

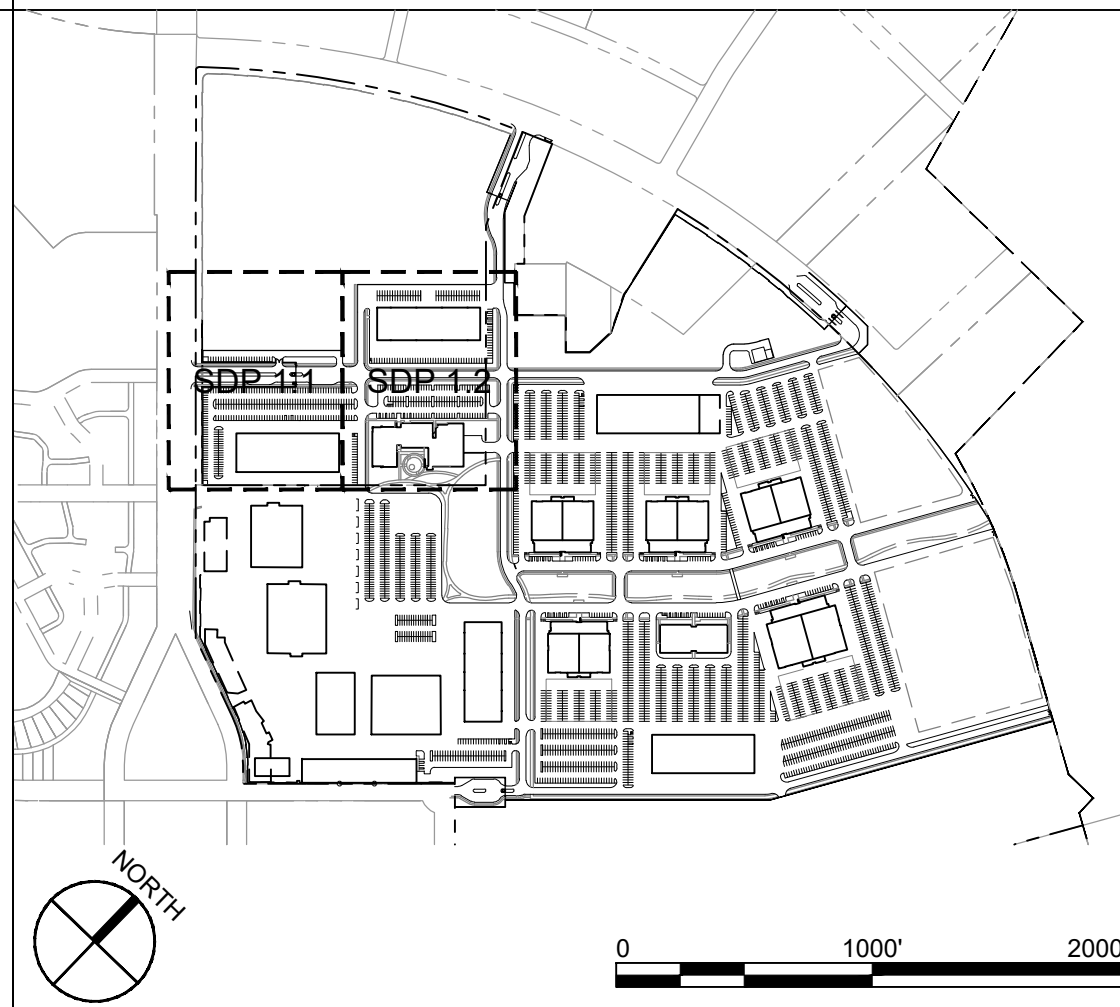
**GENERAL SHEET NOTES**

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- E. CURBS AND ACCESSIBLE RAMPS IN PUBLIC RIGHT OF WAY WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), SECTION 14-16-5-8 OUTDOOR LIGHTING.
- G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- H. LANDSCAPE AND SIGNAGE IN PUBLIC RIGHT OF WAY WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- I. PUBLIC IMPROVEMENTS SHALL BE BUILT PER SEPARATE WORK ORDER DRAWINGS/INFRASTRUCTURE LIST.
- J. A BLANKET CROSS LOT DRAINAGE AND ACCESS EASEMENT WILL BE GRANTED AND MAINTAINED BY THE SAME PROPERTIES ACROSS TRACT P-2 MESA DEL SOL INNOVATION PARK AND TRACT 1 MESA DEL SOL INNOVATION PARK II WITH THE RECORDING OF THESE PLATS.

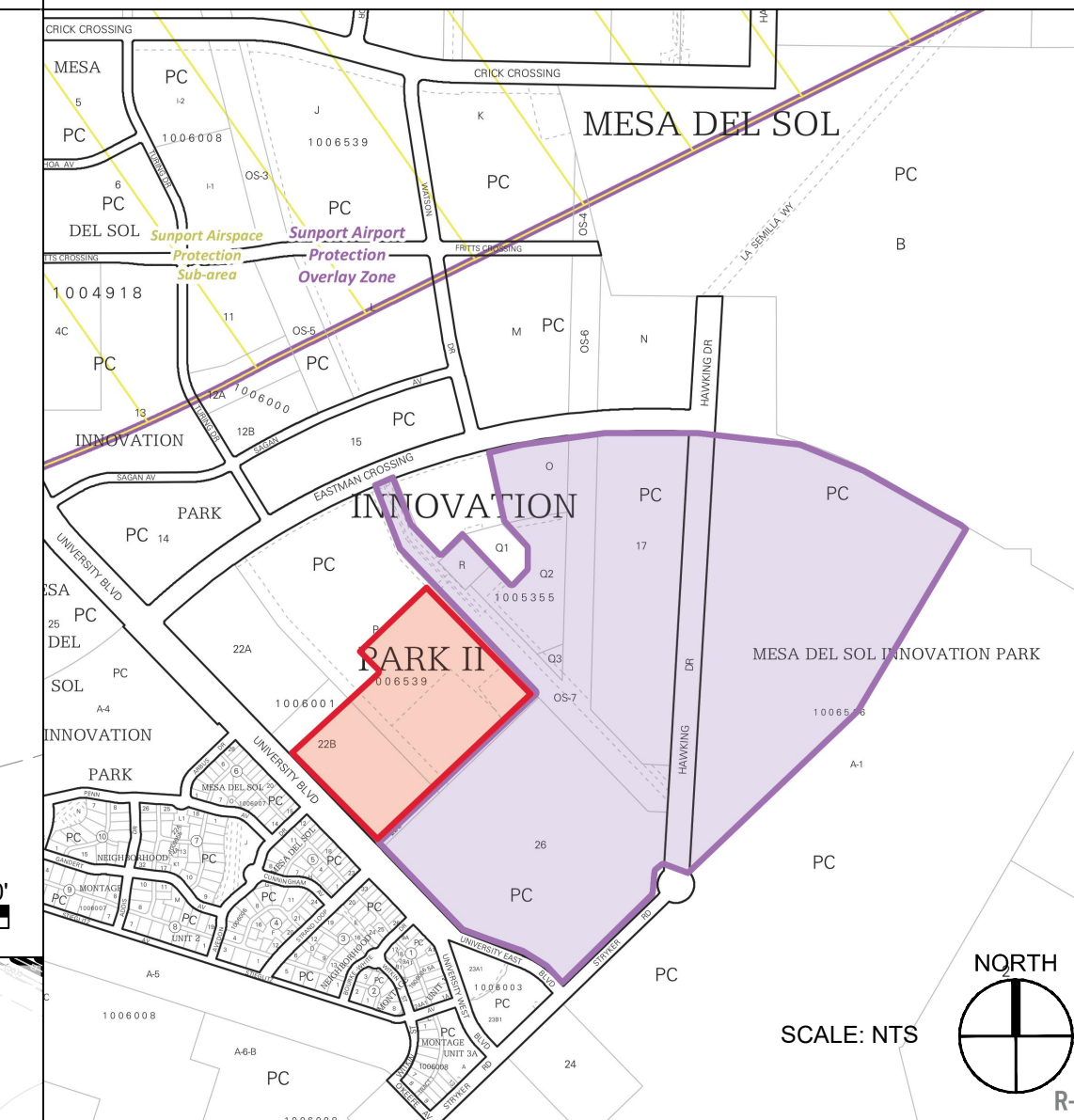
**LEGEND**

- LANDSCAPE AREA, SEE ALTERNATIVE LANDSCAPE PLANS
- LANDSCAPE STABILIZATION AREA, SEE ALTERNATIVE LANDSCAPE PLANS
- ACCENT PAVING/COLORED OR TEXTURED CONCRETE
- MATCH LINE
- PROPERTY LINE
- EAST DEVELOPMENT PACKAGE BOUNDARY
- NORTH DEVELOPMENT PACKAGE BOUNDARY
- LEVEL B BOUNDARY

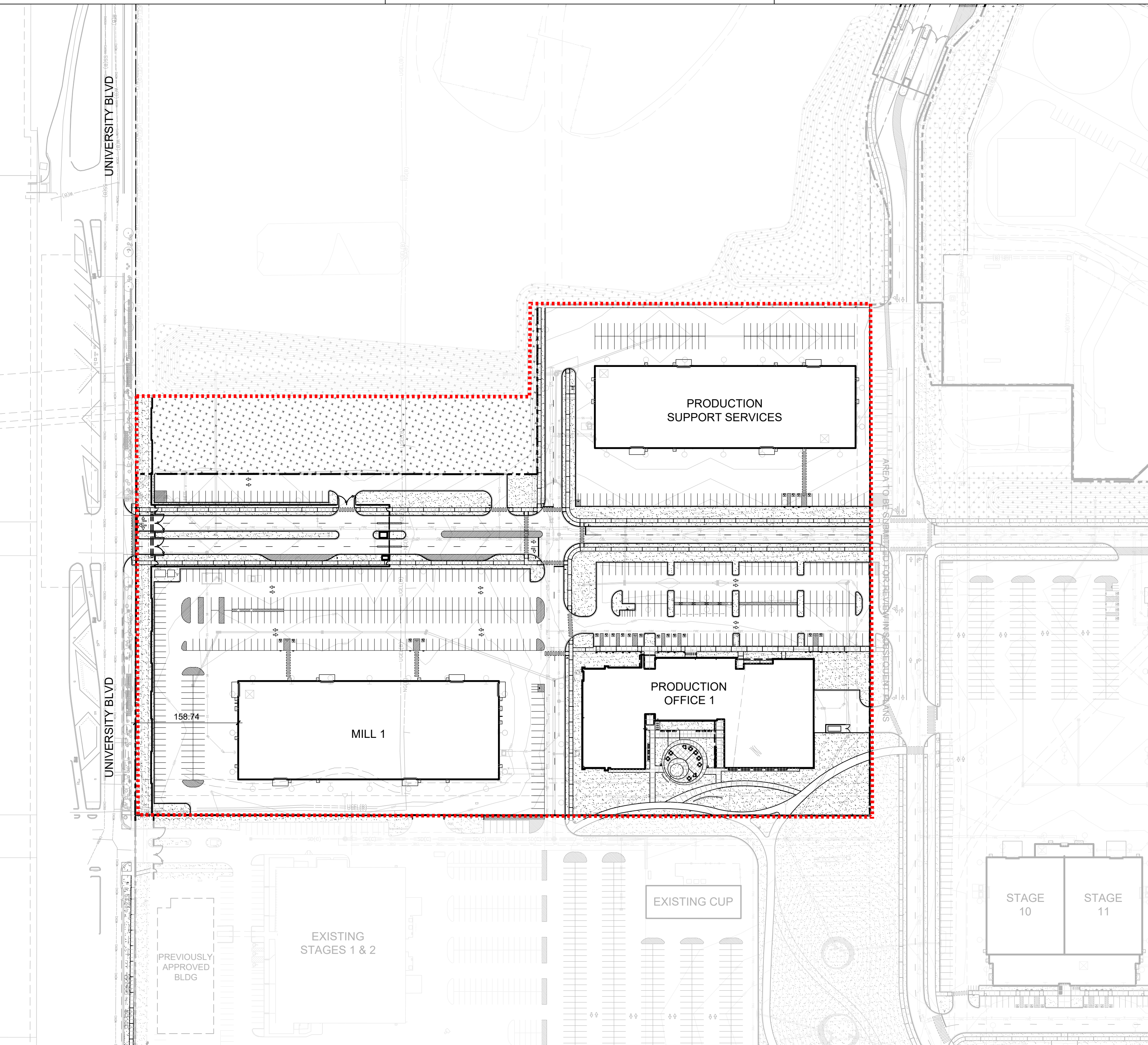
**KEYPLAN**



**VICINITY MAP**



|  |               |
|--|---------------|
| PROJECT NO.  | 2021-005684   |
| APPLICATION NO.  | SI-2021-00975 |
| IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?<br>[ YES ] [ NO ]. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. |               |
| DRB SITE DEVELOPMENT PLAN APPROVAL:  |               |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION   | DATE:         |
| ABCWUA   | DATE:         |
| PARKS & RECREATION DEPARTMENT  | DATE:         |
| CITY ENGINEER/HYDROLOGY  | DATE:         |
| ENVIRONMENTAL HEALTH (CONDITIONAL)   | DATE:         |
| SOLID WASTE MANAGEMENT   | DATE:         |
| DRB CHAIRPERSON, PLANNING DEPT.  | DATE:         |
| CODE ENFORCEMENT   | DATE:         |



**PROJECT DATA**

**ZONING:** PLANNED COMMUNITY (PC)  
**COMP PLAN DESIGNATION:** MESA DEL SOL EMPLOYMENT CENTER  
**LEGAL DESCRIPTION:**  
 Tract P-1 Mesa del Sol Innovation Park containing 22.8066 Acres  
 Tract P-2 Mesa del Sol Innovation Park containing 18.5393 Acres  
 Total Acreage of Plats= 41.350 Acres  
**SITE AREA:** 18.5393 ACRES = 807,571 SF (site submitted)  
**IDO ZONE ATLAS:** R-16-Z (MAY 2018)  
**SETBACKS:** FRONT=0' MIN, SIDE= 10' MIN, REAR= 10' MIN  
 setbacks assumed from property/site plan boundary not individual parcels  
**USABLE OPEN SPACE**  
 USABLE OPEN SPACE NOT REQUIRED PER IDO Table 5-1-2

**BUILDING INFORMATION**

| BUILDING                    | HEIGHT  | GFA        | AREA OF LOT COVERED* | BUILDING OCCUPANCY | CONSTR. TYPE | FIRE FLOW | HYDRANTS REQUIRED / PROVIDED |
|-----------------------------|---------|------------|----------------------|--------------------|--------------|-----------|------------------------------|
| MILL 1                      | 32'-4"  | 60,786 SF  | 60,786 SF            | F-1                | IIB          | 2,613 GPM | 3 / 3                        |
| PRODUCTION SUPPORT SERVICES | 31'-10" | 50,744 SF  | 50,744 SF            | F-1                | IIB          | 2,375 GPM | 3 / 3                        |
| PRODUCTION OFFICE 1         | 66'-0"  | 105,360 SF | 49,030 SF            | B, A2, A3          | IIB          | 3,375 GPM | 3 / 4                        |
| <b>TOTAL</b>                | -       | -          | 160,560 SF           | -                  | -            | -         | -                            |

\* this number is used to calculate net lot (see LANDSCAPE PLAN SDP2.0)

**VEHICULAR PARKING**

| BUILDING                    | BUILDING TYPE       | IDO PARKING REQUIREMENT*  | PARKING REQUIRED | ACCESSIBLE PARKING | PARKING PROVIDED *** | EV CHARGING REQUIRED** | EV CHARGING PROVIDED |
|-----------------------------|---------------------|---------------------------|------------------|--------------------|----------------------|------------------------|----------------------|
| MILL 1                      | LIGHT MANUFACTURING | 1 SPACE / 1,000 SF GFA    | 61               | 4                  | 71                   | 0                      | 0                    |
| PRODUCTION SUPPORT SERVICES | LIGHT MANUFACTURING | 1 SPACE / 1,000 SF GFA    | 51               | 4                  | 112+19 EAST=131      | 0                      | 0                    |
| PRODUCTION OFFICE**         | OFFICE              | 3.5 SPACES / 1,000 SF GFA | 369              | 12                 | 400+2 EAST=402       | 8                      | 8                    |
| <b>TOTAL</b>                |                     |                           | 481              | 20                 | 583+21 EAST=604      | 8                      | 8                    |

\* IDO Table 5-5-1

\*\* IDO 5-5(C)(9) - when more than 200 off-street parking provided at least 2% parking spaces shall include charging stations

\*\*\* 262 of parking spots at Production Office are provided at location adjacent to Mill 1. Due to the DRB boundary cutting through parking lots, some parking provided is located in package EAST and noted in the table above. These spots are not necessary to comply with parking requirements.

**MOTORCYCLE AND BICYCLE PARKING**

| BUILDING           | MOTORCYCLE PARKING REQUIRED* | MOTORCYCLE PARKING PROVIDED | BICYCLE PARKING REQUIRED** | BICYCLE PARKING PROVIDED |
|--------------------|------------------------------|-----------------------------|----------------------------|--------------------------|
| MILL 1             | 3                            | 3                           | 3                          | 4                        |
| PRODUCTION SUPPORT | 2                            | 2                           | 3                          | 4                        |
| PRODUCTION OFFICE  | 6                            | 7                           | 19                         | 20                       |
| <b>TOTAL</b>       | 11                           | 12                          | 25                         | 28                       |

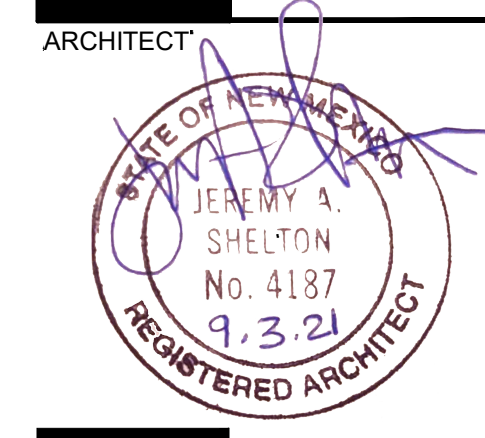
\* IDO Table 5-5-4

\*\* 1 space per 20 car spaces required (Mds Employment Center Design Standards)

**A1 OVERALL SITE DEVELOPMENT PLAN**

1" = 100'-0" 0 100' 200'

**DEKKER PERICH SABATINI**



**NOT FOR CONSTRUCTION**

**ABQ Studios Expansion NORTH DEVELOPMENT PACKAGE**  
 5650 University Blvd SE  
 Albuquerque, NM 87106

**REVISIONS**

- △
- △
- △
- △

|              |             |
|--------------|-------------|
| DRAWN BY     | BG          |
| REVIEWED BY  | JD          |
| DATE         | 10/22/2021  |
| PROJECT NO.  | 20-0072.008 |
| DRAWING NAME |             |

**OVERALL SITE DEVELOPMENT PLAN**

SHEET NO. **SDP 1.0**

# GENERAL SHEET NOTES

SEE SDP 1.0

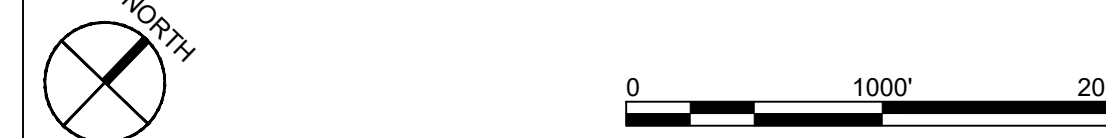
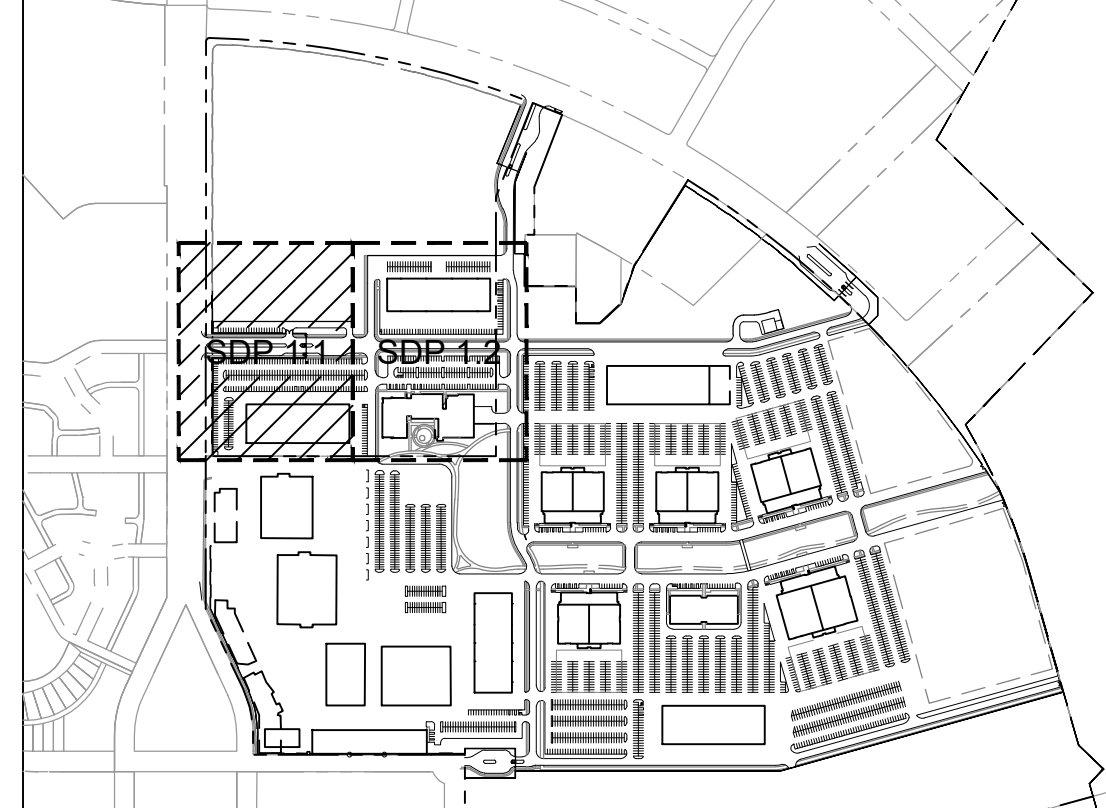
# SHEET KEYNOTES

| CODE | DESCRIPTION  |
|------|--|
| 1    | EXISTING CONCRETE CURB   |
| 2    | EXISTING LANDSCAPE   |
| 3    | EXISTING SIDEWALK  |
| 4    | EXISTING FENCE/WALL  |
| 5    | EXISTING CURB TO BE REMOVED  |
| 6    | EXISTING SIDEWALK TO BE REMOVED  |
| 7    | EXISTING LANDSCAPE TO BE REMOVED AND IRRIGATION MODIFIED   |
| 8    | EXISTING LIGHT POLE  |
| 9    | EXISTING EASEMENT  |
| 10   | EXISTING MEDIAN  |
| 11   | EXISTING LIGHT POLE TO BE REMOVED  |
| 12   | CONCRETE ACCESSIBLE RAMP, SEE D4 AND B2/SDP 1.3  |
| 13   | CONCRETE CURB AND GUTTER, SEE A2/SDP 1.3   |
| 14   | CONCRETE SIDEWALK, SEE B5/SDP 1.3  |
| 15   | DETECTABLE WARNING SURFACE IN PUBLIC R.O.W. SEE C5/SDP 1.3   |
| 16   | ASPHALT TRAIL, 12'-0" WIDTH  |
| 17   | ASPHALT MARKINGS: DIRECTIONAL PAVEMENT ARROW, COLOR: WHITE, SEE D3/SDP 1.3                                   |
| 18   | ASPHALT MARKINGS: PARKING STRIPING, COLOR: WHITE   |
| 19   | ASPHALT MARKINGS: STOP BAR, COLOR: WHITE   |
| 20   | ASPHALT MARKINGS: PAINTED CROSSWALK, COLOR: WHITE, SEE D2/SDP 1.3  |
| 21   | ASPHALT MARKINGS: STRIPING, COLOR: WHITE   |
| 22   | ASPHALT PAVING   |
| 23   | FIRE LANE STRIPING, COLOR: RED, SEE B5.2/SDP 1.3   |
| 24   | CMU WALL WITH STUCCO FINISH, 10' HEIGHT, COLOR: MATCH EXISTING, SEE C3/SDP 1.3                               |
| 25   | CMU WALL WITH INTEGRAL COLOR, 10' HEIGHT, SEE C3/SDP 1.3   |
| 26   | ENTRANCE OVERHEAD GATE SIGN TO MATCH EXISTING  |
| 27   | GUARD BOOTH ON CONCRETE PAD  |
| 28   | GUARD ARM GATE   |
| 29   | SITE SIGNAGE: STOP SIGN, SEE B1/SDP 1.3  |
| 30   | SITE SIGNAGE: ACCESSIBLE PARKING, SEE B1/SDP 1.3   |
| 31   | SITE SIGNAGE: VAN ACCESSIBLE PARKING, SEE B1/SDP 1.3   |
| 32   | SITE SIGNAGE: MOTORCYCLE PARKING ONLY, SEE B1/SDP 1.3  |
| 33   | SITE SIGNAGE: YIELD TO PEDESTRIANS/BIKE, SEE B1/SDP 1.3  |
| 34   | SITE SIGNAGE: DROP OFF AND PICK UP ONLY, SEE B1/SDP 1.3  |
| 35   | BICYCLE RACK, SEE D5/SDP 1.3   |
| 36   | NOT USED   |
| 37   | EV CHARGING STATION WITH TWO PORTS, CONCRETE PAD AND PROTECTIVE BOLLARDS                                     |
| 38   | COMPACTOR IN ENCLOSURE TO COMPLY WITH IDO/SOLID WASTE REQUIREMENTS, SEE C1/SDP 1.3                           |
| 39   | CLEAR SIGHT TRIANGLE   |
| 40   | ELECTRIC TRANSFORMER ON CONCRETE PAD WITH PROTECTIVE BOLLARDS PER PNM  |
| 41   | EDGE OF ASPHALT  |
| 42   | CLOSABLE GATE, 10'-0" HEIGHT, NON-CLIMBABLE METAL, GATE TO REMAIN OPEN AND BE CLOSED DURING EMERGENCIES ONLY |
| 43   | PEDESTRIAN GATE, 10'-0" HEIGHT, METAL  |

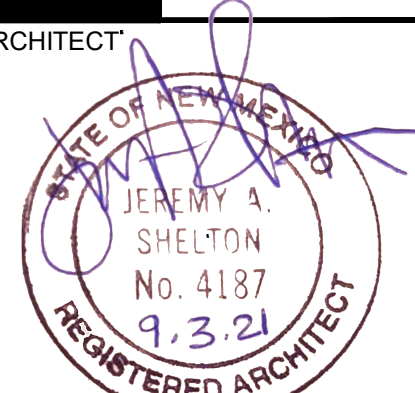
# LEGEND

|  |  |
|--|--|
|  | LANDSCAPE AREA, SEE ALTERNATIVE LANDSCAPE PLAN               |
|  | LANDSCAPE STABILIZATION AREA, SEE ALTERNATIVE LANDSCAPE PLAN |
|  | ACCENT PAVING/COLORED OR TEXTURED CONCRETE                   |
|  | MATCH LINE   |
|  | PROPERTY LINE  |
|  | EAST DEVELOPMENT PACKAGE BOUNDARY                            |
|  | NORTH DEVELOPMENT PACKAGE BOUNDARY                           |
|  | LEVEL B BOUNDARY   |
|  | TABLE AND CHAIRS   |
|  | BENCH  |
|  | SITE LIGHTING, SEE ELECTRICAL                                |

# KEYPLAN



**DEKKER  
PERICH  
SABATINI**



**NOT FOR  
CONSTRUCTION**

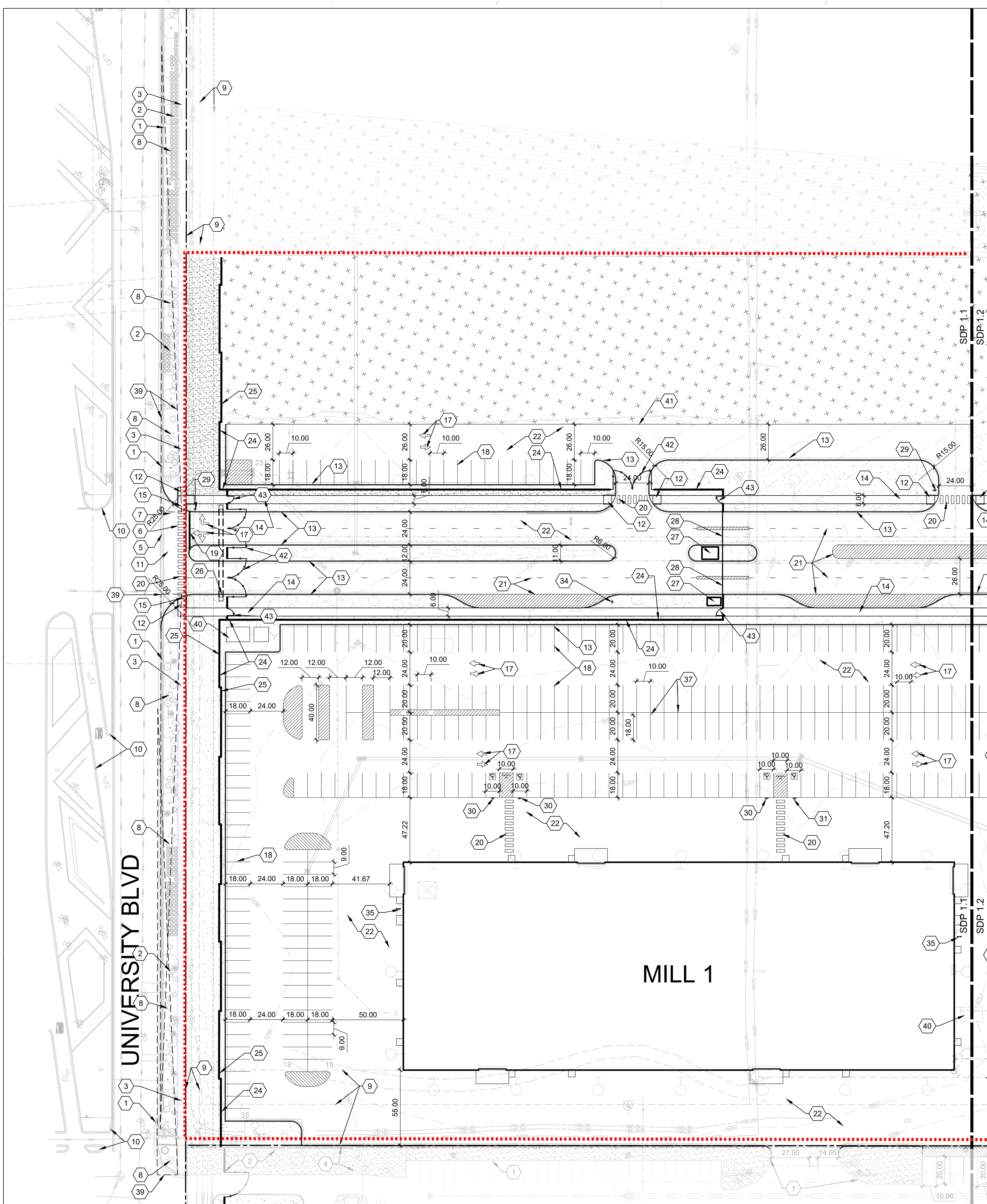
**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 University Blvd SE  
Albuquerque, NM 87106

| REVISIONS |
|-----------|
| △         |
| △         |
| △         |
| △         |

|              |             |
|--------------|-------------|
| DRAWN BY     | BG          |
| REVIEWED BY  | JD          |
| DATE         | 10/22/2021  |
| PROJECT NO.  | 20-0072.008 |
| DRAWING NAME |             |

**SITE DEVELOPMENT  
PLAN**

SHEET NO.  
**SDP 1.1**



**A1 SITE DEVELOPMENT PLAN**  
1" = 40'-0"  
0 20' 40' 80'

# GENERAL SHEET NOTES

SEE SDP 1.0

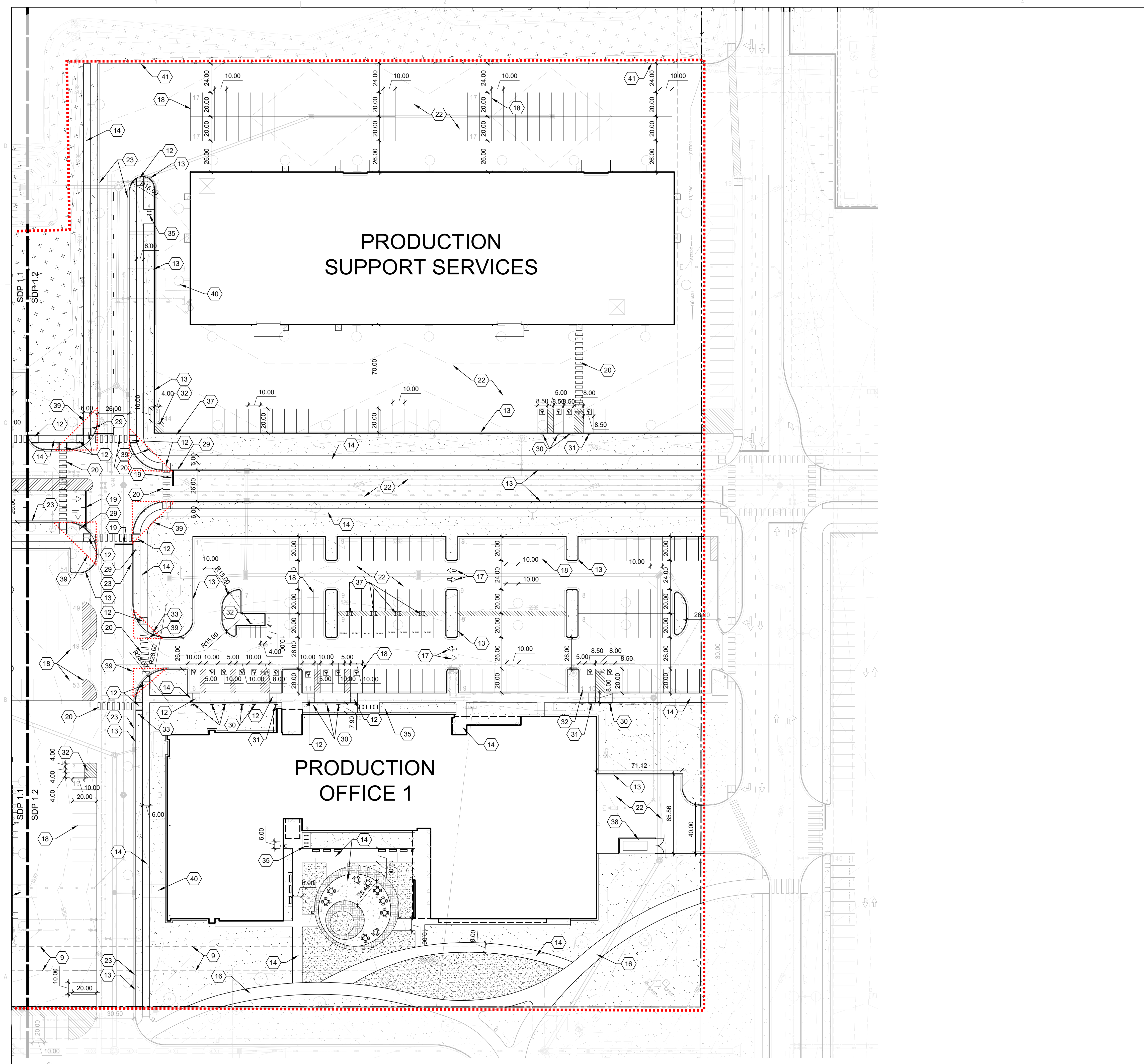
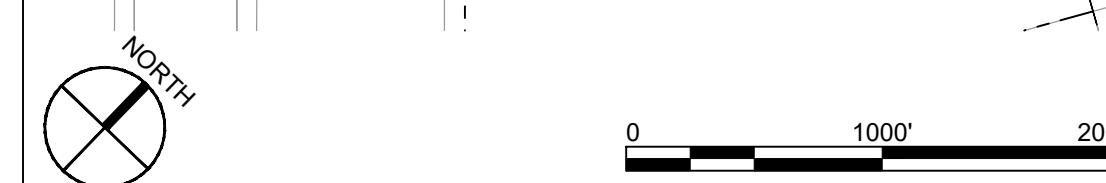
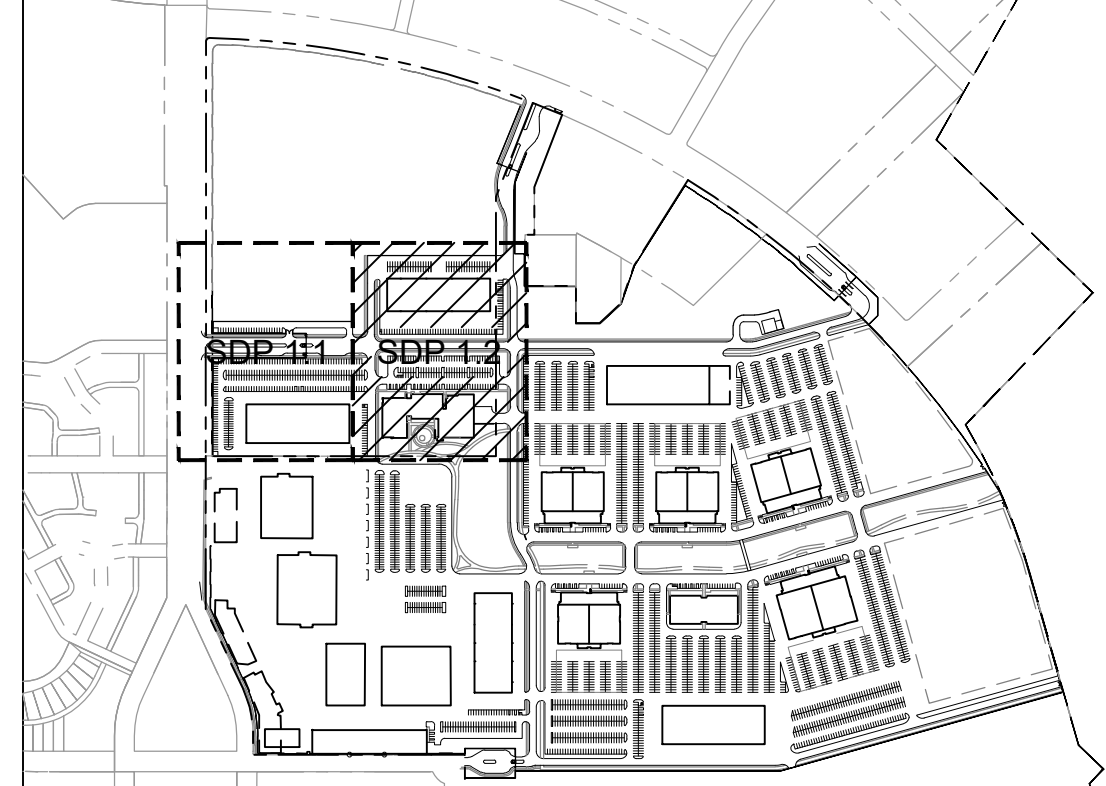
# SHEET KEYNOTES

| CODE | DESCRIPTION  |
|------|--|
| 1    | EXISTING CONCRETE CURB   |
| 2    | EXISTING LANDSCAPE   |
| 3    | EXISTING SIDEWALK  |
| 4    | EXISTING FENCE/WALL  |
| 5    | EXISTING CURB TO BE REMOVED  |
| 6    | EXISTING SIDEWALK TO BE REMOVED  |
| 7    | EXISTING LANDSCAPE TO BE REMOVED AND IRRIGATION MODIFIED   |
| 8    | EXISTING LIGHT POLE  |
| 9    | EXISTING EASEMENT  |
| 10   | EXISTING MEDIAN  |
| 11   | EXISTING LIGHT POLE TO BE REMOVED  |
| 12   | CONCRETE ACCESSIBLE RAMP, SEE D4 AND B2/SDP 1.3  |
| 13   | CONCRETE CURB AND GUTTER, SEE A2/SDP 1.3   |
| 14   | CONCRETE SIDEWALK, SEE B5/SDP 1.3  |
| 15   | DETECTABLE WARNING SURFACE IN PUBLIC R.O.W, SEE C5/SDP 1.3   |
| 16   | ASPHALT TRAIL, 12'-0" WIDTH  |
| 17   | ASPHALT MARKINGS: DIRECTIONAL PAVEMENT ARROW, COLOR: WHITE, SEE D3/SDP 1.3                                   |
| 18   | ASPHALT MARKINGS: PARKING STRIPING, COLOR: WHITE   |
| 19   | ASPHALT MARKINGS: STOP BAR, COLOR: WHITE   |
| 20   | ASPHALT MARKINGS: PAINTED CROSSWALK, COLOR: WHITE, SEE D2/SDP 1.3  |
| 21   | ASPHALT MARKINGS: STRIPING, COLOR: WHITE   |
| 22   | ASPHALT PAVING   |
| 23   | FIRE LANE STRIPING, COLOR: RED, SEE B5.2/SDP 1.3   |
| 24   | CMU WALL WITH STUCCO FINISH, 10' HEIGHT, COLOR: MATCH EXISTING, SEE C3/SDP 1.3                               |
| 25   | CMU WALL WITH INTEGRAL COLOR, 10' HEIGHT, SEE C3/SDP 1.3   |
| 26   | ENTRANCE OVERHEAD GATE SIGN TO MATCH EXISTING  |
| 27   | GUARD BOOTH ON CONCRETE PAD  |
| 28   | GUARD ARM GATE   |
| 29   | SITE SIGNAGE: STOP SIGN, SEE B1/SDP 1.3  |
| 30   | SITE SIGNAGE: ACCESSIBLE PARKING, SEE B1/SDP 1.3   |
| 31   | SITE SIGNAGE: VAN ACCESSIBLE PARKING, SEE B1/SDP 1.3   |
| 32   | SITE SIGNAGE: MOTORCYCLE PARKING ONLY, SEE B1/SDP 1.3  |
| 33   | SITE SIGNAGE: YIELD TO PEDESTRIANS/BIKE, SEE B1/SDP 1.3  |
| 34   | SITE SIGNAGE: DROP OFF AND PICK UP ONLY, SEE B1/SDP 1.3  |
| 35   | BICYCLE RACK, SEE D5/SDP 1.3   |
| 36   | NOT USED   |
| 37   | EV CHARGING STATION WITH TWO PORTS, CONCRETE PAD AND PROTECTIVE BOLLARDS                                     |
| 38   | COMPACTOR IN ENCLOSURE TO COMPLY WITH IDO/SOLID WASTE REQUIREMENTS, SEE C1/SDP 1.3                           |
| 39   | CLEAR SIGHT TRIANGLE   |
| 40   | ELECTRIC TRANSFORMER ON CONCRETE PAD WITH PROTECTIVE BOLLARDS PER PNM  |
| 41   | EDGE OF ASPHALT  |
| 42   | CLOSABLE GATE, 10'-0" HEIGHT, NON-CLIMBABLE METAL, GATE TO REMAIN OPEN AND BE CLOSED DURING EMERGENCIES ONLY |
| 43   | PEDESTRIAN GATE, 10'-0" HEIGHT, METAL  |

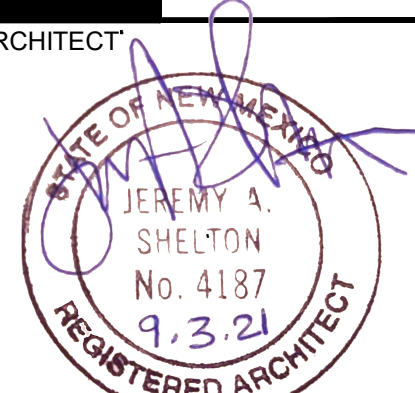
# LEGEND

|  |  |
|--|--|
|  | LANDSCAPE AREA, SEE ALTERNATIVE LANDSCAPE PLAN               |
|  | LANDSCAPE STABILIZATION AREA, SEE ALTERNATIVE LANDSCAPE PLAN |
|  | ACCENT PAVING/COLORED OR TEXTURED CONCRETE                   |
|  | MATCH LINE   |
|  | PROPERTY LINE  |
|  | EAST DEVELOPMENT PACKAGE BOUNDARY                            |
|  | NORTH DEVELOPMENT PACKAGE BOUNDARY                           |
|  | LEVEL B BOUNDARY   |
|  | TABLE AND CHAIRS   |
|  | BENCH  |
|  | SITE LIGHTING, SEE ELECTRICAL                                |

# KEYPLAN



**DEKKER  
PERICH  
SABATINI**



ARCHITECT

**NOT FOR  
CONSTRUCTION**

ENGINEER

**PROJECT**

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 University Blvd SE  
Albuquerque, NM 87106

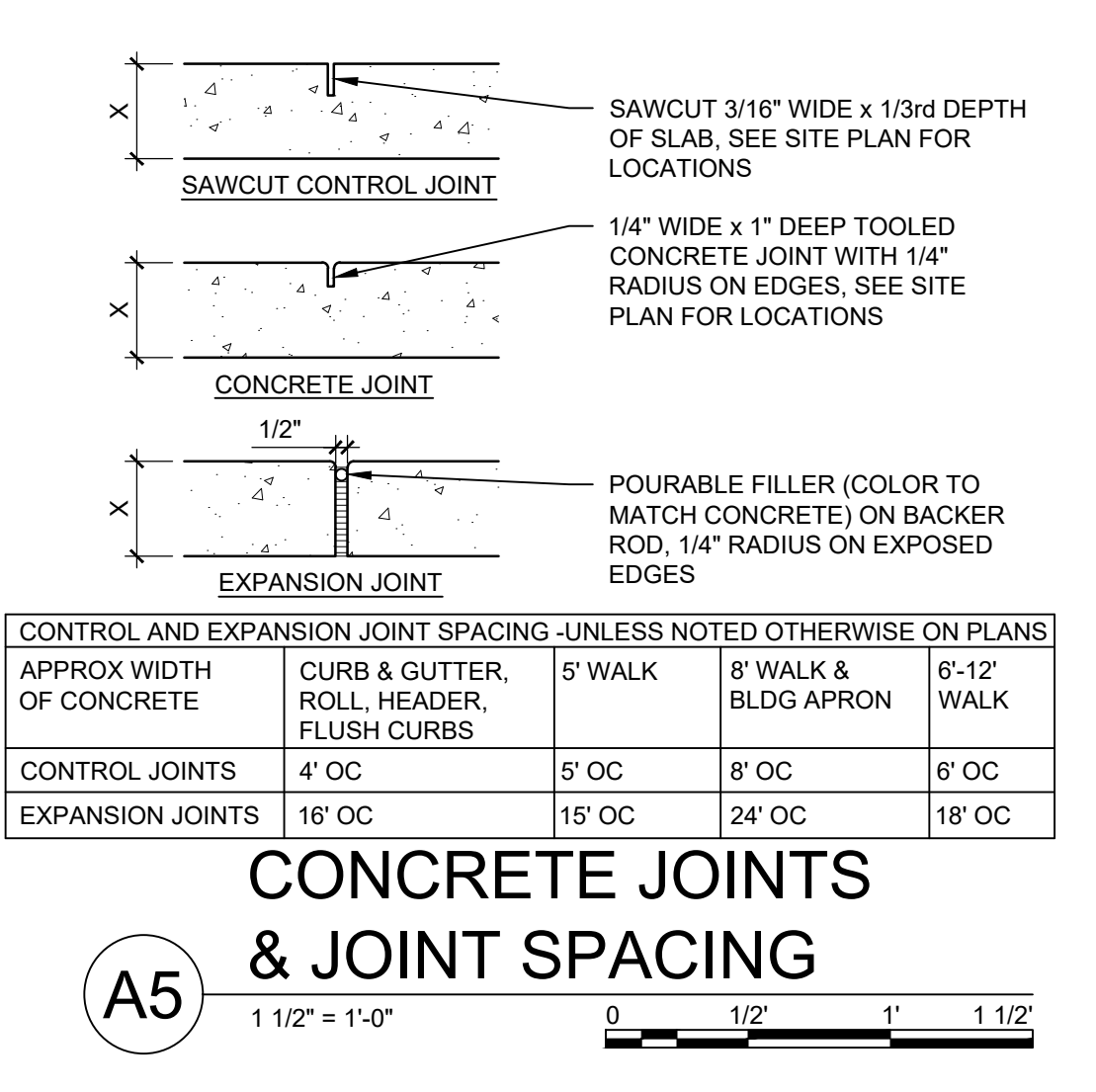
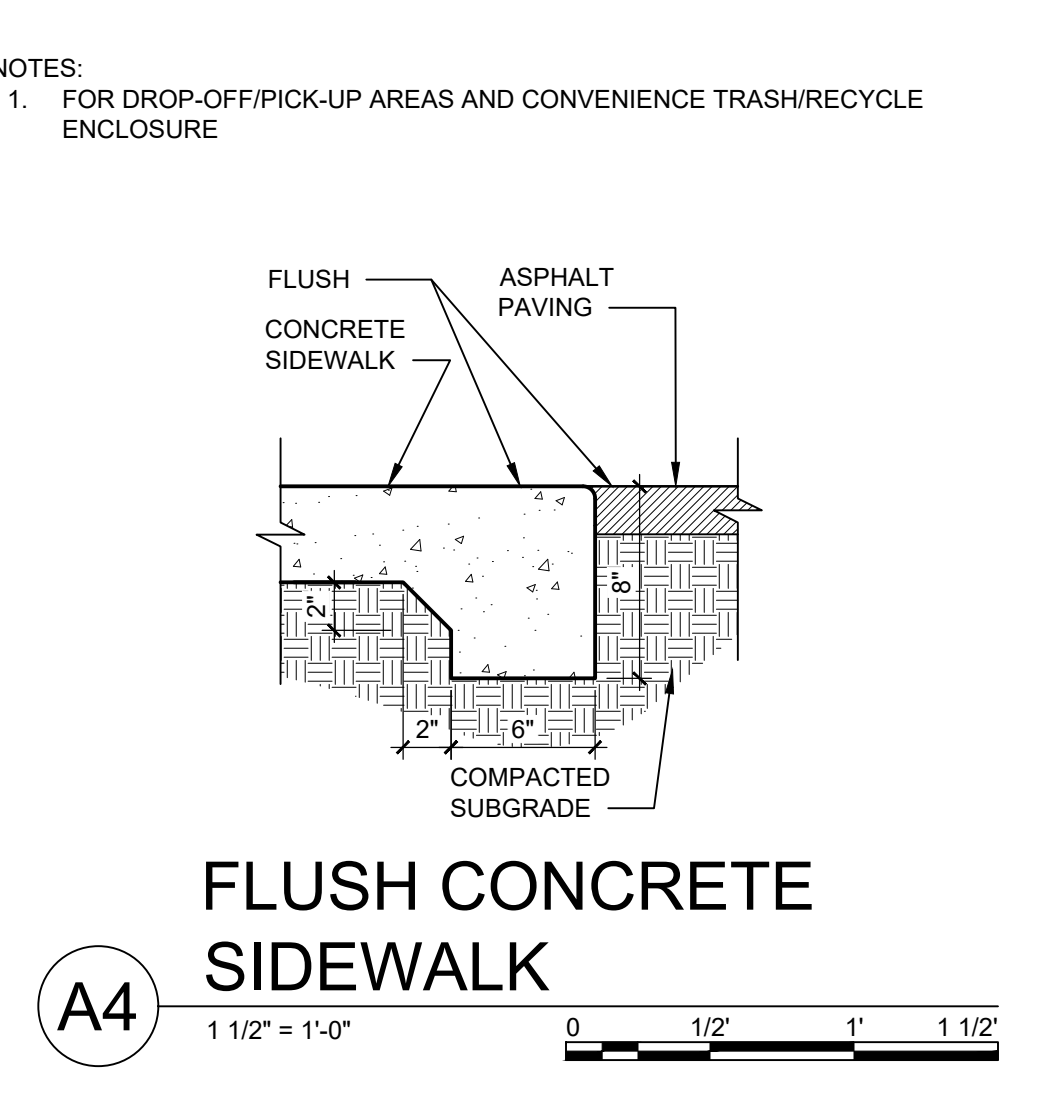
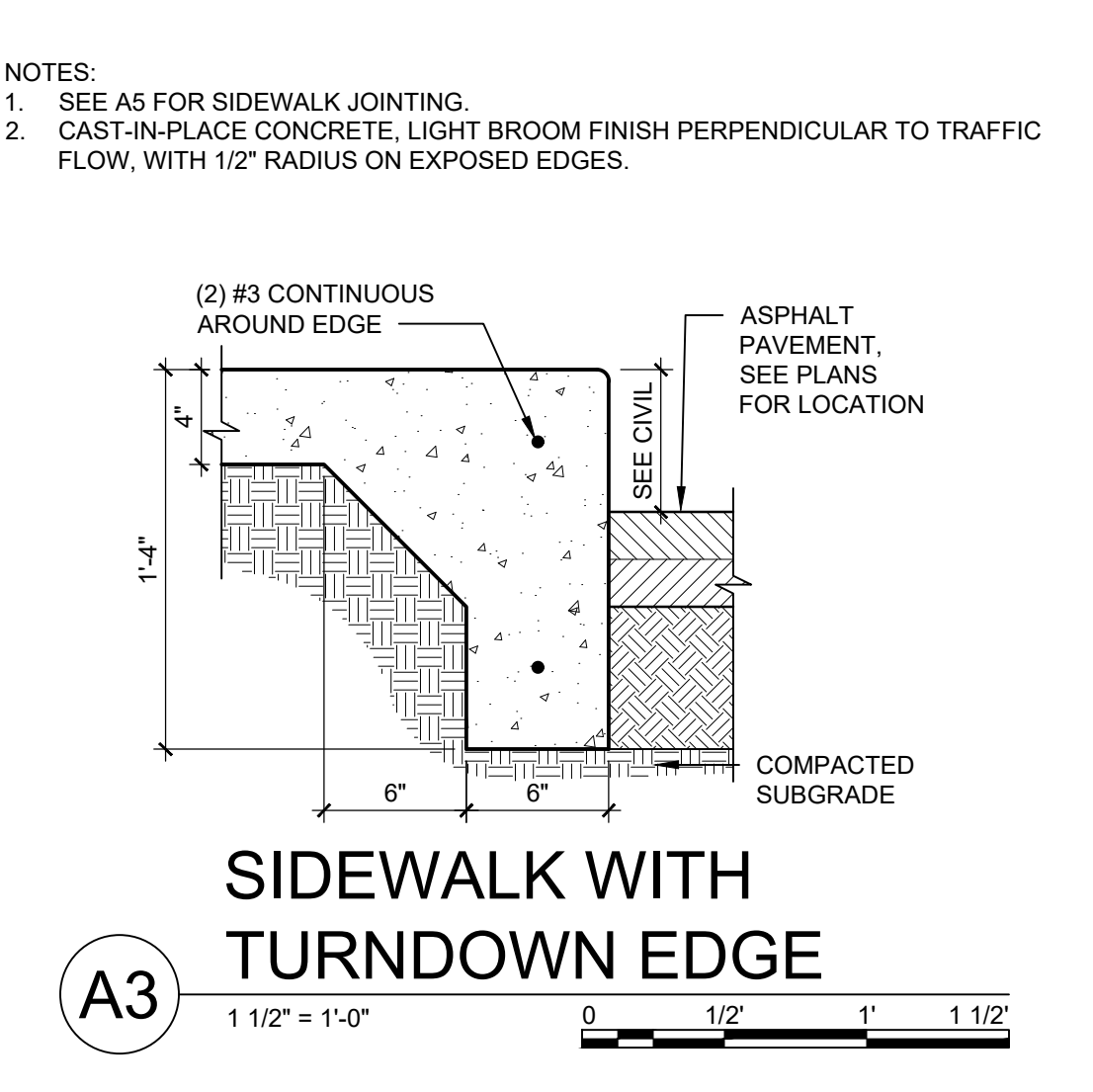
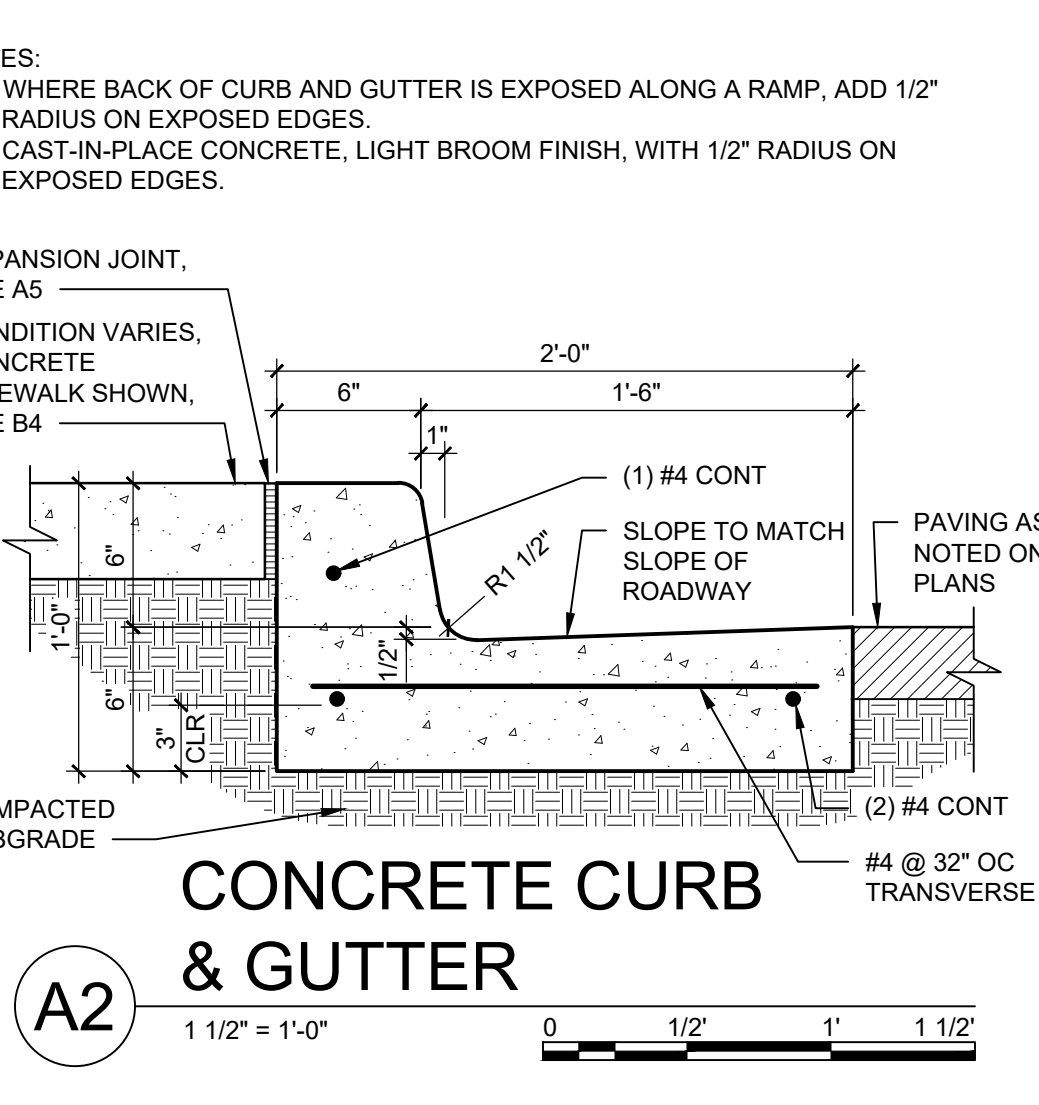
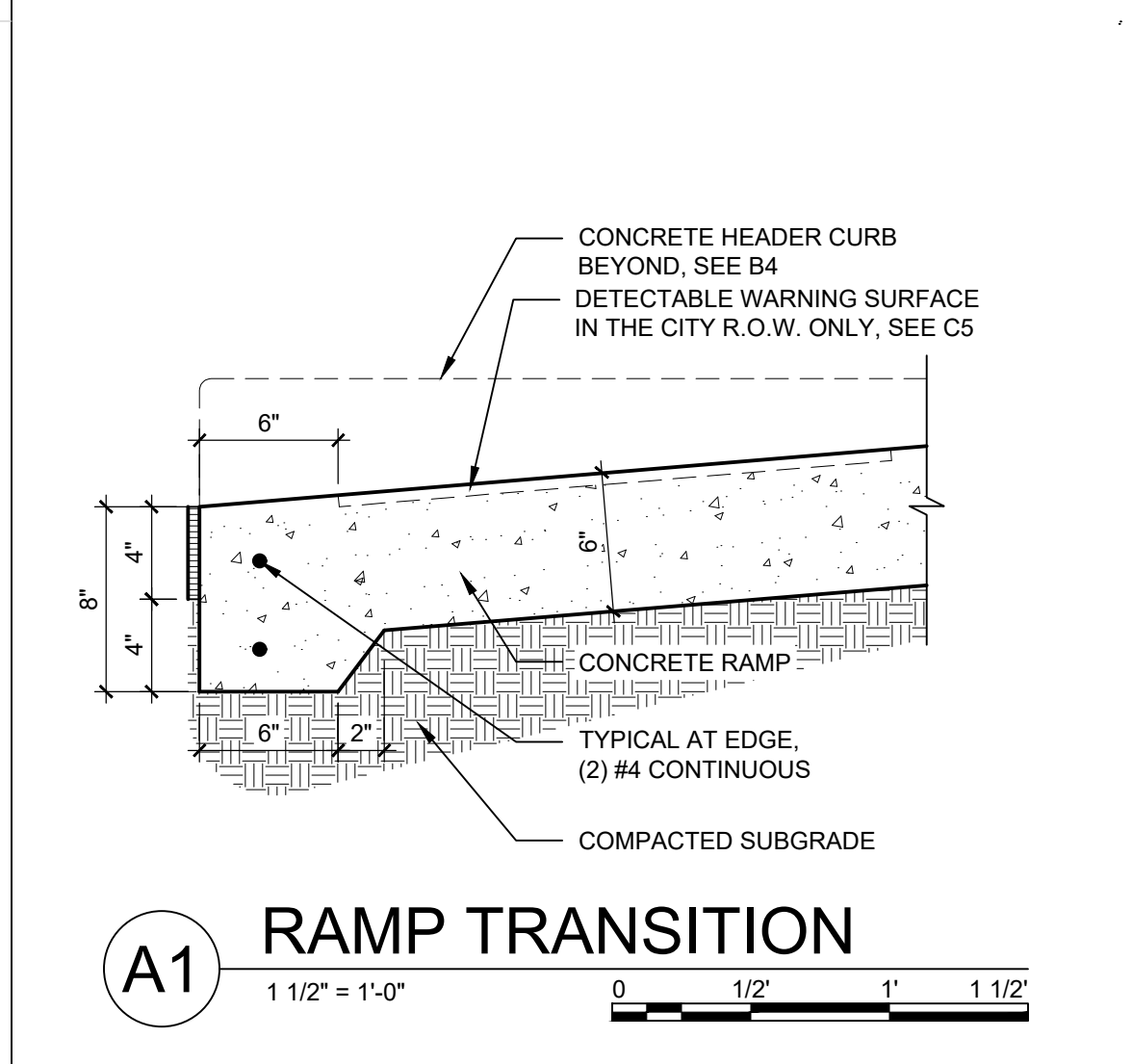
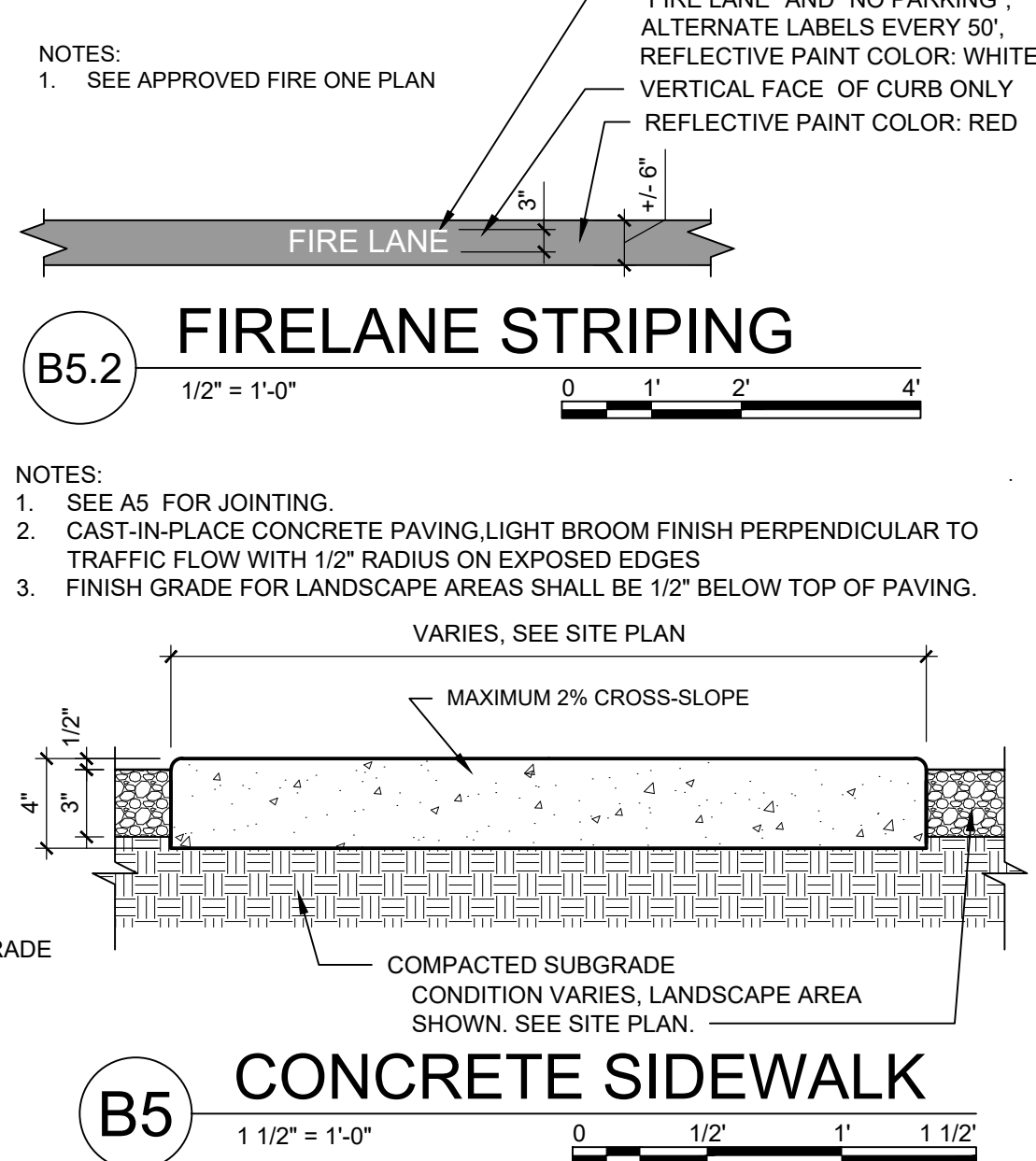
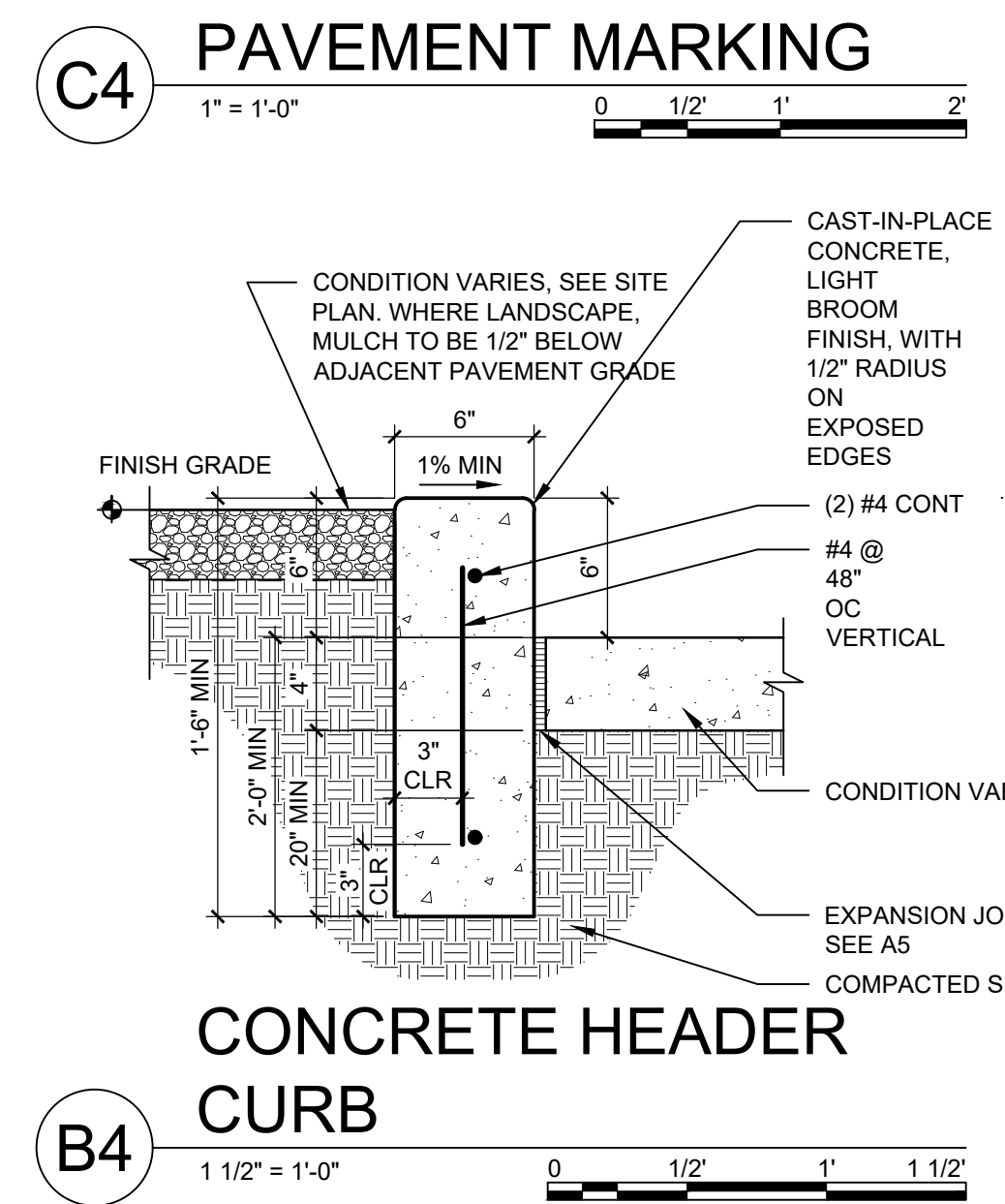
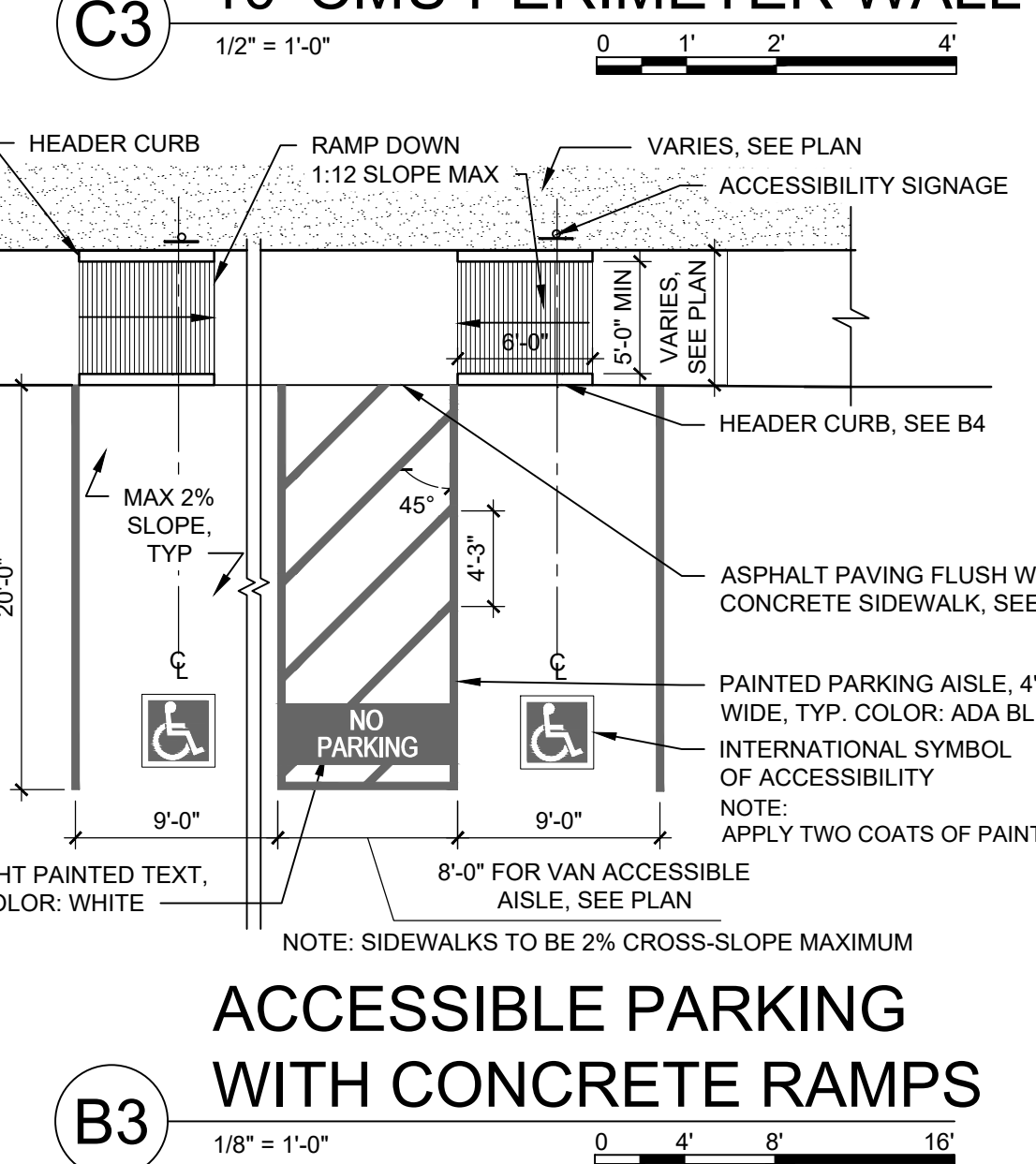
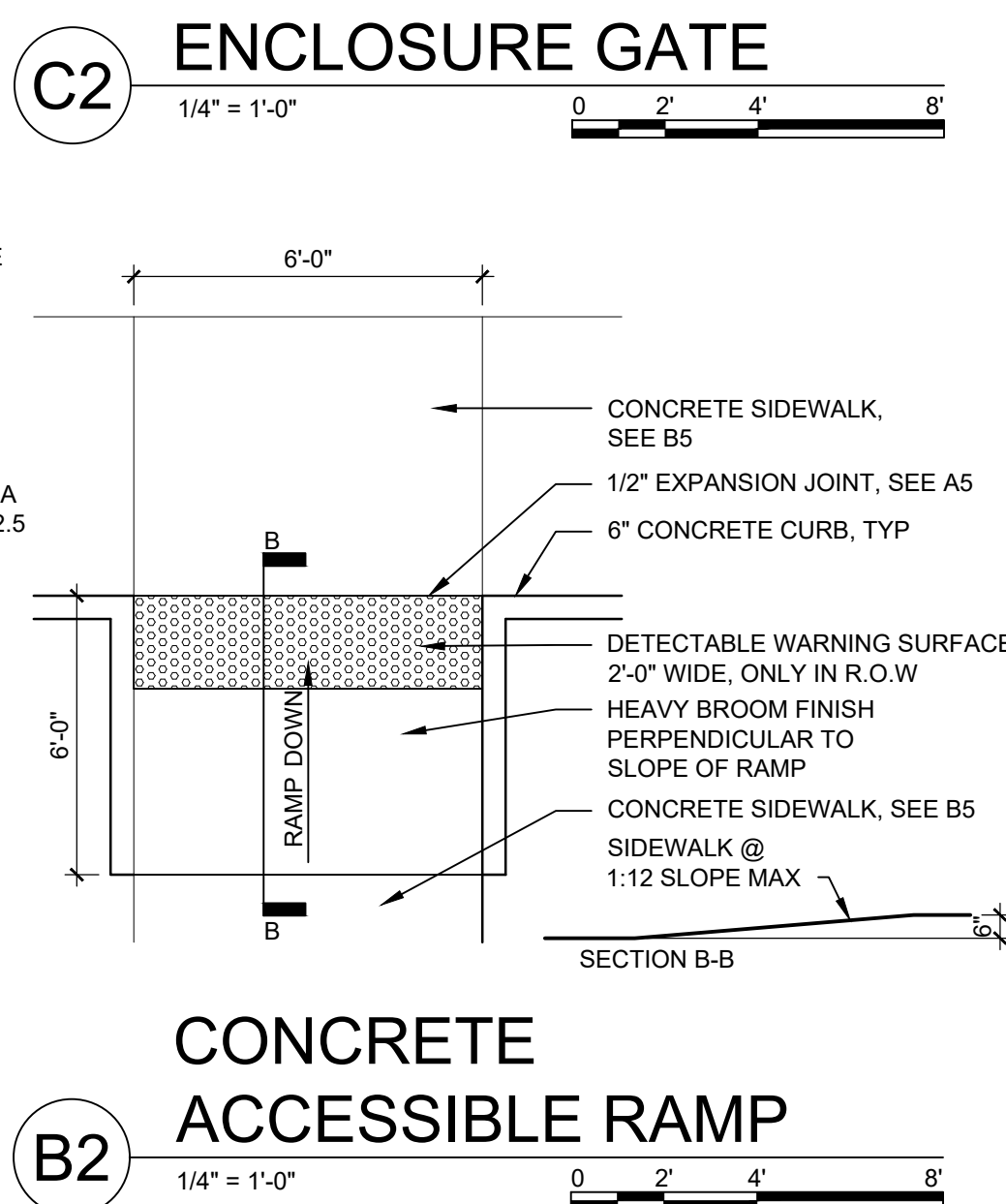
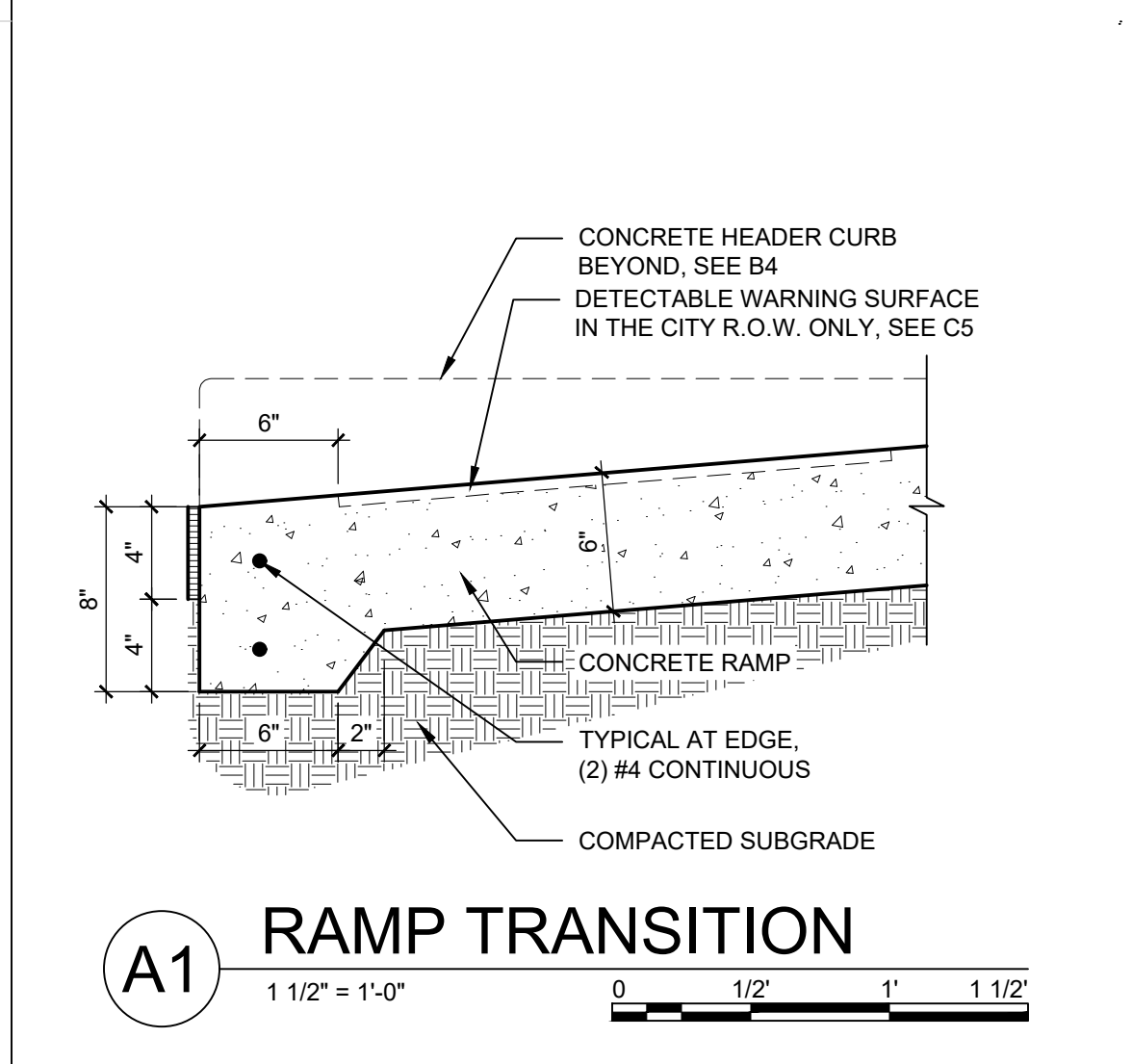
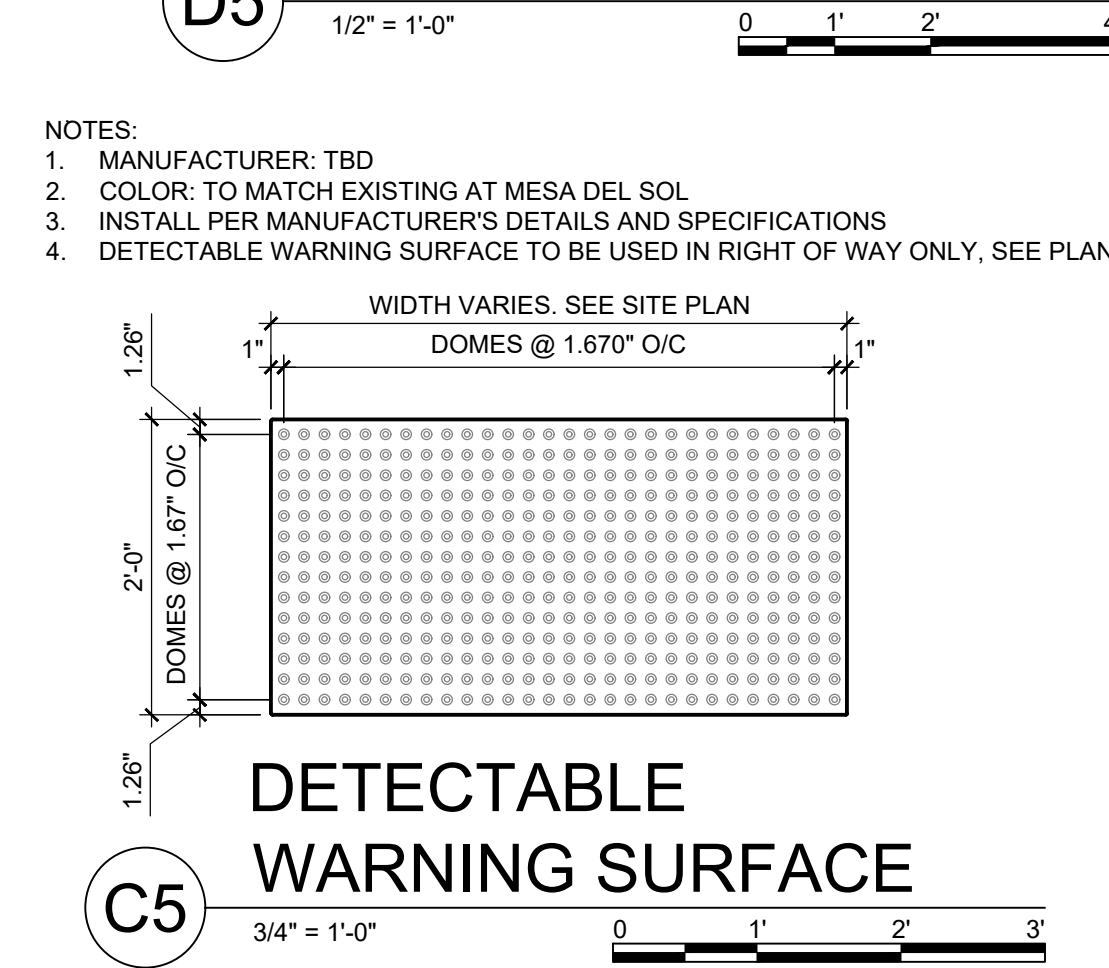
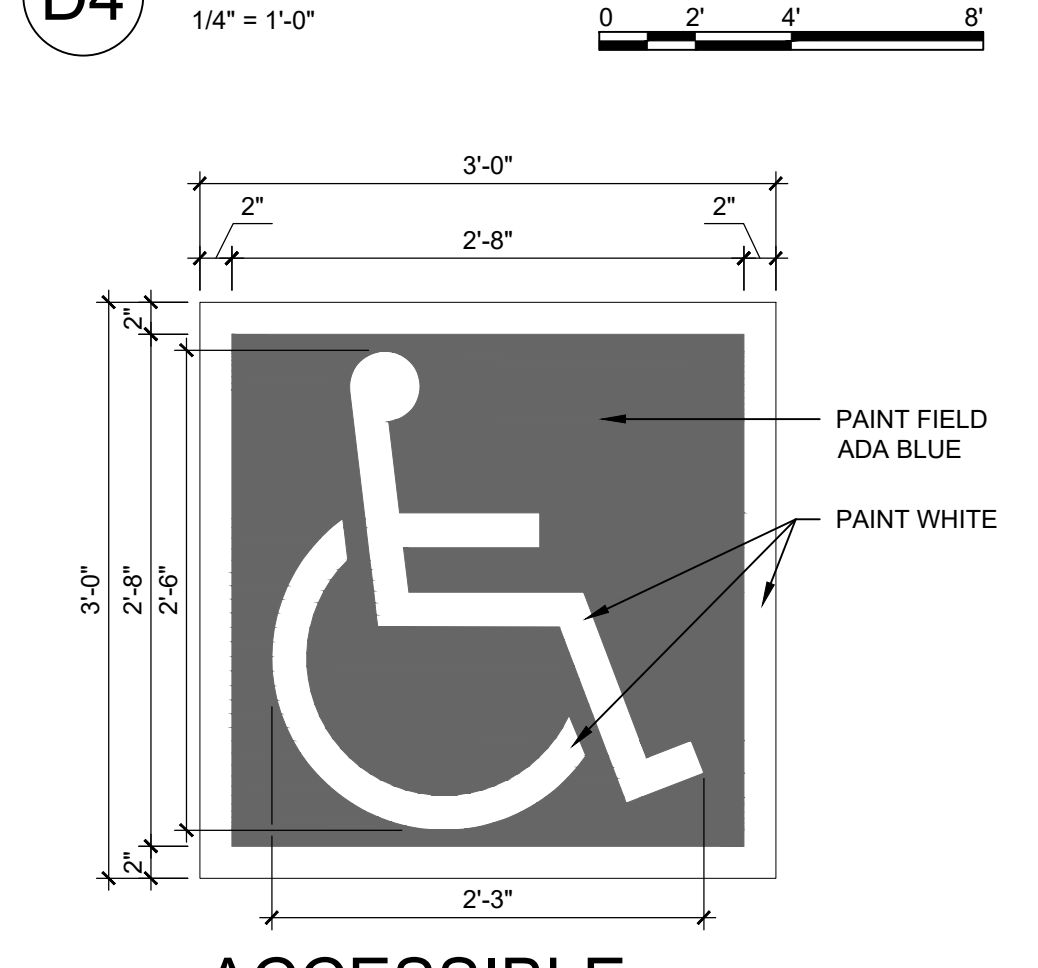
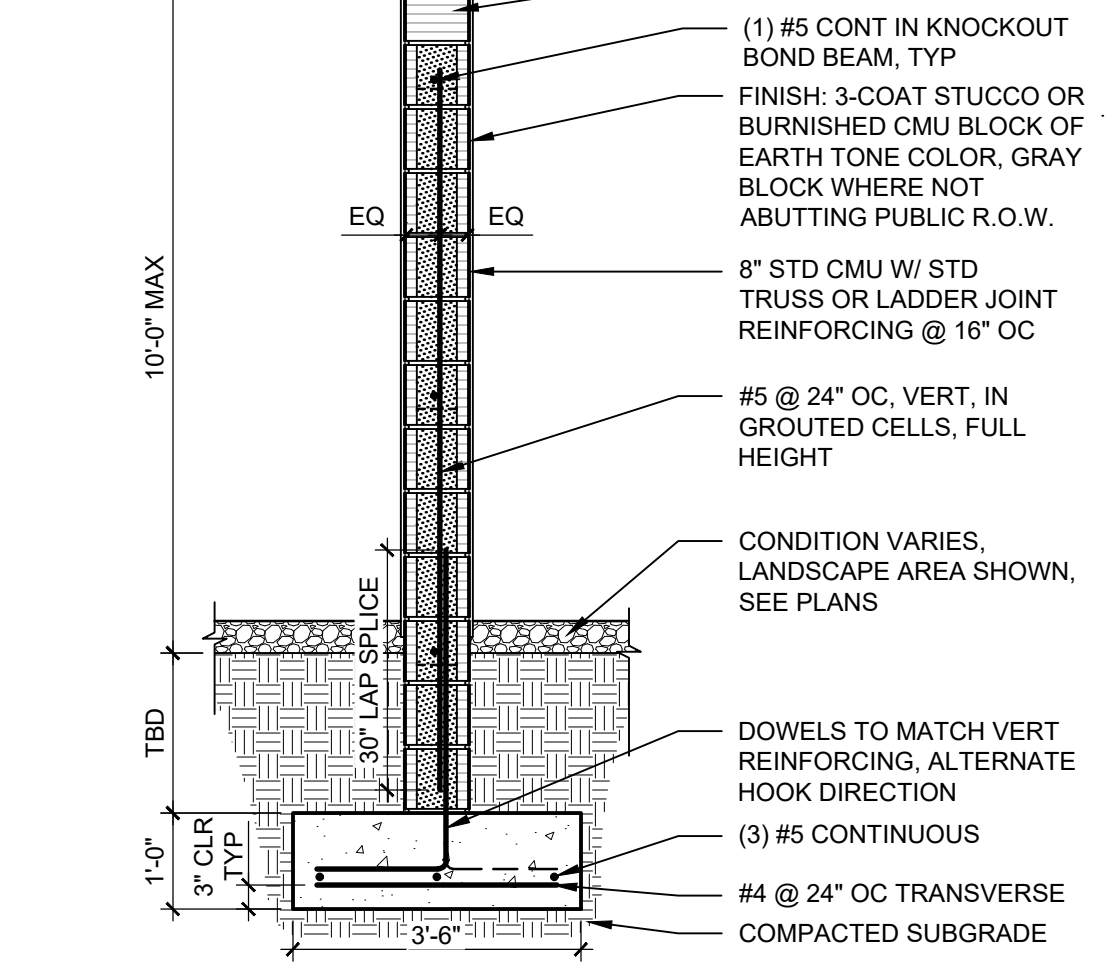
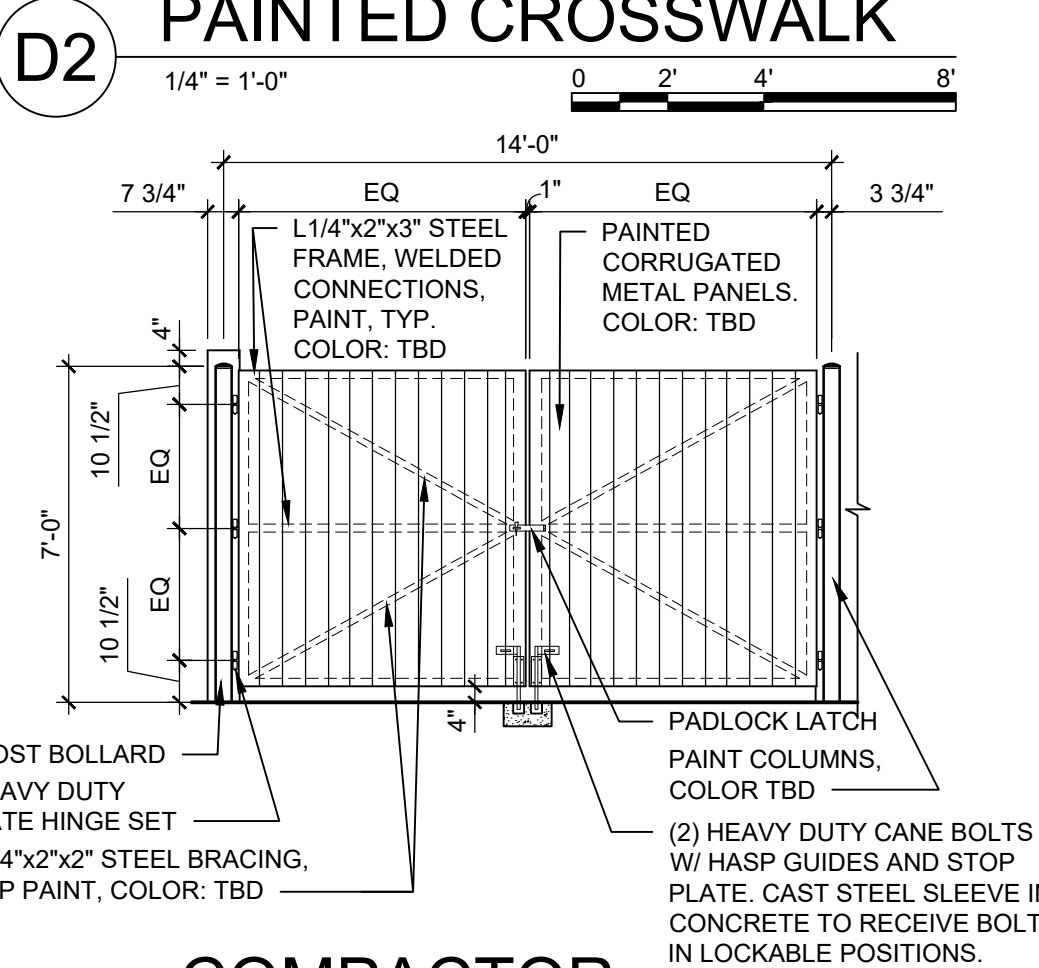
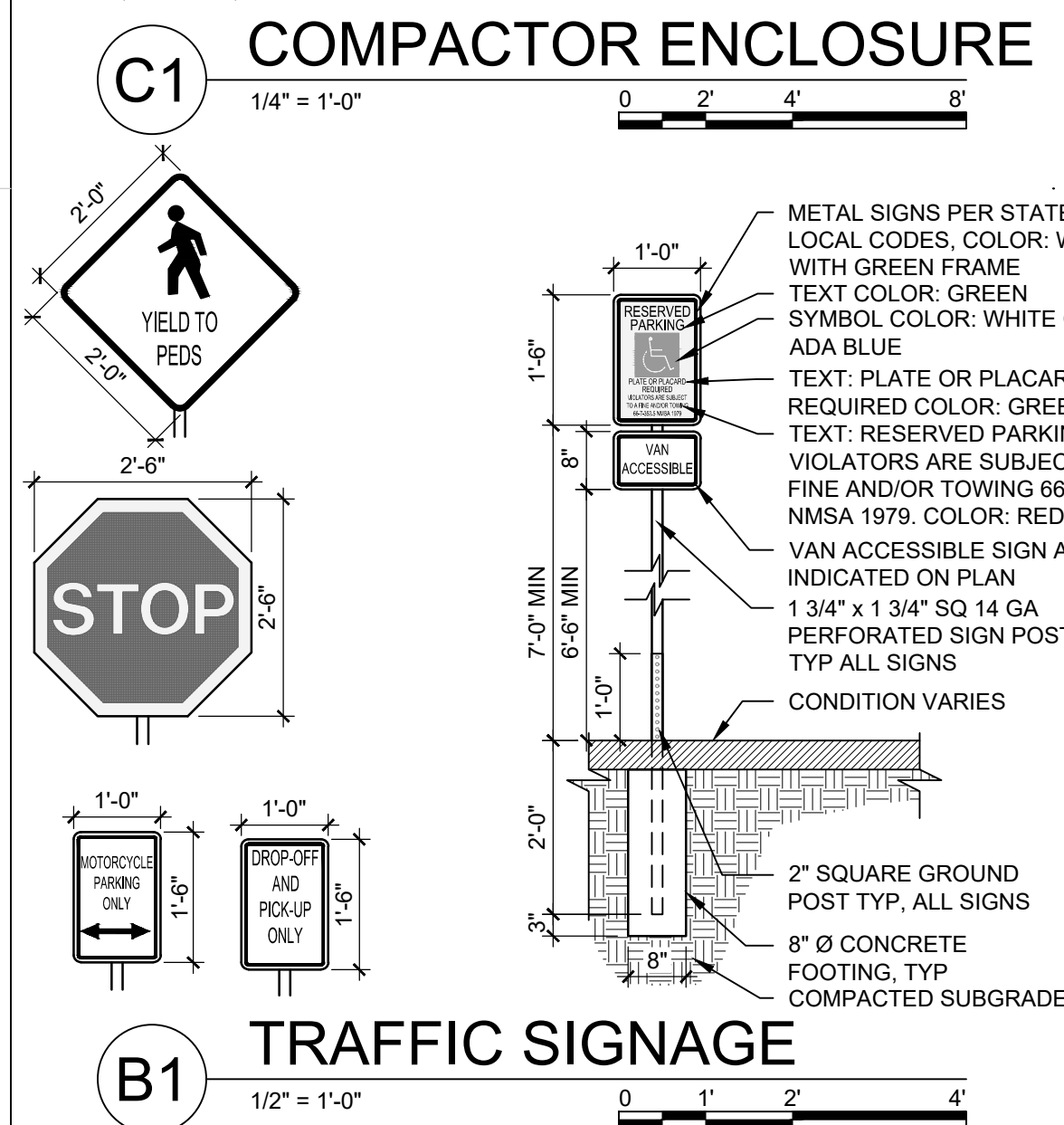
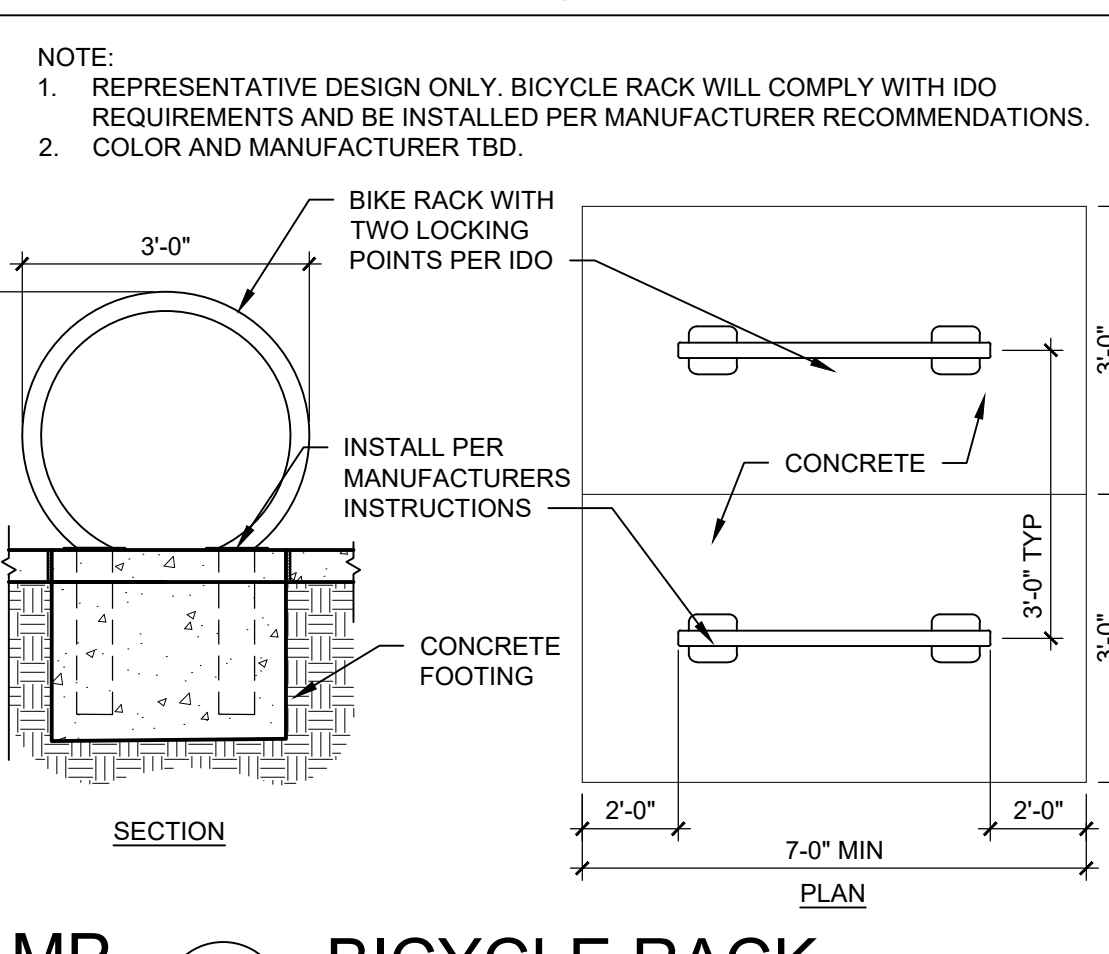
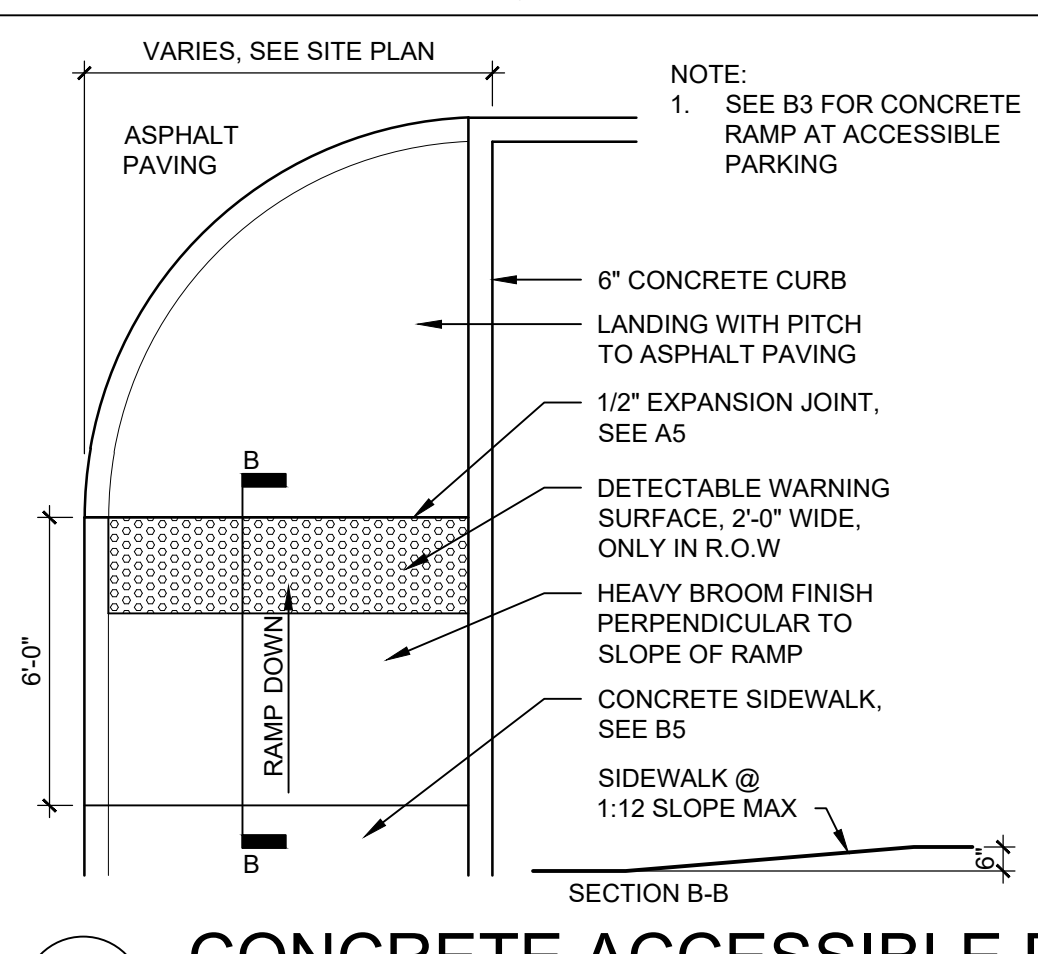
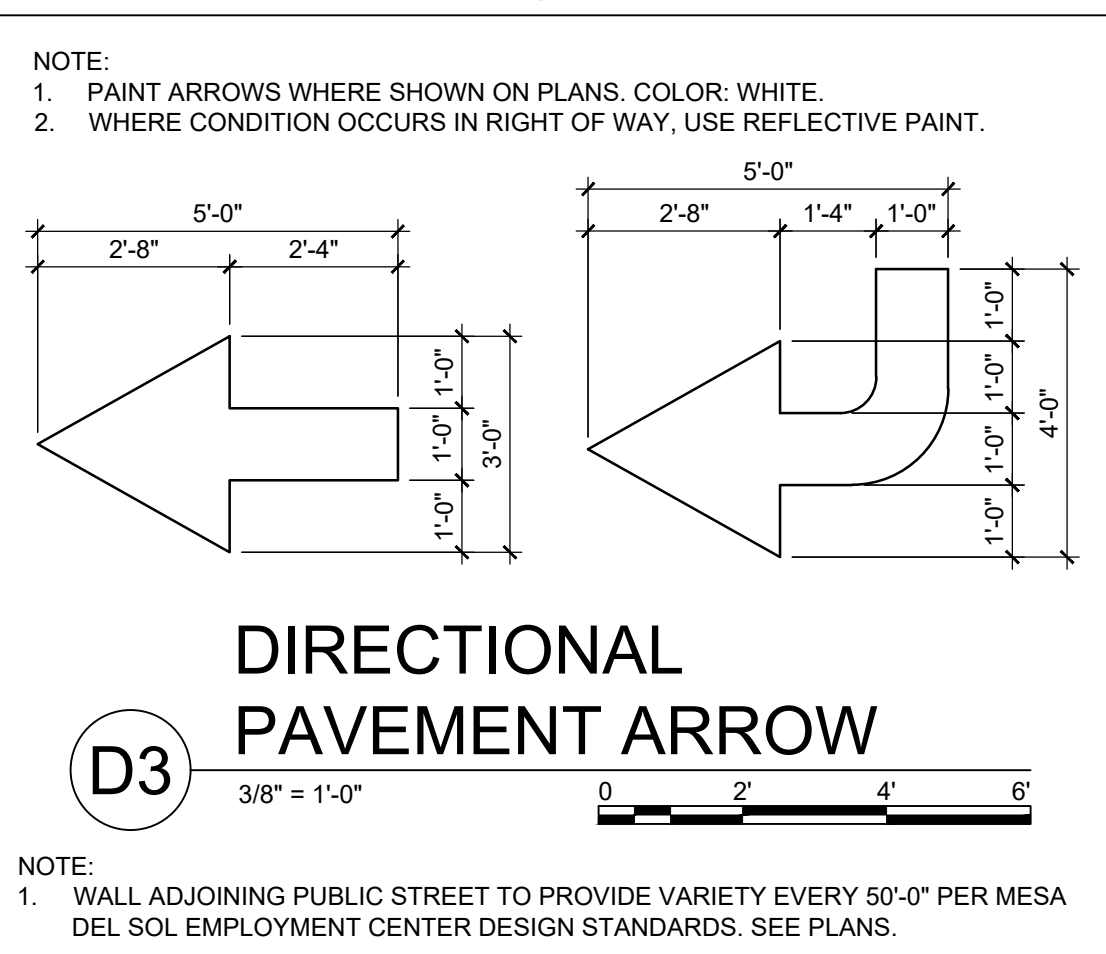
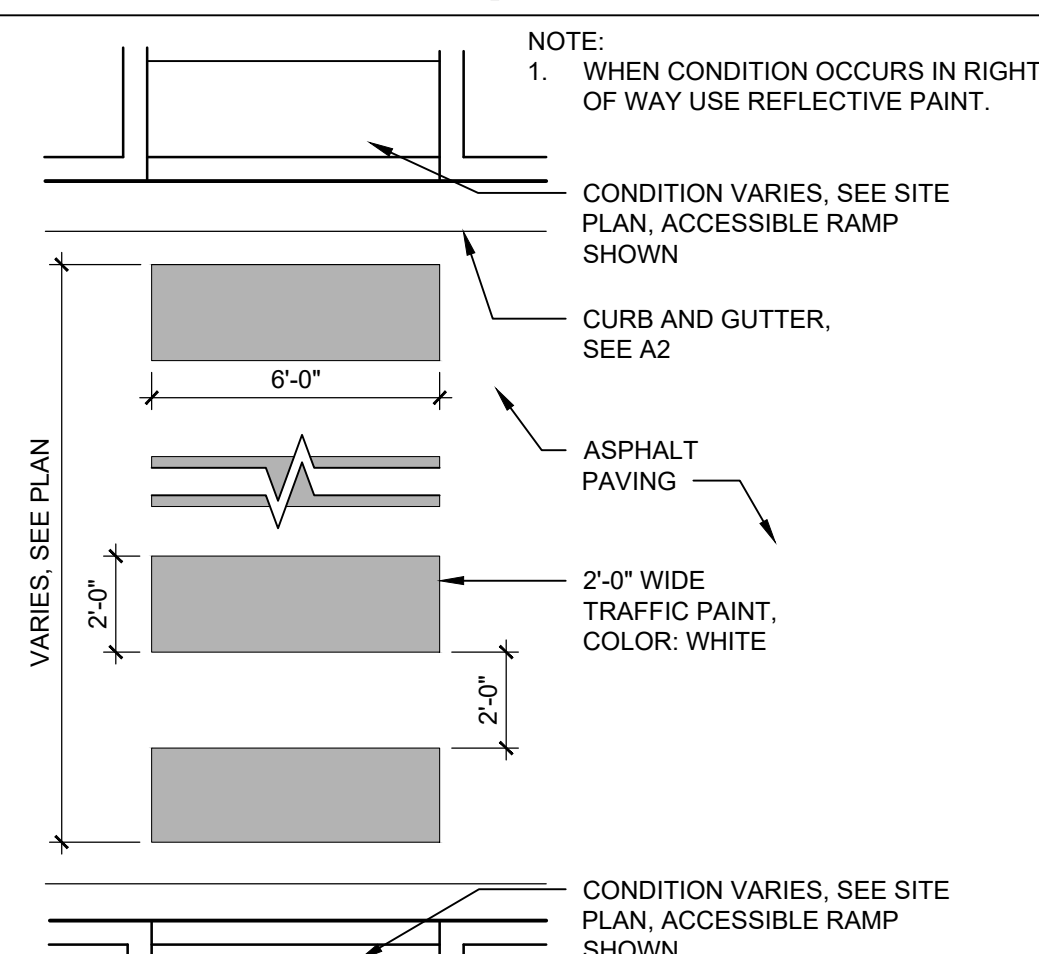
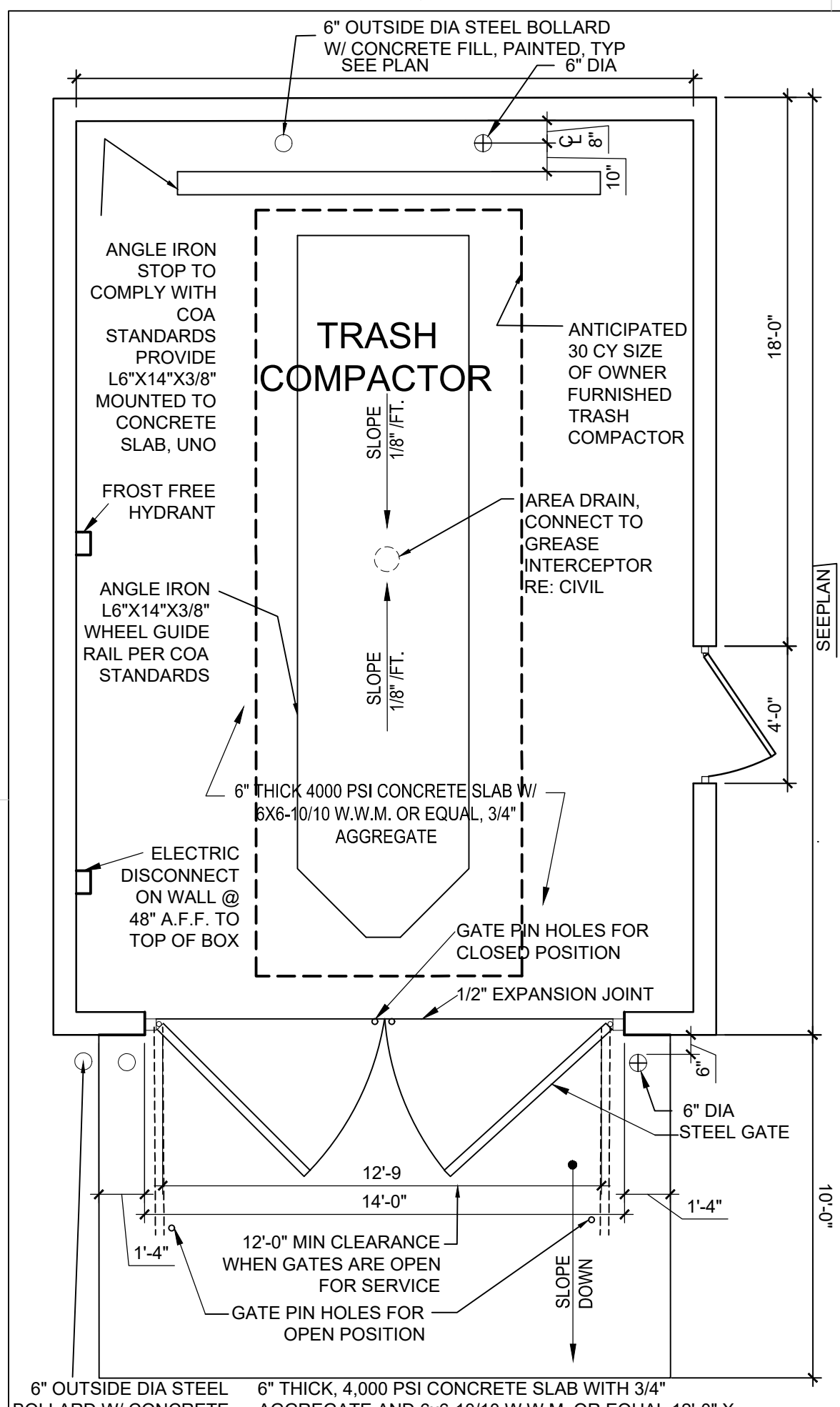
REVISIONS

|   |  |
|---|--|
| △ |  |
| △ |  |
| △ |  |
| △ |  |

|              |             |
|--------------|-------------|
| DRAWN BY     | BG          |
| REVIEWED BY  | JD          |
| DATE         | 10/22/2021  |
| PROJECT NO.  | 20-0072.008 |
| DRAWING NAME |             |

**SITE DEVELOPMENT  
PLAN**

SHEET NO.  
**SDP 1.2**



**DEKKER PERICH SABATINI**

ARCHITECT

ENGINEER

PROJECT

NOT FOR CONSTRUCTION

ABQ Studios Expansion NORTH DEVELOPMENT PACKAGE

5650 University Blvd SE Albuquerque, NM 87106

REVISIONS

DRAWN BY BG

REVIEWED BY JD

DATE 10/22/2021

PROJECT NO. 20-0072.008

DRAWING NAME

SITE DETAILS

SHEET NO. SDP 1.3