

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval ---> Staff unable to find a copy of official N.O.D.
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE SIGNAGE PLAN


- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: <i>Jonathan Turner</i>	Date: 5/31/21
Printed Name: Jonathan Turner	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
PR-2021-005548	SI-2021-00827
	-
	-
Staff Signature:	
Date:	

GARCIA/KRAEMER & ASSOCIATES

600 1st St NW Suite 211
Albuquerque, NM 87102
Phone- (505) 440-1524
Email-jct473@gmail.com

May 31, 2021

Mr. James Aranda
Planning Department
600 2nd St NW- 3rd Floor
Albuquerque, New Mexico 87102

**RE: Administrative Amendment- 8001 Wyoming Blvd NE
Planning case file# Z-98-110 / Paseo Village**

Dear Mr. Aranda,

The applicant for the above referenced property, JP Morgan Chase Bank, is requesting an administrative amendment to the approved Paseo Village Site Development Plan for Building permit. The intent of the applicant is to convert and renovate the existing 4,937 S.F. restaurant space in “building A” into a financial banking center within the Paseo Village shopping center site. As part of the scope of renovations, the applicant is proposing minor changes to the exterior street-facing façades. In February 2021, Chase Bank’s civil engineers submitted a PRT meeting application for the use of the existing building for a bank and the related improvements. On March 1, 2021 the PRT planning staff reviewed the application and determined that the exterior façade changes and relocation of one of the entry doors would qualify for review under Site Plan- Administrative- and would need to comply with Building Safety regulations and any exterior revisions would be subject to §14-16-5-11(E)(2)(b) Activity Centers. See attached PRT notes. However, after submittal of a building permit for interior renovations and the door relocation with new glazed storefronts, and despite the fact that the changes comply with the Activity Center design regulations as requested, it was determined by staff that the façade changes are not Site Plan- Administrative and require an Administrative Amendment to the approved Site Development Plan. This application for Administrative Amendment is the applicant’s response to Zoning’s disapproval of the building permit.

The proposed changes are as follows:

1) Northwest façade- The installation of a fully-glazed storefront and elimination/relocation of one of the three existing doors to the northeast façade

2) Northeast façade- The installation of a fully-glazed storefront with new glass entry/exit door.

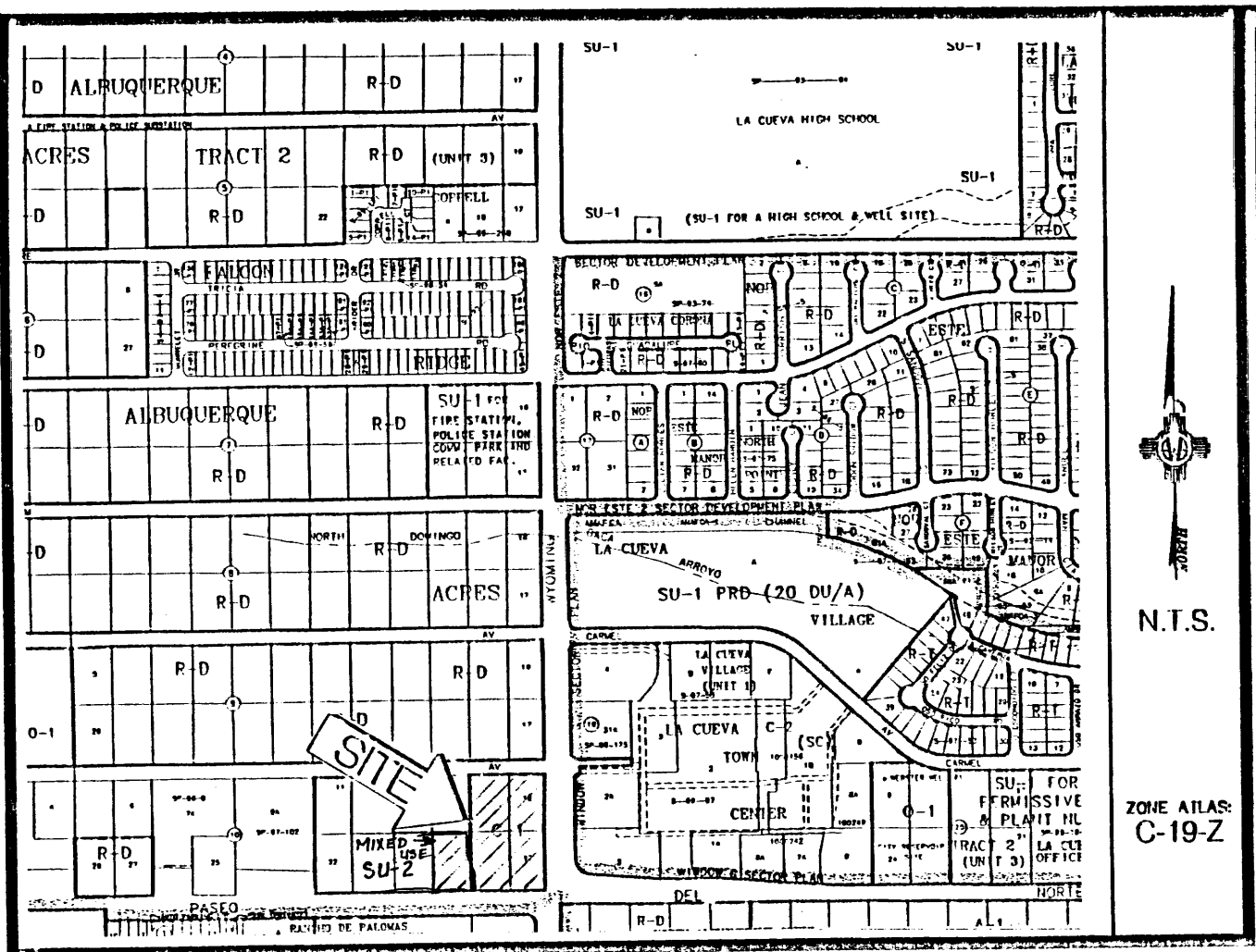
The requested changes to the areas of the northeast and northwest facades are circled and noted on the originally approved building elevations for “building A” of the Paseo Village shopping center. Overall, we believe that the proposed changes to the façades are in harmony and consistent with the originally approved Site Development Plan for Building Permit but will also further compliance with the newer regulations of the IDO for glazing requirements of street facing façades. The proposed removal of the existing lower sections of brick veneer and lowering the window sills to allow the installation of a new fully-glazed storefront extending to finished floor level will provide an increase in the percentage of façade glazing and will provide 100% glazing in the deleted brick veneer areas. Although the existing building façades were approved prior to the adoption of the IDO, these minor changes will help incorporate and further achieve the Façade Design requirements of §14-16-5-11(E)(2)(b) of the IDO for new building design within designated Activity Centers. For your review, attached to this application are the architectural elevations that show the proposed new façades with the glazed storefronts in place on the northeast and northwest sides of the building.

In conclusion, we believe that the proposed amendment involves very minor changes to the approved plan and does not impact overall approved building square footages, grading and drainage, landscaping, building height or traffic circulation. For the reasons stated above, and on behalf of the applicant, we respectfully request approval of the Administrative Amendment to allow the proposed façade changes as submitted. Approval will allow the applicant to make reasonable changes to the existing building prior to taking occupancy as a new tenant within the Paseo Village shopping center.

Please feel free to contact me should you require any additional information or if you have any questions.

Sincerely,


Jonathan Turner



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS HEAVEN AND D-20-A, SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES () ARE PER THAT STIPULATED JUDGMENT FOR CONDEMNATION, NO. CV-97-03986 FILED IN BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 9, 1999 IN BK. 9918, PG. 1887.
6. GROSS ACREAGE: 3.2266 ACRES
NET ACREAGE: 3.0877 ACRES
7. NUMBER OF EXISTING LOTS: 5
8. NUMBER OF TRACTS CREATED: 1

LEGAL DESCRIPTION

LOTS NUMBERED FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17), EIGHTEEN (18) AND NINETEEN (19) IN BLOCK NUMBERED TEN (10), TRACT NUMBERED TWO (2), UNIT NUMBERED THREE (3), NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931, IN VOLUME 01, FOLIO 20, LESS AND EXCEPTING THAT PORTION OF SUBJECT PROPERTY TAKEN AS ADDITIONAL PUBLIC STREET RIGHT-OF-WAY BY STIPULATED JUDGMENT FOR CONDEMNATION NO. CV-97-03986, FILED DECEMBER 9, 1999 IN BK. 9918, PG. 1887, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT, A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF PASEO DEL NORTE N.E., WHENCE A.C.S. CONTROL STATION "HEAVEN" BEARS S 03°14'52" W, 172.82 FEET DISTANT; THENCE, FROM SAID POINT OF BEGINNING, N 00°10'28" E, 157.73 FEET TO AN ANGLE POINT; THENCE, S 89°43'28" E, 164.98 FEET TO AN ANGLE POINT; THENCE, N 00°08'53" E, 234.20 FEET TO THE NORTHWEST CORNER, A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF HOLLY AVENUE N.E., BEING THE NORTHWEST CORNER OF SAID LOT NUMBERED FIFTEEN (15); THENCE, S 89°39'23" E, 273.51 FEET TO A POINT OF CURVATURE; THENCE, SOUTHEASTERLY ALONG A CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 89°53'12", HAVING A RADIUS OF 25.13 FEET AND AN ARC LENGTH OF 39.42 FEET (CHORD = S 44°42'47" E, 35.50 FEET) TO A POINT OF TANGENCY, BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF WYOMING BOULEVARD N.E.; THENCE, S 00°04'16" E, 135.13 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO A POINT OF CURVATURE; THENCE, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, SOUTHWESTERLY ALONG A CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 21°28'23", HAVING A RADIUS OF 113.00 FEET AND AN ARC LENGTH OF 42.35 FEET (CHORD = S 10°39'56" W, 42.10 FEET) TO A POINT OF REVERSE CURVATURE; THENCE, CONTINUING ALONG SAID WESTERLY RIGHT-OF-WAY LINE, SOUTHWESTERLY ALONG A CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 19°55'37", HAVING A RADIUS OF 150.00 FEET AND AN ARC LENGTH OF 52.17 FEET (CHORD = S 11°26'19" W, 51.91 FEET) TO A POINT OF TANGENCY; THENCE, CONTINUING ALONG SAID WESTERLY RIGHT-OF-WAY LINE, S 01°28'31" W, 79.93 FEET TO A POINT OF CURVATURE; THENCE, SOUTHWESTERLY ALONG A CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°01'09", HAVING A RADIUS OF 68.53 FEET AND AN ARC LENGTH OF 107.67 FEET (CHORD = S 46°29'05" W, 96.93 FEET) TO A POINT OF TANGENCY, BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAID PASEO DEL NORTE N.E.; THENCE, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE N 88°30'21" W, 374.41 FEET TO THE POINT OF BEGINNING, CONTAINING 3.2266 ACRES, MORE OR LESS.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

OWNER(S) SIGNATURE: Rogay Daskalos Lycaou DATE: 11-21-00
 OWNER(S) PRINT NAME: Rogay Daskalos Lycaou
 ADDRESS: 5321 Mendel Blvd, NE
 ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 21st DAY OF November, 2000.
 BY: Rogay Daskalos Lycaou Lycaou (Party)
 MY COMMISSION EXPIRES: 10-07-04
 OFFICIAL SEAL
 Cristin R. Hanes
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Commission Expires: 10-07-04

PLAT OF
TRACT A
PASEO VILLAGE
SITUATE WITHIN PROJECTED SECTION 18
T. 11 N., R. 4 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER 2000
SHEET 1 OF 2

DISCLOSURE STATEMENT

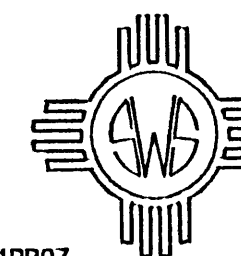
THE PURPOSE OF THIS PLAT IS TO COMBINE FIVE (5) EXISTING LOTS INTO ONE (1) NEW LOT, TO SHOW THAT RIGHT-OF-WAY TAKEN BY STIPULATED JUDGMENT FOR CONDEMNATION NO. CV-97-03986 AND TO DEDICATE ADDITIONAL PUBLIC STREET RIGHT-OF-WAY AS SHOWN HEREON.

CITY APPROVALS:	00440-00000-01679
	APPLICATION NO. & PROJECT NO.: 1000946
<u>[Signature]</u>	12/4/00
CITY SURVEYOR	DATE
<u>[Signature]</u>	12-20-00
TRAFFIC ENGINEERING	DATE
<u>Adrienne E. Candelaria</u>	12/29/00
PARKS RECREATION	DATE
<u>Roger A. Shean</u>	12-20-00
UTILITY DEVELOPMENT DIVISION	DATE
<u>N/A</u>	
REAL PROPERTY DIVISION	DATE
<u>Martin W. Zehert</u>	1-3-01
A.M.A.F.C.A.	DATE
<u>[Signature]</u>	12/20/00
CITY ENGINEER	DATE
<u>[Signature]</u>	1/5/01
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE

SURVEYOR'S CERTIFICATION

I, Thomas W. Patrick, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions February 2, 1994), and is true and correct to the best of my knowledge and belief.

Thomas W. Patrick
 Thomas W. Patrick
 New Mexico Professional Surveyor, 12651
 27 November 2000
 Date



SOUTHWEST SURVEYING CO., INC.

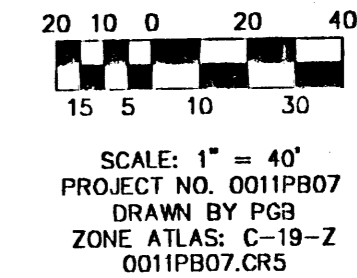
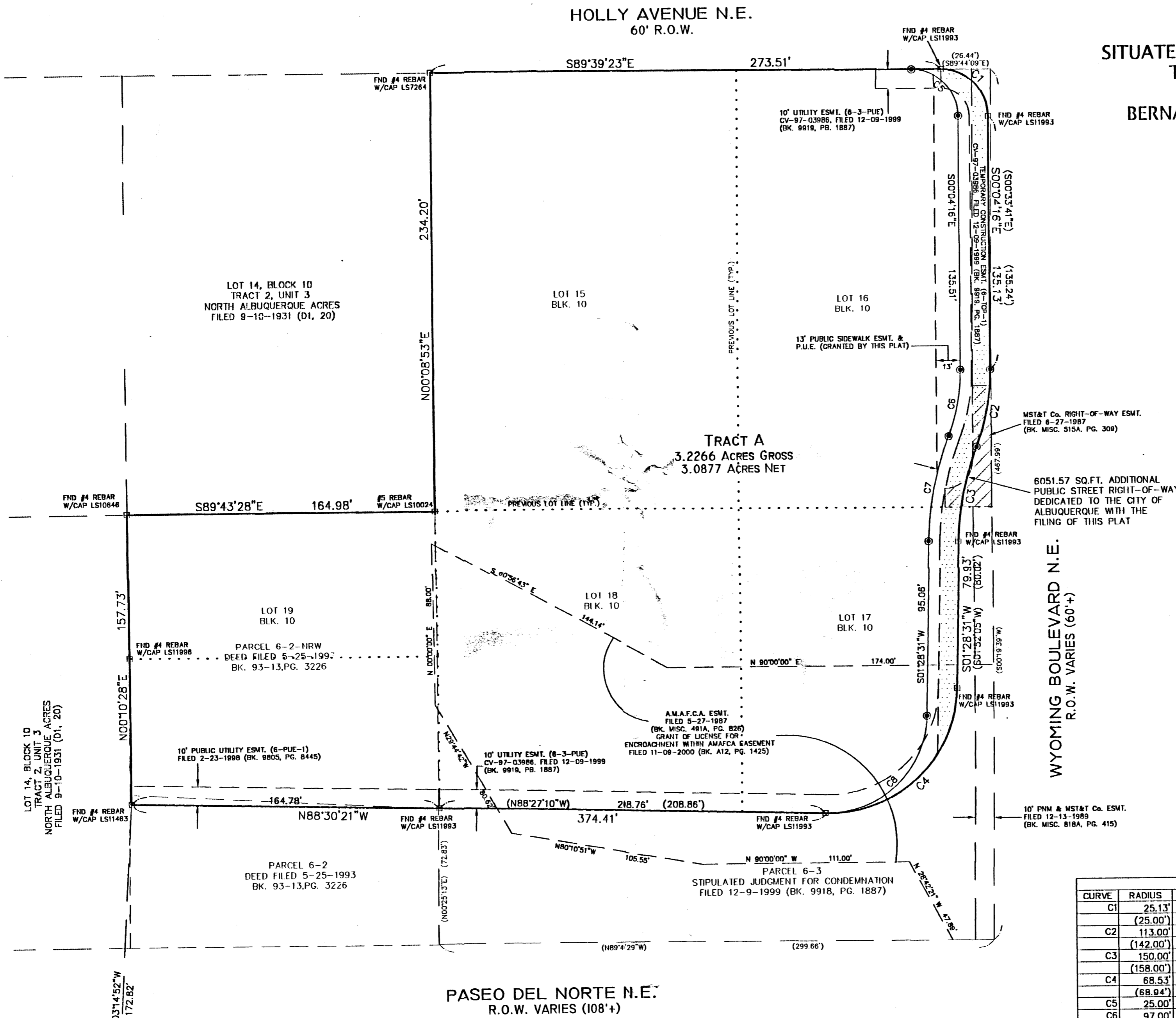
333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: (505) 998-0303
 FAX: (505) 998-0306

PROJECT NO. 0011PB07
 DRAWN BY PG8

T11N 4E SEC. 18

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
 UPC#: _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO COUNTY TREASURERS OFFICE: _____

**PLAT OF
TRACT A
PASEO VILLAGE**
SITUATE WITHIN PROJECTED SECTION 18
T. 11 N., R. 4 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER 2000
SHEET 2 OF 2



MONUMENT LEGEND

- ⊕ - FOUND CONTROL STATION AS NOTED
- ⊞ - FOUND MONUMENT AS NOTED
- ⊙ - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "PATRICK PS 12651" UNLESS OTHERWISE NOTED

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	25.13' (25.00')	39.42' (39.40')	89°53'12" (90°17'51")	25.08'	S44°42'47"E (S44°35'14"E)	35.50' (35.45')
C2	113.00' (142.00')	42.35' (42.35')	21°28'23" (18°15'49")	21.43'	S10°39'56"W (S10°09'31"W)	42.10' (45.07')
C3	150.00' (158.00')	52.17' (48.73')	19°55'37" (17°40'09")	26.35'	S11°26'19"W (S10°27'21"W)	51.91' (48.53')
C4	68.53' (68.94')	107.67' (107.90')	90°01'09" (89°40'46")	68.55'	S46°29'05"W (S46°42'28"W)	96.93' (97.22')
C5	25.00'	39.09'	89°35'07"	24.82'	N44°51'50"W	35.23'
C6	97.00'	36.35'	21°28'23"	18.39'	N10°39'56"E	36.14'
C7	166.00'	57.73'	19°55'37"	29.16'	S11°26'19"W	57.44'
C8	53.40'	83.90'	90°01'09"	53.42'	N46°29'05"E	75.53'

STATION HEAVEN
X = 407,051.31
Y = 1,518,737.03
GROUND TO GRID = 0.99965263
DELTA ALPHA = -00°10'45"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

STATION 2-D20-A
X = 410,218.35
Y = 1,516,110.28
GROUND TO GRID = 0.99964777
DELTA ALPHA = -00°10'23"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927



SOUTHWEST SURVEYING CO., INC.

333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO
87102

PHONE: (505) 998-0303
FAX: (505) 998-0306

T11N R4E SEC. 18

Holly Avenue N.E.

GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- B. SPACE CONCRETE SIDEWALK CONTROL JOINTS AT MAXIMUM OF 9'-0" O.C. (4'-0" O.C. AT COLORED CONCRETE) AND CONCRETE EXPANSION JOINTS A MAXIMUM OF 20'-0" O.C.
- C. BUILDINGS AND PARKING LAYOUT ARE ORIENTED TO TRUE NORTH UNLESS NOTED OTHERWISE. LAYOUT IS TIED TO PROPERTY CORNERS AS INDICATED.
- D. AN AS-BUILT COPY OF THE APPROVED TCL (TRAFFIC CIRCULATION LAYOUT) MUST BE SUBMITTED BY THE DESIGNER-OF-RECORD, AS REQUIRED BY TRANSPORTATION INCLUDING A LETTER OF CERTIFICATION THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE TCL. VERIFICATION OF TCL ACCEPTABILITY, INCLUDING RANDOM FIELD CHECKS WILL BE MADE BEFORE A FINAL CERTIFICATION OF OCCUPANCY IS ISSUED.
- E. EXISTING STREET SIDEWALK C&G AND DRIVEWAYS AFFECTING SAFE VEHICULAR OR PEDESTRIAN OR PEDESTRIAN TRAVEL WILL BE REMOVED AND REPLACED. NOTE THIS STATEMENT, OR EQUAL, ON SITE PLAN IF CONDITIONS ARE NOT FIELD VERIFIED.

SHEET KEYNOTES

1. CONCRETE CURB AND GUTTER. SEE DETAIL C5/A-501.
2. CONCRETE CURB AND GUTTER AT ISLANDS. SEE DETAIL C6/A-501.
3. PAINT STRIPINGS.
4. PAINTED HS SYMBOL. SEE DETAIL E2/A-501.
5. HC PARKING SIGN. SEE DETAIL D6/A-501.
6. BIKE RACK. SEE DETAIL D1/A-501.
7. TRASH ENCLOSURE. SEE DETAIL B1/A-501.
8. CONCRETE RAMP. SEE DETAIL D4/A-501.
9. STOP SIGN. SEE DETAIL B9/A-501.
10. HC PARKING STRIPINGS. SEE DETAIL D5/A-501.
11. CONCRETE SIDEWALK PAVING SPACE CONTROL JOINTS 9'-0" O.C. MAXIMUM AND EXPANSION JOINTS 20'-0" O.C. MAXIMUM.
12. COLORED CONCRETE WALK. SPACE CONTROL JOINTS AT 4'-0" O.C. MAXIMUM AND EXPANSION JOINTS 20'-0" O.C. MAXIMUM.
13. PAINTED DIRECTIONAL ARROWS.
14. REFER TO CITY OF ALBUQUERQUE DRAWING 2420 FOR ENTRANCE PAVING AND VALLEY GUTTER DESIGN.
15. PAINT STRIPES AT PEDESTRIAN CROSSINGS. SEE E1/A-501.
16. CONCRETE RINDINGS. PROVIDE COVERPLATES AT SIDEWALKS. AT EXISTING SIDEWALKS, REMOVE SIDEWALK TO NEAREST JOINT AND PATCH. AT EXISTING CURBS, REMOVE SECTION TO NEAREST JOINT OR CLEANLY SAWCUT. CLEANLY SAWCUT SECTION OF ASPHALT PAVING ADJACENT TO CURBS BEING REMOVED. REPLACE PAVING AND CURBS. REFER TO GRADING AND DRAINAGE DRAWINGS.
17. VAN ACCESSIBLE PARKING SIGN. SEE DETAIL D6/A-501.
18. EXISTING UTILITY POLE TO BE REMOVED AND RELOCATED.
19. RELOCATED UTILITY POLE.

EXISTING UTILITY LEGEND

- ⊙ STORM DRAIN MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ GAS METER
- ⊙ DROP INLET
- ⊙ UTILITY PEDESTAL
- ⊙ TRANSFORMER
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- ⊙ ANCHOR
- OVERHEAD UTILITY LINES
- CURB
- CHAINLINK FENCE
- GUARD POST
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ UTILITY POLE TO BE DEMO/RELOCATED

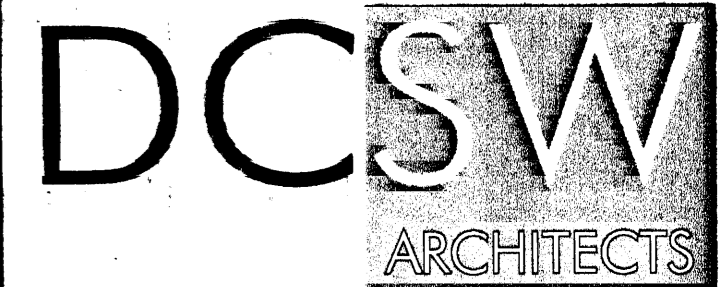
LEGEND

- ▨ NEW CONCRETE WALKS AND PAVING
- ▨ EXISTING SITE FEATURES TO REMAIN

PARKING CALCULATIONS

BUILDING AREA	
BLDG. A	4,931 G.S.F.
BLDG. B	10,241 G.S.F.
BLDG. C	8,242 G.S.F.
BLDG. D	11,934 G.S.F.
TOTAL BUILDING AREA:	35,404 G.S.F.

PARKING COUNT	
35,404 G.S.F./200 = 177 PARKING SPACES	
REDUCTION FOR TRANSPORTATION ROUTE:	
177 PARKING SPACES X 0.90 = 160 SPACES REQUIRED	
164 SPACES PROVIDED INCLUDING 8 HC SPACES (2 OF WHICH ARE VAN ACCESSIBLE) AND 28 SMALL CAR SPACES.	

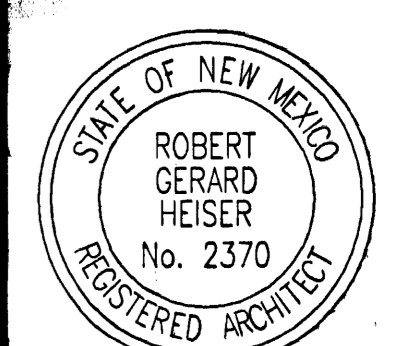


DESIGN COLLABORATIVE SOUTHWEST, INC.
320 Central Ave., SW, Albuquerque, NM 87102
505.843.9639 Fax: 505.843.9683
Web Site: www.dcswwarchitects.com
E-Mail: dcsww@dcswwarchitects.com

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CONSULTANTS

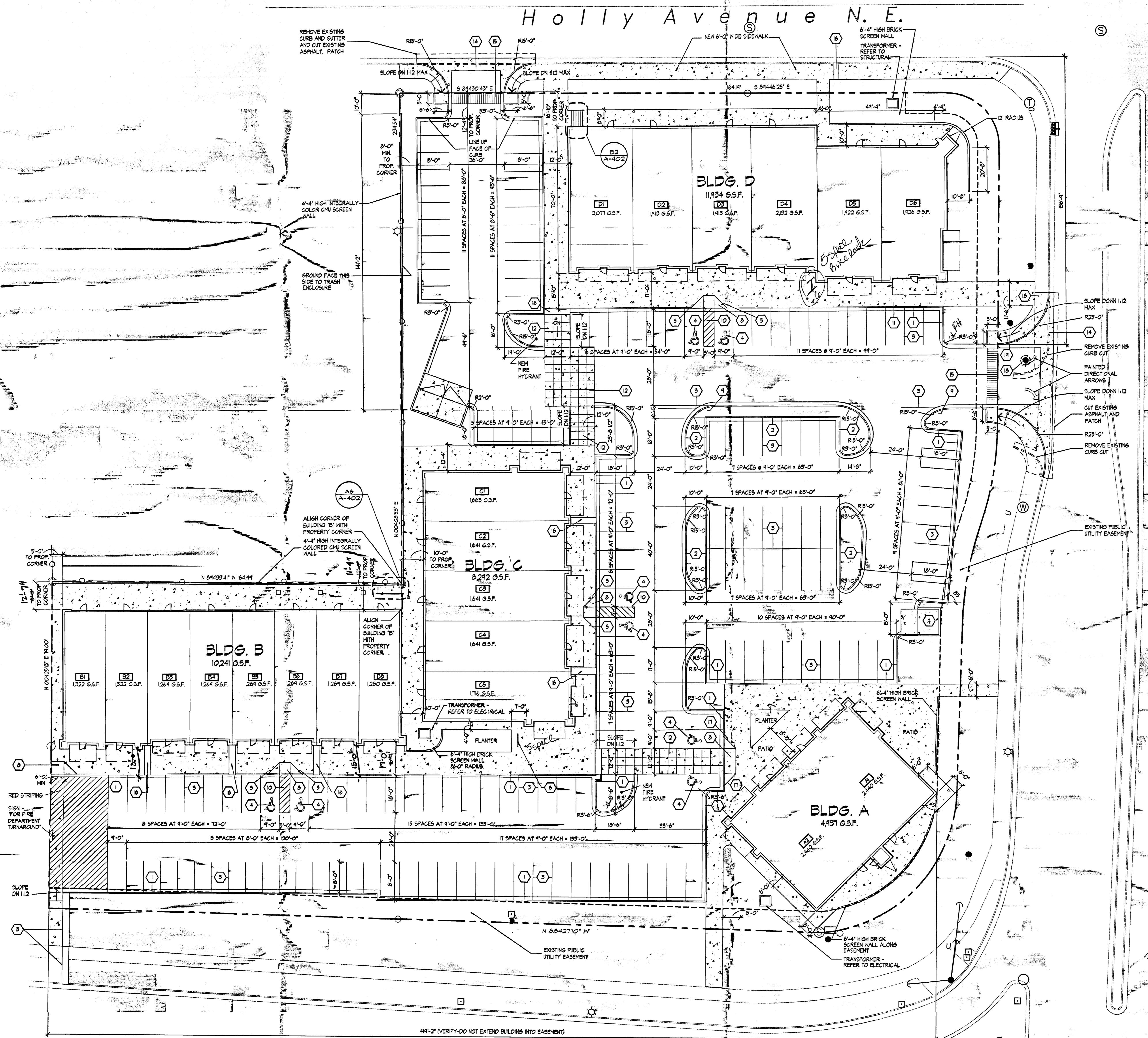
8001 Wyoming NE	
Architect	Engineer



PASEO VILLAGE
ALBUQUERQUE, NM

FOR
PEGGY
DASKALOS - LYCOU

BUILDING PERMIT SET
DECEMBER 2000



Paseo Del Norte, N.E.

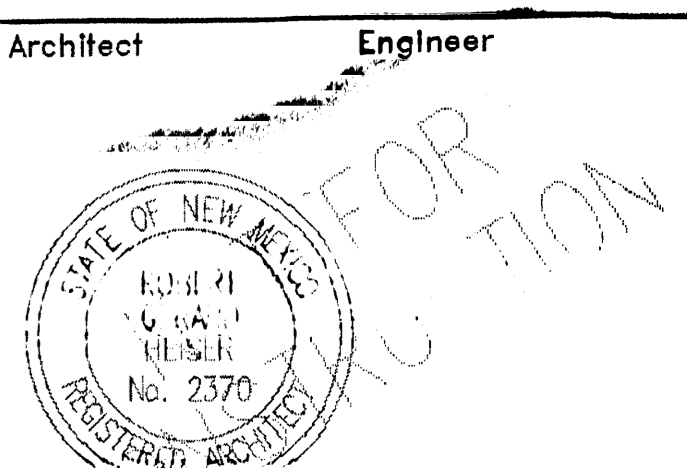
ARCHITECTURAL SITE PLAN
SCALE: 1"=20'-0"



ARCHITECTURAL
SITE PLAN

CONSULTANTS

Architect	Engineer
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PASEO VILLAGE
ALBUQUERQUE, NM

FOR
PEGGY
DASKALOS

BUILDING PERMIT SET
NOVEMBER 2000

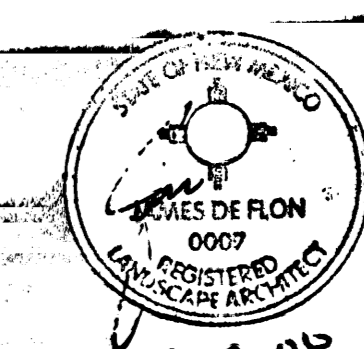
MARK	DATE	DESCRIPTION
ISSUE:		CONSTRUCTION DOCUMENTS
PROJECT NO:		0009
CAD DWG FILE:		LS1.DWG
DRAWN BY:		JLF
CHECKED BY:		JD
DATE:		11/17/2000

SHEET TITLE

LANDSCAPE PLAN

PLANT LEGEND

- ASH (H) OR HONEY LOCUST (H) 25
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- SYCAMORE (M) 17
Platanus spp.
2" Cal.
- FLOWERING PEAR (H) 6
Pyrus calleryana
2" Cal.
- AUSTRIAN PINE (H) 5
Pinus nigra
6-8"
- WASHINGTON HAWTHORN (H) 6
Crataegus phaenopyrum
15 Gal.
- PALM YUCCA (L) 2
- RUSSIAN SAGE (M) 20
Perovskia atriplicifolia
5 Gal.
- APACHE PLUME (L) 53
Fallugia paradoxa
5 Gal.
- AUTUMN SAGE (M) 55
Salvia greggii
2 Gal.
- SILVERBERRY (M) 39
Elaeagnus pungens
5 Gal.
- THREE-LEAF SUMAC (L) 41
Rhus trilobata
5 Gal.
- MAIDEN GRASS (M) 71
Miscanthus sinensis
5 Gal.
- WILDFLOWER 80
1 Gal.
- TAM JUNIPER (M) 38
Juniperus sabina
5 Gal.
- OVERSIZED GRAVEL & BOULDERS 3
- 3/4" GRAY GRAVEL WITH FILTER FABRIC
- SOD
- COMMERCIAL GRADE STEEL EDGING



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9830
Fax (505) 898-7737
t@hilltoplandscaping.com

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LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Zoning Code, Street Tree Ordinance, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

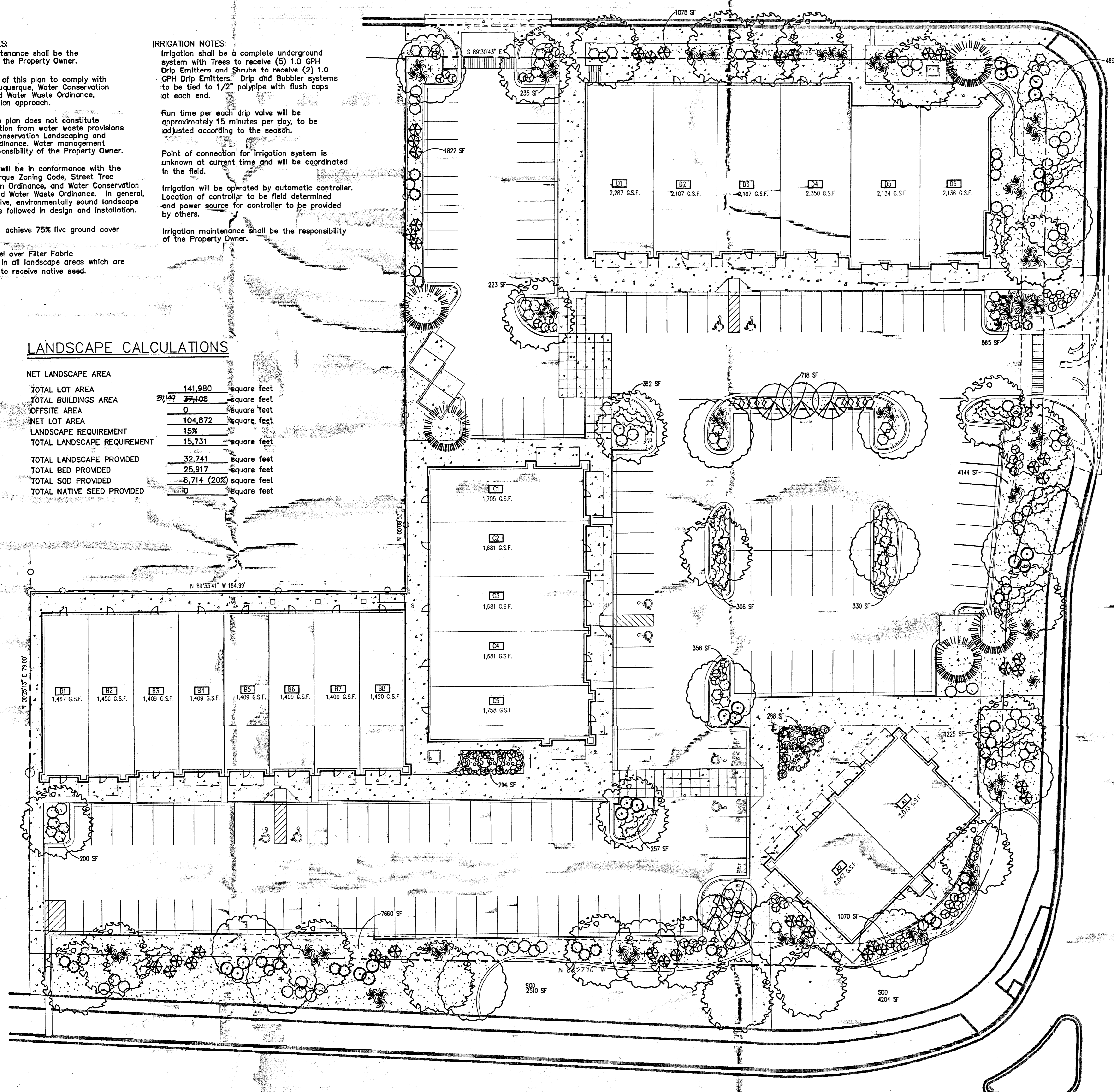
Point of connection for Irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	141,980 square feet
TOTAL BUILDINGS AREA	37,199 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	104,872 square feet
LANDSCAPE REQUIREMENT	15% square feet
TOTAL LANDSCAPE REQUIREMENT	15,731 square feet
TOTAL LANDSCAPE PROVIDED	32,741 square feet
TOTAL BED PROVIDED	25,917 square feet
TOTAL SOD PROVIDED	6,714 (20%) square feet
TOTAL NATIVE SEED PROVIDED	0 square feet



L1 LANDSCAPE PLAN
SCALE: 1"=20'-0"

REFERENCE ATTACHED A3.01 AND A3.02 NEW EXTERIOR ELEVATION SHEETS FOR REVISIONS TO STOREFRONT ONLY

GENERAL NOTES

- A. PAINT ALL EXPOSED METAL LINTELS, TUBES AND SHAPES.
- B. COAT ALL BRICK AND CMU SURFACES WITH WATER REPELLENT.
- C. PROVIDE VERTICAL CONTROL JOINTS AT ALL INSIDE BUILDING CORNERS.
- D. PROVIDE BACKER ROD AND SEALANT UNDER ALL LINTELS AND SHELF ANGLES.
- E. PROVIDE BRICK COPING UNLESS NOTED OTHERWISE. AT WALLS WITH BRICK VENEER, PROVIDE METAL COPING ON TOP OF THE BRICK COPING.

SHEET KEYNOTES

- 1. EIFS.
- 2. METAL CANOPY.
- 3. BRICK SOLDIER COURSE.
- 4. BRICK RIBLOCK.
- 5. VERTICAL CONTROL JOINT.
- 6. 6" GLASS BLOCK.
- 7. MARBLE.
- 8. WALL MOUNTED LIGHT.
- 9. LEADERHEAD AND 6" DIAMETER ROUND DOWNPOUT.
- 10. TYPICAL SIGN AREA. 2'-0" HIGH MAXIMUM LETTERS.
- 11. BRICK COPING.
- 12. ROOF ACCESS LADDER, REFER TO A4/A-304.

BRICK LEGEND

- BRICK COLOR 1
- BRICK COLOR 2
- BRICK COLOR 3 AT COPING, ARCHES AND SILLS, TYP.

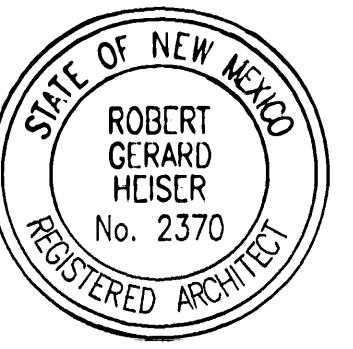


DESIGN COLLABORATIVE SOUTHWEST, INC.
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CONSULTANTS

Architect Engineer



PASEO VILLAGE
ALBUQUERQUE, NM

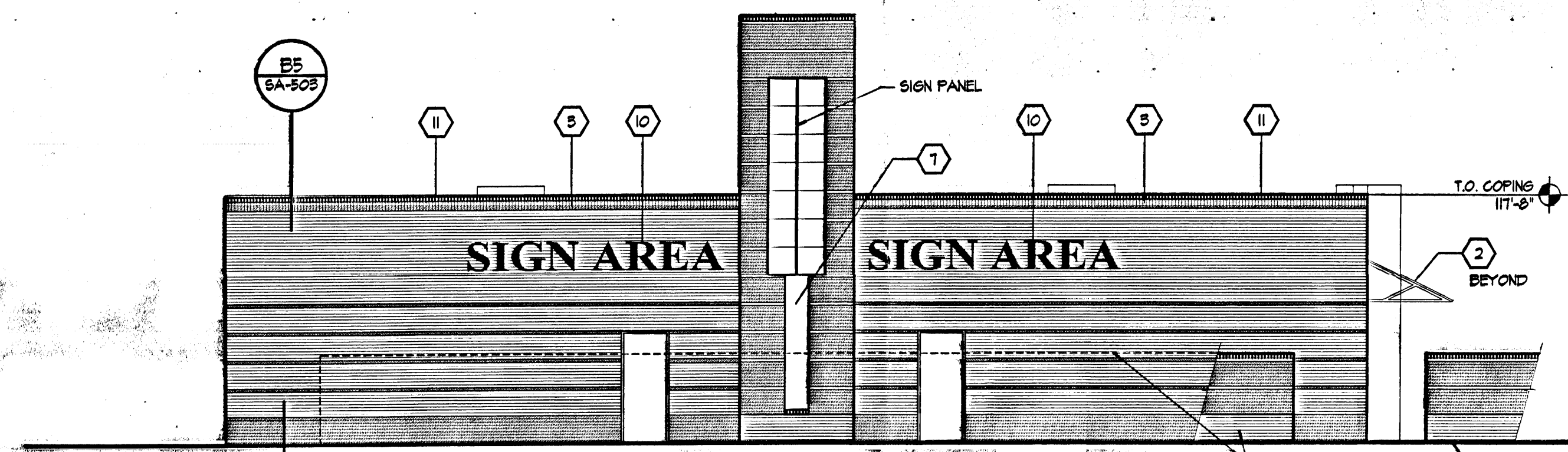
FOR
PEGGY DASKALOS - LYCOU

BUILDING PERMIT SET
NOVEMBER 2000

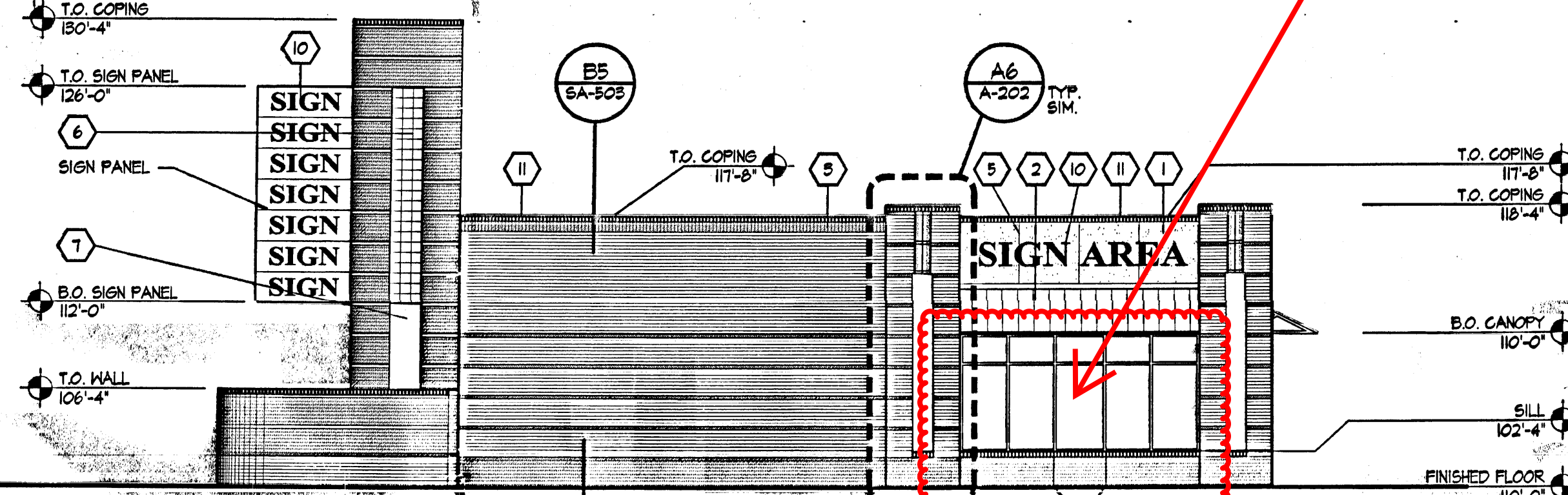
MARK	DATE	DESCRIPTION
ISSUE:		CONSTRUCTION DOCUMENTS
PROJECT NO:		0009
CAD DWG FILE:		A-201.DWG
DRAWN BY:		CA
CHECKED BY:		RB
DATE:		11/17/2000

SHEET TITLE
EXTERIOR ELEVATIONS
BUILDINGS A & B

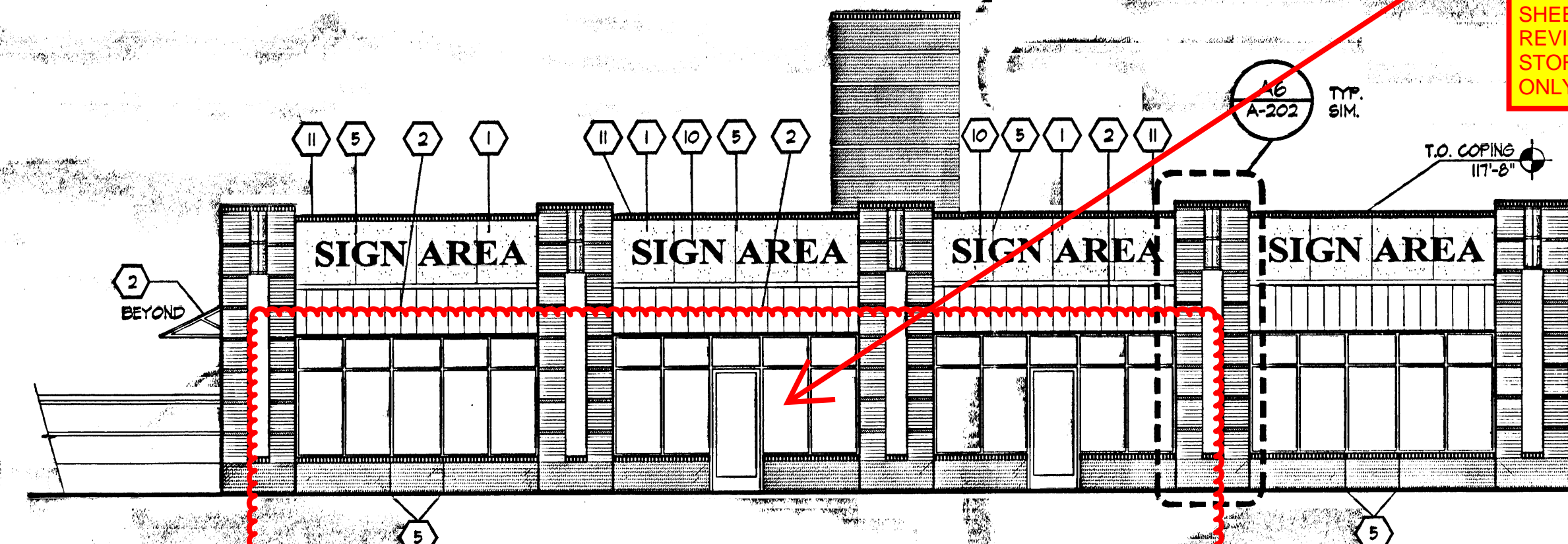
A-201
sheet of sheets



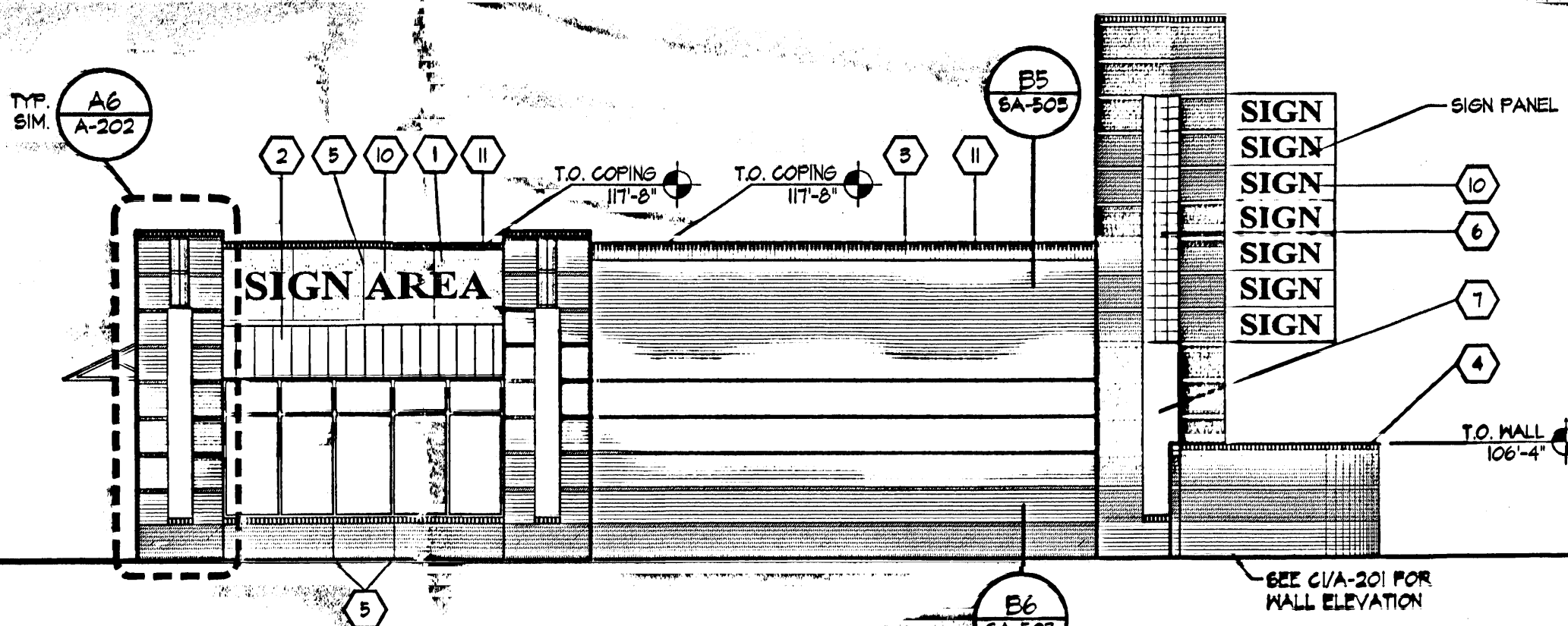
E1 BUILDING "A" SOUTHEAST ELEVATION
SCALE: 1/8"=1'-0"



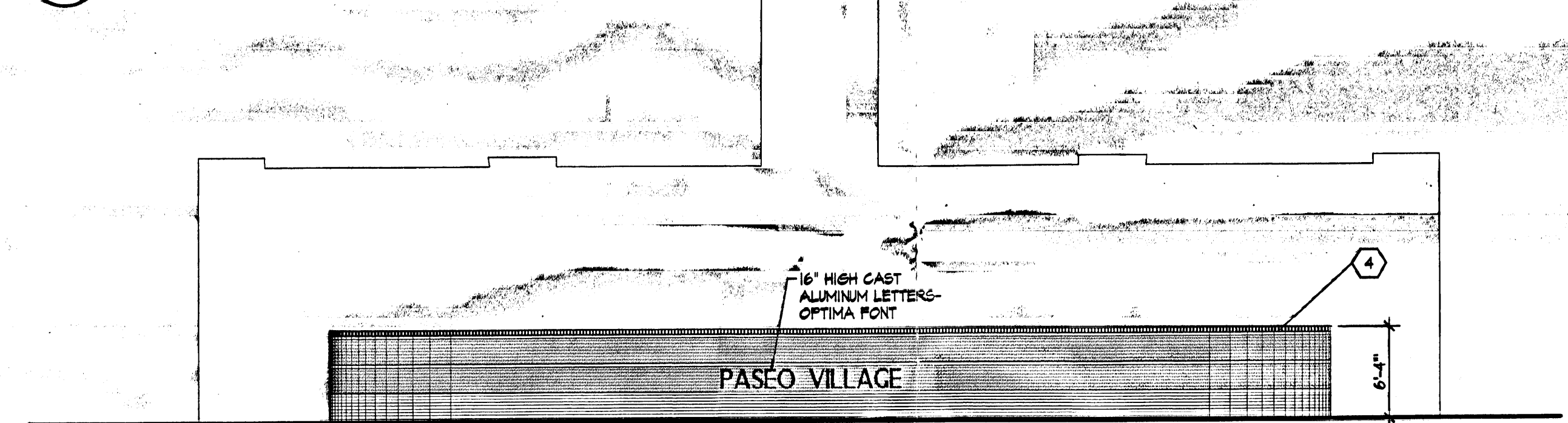
E4 BUILDING "A" NORTHEAST ELEVATION
SCALE: 1/8"=1'-0"



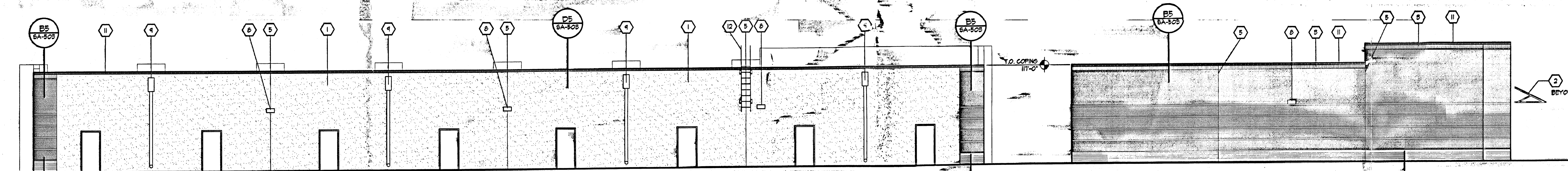
D1 BUILDING "A" NORTHWEST ELEVATION
SCALE: 1/8"=1'-0"



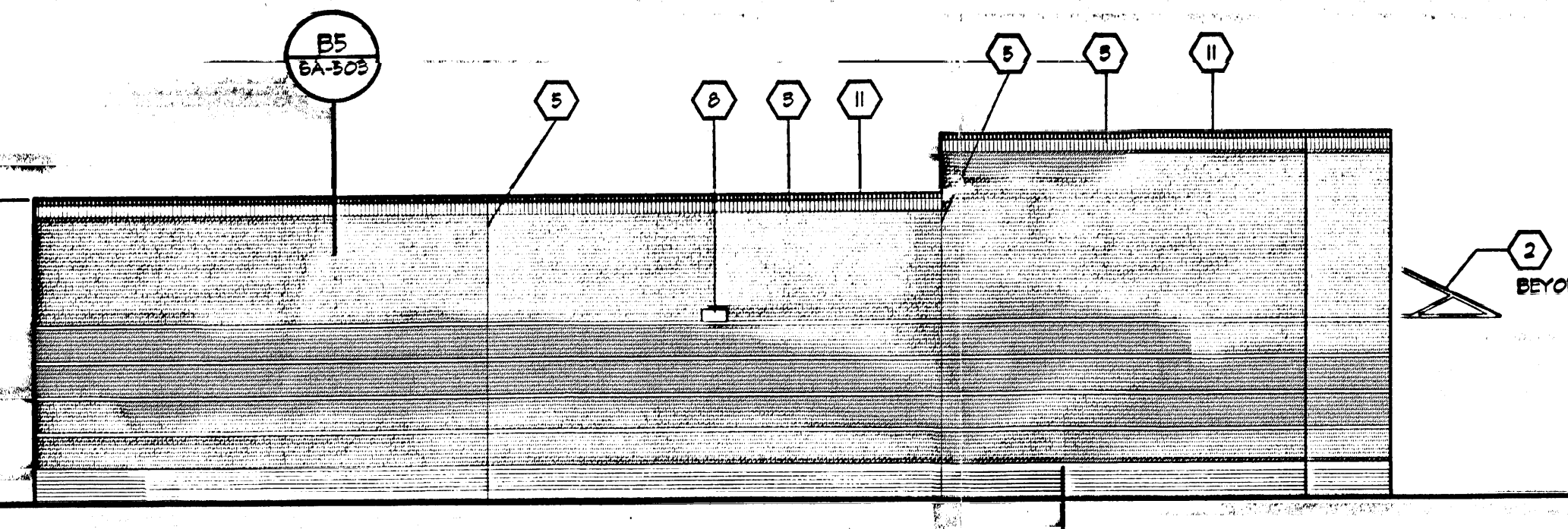
D4 BUILDING "A" SOUTHWEST ELEVATION
SCALE: 1/8"=1'-0"



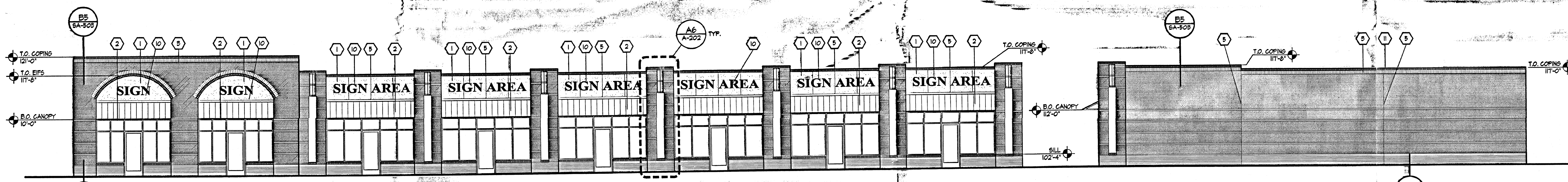
C1 SCREEN WALL
SCALE: 1/8"=1'-0"



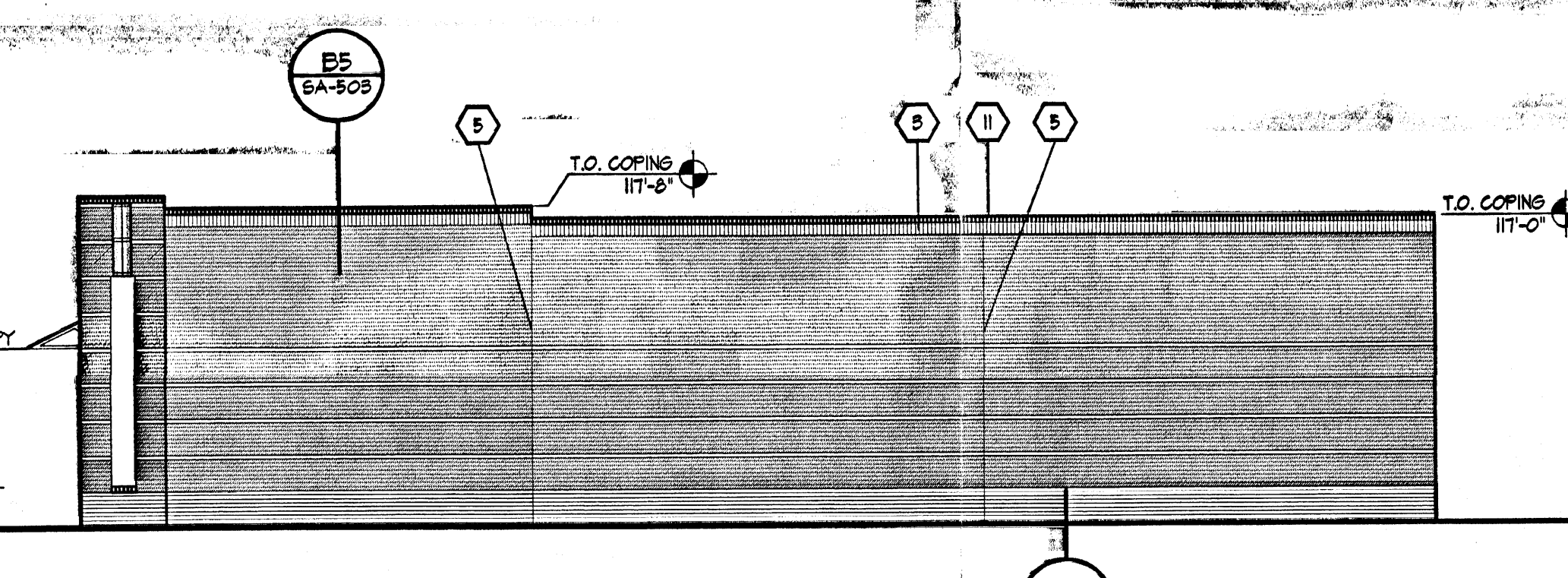
B1 BUILDING "B" NORTH ELEVATION
SCALE: 1/8"=1'-0"



B5 BUILDING "B" WEST ELEVATION
SCALE: 1/8"=1'-0"



A1 BUILDING "B" SOUTH ELEVATION
SCALE: 1/8"=1'-0"



A5 BUILDING "B" EAST ELEVATION
SCALE: 1/8"=1'-0"

May 10, 2021

City of Albuquerque
Planning Department
Attn: Mr. Brennon Williams, Director
600 2nd St NW
Albuquerque, NM 87102

RE: 8001 Wyoming Blvd NE- "Existing Guaca Guaca Tacos & Beer restaurant building"
Albuquerque, NM 87113
Building permit: BP-2021-11940

Dear Mr. Williams:

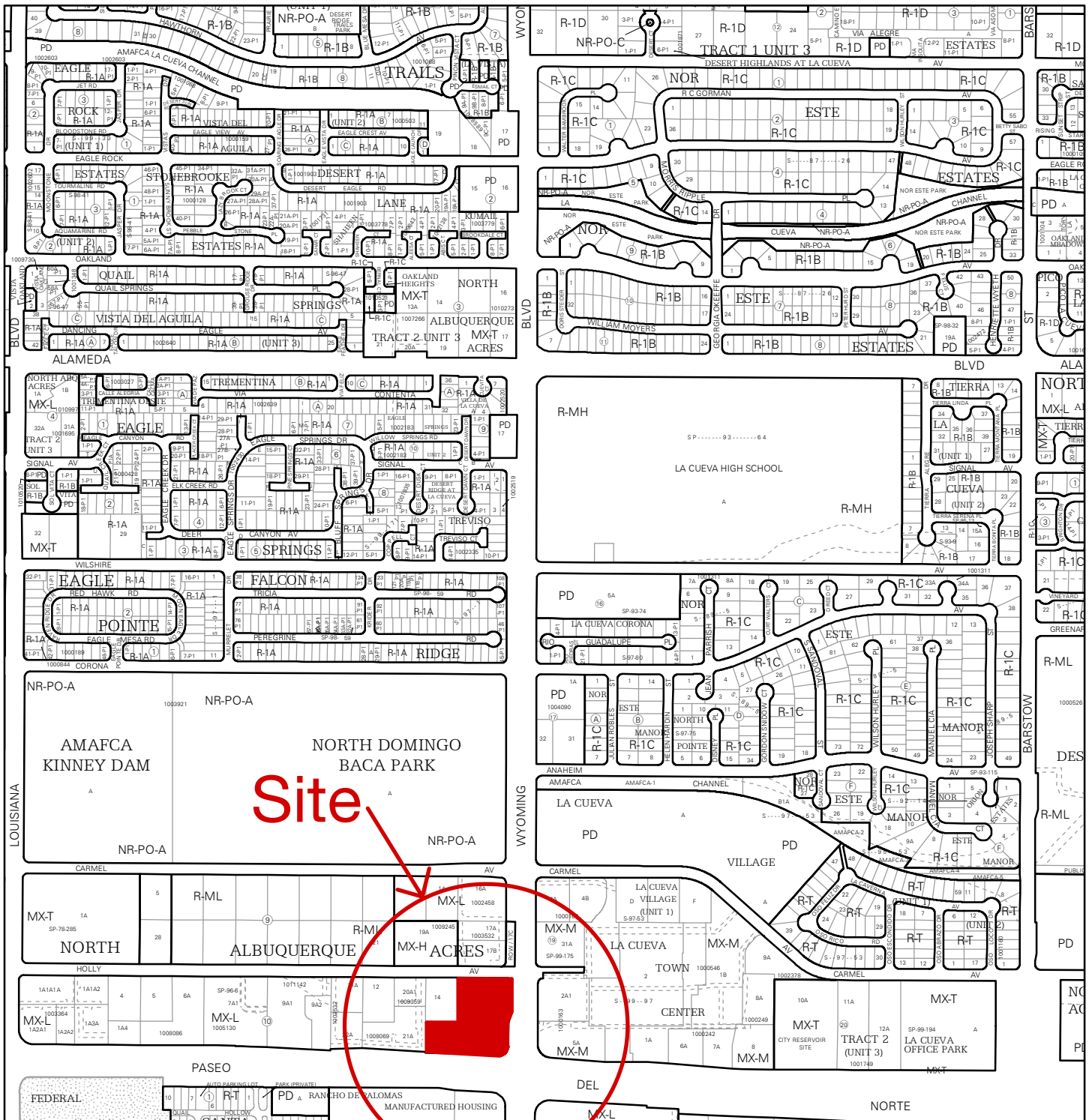
As the Property Owner, I authorize Garcia/Kraemer & Associates to act as agent on matters pertaining to an application submittal to the City of Albuquerque Planning Department, Urban Design & Development Division, Current Planning Section- for an Administrative Amendment to allow building façade changes to the approved Paseo Village Site Development Plan for Building Permit regarding the above referenced property.

Peggy Dasicalos
Print Name

Peggy Dasicalos
Signature

Managing Member
Title

May 12, 2021
Date



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
C-19-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Feet
0 250 500 1,000

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-004 Date: 3/1/21 Time: N/A (sent via email to matt@cumulusdesign.net)

Address: 8101 Wyoming Blvd NE

AGENCY REPRESENTATIVES

Planning: Linda Rumpf (lrumpf@cabq.gov)

Zoning/Code Enforcement: Carl Garcia (cagarcia@cabq.gov)

Fire Marshal: Antonio Chinchilla (achinchilla@cabq.gov) or call 505-924-3611 (if needed)

Transportation: Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

Hydrology: Ernest Armijo, P.E. (earmijo@cabq.gov)

Solid Waste: Herman Gallegos (hgallegos@cabq.gov)

Water Authority: David Gutierrez - dggutierrez@abcwua.org or call 505.289.3307; 505.241.9630

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

*Additional research may be necessary to determine the exact type of application and/or process needed.
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

REQUEST:

The current plan is to redevolp the site into a Financial Center.

SITE INFORMATION:

Zone: MX-L

Size: 0.65 acres

Use: Commercial Retail

Overlay zone: x

Comp Plan Area of: Change

Comp Plan Corridor: x

Comp Plan Center: La Cueva/Activity

MPOS or Sensitive Lands: x

Parking: 5-5

MR Area: x

Landscaping: 5-6

Street Trees: 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: Table 5-1-2: Mixed-use Zone District Dimensional Standards

*Neighborhood Organization/s: District 4 Coalition of NAs, North Domingo Baca NA

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods.resources.*

PROCESS:

Type of Action: 6-5(G) SITE PLAN – ADMINISTRATIVE

Review and Approval Body: staff Is this a PRT requirement? No

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-004 Date: 3/1/21 Time: N/A (sent via email)

Address: 8101 Wyoming Blvd NE

QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

-It is possible that the front of the building will be redone to move the entrance way into the center of the front of the building, do you have any concerns with this revision?

-It is expected that we will re clad the exterior of the building for branding purpose, do you have any examples of other buildings around town that could service as examples of the standards?

-Are there any outstanding concerns that the city currently has with the site?

NOTES:

See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

New Public Notice Forms

We have created forms for all email/mailed public notice and for Pre-submittal Neighborhood Meetings. Please complete these forms for public notice:

- Neighborhood Meeting - <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>
- Public Notice - <http://www.cabq.gov/planning/urban-design-development/public-notice>

Records requests

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

Requests to Inspect Public Records

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, lrumpf@cabq.gov

File Submittal

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to PLNDRS@cabq.gov. For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at jrodenbeck@cabq.gov and/or to Maggie Gould at mgould@cabq.gov.

For other questions, please contact the Planning representative at the top of the PRT Notes.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-004 Date: 3/1/21 Time: N/A (sent via email)

Address: 8101 Wyoming Blvd NE

For Building Safety Plan Review, contact Building Safety at 924-3963. Website:
<https://www.cabq.gov/planning/building-safety-permits>

Zoning Comments

- Address: 8001 WYOMING BLVD NE
- Lot: A Block: 0000
- Subdivision: PASEO VILLAGE
- Case Number: 1000946 – Does not apply to this building
- La Cueva Area
- Name: La Cueva Center
- Type: Activity
- Status: Existing
- Calculated GIS Acres: 3.1279
- Type: Change
- IDO Zoning: MX-L
- Old Zoning Designation: C-1
- 5-11(E)(2)(b) Urban Centers, **Activity Centers**, and Main Street and Premium

Use(s), Use specific standards, Definitions

- Bank - Permissive
- 4-3(D)(22) Bank – Use specific standard
- **Bank - Definition**
An establishment that provides retail banking, mortgage lending, and financial services to individuals and businesses, including check-cashing facilities. See also Small Loan Business, which is considered a bank for the purposes of this IDO.
- Drive through (If your project requires a Drive through) – Conditional Accessory
- 4-3(F)(4) Drive-through or Drive-up Facility – Use specific standard
- **Drive-through or Drive-up Facility - Definition**
Facilities associated with a primary use, including but not limited to banks, financial institutions, restaurants, dry cleaners, and drug stores, but not including car washes or light vehicle fueling, to offer goods and services directly to customers waiting in motor vehicles. See also Car Wash and Vehicle Definitions for Light Vehicle Fueling.
- Automated teller machine (ATM) – Permissive Accessory
- **Automated Teller Machine (ATM) - Definition**
- An electronically operated device used to conduct financial transactions on-site by means of direct computerized access.

Your Questions

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-004 Date: 3/1/21 Time: N/A (sent via email)

Address: 8101 Wyoming Blvd NE

- No concerns with relocating the front door. Comply with Building Safety regulations 924-3963
- Any revisions to the exterior must comply with IDO section 5-11(E)(2)(b) Urban Centers, **Activity Centers** because the building is located in La Cueva Activity Center
- If project will consist of adding a Drive through, a Conditional Use will be required.

PROCESS

6-5(G) SITE PLAN – ADMINISTRATIVE

As always, if you have specific questions pertaining to zoning and/or development standards you are encouraged to reach out to the zoning counter at (505) 924-3857 option 1.

Transportation Development Comments

List of Project-Specific Comments

1. Use existing access points for this location, and verify shared access agreements.
2. If a drive-thru is to be developed, verify queuing requirements. Contain queuing within proposed site layout.
3. Verify any requirements with NMDOT since Paseo del Norte is state-owned.

List of General Guidelines for Transportation Development

For additional information contact Jeanne Wolfenbarger (924-3991)

Curb Cuts

- Follow DPM guidelines for residential and commercial curb cuts.
- Residential curb cut requirements – (12 feet to 22 feet wide for residential, 30 feet only if there is a 3-car garage or parking for RV)
- Location of drive with respect to intersection depends on classification of the street. (See attached table.) Classification of street is according to the Long Range Master Plan developed by MRCOG.

Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.
- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-004 Date: 3/1/21 Time: N/A (sent via email)

Address: 8101 Wyoming Blvd NE

- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Demonstrate queuing capacity when needed in situations such as for drive-thru facilities. It is imperative to demonstrate that the queuing will not block accessways to the site or cause vehicles to back into the main roadway. Also, provide necessary one-way signage and pavement markings.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)
- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

Traffic Studies and Traffic Signals

4. See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.
5. A proposed new traffic signal needs to A) follow guidelines for traffic signal spacing, B) meet the requirements for a traffic signal warrant study to be in operation and C) be approved by both Planning and by Traffic Operations.

Platting and Public Infrastructure Requirements for Roadways

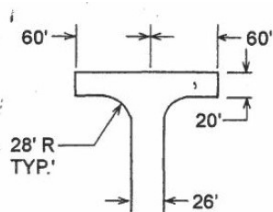
1. When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.
2. All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.
3. Curb and sidewalk is required along entire frontage of property. Follow IDO/DPM for specific width requirements.
4. There is a Bikeway Master Plan that is prepared MRCOG which lays out proposed bicycle facilities including bicycle trails, bike lanes, and bike routes. The site would be required to provide such facilities along the site frontage if they have not been constructed yet. Right-of-way dedication would likely be required.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

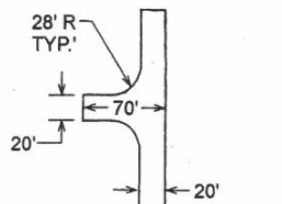
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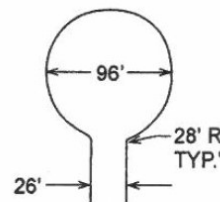
- Depending on site's use of an adjacent alleyway and on type of use for proposed site, alleyway improvements are required. This would include paving and/or proper right-of-way dedication to meet current width standards.
- Follow DPM and MRCOG's Long Range Master Plan for roadway width requirements. Provide roadway cross-section. (New roadway requirements and roadway widening is also coordinated with Department of Municipal Development, depending on what plans or projects they may have on a specific roadway.)
- If private road is over 150' long, the turnaround shall be per fire code dimensions. Fire Marshall Approval and Solid Waste Approval is required on all site layouts. For dead-ends, see options below for space dedicated to turn-arounds:



120' HAMMERHEAD



ACCEPTABLE ALTERNATIVE
TO 120' HAMMERHEAD



96' DIAMETER
CUL-DE-SAC

- For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
- Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
- Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

If you would have additional questions or would like to schedule a follow-up conference call meeting please contact Linda Rumpf at lrumpf@caba.gov