINAGE REPORT (MDR) BY MARK GOODWIN & ASSOCIATES DATED 11-2-02. PER THE MDR, THIS PROPERTY (DESIGNATED AS BASIN P-1) IS PERMITTED FREE DISCHARGE.

ENGINEER: FRED C. ARFMAN, NMP# 7322 - ISAACSON & ARFMAN, P.A.  
128 MONROE NE #7108 - (505) 268-8828

SURVEYOR: WILL POTTER, JR., NMP# NO. 14271 - CARTESIAN SURVEY'S INC  
P.O. BOX 4414 RIO RANCHO, NM 87174 - (505) 891-0244

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph: 505-268-8828 isaacsonarfman.com

2778 CO-101 NOMAD.dwg Dec 20/2024  
12-20-2024

**ABQ RV & BOAT STORAGE**  
LADERA ENTERPRISES LLC

**GRADING & DRAINAGE PLAN 2 OF 2**

Date: 12-20-24  
Drawn By: B-B  
Ck'd By: FCA

Job No.: 22726  
CG-102  
SH. OF

- KEYED NOTES**
- KEYED NOTES ARE REFERENCED ON SHEETS CG-101 AND CG-102. NOT ALL NOTES ARE USED ON EACH SHEET.
  - CONSTRUCT ENTRANCE DRIVES, CONCRETE VALLEY GUTTER, PUBLIC SIDEWALK, AND ADA COMPLIANT RAMPS PER COA STD. SPECIFICATIONS. SEE CG-101 FOR ADDITIONAL INFORMATION.
  - CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN. SEE CG-101 FOR ADDITIONAL INFORMATION FOR MATERIAL, EXTENTS, JOINTS, AND PAVING SECTIONS.
  - CONSTRUCT 6" HIGH CURB, HEADER OR MEDIAN CURB AND GUTTER - OWNERS OPTION. NOTE: ENGINEER RECOMMENDS MEDIAN CURB AND GUTTER FOR CONCENTRATED FLOWPATHS.
  - CONSTRUCT 2 WIDE CONC. ALLEY GUTTER. SEE CG-501 FOR SECTION.
  - SEE CG-501 FOR SECTION THROUGH EAST PROPERTY LINE.
  - DESIGN CONTOURS ARE SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT.
  - BUILDING AND OVERHEAD CANOPY ROOF DISCHARGE DIRECTION SHALL BE AS SHOWN. SEE CG-101 FOR CONCENTRATED ROOF DISCHARGE TO ASPHALT PAVEMENT. SEE BUILDING PLANS FOR SPECIFIC ROOF DISCHARGE INFORMATION.
  - PROVIDE 2" WIDE OPENINGS IN CURB TO PASS FLOW. INSTALL 4"X4" DEEP ROCK EROSION PROTECTION AT CURB OPENINGS.
  - CONSTRUCT STORMWATER QUALITY RETENTION POND AT ELEVATIONS AND VOLUMES SHOWN. ALL STORMWATER QUALITY IMPROVEMENTS SHALL BE CONSTRUCTED AND MAINTAINED PER ENGINEERS CERTIFICATION PROCEDURE. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE.
  - CONSTRUCT PERIMETER RETAINING/PRIVACY WALLS TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR DETAILS. NO STRUCTURE OR FOOTINGS MAY BE CONSTRUCTED ON ADJACENT PROPERTIES WITHOUT ADJACENT PROPERTY OWNER PERMISSION.
  - TRV-HIGH SIDE GRADE \* 6" OR AS NOTED
  - TRV-LOW SIDE GRADE OR AS NOTED
  - SEE CG-102 FOR ENLARGED PLAN OF OUTFALL TO VISTA ORIENTE STREET NW.
  - SEE CG-501 FOR ROCK EROSION PROTECTION DETAIL.
  - COORDINATE GRADE TRANSITION WITH OWNER, TYPICAL.

**LEGEND**

- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR (1' INCREMENT)
- PROPOSED CONTOUR (0.5' INCREMENT)
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- PROPOSED STORMWATER QUALITY RETENTION POND UNITS
- ROOF / CANOPY DISCHARGE DIRECTION
- GRADE BREAK
- EROSION CONTROL (TO EXTENTS SHOWN)
- PERIMETER RETAINING WALL 1'-6" RETAINING)
- PERIMETER WALL (<16" RETAINING)

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 31, 2024

Kevin Juno  
Juno Architects  
7925 Bosque St. NW  
Albuquerque, NM 87114

**Re: ABQ RV+ Boat Storage + Camp Site Facility**  
**2201 Vista Oriente NW**  
**Traffic Circulation Layout-revised**  
Architect's Stamp 07-20-23 (H10-D030)

Dear Mr. Juno,

The revised TCL submittal received 12/26/2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) for log in and evaluation by Transportation.

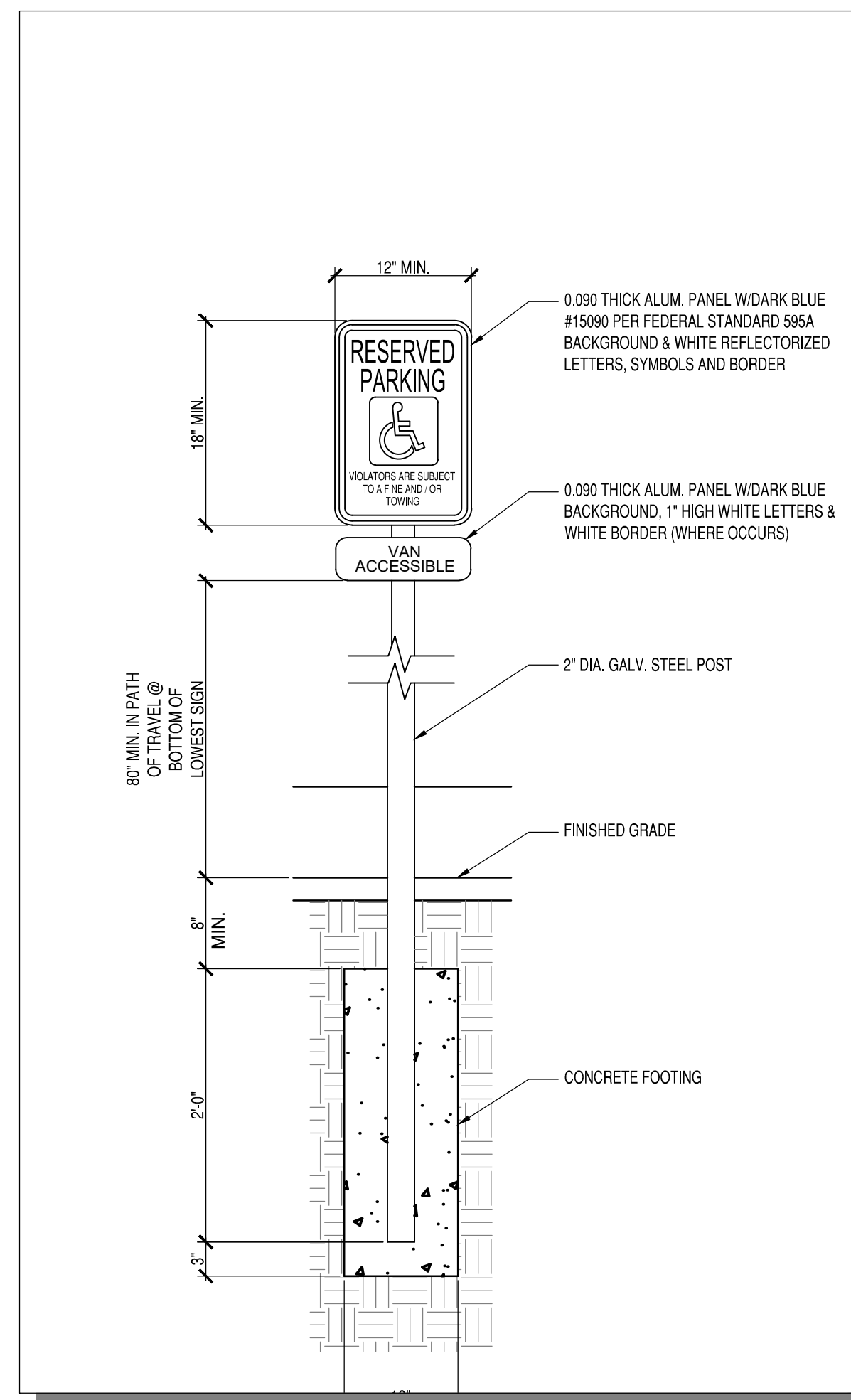
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

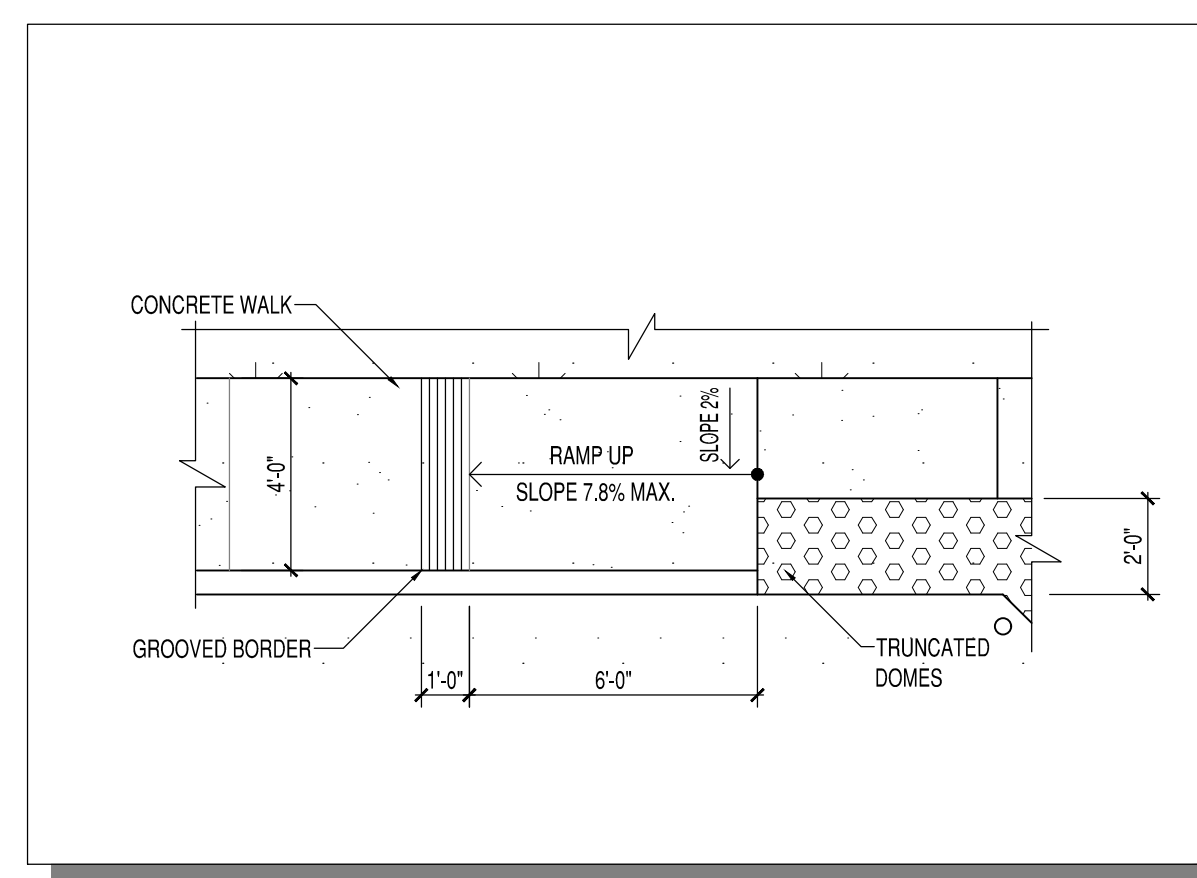
Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File





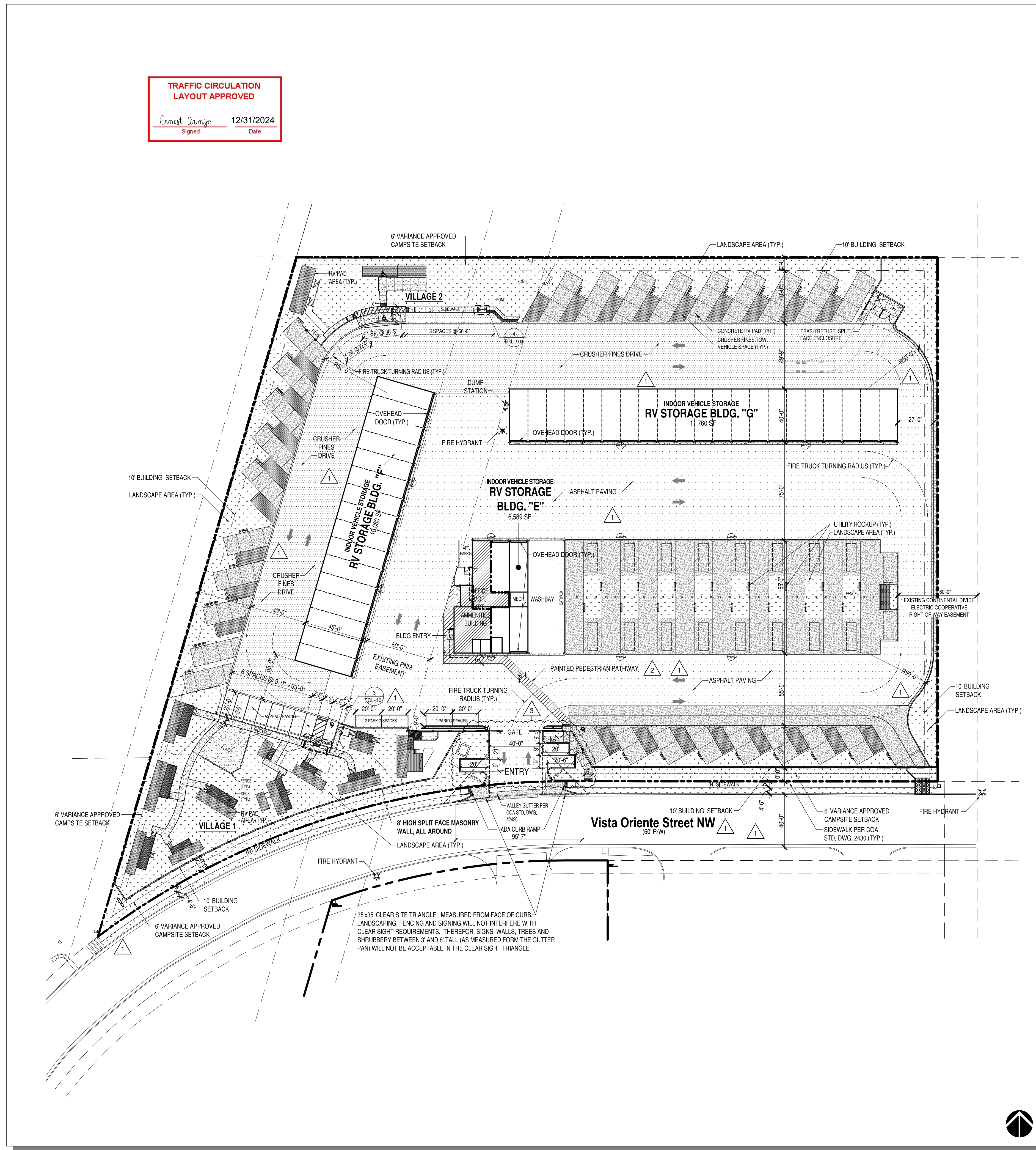
**TCL ADA PARKING SIGN** **2**  
 1" = 1'-0" **TCL-101**



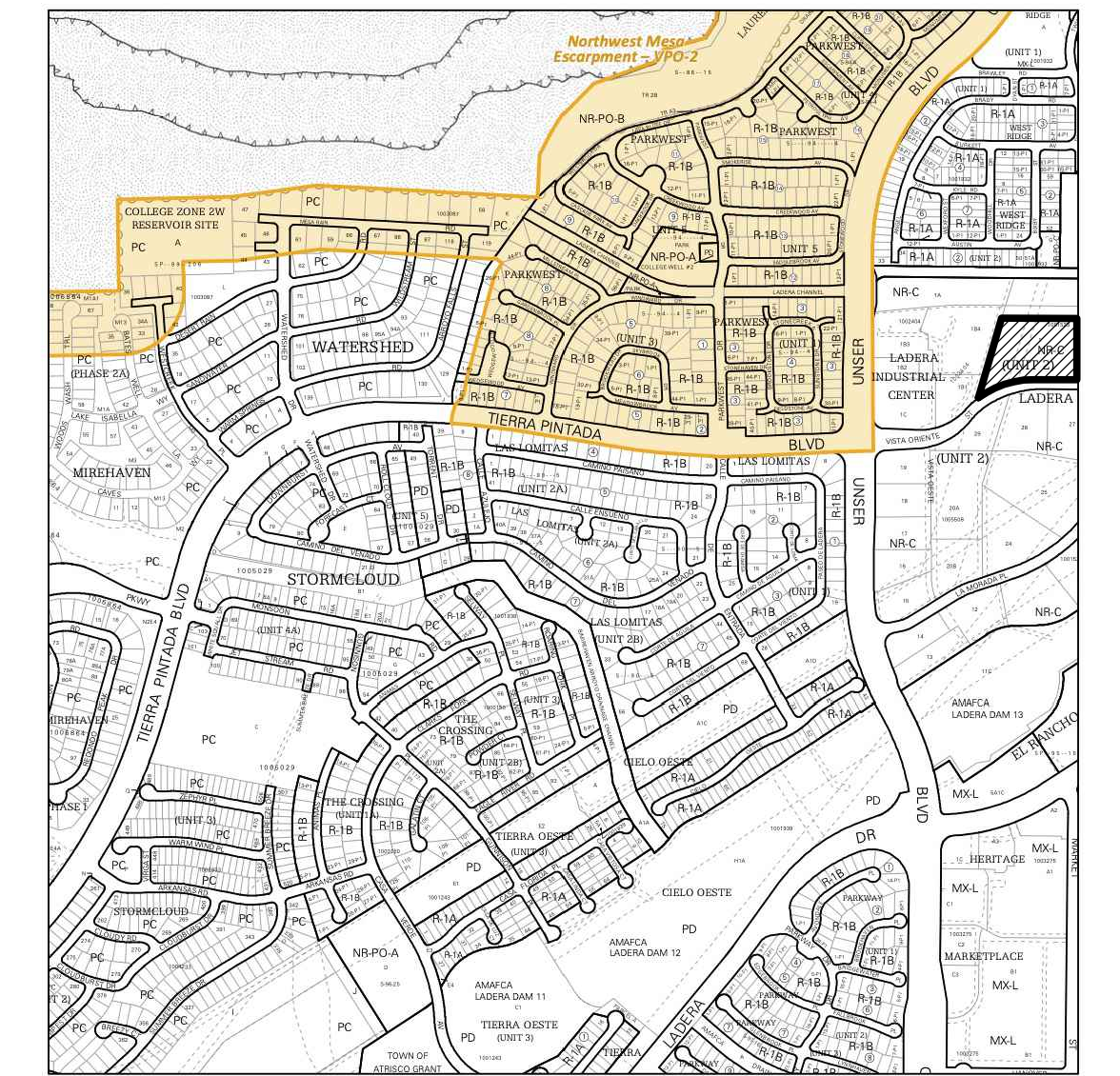
**ADA RAMP DETAIL 2** **4**  
 1/4" = 1'-0" **TCL-101**

**TRAFFIC CIRCULATION LAYOUT APPROVED**

Ernest Ramirez    12/31/2024  
 Signed                      Date



**TRAFFIC CONTROL LAYOUT** **1**  
 1" = 40' **TCL-101**



**IDO Zone Atlas**  
 May 2018

Zone Atlas Page: **H-09-Z**

AGIS

For more details about the Integrated Development Ordinance visit: <http://www.ciabq.gov/Planning/Codes-Policies-Regulations/Integrated-Development-Ordinance>

IDO Zoning Information as of May 17, 2018. The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

**SITE CRITERIA**

- PROJECT:** ALBUQUERQUE RV + BOAT STORAGE + CAMPSITES  
**ADDRESS:** 2201 VISTA ORIENTE NW  
**OWNER:** LADERA ENTERPRISES LLC  
**LEGAL DESCRIPTION:** TRACT 1 UNIT 2 LADERA BUSINESS PARK  
**TOTAL LOT AREA:** 5.215 ACRES  
**ZONING MAP:** H-9-Z  
**CURRENT ZONING CLASSIFICATION:** NR-C LIGHT INDUSTRIAL  
**BUILDING TYPE:** II B. (NFPA 13D SPRINKLERED FOR R3 (APARTMENT) FIRE AREA)  
**TOTAL BUILDING AREA:**
- |                      |                  |
|----------------------|------------------|
| BUILDING E:          | 6,589 SF         |
| EXISTING BUILDING F: | 10,080 SF        |
| EXISTING BUILDING G: | 11,760 SF        |
| <b>TOTAL</b>         | <b>28,429 SF</b> |
- NUMBER OF INDOOR RV STORAGE UNITS:** 41  
**NUMBER OF NOMADLAND RV CAMPSITE SPACES:** 46  
**NUMBER OF VILLAGE 1 & 2 CAMPSITE SPACES:** 13  
**NUMBER OF PARKING SPACES:** FOR CAMPGROUND OR RECREATIONAL VEHICLE PARK  
 1 SPACE PER DESIGNATED CAMPING OR RV SPOT;  
 52 SPACES PROVIDED (49 REQUIRED)  
**MANAGER APARTMENT PARKING SPACE:** 1 SPACE PROVIDED (1 REQUIRED)  
**DELIVERY PARKING SPACES:** 3
- NOTE:** ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.



7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

**PROJECT:**  
**ABQ RV + BOAT STORAGE + CAMPSITE FACILITY**  
**2201 VISTA ORIENTE NW, ALBUQUERQUE, NM**

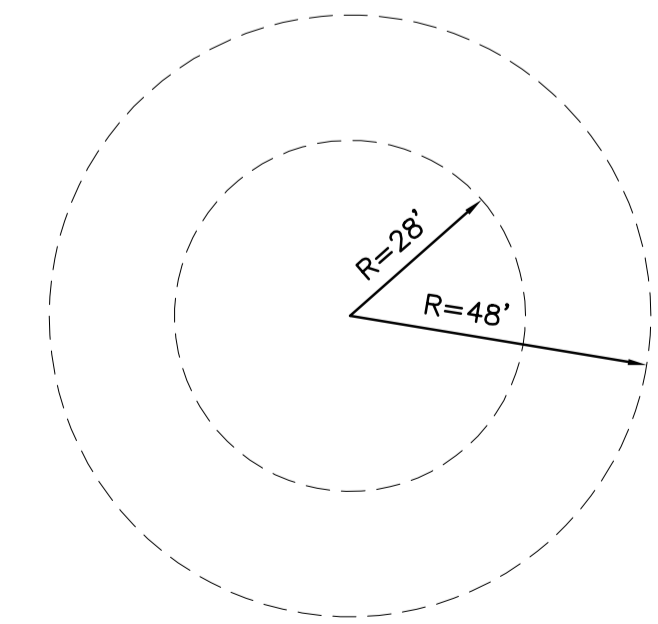
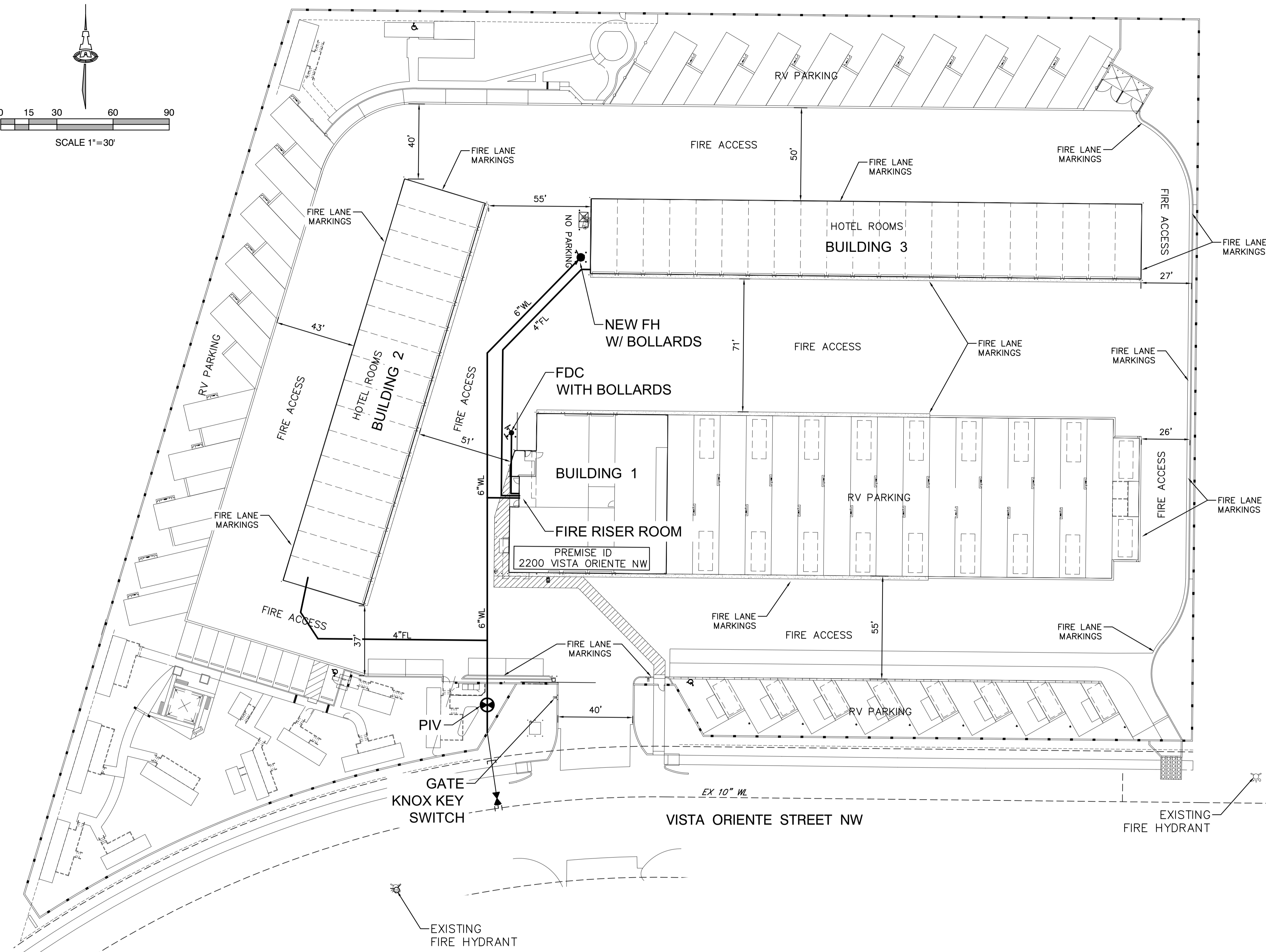
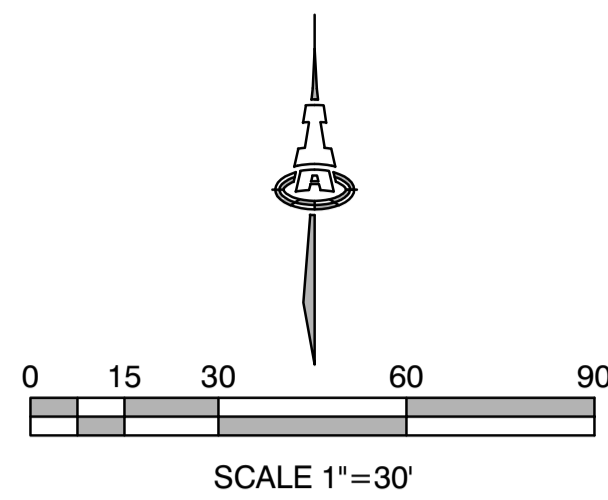
SHEET TITLE:  
**TRAFFIC CONTROL LAYOUT**

NO.	REVISION	DATE
1	DEVELOPMENT REVIEW COMMENTS	9/5/23
2	SITE PLAN REVISION BUILDING 'G' AREA	10/14/24
3	SITE PLAN REVISION - ENTRY PARKING	12/11/24

ARCHITECT STAMP      CONSULTANT STAMP      DATE:  
**7/20/23**  
 PROJECT NO.  
**1614**  
 SHEET NO.



**TCL-101**



FIRE APPARATUS TURNING RADIUS  
1"=30'



**ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION  
PERMIT  
PERMIT NUMBER: FP 21-005153  
APPROVED DATE: 11/15/24  
APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

2200 VISTA ORIENTE N.W.,  
ALBUQUERQUE, NM 87120  
PREVIOUS FIRE 1 PLAN 21-005153

BUILDING 1-6,770 SQ. FT  
TYPE 2B CONSTRUCTION  
SPRINKLED  
FIRE FLOW = 1,750 GPM / 2 = 875, 1,750 MIN. = 1 FH  
OCCUPANCY GROUP - RESIDENTIAL GROUP R-1  
18'-0" BUILDING HEIGHT

BUILDING 2-10,080 SQ FT  
TYPE 2B CONSTRUCTION  
SPRINKLED  
FIRE FLOW = 2,250 GPM / 2 = 1,125, 1,750 MIN. = 1 FH  
OCCUPANCY GROUP - RESIDENTIAL GROUP R-1  
18'-0" BUILDING HEIGHT

BUILDING 3 -11,760 SQ. FT BUILDINGS  
TYPE 2B CONSTRUCTION  
SPRINKLED  
FIRE FLOW =2,250 GPM / 2 = 1,125, 1,750 MIN. = 1 FH  
OCCUPANCY GROUP - RESIDENTIAL GROUP R-1  
18'-0" BUILDING HEIGHT.

2 EXISTING FIRE HYDRANT NEAR SITE.  
1 NEW FIRE HYDRANTS ON SITE.

FIRE DEPARTMENT CONNECTION'S (FDC) SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND SHALL BE 36" MIN. CLEAR SPACING.

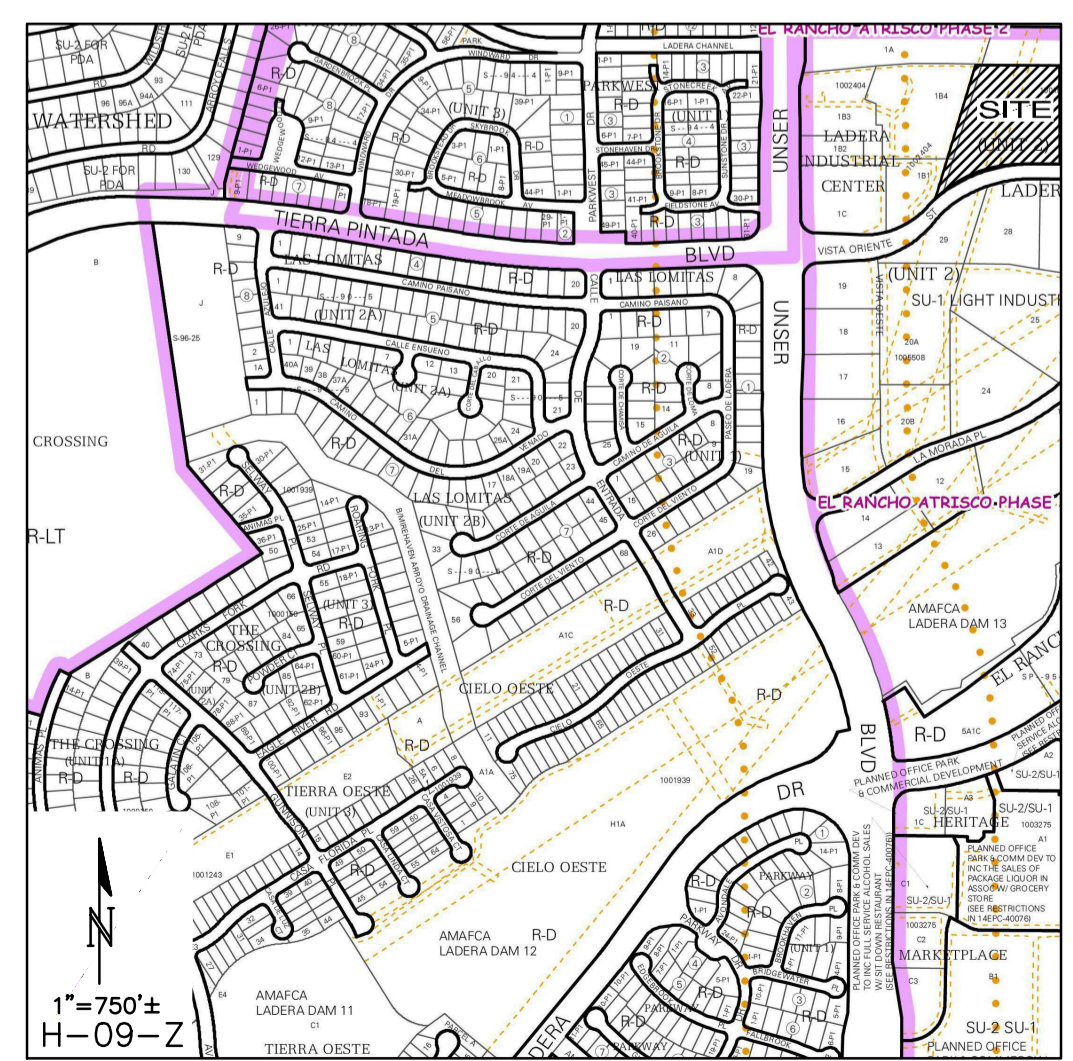
POST INDICATOR VALVES (PIV) SHALL BE PROVIDED PER NFPA 13.

ALL ACCESS ROADS AND FIRE LANES HAVE GRADES LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE LANES WILL ACCOMMODATE A 28' MINIMUM TRUCK TURNING RADIUS.

FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED HEIGHT NOT LESS THAN 13'-6".

THERE ARE NO OVERHEAD OBSTRUCTIONS ON SITE TO PROHIBIT LADDER TRUCK OPERATIONS.



**Isaacson & Arfman, Inc.**  
Civil Engineering Consultants  
128 Monroe Street NE  
Albuquerque, NM 87108  
505-266-8828 | www.isacvil.com

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NOT FOR CONSTRUCTION

Engineer

**ABQ RV STORAGE & HOTEL  
2200 VISTA ORIENTE NW**

DESIGN	ISSUE
DEVELOPMENT	NUMBER
PROJECT NUMBER: IA XXXX	FILE:
DRAWN BY:	CHECKED BY:
DATE:	DATE:

No	Date	Description

SHEET TITLE  
**FIRE HYDRANT LOCATION & ACCESS PLAN**

SHEET NUMBER  
**FIRE 1**

# SITE USAGE CHART

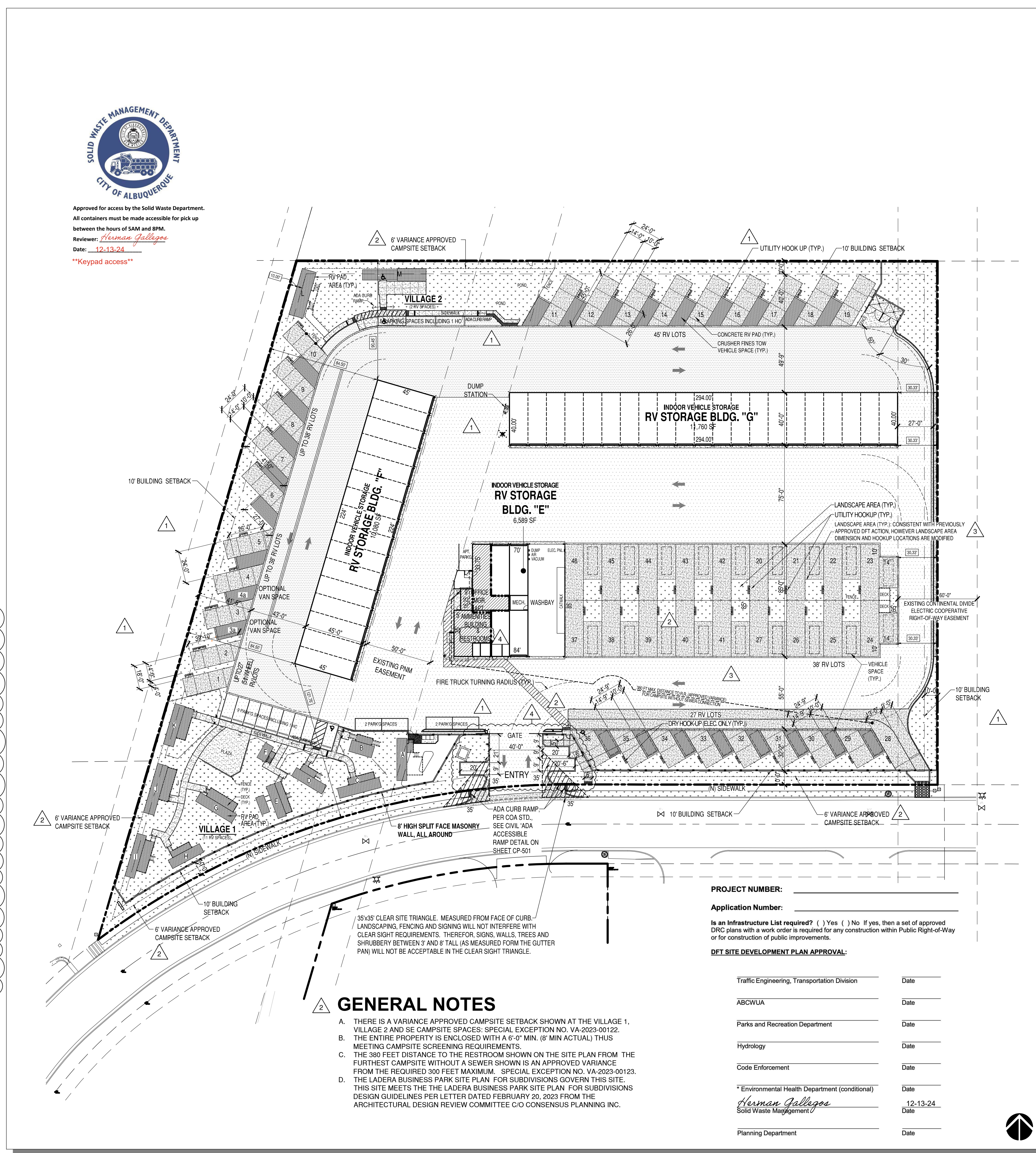
NOTE: UNLESS NOTED OTHERWISE, BUILDINGS, DRIVEWAYS, RV SPACES ETC. ARE PER PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN.

SPACE	CAMPSITE		UTILITIES PROVIDED	
	EXISTING (APPROVED)	REVISED	ELECTRIC & WATER-SEWER	ELECTRIC ONLY
1	X		X	
2	X		X	
3	X		X	
4	X		X	
5	X		X	
6	X		X	
7	X		X	
8	X		X	
9	X		X	
10	X		X	
11	X		X	
12	X		X	
13	X		X	
14	X		X	
15	X		X	
16	X		X	
17	X		X	
18	X		X	
19	X		X	
20		X	X	
21		X	X	
22		X	X	
23		X	X	
24		X	X	
25		X	X	
26		X	X	
27		X	X	
28		X	X	X
29		X	X	X
30		X	X	X
31		X	X	X
32		X	X	X
33		X	X	X
34		X	X	X
35		X	X	X
36		X	X	X
37		X	X	X
38		X	X	X
39		X	X	X
40		X	X	X
41		X	X	X
42		X	X	X
43		X	X	X
44		X	X	X
45		X	X	X
46		X	X	X
A		X	X	
B		X	X	
C		X	X	
D		X	X	
E		X	X	
F		X	X	
G		X	X	
H		X	X	
I		X	X	
J		X	X	
K		X	X	
L		X	X	
M		X	X	



Approved for access by the Solid Waste Department. All containers must be made accessible for pick up between the hours of 5AM and 8PM. Reviewer: Herman Gallegos Date: 12-13-24 \*\*Keypad access\*\*

CAMPGROUND USE SPECIFIC STANDARDS (INTEGRATED DEVELOPMENT ORDINANCE AS OF AUGUST 2024)	COMPLIANCE WITH USE-SPECIFIC STANDARDS
4-3(D)(14) Campground or Recreational Vehicle Park	
4-3(D)(14)(a) Minimum project size for a campground or recreational vehicle park is 1 acre.	THE SITE IS 5.25 ACRES
4-3(D)(14)(b) The maximum gross density within a campground shall be 25 camp sites per acre. Land that is not accessible to campers shall not be included in the calculation of gross density.	MAX. NUMBER OF CAMPSITE = 131 PROVIDED = 59
4-3(D)(14)(c) All recreational vehicles or tents parked or attached to the ground for use as an overnight accommodation shall be on a camp site.	COMPLIES
4-3(D)(14)(d) Each camp site shall provide parking spaces of adequate size to accommodate the vehicles allowed at the site. Each parking space shall be constructed so that no portion of the vehicle it is designed for shall extend onto any drive aisle within the campground.	COMPLIES
4-3(D)(14)(e) Camp sites shall be set back a minimum of 20 feet from each property line.	COMPLIES
4-3(D)(14)(f) Camp sites shall be screened on all sides by an opaque wall or vegetative screen at least 6 feet high unless they are set back at least 100 feet from any property line abutting a street.	COMPLIES
4-3(D)(14)(g) This use shall be serviced by a private street system providing safe and convenient access to all camp sites or RV spaces, which shall be paved as required for off-street parking regulations in the DPM.	COMPLIES
4-3(D)(14)(h) Water-flush toilets and urinals shall be provided and shall not be more than 300 feet in any direction of any camp site without an individual sewer connection.	COMPLIES
4-3(D)(14)(i) Toilets and lavatories shall be provided as required by with Articles 14-1 and 14-3 of ROA 1994 (Uniform Administrative Code and Technical Codes and Uniform Housing Code).	COMPLIES
4-3(D)(14)(j) On any side of the premises adjacent to any Residential zone district, an opaque wall or fence at least 6 feet high is required.	COMPLIES
4-3(D)(14)(k) A nonconforming campground and recreational vehicle park use constructed prior to the effective date of this IDO is allowed as a permissive primary use.	N.A.



## GENERAL NOTES

- THERE IS A VARIANCE APPROVED CAMPSITE SETBACK SHOWN AT THE VILLAGE 1, VILLAGE 2 AND SE CAMPSITE SPACES: SPECIAL EXCEPTION NO. VA-2023-00122.
- THE ENTIRE PROPERTY IS ENCLOSED WITH A 6" MIN. (6' MIN ACTUAL) THUS MEETING CAMPSITE SCREENING REQUIREMENTS.
- THE 380 FEET DISTANCE TO THE RESTROOM SHOWN ON THE SITE PLAN FROM THE FURTHEST CAMPSITE WITHOUT A SEWER SHOWN IS AN APPROVED VARIANCE FROM THE REQUIRED 300 FEET MAXIMUM. SPECIAL EXCEPTION NO. VA-2023-00123.
- THE LADERA BUSINESS PARK SITE PLAN FOR SUBDIVISIONS GOVERN THIS SITE. THIS SITE MEETS THE LADERA BUSINESS PARK SITE PLAN FOR SUBDIVISIONS DESIGN GUIDELINES PER LETTER DATED FEBRUARY 20, 2023 FROM THE ARCHITECTURAL DESIGN REVIEW COMMITTEE C/O CONSENSUS PLANNING INC.

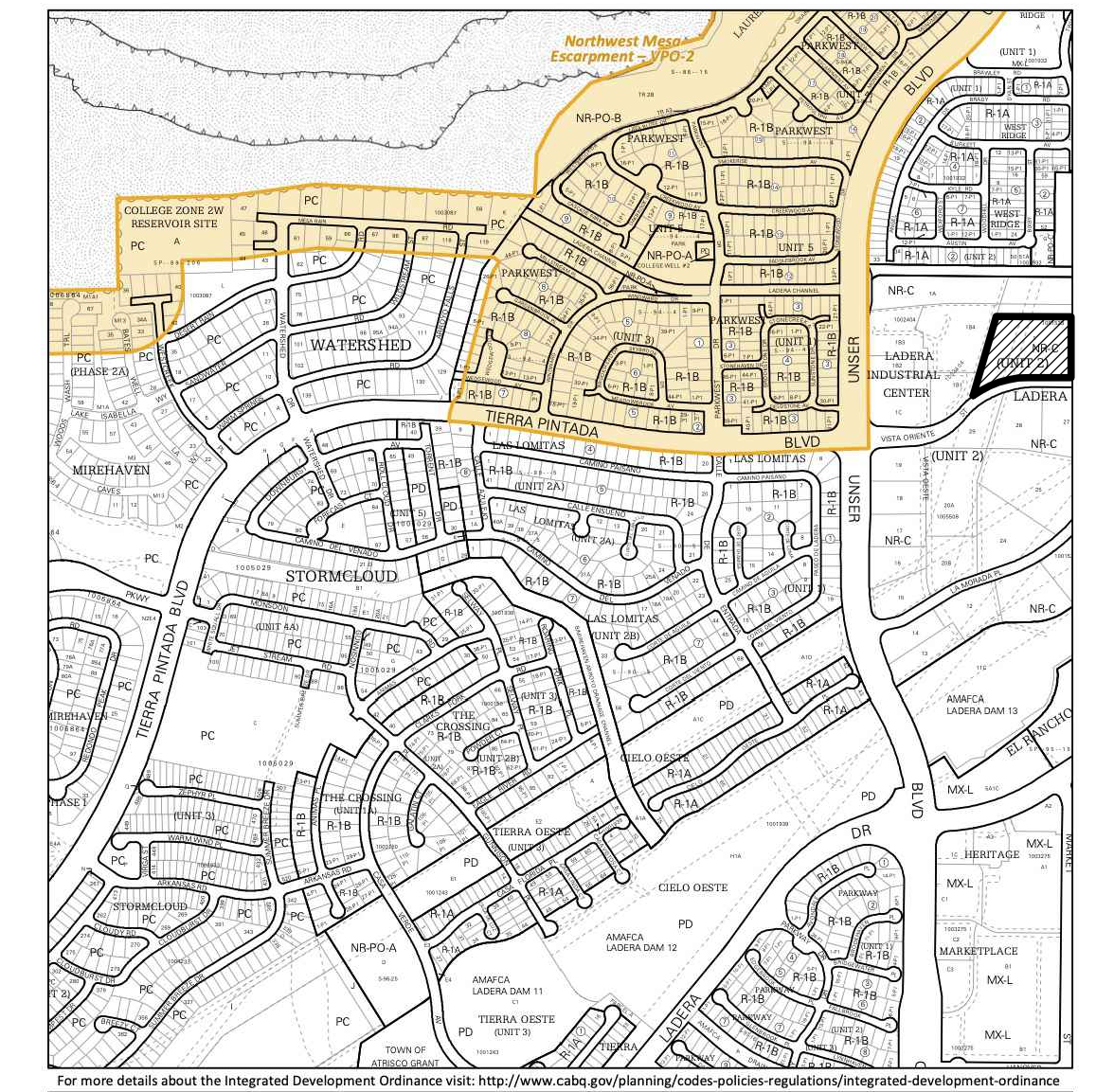
PROJECT NUMBER: \_\_\_\_\_  
 Application Number: \_\_\_\_\_  
 Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
 DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Herman Gallegos Solid Waste Management	12-13-24 Date
Planning Department	Date

## PROPOSED SITE PLAN REVISIONS

1" = 40'

## VICINITY MAP



For more details about the Integrated Development Ordinance visit: <http://www.ciabq.gov/Planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

AGIS

IDO Zoning Information as of May 17, 2018. The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page: H-09-Z

Legend: Easement, Esplanade, National Monument, Area Outside of City Limits, Airport Protection Overlay (APO) Zone, Character Protection Overlay (CPO) Zone, Historic Protection Overlay (HPO) Zone, View Protection Overlay (VPO) Zone.

## SITE DATA

PROJECT: ALBUQUERQUE RV AND BOAT STORAGE  
 ADDRESS: 2201 VISTA ORIENTE NW  
 OWNER: LADERA ENTERPRISES LLC  
 LEGAL DESCRIPTION: TRACT 1 UNIT 2 LADERA BUSINESS PARK  
 TOTAL LOT AREA: 5.215 ACRES  
 ZONING MAP: H-9-Z  
 CURRENT ZONING CLASSIFICATION: NR-C LIGHT INDUSTRIAL  
 BUILDING TYPE: II B. (NFPA 13D SPRINKLERED FOR R3 (APARTMENT) FIRE AREA)  
 TOTAL BUILDING AREA:

NEW BUILDING E CONFIGURATION: 6,589 SF (18,489 SF PREVIOUS APPROVAL) (27,773 SF ORIGINAL PERMIT NO. BP-2021-07160) (27,729 SF PREVIOUS PERMIT NO. BP-2022-07008)

EXISTING BUILDING F: 10,080 SF  
 EXISTING BUILDING G: 11,760 SF  
 TOTAL: 28,429 SF (40,329 SF PREVIOUS APPROVAL) (49,613 SF ORIGINAL)

CANOPY 8 REMOVED AND REPLACED WITH NOMADLAND RV SPACES (SEE BELOW)

NUMBER OF INDOOR RV STORAGE UNITS: 41 (65 PREVIOUS APPROVAL) (81 PREVIOUS)  
 NUMBER OF NOMADLAND RV CAMPSITE SPACES: 46 (36 PREVIOUS APPROVAL) (32 PREVIOUS)  
 NUMBER OF CANOPY COVERED RV SPACES: 0 (18 PREVIOUS)  
 NUMBER OF VILLAGE 1 & 2 CAMPSITE SPACES: 13 (13 RECONFIGURED / 13 PREVIOUS)  
 NUMBER OF OPEN RV VEHICLE STORAGE SPACES: 0 (4 PREVIOUS)

NUMBER OF PARKING SPACES: FOR CAMPGROUND OR RECREATIONAL VEHICLE PARK  
 1 SPACE PER DESIGNATED CAMPING OR RV SPOT;  
 52 SPACES PROVIDED (49 REQUIRED) (25 PREVIOUS)

MANAGER APARTMENT PARKING SPACE: 1 SPACE PROVIDED (1 REQUIRED) (SAME AS PREVIOUS)  
 DELIVERY PARKING: 3 SPACES



7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:  
**ABQ RV + BOAT STORAGE + CAMPSITE FACILITY**  
 2201 VISTA ORIENTE NW, ALBUQUERQUE, NM

SHEET TITLE:  
**PROPOSED SITE PLAN REVISIONS**

NO.	REVISION	DATE
1	SITE PLAN REVISIONS	2/21/23
2	DFT CODE ENFORCEMENT COMMENTS / GEN. REV.	7/13/23
3	SITE PLAN REVISION BUILDING 'E' AREA	10/14/24
4	DFT CODE ENFORCEMENT COMMENTS / GEN. REV.	11/25/24

ARCHITECT STAMP: KEVIN JUNO NO. 1693  
 CONSULTANT STAMP: DATE: 2/24/23  
 PROJECT NO. 1614  
 SHEET NO.

AA-SP-1

1  
 AA-SP-1