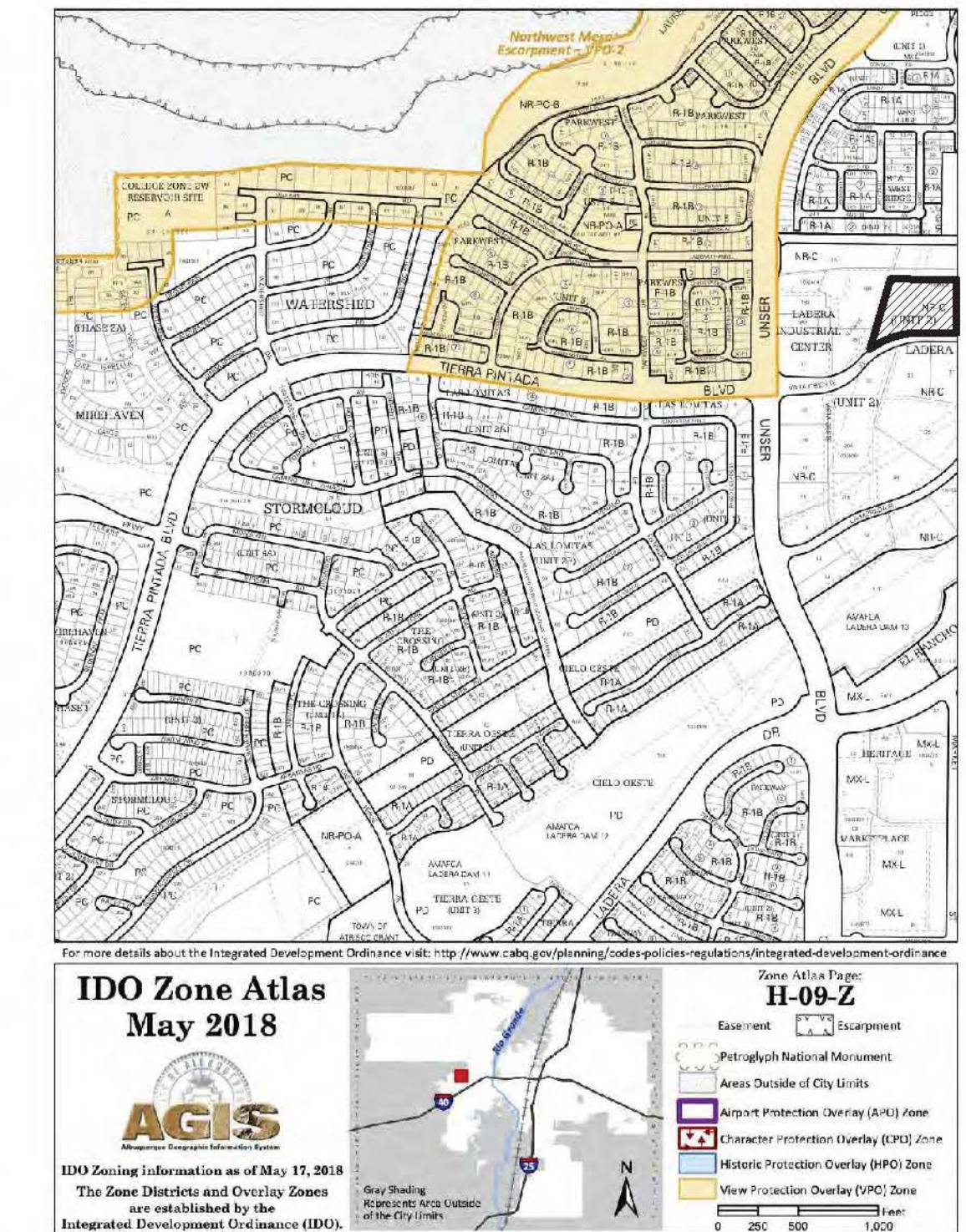


**VICINITY MAP**



PROJECT NUMBER: PR-2021-005492  
 Application Number: SI-2021-01694

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

|                            |              |
|----------------------------|--------------|
| <i>Jeanne Wolfenbarger</i> | Mar 21, 2022 |
| <i>Blaine Carter</i>       | Mar 23, 2022 |
| <i>Ernest Armijo</i>       | Mar 21, 2022 |
| <i>Jeff Palmer</i>         | Mar 22, 2022 |
| <i>Herman Gallegos</i>     | 03-17-22     |
| <i>Hereman Gallegos</i>    | Mar 24, 2022 |

Approved for access by the Solid Waste Department for 2 dumpsters.  
 Hereman Gallegos 03-17-22  
*Hereman Gallegos*

**JUNO ARCHITECTS**

7925 Bosque St. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:  
**ABQ RV + BOAT STORAGE**  
 2201 VISTA ORIENTE NW, ALBUQUERQUE, NM

SHEET TITLE:  
**PROPOSED SITE PLAN REVISIONS**

| NO. | REVISION                     | DATE     |
|-----|------------------------------|----------|
| 1   | PROPOSED SITE PLAN REVISIONS | 9/28/21  |
| 2   | DRB COMMENTS                 | 11/05/21 |
| 3   | DRB COMMENTS                 | 11/10/21 |
| 4   | DRB COMMENTS                 | 1/14/22  |

ARCHITECT STAMP: KEVIN JUNO NO. 1603  
 DATE: 9/29/21  
 PROJECT NO. 1614  
 SHEET NO. AA-SP-1

PROJECT NUMBER: 1001523  
 APPLICATION NUMBER: 18 DEP-70050

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [redacted] and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) YES ( ) NO if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

|  |           |
|--|-----------|
| <i>Raymond M. Mehl</i>                       | 3/1/17    |
| Traffic Engineering, Transportation Division | Date      |
| <i>Mark G. Gade</i>                          | 03-01-17  |
| Water, Utility Department                    | Date      |
| <i>James D. Hughes</i>                       | 3/1/17    |
| Parks and Recreation Department              | Date      |
| <i>James D. Hughes</i>                       | 3/1/17    |
| City Engineer                                | Date      |
| N/A  |           |
| Environmental Health Department              | Date      |
| N/A  |           |
| Solid Waste Management                       | Date      |
| <i>James D. Hughes</i>                       | 2-14-2018 |
| DRB Chairperson, Planning Department         | Date      |

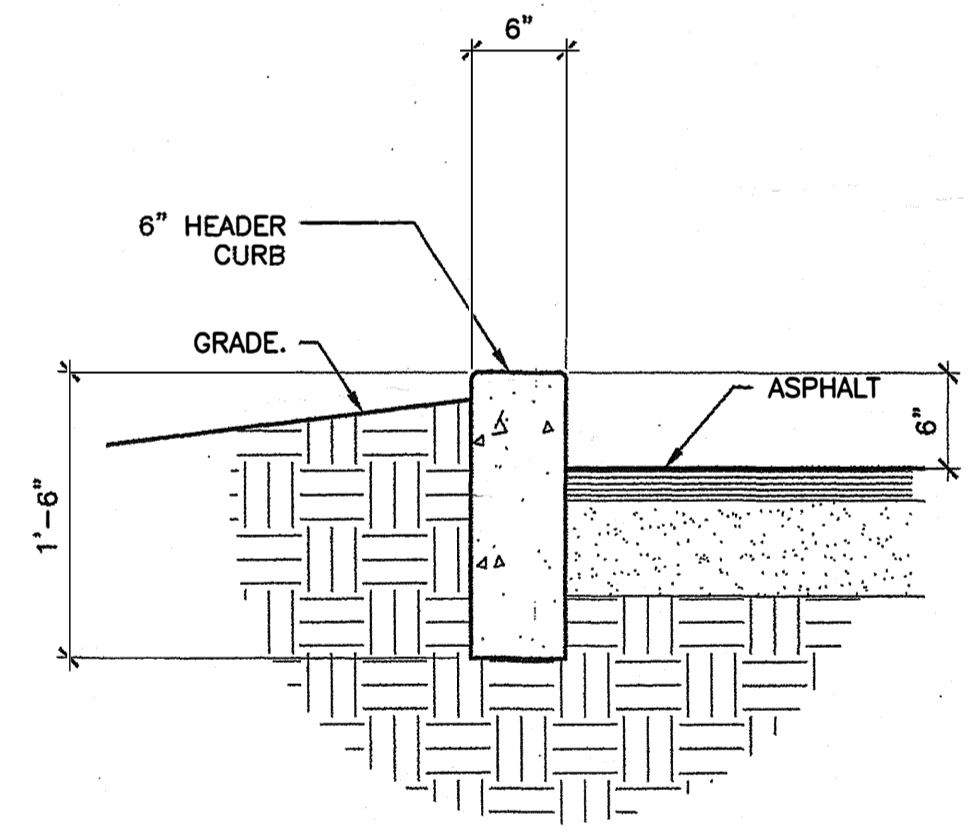
\* Environmental Health, if necessary

**ADMINISTRATIVE AMENDMENT**  
 FILE # SI-2021-0075 PROJECT # PR-2021-00549  
 Addition of 8 ft tall CMU wall on East, North and West sides of site.  
 Modification of structure names/labels.

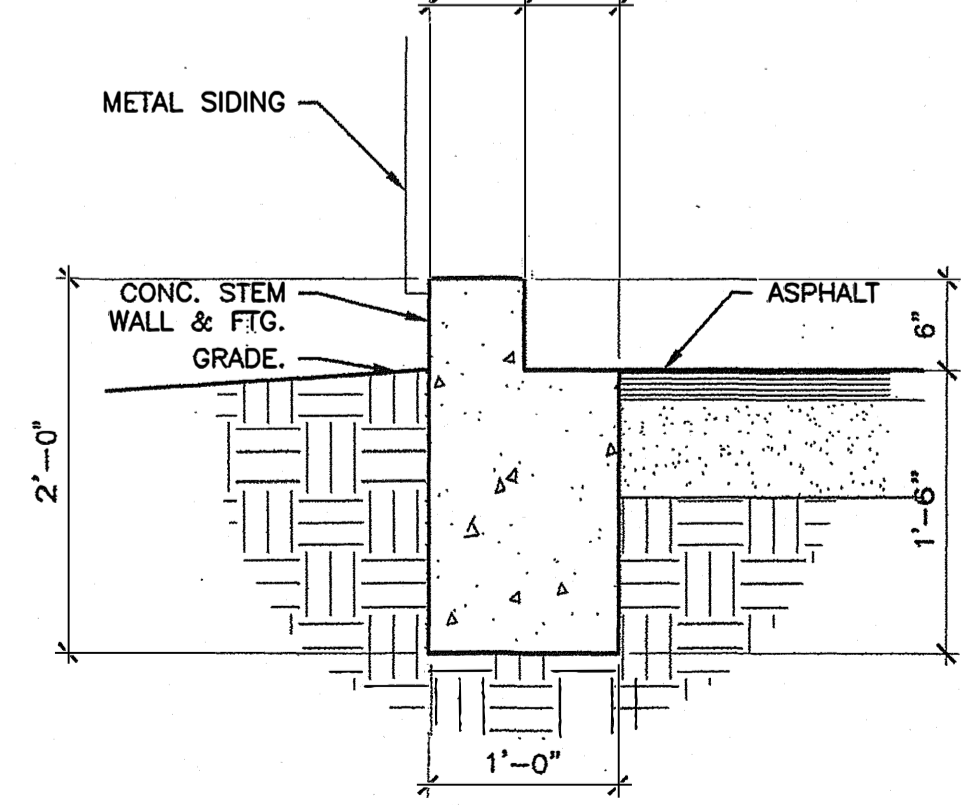
*Kevin Juno*  
 APPROVED BY DATE 7/21/2021

**GENERAL NOTES**

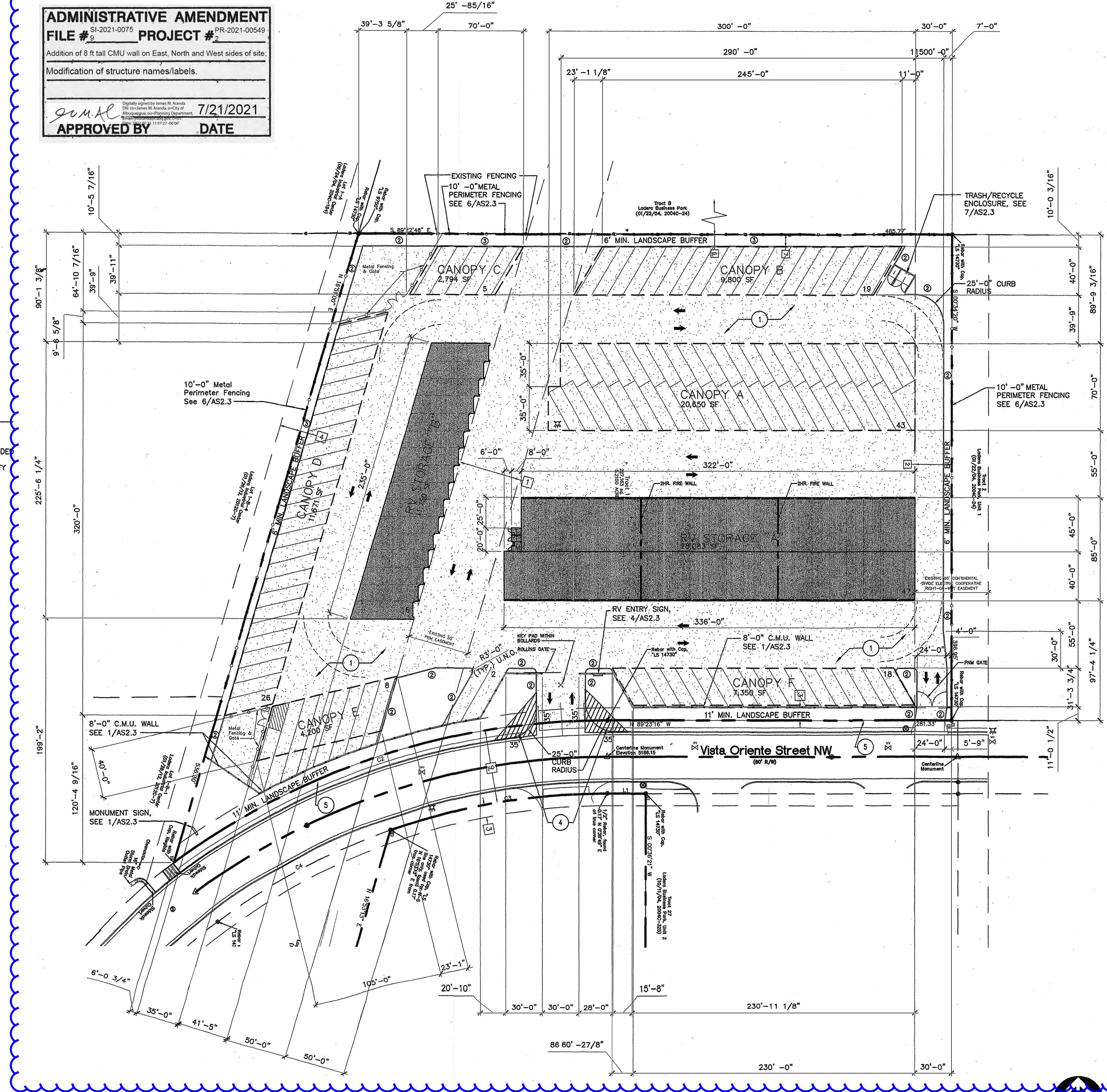
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- ALL SIDEWALKS ALONG STREETS SHALL BE PLACED AT THE PROPERTY LINE.



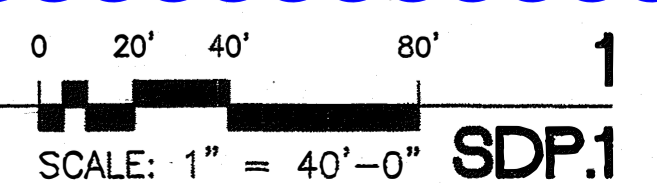
**FTG. • BACK OF CANOPIES 3**  
 SCALE: 1" = 1'-0" SDP.1



**FTG. • BACK OF CANOPIES 2**  
 SCALE: 1" = 1'-0" SDP.1



**SITE DEVELOPMENT PLAN**  
 SCALE: 1" = 40'-0" SDP.1



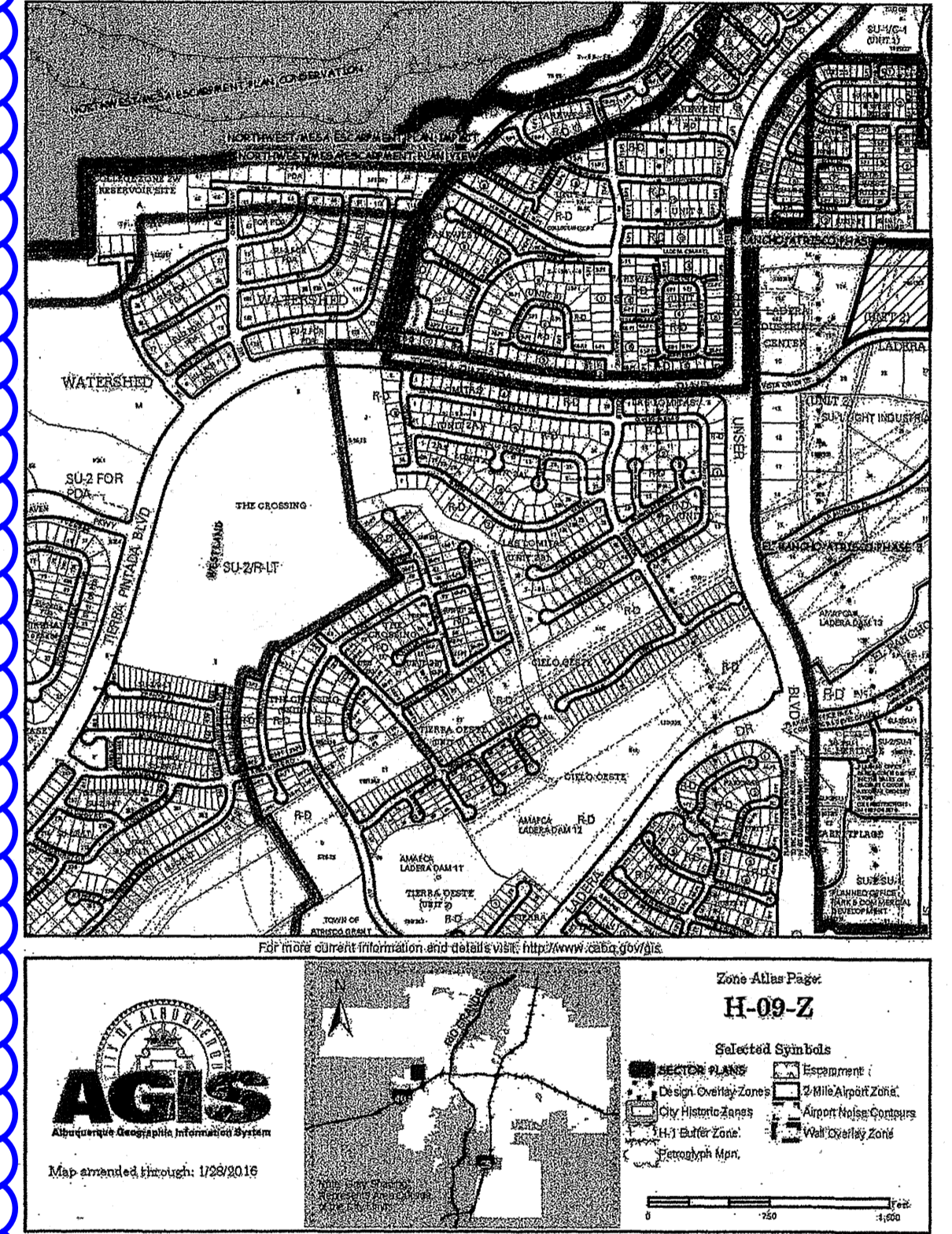
**KEYED NOTES**

- ASPHALT PAVING
- 6" HEADER CURB. TYP. U.N.O. REFER TO DETAIL 3/SDP.1
- FOOTING AT BACK SIDE OF CANOPIES. TYP. U.N.O. REFER TO DETAIL 2/SDP.1
- 35' X 35' CLEAR SIGHT TRIANGLE MEASURED FROM FACE OF CURB. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- PROPOSED 6" CONCRETE PUBLIC SIDEWALK PER COA STD. DET. 2430.

**SITE CRITERIA**

PROJECT: ALBUQUERQUE RV AND BOAT STORAGE  
 LOCATION: 2201 VISTA ORIENTE NW  
 OWNER: LADERA ENTERPRISES, LLC  
 ARCHITECT: JUNO ARCHITECTS  
 LEGAL DESCRIPTION: TRACT 1 UNIT 2 LADERA BUSINESS PARK  
 ZONING ATLAS MAP: H-9-Z  
 CURRENT ZONING CLASSIFICATION: SU-1 LIGHT INDUSTRIAL  
 BUILDING TYPE: II-B, NON-SPRINKLERED  
 TOTAL BUILDING AREA:  
 RV STORAGE A = 20,650 SF  
 RV STORAGE B = 11,971 SF  
 TOTAL = 32,621 SF  
 TOTAL LOT AREA: 5,215 AC.  
 PARKING ANALYSIS:  
 RV STORAGE = N/A  
 (NOTE: ALL OFFICE FUNCTIONS AND PARKING FOR THE SAME, INCLUDING ACCESSIBLE PARKING, MOTORCYCLE PARKING AND BICYCLE SPACES, ARE ACROSS THE STREET IN PHASE ONE OF THE FACILITY)  
 NUMBER OF RV STORAGE SPACES: 184  
 MAXIMUM BUILDING HEIGHT: 32 FEET

**VICINITY MAP**



**JUNO ARCHITECTS**  
 7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 890-1736

PROJECT:  
**ALBUQUERQUE RV + BOAT STORAGE**  
 2201 VISTA ORIENTE NW, ALBUQUERQUE, NM

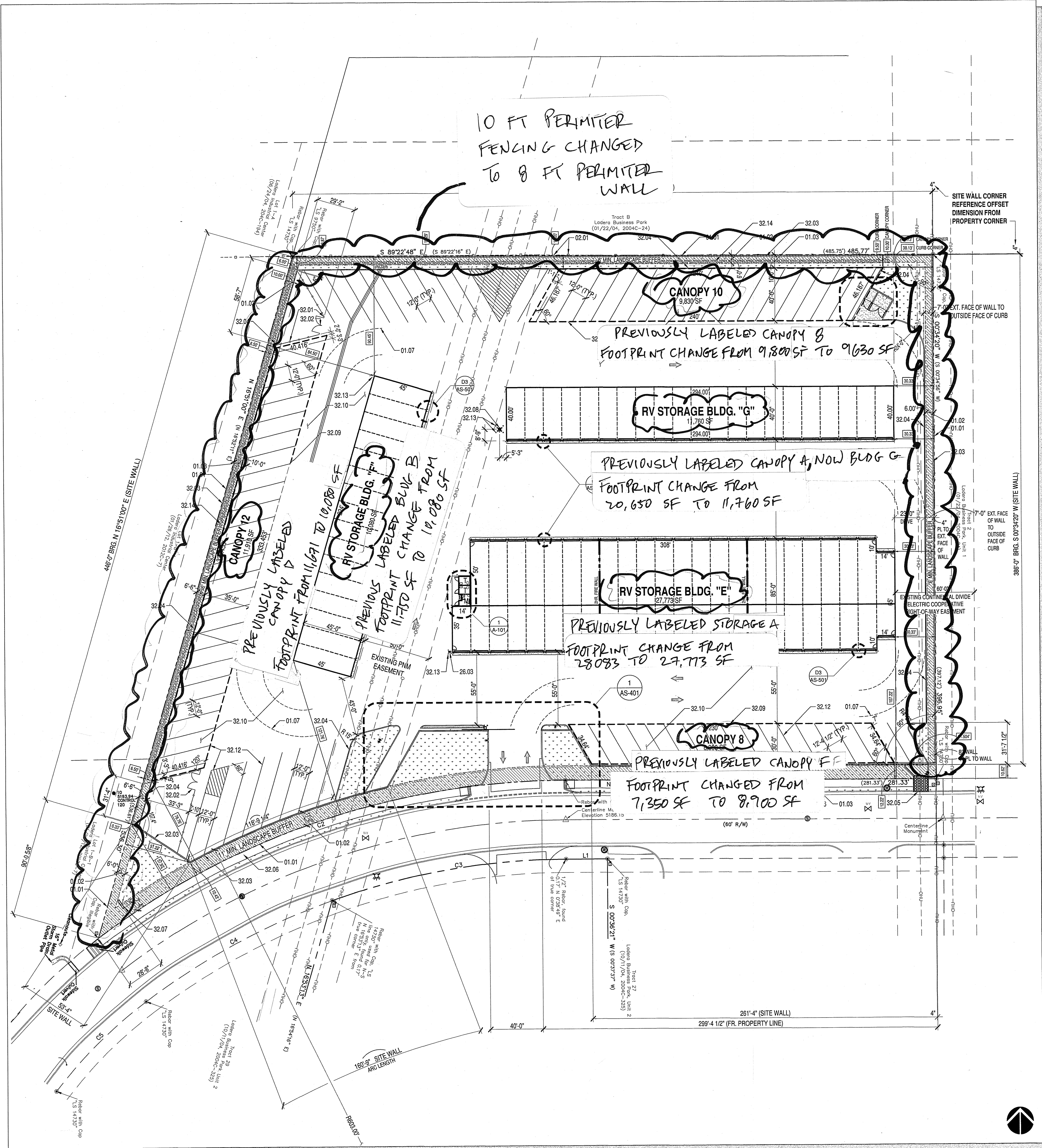
SHEET TITLE:  
**SITE DEVELOPMENT PLAN**

MODIFICATION TO ADD RV PARK SPACES AS ALLOWED BY THE NR-C ZONING, SEE NEW SHEETS AA-SP-1 & AA-FP-1.

ARCHITECT STAMP CONSULTANT STAMP DATE:  
 12-20-16  
 PROJECT NO. 1614  
 SHEET NO.



**SDP.1**



ARCHITECTURAL SITE PLAN  
1"=40'

1  
AS-101

**GENERAL NOTES**

- A. GENERAL SITE LAYOUT: BUILDING E & G AND CANOPY B & 10 ARE LAID OUT PERPENDICULAR / ORTHOGONAL TO THE EAST PROPERTY LINE.
- B. PRIOR TO BIDDING AND AGAIN PRIOR TO COMMENCING WORK, GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO FIELD VERIFY ALL EXISTING CONDITIONS RELATIVE TO THE NEW WORK. CONTRACTOR TO REPORT ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS, NEW WORK, AND ANY RELATED WORK TO THE ARCHITECT PRIOR TO BIDDING/COMMENCING WORK.
- C. COORDINATE WORK WITH SITE PLANS, ARCHITECTURAL PLANS, CIVIL, UTILITIES DRAWINGS, MECHANICAL, PLUMBING, ELECTRICAL, DWGS.
- D. NEW FILL MATERIAL SHALL BE ENGINEERED FILL.
- E. AT ALL EXTERIOR CONCRETE SIDEWALK LOCATIONS PROVIDE 6X6 / 10X10 WELDED WIRE MESH REINFORCING CENTERED IN THE SLAB U.N.O. ON STRUCTURAL OR CIVIL SHEETS. INSTALL OVER COMPACTED GRADE TO 90% MINIMUM. SEE GEOTECHNICAL ENGINEERING REPORT.
- F. UTILITIES ARE SHOWN IN APPROXIMATE LOCATION ONLY. SEE CIVIL AND SURVEY SHEETS.
- G. CONTRACTOR MUST VERIFY EXISTING CONDITIONS AND EXACT LOCATIONS WITH APPROPRIATE PUBLIC UTILITIES BEFORE COMMENCING WORK.
- H. AT EXTERIOR SITE UTILITIES WORK: SAW CUT TRENCHES, INSTALL WORK, COMPACT TO 90% MIN. AND REPLACE W/ PAVING / CONCRETE, MATCH EXISTING. COORDINATE THIS WORK WITH MECHANICAL, PLUMBING & ELECTRICAL. ALL TRENCHES WILL BE REQUIRED TO HAVE NEW PAVEMENT MATERIAL INSTALLED OVER TRENCH UNLESS OTHERWISE INDICATED.
- I. SEE GEOTECHNICAL INVESTIGATION REPORT AND RECOMMENDATIONS FOR SITE WORK.
- J. SEE CIVIL, LANDSCAPE, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE INFORMATION AND FOR UNDERGROUND IMPROVEMENTS / WORK ITEMS.
- K. STAKING AND BUILDING LAYOUT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- L. SEE LANDSCAPE FOR ALL IRRIGATION PIPE SLEEVING.
- M. GROUT ALL CMU BELOW GRADE SOLID. GROUT ALL REINFORCED CMU CELLS SOLID.
- N. COMPLY W/ ALL CITY OF ALBUQUERQUE REQUIREMENTS FOR TRAFFIC CONTROL, STREET CLOSURE, WORKING WITHIN THE CITY RIGHT-OF-WAY, ETC.
- O. COMPLY W/ ALL REGULATORY REQUIREMENTS FOR TRAFFIC CONTROL AND STREET LINE UP CLOSURE.

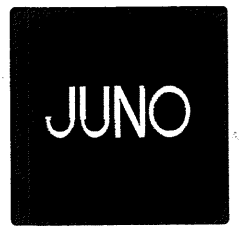
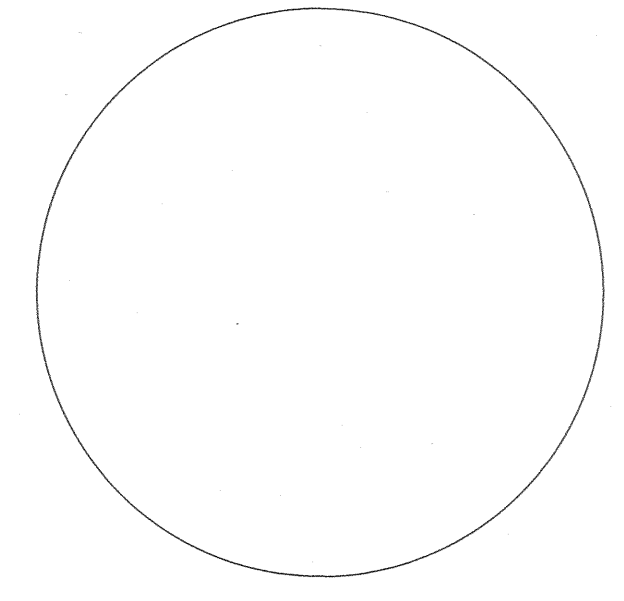
**KEYED NOTES**

- 01.01 PROPERTY LINE.
- 01.02 LANDSCAPE SETBACK.
- 01.03 BUILDING SETBACK.
- 01.07 50' FIRE TRUCK TURNING RADIUS.
- 02.01 DASHED LINE INDICATES REMOVE EXISTING T-POST FENCING.
- 26.03 AUTOMATIC GATE ACCESS CONTROL DEVICE.
- 32.01 6' HIGH METAL FENCE.
- 32.02 PAIR 6'-0" X 6'-0" H METAL GATE.
- 32.03 8'-0" HIGH ABOVE FINISH GRADE MAX. CMU RETAINING WALL. TYPICAL ALONG NORTH, EAST AND WEST PROPERTY LINE IS A 4" OFFSET.
- 32.04 CONCRETE CURB, SEE CIVIL.
- 32.05 OUTFALL / COVERED SIDEWALK CULVERTS, SEE CIVIL.
- 32.06 PUBLIC SIDEWALK, SEE CIVIL.
- 32.07 MONUMENT SIGN, SEE DETAIL B2/AS-501.
- 32.08 FIRE HYDRANT, SEE UTILITY PLAN.
- 32.09 DASHED LINE INDICATES OVERHEAD PARKING CANOPY. SEE METAL BUILDING DRAWINGS.
- 32.10 ASPHALT PAVING OVER BASE COURSE, SEE CIVIL.
- 32.11 CONCRETE ALLEY GUTTER, SEE CIVIL.
- 32.12 PAINTED PARKING STRIPING (TYP.).
- 32.13 STEEL PIPE BOLLARD (TYP.). SEE DETAIL.
- 32.14 12" DEEP SWALE, SEE CIVIL.

**LEGEND**

- X-XXX DIMENSIONS SHOWN ARE FROM PROPERTY LINE, STEEL LINE (SEE METAL BUILDING DRAWINGS), FACE OF CMU OR FACE OF OBJECT UNLESS NOTED OTHERWISE
- XX-XXX OFFSET DIMENSION (FROM PROPERTY LINE)
- X-XX ARC LENGTH
- X-X' ARC LENGTH

**CITY APPROVAL STAMP**



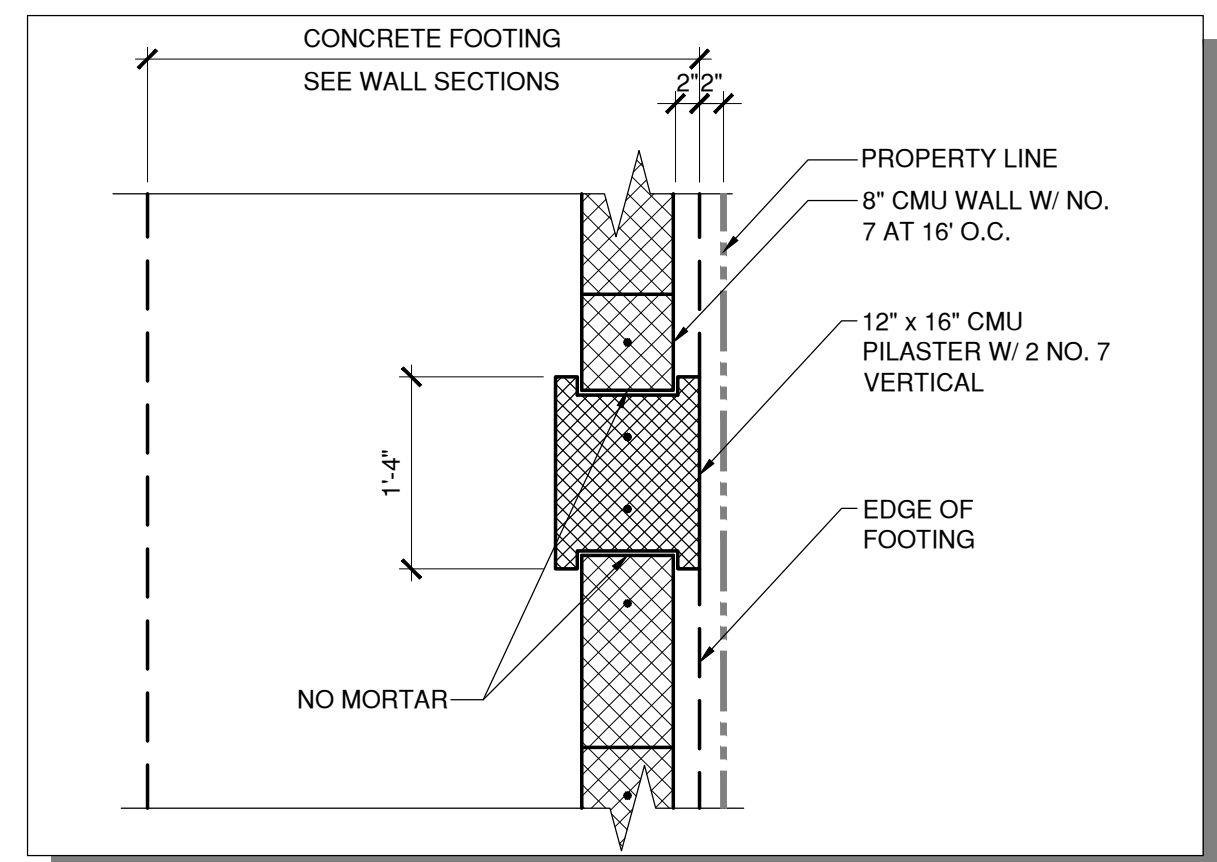
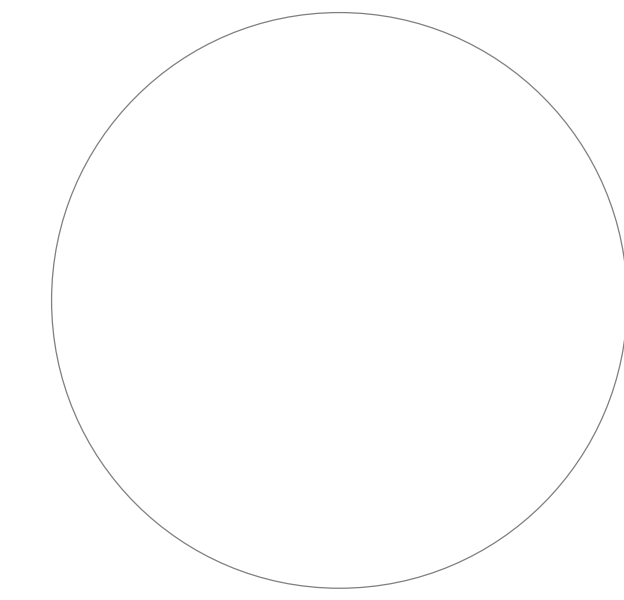
ARCHITECTS  
7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:  
**ABQ RV + BOAT STORAGE**  
2201 VISTA ORIENTE NW, ALBUQUERQUE, NM

SHEET TITLE:  
**ARCHITECTURAL SITE PLAN**

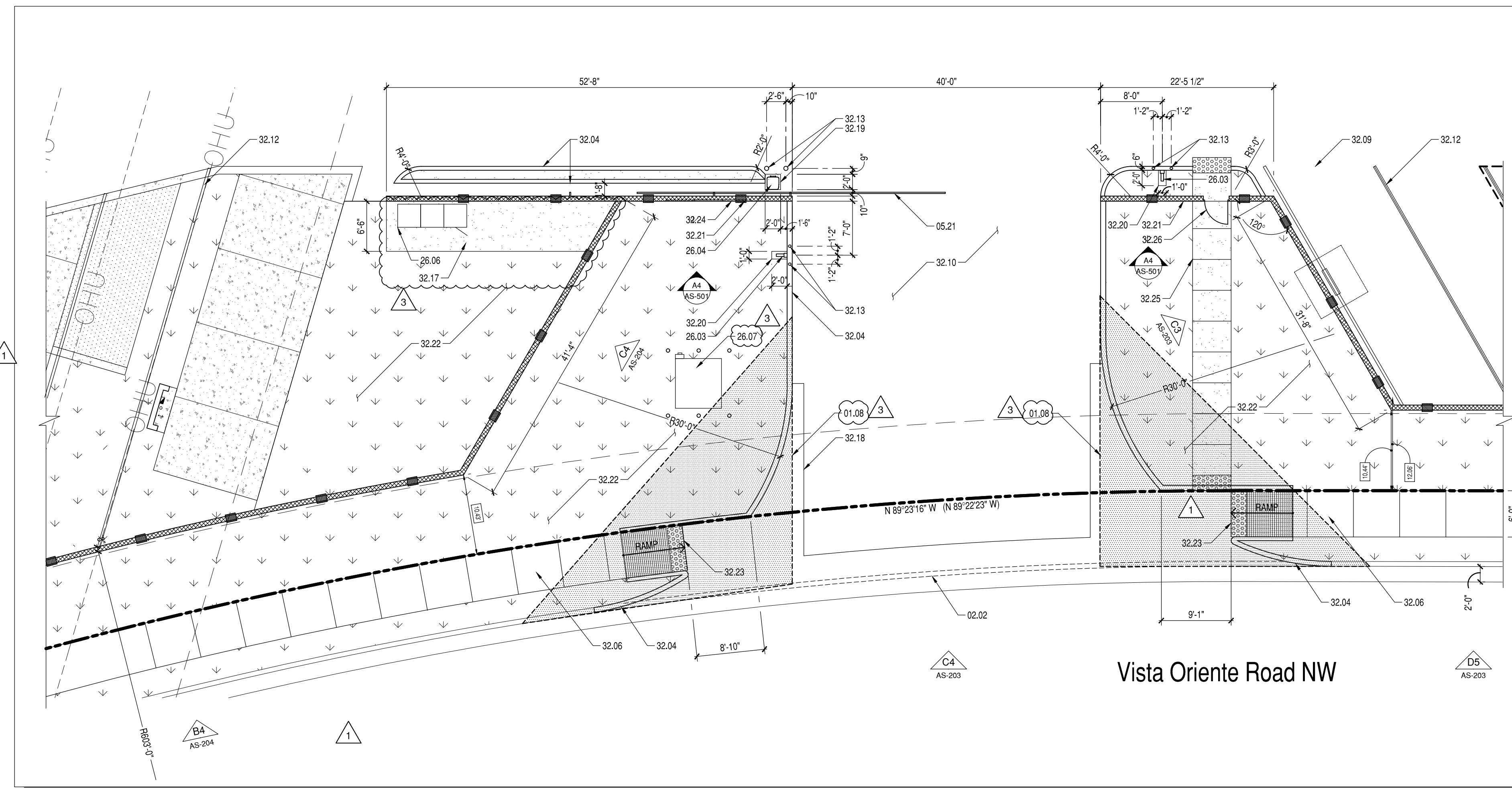
| NO. | REVISION | DATE |
|-----|----------|------|
|     |          |      |
|     |          |      |
|     |          |      |

|                 |                  |                            |
|-----------------|------------------|----------------------------|
| ARCHITECT STAMP | CONSULTANT STAMP | DATE:<br>12/22/20          |
|                 |                  | PROJECT NO.<br>1614        |
|                 |                  | SHEET NO.<br><b>AS-101</b> |



**PILASTER DETAIL**  
3/4" = 1'-0"

D1  
AS-401

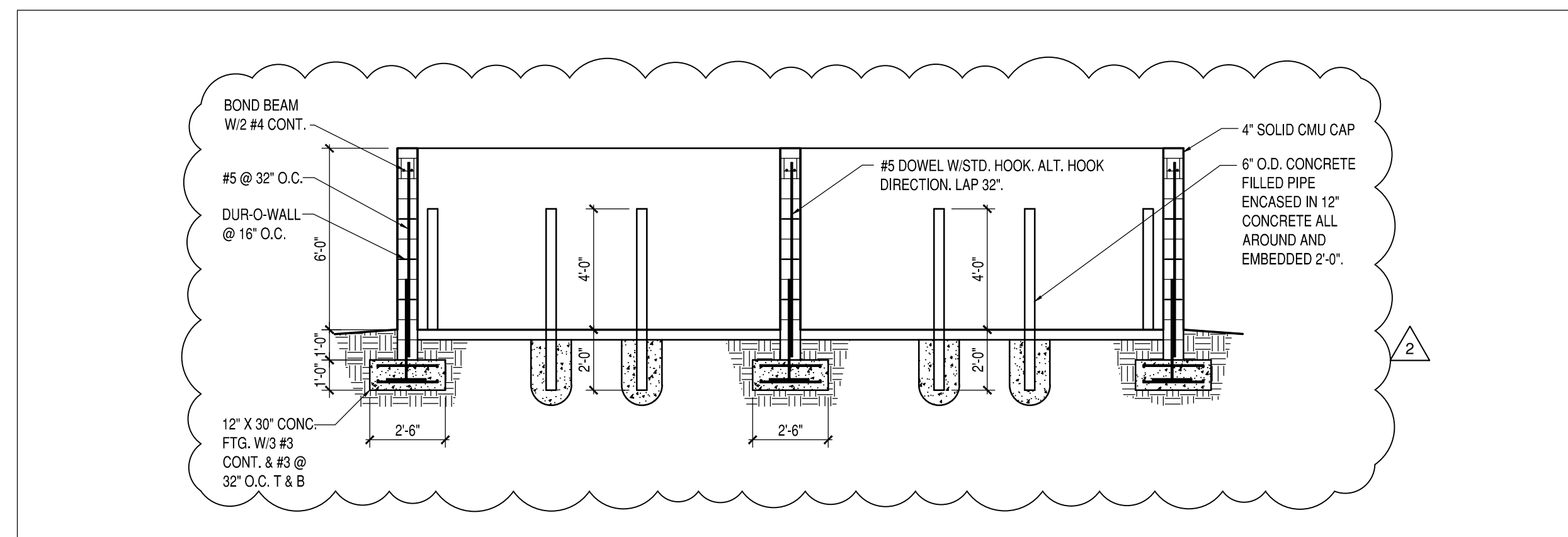


**ENLARGED SITE ENTRY PLAN**  
1" = 10'

1  
AS-401

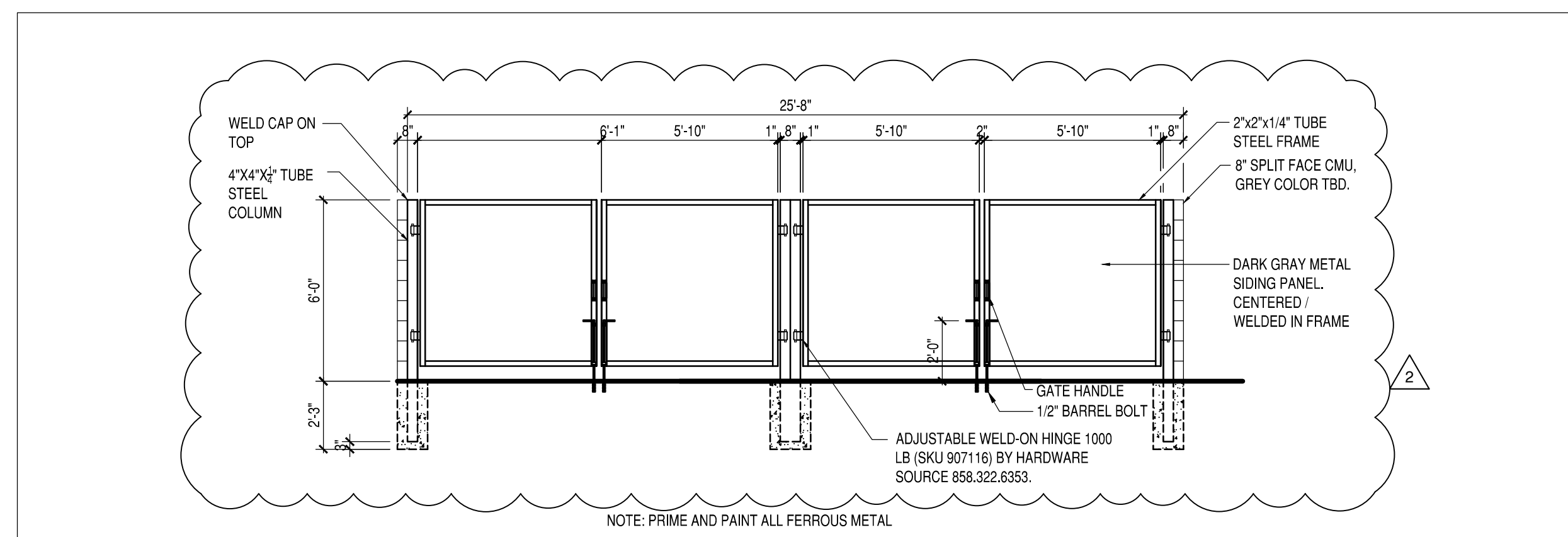
**KEYED NOTES**

- 01.08 CLEAR SITE TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE.
- 02.02 REMOVE EXISTING CURB. SEE CIVIL.
- 05.21 ENTRY GATE. SEE ENTRY GATE ELEVATION.
- 26.03 AUTOMATIC GATE ACCESS CONTROL DEVICE.
- 26.04 DOOR OPERATOR.
- 32.04 CONCRETE CURB, SEE CIVIL.
- 32.06 PUBLIC SIDEWALK, SEE CIVIL.
- 32.09 DASHED LINE INDICATES OVERHEAD PARKING CANOPY. SEE METAL BUILDING DRAWINGS.
- 32.10 ASPHALT PAVING OVER BASE COURSE, SEE CIVIL.
- 32.12 PAINTED PARKING STRIPING (TYP.).
- 32.13 STEEL PIPE BOLLARD (TYP.). SEE DETAIL.
- 32.18 VALLEY GUTTER / CURB RETURN, SEE CIVIL.
- 32.19 1'-0" X 2'-0" X 24" THICK CONCRETE PAD FLUSH WITH TOP OF CURB; 3000 PSI MIN. AIR ENTRAINED, FLUSH WITH TOP OF CURB.
- 32.20 1'-0" X 2'-0" X 24" THICK CONCRETE PAD FLUSH WITH TOP OF CURB; 3000 PSI MIN. AIR ENTRAINED, FLUSH WITH TOP OF CURB.
- 32.21 CMU YARDWALL (TYP.).
- 32.22 LANDSCAPE AREA (TYP.). SEE LANDSCAPING.
- 32.23 ADA COMPLIANT RAMP. SEE CIVIL.
- 32.24 ENTRY SIGN, SEE DETAIL.
- 32.25 CONCRETE WALK, SEE CIVIL.
- 32.26 3'-0" WIDE STEEL GATE, SEE ELEVATION.
- 26.06 SWITCHBOARD, SEE ELECTRICAL.
- 26.07 TRANSFORMER, SEE ELECTRICAL.



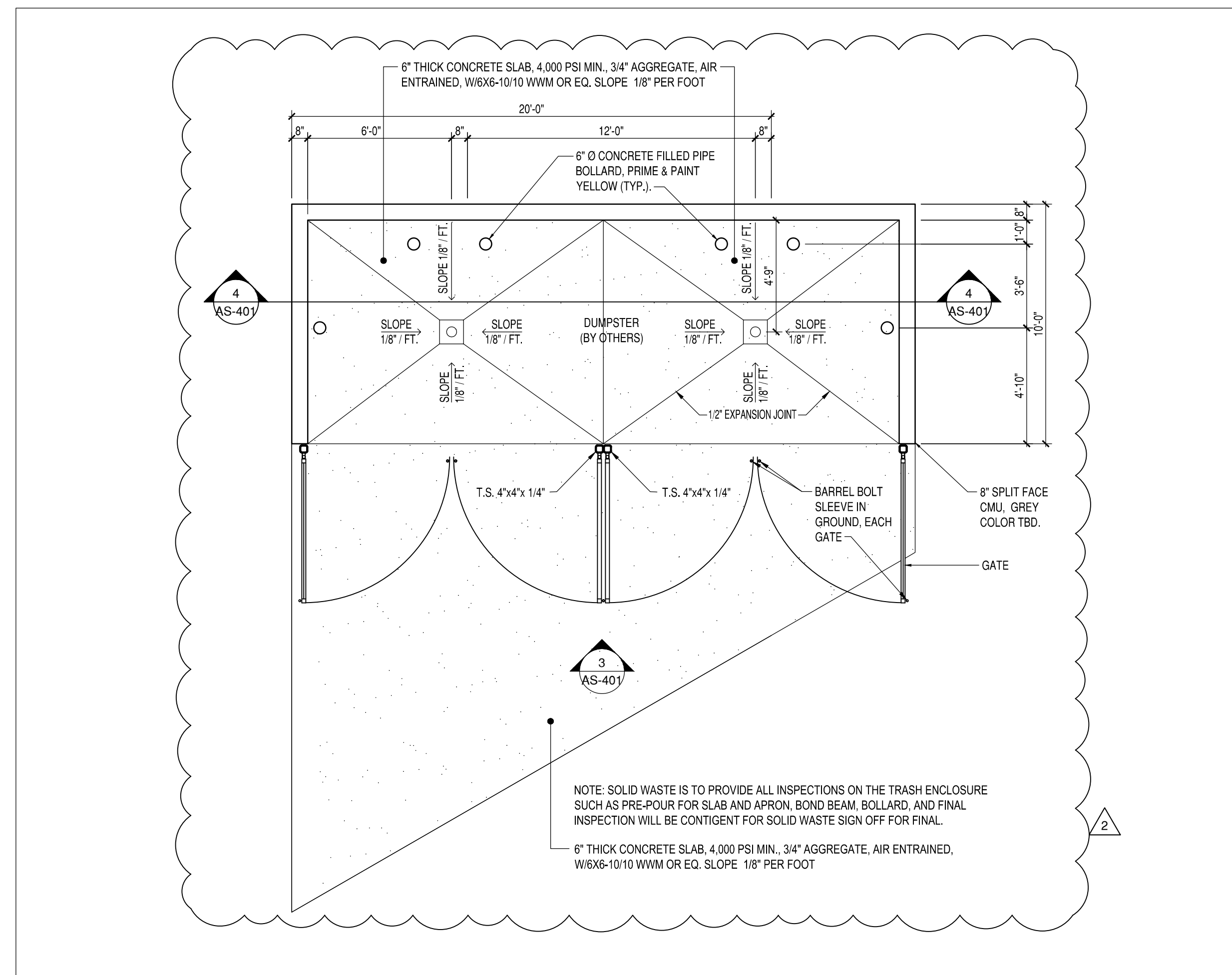
**DUMPSTER ENCLOSURE SECTION**  
1/4" = 1'-0"

4  
AS-401



**DUMPSTER ENCLOSURE FRONT ELEVATION**  
1/4" = 1'-0"

3  
AS-401



**ENLARGE TRASH DUMPSTER ENCLOSURE**  
1/4" = 1'-0"

2  
AS-401



ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:  
**ABQ RV + BOAT STORAGE**  
**2201 VISTA ORIENTE NW, ALBUQUERQUE, NM**

SHEET TITLE:  
**ENLARGED SITE PLAN AND DETAILS**

| NO. | REVISION                       | DATE    |
|-----|--------------------------------|---------|
| 1   | SITE WALL / GEN. REVISIONS     | 6/28/21 |
| 2   | DRB / SOLID WASTE COMMENTS     | 1/14/22 |
| 3   | NOMAD LAND RV PARK - REVISIONS | 2/11/22 |



CONSULTANT STAMP

DATE:

12/22/20

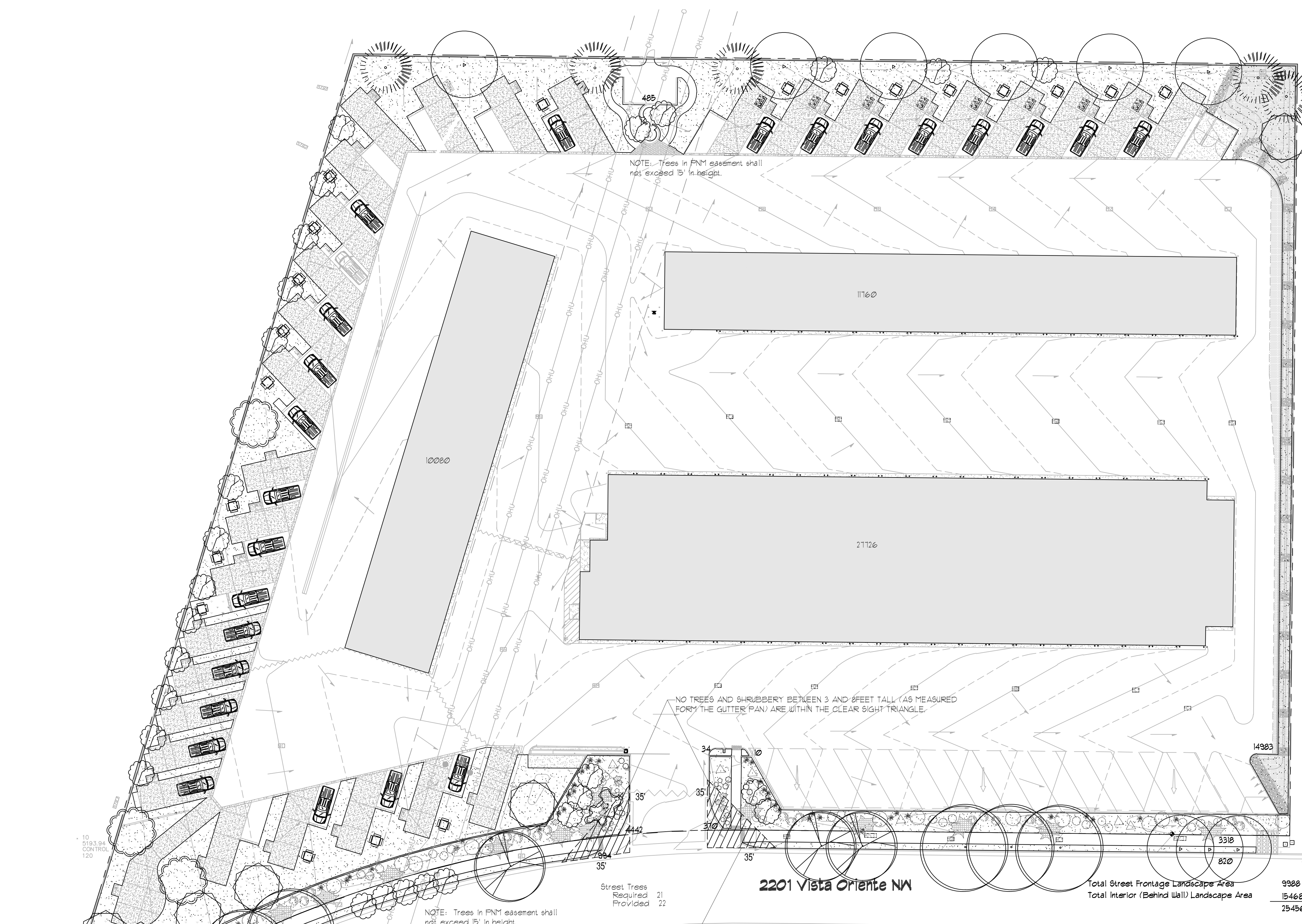
PROJECT NO.

1614

SHEET NO.

*Handwritten signature and date: 1.19.21*

**AS-401**



**LANDSCAPE LEGEND**

QTY SIZE COMMON/BOTANICAL H2O USE

**Trees**

|                           |        |  |       |      |         |
|---------------------------|--------|--|-------|------|---------|
| 12                        | 2" cal | Chinese Pistache<br><i>Pistacia chinensis</i>          | 40x35 | 1225 | 14700 M |
| 5                         | 2" cal | Honey Locust<br><i>Gleditsia triacanthos</i>           | 50x45 | 2025 | 10125 M |
| 3                         | 2" cal | Modesto Ash<br><i>Fraxinus velutina</i>                | 50x45 | 2025 | 6075 M  |
| 13                        | 2" cal | Frontier Elm<br><i>Ulmus 'Frontier'</i>                | 35x25 | 625  | 8125 M  |
| 5                         | 6 - 8' | Austrian Pine<br><i>Pinus nigra</i>                    | 35x25 | 625  | 3125 M  |
| 1                         | 15 Gal | Crape Myrtle<br><i>Lagerstroemia indica</i>            | 15x20 | 400  | 400 M   |
| 3                         | 15 Gal | Sensation Box Elder<br><i>Acer negundo 'Sensation'</i> | 25x25 | 625  | 1875 M  |
| 28                        | 15 Gal | Oklahoma Redbud<br><i>Cercis reniformis</i>            | 15x12 | 144  | 4032 M  |
| 8                         | 15 Gal | Desert Willow<br><i>Chilopsis linearis</i>             | 20x25 | 625  | 5000 M  |
| Total Tree Coverage 53451 |        |  |       |      |         |

**Shrubs & Groundcovers**

|                           |       |  |                                       |     |        |
|---------------------------|-------|--|---------------------------------------|-----|--------|
| 21                        | 5 Gal | India Hawthorne<br><i>Raphiolepis indica</i>                           | 3x6                                   | 36  | 156 M  |
| 43                        | 5 Gal | Karl Foerster Grass<br><i>Calamagrostis acutiflora 'Karl Foerster'</i> | 2.5x3                                 | 9   | 381 M  |
| 14                        | 5 Gal | Deep Blue Lavender<br><i>Lavender angustifolia 'Hidcote'</i>           | 2x3                                   | 9   | 126 M  |
| 8                         | 5 Gal | Butterfly Bush<br><i>Buddleia davidii</i>                              | 5x1                                   | 49  | 392 M  |
| 14                        | 5 Gal | Buffalo Juniper<br><i>Juniperus sabino 'Buffalo'</i>                   | 1x12                                  | 144 | 2016 M |
| 14                        | 5 Gal | Cherry Sage<br><i>Salvia greggii</i>                                   | 2x3                                   | 9   | 126 M  |
| 13                        | 5 Gal | Blue Mist<br><i>Caryopteris x clandonensis</i>                         | 3x3                                   | 9   | 117 M  |
| 2                         | 5 Gal | Chamisa<br><i>Chrysothamnus nauseosus</i>                              | 5x1                                   | 49  | 98 L   |
| 15                        | 5 Gal | Apache Plume<br><i>Fallugia paradoxa</i>                               | 6x1                                   | 49  | 135 L  |
| 22                        | 5 Gal | Turpentine Bush<br><i>Ericameria laricina</i>                          | 4x6                                   | 36  | 192 L  |
| 9                         | 5 Gal | Knock Out Roses<br><i>Rosa 'Knock Out'</i>                             | 3x4                                   | 12  | 108 L  |
| xx                        | 2-3cf | Boulders   | To be placed at contractor discretion |     |        |
| Total Shrub Coverage 5653 |       |  |                                       |     |        |

**LANDSCAPE CALCULATIONS**

|                                    |         |
|------------------------------------|---------|
| TOTAL LOT AREA (sf)                | 22163   |
| TOTAL FENCED IN STORAGE AREA       | -216258 |
| NET LOT AREA (sf)                  | 10305   |
| LANDSCAPE REQUIREMENT              | X .15   |
| TOTAL LANDSCAPE REQUIRED (15%)     | 1545    |
| TOTAL ON-SITE LANDSCAPE PROVIDED   | 25456   |
| TOTAL LIVE PLANT COVERAGE REQUIRED | 1160    |
| TOTAL LIVE PLANT COVERAGE PROVIDED | 53110   |

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque, Zoning Code. In general, water conservation, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas indicated on the plan.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

**IRRIGATION NOTES:**  
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with trees to receive 1 Netain spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netain shall have emitters 12" o.c. with a flow of 1/8 gph. Shrubs to receive 1/20 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end.

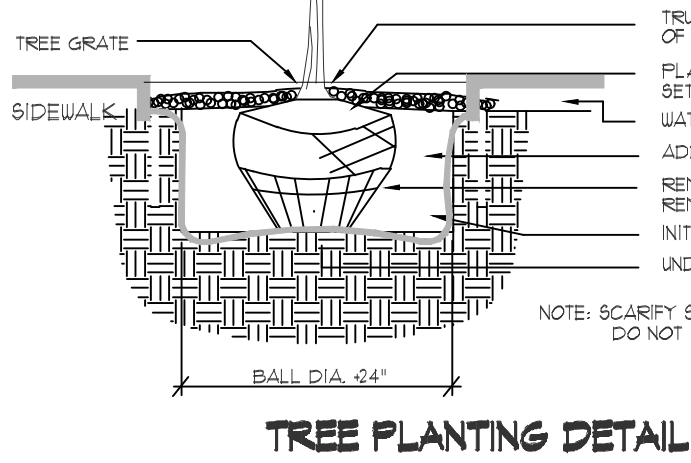
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valves shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

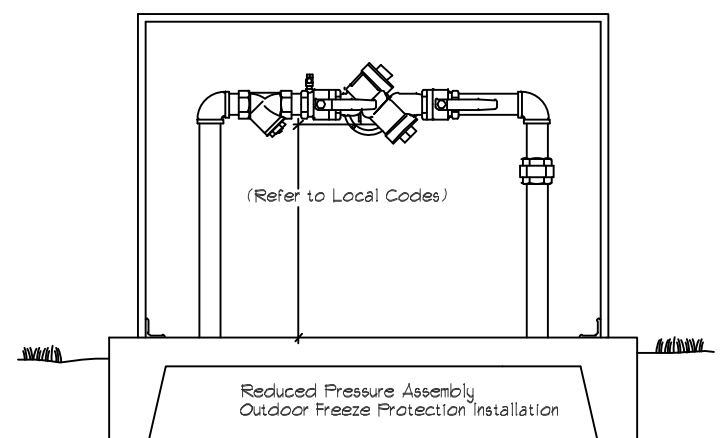
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

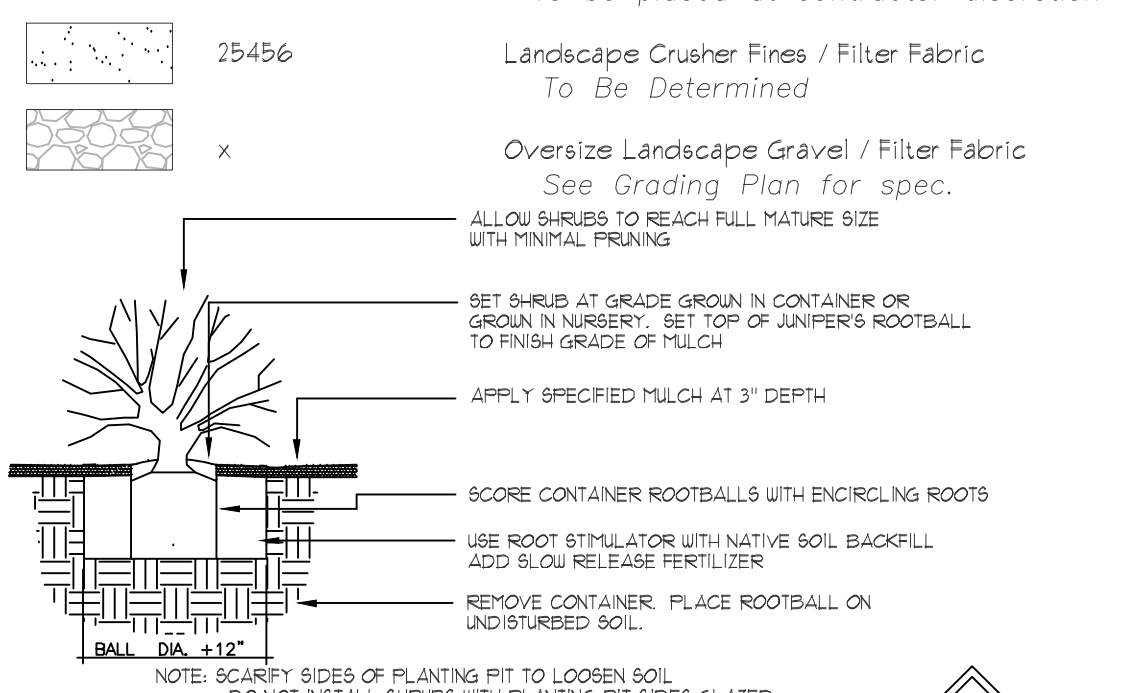
Water and Power source shall be the responsibility of the Developer/Builder.



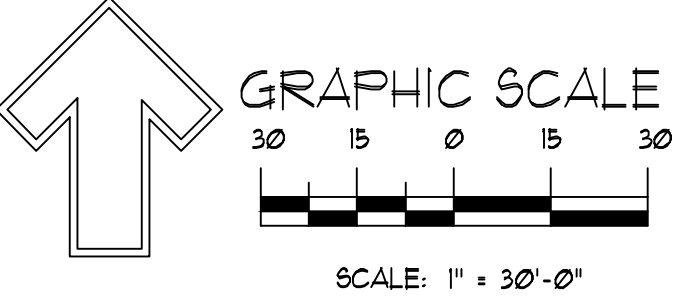
**TREE PLANTING DETAIL** N.T.S.



**RPA, HOTBOX TYP.** N.T.S.



**SHRUB PLANTING DETAIL** N.T.S.



SCALE: 1" = 30'-0"

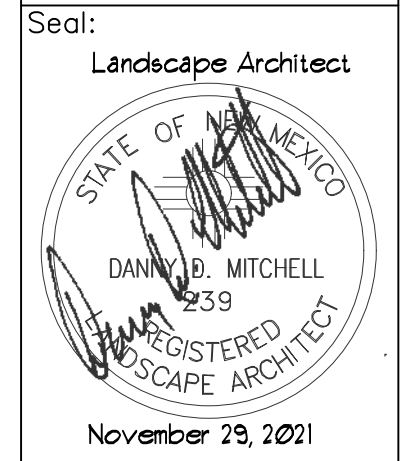
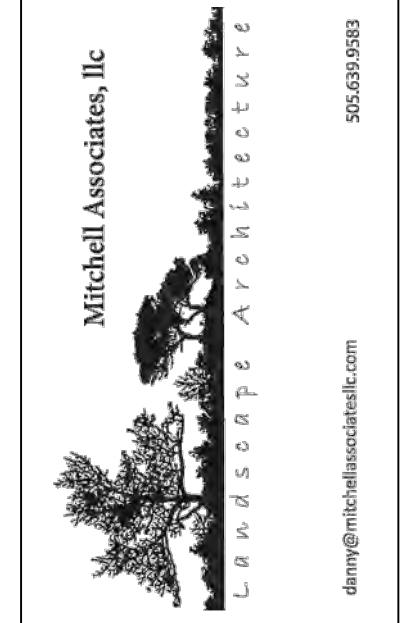
REVISIONS

| Date: | dm | Comment |
|-------|----|---------|
|       |    |         |

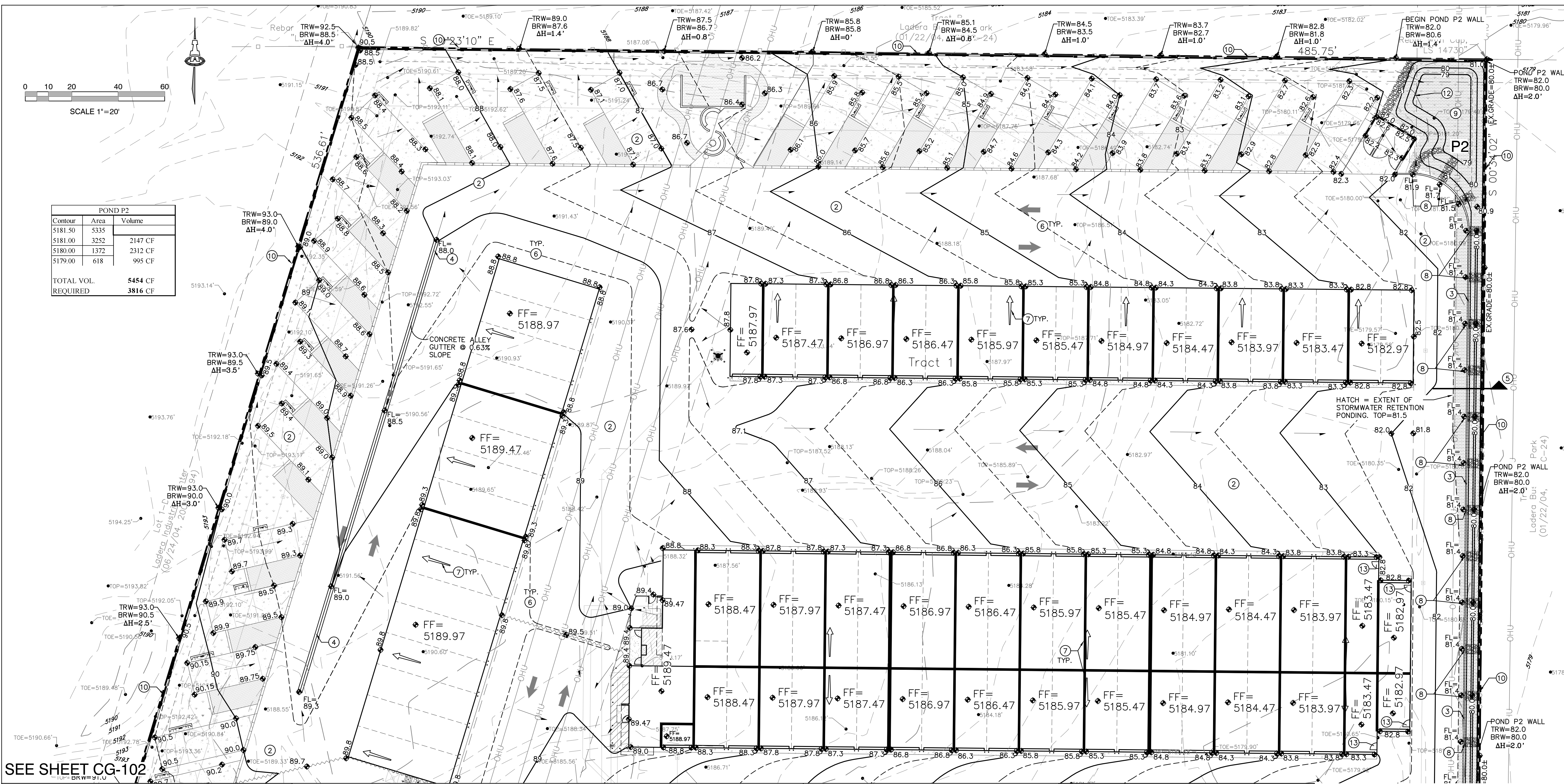
Designed By: D. Mitchell  
 Drawn By: dm  
 Approved By: [Signature]  
 Date: [Date]  
 PROJECT: ALBUQUERQUE ONE CALL STATEWIDE - ALERT (2537)  
 1-800-321-ALERT (2537)  
 www.nmorecall.org  
 Call two working days before you dig.  
 File ID: [ID]

**Landscape Plan**

**Albuquerque RV and Boat  
 2201 Vista Oriente NW  
 Albuquerque, NM 87121**



DRAWING NO: **LS-101**



| POND P2             |      |         |
|---------------------|------|---------|
| Contour             | Area | Volume  |
| 5181.50             | 5335 | 2147 CF |
| 5181.00             | 3252 | 2312 CF |
| 5180.00             | 1372 | 995 CF  |
| 5179.00             | 618  | 995 CF  |
| TOTAL VOL. REQUIRED |      | 5454 CF |
|                     |      | 3816 CF |

SEE SHEET CG-102

**S.O.19 : NOTICE TO CONTRACTORS**

- PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY**
- Build sidewalk culvert per COA STD DWG 2236.
  - Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
  - An excavation permit will be required before beginning any work within City Right-Of-Way.
  - All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
  - Two working days prior to any excavation, the contractor must contact **New Mexico One Call, dial "811"** [or (505) 260-1990] for the location of existing utilities.
  - Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
  - Backfill compaction shall be according to traffic/street use.
  - Maintenance of the facility shall be the responsibility of the owner of the property being served.
  - Work on arterial streets may be required on a 24-hour basis.
  - Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

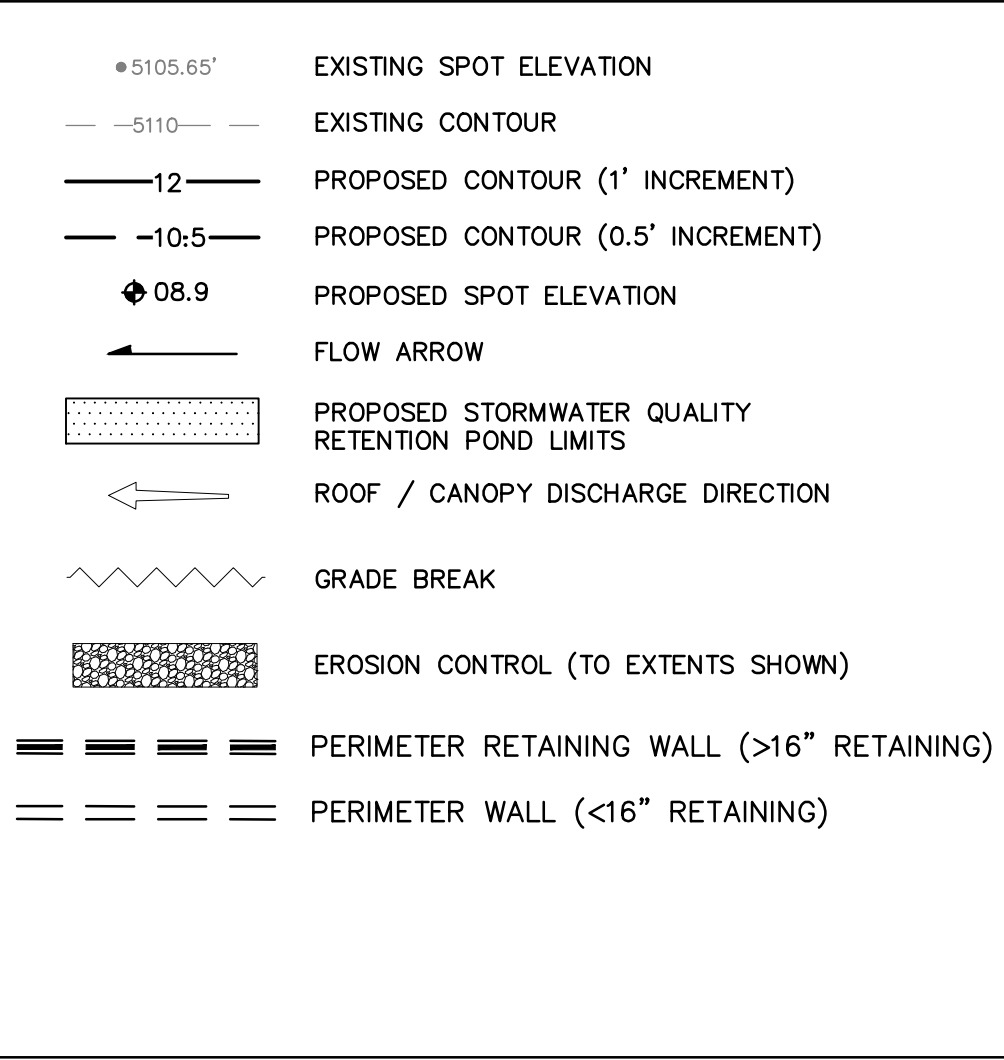
**KEYED NOTES**

- KEYED NOTES ARE REFERENCED ON SHEETS CG-101 AND CG-102. NOT ALL NOTES ARE USED ON EACH SHEET.
- CONSTRUCT ENTRANCE DRIVES, CONCRETE VALLEY GUTTER, PUBLIC SIDEWALK, AND ADA COMPLIANT RAMPS PER COA STD. DETAILS AND SPECIFICATIONS. SEE CP-101 FOR ADDITIONAL INFORMATION.
  - CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN. SEE CP-101 FOR ADDITIONAL INFORMATION FOR MATERIAL, EXTENTS, JOINTS, AND PAVING SECTIONS.
  - CONSTRUCT 6" HIGH CURB (HEADER OR MEDIAN CURB AND GUTTER - OWNER'S OPTION). NOTE: ENGINEER RECOMMENDS MEDIAN CURB AND GUTTER FOR CONCENTRATED FLOWPATHS.
  - CONSTRUCT 2' WIDE CONC. ALLEY GUTTER. SEE CG-501 FOR SECTION.
  - SEE CG-501 FOR SECTION THROUGH EAST PROPERTY LINE.
  - 0.5' DESIGN CONTOURS ARE SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT.
  - BUILDING AND OVERHEAD CANOPY ROOF DISCHARGE DIRECTION. (OWNER'S OPTION - ENGINEER RECOMMENDS CONCRETE SPLASHPAD FOR CONCENTRATED ROOF DISCHARGE TO ASPHALT PAVEMENT.) SEE BUILDING PLANS FOR SPECIFIC ROOF DISCHARGE INFORMATION.
  - PROVIDE 2' WIDE OPENING(S) IN CURB TO PASS FLOW. INSTALL 4'X4'X8" DEEP ROCK EROSION PROTECTION AT CURB OPENINGS.

**LEGEND**

- 5105.85' EXISTING SPOT ELEVATION
  - - - 5110' EXISTING CONTOUR
  - - - 12' PROPOSED CONTOUR (1' INCREMENT)
  - - - 10.5' PROPOSED CONTOUR (0.5' INCREMENT)
  - ◆ 08.9' PROPOSED SPOT ELEVATION
  - FLOW ARROW
  - ▨ PROPOSED STORMWATER QUALITY RETENTION POND LIMITS
  - ← ROOF / CANOPY DISCHARGE DIRECTION
  - ~ GRADE BREAK
  - ▨ EROSION CONTROL (TO EXTENTS SHOWN)
  - ▬ PERIMETER RETAINING WALL (>16" RETAINING)
  - ▬ PERIMETER WALL (<16" RETAINING)
- TRW=HIGH SIDE GRADE + 6" OR AS NOTED
- ADDITIONAL WALL. SEE ARCHITECTURAL
- BRW=LOW SIDE GRADE OR AS NOTED
- ΔH VARIES
- SEE CG-102 FOR ENLARGED PLAN OF OUTFALL TO VISTA ORIENTE STREET NW.
  - SEE CG-501 FOR ROCK EROSION PROTECTION DETAIL.
  - UNIT SIDE DOOR. COORDINATE GRADE TRANSITION WITH OWNER.

**VICINITY MAP**



**KEYED NOTES**

- CONSTRUCT STORMWATER QUALITY RETENTION POND AT ELEVATIONS AND VOLUMES SHOWN. ALL STORMWATER QUALITY PONDING VOLUMES REQUIRE VERIFICATION AS PART OF AS-BUILT ENGINEER'S CERTIFICATION PROCEDURE. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE.
- CONSTRUCT PERIMETER RETAINING/PRIVACY WALLS TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR DETAILS, ADDITIONAL WALL HEIGHT, FOOTING, GUARDRAIL, REINFORCING, ETC. NO STRUCTURE OR FOOTING MAY BE CONSTRUCTED ON ADJACENT PROPERTIES WITHOUT ADJACENT PROPERTY OWNER PERMISSION.

**ISAACSON & ARFMAN, P.A.**

Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.isaacson.com

2278 CG-101 NOMAD.dwg Sep 29, 2021

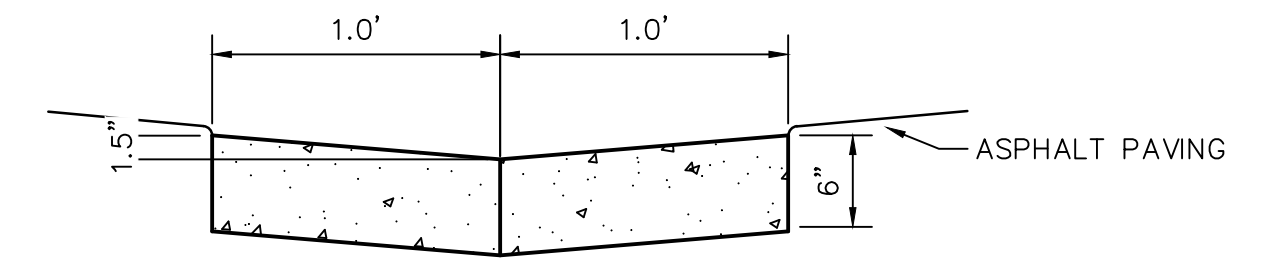
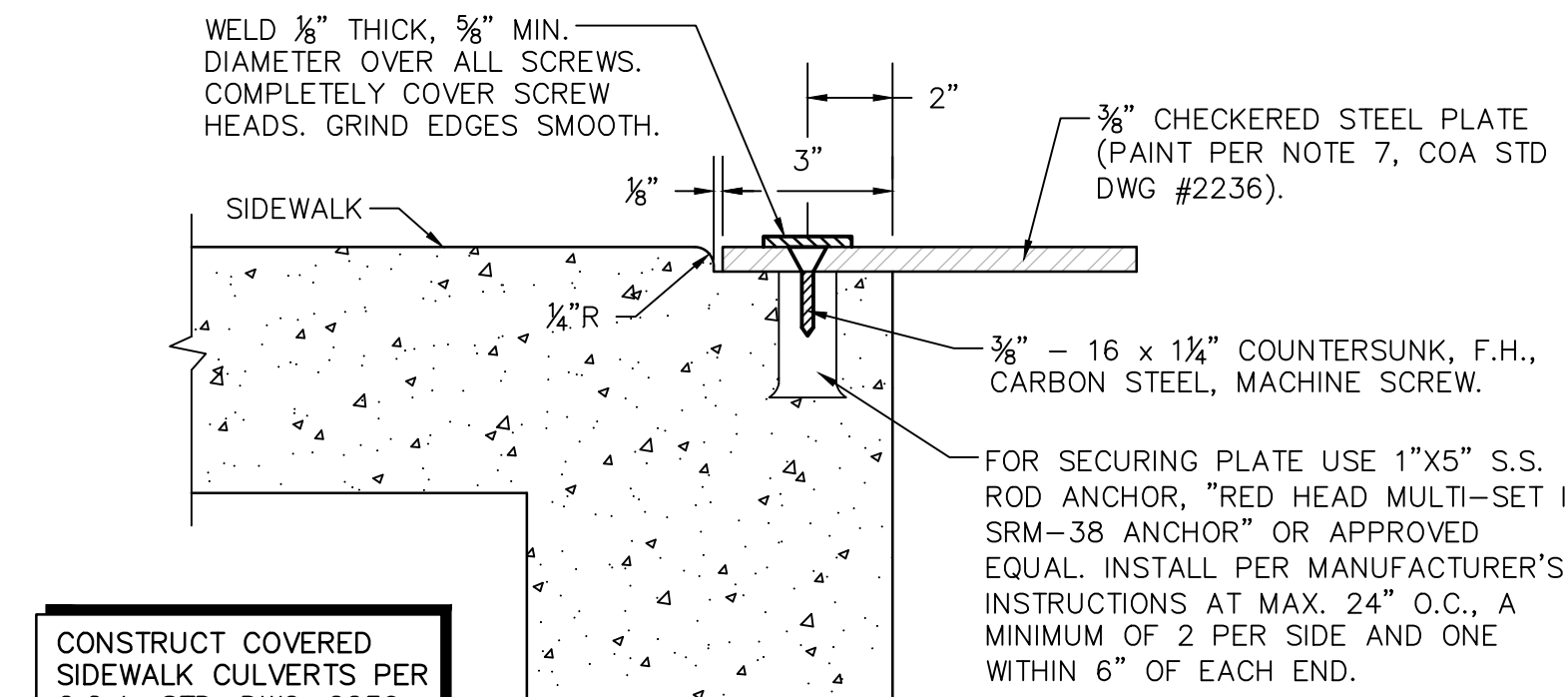
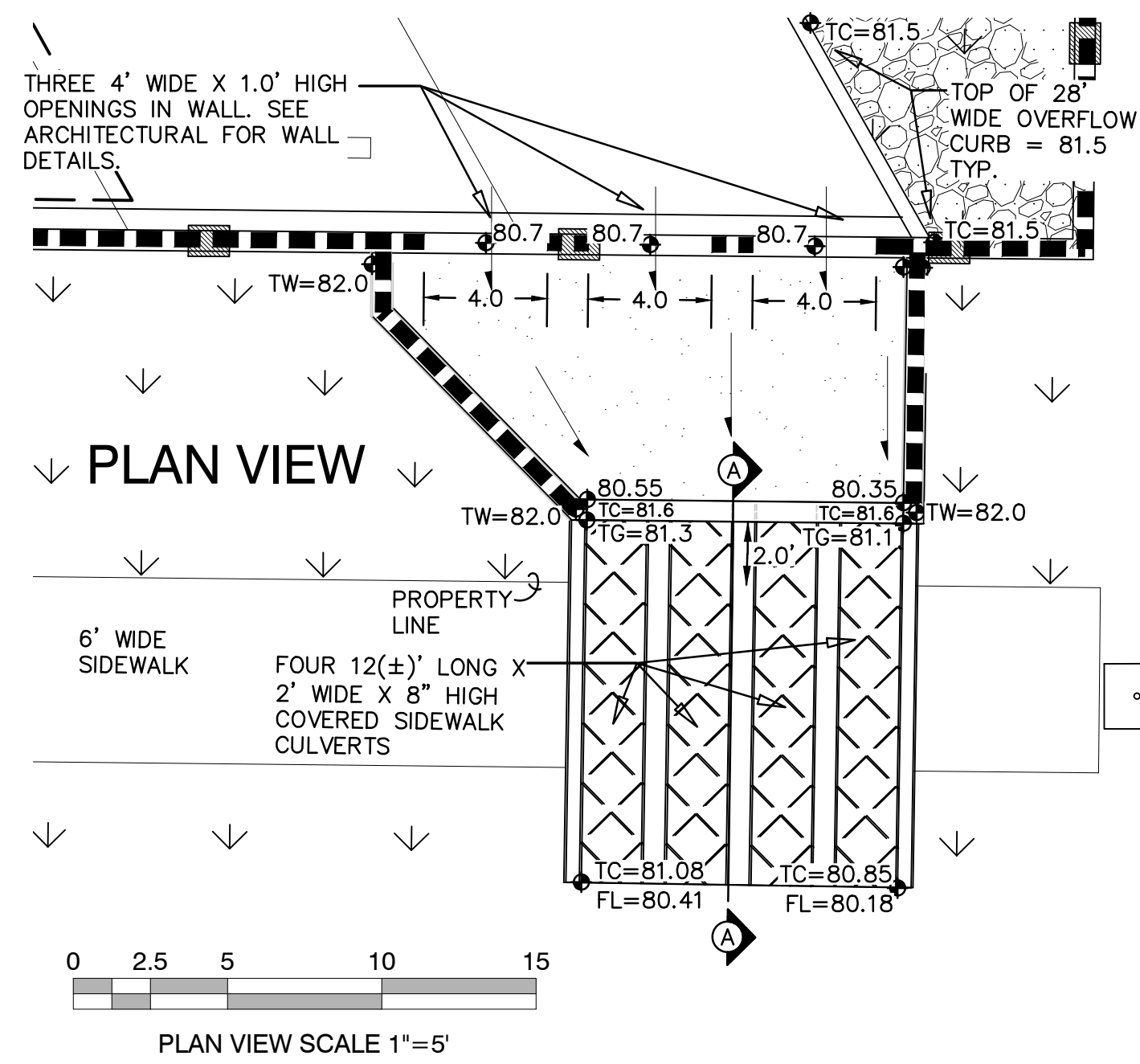
This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

**ABQ RV & BOAT STORAGE**  
LADERA ENTERPRISES LLC

**GRADING & DRAINAGE PLAN 1 OF 2**

|                |               |       |               |
|----------------|---------------|-------|---------------|
| Date: 09-29-21 | No. Revision: | Date: | Job No. 2278  |
| Drawn By: BJB  |               |       | <b>CG-101</b> |
| Ckd By: FCA    |               |       | <b>SH. OF</b> |

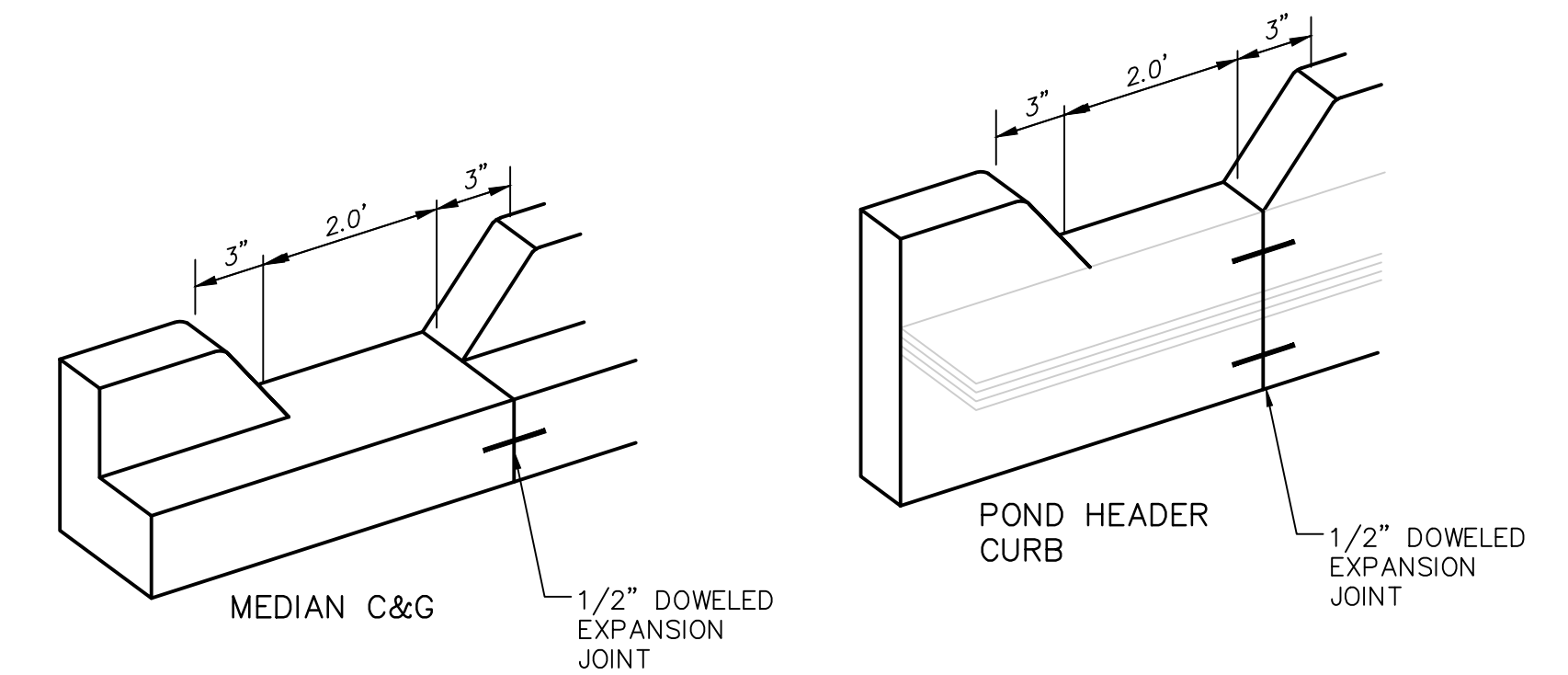




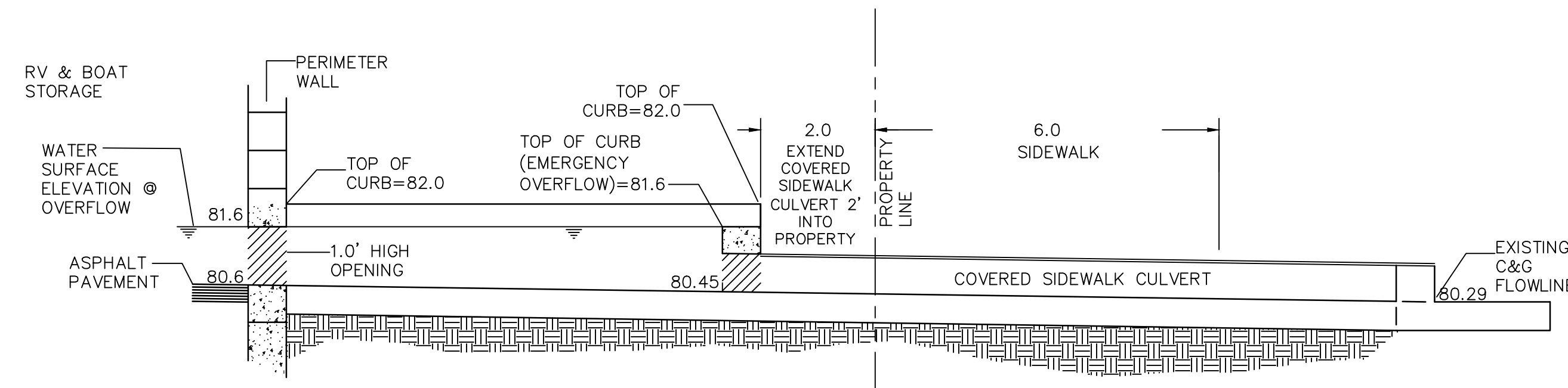
- GENERAL NOTES**
- EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
  - CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
  - SEALED 1/2" EXPANSION JOINTS AT 48' O.C. MAX.
  - EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).

**CONCRETE ALLEY GUTTER**

SCALE: N.T.S.



- GENERAL NOTES**
- EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE SHAPED WITH A 3/8" EDGING TOOL.



**STORMWATER OUTFALL STRUCTURE TO VISTA ORIENTE**

SCALE: N.T.S.

**TYPICAL CURB OPENING**

SCALE: N.T.S.

**ORIFICE EQUATION - 2' WIDE CURB OPENING**

The Orifice Equation is used to calculate the Flow at the opening of a Channel

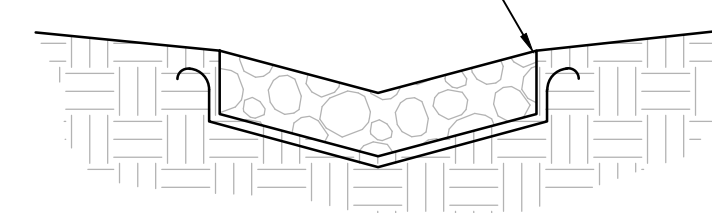
$$Q = C^*A * (2*g*h)^{0.5}$$

Where

|   |   |       |                     |   |       |
|---|---|-------|---------------------|---|-------|
| Q | = | 2.71  | cfs                 | Curb Height   | 0.5   |
| C | = | 0.6   |                     | Opening area  | 1.125 |
| A | = | 1.125 | sq.ft.              |   |       |
| g | = | 32.2  | ft/sec <sup>2</sup> |   |       |
| h | = | 0.25  | ft                  | depth of flow at opening from the center of culvert |       |

CONSTRUCT ALL PERIMETER RETAINING WALLS TO ACHIEVE GRADE DIFFERENCES SHOWN. SEE ARCHITECTURAL FOR DETAILS INCLUDING STRUCTURAL SECTIONS, ADDITIONAL WALL HEIGHT, FOOTING, GUARDRAIL, WATERPROOFING, REINFORCING, ETC. NO STRUCTURE OR FOOTING MAY BE CONSTRUCTED ON ADJACENT PROPERTIES WITHOUT ADJACENT PROPERTY OWNER PERMISSION.

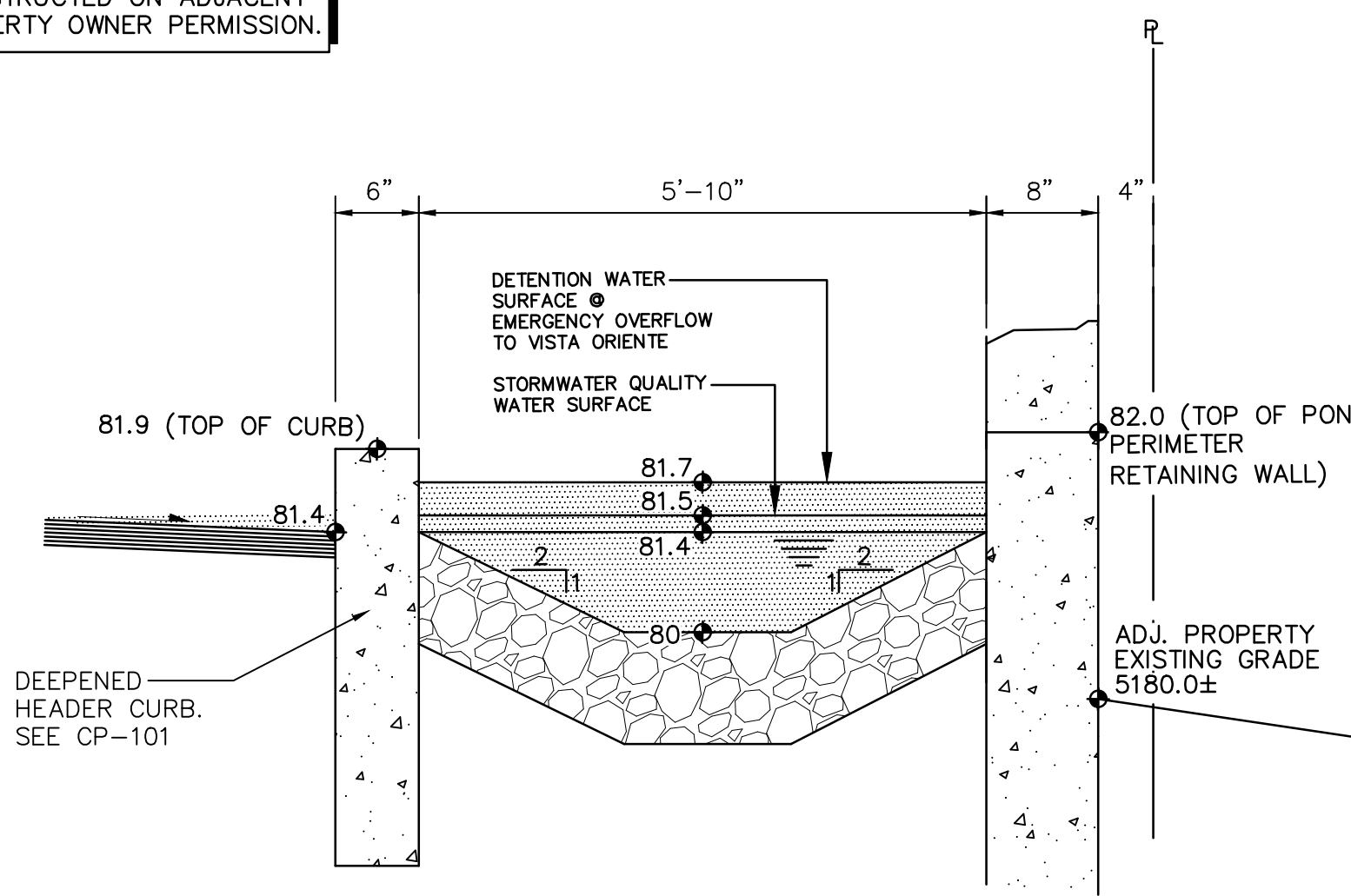
INSTALL ROCK EROSION PROTECTION INTO (NOT ON TOP OF) GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY



- ALL EROSION PROTECTION TO BE 8" DEEP, 4" AVG. DIA. ANGULAR FACED ROCK.
- PLACE GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.) BENEATH ALL EROSION PROTECTION
- ROCK SWALES TO BE 3' WIDE, 6" DEPRESSED

**ROCK EROSION PROTECTION**

SCALE: N.T.S.



**SECTION: EAST STORMWATER QUALITY POND**

SCALE: N.T.S.

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph: 505-268-8828 www.isaacson.com

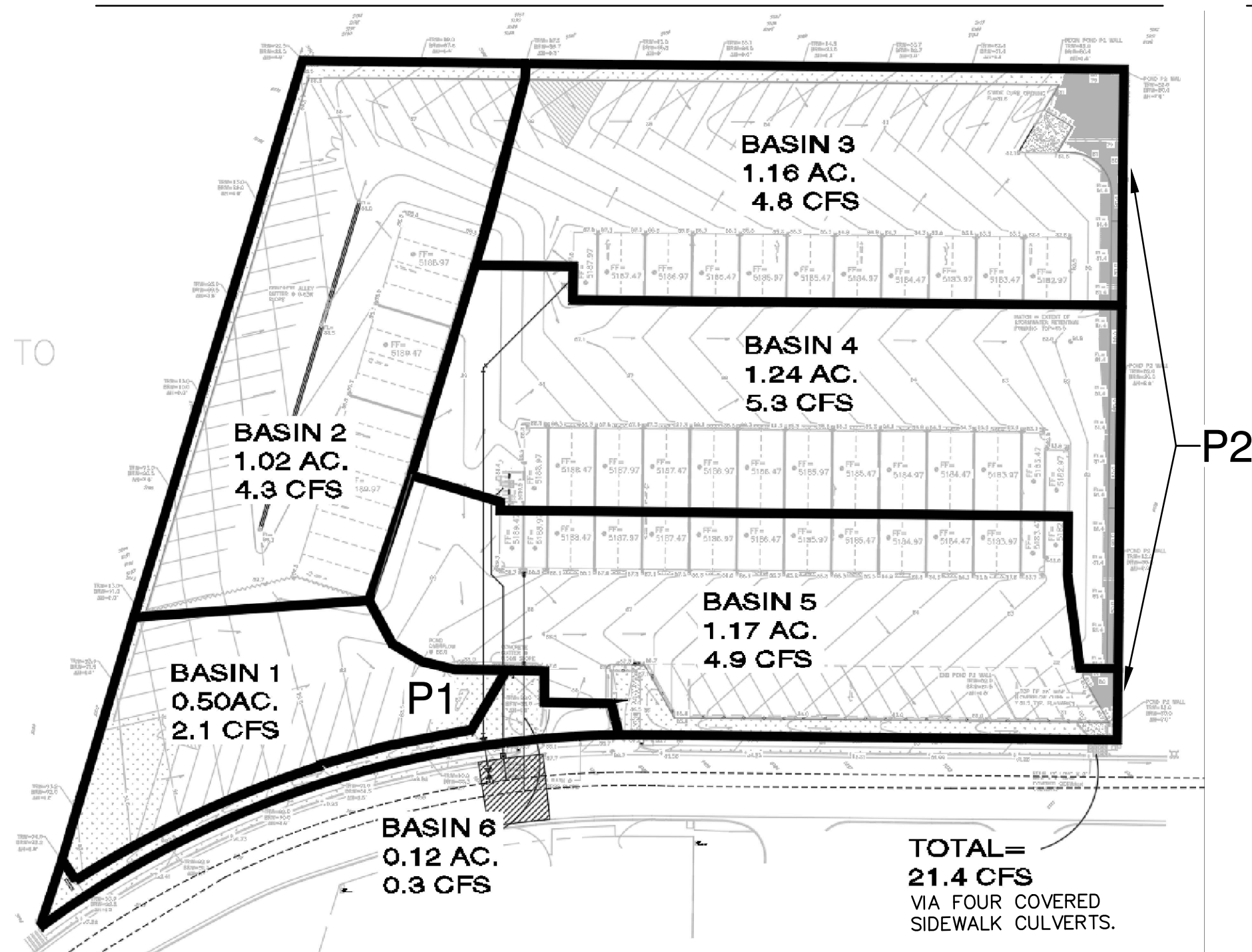
2278 CG-501.dwg Sep 29, 2021

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

|                                       |               |       |               |
|---------------------------------------|---------------|-------|---------------|
| <b>ABQ RV &amp; BOAT STORAGE</b>      |               |       |               |
| LADERA ENTERPRISES LLC                |               |       |               |
| <b>GRADING &amp; DRAINAGE DETAILS</b> |               |       |               |
| Date:                                 | No. Revision: | Date: | Job No.       |
| 09-29-21                              |               |       | 2278          |
| Drawn By:                             |               |       | <b>CG-501</b> |
| BJB                                   |               |       |               |
| Ckd By:                               |               |       | <b>SH. OF</b> |
| FCA                                   |               |       |               |



## DRAINAGE BASINS



## OVERALL CALCULATIONS

**CALCULATIONS: 2278 - ABQ RV & BOAT STORAGE : May 17, 2019**  
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

| ON-SITE                          |                          |
|----------------------------------|--------------------------|
| AREA OF SITE:                    | 227163 SF = 5.2          |
| 100-year, 6-hour                 |                          |
| <b>PREVIOUS DEVELOPED FLOWS:</b> | <b>DEVELOPED FLOWS:</b>  |
| Treatment SF %                   | Treatment SF %           |
| Area A = 0 0%                    | Area A = 0 0%            |
| Area B = 113581.5 50%            | Area B = 12239 5.4%      |
| Area C = 113581.5 50%            | Area C = 12119 5.3%      |
| Area D = 0.0 0%                  | Area D = 202805 89.3%    |
| Total Area = 227163 100%         | Total Area = 227163 100% |

EXCESS PRECIP: Precip. Zone 1  
 $E_A = 0.44$   
 $E_B = 0.67$   
 $E_C = 0.99$   
 $E_D = 1.97$

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)  
 Weighted E =  $E_A A_A + E_B A_B + E_C A_C + E_D A_D$   
 $A_A + A_B + A_C + A_D$

|                       |                        |
|-----------------------|------------------------|
| Historic E = 0.83 in. | Developed E = 1.85 in. |
|-----------------------|------------------------|

On-Site Volume of Runoff:  $V_{360} = E * A / 12$   
 Historic  $V_{360} = 15712$  CF    Developed  $V_{360} = 34977$  CF

On-Site Peak Discharge Rate:  $Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43,560$   
 For Precipitation Zone 1  
 $Q_{pA} = 1.29$      $Q_{pC} = 2.87$   
 $Q_{pB} = 2.03$      $Q_{pD} = 4.37$

|                            |                            |
|----------------------------|----------------------------|
| Historic $Q_p = 12.78$ CFS | Developed $Q_p = 21.7$ CFS |
|----------------------------|----------------------------|

## WEIR CALCULATIONS

### Weir Report

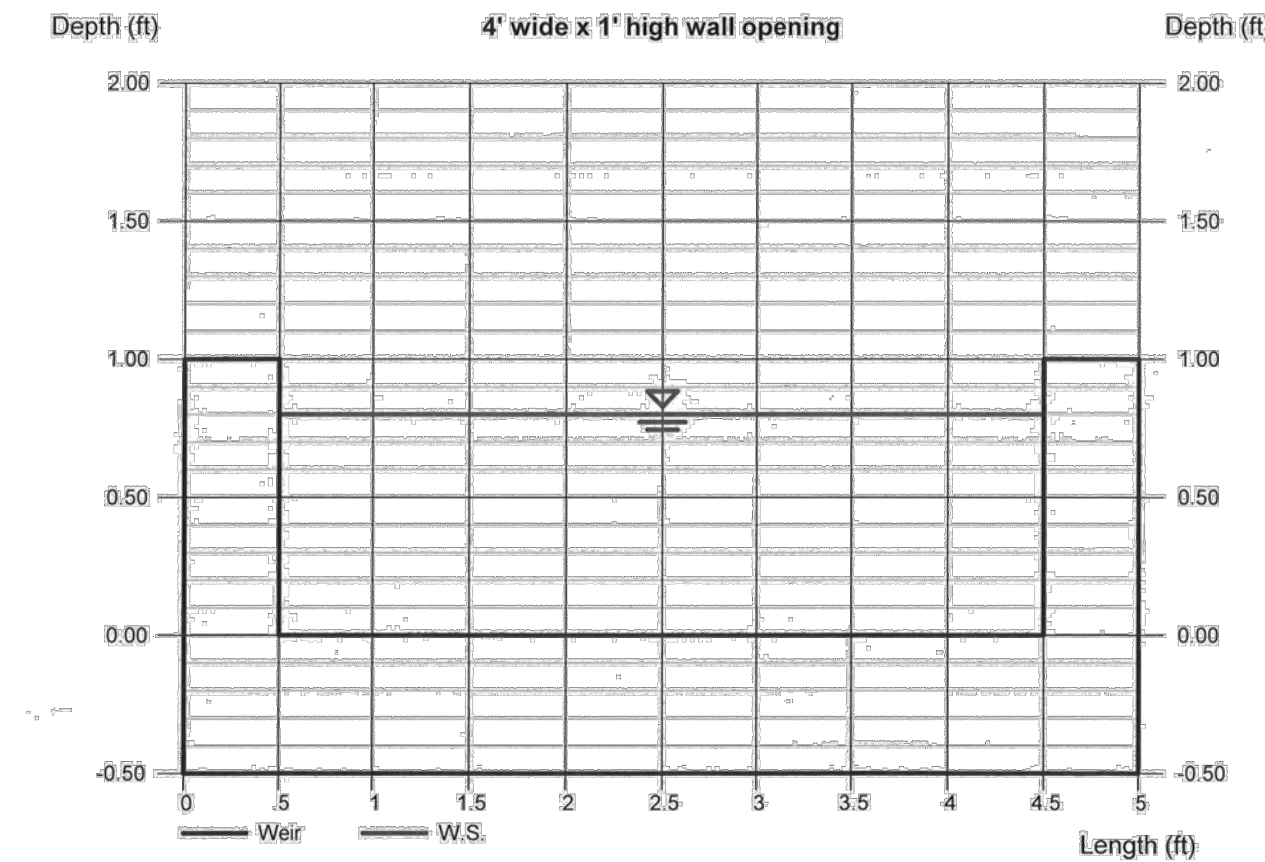
Hydrow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Friday, Jun 7 2019

**4' wide x 1' high wall opening**

|                    |         |                 |         |
|--------------------|---------|-----------------|---------|
| Rectangular Weir   | = Broad | Highlighted     | = 0.80  |
| Crest              | = 4.00  | Depth (ft)      | = 7.442 |
| Bottom Length (ft) | = 1.00  | Q (cfs)         | = 3.20  |
| Total Depth (ft)   | = 1.00  | Area (sqft)     | = 2.33  |
|                    |         | Velocity (ft/s) | = 4.00  |

Calculations  
 Weir Coeff. Cw = 2.60  
 Compute by: Q vs Depth  
 No. Increments = 5

THREE 4' WIDE X 1.0' HIGH OPENINGS IN WALL. SEE ARCHITECTURAL FOR WALL DETAILS. AT 0.8' DEEP, CAPACITY = 7.4 CFS. THREE @ 7.4 = 22.2 > REQUIRED



## BASIN CALCULATIONS

| BASIN NO. | DESCRIPTION | Area of basin flows = | Weighted E | Sub-basin Volume of Runoff (see formula above) | Sub-basin Peak Discharge Rate (see formula above) |
|-----------|-------------|-----------------------|------------|--|---|
| 1         | 0.50 AC     | 0.50 AC               | 0.44       | 2.1 CFS  | 2.1 CFS   |
| 2         | 1.02 AC     | 1.02 AC               | 0.67       | 4.3 CFS  | 4.3 CFS   |
| 3         | 1.16 AC     | 1.16 AC               | 0.99       | 4.8 CFS  | 4.8 CFS   |
| 4         | 1.24 AC     | 1.24 AC               | 1.97       | 5.3 CFS  | 5.3 CFS   |
| 5         | 1.17 AC     | 1.17 AC               | 0.99       | 4.9 CFS  | 4.9 CFS   |
| 6         | 0.12 AC     | 0.12 AC               | 0.44       | 0.3 CFS  | 0.3 CFS   |

BASIN 1 DISCHARGES THROUGH STORMWATER QUALITY POND P1 WITH EXCESS FLOW PASSING TO THE SOUTHEAST COVERED SIDEWALK CULVERTS. 557 CF REQUIRED.

BASINS 2, 3 AND 4 DISCHARGE THROUGH STORMWATER QUALITY POND P2 BEFORE FREE DISCHARGING TO VISTA ORIENTE STREET. 3,956 CF REQUIRED.

TOTAL SITE STORMWATER QUALITY POND VOLUME REQUIRED = 5,872 CF.  
 TOTAL STORMWATER QUALITY POND VOLUME PROVIDED = 5,990 CF.

BASINS 5 AND 6 FREE DISCHARGE TO VISTA ORIENTE STREET. 1,359 CF REQUIRED.

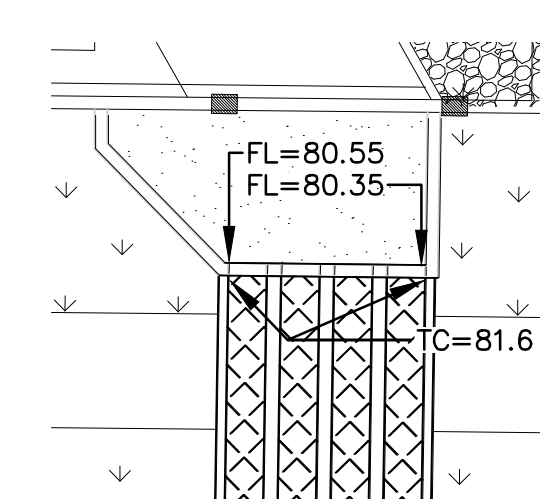
## COVERED SIDEWALK CULVERT CALCULATIONS

**ORIFICE EQUATION - SIDEWALK CULVERT**

The Orifice Equation is used to calculate the Flow at the opening of a Channel  
 $Q = C * A * (2 * g * h)^{0.5}$

Where  
 Q = 5.47 cfs    Water Surface = 81.6  
 C = 0.6    Flowline = 80.45  
 A = 1.24 sq.ft.  
 g = 32.2 ft/sec^2  
 h = 0.84 ft    depth of flow at opening from the center of culvert

COVERED SIDEWALK CULVERT CAPACITY = 5.5 CFS EACH  
 FOUR REQUIRED: 4 \* 5.5 CFS = 22.0 CFS > REQUIRED



### Weir Report

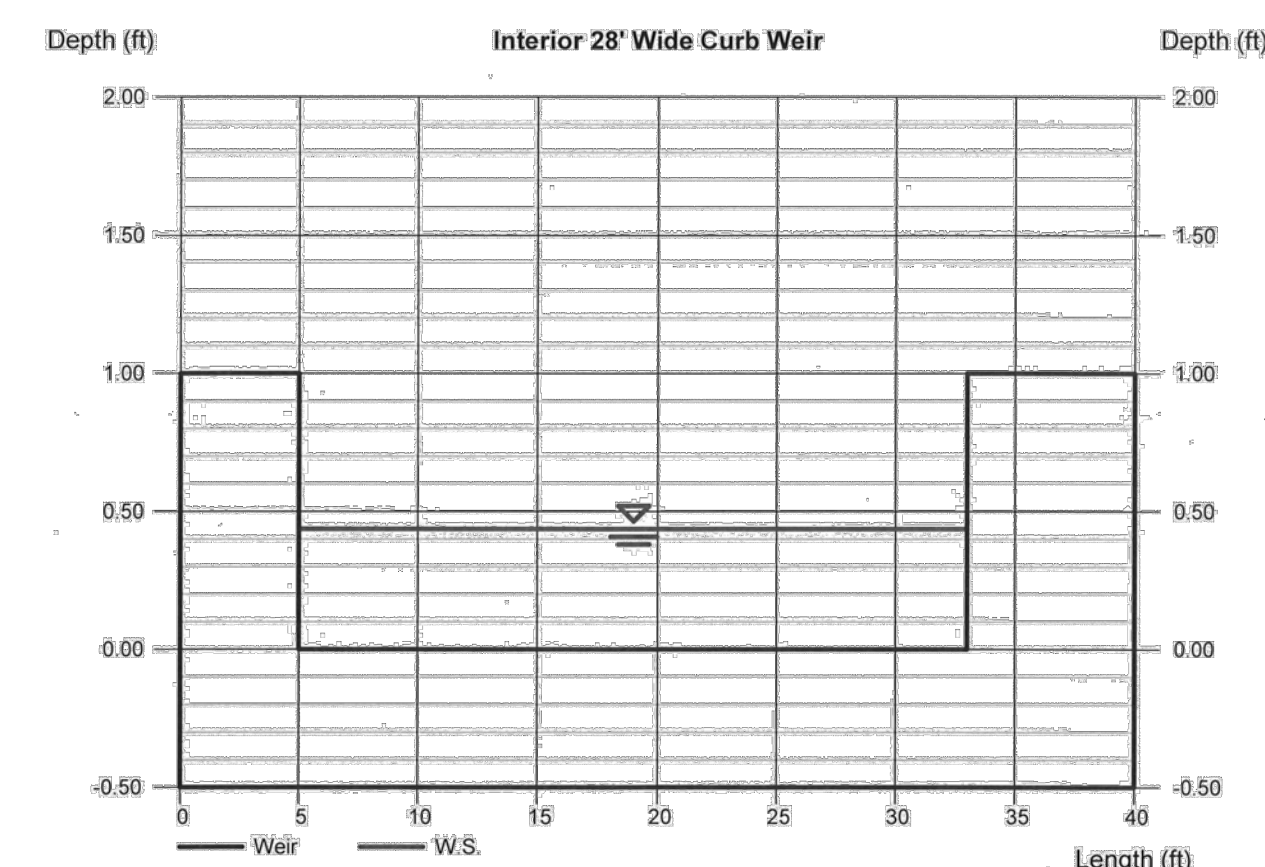
Hydrow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Friday, Jun 7 2019

**Interior 28' Wide Curb Weir**

|                    |         |                 |         |
|--------------------|---------|-----------------|---------|
| Rectangular Weir   | = Broad | Highlighted     | = 0.44  |
| Crest              | = 28.00 | Depth (ft)      | = 21.00 |
| Bottom Length (ft) | = 1.00  | Q (cfs)         | = 12.22 |
| Total Depth (ft)   | = 1.00  | Area (sqft)     | = 1.72  |
|                    |         | Velocity (ft/s) | = 28.00 |

Calculations  
 Weir Coeff. Cw = 2.60  
 Compute by: Known Q  
 Known Q (cfs) = 21.00

TOP OF 28' OVERFLOW WEIR ELEVATION = 81.5. AT 81.6, ADDITIONAL FLOW WILL BYPASS THE STORMWATER QUALITY PONDING AND DISCHARGE DIRECTLY.



FRED C. ARFMAN  
NEW MEXICO  
7322  
LICENSED PROFESSIONAL ENGINEER

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 www.isacil.com

2278 CG-501.dwg    Sep 29, 2021

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

|                                  |               |       |               |
|----------------------------------|---------------|-------|---------------|
| <b>ABQ RV &amp; BOAT STORAGE</b> |               |       |               |
| LADERA ENTERPRISES LLC           |               |       |               |
| <b>DRAINAGE CALCULATIONS</b>     |               |       |               |
| Date: 09-29-21                   | No. Revision: | Date: | Job No. 2278  |
| Drawn By: BJB                    |               |       | <b>CG-502</b> |
| Ckd By: FCA                      |               |       | <b>SH. OF</b> |

### GENERAL NOTES

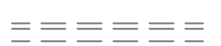
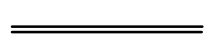
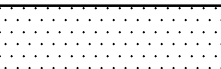
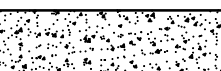

1. FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (505-260-1990) FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ADJUST ALL UTILITY CLEANOUTS & WATER VALVES TO FINAL GRADE.
4. SEE SITE PLAN FOR ALL DIMENSIONS.
5. SEE GRADING & DRAINAGE PLAN FOR ALL CURB/WALL OPENING LOCATIONS & SIZES.

### KEYED NOTES

1. ASPHALT PAVING, SEE DETAIL ON SHEET CP-501.
2. PCC PAVING, SEE DETAIL ON SHEET CP-501.
3. PCC HEADER CURB, SEE DETAIL ON SHEET CP-501.
4. 1' WIDE PCC GUTTER AT WALL. SEE DETAIL ON SHEET CP-501.
5. PCC DEEPEENED HEADER CURB, SEE GRADING & DRAINAGE PLAN FOR ELEVATIONS AND CURB OPENINGS, SEE DETAIL ON SHEET CP-501.
6. 2' WIDE ALLEY GUTTER, SEE DETAIL ON SHEET CP-501.
7. 6" VALLEY GUTTER PER COA STD DWG #2420.
8. PCC SIDEWALK, SEE DETAIL ON SHEET CP-501.
9. ADA ACCESSIBLE RAMP, SEE DETAIL ON SHEET CP-501.
10. PAINTED PAVEMENT MARKING ARROW.
11. CURB PAINTED RED WITH SAFETY WHITE LETTERING "FIRE LANE-NO PARKING" AT 12'-0" O.C.
12. DUMPSTER PAD, SEE ARCHITECTURAL FOR DETAIL.
13. FENCE / GATE, SEE ARCHITECTURAL FOR DETAIL.
14. CANOPY, SEE ARCHITECTURAL FOR DETAIL.
15. 6" PCC PARKING SLAB
16. 6" GRAVEL PARKING.
17. BOLLARD'S PLACED EACH SIDE OF EACH GARAGE DOOR. SEE ARCHITECTURAL.
18. REMOVE AND DISPOSE OF 88 LF (MIN.) STD. CURB AND GUTTER.
19. CONSTRUCT PCC HEADER CURB AND PROVIDE 1/2" SEALED EXPANSION AT CMU WALL. SEE DETAIL ON SHEET CP-501.
20. 2' WIDE CURB OPENING PER DETAIL ON SHEET CG-501.

- A. INSTALL TRAFFIC DIRECTIONAL ARROWS PER OWNER.
- B. INSTALL PCC WHEEL STOPS PER OWNER.

### LEGEND

-  EXISTING CURB AND GUTTER
-  PROPOSED CURB AND GUTTER
-  ASPHALT PAVING
-  CONCRETE PAVING
-  FIRELANE PAINTED CURB

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Montrose Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iaacsn.com

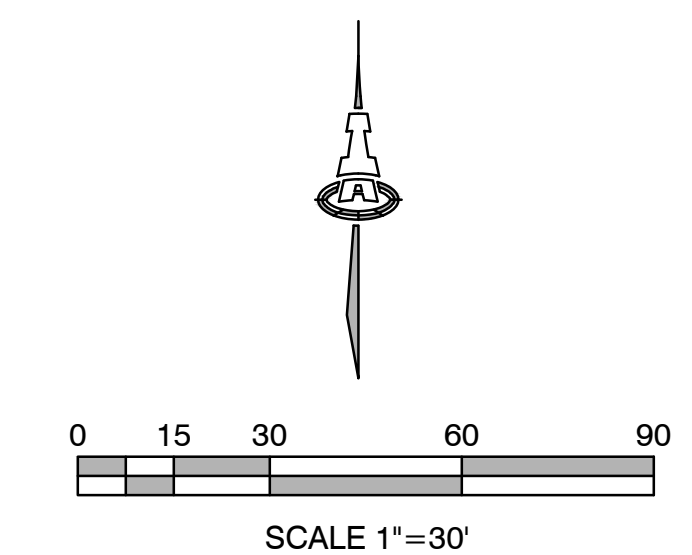
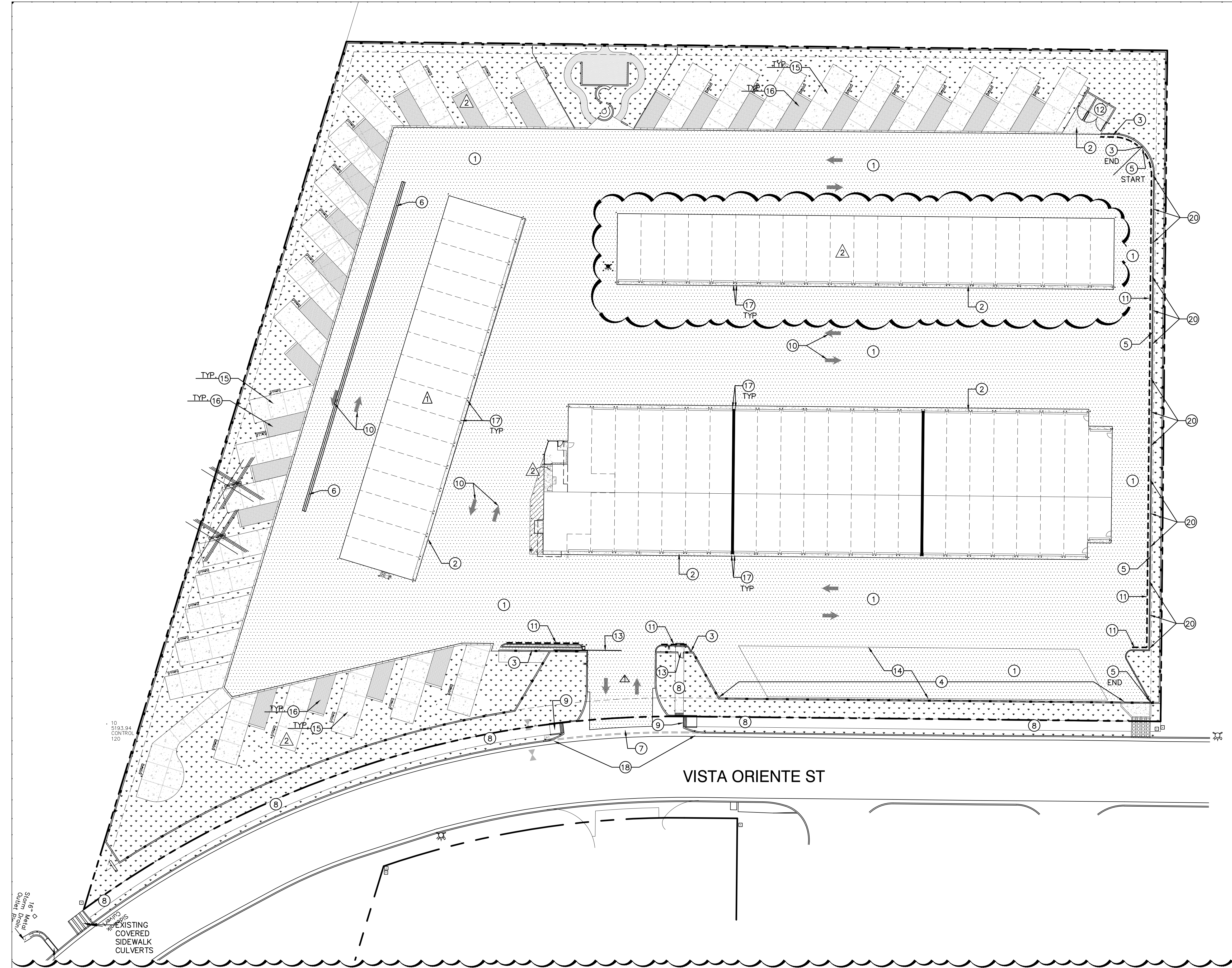
2278 CP-101.dwg Feb 01,2022

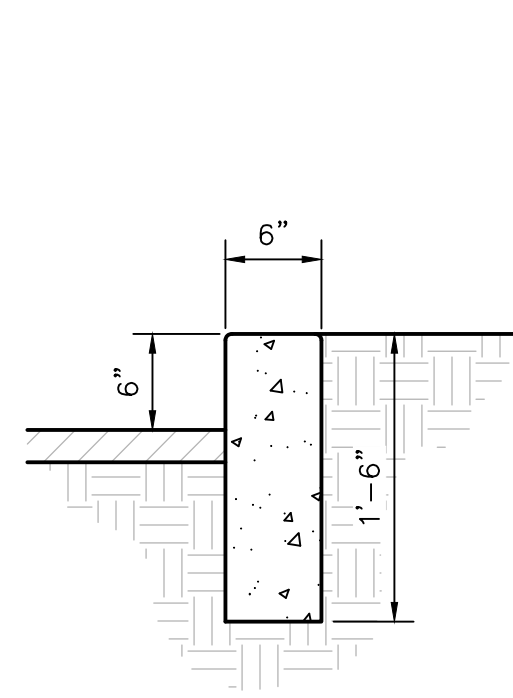
This design, calculation, or specification is the property of Isaacson & Arfman, P.A. and no part shall be utilized by any person, firm or corporation for any purpose whatsoever without the written permission of Isaacson & Arfman, P.A. ©

**ABQ RV &  
BOAT STORAGE**  
LADERA ENTERPRISES LLC

### PAVING PLAN

|           |                            |          |               |
|-----------|----------------------------|----------|---------------|
| Date:     | No. / Revision:            | Date:    | Job No.       |
|           | 3 / GRADE / SITE REVISIONS | 07/08/21 | 2278          |
| Drawn By: |                            |          | <b>CP-101</b> |
| Clk By:   |                            |          | <b>SH. OF</b> |
| FCA       |                            |          |               |

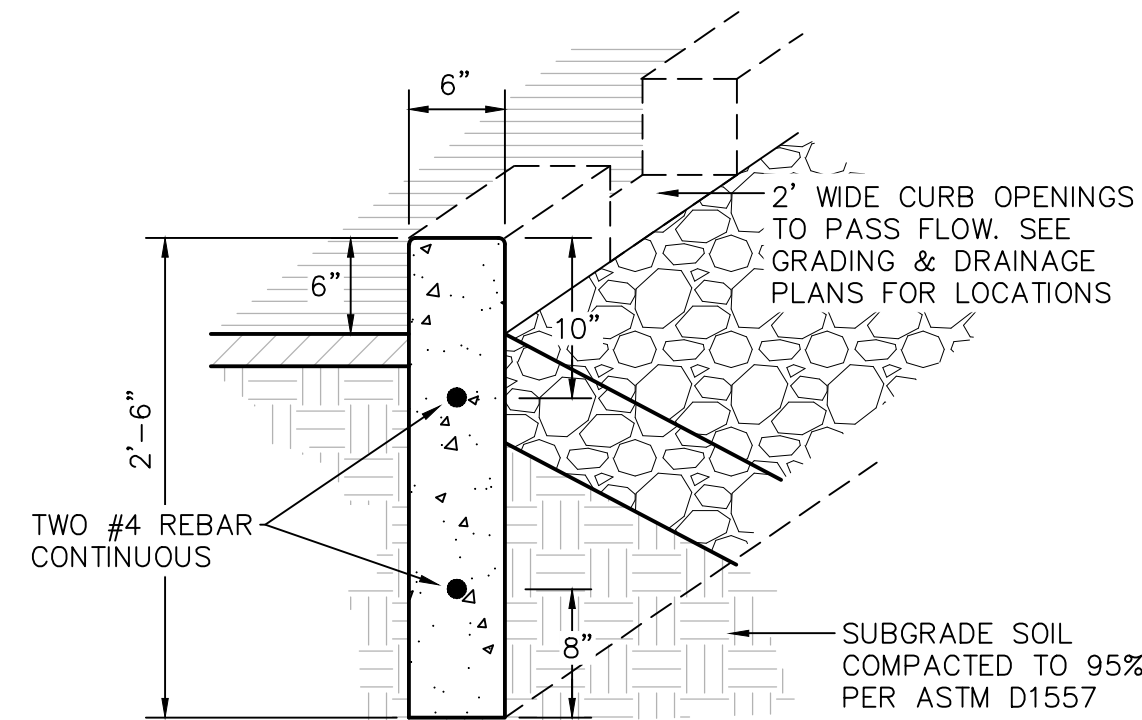




**GENERAL NOTES**

1. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
2. REQUIRES FULL FORM AND FINISHING ON ALL EXPOSED FACES.
3. CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
4. 1/2" EXPANSION JOINTS 24' O.C.

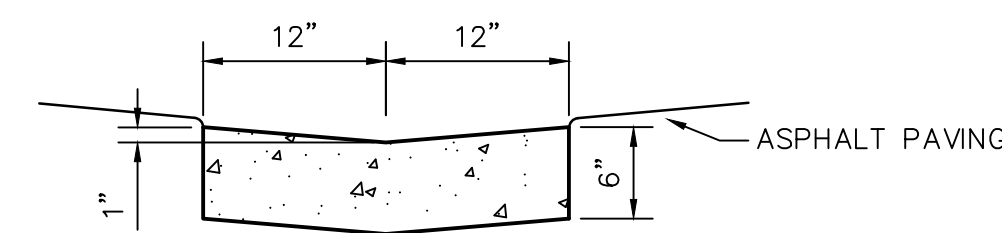
**HEADER CURB**  
NTS



**GENERAL NOTES**

1. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
2. REQUIRES FULL FORM AND FINISHING ON ALL EXPOSED FACES.
3. CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
4. 1/2" EXPANSION JOINTS 24' O.C.

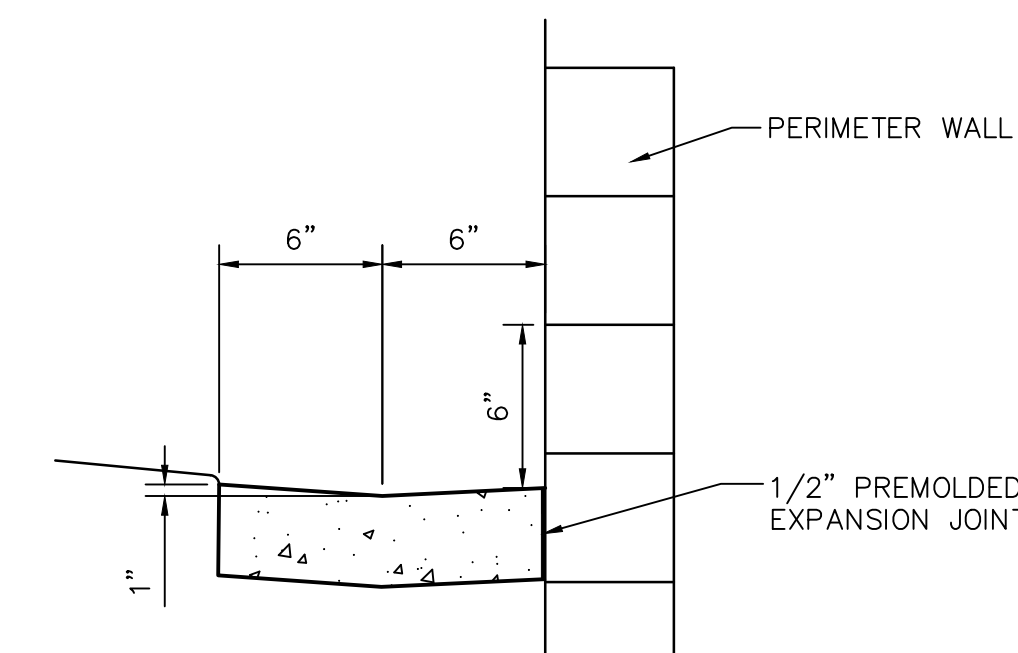
**DEEPENED HEADER CURB**  
NTS



**GENERAL NOTES**

1. EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
2. CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
3. 1/2" EXPANSION JOINTS 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES. WATERPROOF SEAL ALL JOINTS.
4. EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).

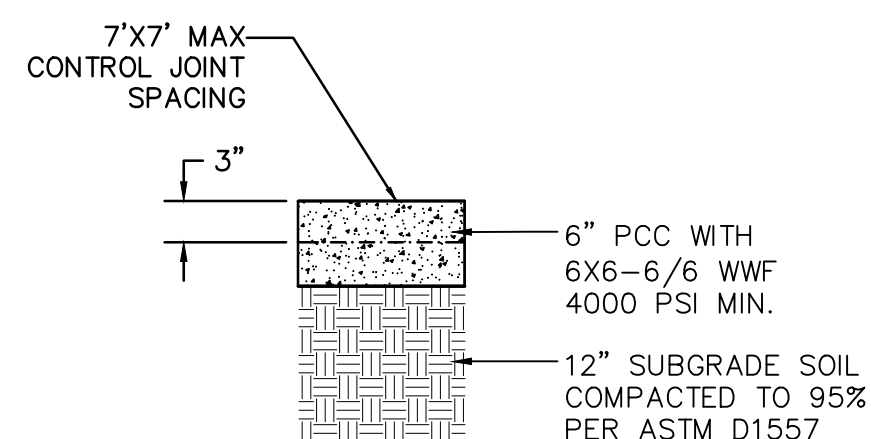
**2' WIDE ALLEY GUTTER**  
NTS



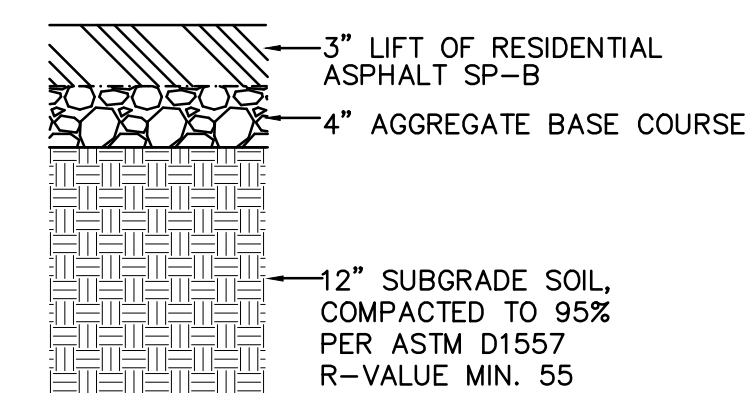
**GENERAL NOTES**

1. EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
2. CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
3. 1/2" EXPANSION JOINTS 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES. WATERPROOF SEAL ALL JOINTS.
4. EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).

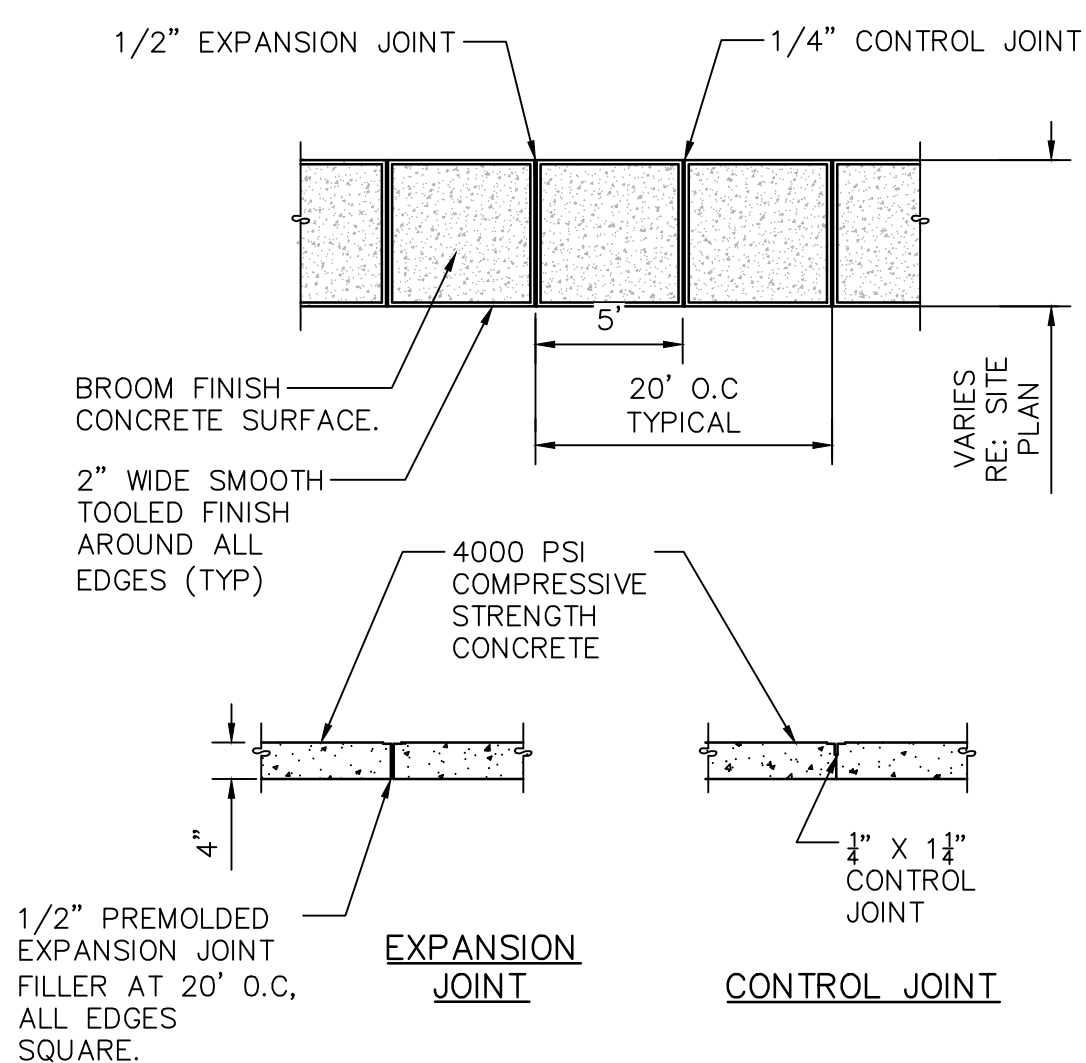
**PCC GUTTER AT WALL**  
NTS



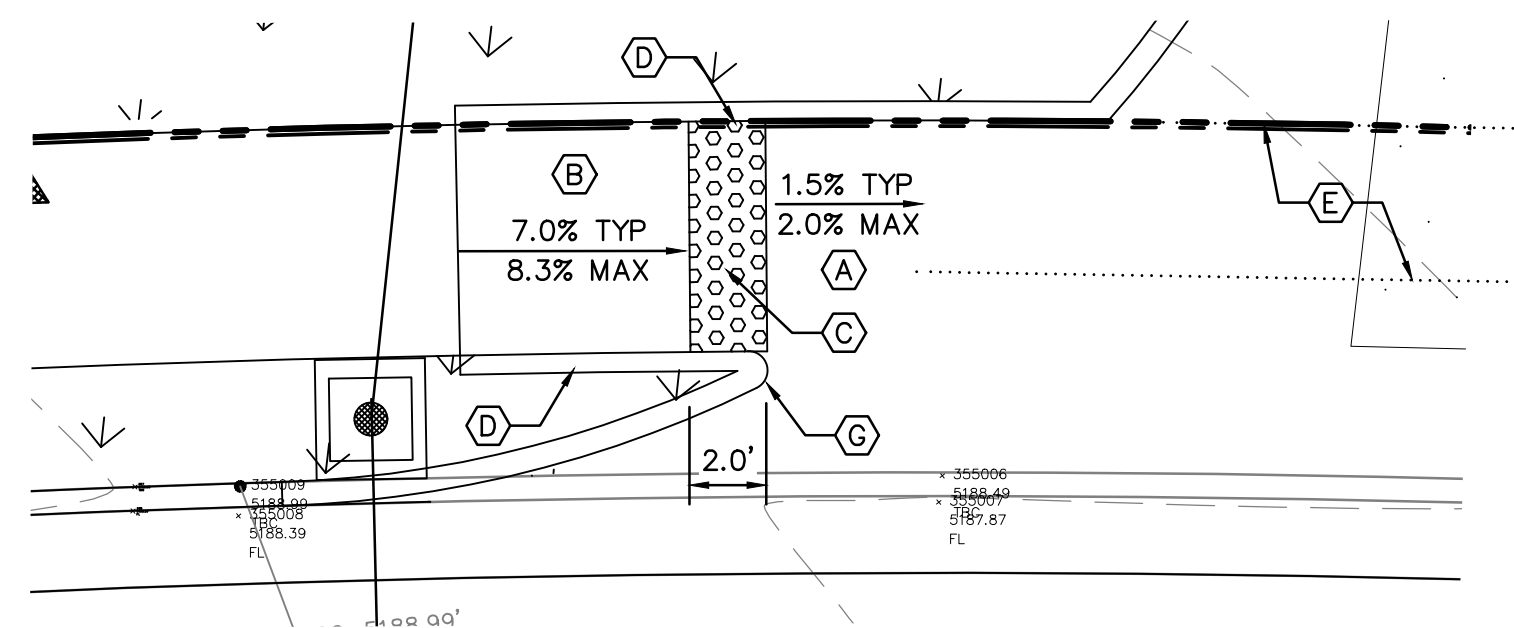
**PCC PAVING SECTION**  
NTS



**ASPHALT PAVING SECTION**  
NTS



**TYPICAL PCC SIDEWALK**  
NTS



**ADA ACCESSIBLE RAMP**  
SCALE: 1"=5'

**KEYED NOTES**

- (A) PCC LANDING AREA AT 2% SLOPE (MAX.) IN ALL DIRECTIONS.
- (B) PCC RAMP AT 8.3% MAX. SLOPE OR 15' LONG (MAX.) AND 2% MAX CROSS SLOPE.
- (C) 2' DETECTABLE WARNING SURFACE (TRUNCATED DOMES). CAST IN PLACE, REPLACEABLE.
- (D) 6" MONOLITHIC CURB PER COA STD DWG #2415B.
- (E) 4' ADA PATH. SEE DETAIL BELOW.
- (F) 2' OF 4" THICK PCC, NO PATTERN OR COLOR PER SIDEWALK DETAIL, COA STD DWG 2430.
- (G) 6" RADIUS FILLET OF CURB.

**GENERAL NOTES**

1. SEE COA STD DWG #2426 FOR CONSTRUCTION NOTES.
2. CONTRACTOR SHALL NOTIFY ENGINEER FOR INSPECTION OF FORM-WORK 24 HOURS PRIOR TO PLACEMENT OF CONCRETE FOR ADA RAMPS.

**DETECTABLE WARNING SURFACE NOTES**

1. DESIGN PER ADA ACCESSIBILITY GUIDELINES (ADAAG).
2. PAYMENT FOR DETECTABLE WARNING SURFACE IS INCIDENTAL TO ADA ACCESSIBLE RAMP PAYMENT ITEM.
3. SUBMIT SPECS TO CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.
4. DETECTABLE WARNING SURFACE TO BE A PRODUCT THAT IS CAST-IN-PLACE AND REPLACABLE.
5. SEGMENTED DETECTABLE WARNING SURFACE AT BACK OF CURB TO BE CUT AND FIT PER MANUFACTURER'S INSTRUCTIONS. THE DETECTABLE WARNING SURFACE SHALL BE NO MORE THAN 5" FROM BACK OF CURB.

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph: 505-268-8828 www.isacil.com  
 2278 CP-101.dwg Jul 08, 2021

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

|                                  |                       |          |               |
|----------------------------------|-----------------------|----------|---------------|
| <b>ABQ RV &amp; BOAT STORAGE</b> |                       |          |               |
| LADERA ENTERPRISES LLC           |                       |          |               |
| <b>PAVING DETAILS</b>            |                       |          |               |
| Date:                            | No. Revision:         | Date:    | Job No.       |
| 05-17-19                         | 1 SITE PLAN REVISIONS | 04/20/20 | 2278          |
| Drawn By:                        | 2 SITE PLAN REVISIONS | 12/02/20 |               |
| BJB                              |                       |          |               |
| Ckd By:                          |                       |          |               |
| FCA                              |                       |          |               |
|                                  |                       |          | <b>CP-501</b> |
|                                  |                       |          | <b>SH. OF</b> |



### RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
- THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

DEPTH OF BURY: 3.0 FT. MINIMUM

1.50 FACTOR OF SAFETY:

MATERIAL: PVC

SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.

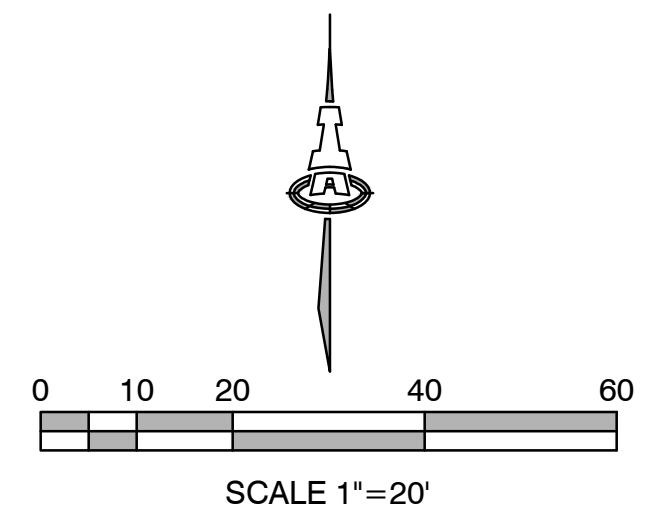
TEST PRESSURE: 150 PSI

TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

### NOTES

- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.



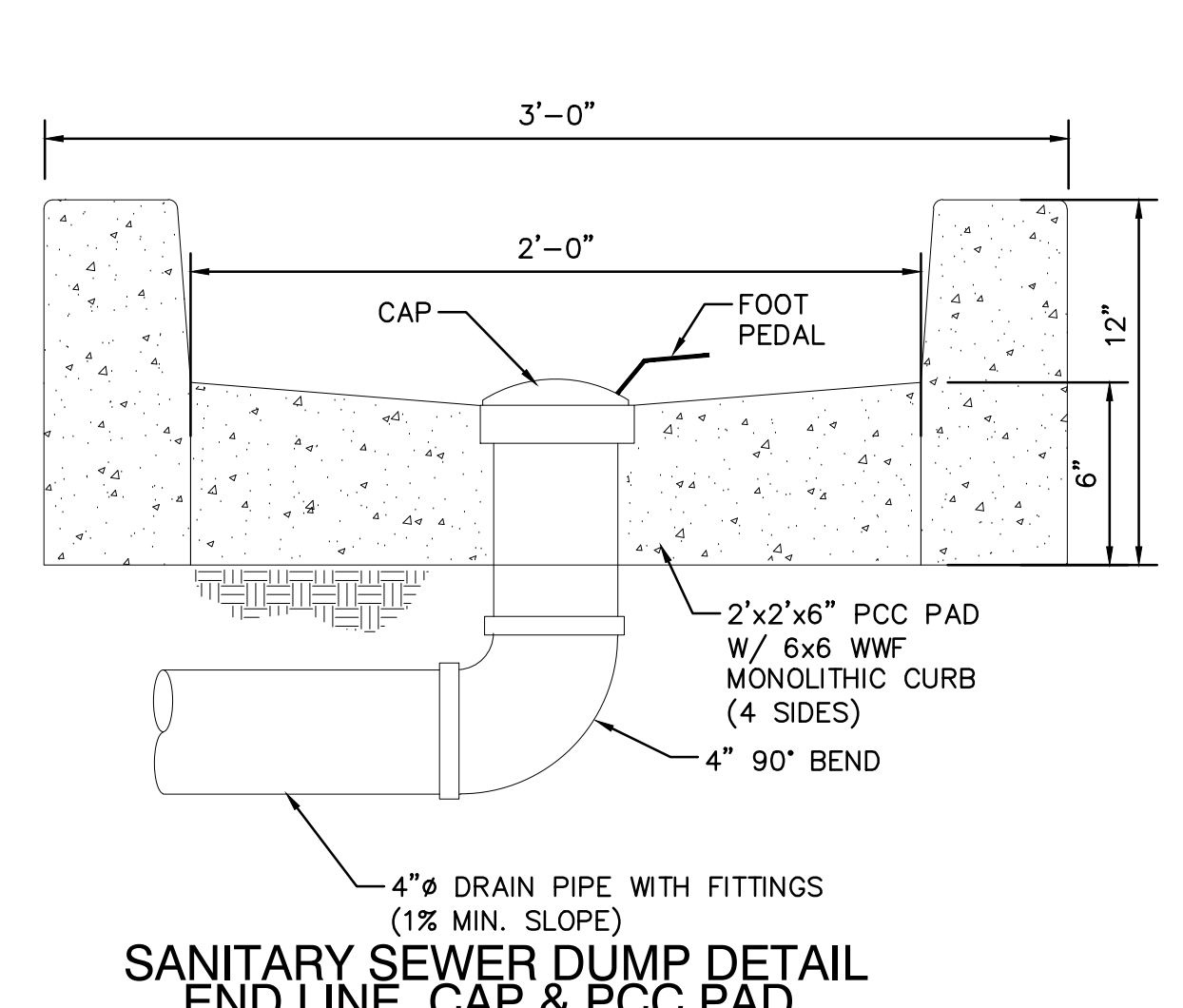
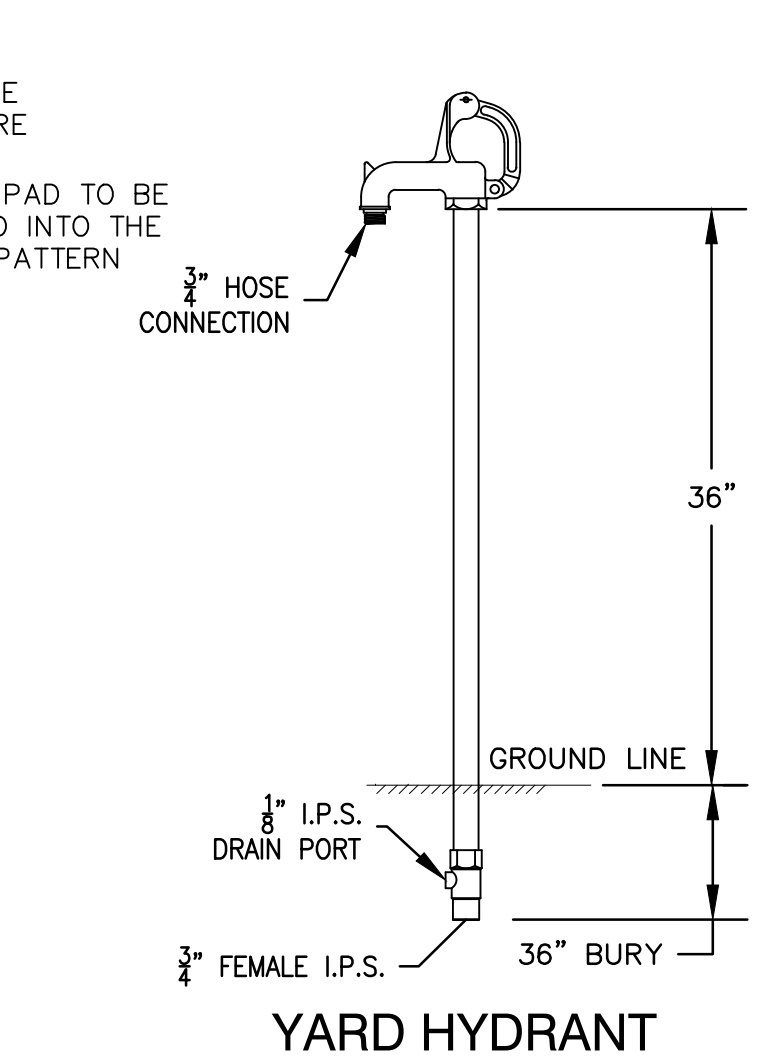
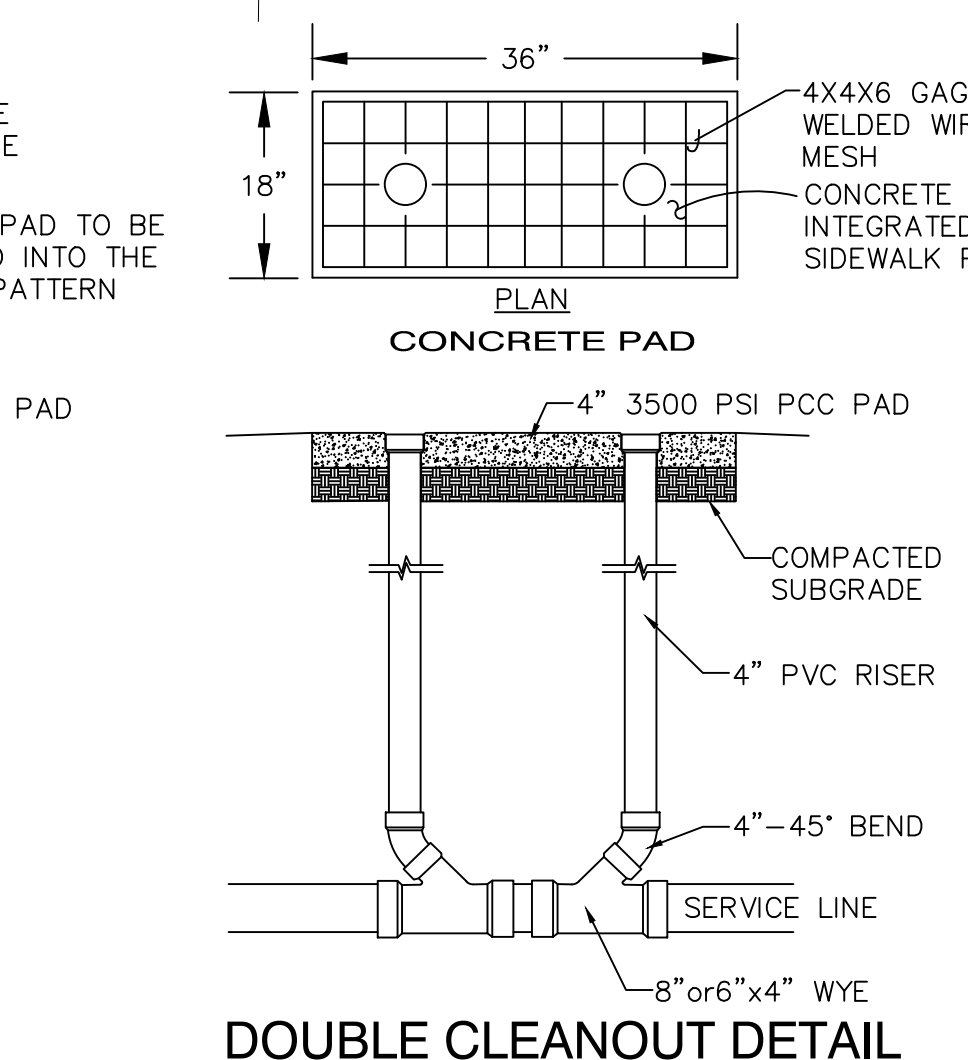
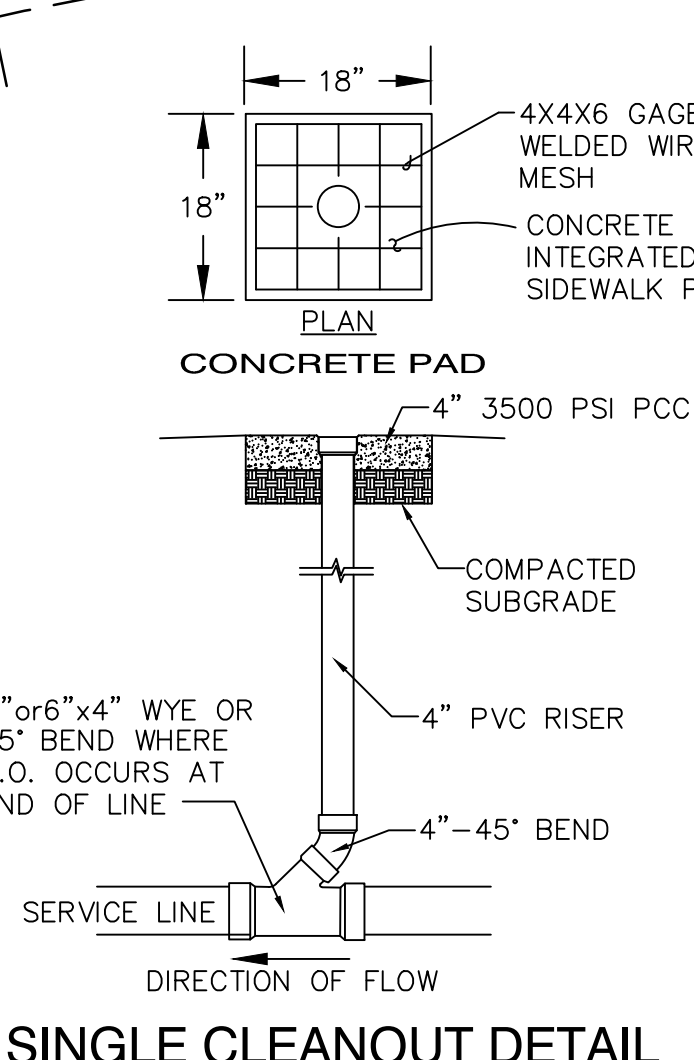
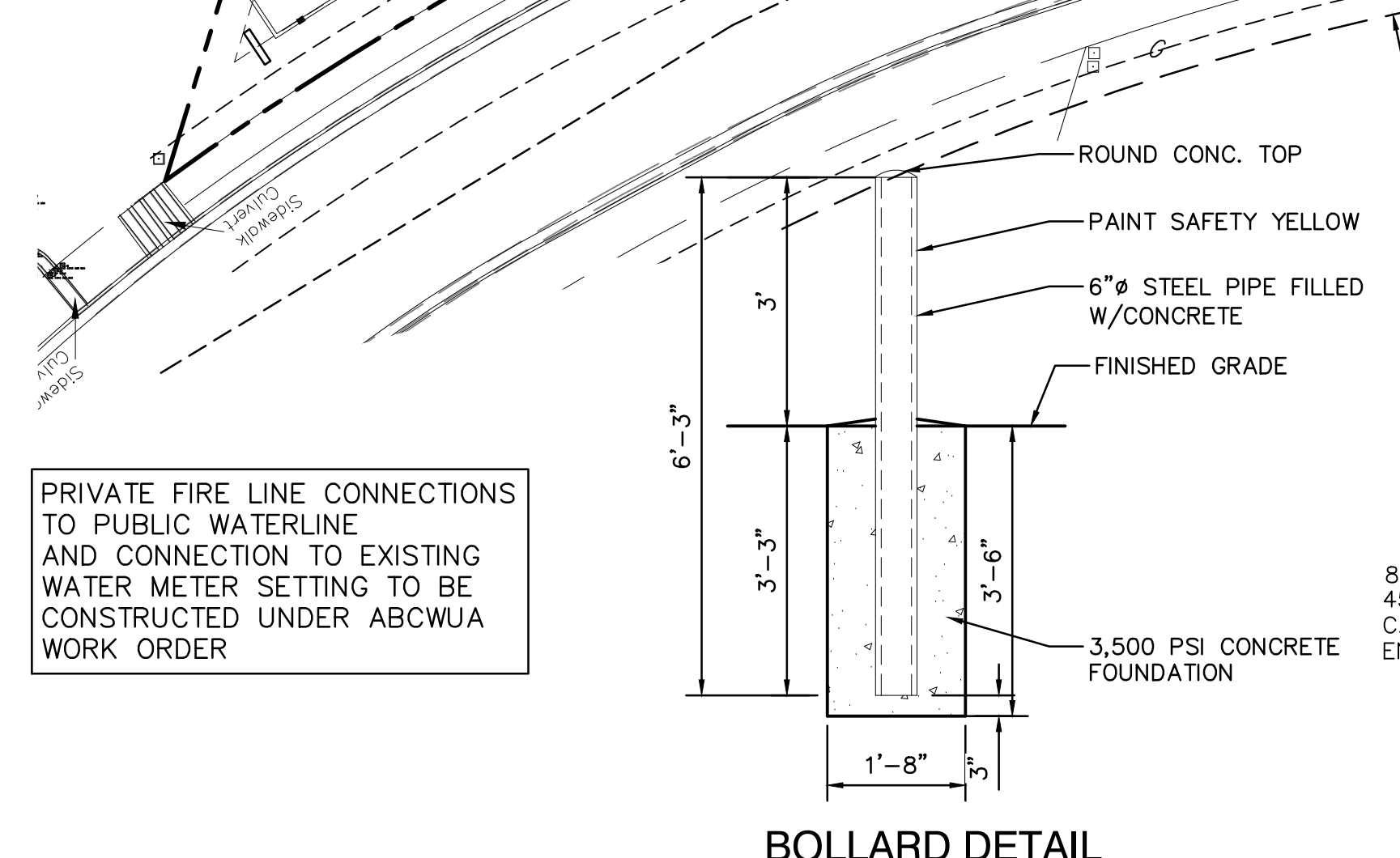
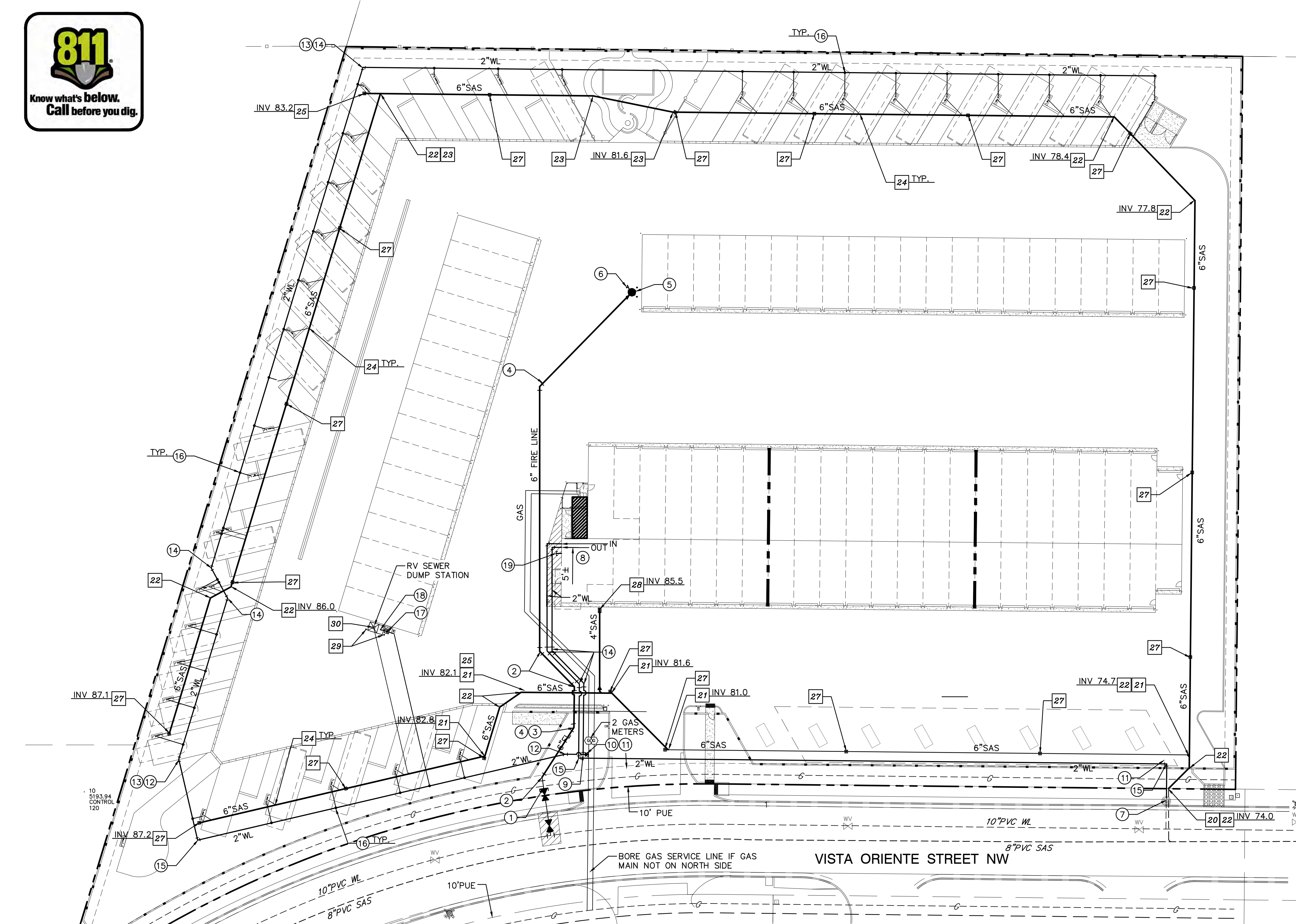
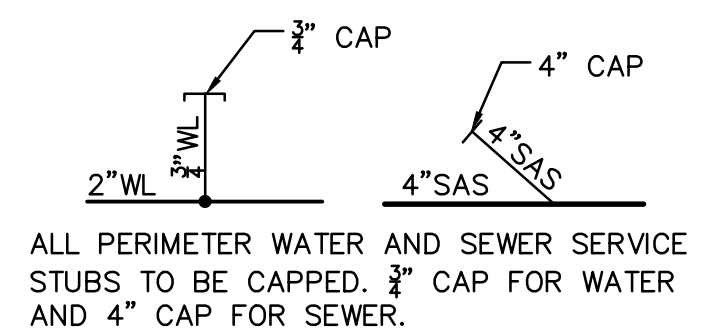
### KEYED NOTES

#### WATER KEYED NOTES

- REMOVE EXISTING 6" CAP AND CONNECT NEW 6" WATERLINE.
- 6" 45° BEND. (LT=9')
- 6" 22 1/2° BEND. (LT=4')
- 6" 11 1/2° BEND. (LT=2')
- FIRE HYDRANT PER ABCWUA STD DWG 2340. PAINTED SAFETY ORANGE.
- 4 EA. BOLLARDS (5'X5' SQUARE AROUND FIRE HYDRANT). SEE DETAIL BELOW.
- CONNECT NEW 2" WATER SERVICE LINE TO EXISTING 1 1/2" METER SETTING.
- INTERNAL BACK FLOW PREVENTERS.
- 2" TEE.
- 2"x1 1/2" REDUCER.
- 1 1/2" CAP.
- 2" 11 1/2° BEND.
- 2" 22 1/2° BEND.
- 2" 45° BEND.
- 2" 90° BEND.
- 3/4" WATER SERVICE CONNECTION, W/ 3/4" CAP AT END.
- 3/4" PRESSURE VACUUM BREAKER.
- 3" BURY 3/4" YARD HYDRANT.
- 1" IRRIGATION STUB WITH CAP

#### SEWER

- CONNECT NEW 6" SAS SERVICE LINE TO EXISTING 6" SAS STUB AT ROW.
- 6"x6" WYE/TEE.
- 6" 45° BEND.
- 6" 22 1/2° BEND.
- 6"x4" SERVICE CONNECTION W/ 4" CAP AT END.
- 4" 45° BEND.
- 6"x4" REDUCER.
- SANITARY SEWER SINGLE CLEAN OUT.
- SANITARY SEWER DOUBLE CLEAN OUT.
- BOLLARD PER DETAIL THIS SHEET.
- 4" SANITARY SEWER DUMP PER DETAIL THIS SHEET.



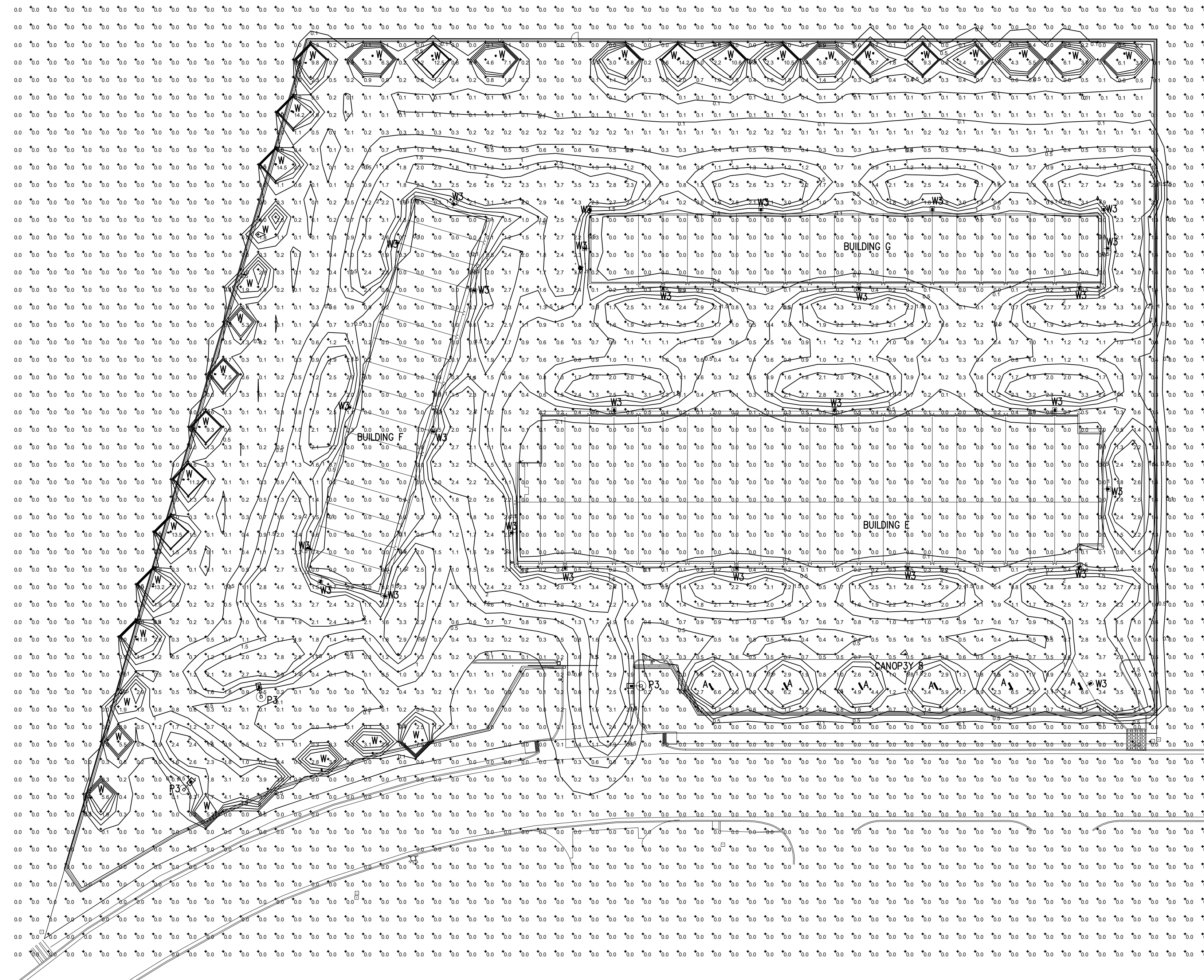
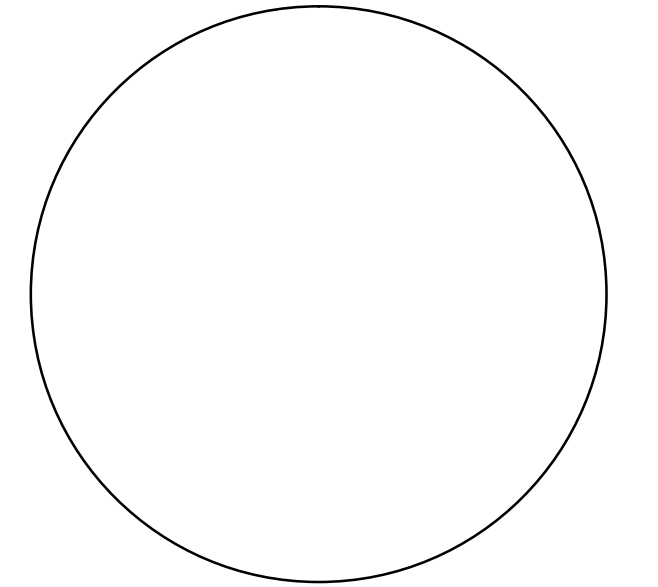
FRED C. ARFMAN  
NEW MEXICO  
7322  
2/24/2021  
LICENSED PROFESSIONAL ENGINEER

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Montrose Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.isaacson.com

2278 CU-101-DRB.dwg Sep 29, 2021

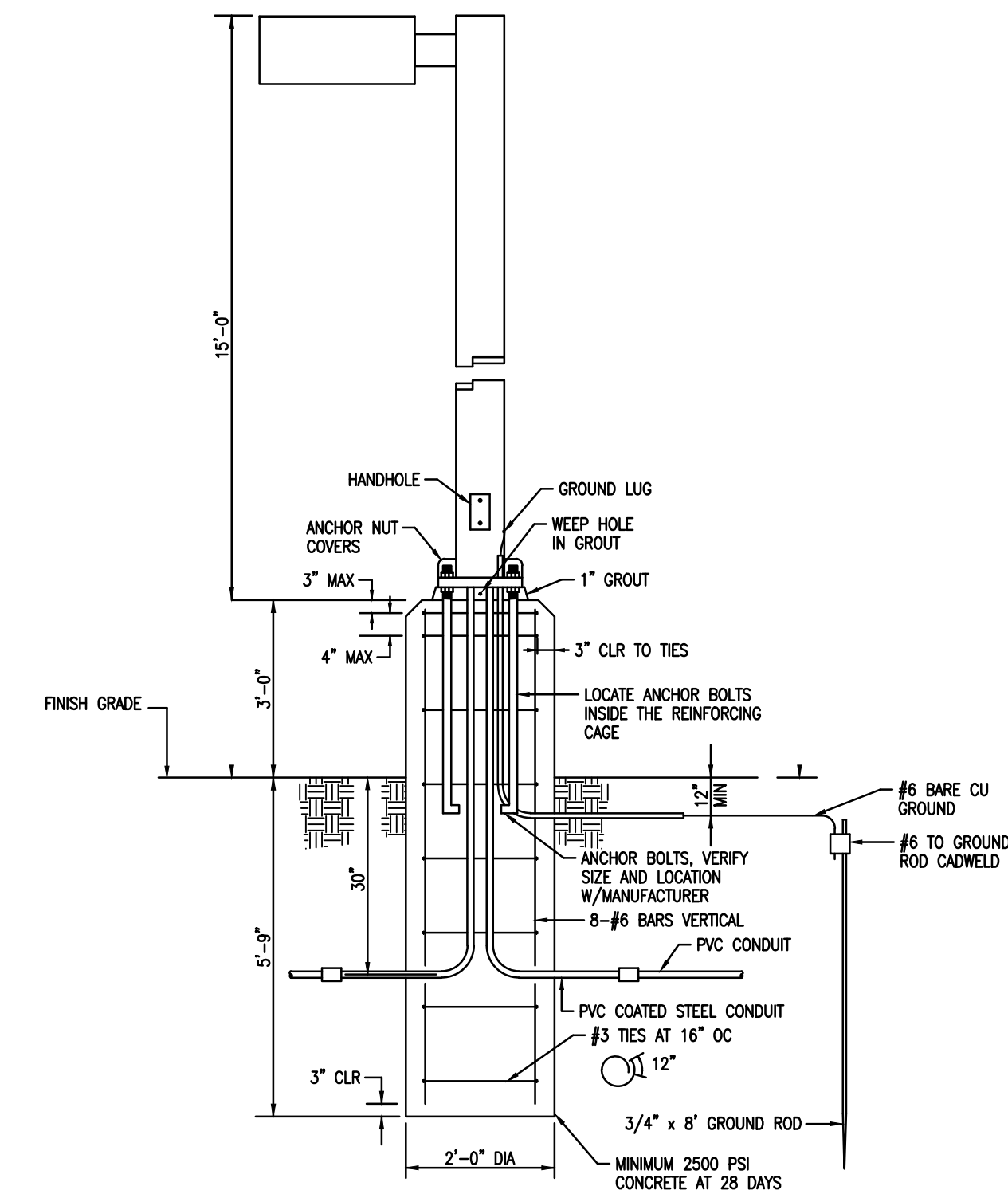
This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

|                                  |               |                               |               |
|----------------------------------|---------------|-------------------------------|---------------|
| <b>ABQ RV &amp; BOAT STORAGE</b> |               | <b>LADERA ENTERPRISES LLC</b> |               |
| <b>UTILITY PLAN</b>              |               |                               |               |
| Date: 9-29-21                    | No. Revision: | Date:                         | Job No. 2278  |
| Drawn By:                        |               |                               | <b>CU-101</b> |
| Clk By: FCA                      |               |                               | <b>SH. OF</b> |



1 SITE SPILL LIGHT CALCULATION  
SCALE: 1" = 40'-0"

| LIGHTING FIXTURE SCHEDULE |   |   |  |              |                                       |             |
|---------------------------|---|---|--|--------------|---------------------------------------|-------------|
| TYPE                      | MANUFACTURER                            | CATALOG NUMBER                                      | DESCRIPTION  | LAMPS NUMBER | BALLASTS TYPE                         | INPUT WATTS |
| A                         | METALUX<br>OR EQUAL SELECTED BY OWNER   | 4-SRL-LD5-37SL-LW-UNV-L840-CD-1-SVPD2-U             | 4-FOOT STRIP CEILING OR WALL MOUNT<br>WITH FACTORY INSTALLED INTEGRATED OCCUPANCY SENSOR | 1            | 3765 LUMEN<br>3500 K<br>LED           | 29.6        |
| P3                        | LUMARK<br>OR EQUAL SELECTED BY OWNER    | PFPRV-1-C15-T3-15<br>SSS4A155FM4<br>POLSSHDWC4FCHHP | COMBINATION FIXTURE AND POLE<br>15' POLE<br>80 MPH WIND ZONE<br>TYPE 3 DISTRIBUTION      | 1            | 7111 LUMEN<br>4000 K<br>70 CRI<br>LED | 57          |
| W                         | LUMARK<br>OR EQUAL SELECTED BY OWNER    | XTOR1B-PC1  | WALL MOUNT SECURITY LIGHT<br>WITH PHOTO CELL   | 1            | 1418 LUMEN<br>5000 K<br>70 CRI<br>LED | 12          |
| W3                        | LUMARK<br>OR EQUAL<br>SELECTED BY OWNER | PRV-C15-D-UNV-T3-WM-BZ-MSP-L30                      | WALL MOUNT AT 16' AFG<br>DARK SKY COMPLIANT<br>TYPE 3 DISTRIBUTION                       | 1            | 7111 LUMEN<br>4000 K<br>70 CRI<br>LED | 52          |



2 POLE BASE DETAIL  
SCALE: NOT TO SCALE

Tarleton Engineering Inc.  
910 RIO VISTA CIR. SW  
ALBUQUERQUE, NEW MEXICO 87105  
Tel: (505) 263-6704  
charling@tarenginc.com



ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

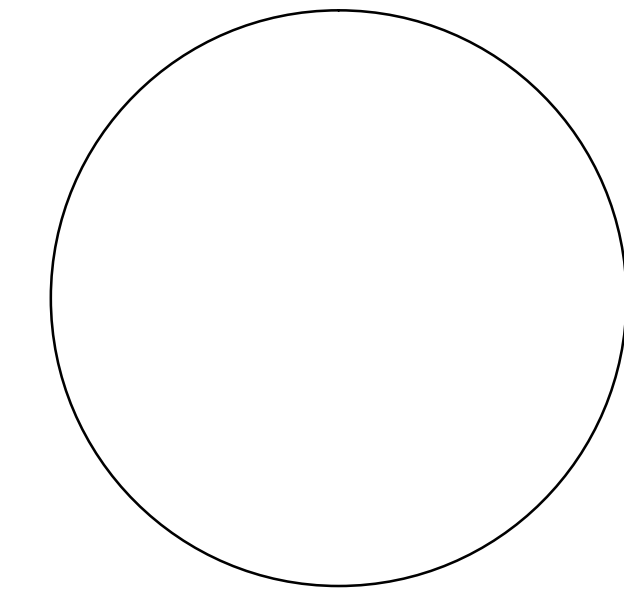
PROJECT:  
**ABQ RV + BOAT STORAGE**  
**2201 VISTA ORIENTE NW, ALBUQUERQUE, NM**

SHEET TITLE:  
**SITE SPILL LIGHT CALCULATION**

| NO. | REVISION | DATE |
|-----|----------|------|
|     |          |      |
|     |          |      |
|     |          |      |

ARCHITECT STAMP      CONSULTANT STAMP      DATE: 07/20/2021  
PROJECT NO. 003-071  
SHEET NO. E-901

08/02/2021



**DESCRIPTION** 4-SRL-LD5-3SL-LW-UNV-L840-CD-1-SVPD2-U

SRL is a narrow LED surface, wall or suspension mount luminaire which can be used in a broad range of commercial and industrial applications. This series is designed with the latest LED, electronic drivers and integrated controls for optimal performance. Offered with three different lenses and distributions, this series provides uniformity and is a versatile choice for general and special purpose lighting. Integrated controls are installed, tested and suitable for use with wired and wireless systems. The SRL improves installation and commissioning time making it an ideal choice for code compliance and to maximize energy efficiency.

**SPECIFICATION FEATURES**

**Construction**  
Channel is die formed cold rolled steel with numerous KGs for ease of installation and is available in standard and continuous row options. Channel/wireway cover securely holds to the housing with sheet metal screws. Exterior end plate is used as a continuous row aligner. Decorative white injection molded end and mid-caps are provided to house the integrated controls. Wireway channel includes a groove for use the standard hanging accessories from the SN strips family.

**Controls**  
The SRL is Powered by Fifth Light, with a standard 10% "CD" or optional 1% "HCD" 0-10V continuous dimming driver that works with many types of controls, like dimmers, occupancy sensors, daylighting controls or lighting relay panels to maximize energy savings. For individual control and out-of-the-box energy savings, the SRL is equipped with factory-installed and pre-programmed integrated sensor system "SVPD2 or SPVD3" for occupancy, daylight dimming and manual control from within the footprint of the fixture. Expand into fully-addressable systems by specifying the Digital Addressable Lighting Interface (DALI) 10% "SLTD", Or, go wireless with the WaveLine "SWPD1" (lowbay) option for code-compliance and easy installation, or the LumaWatt Pro powered by Enlight options "LWPD1" (lowbay) for a fully integrated sensor system with internet of Things (IoT) connectivity and configurable software. See ordering information and specification supplements for details on all these control options.

**Electrical**  
Long-Life LED system coupled with sensor enabled electronic drivers deliver optimal lighting performance. LED's available in 3000K, 3500K, 4000K, or 5000K with a CRI > 80. Projected life at 70% lumen maintenance is up to 170,000 hours with TM21 ratings of L82 > 60,000 hours. UNV, 24V and 480V drivers are available.

**Emergency Battery Pack Option**  
Optional 120V-277V integral emergency battery pack is available in 7-watts or 14-watts to meet critical life-safety lighting requirements. The 30-minute batteries provide constant power to the LED system, ensuring code-compliance. A test switch/indicator button can be tested safely from the ground using a laser pointer, while the patented EZkey prevents accidental discharge of the battery during construction. Emergency/generator transfer options available - see ordering information for details.

**Finish**  
Highly reflective post painted finish (PAF) provides optimal performance and handling. Housing is treated with a multi-stage iron phosphate pretreatment, ensuring maximum bonding and rust inhibition. Opaque end and mid-caps are molded in color to match the paint and have a smooth pleasing appearance.

**Channel/Wireway Cover**  
Die formed heavy gauge steel with end plates that can be removed for continuous rows or to enable through wiring through KG. Formed tabs retain the lenses without the need for separate lens clips. Sensor coverage patterns and application versatility is enabled by factory wiring using quick connects allowing up to three drivers to be connected to each sensor. See notes for additional details.

**Shielding**  
Lenses are specially designed for LED with lens blinds and linear optics to enable three different distributions: LC (clear for optimal efficacy), LM (anti-frost with narrow distribution) and LW (full frost with wide distribution). These lenses provide different lighting distributions allowing customers to meet their unique needs with smooth even illumination. Lens is securely held in place by removable injection-molded white end caps and onto the channel with built in lens retainers. End and mid-caps are easily removed without tools for installation and maintenance.

**Installation**  
Fixtures may be individually or continuous row mounted on surfaces and with suspension systems or stems. The total fixture height is less than 4 inches and will comply with ADA requirements. See accessories for ordering information.

**Compliance**  
Luminaires are cULus listed for -20° C to 40° C ambient environments, damp location listed, and comply with IESNA LM-79 and LM-80 standards. LM80 and Life values are typical values measured in laboratory at 25° C. DesignLights Consortium® Qualified and classified for both DLC Standard and DLC Premium, refer to www.designlights.org for details. Suitable for use in clothes closets when installed in accordance with the NEC 410.16 spacing requirements.

**Warranty**  
Five-year warranty.

**Catalog #** \_\_\_\_\_ **Type** \_\_\_\_\_  
**Project** \_\_\_\_\_ **A** \_\_\_\_\_  
**Comments** \_\_\_\_\_ **Date** \_\_\_\_\_  
**Prepared by** \_\_\_\_\_

**SRL LED**  
Lensed, Sensor-enabled LED Striplight

**Linear Disconnect**  
Safe and convenient means of disconnecting power

**FATON**  
Powering Business Worldwide

**LSI**  
PS19143EN  
October 8, 2019 8:16 AM

**DESCRIPTION** PPRV-1-C15-T3-15-SS4A15SFM4-POLSSHWDW4FCGHP

The Prevail™ LED pole and fixture combination makes selection and installation of poles and fixtures simple. Included is the die-cast Prevail area, site and roadway luminaire with standard mounting arm, square straight steel pole, anchor bolts, base cover, temporary and hardware. Stock configurations are available in single and dual fixture combinations. The Prevail luminaire delivers a new level of versatility and value in patent pending, architectural design that delivers energy savings greater than 85% and replaces 150-450W metal halide fixtures. The Prevail fixture and pole combo is ideal for general area/site lighting applications.

**SPECIFICATION FEATURES**

**Construction**  
Construction is comprised of a heavy-duty, single-piece die-cast aluminum housing in dark bronze polyester powder paint. The die-cast aluminum door is tethered to provide easy access to the driver if replacement is required. The optics is mounted on a versatile, aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP68 and 3G vibration rated (ANSI C136.3).

**Electrical**  
Available in 120-277V 50/60Hz, 10K/10KA surge protection standard. 0-10V dimming driver is standard with leads external to the fixture to accommodate controls capability such as dimming and occupancy. Suitable for ambient temperatures from -40°C to 40°C.

**Mounting**  
The versatile, patent pending, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the standard mounting arm enables wiring of the fixture without having to access the driver compartment. A knock-out on the standard mounting arm enables round pole mounting.

**Finish**  
Housing and cast parts finished in five-stage super TGIC polyester bronze powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear.

**Warranty**  
Five-year warranty.

**Catalog #** \_\_\_\_\_ **Type** \_\_\_\_\_  
**Project** \_\_\_\_\_ **P3** \_\_\_\_\_  
**Comments** \_\_\_\_\_ **Date** \_\_\_\_\_  
**Prepared by** \_\_\_\_\_

**PPRV PREVAIL POLE AND FIXTURE COMBO**  
LED  
POLE AND FIXTURE COMBO

**CERTIFICATION DATA**  
UL and cUL Wet Location Listed  
IP68-Rated  
3G Vibration Rated  
(50/60)

**ENERGY DATA**  
Electronic LED Driver  
0.9 Power Factor  
<20% Total Harmonic Distortion  
120-277V/50 and 60Hz,  
30/100Hz, 480V/60Hz  
-40°C Minimum Temperature Rating  
+40°C Ambient Temperature Rating

**EPA**  
Effective Projected Area (Eq. Fc.3: 0.75  
(1 fixture)

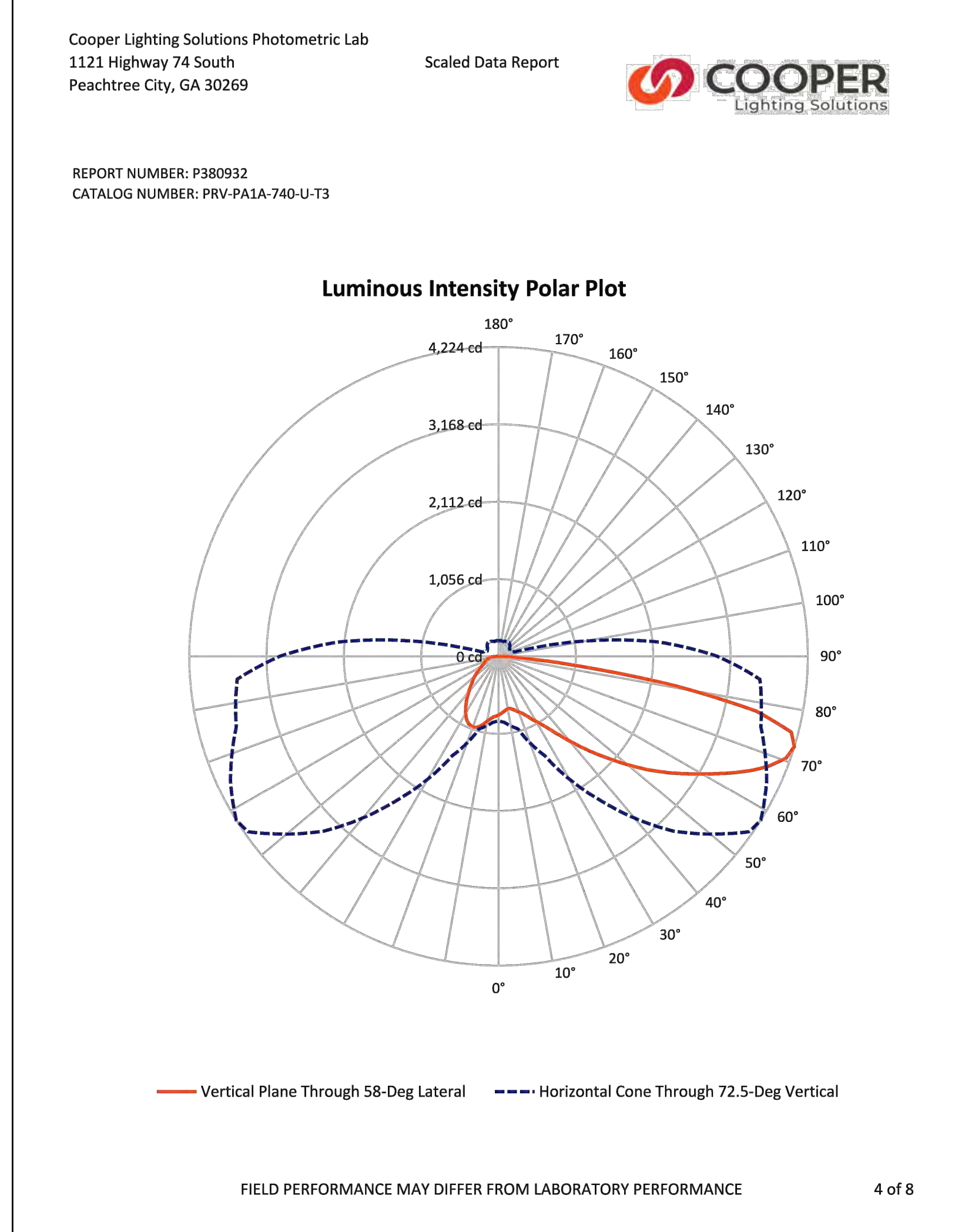
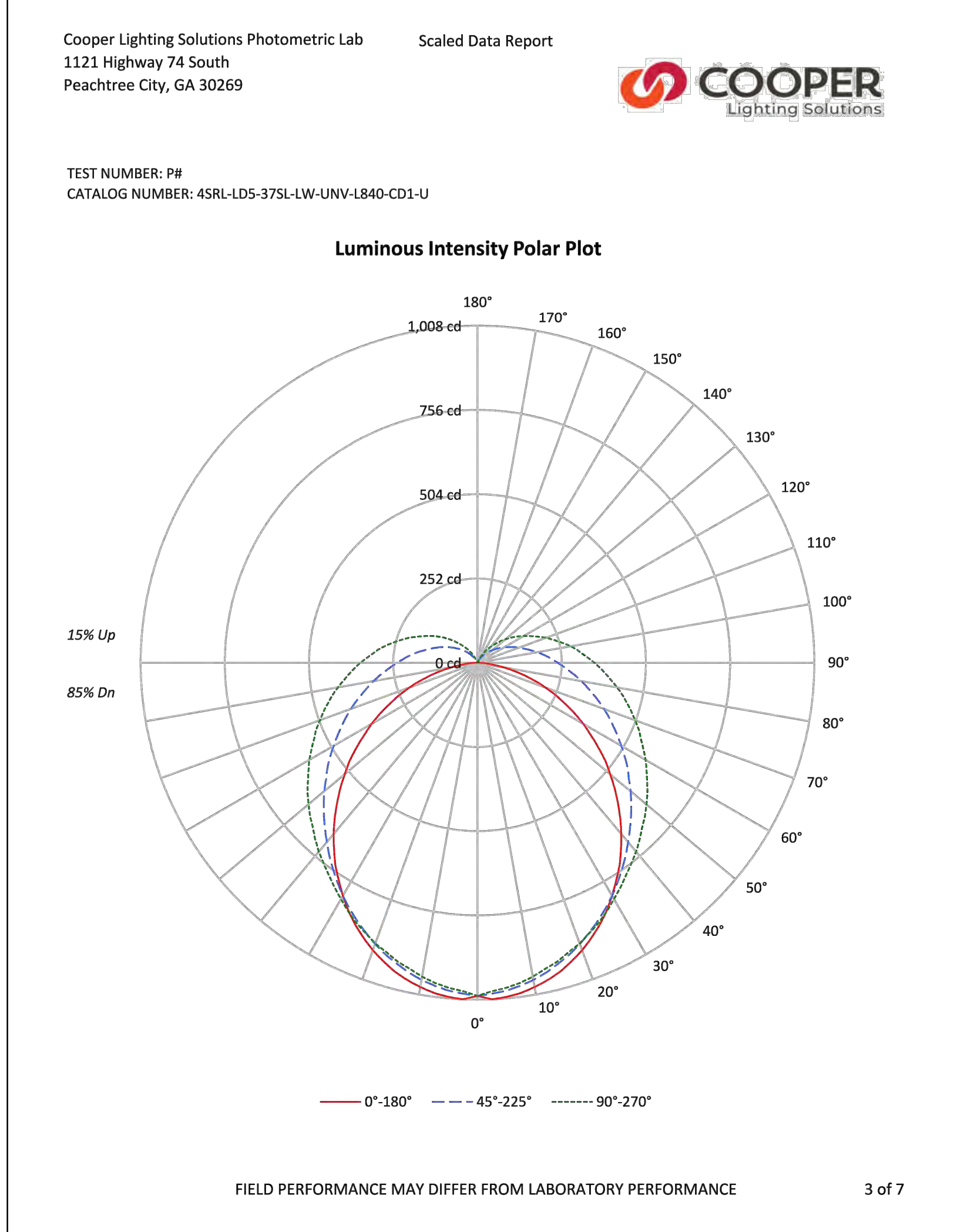
**SHIPPING DATA**  
Approximate Net Weight:  
20lbs. (9.09 kgs.) (1 Fixture)

**LSI**  
TDS00029EN  
October 15, 2019 11:09 AM

**DIMENSIONS**  
2-3/4" (70mm)  
13-1/16" (344mm)  
26-13/16" (681mm)  
15"  
20"  
26"  
30"

**POLE MOUNT ARM**  
1-1/4" (32mm)  
4-7/8" (124mm)  
6-1/8" (177mm)  
4" (102mm)  
9/16" (14mm) Dia. Hole  
4-1/2" (114mm)  
3-3/4" (96mm)  
Base View  
4"-5"

**FATON**  
Powering Business Worldwide



**Tarleton Engineering Inc.**  
910 RIO VISTA CIR. SW  
ALBUQUERQUE, NEW MEXICO 87105  
Tel: (505) 263-6704  
charling@tarenginc.com



ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:  
**ABQ RV + BOAT STORAGE**  
2201 VISTA ORIENTE NW, ALBUQUERQUE, NM

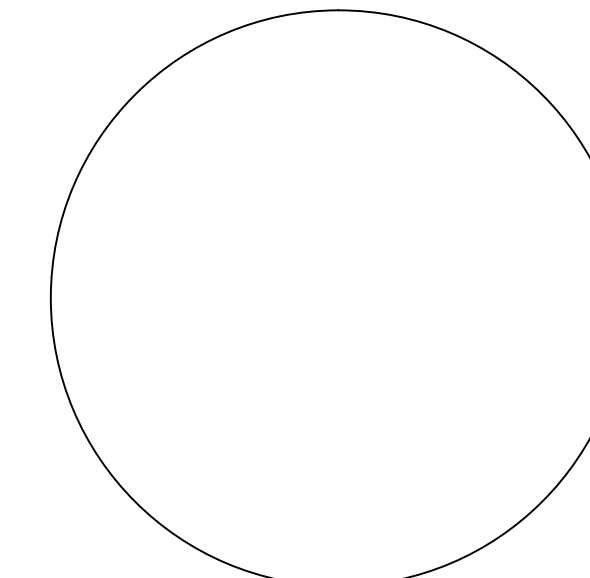
SHEET TITLE:  
**SITE LIGHTING PHOTOMETRIC FILES**

| NO. | REVISION | DATE |
|-----|----------|------|
|     |          |      |
|     |          |      |
|     |          |      |

ARCHITECT STAMP      CONSULTANT STAMP      DATE: 07/20/2021

PROJECT NO. 003-071  
SHEET NO. E-902

**GLEN M. TARLETON**  
NEW MEXICO  
6601  
REGISTERED PROFESSIONAL ENGINEER  
08/02/2021



**DESCRIPTION** PVR-C15-DPUNV-T3-WM-BZ-MSP-L30  
The Prevail LED area, site luminaire combines optical performance, energy efficiency and long term reliability in an advanced, patent pending modern design. Utilizing the latest LED technology, the Prevail luminaire delivers unparalleled uniformity resulting in greater pole spacing. A versatile mount standard arm facilitates ease of installation for both retrofit and new installations. With energy savings greater than 85%, the Prevail fixture replaces 150-1,000W metal halide fixtures in general area lighting applications such as parking lots, walkways, roadways and building areas.

**SPECIFICATION FEATURES**

**Construction**  
Construction is comprised of a heavy-duty, single-piece die-cast aluminum housing. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. The die-cast aluminum door is tethered to provide easy access to the driver if replacement is required. A one-piece silicone gasket seals the door to the fixture housing. The optics is mounted on a versatile, aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP66 and vibration rated (ANSI C136.31) to insure strength of construction and longevity in the selected application.

**Optics**  
Precision molded, high efficiency optics are precisely designed to shape the distribution, maximizing efficiency and application spacing. Available in Type II, III, IV and V distributions with lumen packages ranging from 6,100 to 18,900 nominal lumens. Light engine configurations consist of high-efficiency LEDs mounted to metal-core circuit boards

to maximize heat dissipation and promote long life. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed.

**Electrical**  
LED drivers are mounted to the fixture for optimal heat sinking and ease of maintenance. Class 1 electronic drivers have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Available in 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. 10kV/10kA surge protection standard. 0-10V dimming driver is standard with leads external to the fixture. Suitable for ambient temperatures from -40°C to 40°C. Optional 50°C HA (High Ambient) available. Standard NEMA 3-PIN twistlock photocontrol receptacle and NEMA 7-PIN twistlock photocontrol receptacles are available as options.

**Controls**  
See Control Options section for more details on available offerings.

**Mounting**  
Standard pole mount arm is bolted directly to the pole and the fixture slides onto the arm and locks in place with a bolt facilitating quick and easy installation. The versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the standard mounting arm enables wiring of the fixture without having to access the driver compartment. A knock-out on the standard mounting arm enables round pole mounting. Wall mount and mast arm mounting options are available. Mast arm adapter fits 2-3/8" O.D. tenon.

**Finish**  
Housing and cast parts finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, black, dark platinum and graphite metallic.

**Warranty**  
Five-year warranty.

**Lumark**

|             |      |
|-------------|------|
| Catalog #   | Type |
| Project     | W3   |
| Comments    | Date |
| Prepared by |      |



**PRV / PRV-XL PREVAIL LED**

AREA / SITE / ROADWAY LUMINAIRE



**CERTIFICATION DATA**  
UL and cUL Wet Location Listed  
DesignLights Consortium® Qualified\*  
IP66 Rated  
30 Vibration Rated (PRV)  
150 Vibration Rated (PRV-XL)  
3000  
ISO 9001  
FCC Class A

**ENERGY DATA**  
ElectroLED Driver  
0.9 Power Factor  
<20% Total Harmonic Distortion  
120-277V/50 and 60Hz  
307V/60Hz, 480V/60Hz  
40°C Minimum Temperature Rating  
+40°C Ambient Temperature Rating

**SHIPPING DATA**  
Approximate Net Weight:  
PRV 20 lbs. (9.09 kgs.)  
PRV-XL 45 lbs. (20.41 kgs.)

TD514013EN  
September 30, 2019 9:28 AM

**DESCRIPTION**  
The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount far facade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

**SPECIFICATION FEATURES**

**Construction**  
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 2-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

**Optical**  
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages: 5000K, 4000K and 3000K CCT.

**Electrical**  
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C (-40°F to 104°F). High ambient 50°C models available. Crosstour luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized

electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

**Finish**  
Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

**Warranty**  
Five-year warranty.



**XTOR CROSSTOUR LED**

**APPLICATIONS:**  
WALL / SURFACE  
POST / BOLLARD  
LOW LEVEL  
FLOODLIGHT  
INVERTED  
SITE LIGHTING



**CERTIFICATION DATA**  
UL and cUL Wet Location Listed  
LM79 / LM80 Compliant  
ROHS Compliant  
ADA Compliant  
NOM Compliant Models  
IP66 Ingress Protection Rated  
Title 24 Compliant  
DesignLights Consortium® Qualified\*

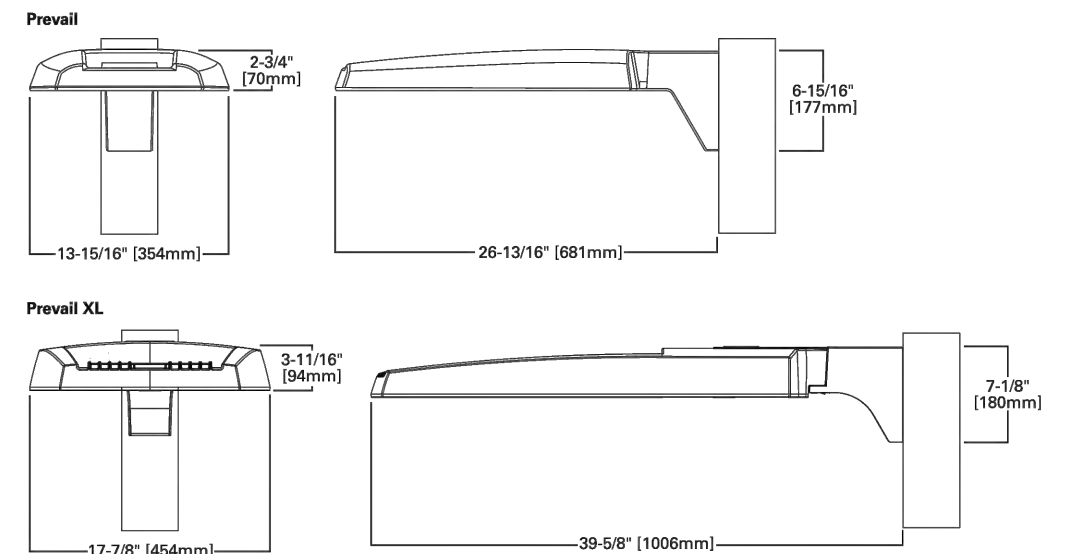
**TECHNICAL DATA**  
40°C Maximum Ambient Temperature  
External Supply Wiring 90°C Minimum

**EPA**  
Effective Projected Area (S<sub>e</sub>, F<sub>l</sub>):  
XTORII, XTORIII, XTORIII-C, XTORIII-C-45

**SHIPPING DATA:**  
Approximate Net Weight:  
3.7 - 5.25 lbs. (1.7 - 2.4 kgs.)

TD514013EN  
2017-07-26 12:21:59

**DIMENSIONS**



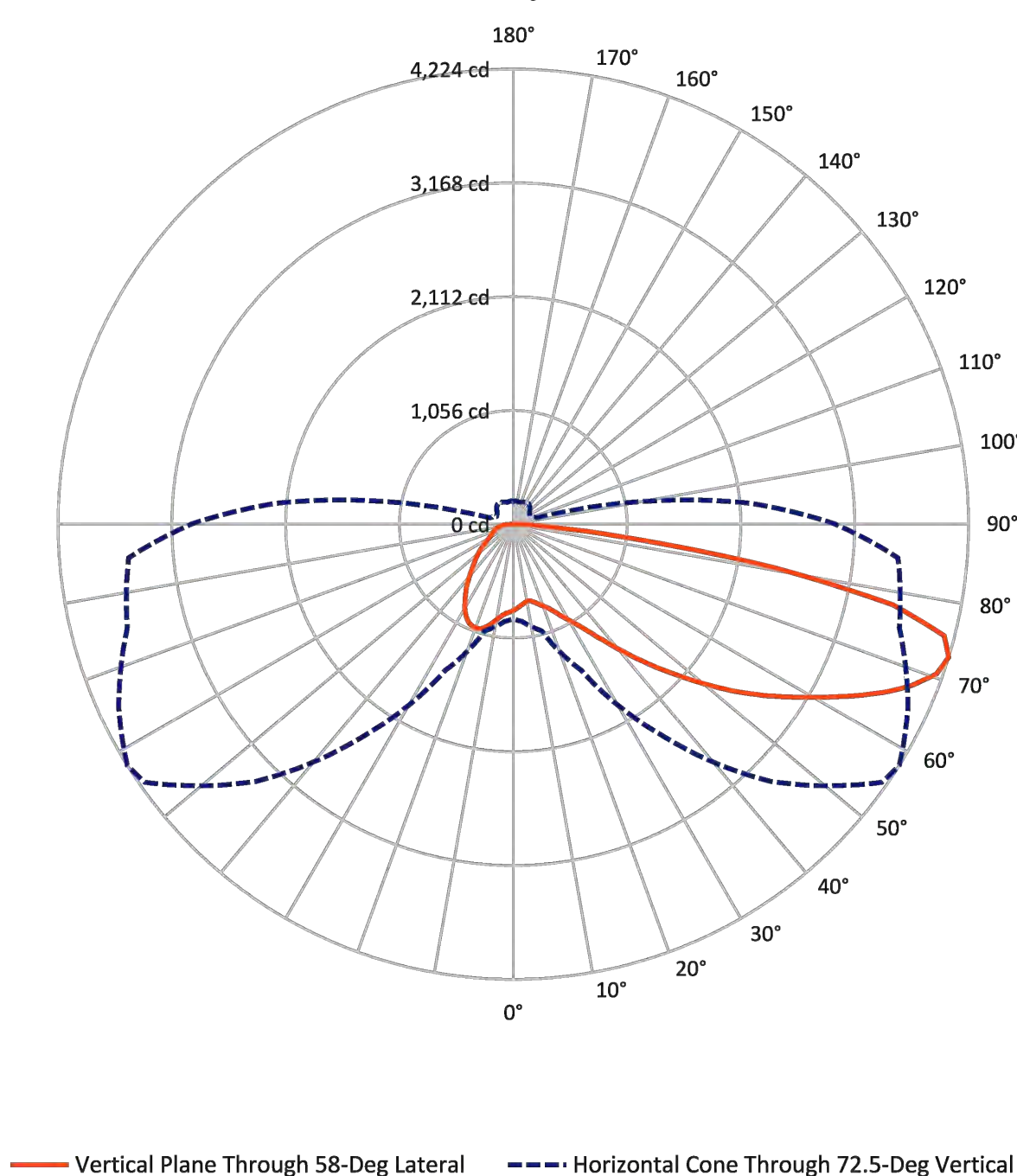
Cooper Lighting Solutions Photometric Lab  
1121 Highway 74 South  
Peachtree City, GA 30269

Scaled Data Report



REPORT NUMBER: P380932  
CATALOG NUMBER: PRV-PA1A-740-U-T3

**Luminous Intensity Polar Plot**



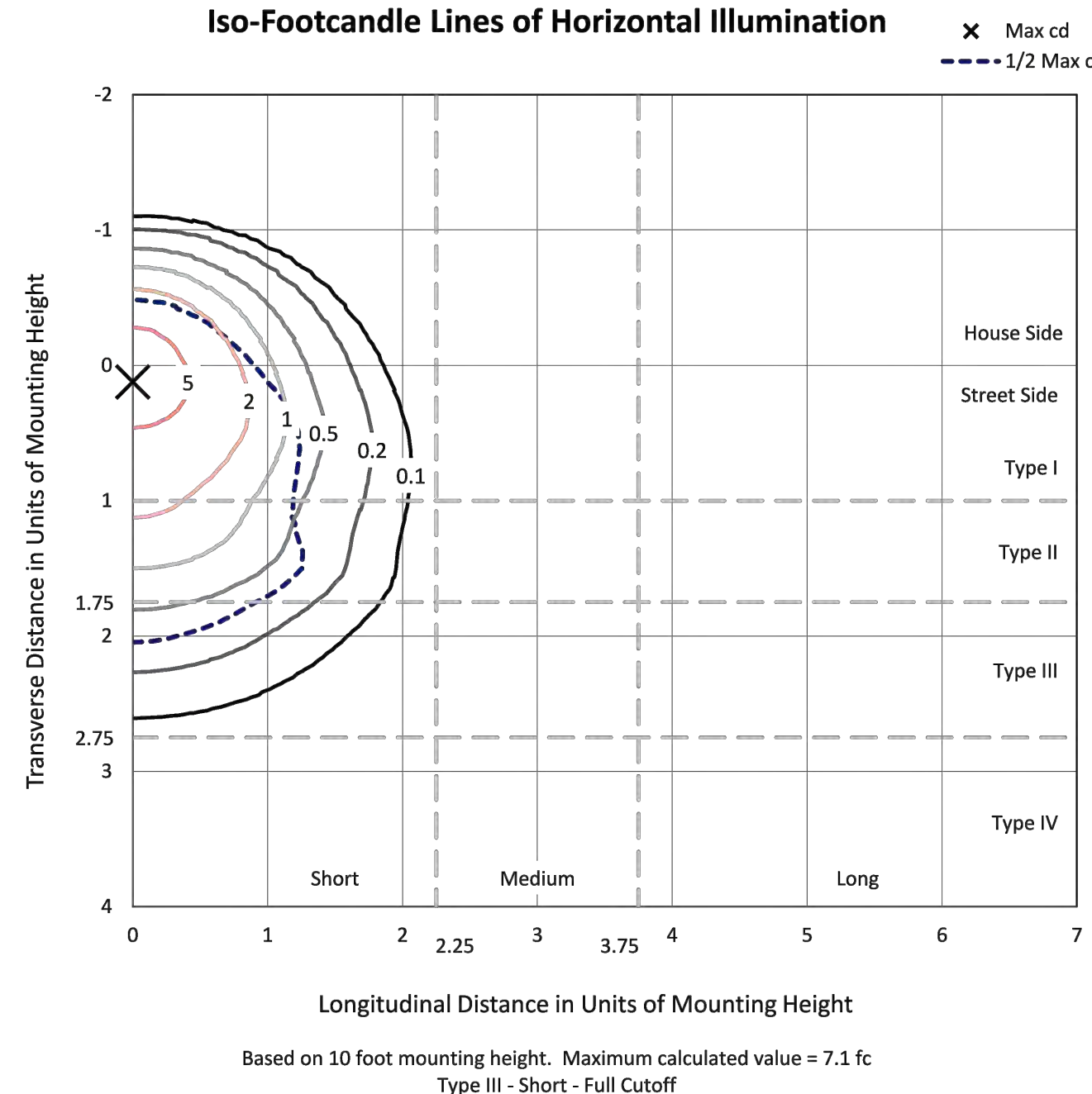
Cooper Lighting Solutions Photometric Lab  
1121 Highway 74 South  
Peachtree City, GA 30269

Scaled Data Report

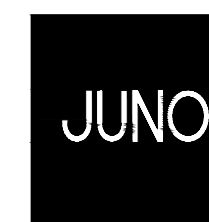


REPORT NUMBER: P208563  
CATALOG NUMBER: XTOR18

**Iso-Footcandle Lines of Horizontal Illumination**



**Tarleton Engineering Inc.**  
910 RIO VISTA CIR. SW  
ALBUQUERQUE, NEW MEXICO 87105  
Tel: (505) 263-6704  
charling@tarenginc.com



ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:  
**ABQ RV + BOAT STORAGE**  
2201 VISTA ORIENTE NW, ALBUQUERQUE, NM

SHEET TITLE:  
**SITE LIGHTING PHOTOMETRIC FILES**

| NO. | REVISION | DATE |
|-----|----------|------|
|     |          |      |
|     |          |      |
|     |          |      |

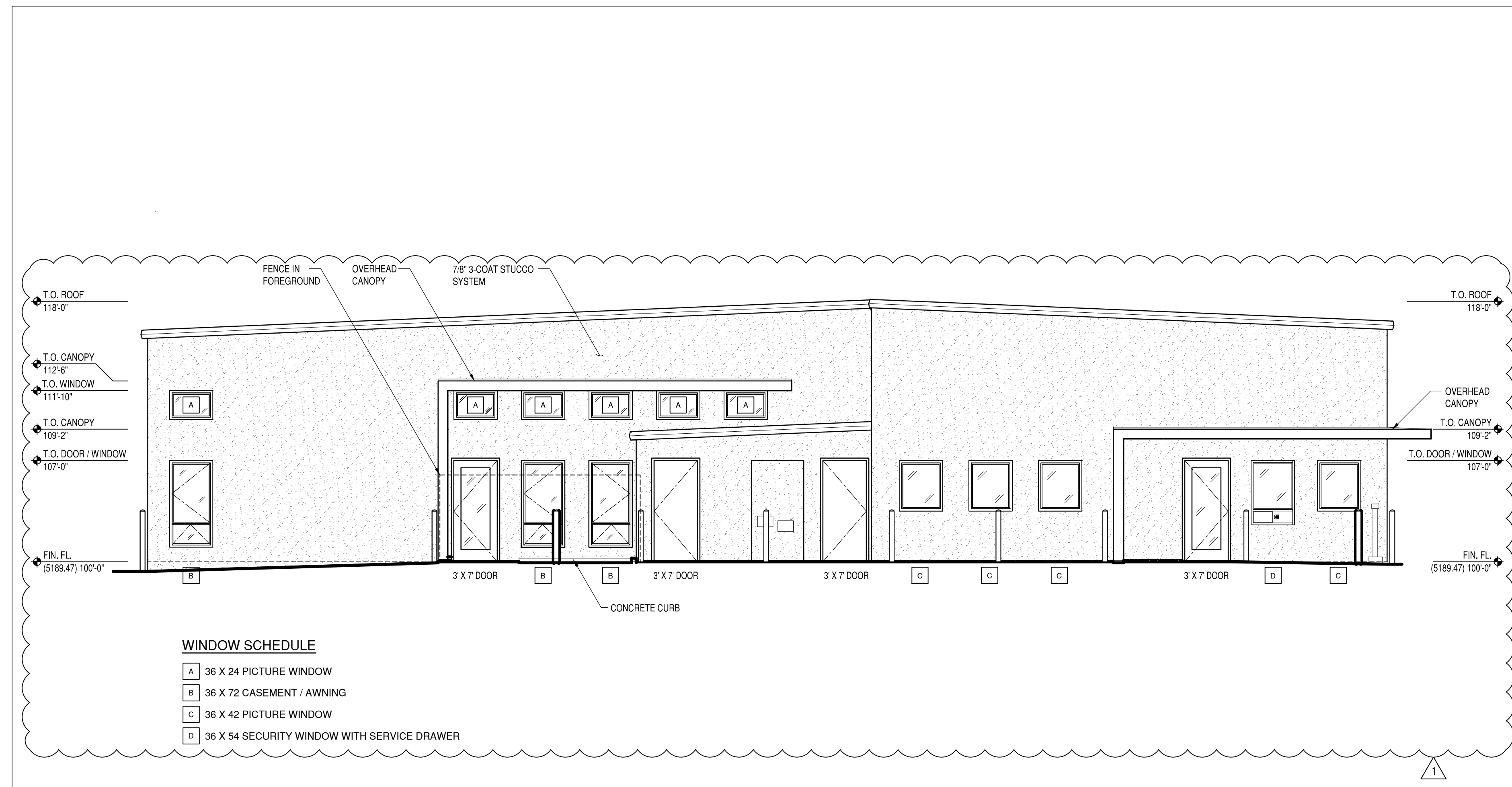
ARCHITECT STAMP CONSULTANT STAMP DATE:



DATE:  
07/20/2021  
PROJECT NO.  
003-071  
SHEET NO.

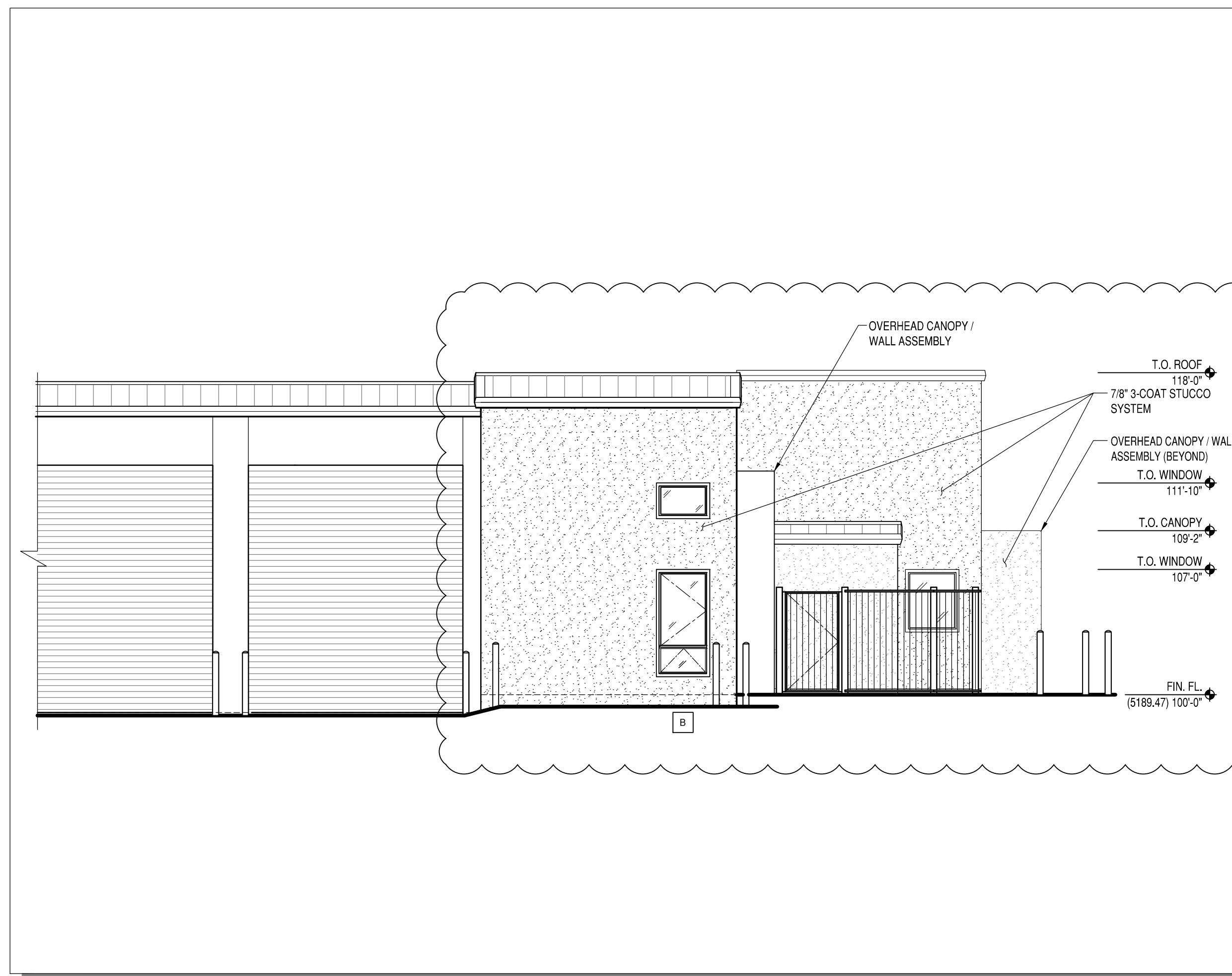
**E-903**

08/02/2021



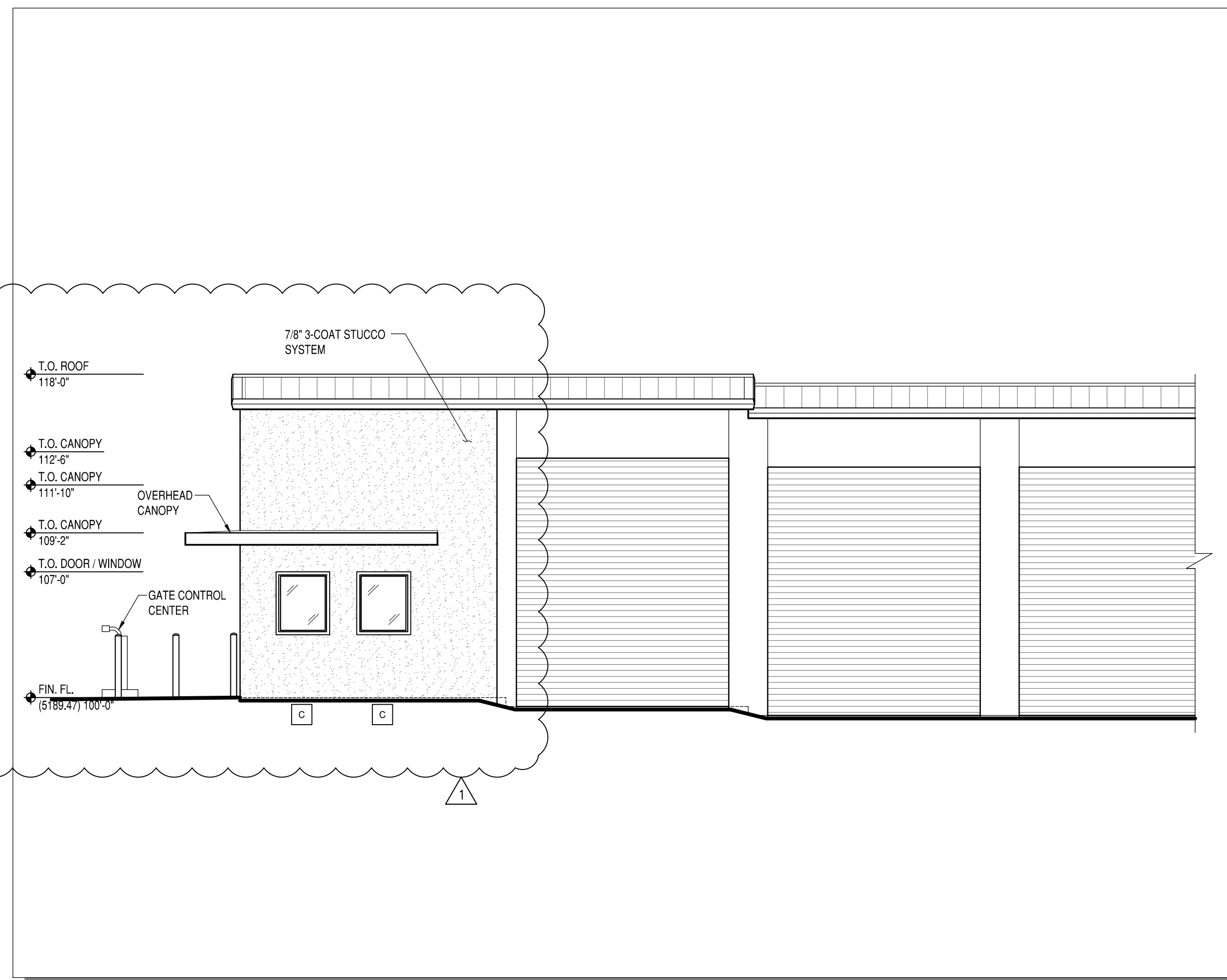
**BUILDING 'E' WEST ELEVATION**  
3/16" = 1'-0"

**1**  
**A-201**



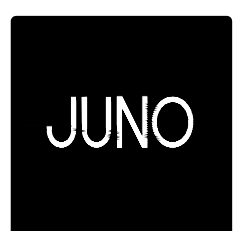
**BUILDING 'E' PARTIAL NORTH ELEVATION**  
3/16" = 1'-0"

**2**  
**A-201**



**BUILDING 'E' PARTIAL SOUTH ELEVATION**  
3/16" = 1'-0"

**3**  
**A-201**



ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:  
**ABQ RV + BOAT STORAGE**  
**2201 VISTA ORIENTE NW, ALBUQUERQUE, NM**

SHEET TITLE:  
**PARTIAL BUILDING 'E' ELEVATIONS OF APARTMENT-OFFICE**

| NO. | REVISION                                | DATE    |
|-----|---|---------|
| 1   | REVISED PARTIAL BUILDING 'E' ELEVATIONS | 9/28/21 |

| ARCHITECT STAMP                               | CONSULTANT STAMP | DATE:               |
|---|------------------|---------------------|
| STATE OF NEW MEXICO<br>KEVIN JUND<br>NO. 1603 |                  | 9/29/21             |
|   |                  | PROJECT NO.<br>1614 |
|   |                  | SHEET NO.           |

*Handwritten signature and date: 9.29.21*  
**AA-FP-1**













# PR-2020-005492\_SI-2021-01694\_Site\_Plan\_Approved\_11-10-21\_Sheet\_1

Final Audit Report

2022-03-24


|                 |   |
|-----------------|---|
| Created:        | 2022-03-21                                  |
| By:             | Jay Rodenbeck (jrodenbeck@cabq.gov)         |
| Status:         | Signed                                      |
| Transaction ID: | CBJCHBCAABAHC4JaetZWe9vu0O-Q6DnVKtz8BAVCTr_ |

## "PR-2020-005492\_SI-2021-01694\_Site\_Plan\_Approved\_11-10-21\_Sheet\_1" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)  
2022-03-21 - 6:31:37 PM GMT - IP address: 143.120.132.106
-  Document emailed to Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov) for signature  
2022-03-21 - 6:37:14 PM GMT
-  Document emailed to Jeanne Wolfenbarger (jwolfenbarger@cabq.gov) for signature  
2022-03-21 - 6:37:14 PM GMT
-  Document emailed to Ernest Armijo (eamijo@cabq.gov) for signature  
2022-03-21 - 6:37:14 PM GMT
-  Document emailed to Cheryl Somerfeldt (csomerfeldt@cabq.gov) for signature  
2022-03-21 - 6:37:14 PM GMT
-  Document emailed to Blaine Carter (bcarter@abcwua.org) for signature  
2022-03-21 - 6:37:15 PM GMT
-  Document emailed to Jeff Palmer (jppalmer@cabq.gov) for signature  
2022-03-21 - 6:37:15 PM GMT
-  Email viewed by Ernest Armijo (eamijo@cabq.gov)  
2022-03-21 - 6:52:17 PM GMT - IP address: 143.120.132.57
-  Document e-signed by Ernest Armijo (eamijo@cabq.gov)  
Signature Date: 2022-03-21 - 6:54:35 PM GMT - Time Source: server- IP address: 143.120.132.57
-  Email viewed by Jeff Palmer (jppalmer@cabq.gov)  
2022-03-21 - 7:48:05 PM GMT - IP address: 104.28.112.12

 Email viewed by Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

2022-03-21 - 8:28:30 PM GMT- IP address: 198.206.237.4

 Document e-signed by Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

Signature Date: 2022-03-21 - 8:33:01 PM GMT - Time Source: server- IP address: 198.206.237.4

 Email viewed by Cheryl Somerfeldt (csomerfeldt@cabq.gov)

2022-03-21 - 11:50:05 PM GMT- IP address: 67.0.79.41

 Document e-signed by Cheryl Somerfeldt (csomerfeldt@cabq.gov)

Signature Date: 2022-03-21 - 11:53:44 PM GMT - Time Source: server- IP address: 67.0.79.41

 Document e-signed by Jeff Palmer (jppalmer@cabq.gov)


Signature Date: 2022-03-22 - 6:06:32 PM GMT - Time Source: server- IP address: 143.120.132.73

 Email viewed by Blaine Carter (bcarter@abcwua.org)


2022-03-23 - 8:31:14 PM GMT- IP address: 142.202.67.2

 Document e-signed by Blaine Carter (bcarter@abcwua.org)

Signature Date: 2022-03-23 - 8:31:50 PM GMT - Time Source: server- IP address: 142.202.67.2

 Email viewed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)

2022-03-24 - 10:22:00 PM GMT- IP address: 143.120.133.169

 Document e-signed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)

Signature Date: 2022-03-24 - 10:22:34 PM GMT - Time Source: server- IP address: 143.120.133.169

 Agreement completed.

2022-03-24 - 10:22:34 PM GMT