

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

Restaurant at 8100 Wyoming Boulevard

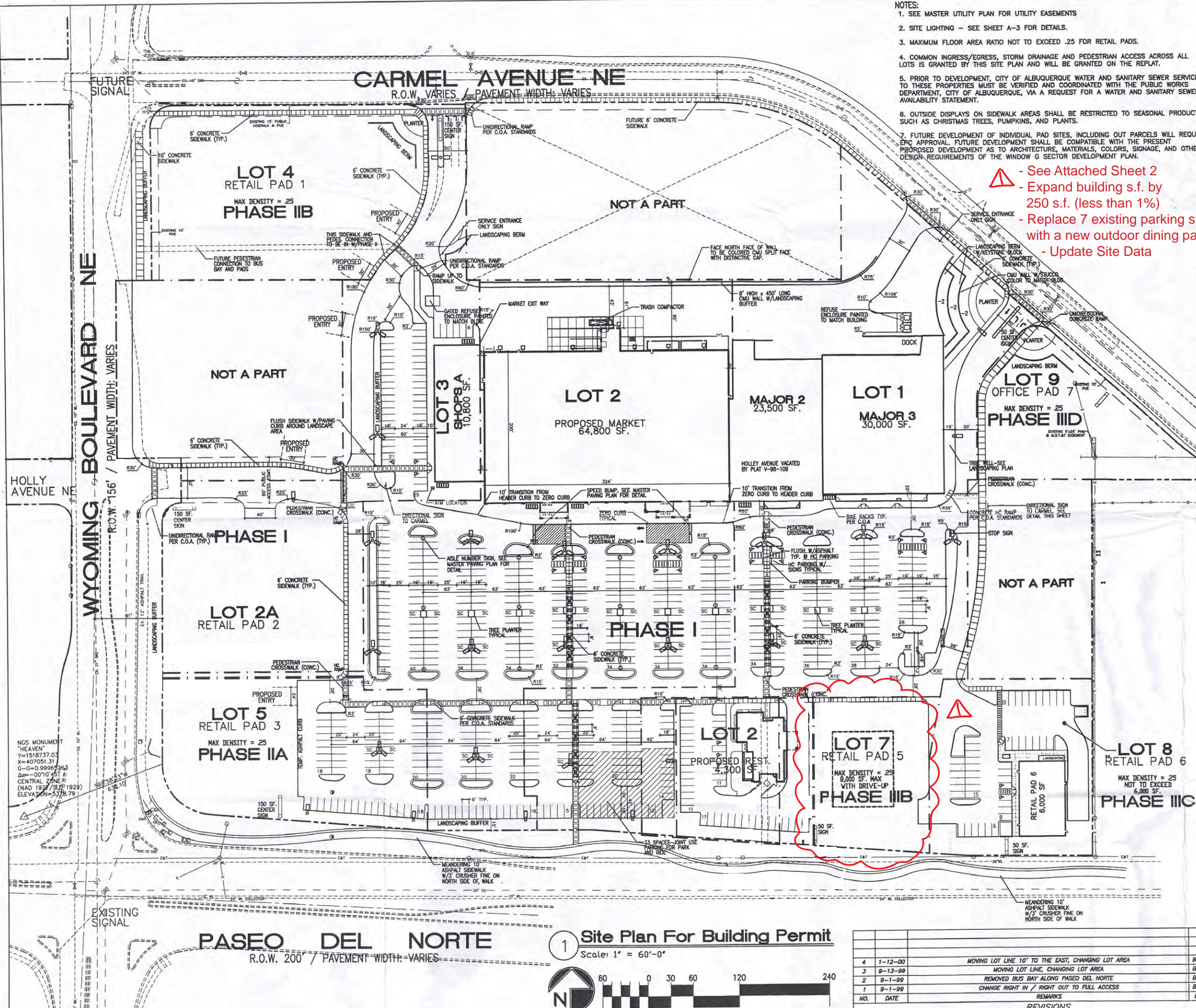
Administrative Amendment Request

Project #PR- 2021-005547

Transportation Development Comments:

Contact: Jeanne Wolfenbarger 924-3991, jwolfenbarger@cabq.gov

1. For parking calculations, also account for the outdoor seating per IDO requirements. Provide Shared Parking Agreement as needed, and adjust ADA parking as needed.
2. Due to the 250 square foot building addition, verify adequate ADA access from the existing van accessible aisle. Provide information on existing curb ramp, and provide a dimension for the turning space behind the curb ramp to ensure at least a 4-foot wide turning space.
3. Provide a bike rack and motorcycle parking per new IDO requirements. Add details as necessary for the rack and signage. Label "MC" at back of the parking space for the motorcycle parking.
4. The ADA access aisle shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
5. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Add this detail.



- NOTES:
- SEE MASTER UTILITY PLAN FOR UTILITY EASEMENTS
 - SITE LIGHTING - SEE SHEET A-3 FOR DETAILS.
 - MAXIMUM FLOOR AREA RATIO NOT TO EXCEED .25 FOR RETAIL PADS.
 - COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS ALL LOTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THESE PROPERTIES MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE, VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT.
 - OUTSIDE DISPLAYS ON SIDEWALK AREAS SHALL BE RESTRICTED TO SEASONAL PRODUCTS SUCH AS CHRISTMAS TREES, PUMPKINS, AND PLANTS.
 - FUTURE DEVELOPMENT OF INDIVIDUAL PAD SITES, INCLUDING OUT PARCELS WILL REQUIRE EPC APPROVAL. FUTURE DEVELOPMENT SHALL BE COMPATIBLE WITH THE PRESENT PROPOSED DEVELOPMENT AS TO ARCHITECTURE, MATERIALS, COLORS, SIGNAGE, AND OTHER DESIGN REQUIREMENTS OF THE WINDOW G SECTOR DEVELOPMENT PLAN.

- See Attached Sheet 2
 - Expand building s.f. by 250 s.f. (less than 1%)
 - Replace 7 existing parking stalls with a new outdoor dining patio
 - Update Site Data

LEGAL DESCRIPTION:
 LOTS NUMBERED 1 THRU 7 AND LOTS NUMBERED 25 THRU 32 IN BLOCK TWENTY (20) OF TRACT TWO (2), UNIT THREE (3) OF NORTH ALBUQUERQUE ACRES WITHIN THE ELENA GALLEGOS GRANT, BERNALILLO COUNTY, NEW MEXICO LA CUEVA VILLAGE UNIT, TRACT C, BERNALILLO COUNTY, NEW MEXICO

CURRENT ZONING: C2 INCLUDING ALL PERMISSIVE AND CONDITIONAL USES

TOTAL ACREAGE: 21.3953 AC.
 ZONE ATLAS: C-19-Z

BUILDING AREA & PARKING CALCULATIONS:

BUILDING AREA	LESS TRAFFIC CREDIT (15%)
MAJOR 1 84,800 SF. / 200 = 324 SPACES = 275 SPACES	
MAJOR 2 23,500 SF. / 200 = 118 SPACES = 100 SPACES	
MAJOR 3 30,000 SF. / 200 = 150 SPACES = 128 SPACES	
SHOPS A 10,800 SF. / 200 = 54 SPACES = 46 SPACES	
TOTAL 126,811 SF. = 646 SPACES = 646 SPACES	

ALL RETAIL PADS ARE SELF-PARKING LOTS @ 5 PER 200

LESS 15% BUS CREDIT 640 x .25 = 549 REQUIRED SPACES

TOTAL REQUIRED SPACES = 549 SPACES 590
 TOTAL PROVIDED SPACES = 655 SPACES 694
 (INCLUDING 10 STANDARD HC SPACES & 8 HC VAN SPACES)

PARKING NOTES:
 TYPICAL STANDARD SPACES ARE 9'-0" x 19'-0"
 TYPICAL SMALL CAR (SC) SPACES ARE 7'-6" x 15'-0"
 TYPICAL HANDICAP SPACES ARE 8'-0" x 19'-0"
 WITH A 6' WIDE ACCESS AISLE

* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

Tract 7 AA = 7/694 = 1%

BIKE RACKS:
 3. REQUIRED NUMBER OF BIKE RACKS (1 PER 25 CARS)
 659 PARKING SPACES PROVIDED / 25 = 26 BIKE RACKS
 (5 SPACES PER RACK)
 6 BIKE RACKS W/FIVE SPACES EACH PROVIDED
 SEE DETAIL SHEET AS

VICINITY MAP
 NTS
1000163 AA

ADMINISTRATIVE DEVELOPMENT PLAN AMENDMENT
 FILE NO. AA-00236 0000 00098
Lot line adjust
Mentis P. Stumm
George Rainhart 2/10/20
 PLANNING DIRECTOR DATE

SIGNATURE BLOCK

THIS PLAN IS CONSISTANT WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON _____	DATE
EPC CASE # _____ DRB CASE # _____	
PLANNING DIRECTOR APPROVED AS TO THE REQUIREMENTS	DATE
TRAFFIC ENGINEER	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
WATER RESOURCES, UTILITIES DIVISION	DATE
PARKS / CIP	DATE

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

FILENAME: 98259A-D

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

MINOR AMENDMENT SHEET 1
 JUNE 1, 2021

PROJECT TITLE
 LA CUEVA TOWN CENTER
 NEC OF WYOMING BOULEVARD & PASEO DEL NORTE
 ALBUQUERQUE, NM

PROJECT MANAGER
 GEORGE RAINHART, AIA

DRAWN BY:
 EDC

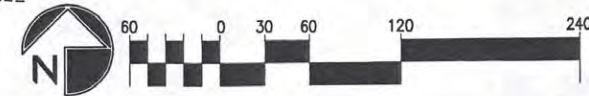
SHEET TITLE
 SITE PLAN FOR BUILDING PERMIT

START DATE
 1-12-00

SCALE:
 1" = 60'-0"

sheet-
C1A
 of-

1 Site Plan For Building Permit
 Scale: 1" = 60'-0"



NO.	DATE	REVISIONS	BY
4	1-12-00	MOVING LOT LINE 10' TO THE EAST, CHANGING LOT AREA	BGG
3	9-13-99	MOVING LOT LINE, CHANGING LOT AREA	BGG
2	9-1-99	REMOVED BUS BAY ALONG PASEO DEL NORTE	BGG
1	9-1-99	CHANGE RIGHT IN / RIGHT OUT TO FULL ACCESS	BGG

NGS MONUMENT "HEAVEN"
 Y=1518737.03
 X=407051.31
 G-C=0.9996263
 Δ=0.001045111
 CENTRAL ZONE #1
 (NAD 1983) (3/21/1929)
 ELEVATION=5378.70'

VICINITY MAP



SITE PLAN NOTES

- 1 PARKING STALLS WITH 4" WIDE WHITE STRIPING.
- 2 NEW SITE LIGHT. 17" TALL POLE W/ WOOD METAL HALIDE FIXTURE ON A 3'-0" CONCRETE BASE. SEE DETAIL.
- 3 BICYCLE RAKE FOR 3 BIKES. SEE DETAIL.
- 4 NEW CONCRETE CURB RAMP.
- 5 CONCRETE SIDEWALK.
- 6 PAINTED SYMBOL OF ACCESSIBILITY.
- 7 CMU TRASH ENCLOSURE.
- 8 EXISTING CURB WORK TO REMAIN.
- 9 LOADING ZONE.
- 10 PROPOSED ELECTRICAL TRANSFORMER LOCATION (VERIFY LOCATION).
- 11 CURB RAMP.
- 12 EXISTING SIDEWALK.
- 13 NEW LANDSCAPE AREAS.
- 14 MAIN SKETCHBOARD.
- 15 NEW AC PAVING.
- 16 DECORATIVE CONCRETE CROSSWALK.
- 17 ACCESSIBLE PARKING STALLS. TYPICAL OF (2).
- 18 REINFORCED CONCRETE PAD FOR LOADING ZONE. SEE SOILS REPORT.
- 19 STRIPED PARKING STALL TO ACCOMMODATE 8'-0" WIDE ACCESS AISLE.
- 20 NOT USED.
- 21 ACCESSIBLE PARKING SIGN.
- 22 MONUMENT SIGN BY OTHER.
- 23 NEW CURB & GUTTER.
- 24 CURB AND SIDEWALK.
- 25 FUTURE CURBWORK BY OTHERS.
- 26 DECORATIVE CONCRETE CROSSWALK BY OTHERS.
- 27 UTILITY EASEMENTS.
- 28 LINE OF AUTOMOBILE OVERHANG.
- 29 5'-0" STRIPED CROSSWALK.
- 30 NEW PLANTER CURB.

SUMMARY TABLE

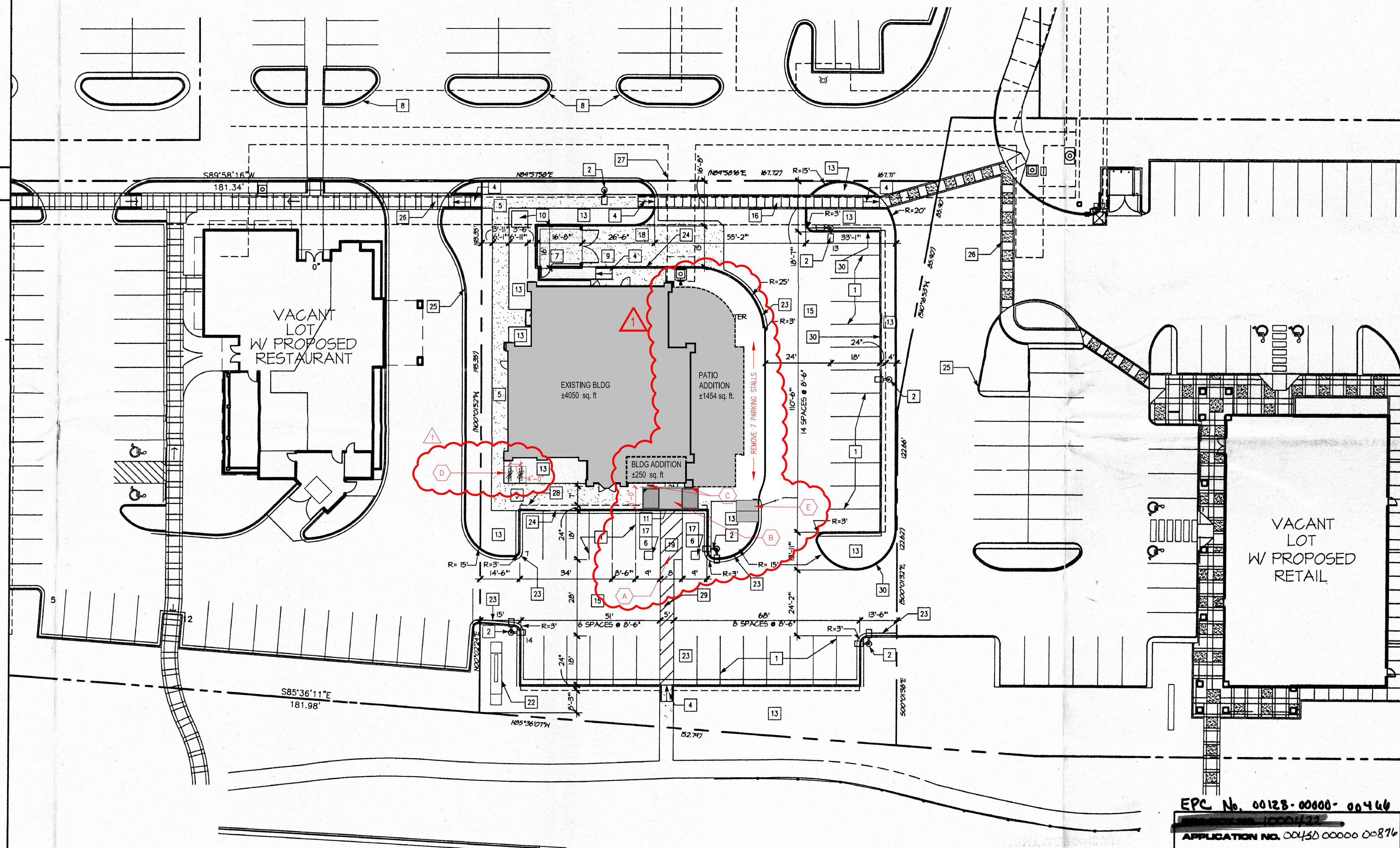
TOTAL SITE AREA: 31,334 S.F. (100%)
 TOTAL LANDSCAPE AREA: 8,072 S.F. (25.8%)
 TOTAL BUILDING AREA: 4,300 S.F. (13.7%)
 TOTAL PATIO AREA: 1,454 S.F. (4.6%)
 TOTAL HARDSCAPE AREA: 17,536 S.F. (55.9%)
 PARKING SPACES REQUIRED: 8 SPACES PER 1,000 S.F.
 4,300 S.F. / 1,000 S.F. * 8 = 34 SPACES
 PARKING SPACES PROVIDED: 34 SPACES ON SITE

SITE SPECIFIC NOTES

1. LIGHT FIXTURES SHALL BE SHIELDED TO PREVENT FUGITIVE LIGHT.
2. LIGHT LENSES SHALL NOT PROJECT BELOW THE LIGHT SHIELD; LIGHT ELEMENTS SHALL BE HORIZONTALLY MOUNTED.
3. SITE LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS; IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 200 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

- KEYED NOTES**
- A. ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED. (66-14.1.B NMSA 1978)
 - B. 8'-0" WIDE ADA RAMP WITH 8'-0"x8'-0" LANDING. MAXIMUM RAMP SLOPE 1:12
 - C. ADA ACCESSIBLE PARKING SIGN WITH REQUIRED LANGUAGE PER NMSA 197866-7-352.4C VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.
 - D. 2 BICYCLE RACKS SET 4'-0" APART (TOTAL 4 BICYCLE SPACES)
 - E. (2) 4x8' MOTORCYCLE STALLS WITH COA STANDARD MOTORCYCLE PARKING SIGNAGE

EXISTING SHOPPING CENTER

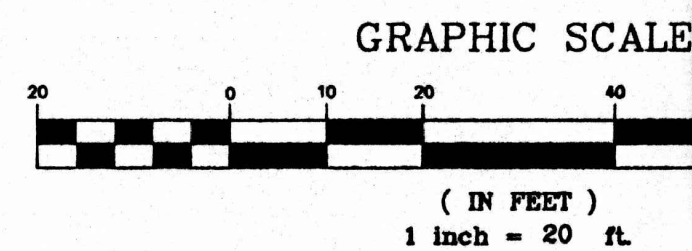


- Minor Amendment:**
1. Expand Building s.f. by 250 s.f. (6%)
 2. Replace 7 existing parking stalls with a new outdoor dining patio
 3. Update Site Data

PASEO DEL NORTE

SITE PLAN

1" = 20'



EPC No. 00128-00000-00466

APPLICATION NO. 00450 00000 00876

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 05/18/2000 and the findings and conditions in the Official Notice of Decision have been complied with:

SITE DEVELOPMENT PLAN

Travis Engineer, Transportation Division	Date	7-19-00
Public Works/Utilities Development Division	Date	7-19-00
City Engineer, Hydrology Division / AMAPCA	Date	7-19-00
Solid Waste Department	Date	7/19/00

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner: [Signature] Date: 7/25/00

FIRE MARSHAL: [Signature]

SCHLUSS • CLARK
 AN ARCHITECTURAL CORPORATION

9474 Kearny Villa Road, Suite 216
 San Diego, California 92128-4897
 (619) 578-2860 FAX (619) 578-8348

Architect: [Signature]
 Seal: [Signature]
 Revisions: [Table]
 IHOP RESTAURANT
 Lot #7 - La Cueva Town Center Blvd. / Wyoming Blvd.
 N.E. Paseo del Norte / Wyoming Blvd.
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN 227 0001
 Date: 6-9-2000
 Scale: AS NOTED
 Drawn By: [Signature] Checked By: [Signature]
 Store Number: 0818
 Project Number: 00-236-100
 SD-1