

- NOTES:**
- SEE MASTER UTILITY PLAN FOR UTILITY EASEMENTS
  - SITE LIGHTING - SEE SHEET A-3 FOR DETAILS.
  - MAXIMUM FLOOR AREA RATIO NOT TO EXCEED .25 FOR RETAIL PADS.
  - COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS ALL LOTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
  - PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THESE PROPERTIES MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE, VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT.
  - OUTSIDE DISPLAYS ON SIDEWALK AREAS SHALL BE RESTRICTED TO SEASONAL PRODUCTS SUCH AS CHRISTMAS TREES, PUMPKINS, AND PLANTS.
  - FUTURE DEVELOPMENT OF INDIVIDUAL PAD SITES, INCLUDING OUT PARCELS WILL REQUIRE EPC APPROVAL. FUTURE DEVELOPMENT SHALL BE COMPATIBLE WITH THE PRESENT PROPOSED DEVELOPMENT AS TO ARCHITECTURE, MATERIALS, COLORS, SIGNAGE, AND OTHER DESIGN REQUIREMENTS OF THE WINDOW & SECTOR DEVELOPMENT PLAN.

**LEGAL DESCRIPTION:**  
 LOTS NUMBERED 1 THRU 7 AND LOTS NUMBERED 25 THRU 32 IN BLOCK TWENTY (20) OF TRACT TWO (2), UNIT THREE (3) OF NORTH ALBUQUERQUE ACRES WITHIN THE ELENA GALLEGOS GRANT, BERNALILLO COUNTY, NEW MEXICO LA CUEVA VILLAGE UNIT, TRACT C, BERNALILLO COUNTY, NEW MEXICO  
 CURRENT ZONING: C2 INCLUDING ALL PERMISSIVE AND CONDITIONAL USES

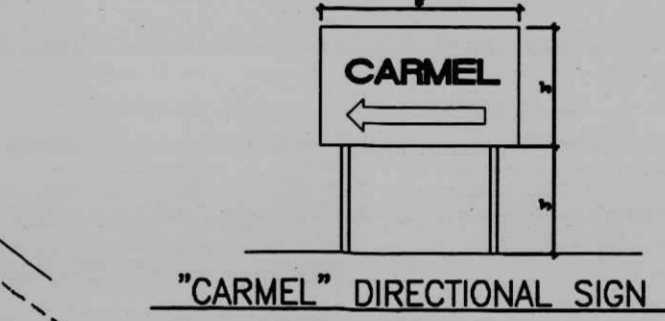
TOTAL ACREAGE: 21.3953 AC.  
 ZONE ATLAS: C-19-Z

**BUILDING AREA & PARKING CALCULATIONS:**

| BUILDING AREA                                      | LESS TRAFFIC CREDIT (15%) |
|--|---------------------------|
| MAJOR 1 64,800 SF. / 200 = 324 SPACES = 275 SPACES |                           |
| MAJOR 2 23,500 SF. / 200 = 118 SPACES = 100 SPACES |                           |
| MAJOR 3 30,000 SF. / 200 = 150 SPACES = 128 SPACES |                           |
| SHOPS A 10,800 SF. / 200 = 54 SPACES = 46 SPACES   |                           |
| <b>TOTAL 126,861 SF. = 646 SPACES = 646 SPACES</b> |                           |

ALL RETAIL PADS ARE SELF-PARKING LOTS @ 5 PER 200  
 LESS 15% BUS CREDIT  
 646 x .85 = 549 REQUIRED SPACES  
 TOTAL PROVIDED SPACES = 549 SPACES  
 TOTAL PROVIDED SPACES = 655 SPACES (INCLUDING 10 STANDARD HC SPACES & 8 HC VAN SPACES)

**PARKING NOTES:**  
 TYPICAL STANDARD SPACES ARE 9'-0" x 19'-0"  
 TYPICAL SMALL CAR (SC) SPACES ARE 7'-0" x 15'-0"  
 TYPICAL HANDICAP SPACES ARE 8'-0" x 19'-0"  
 WITH A 8' WIDE ACCESS AISLE  
 \* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED \*



**BIKE RACKS:**  
 3. REQUIRED NUMBER OF BIKE RACKS (1 PER 25 CARS)  
 659 PARKING SPACES PROVIDED / 25 = 26 BIKE RACKS (5 SPACES PER RACK)  
 8 BIKE RACKS W/FIVE SPACES EACH PROVIDED  
 SEE DETAIL SHEET A3

**VICINITY MAP**  
 NTS  
**1000163 AA**  
 ADMINISTRATIVE  
 DEVELOPMENT PLAN AMENDMENT  
 FILE NO. AA-2023-0000-00098  
*Not line adjust*  
*Maria M. Stumm*  
 PLANNING DIRECTOR DATE 2/10/20

| SIGNATURE BLOCK   | DATE |
|---|------|
| THIS PLAN IS CONSISTANT WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON |      |
| EPC CASE # _____ DRB CASE # _____   |      |
| PLANNING DIRECTOR APPROVED AS TO THE REQUIREMENTS   | DATE |
| TRAFFIC ENGINEER  | DATE |
| AMAFCA  | DATE |
| CITY ENGINEER   | DATE |
| WATER RESOURCES, UTILITIES DIVISION   | DATE |
| PARKS / CIP   | DATE |

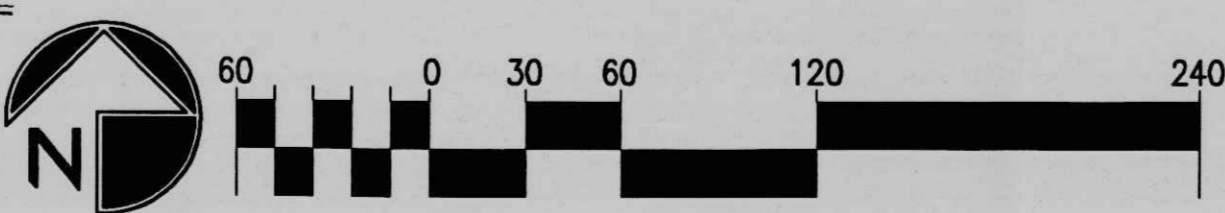
| REV | DATE | BY | REVISION |
|-----|------|----|----------|
| 1   |      |    |          |
| 2   |      |    |          |
| 3   |      |    |          |
| 4   |      |    |          |
| 5   |      |    |          |

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

NCS MONUMENT "HEAVEN"  
 Y=1518737.03  
 X=407051.31  
 C-C=0.9986263  
 DATA=0010'45.11  
 CENTRAL ZONE II  
 (NAD 1983 / 2011) 1923  
 ELEVATION=5778.79

**PASEO DEL NORTE**  
 R.O.W. 200' / PAVEMENT WIDTH: VARIES

**1 Site Plan For Building Permit**  
 Scale: 1" = 60'-0"



| NO. | DATE    | REMARKS  | BY  |
|-----|---------|--|-----|
| 4   | 1-12-00 | MOVING LOT LINE 10' TO THE EAST, CHANGING LOT AREA | BDG |
| 3   | 9-13-99 | MOVING LOT LINE, CHANGING LOT AREA                 | BDG |
| 2   | 9-1-99  | REMOVED BUS BAY ALONG PASEO DEL NORTE              | BDG |
| 1   | 9-1-99  | CHANGE RIGHT IN / RIGHT OUT TO FULL ACCESS         | BDG |

PROJECT TITLE  
**LA CUEVA TOWN CENTER**  
 NEC OF WYOMING BOULEVARD & PASEO DEL NORTE  
 ALBUQUERQUE, NM

DRAWN BY: BDC  
 JOB NO. 98002  
 PROJECT MANAGER: GEORGE RAINHART, P.A.  
 SHEET TITLE: **SITE PLAN FOR BUILDING PERMIT**

START DATE: 1-12-00  
 SCALE: 1" = 60'-0"  
 SHEET: **C1A**  
 OF: -

**VICINITY MAP**



**SITE PLAN NOTES**

- 1 PARKING STALLS WITH 4" HIDE WHITE STRIPINGS.
- 2 NEW SITE LIGHT. THREE (3) FLEET MASON METAL HALIDE FIXTURE ON A 3'-0" CONCRETE BASE. SEE DETAIL.
- 3 BICYCLE RACKS FOR 9 BIKES. SEE DETAIL.
- 4 NEW CONCRETE CURB RAMP.
- 5 CONCRETE SIDEWALK.
- 6 PAINTED SYMBOL OF ACCESSIBILITY.
- 7 CHU TRASH ENCLOSURE.
- 8 EXISTING CURB WORK TO REMAIN.
- 9 LOADING ZONE.
- 10 PROPOSED ELECTRICAL TRANSFORMER LOCATION (VERIFY LOCATION).
- 11 CURB RAMP.
- 12 EXISTING SIDEWALK.
- 13 NEW LANDSCAPE AREAS.
- 14 MAIN SWITCHBOARD.
- 15 NEW AG PAVING.
- 16 DECORATIVE CONCRETE CROSSWALK.
- 17 ACCESSIBLE PARKING STALLS. TYPICAL OF 02.
- 18 REINFORCED CONCRETE PAD FOR LOADING ZONE. SEE SOILS REPORT.
- 19 STRIPED PARKING STALL TO ACCOMMODATE 8'-0" HIDE ACCESSIBLE.
- 20 NOT USED.
- 21 ACCESSIBLE PARKING SIGN.
- 22 MONUMENT SIGN BY OTHER.
- 23 NEW CURB & BUTTER.
- 24 CURB AND SIDEWALK.
- 25 FUTURE GARDENWORK BY OTHERS.
- 26 DECORATIVE CONCRETE CROSSWALK BY OTHERS.
- 27 UTILITY EASEMENTS.
- 28 LINE OF AUTOMOBILE OVERHANG.
- 29 5'-0" STRIPED CROSSWALK.
- 30 NEW PLANTER CURB.

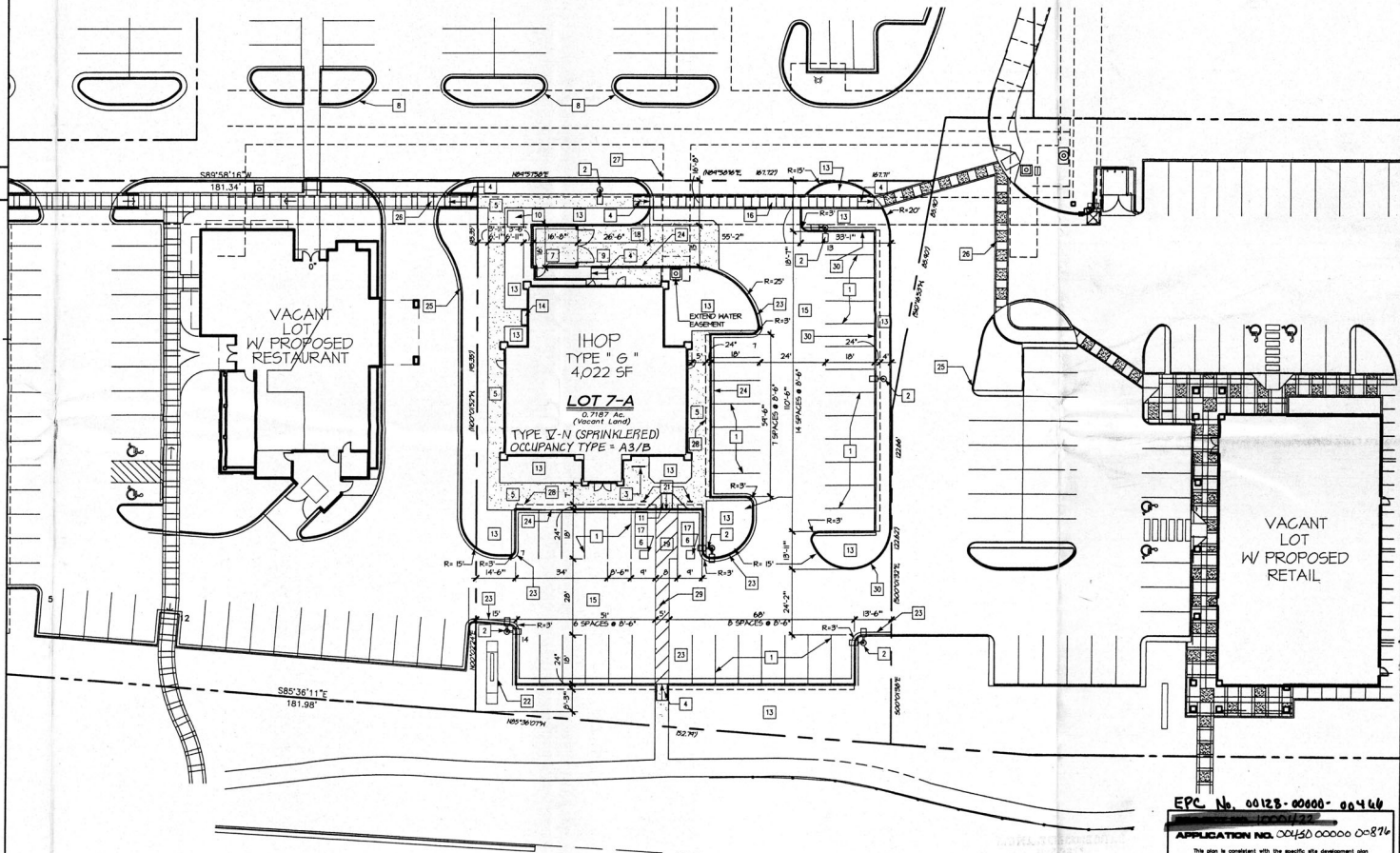
**SUMMARY TABLE**

TOTAL SITE AREA: 31,334 S.F. (100%)  
 TOTAL LANDSCAPE AREA: 8,012 S.F. (25.9%)  
 TOTAL BUILDING AREA = 4,022 S.F. (12.8%)  
 TOTAL HARDSCAPE AREA = 19,240 S.F. (61.4%)  
 PARKING SPACES REQUIRED: 1 SPACE PER 100 SQUARE FEET  
 PARKING REQUIRED = 4022 S.F. / 100 = 40 SPACES.  
 PARKING PROVIDED = 41 SPACES ON-SITE.

**SITE SPECIFIC NOTES**

1. LIGHT FIXTURES SHALL BE SHIELDED TO PREVENT FUGITIVE LIGHT.
2. LIGHT LENSES SHALL NOT PROJECT BELOW THE LIGHT SHIELD. LIGHT ELEMENTS SHALL BE HORIZONTALLY MOUNTED.
3. SITE LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS. IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 200 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

EXISTING SHOPPING CENTER

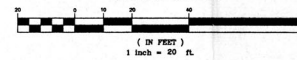


PASEO DEL NORTE

**SITE PLAN**

1" = 20'

GRAPHIC SCALE



EPC No. 00123-00000-00466  
 APPLICATION NO. 00450 00000 0-876  
 This plan is compliant with the specific site development plan approved by the Environmental Planning Commission (EPC) and the findings and conditions in the Official Notice of Decision have been satisfied.  
**SITE DEVELOPMENT PLAN**  
 Project Name: IHOP Restaurant  
 Applicant: [Signature]  
 Date: 7/12/00  
 EPC Approval: [Signature]  
 Date: 7/12/00  
 City Approval: [Signature]  
 Date: 7/12/00  
 City Engineer: [Signature]  
 Date: 7/12/00  
 City Planner: [Signature]  
 Date: 7/12/00  
 City Clerk: [Signature]  
 Date: 7/12/00  
 City Marshal: [Signature]  
 Date: 7/12/00

**SCHLUSS • CLARK**  
 AN ARCHITECTURAL CORPORATION  
 ARCHITECT • PLANNERS  
 9474 Koenig, Villa Road, Suite 210  
 San Diego, California 92123-4807  
 (619) 521-3800 FAX (619) 521-3840

Architect: [Signature]  
 Seal: [Blank]  
 Revisions: [Blank]  
**IHOP RESTAURANT**  
 Lot #7 - La Cueva Town Center  
 N.E. Paseo del Norte / Wyoming Blvd.  
 ALBUQUERQUE, NEW MEXICO  
 SITE PLAN  
 Date: 7-12-00  
 Scale: AS NOTED  
 Drawn By: [Signature] Checked By: [Signature]  
 Store Number: 0016  
 Project Number: 98-238,100  
 SD-1