



**SHEET INDEX**

SDP 1.0	OVERALL SITE DEVELOPMENT PLAN
SDP 1.1	SITE DEVELOPMENT PLAN
SDP 1.2	SITE DEVELOPMENT PLAN
SDP 1.3	SITE DETAILS
C100	OVERALL GRADING PLAN
C101	GRADING PLAN
C102	GRADING PLAN
C103	GRADING PLAN
C104	GRADING PLAN
C105	GRADING PLAN
C106	GRADING PLAN
C107	GRADING PLAN
C108	GRADING PLAN
C200	OVERALL UTILITY PLAN
C201	UTILITY PLAN
C202	UTILITY PLAN
C203	UTILITY PLAN
C204	UTILITY PLAN
C205	UTILITY PLAN
C206	UTILITY PLAN
C207	UTILITY PLAN
C208	UTILITY PLAN
C209	UTILITY DETAILS
SDP 5.1	EXTERIOR ELEVATIONS (MILL #1)
SAP 5.2	EXTERIOR ELEVATIONS (PRODUCTION SUPPORT SERVICES)
SDP 5.3	EXTERIOR ELEVATIONS (PRODUCTION OFFICE #1)



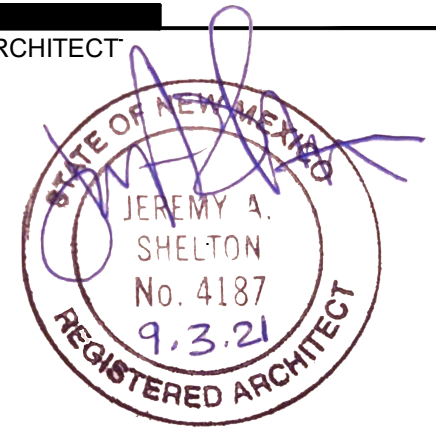
**LOCATION MAP**

N.T.S.  
 SITE ADDRESS: 5650 UNIVERSITY BLVD SE  
 ALBUQUERQUE, NM 87106

# ALBUQUERQUE STUDIOS EXPANSION - NORTH DEVELOPMENT PACKAGE

**DEKKER  
 PERICH  
 SABATINI**

ARCHITECT



ENGINEER

PROJECT

**SITE  
 DEVELOPMENT  
 PLAN SET**

*NOT FOR  
 CONSTRUCTION*

REVISIONS



DRAWN BY

REVIEWED BY

DATE 09/03/2021

PROJECT NO. 20-0072.008

DRAWING NAME

SHEET NO.

**PROJECT TEAM**

**OWNER**

NETFLIX STUDIOS, LLC  
 5808 W. SUNSET BLVD  
 LOS ANGELES, CA 80028

**LANDSCAPE ARCHITECT/ARCHITECT/STRUCTURAL ENGINEER**

DEKKER/PERICH/SABATINI, LTD.  
 7601 JEFFERSON ST NE, SUITE 100  
 ALBUQUERQUE, NM 87109  
 PHONE: 505.761.9700

**CIVIL ENGINEER**

BOHANNAN HUSTON  
 7500 JEFFERSON ST NE  
 ALBUQUERQUE, NM 87109  
 PHONE: 800.877.5332

**ELECTRICAL ENGINEER**

BRIDGERS & PAXTON  
 4600 C MONTGOMERY BLVD. NE  
 ALBUQUERQUE, NM, 87109  
 PHONE: 505.883.4111



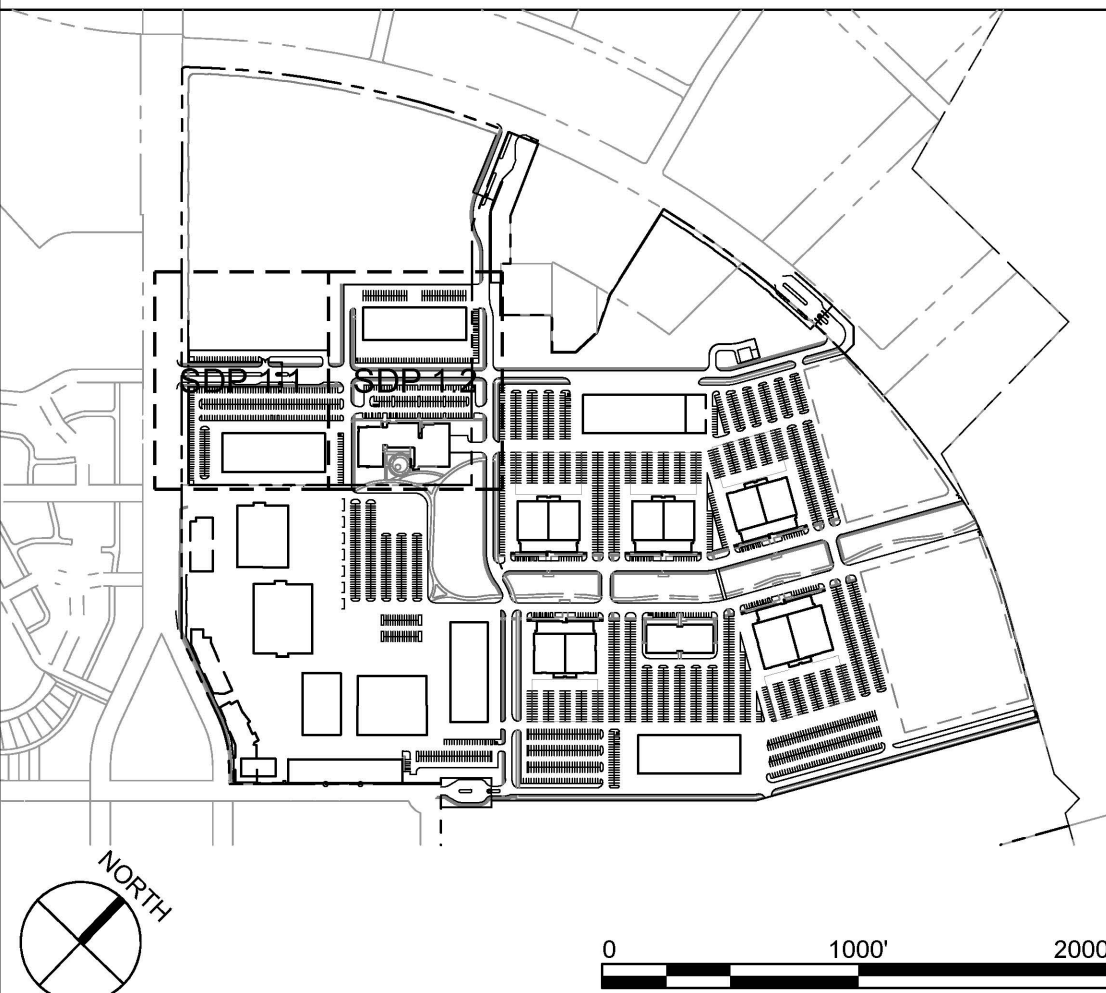
**GENERAL SHEET NOTES**

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- E. CURBS AND ACCESSIBLE RAMPS IN PUBLIC RIGHT OF WAY WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), SECTION 14-16-5-8 OUTDOOR LIGHTING.
- G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- H. LANDSCAPE AND SIGNAGE IN PUBLIC RIGHT OF WAY WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- I. PUBLIC IMPROVEMENTS SHALL BE BUILT PER SEPARATE WORK ORDER DRAWINGS/INFRASTRUCTURE LIST.
- J. A BLANKET CROSS LOT DRAINAGE AND ACCESS EASEMENT WILL BE GRANTED AND MAINTAINED BY THE SAME PROPERTIES ACROSS TRACT P-2 MESA DEL SOL INNOVATION PARK AND TRACT 1 MESA DEL SOL INNOVATION PARK II WITH THE RECORDING OF THESE PLATS.
- K. THIS SITE PLAN SHALL COMPLY WITH WATER AUTHORITY ORDINANCE SECTION 3-2-7. COMPLIANCE SHALL BE IN A MANNER ACCEPTABLE TO THE WATER AUTHORITY.

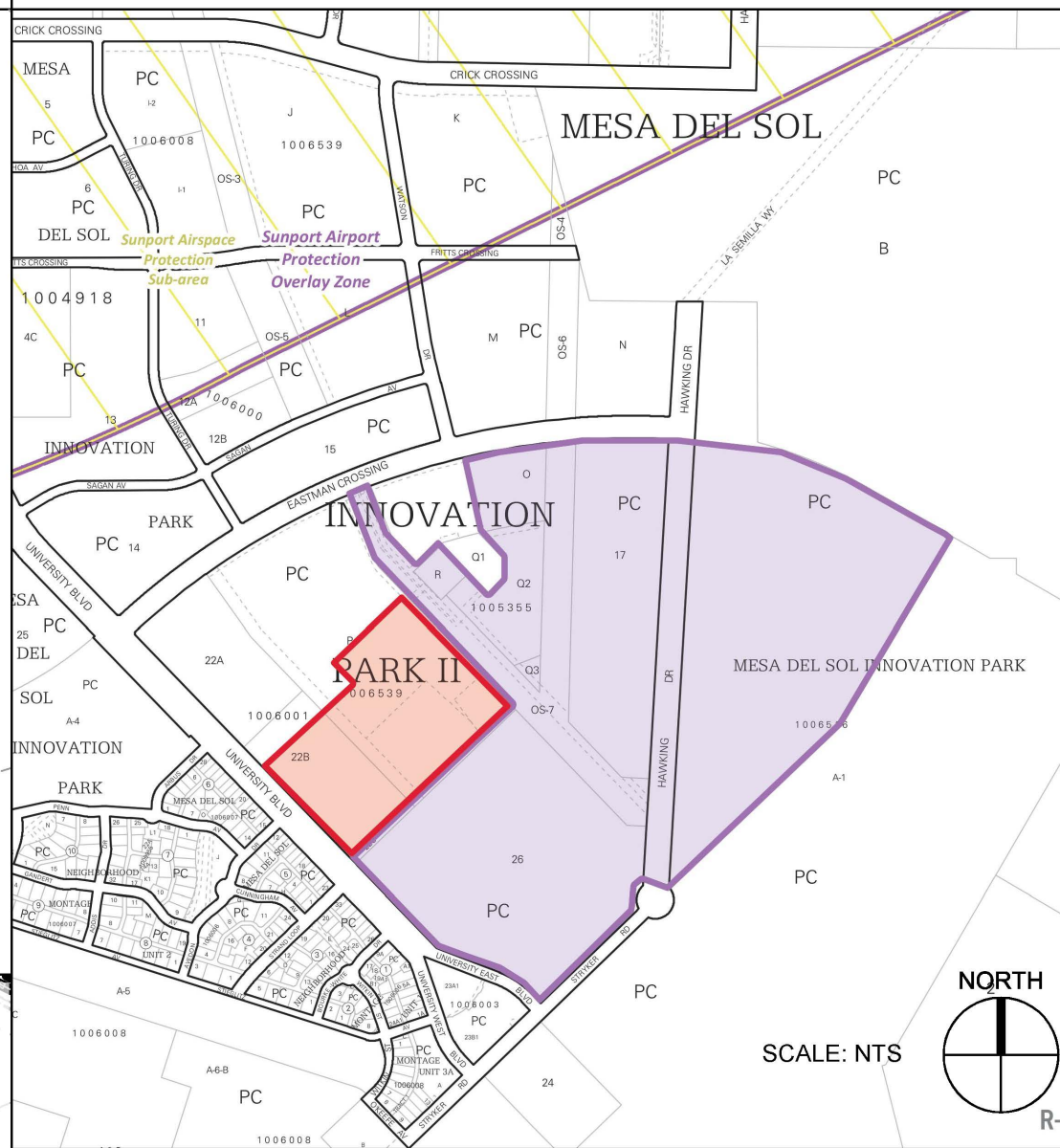
**LEGEND**

- LANDSCAPE AREA, SEE ALTERNATIVE LANDSCAPE PLANS
- LANDSCAPE STABILIZATION AREA, SEE ALTERNATIVE LANDSCAPE PLANS
- ACCENT PAVING/COLORED OR TEXTURED CONCRETE
- MATCH LINE
- PROPERTY LINE
- EAST DEVELOPMENT PACKAGE BOUNDARY
- NORTH DEVELOPMENT PACKAGE BOUNDARY
- LEVEL B BOUNDARY

**KEYPLAN**



**VICINITY MAP**



PROJECT NO.	PR-2021-005629
APPLICATION NO.	SI-2021-01483
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<u>Jeanne Wolfenbarger</u> Jeanne Wolfenbarger (Feb 4, 2022 14:50 MST)	Feb 4, 2022 DATE:
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	
<u>Blaine Carter</u> Blaine Carter (Feb 10, 2022 16:51 MST)	Feb 10, 2022 DATE:
ABQWUA	
<u>Cheryl Somers</u> Cheryl Somers (Feb 4, 2022 17:00 MST)	Feb 4, 2022 DATE:
PARKS & RECREATION DEPARTMENT	
<u>Ernest Armijo</u>	Feb 2, 2022 DATE:
CITY ENGINEER/HYDROLOGY	
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
<b>SEE NEXT SHEET</b>	
SOLID WASTE MANAGEMENT	DATE:
<u>Jeff Palmer</u>	Feb 11, 2022 DATE:
DRB CHAIRPERSON, PLANNING DEPT.	
<u>Jeff Palmer</u> Jeff Palmer (Feb 2, 2022 21:45 MST)	Feb 2, 2022 DATE:
CODE ENFORCEMENT	

**DEKKER  
PERICH  
SABATINI**

ARCHITECT

**NOT FOR  
CONSTRUCTION**

PROJECT

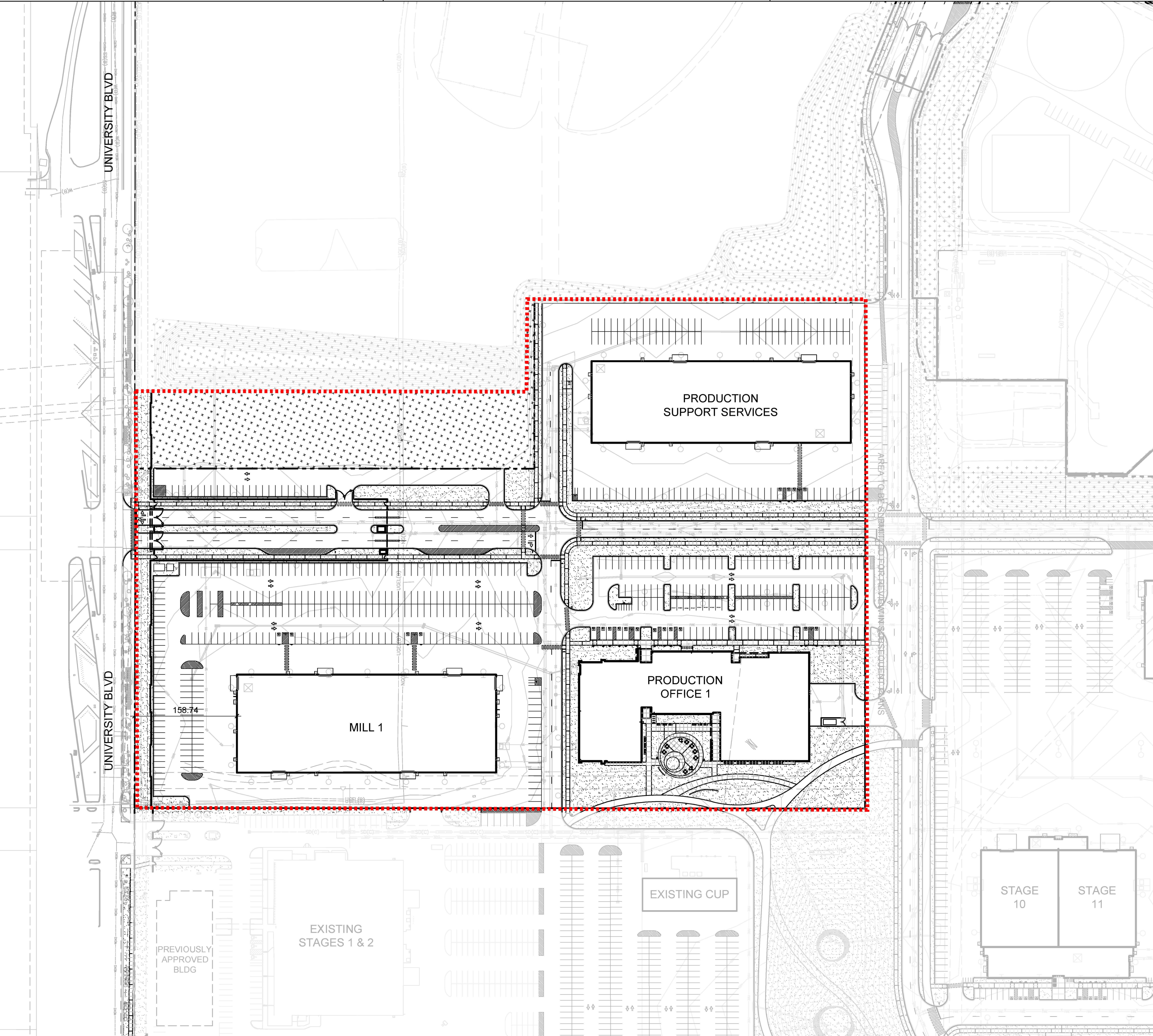
**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 University Blvd SE  
Albuquerque, NM 87106

REVISIONS  
△  
△  
△  
△

DRAWN BY: BG  
REVIEWED BY: JD  
DATE: 10/22/2021  
PROJECT NO.: 20-0072.008  
DRAWING NAME:

**OVERALL SITE  
DEVELOPMENT PLAN**

SHEET NO.  
**SDP 1.0**



**PROJECT DATA**

**ZONING:** PLANNED COMMUNITY (PC)  
**COMP PLAN DESIGNATION:** MESA DEL SOL EMPLOYMENT CENTER  
**LEGAL DESCRIPTION:**  
Tract P-1 Mesa del Sol Innovation Park containing 22.8066 Acres  
Tract P-2 Mesa del Sol Innovation Park containing 18.5393 Acres  
Total Acreage of Plats: 41.350 Acres  
**SITE AREA:** 18.5393 ACRES = 807,571 SF (site submitted)  
**IDO ZONE ATLAS:** R-16-Z (MAY 2018)  
**SETBACKS:** FRONT=0' MIN, SIDE= 10' MIN, REAR= 10' MIN  
setbacks assumed from property/site plan boundary not individual parcels  
**USABLE OPEN SPACE**  
USABLE OPEN SPACE NOT REQUIRED PER IDO Table 5-1-2

**BUILDING INFORMATION**

BUILDING	HEIGHT	GFA	AREA OF LOT COVERED*	BUILDING OCCUPANCY	CONSTR. TYPE	FIRE FLOW	HYDRANTS REQUIRED / PROVIDED
MILL 1	32'-4"	60,786 SF	60,786 SF	F-1	IIB	2,613 GPM	3 / 3
PRODUCTION SUPPORT SERVICES	31'-10"	50,744 SF	50,744 SF	F-1	IIB	2,375 GPM	3 / 3
PRODUCTION OFFICE 1	66'-0"	105,360 SF	49,030 SF	B, A2, A3	IIB	3,375 GPM	3 / 4
<b>TOTAL</b>	-	-	160,560 SF	-	-	-	-

\* this number is used to calculate net lot (see LANDSCAPE PLAN SDP2.0)

**VEHICULAR PARKING**

BUILDING	BUILDING TYPE	IDO PARKING REQUIREMENT*	PARKING REQUIRED	ACCESSIBLE PARKING	PARKING PROVIDED ***	EV CHARGING REQUIRED**	EV CHARGING PROVIDED
MILL 1	LIGHT MANUFACTURING	1 SPACE / 1,000 SF GFA	61	4	71	0	0
PRODUCTION SUPPORT SERVICES	LIGHT MANUFACTURING	1 SPACE / 1,000 SF GFA	51	4	112+19 EAST=131	0	0
PRODUCTION OFFICE**	OFFICE	3.5 SPACES / 1,000 SF GFA	369	12	400+2 EAST=402	8	8
<b>TOTAL</b>			481	20	583+21 EAST=604	8	8

\* IDO Table 5-5-1

\*\* IDO 5-5(C)(9) - when more than 200 off-street parking provided at least 2% parking spaces shall include charging stations

\*\*\* 262 of parking spots at Production Office are provided at location adjacent to Mill 1. Due to the DRB boundary cutting through parking lots, some parking provided is located in package EAST and noted in the table above. These spots are not necessary to comply with parking requirements.

**MOTORCYCLE AND BICYCLE PARKING**

BUILDING	MOTORCYCLE PARKING REQUIRED*	MOTORCYCLE PARKING PROVIDED	BICYCLE PARKING REQUIRED**	BICYCLE PARKING PROVIDED
MILL 1	3	3	3	4
PRODUCTION SUPPORT	2	2	3	4
PRODUCTION OFFICE	6	7	19	20
<b>TOTAL</b>	11	12	25	28

\* IDO Table 5-5-4

\*\* 1 space per 20 car spaces required (Mid Employment Center Design Standards)

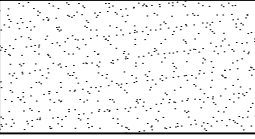
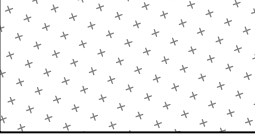






**A1 OVERALL SITE DEVELOPMENT PLAN**  
1" = 100'-0"



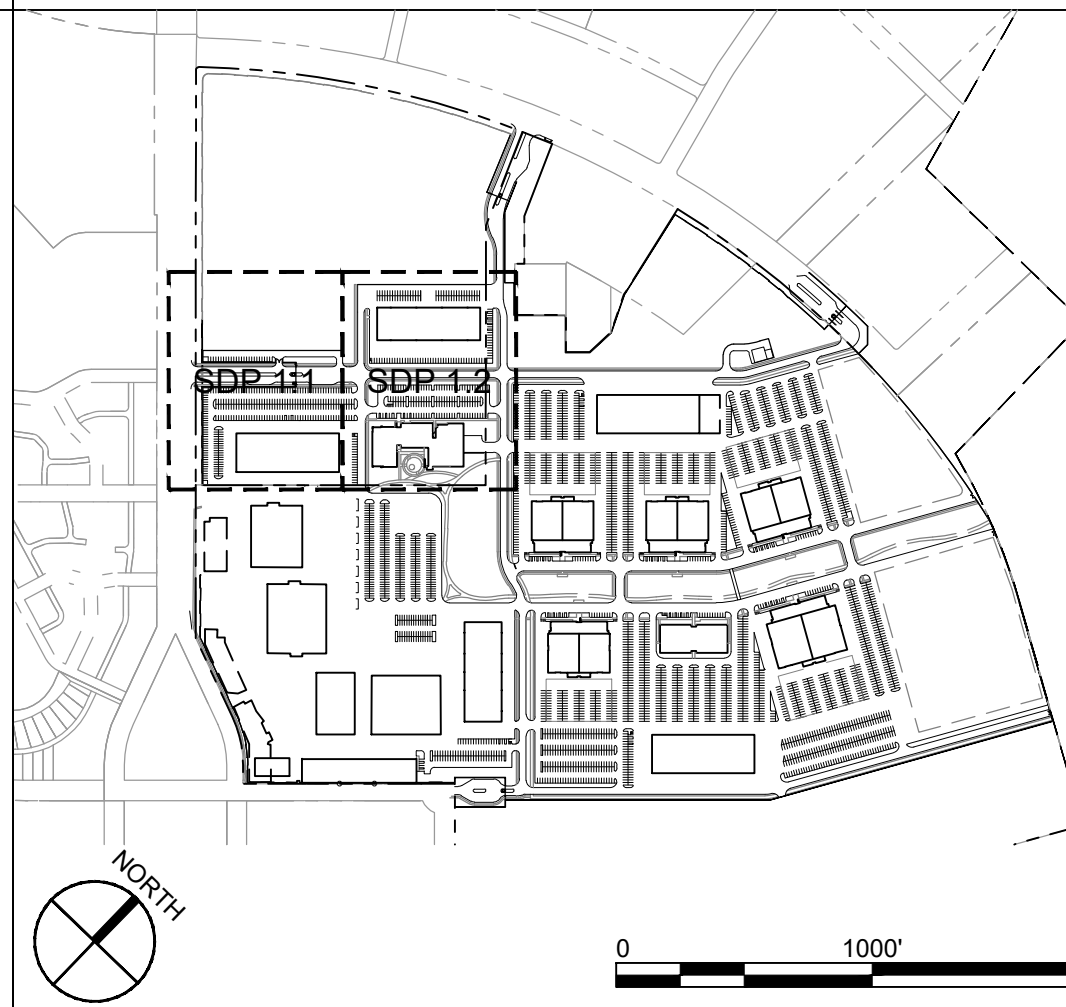
**GENERAL SHEET NOTES**

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- E. CURBS AND ACCESSIBLE RAMPS IN PUBLIC RIGHT OF WAY WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), SECTION 14-16-5-8 OUTDOOR LIGHTING.
- G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- H. LANDSCAPE AND SIGNAGE IN PUBLIC RIGHT OF WAY WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- I. **PUBLIC IMPROVEMENTS SHALL BE BUILT PER SEPARATE WORK ORDER DRAWINGS/INFRASTRUCTURE LIST.**
- J. A BLANKET CROSS LOT DRAINAGE AND ACCESS EASEMENT WILL BE GRANTED AND MAINTAINED BY THE SAME PROPERTIES ACROSS TRACT P-2 MESA DEL SOL INNOVATION PARK AND TRACT 1 MESA DEL SOL INNOVATION PARK II WITH THE RECORDING OF THESE PLATS.

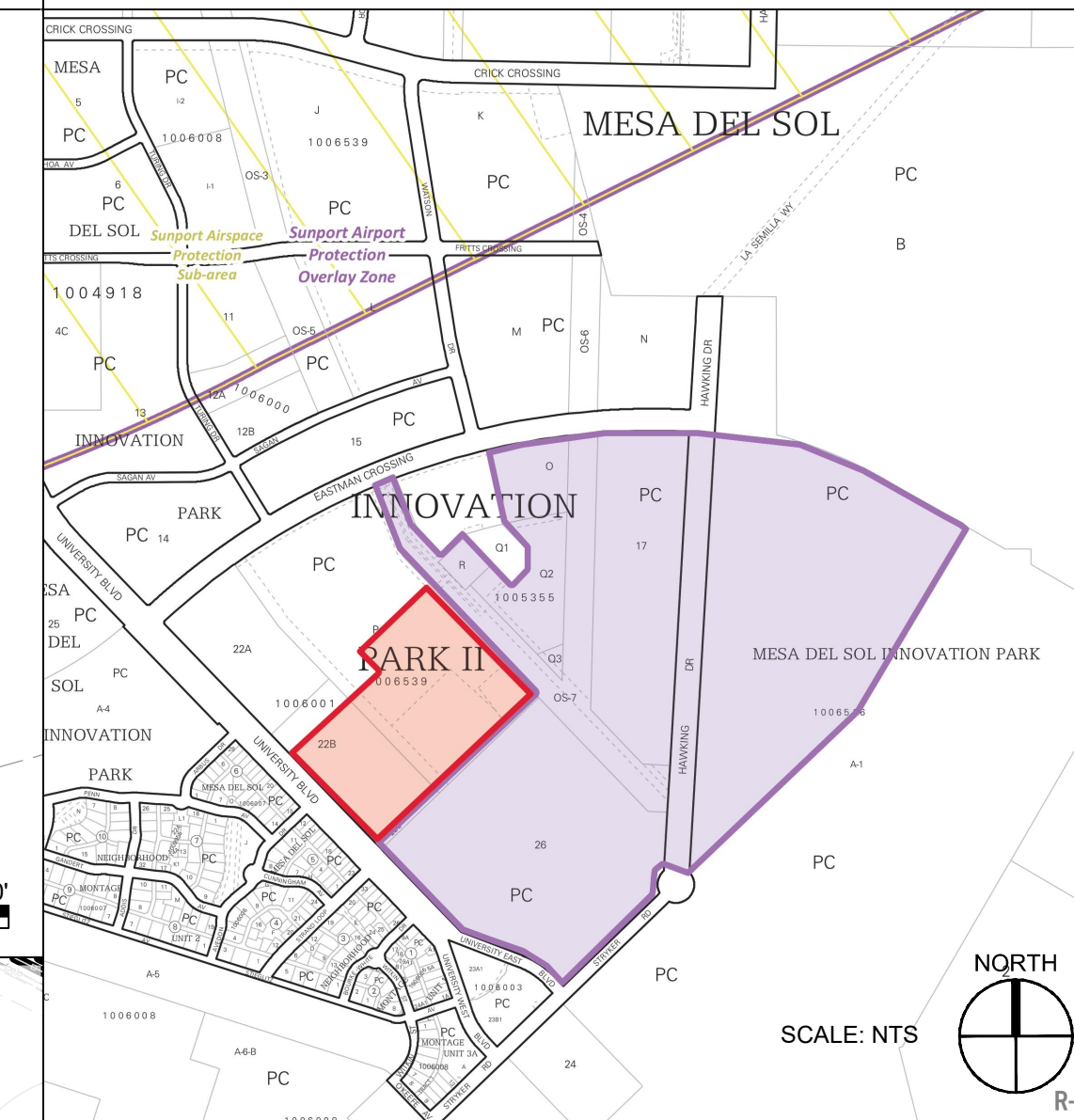
**LEGEND**

-  LANDSCAPE AREA, SEE ALTERNATIVE LANDSCAPE PLANS
-  LANDSCAPE STABILIZATION AREA, SEE ALTERNATIVE LANDSCAPE PLANS
-  ACCENT PAVING/COLORED OR TEXTURED CONCRETE
-  MATCH LINE
-  PROPERTY LINE
-  EAST DEVELOPMENT PACKAGE BOUNDARY
-  NORTH DEVELOPMENT PACKAGE BOUNDARY
-  LEVEL B BOUNDARY

**KEYPLAN**




**VICINITY MAP**



PROJECT NO.	2021-005684
APPLICATION NO.	SI-2021-00975
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [ YES ] [ NO ]. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
ABCWUA	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER/HYDROLOGY	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
Herman Gallegos <i>Herman Gallegos</i>	11-23-21
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:

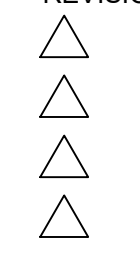
**DEKKER PERICH SABATINI**

ARCHITECT  
  
 ENGINEER

**NOT FOR CONSTRUCTION**

PROJECT

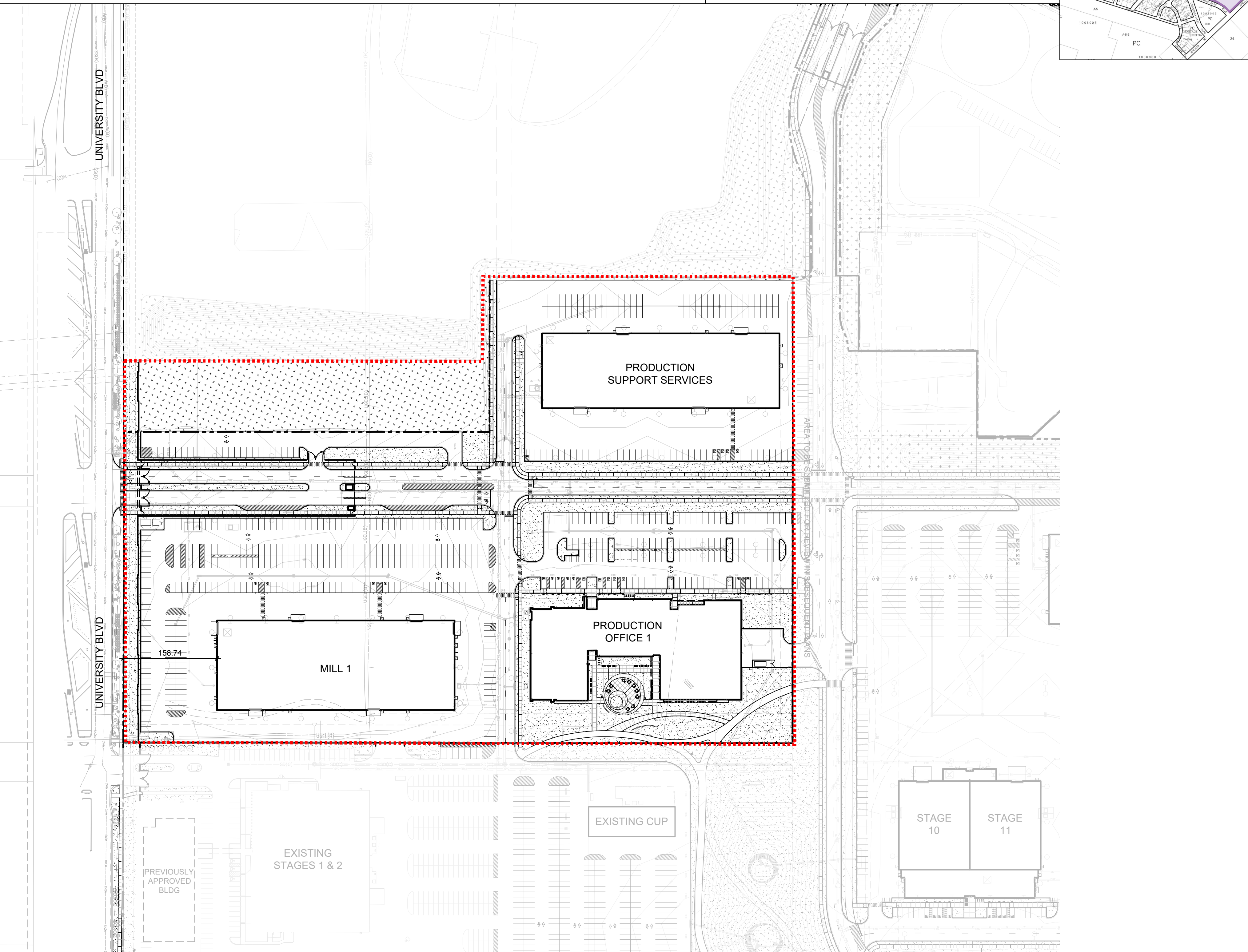
**ABQ Studios Expansion**  
**NORTH DEVELOPMENT PACKAGE**  
 5650 University Blvd SE  
 Albuquerque, NM 87106

REVISIONS  


DRAWN BY: BG  
 REVIEWED BY: JD  
 DATE: 10/22/2021  
 PROJECT NO.: 20-0072.008  
 DRAWING NAME:

**OVERALL SITE DEVELOPMENT PLAN**

SHEET NO.  
**SDP 1.0**



**PROJECT DATA**

**ZONING:** PLANNED COMMUNITY (PC)  
**COMP PLAN DESIGNATION:** MESA DEL SOL EMPLOYMENT CENTER  
**LEGAL DESCRIPTION:**  
 Tract P-1 Mesa del Sol Innovation Park containing 22.8066 Acres  
 Tract P-2 Mesa del Sol Innovation Park containing 18.5393 Acres  
 Total Acreage of Plats= 41.350 Acres  
**SITE AREA:** 18.5393 ACRES = 807,571 SF (site submitted)  
**IDO ZONE ATLAS:** R-16-Z (MAY 2018)  
**SETBACKS:** FRONT=0' MIN, SIDE= 10' MIN, REAR= 10' MIN  
*setbacks assumed from property/site plan boundary not individual parcels*  
**USABLE OPEN SPACE**  
*USABLE OPEN SPACE NOT REQUIRED PER IDO Table 5-1-2*

**BUILDING INFORMATION**

BUILDING	HEIGHT	GFA	AREA OF LOT COVERED*	BUILDING OCCUPANCY	CONSTR. TYPE	FIRE FLOW	HYDRANTS REQUIRED / PROVIDED
MILL 1	32'-4"	60,786 SF	60,786 SF	F-1	IIB	2,613 GPM	3 / 3
PRODUCTION SUPPORT SERVICES	31'-10"	50,744 SF	50,744 SF	F-1	IIB	2,375 GPM	3 / 3
PRODUCTION OFFICE 1	66'-0"	105,360 SF	49,030 SF	B, A2, A3	IIB	3,375 GPM	3 / 4
<b>TOTAL</b>	-	-	160,560 SF	-	-	-	-

\* this number is used to calculate net lot (see LANDSCAPE PLAN SDP2.0)

**VEHICULAR PARKING**

BUILDING	BUILDING TYPE	IDO PARKING REQUIREMENT*	PARKING REQUIRED	ACCESSIBLE PARKING	PARKING PROVIDED ***	EV CHARGING REQUIRED**	EV CHARGING PROVIDED
MILL 1	LIGHT MANUFACTURING	1 SPACE / 1,000 SF GFA	61	4	71	0	0
PRODUCTION SUPPORT SERVICES	LIGHT MANUFACTURING	1 SPACE / 1,000 SF GFA	51	4	112+19 EAST=131	0	0
PRODUCTION OFFICE**	OFFICE	3.5 SPACES / 1,000 SF GFA	369	12	400+2 EAST=402	8	8
<b>TOTAL</b>			481	20	583+21 EAST=604	8	8

\* IDO Table 5-5-1

\*\* IDO 5-5(C)(9) - when more than 200 off-street parking provided at least 2% parking spaces shall include charging stations

\*\*\* 262 of parking spots at Production Office are provided at location adjacent to Mill 1. Due to the DRB boundary cutting through parking lots, some parking provided is located in package EAST and noted in the table above. These spots are not necessary to comply with parking requirements.

**MOTORCYCLE AND BICYCLE PARKING**

BUILDING	MOTORCYCLE PARKING REQUIRED*	MOTORCYCLE PARKING PROVIDED	BICYCLE PARKING REQUIRED**	BICYCLE PARKING PROVIDED
MILL 1	3	3	3	4
PRODUCTION SUPPORT	2	2	3	4
PRODUCTION OFFICE	6	7	19	20
<b>TOTAL</b>	11	12	25	28

\* IDO Table 5-5-4

\*\* 1 space per 20 car spaces required (Mds Employment Center Design Standards)

**A1 OVERALL SITE DEVELOPMENT PLAN**  
 1" = 100'-0"  




# GENERAL SHEET NOTES

SEE SDP 1.0

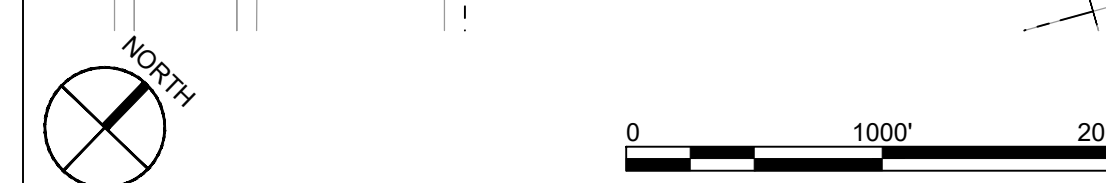
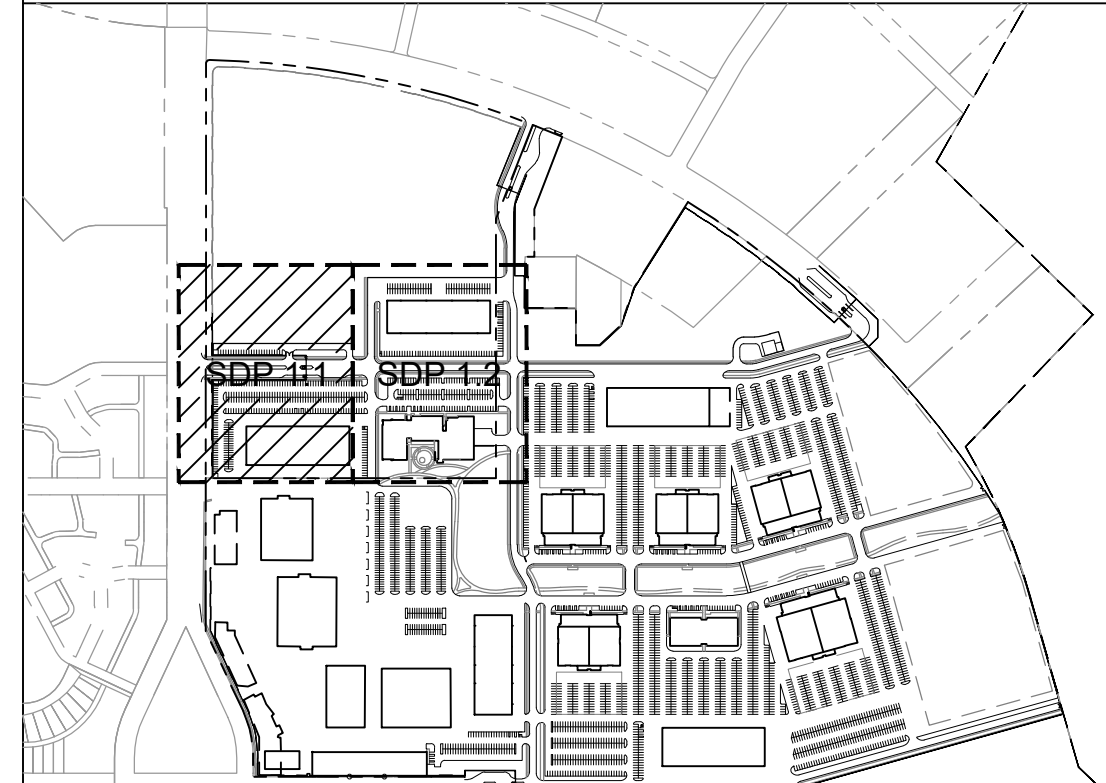
# SHEET KEYNOTES

CODE	DESCRIPTION
1	EXISTING CONCRETE CURB
2	EXISTING LANDSCAPE
3	EXISTING SIDEWALK
4	EXISTING FENCE/WALL
5	EXISTING CURB TO BE REMOVED
6	EXISTING SIDEWALK TO BE REMOVED
7	EXISTING LANDSCAPE TO BE REMOVED AND IRRIGATION MODIFIED
8	EXISTING LIGHT POLE
9	EXISTING EASEMENT
10	EXISTING MEDIAN
11	EXISTING LIGHT POLE TO BE REMOVED
12	CONCRETE ACCESSIBLE RAMP, SEE D4/SDP 1.3
13	CONCRETE CURB AND GUTTER, SEE A2/SDP 1.3
14	CONCRETE SIDEWALK, SEE B5/SDP 1.3
15	DETECTABLE WARNING SURFACE IN PUBLIC R.O.W, SEE C5/SDP 1.3
16	ASPHALT TRAIL, 12'-0" WIDTH
17	ASPHALT MARKINGS: DIRECTIONAL PAVEMENT ARROW, COLOR: WHITE, SEE D3/SDP 1.3
18	ASPHALT MARKINGS: PARKING STRIPING, COLOR: WHITE
19	ASPHALT MARKINGS: STOP BAR, COLOR: WHITE
20	ASPHALT MARKINGS: PAINTED CROSSWALK, COLOR: WHITE, SEE D2/SDP 1.3
21	ASPHALT MARKINGS: STRIPING, COLOR: WHITE
22	ASPHALT PAVING
23	FIRE LANE STRIPING, COLOR: RED, SEE B5.2/SDP 1.3
24	CMU WALL WITH STUCCO FINISH, 10' HEIGHT, COLOR: MATCH EXISTING, SEE C3/SDP 1.3
25	CMU WALL WITH INTEGRAL COLOR, 10' HEIGHT, SEE C3/SDP 1.3
26	ENTRANCE OVERHEAD GATE SIGN TO MATCH EXISTING
27	GUARD BOOTH ON CONCRETE PAD
28	GUARD ARM GATE
29	SITE SIGNAGE: STOP SIGN, SEE B1/SDP 1.3
30	SITE SIGNAGE: ACCESSIBLE PARKING, SEE B1/SDP 1.3
31	SITE SIGNAGE: VAN ACCESSIBLE PARKING, SEE B1/SDP 1.3
32	SITE SIGNAGE: MOTORCYCLE PARKING ONLY, SEE B1/SDP 1.3
33	SITE SIGNAGE: YIELD TO PEDESTRIANS/BIKE, SEE B1/SDP 1.3
34	SITE SIGNAGE: DROP OFF AND PICK UP ONLY, SEE B1/SDP 1.3
35	BICYCLE RACK, SEE D5/SDP 1.3
36	NOT USED
37	EV CHARGING STATION WITH TWO PORTS, CONCRETE PAD AND PROTECTIVE BOLLARDS
38	COMPACTOR IN ENCLOSURE TO COMPLY WITH IDO/SOLID WASTE REQUIREMENTS, SEE C1/SDP 1.3
39	CLEAR SIGHT TRIANGLE
40	ELECTRIC TRANSFORMER ON CONCRETE PAD WITH PROTECTIVE BOLLARDS PER PNM
41	EDGE OF ASPHALT
42	CLOSABLE GATE, 10'-0" HEIGHT, NON-CLIMBABLE METAL, GATE TO REMAIN OPEN AND BE CLOSED DURING EMERGENCIES ONLY
43	PEDESTRIAN GATE, 10'-0" HEIGHT, METAL
44	PERPENDICULAR CONCRETE ACCESSIBLE RAMP, SEE B2/SDP 1.3
45	CONCRETE RAMP AT ACCESSIBLE PARKING, SEE B3/SDP 1.3

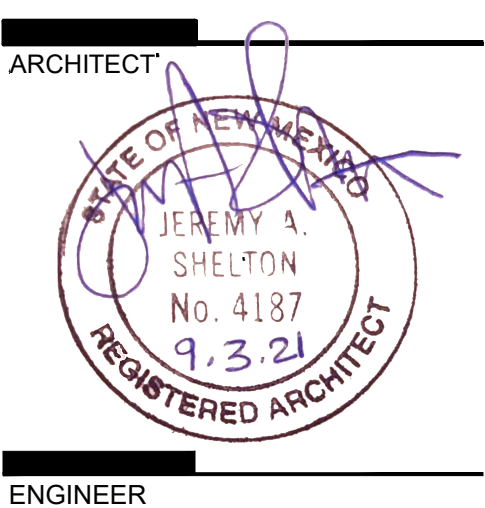
# LEGEND

	LANDSCAPE AREA, SEE ALTERNATIVE LANDSCAPE PLAN
	LANDSCAPE STABILIZATION AREA, SEE ALTERNATIVE LANDSCAPE PLAN
	ACCENT PAVING/COLORED OR TEXTURED CONCRETE
	MATCH LINE
	PROPERTY LINE
	EAST DEVELOPMENT PACKAGE BOUNDARY
	NORTH DEVELOPMENT PACKAGE BOUNDARY
	LEVEL B BOUNDARY
	TABLE AND CHAIRS
	BENCH
	SITE LIGHTING, SEE ELECTRICAL

# KEYPLAN



**DEKKER  
PERICH  
SABATINI**



**NOT FOR  
CONSTRUCTION**

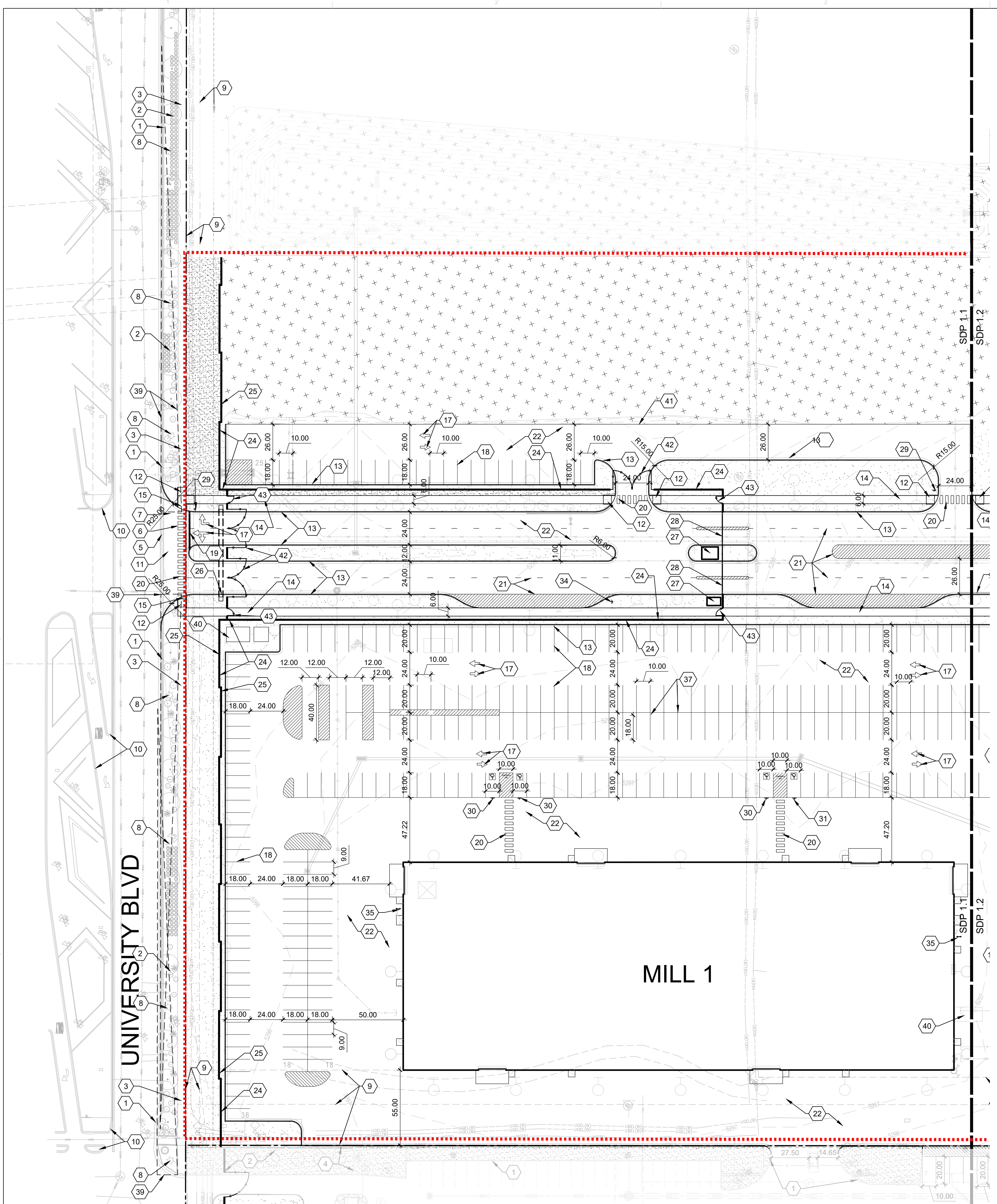
**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 University Blvd SE  
Albuquerque, NM 87106

REVISIONS
△
△
△
△

DRAWN BY	BG
REVIEWED BY	JD
DATE	10/22/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

**SITE DEVELOPMENT  
PLAN**

SHEET NO.  
**SDP 1.1**



**A1 SITE DEVELOPMENT PLAN**  
1" = 40'-0"



### GENERAL SHEET NOTES

SEE SDP 1.0

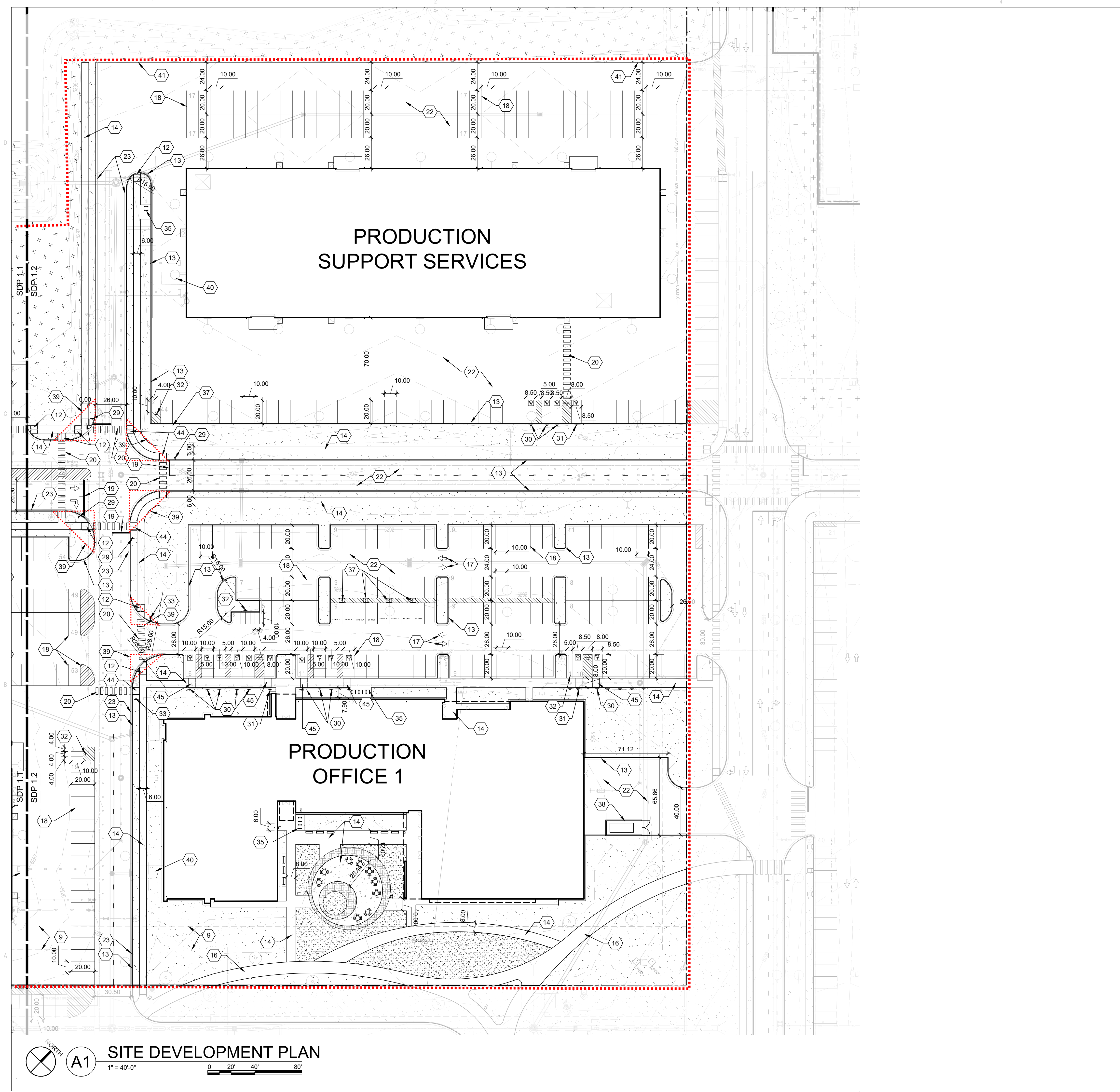
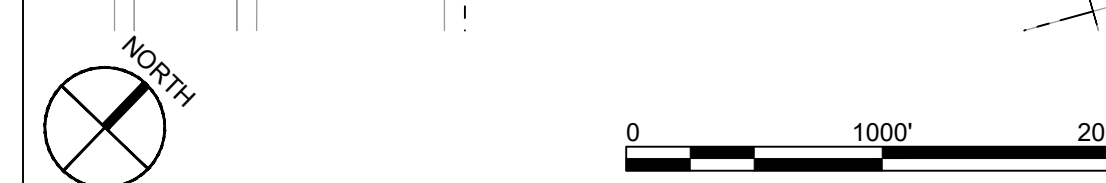
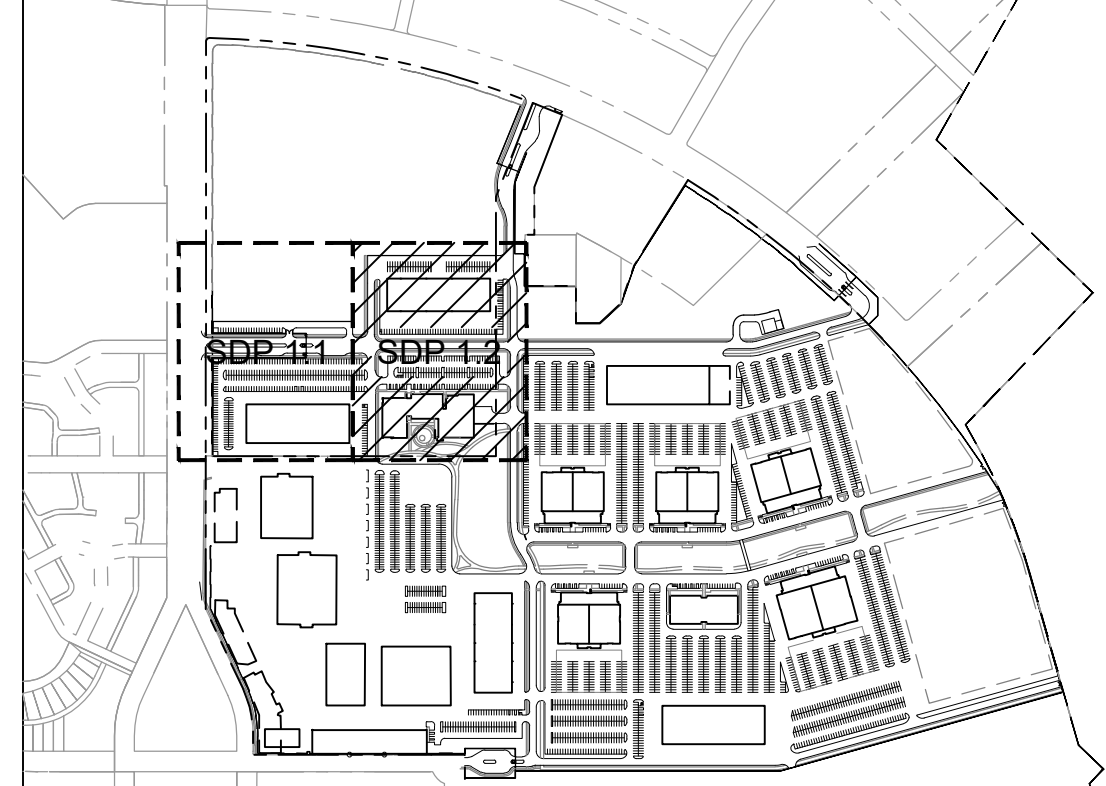
### SHEET KEYNOTES

CODE	DESCRIPTION
1	EXISTING CONCRETE CURB
2	EXISTING LANDSCAPE
3	EXISTING SIDEWALK
4	EXISTING FENCE/WALL
5	EXISTING CURB TO BE REMOVED
6	EXISTING SIDEWALK TO BE REMOVED
7	EXISTING LANDSCAPE TO BE REMOVED AND IRRIGATION MODIFIED
8	EXISTING LIGHT POLE
9	EXISTING EASEMENT
10	EXISTING MEDIAN
11	EXISTING LIGHT POLE TO BE REMOVED
12	CONCRETE ACCESSIBLE RAMP, SEE D4/SDP 1.3
13	CONCRETE CURB AND GUTTER, SEE A2/SDP 1.3
14	CONCRETE SIDEWALK, SEE B5/SDP 1.3
15	DETECTABLE WARNING SURFACE IN PUBLIC R.O.W., SEE C5/SDP 1.3
16	ASPHALT TRAIL, 12'-0" WIDTH
17	ASPHALT MARKINGS: DIRECTIONAL PAVEMENT ARROW, COLOR: WHITE, SEE D3/SDP 1.3
18	ASPHALT MARKINGS: PARKING STRIPING, COLOR: WHITE
19	ASPHALT MARKINGS: STOP BAR, COLOR: WHITE
20	ASPHALT MARKINGS: PAINTED CROSSWALK, COLOR: WHITE, SEE D2/SDP 1.3
21	ASPHALT MARKINGS: STRIPING, COLOR: WHITE
22	ASPHALT PAVING
23	FIRE LANE STRIPING, COLOR: RED, SEE B5.2/SDP 1.3
24	CMU WALL WITH STUCCO FINISH, 10' HEIGHT, COLOR: MATCH EXISTING, SEE C3/SDP 1.3
25	CMU WALL WITH INTEGRAL COLOR, 10' HEIGHT, SEE C3/SDP 1.3
26	ENTRANCE OVERHEAD GATE SIGN TO MATCH EXISTING
27	GUARD BOOTH ON CONCRETE PAD
28	GUARD ARM GATE
29	SITE SIGNAGE: STOP SIGN, SEE B1/SDP 1.3
30	SITE SIGNAGE: ACCESSIBLE PARKING, SEE B1/SDP 1.3
31	SITE SIGNAGE: VAN ACCESSIBLE PARKING, SEE B1/SDP 1.3
32	SITE SIGNAGE: MOTORCYCLE PARKING ONLY, SEE B1/SDP 1.3
33	SITE SIGNAGE: YIELD TO PEDESTRIANS/BIKE, SEE B1/SDP 1.3
34	SITE SIGNAGE: DROP OFF AND PICK UP ONLY, SEE B1/SDP 1.3
35	BICYCLE RACK, SEE D5/SDP 1.3
36	NOT USED
37	EV CHARGING STATION WITH TWO PORTS, CONCRETE PAD AND PROTECTIVE BOLLARDS
38	COMPACTOR IN ENCLOSURE TO COMPLY WITH IDO/SOLID WASTE REQUIREMENTS, SEE C1/SDP 1.3
39	CLEAR SIGHT TRIANGLE
40	ELECTRIC TRANSFORMER ON CONCRETE PAD WITH PROTECTIVE BOLLARDS PER PNM
41	EDGE OF ASPHALT
42	CLOSABLE GATE, 10'-0" HEIGHT, NON-CLIMBABLE METAL, GATE TO REMAIN OPEN AND BE CLOSED DURING EMERGENCIES ONLY
43	PEDESTRIAN GATE, 10'-0" HEIGHT, METAL
44	PERPENDICULAR CONCRETE ACCESSIBLE RAMP, SEE B2/SDP 1.3
45	CONCRETE RAMP AT ACCESSIBLE PARKING, SEE B3/SDP 1.3

### LEGEND

	LANDSCAPE AREA, SEE ALTERNATIVE LANDSCAPE PLAN
	LANDSCAPE STABILIZATION AREA, SEE ALTERNATIVE LANDSCAPE PLAN
	ACCENT PAVING/COLORED OR TEXTURED CONCRETE
	MATCH LINE
	PROPERTY LINE
	EAST DEVELOPMENT PACKAGE BOUNDARY
	NORTH DEVELOPMENT PACKAGE BOUNDARY
	LEVEL B BOUNDARY
	TABLE AND CHAIRS
	BENCH
	SITE LIGHTING, SEE ELECTRICAL

### KEYPLAN



**DEKKER  
PERICH  
SABATINI**



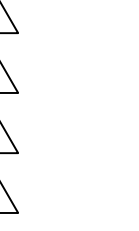
ENGINEER

**NOT FOR  
CONSTRUCTION**

PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 University Blvd SE  
Albuquerque, NM 87106

REVISIONS



DRAWN BY	BG
REVIEWED BY	JD
DATE	10/22/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

**SITE DEVELOPMENT  
PLAN**

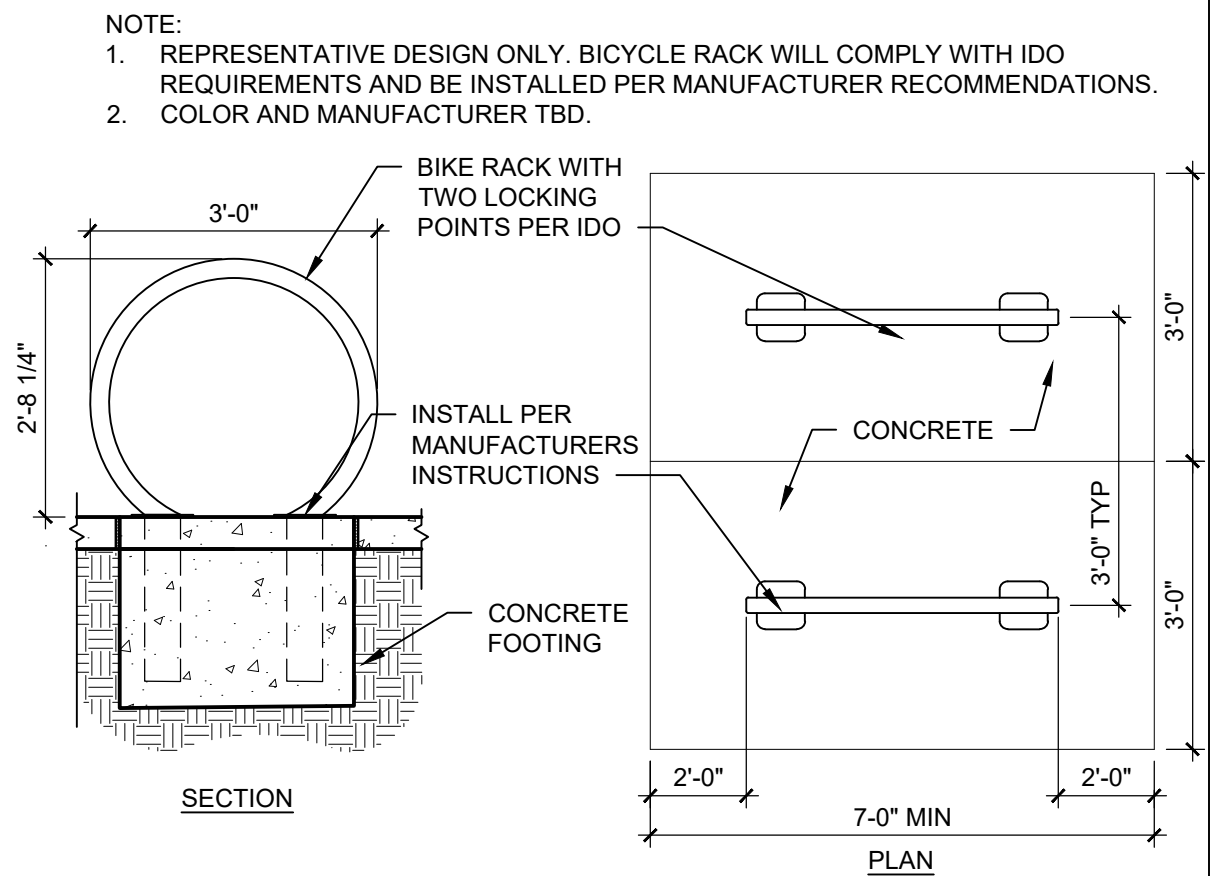
SHEET NO.

**SDP 1.2**

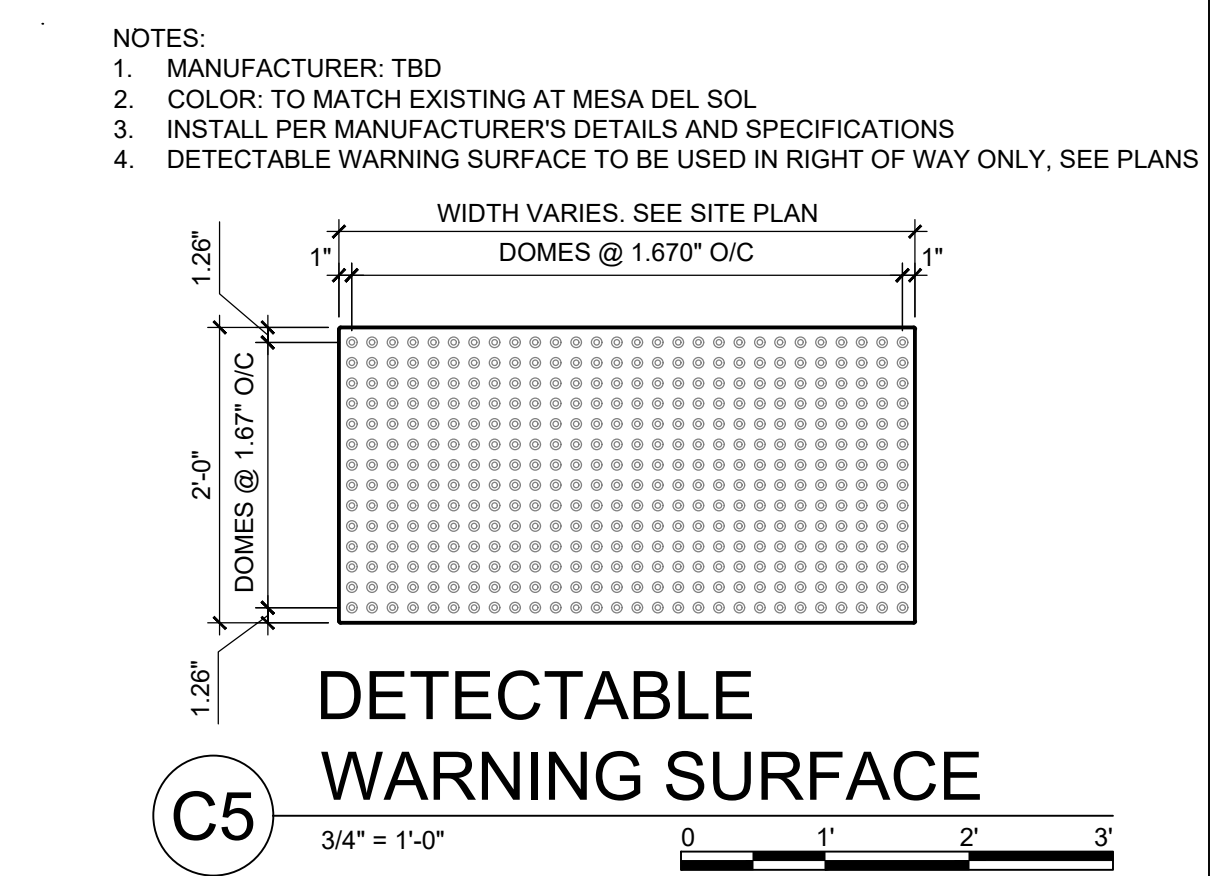


REVISIONS

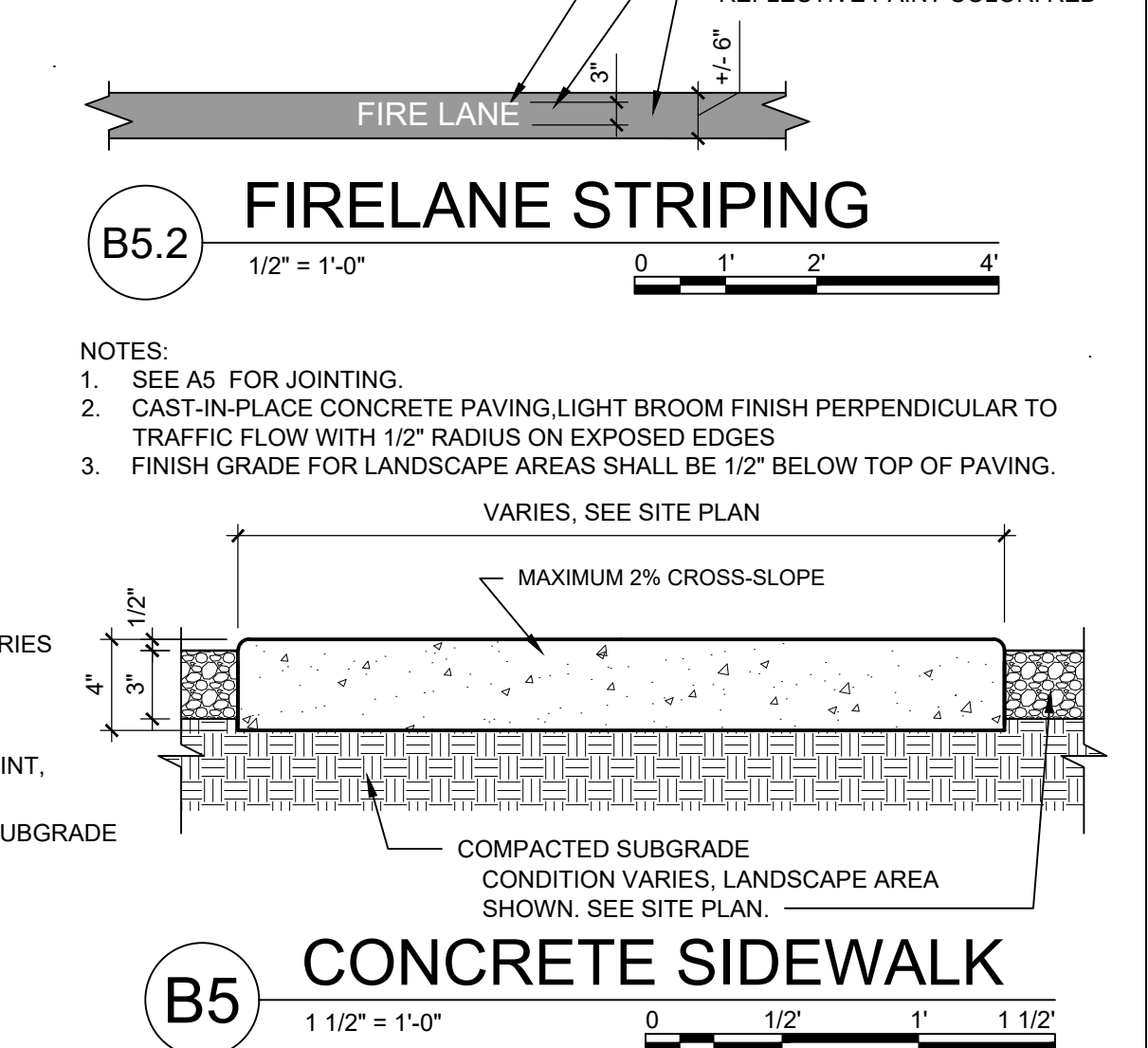

DRAWN BY	BG
REVIEWED BY	JD
DATE	10/22/2021
PROJECT NO.	20-0072.008
DRAWING NAME	SITE DETAILS



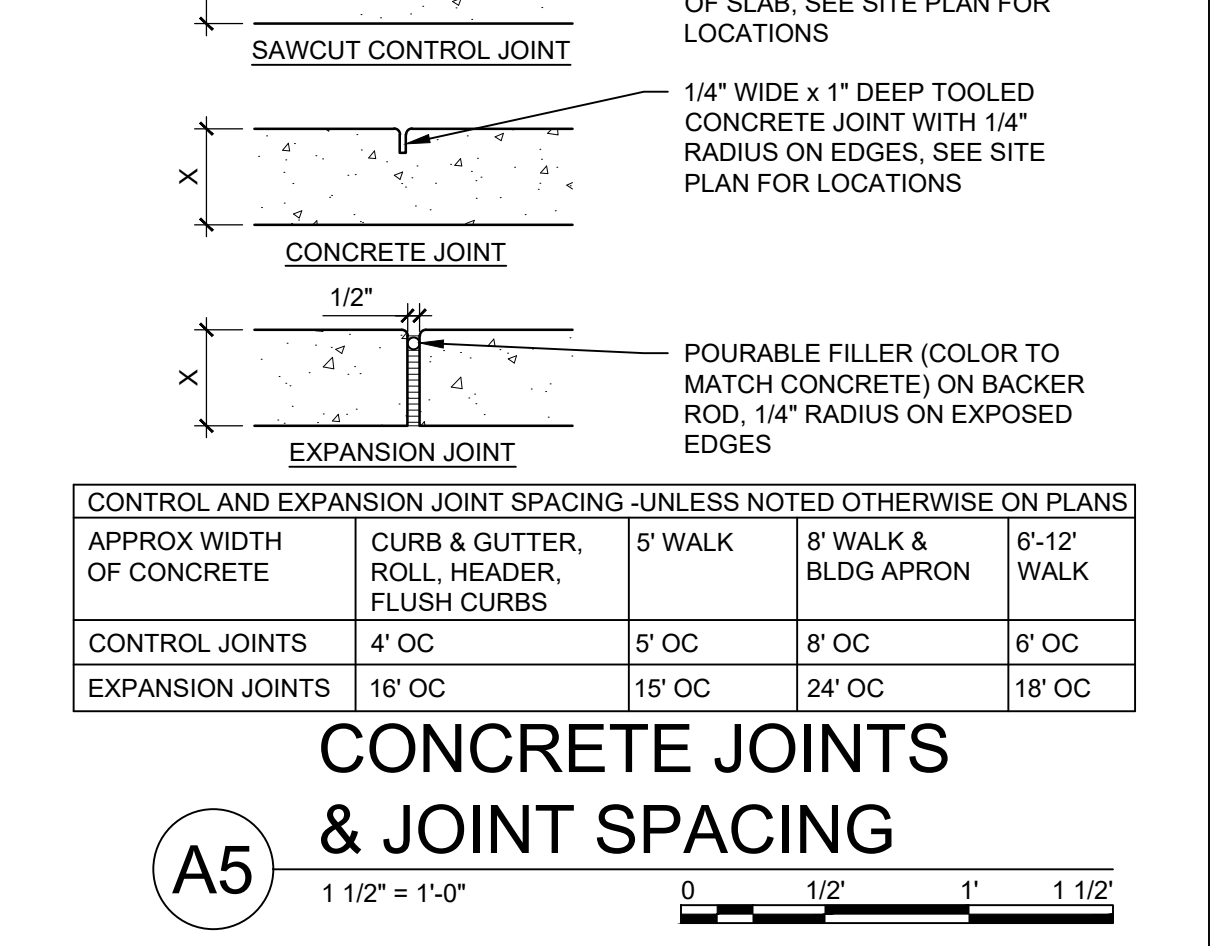
**D5 BICYCLE RACK**  
 1/2" = 1'-0"



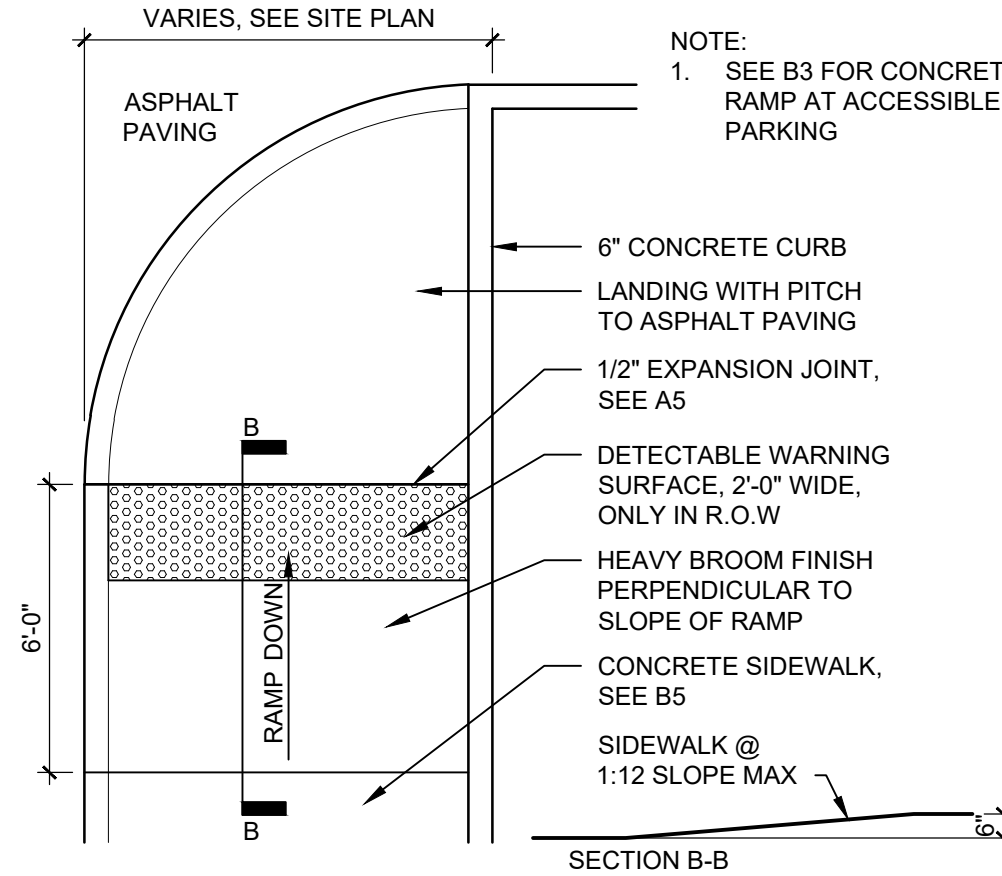
**C5 DETECTABLE WARNING SURFACE**  
 3/4" = 1'-0"



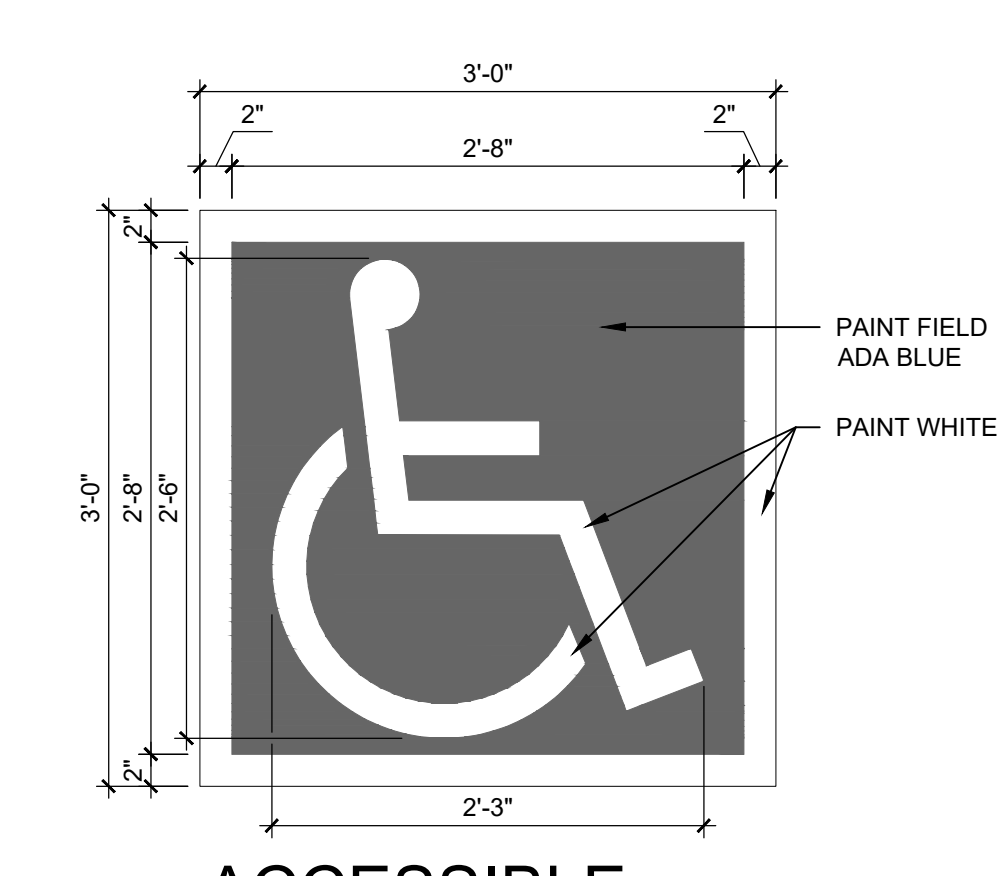
**B5.2 FIRELANE STRIPING**  
 1/2" = 1'-0"



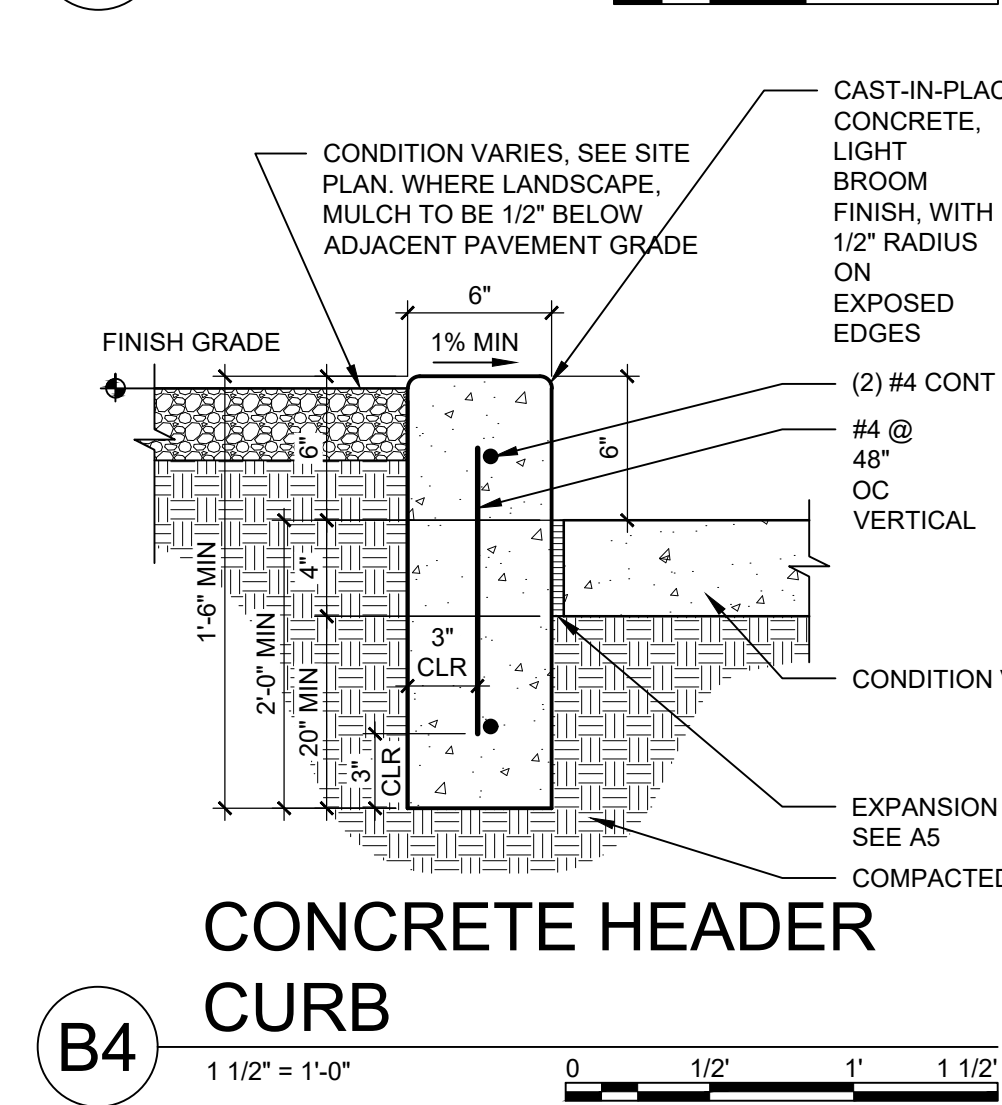
**A5 CONCRETE JOINTS & JOINT SPACING**  
 1 1/2" = 1'-0"



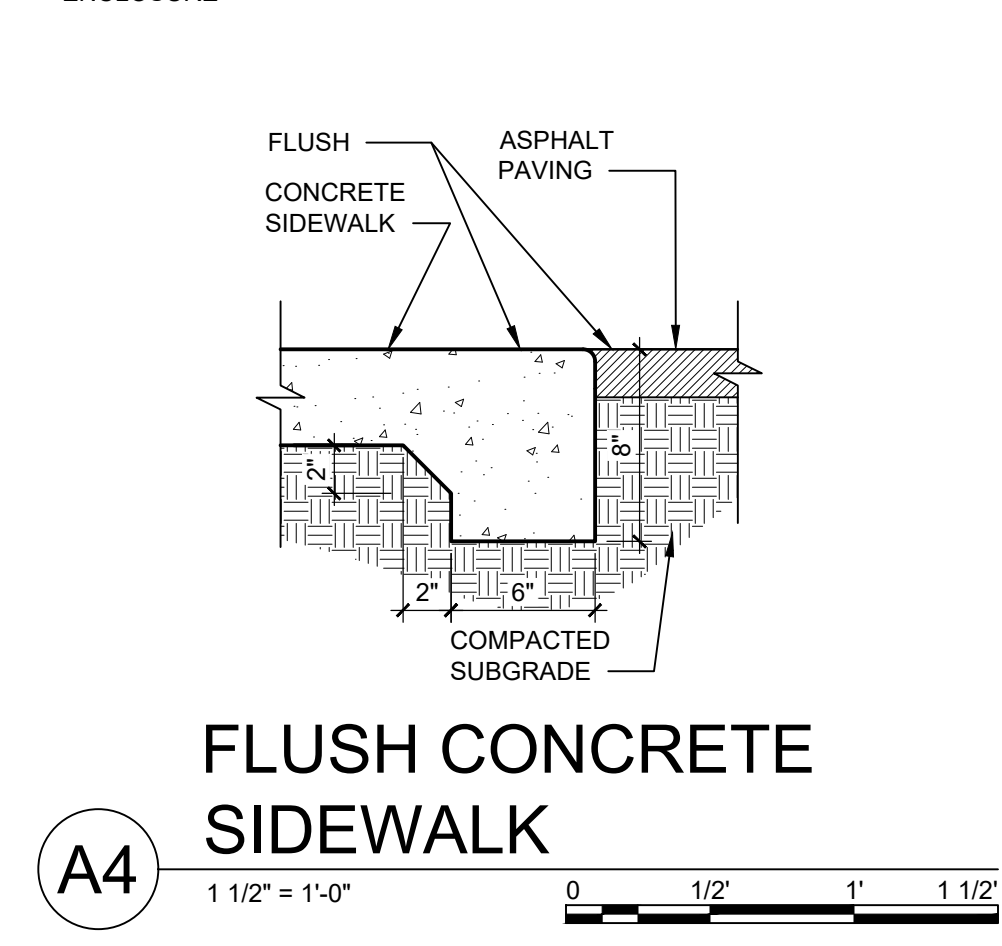
**D4 CONCRETE ACCESSIBLE RAMP**  
 1/4" = 1'-0"



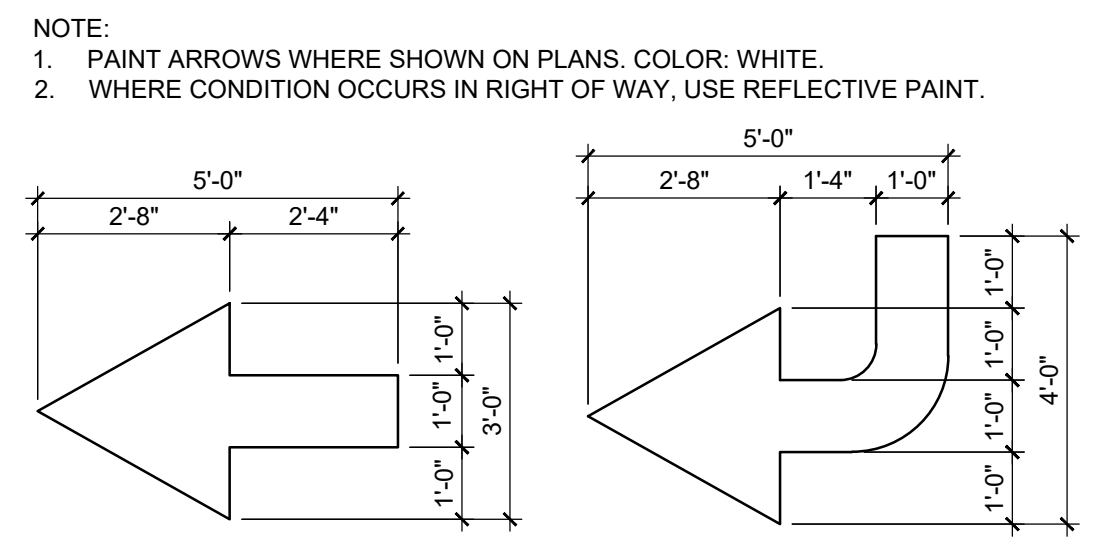
**C4 ACCESSIBLE PAVEMENT MARKING**  
 1" = 1'-0"



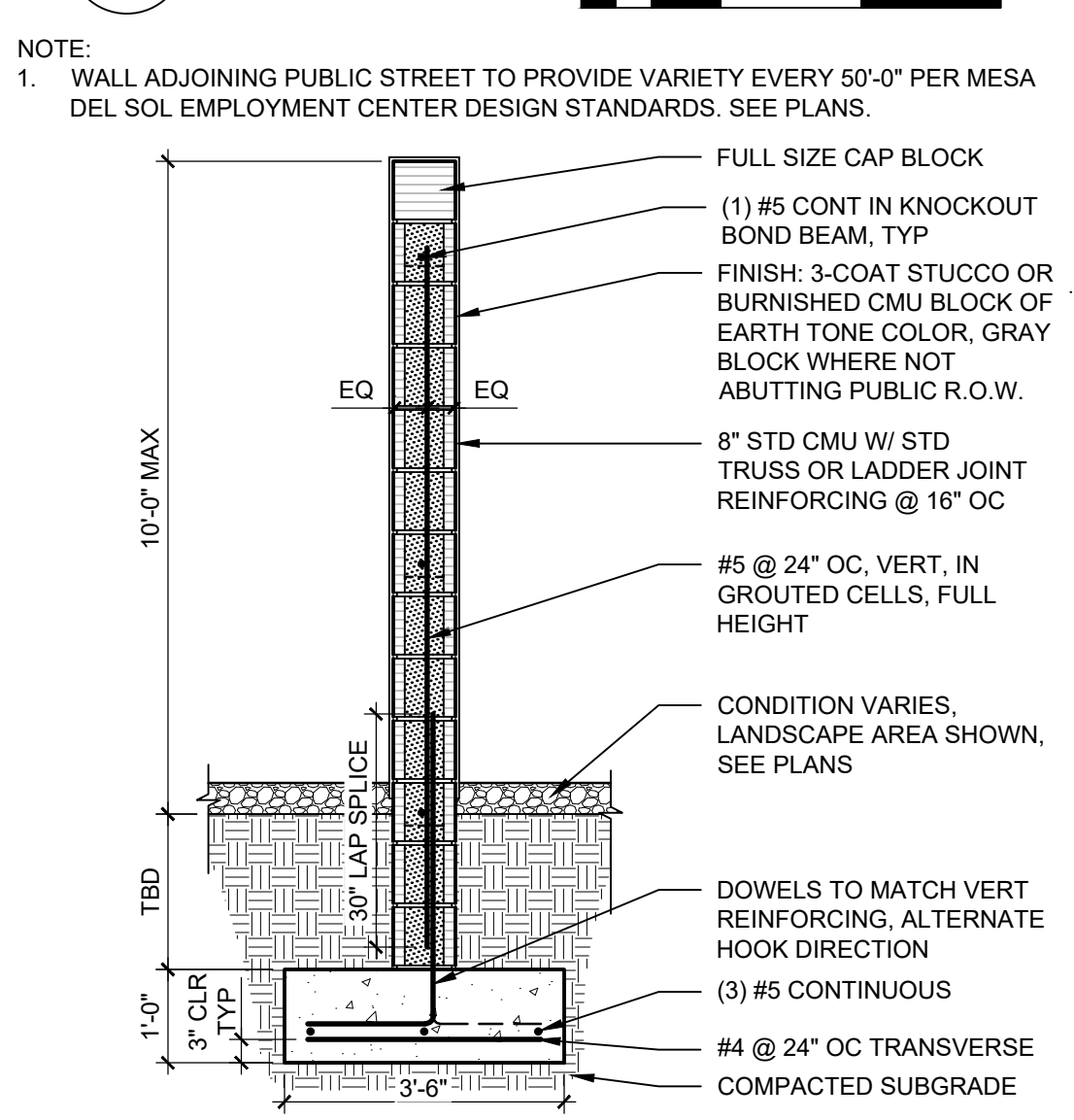
**B4 CONCRETE HEADER CURB**  
 1 1/2" = 1'-0"



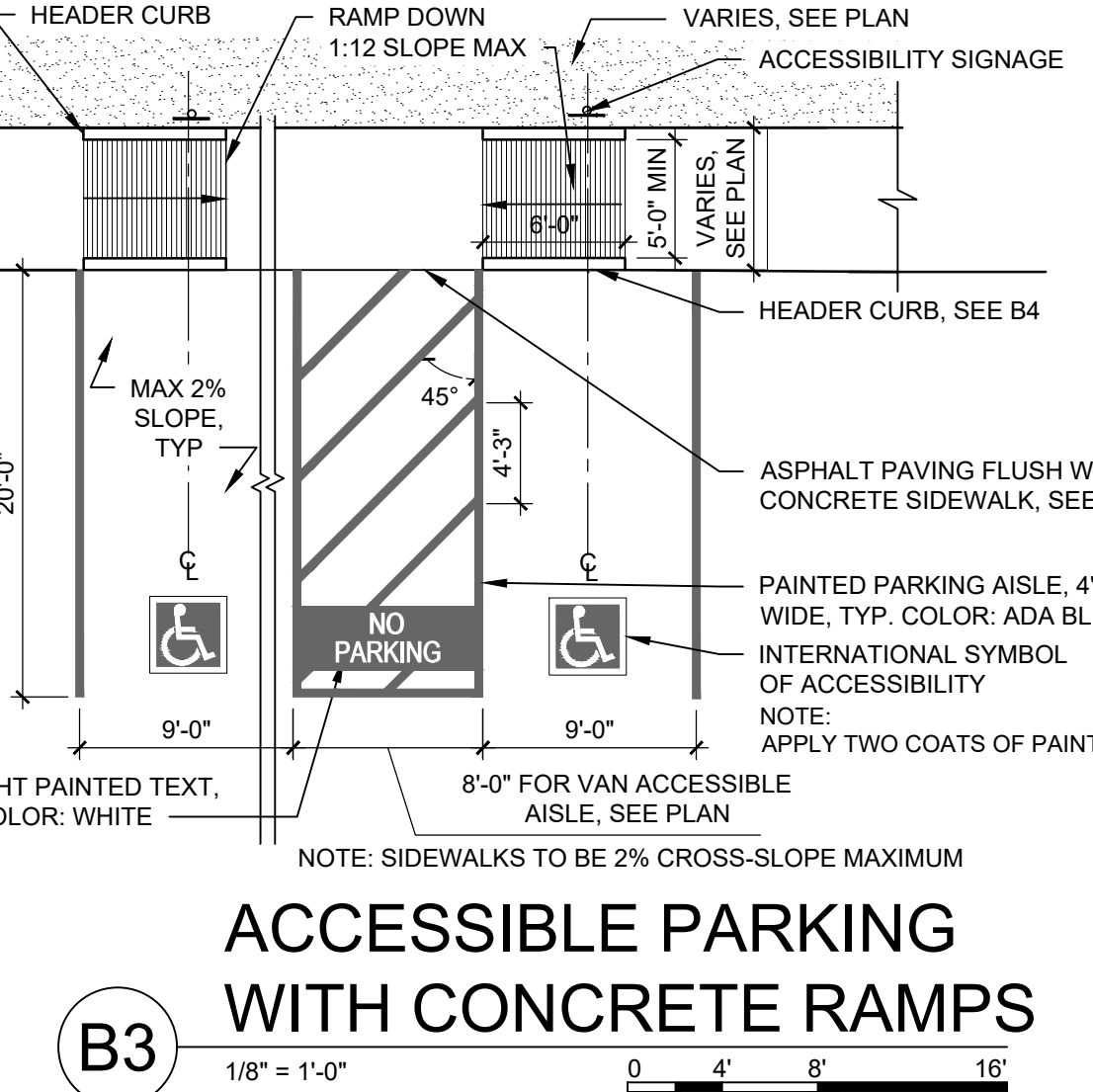
**A4 FLUSH CONCRETE SIDEWALK**  
 1 1/2" = 1'-0"



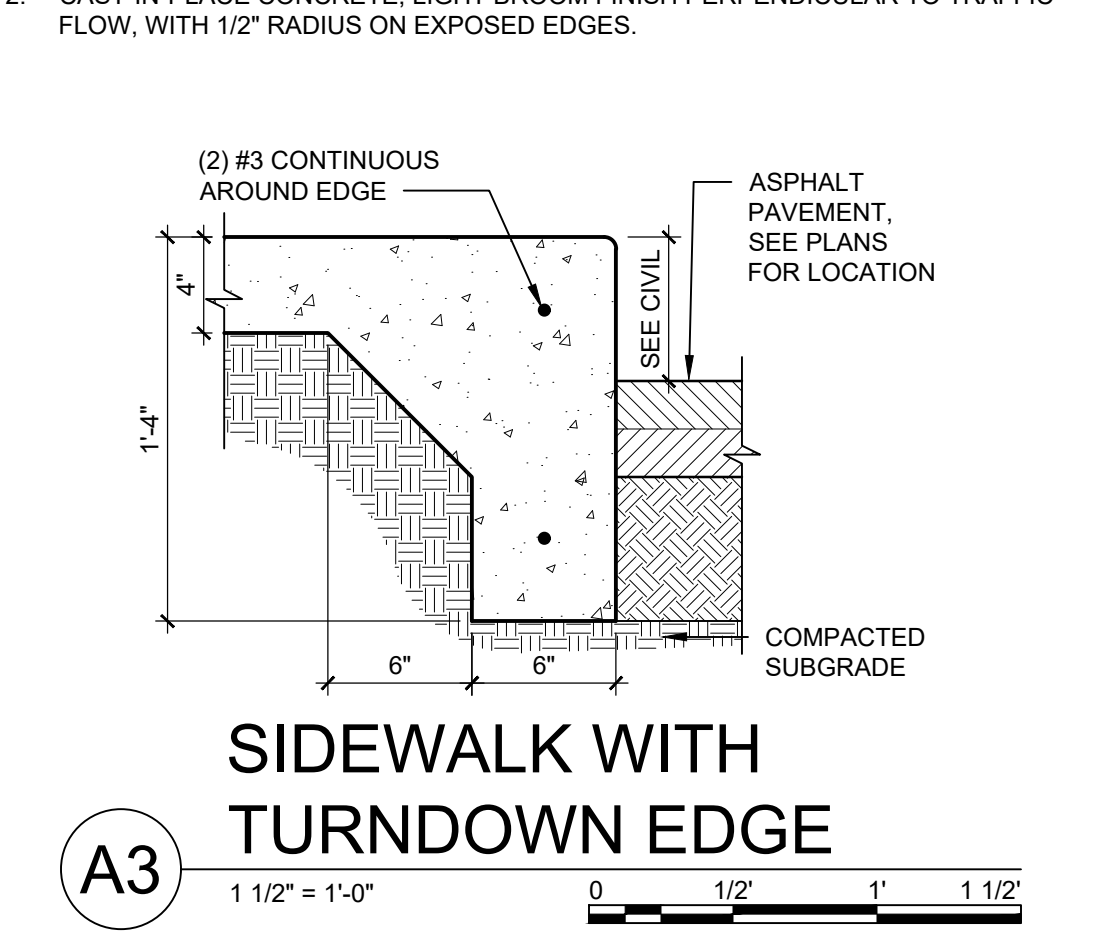
**D3 DIRECTIONAL PAVEMENT ARROW**  
 3/8" = 1'-0"



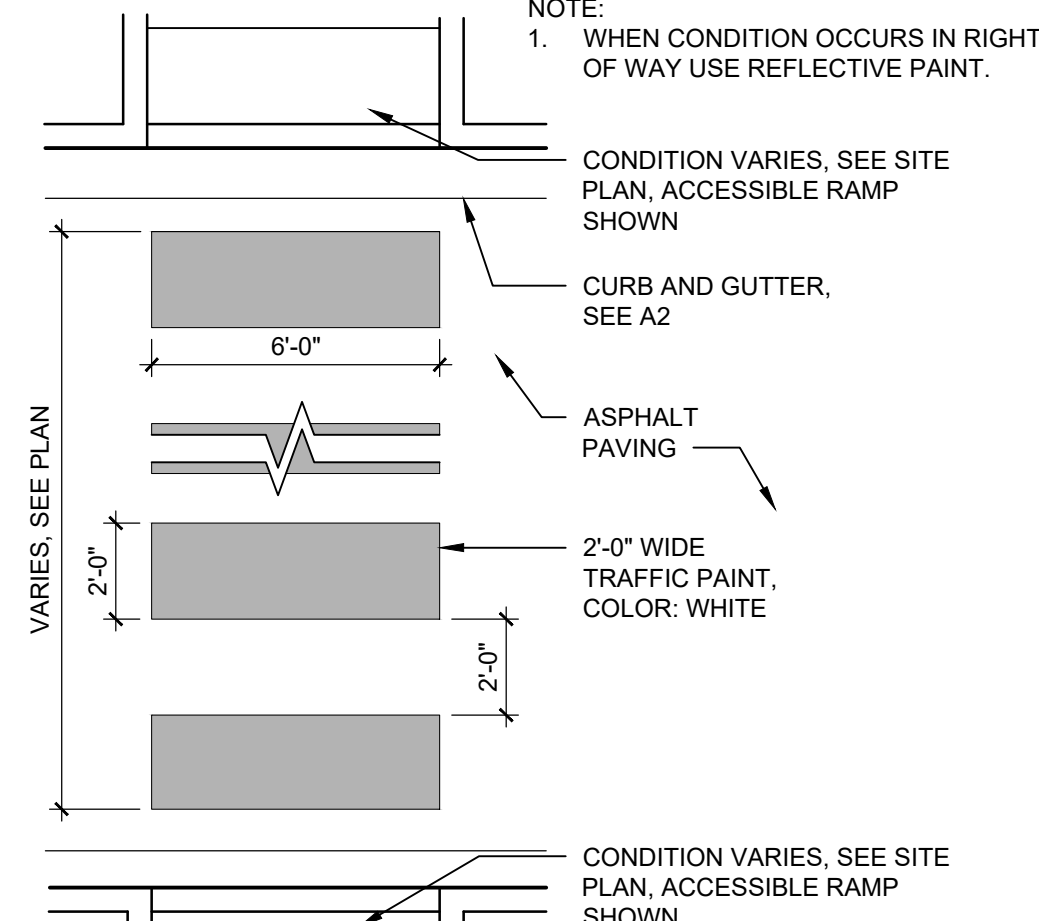
**C3 10' CMU PERIMETER WALL**  
 1/2" = 1'-0"



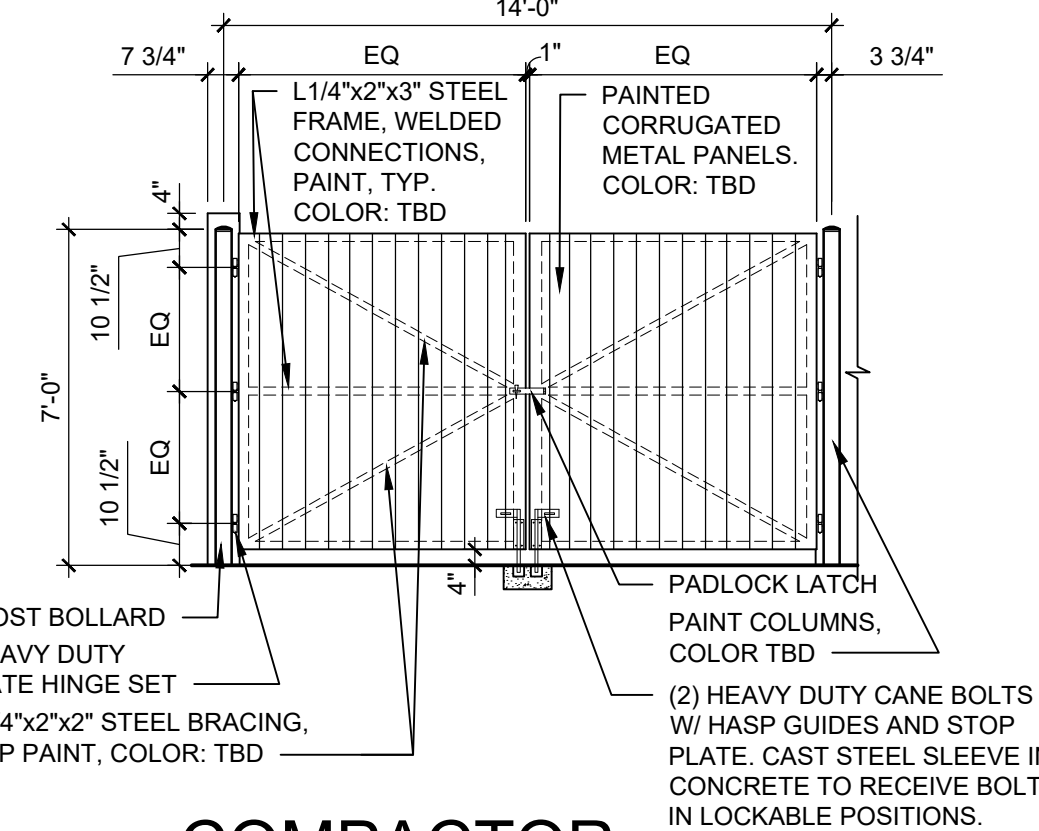
**B3 ACCESSIBLE PARKING WITH CONCRETE RAMPS**  
 1/8" = 1'-0"



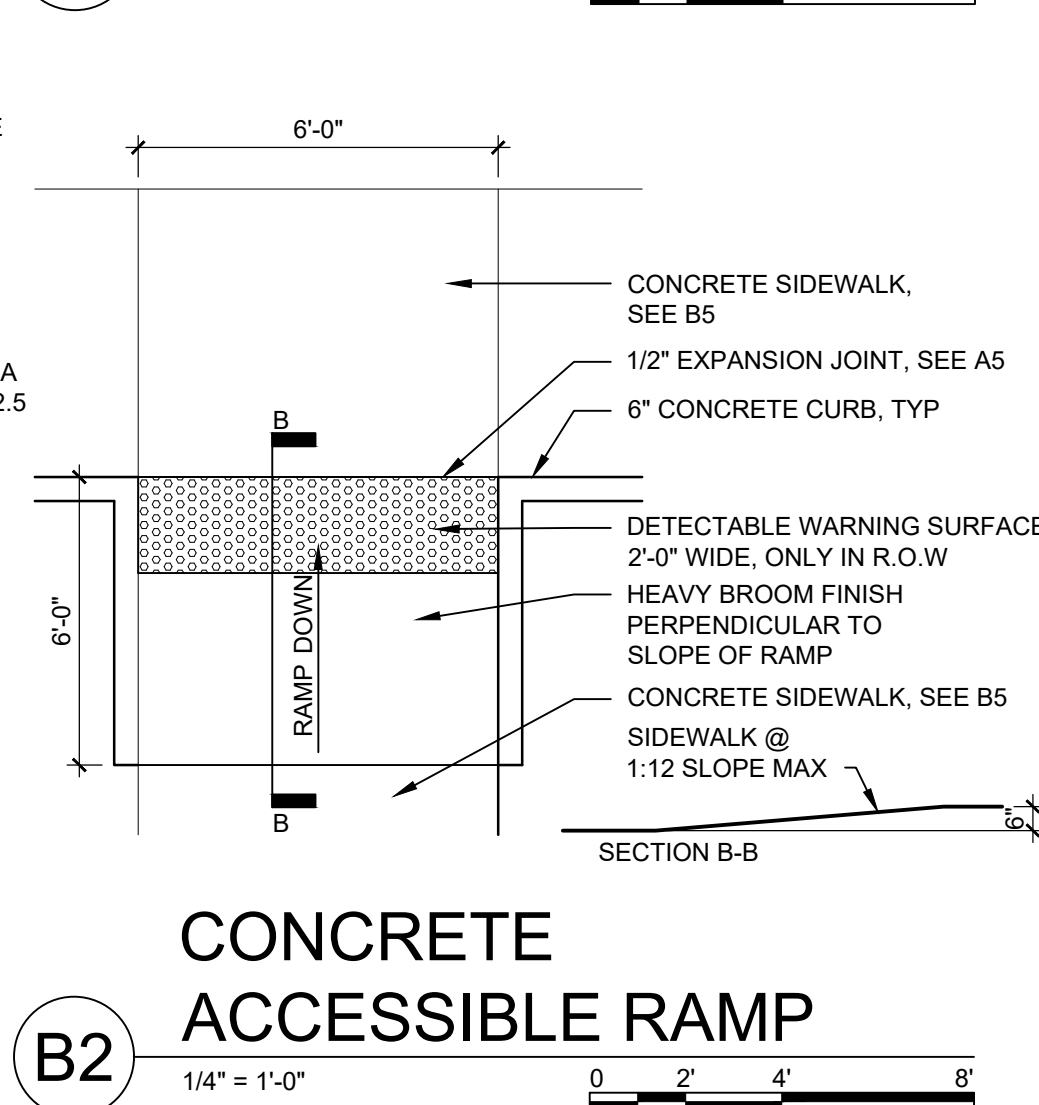
**A3 SIDEWALK WITH TURNDOWN EDGE**  
 1 1/2" = 1'-0"



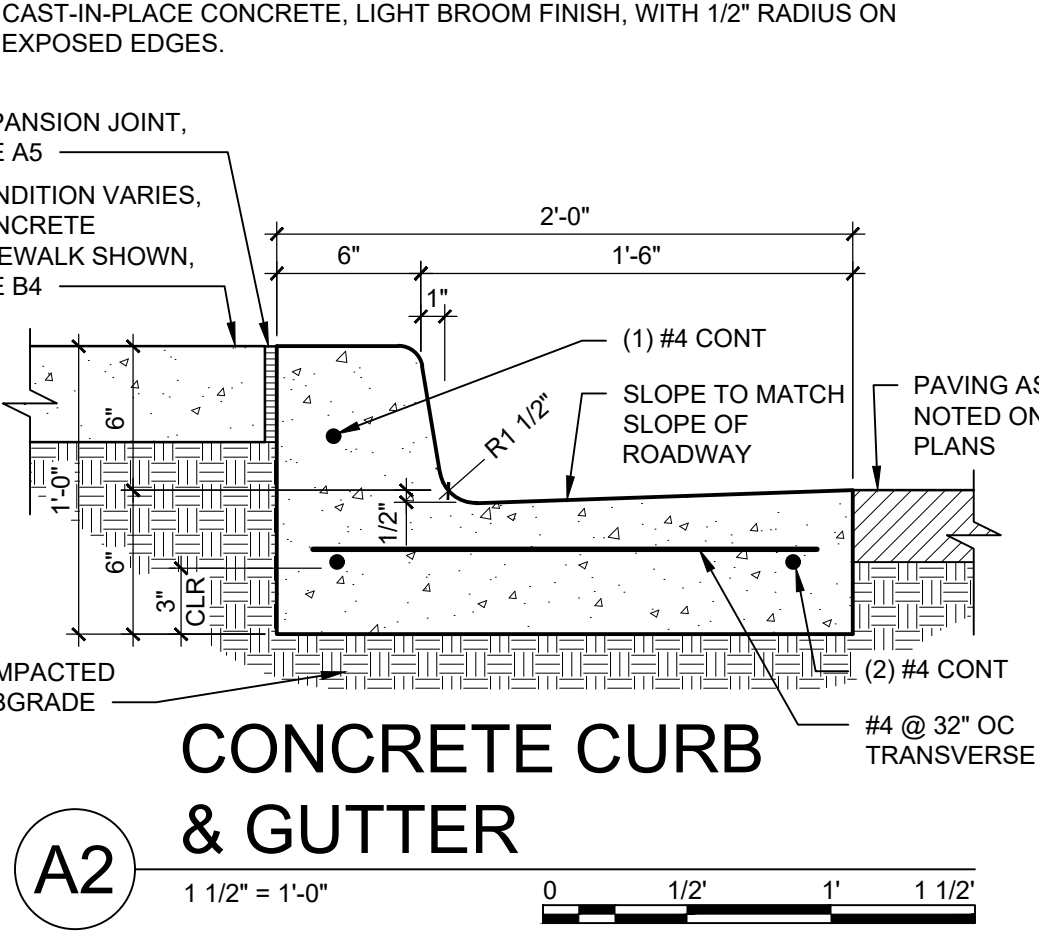
**D2 PAINTED CROSSWALK**  
 1/4" = 1'-0"



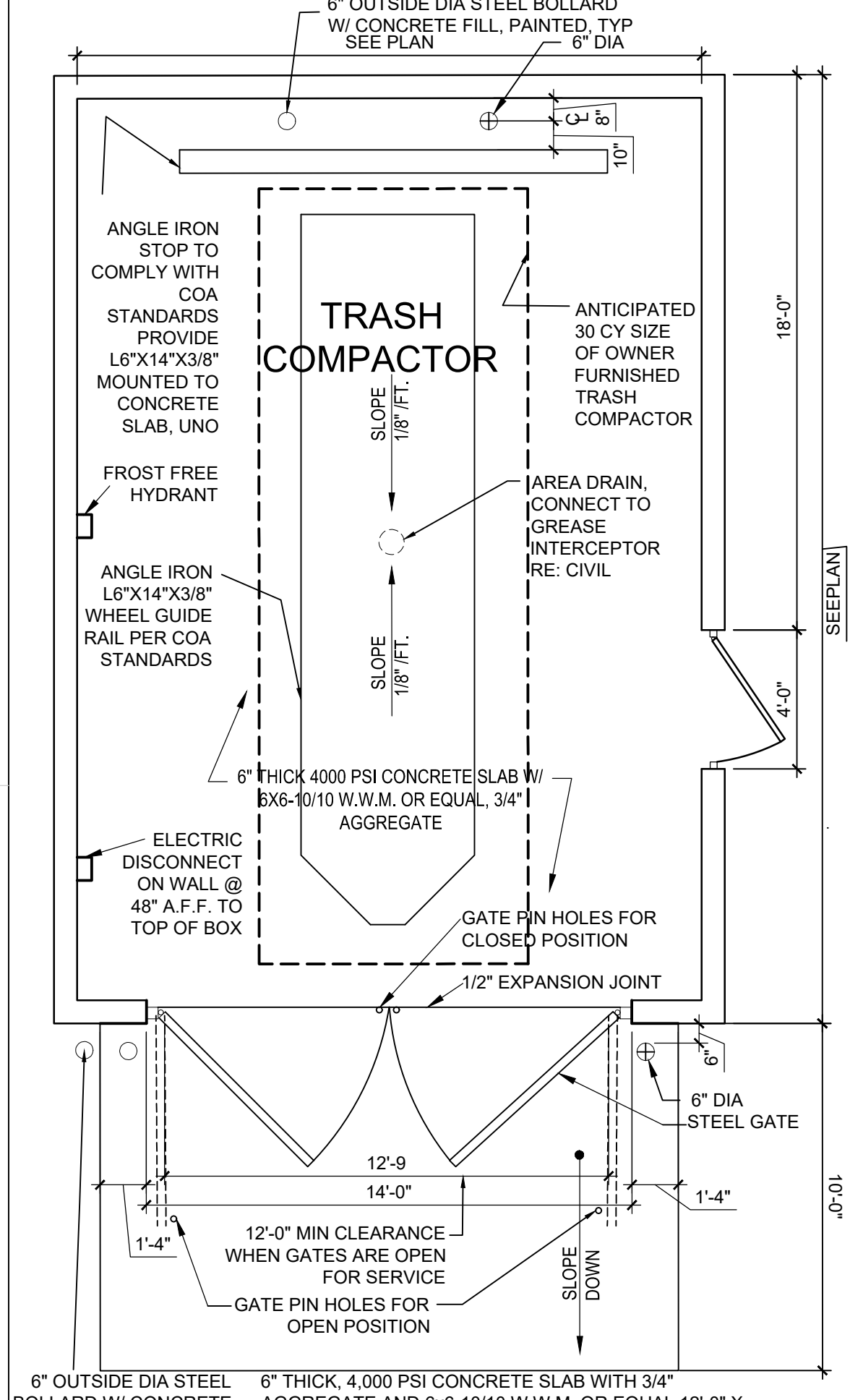
**C2 COMPACTOR ENCLOSURE GATE**  
 1/4" = 1'-0"



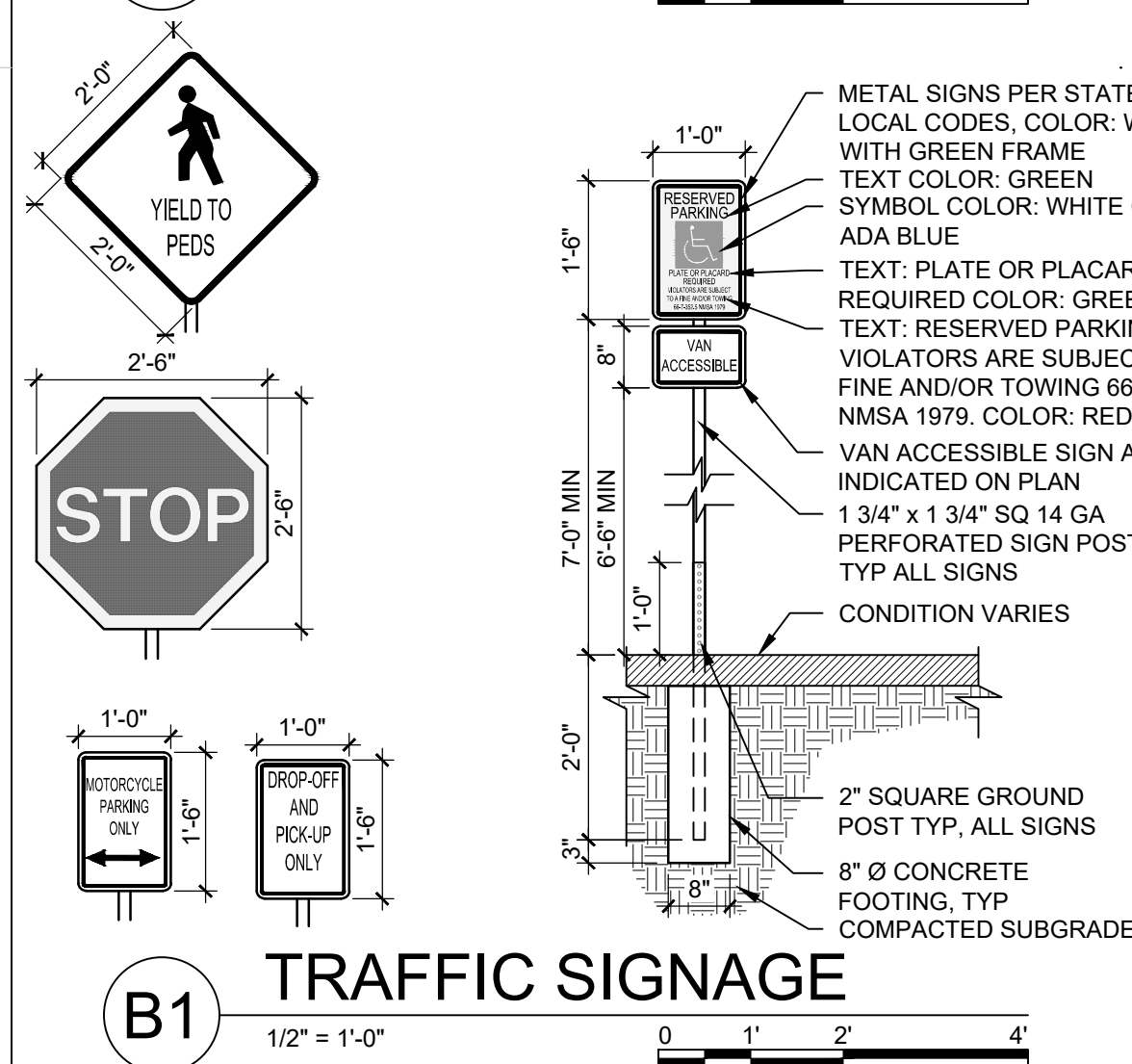
**B2 CONCRETE ACCESSIBLE RAMP**  
 1/4" = 1'-0"



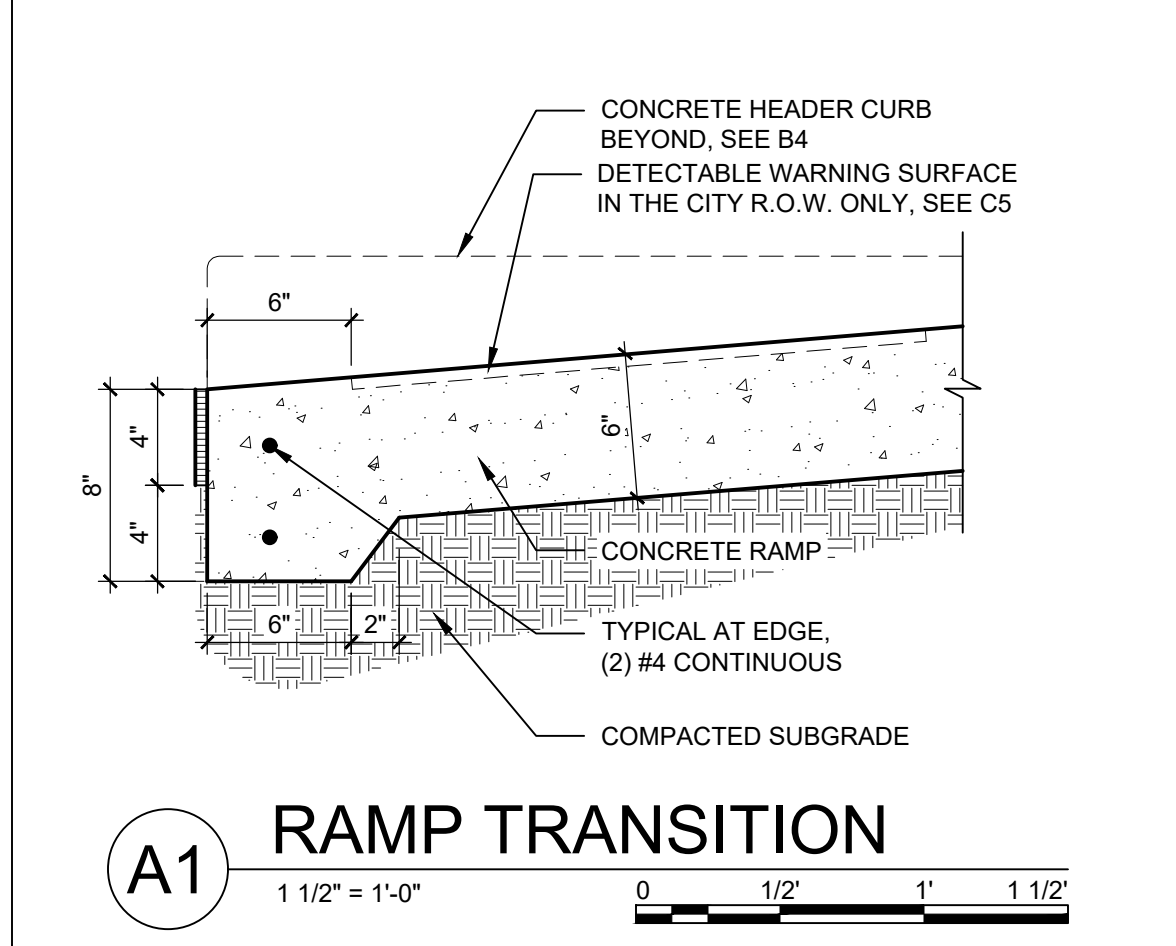
**A2 CONCRETE CURB & GUTTER**  
 1 1/2" = 1'-0"



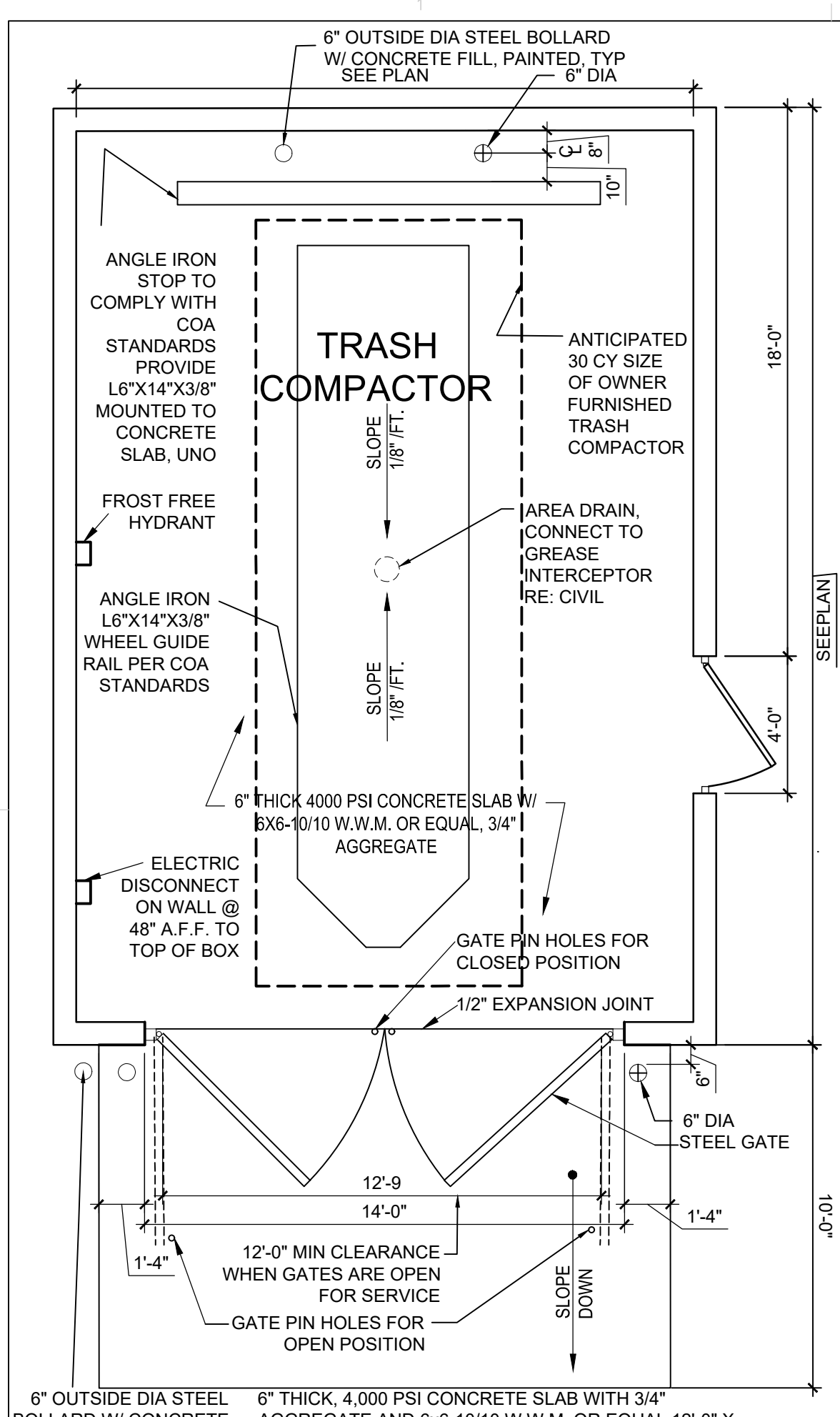
**C1 COMPACTOR ENCLOSURE**  
 1/4" = 1'-0"



**B1 TRAFFIC SIGNAGE**  
 1/2" = 1'-0"

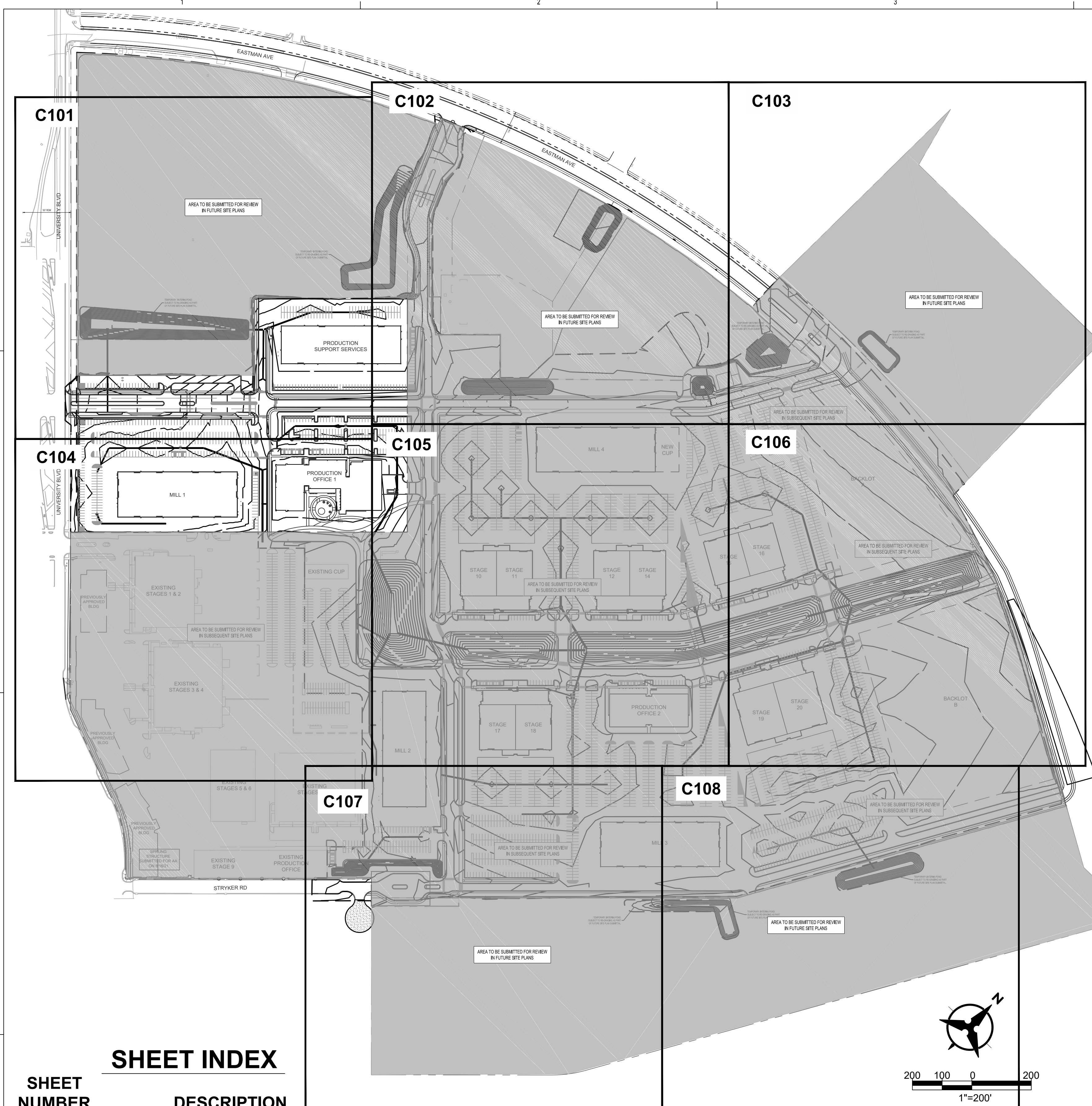


**A1 RAMP TRANSITION**  
 1 1/2" = 1'-0"



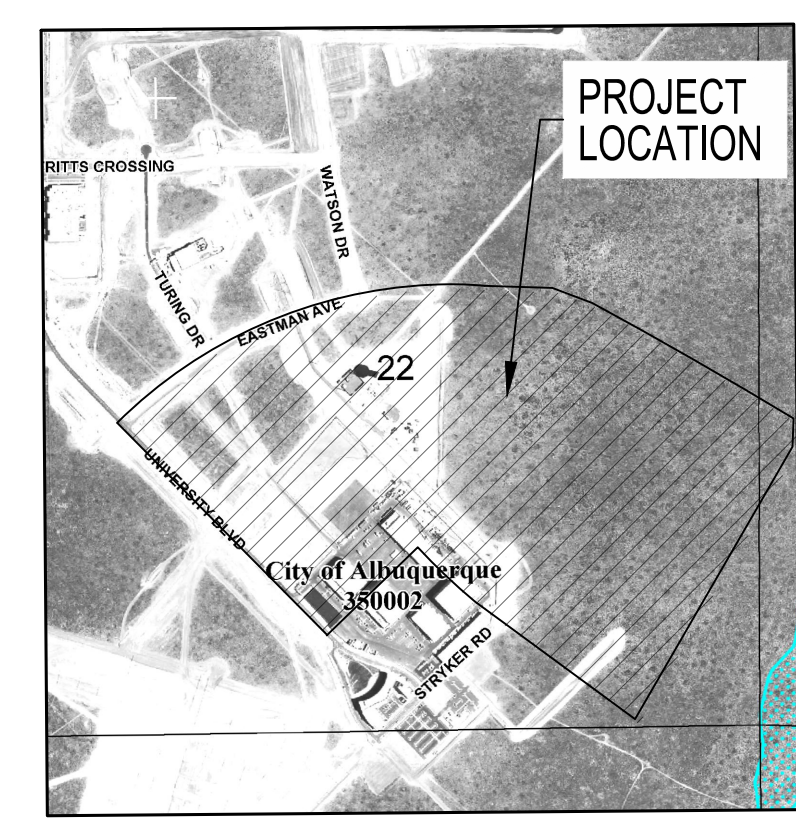
**C1 COMPACTOR ENCLOSURE**  
 1/4" = 1'-0"





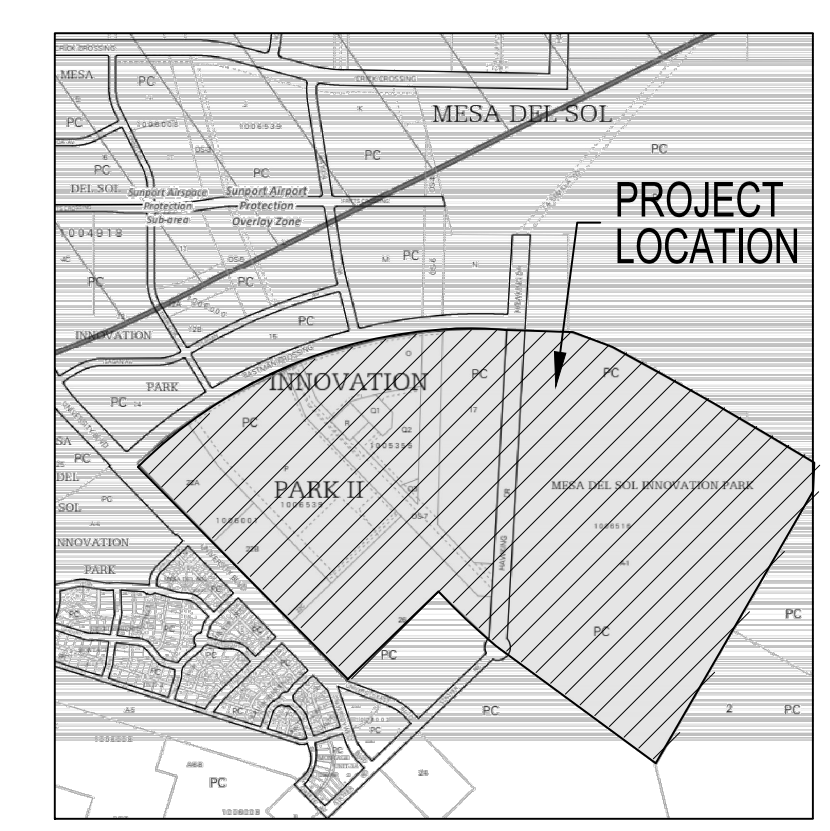
**SHEET INDEX**

SHEET NUMBER	DESCRIPTION
C100	OVERALL GRADING PLAN
C101	GRADING PLAN
C102	GRADING PLAN
C103	GRADING PLAN
C104	GRADING PLAN
C105	GRADING PLAN
C106	GRADING PLAN
C107	GRADING PLAN
C108	GRADING PLAN



**FEMA FIRM MAP**

PANEL: 0555H  
MAP NUMBER: 35001C055H



**VICINITY MAP**

ZONE ATLAS PAGE: R-16-Z

**GENERAL NOTES**

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE ENGINEER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING PUBLIC STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**GRADING NARRATIVE**

THE EXISTING TOPOGRAPHY FOR THE ABQ STUDIOS EXPANSION SITE IS PREDOMINANTLY UNDEVELOPED, UNDISTURBED DESERT SCRUB AND SHRUB WITH MINIMAL SLOPES. TWO EXISTING REGIONAL RETENTION PONDS WERE CONSTRUCTED WITH PREVIOUS PROJECTS IN THE AREA AND ACCEPT DRAINAGE FROM THE SURROUNDING DEVELOPMENTS. UNDER THE PROPOSED DEVELOPMENT, THESE EXISTING LINEAR PONDS WILL BE INFILLED AND RECONSTRUCTED IN A CONFIGURATION THAT IS MORE CONDUCTIVE TO THE PROPOSED ABQ STUDIOS EXPANSION. THE SITE WILL REMAIN IN COMPLETE RETENTION WITH ALL ON-SITE RUNOFF BEING MANAGED ON-SITE. CONVEYANCE TO BOTH THE CENTRAL LINEAR POND, AS WELL AS SEVERAL SMALLER DISTRIBUTED RAINWATER HARVESTING AREAS, WILL BE ACCOMPLISHED VIA A COMBINATION OF OVERLAND FLOW AND STORM DRAIN INFRASTRUCTURE. SITE GRADING WILL ENSURE ADEQUATE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS WHILE PROVIDING MINIMAL GRADE CHANGES ALONG THE PERIPHERY OF THE PROPERTY. THE SITE WILL FEATURE NO RETAINING WALLS.

**GRADING NOTES**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL ENGINEERING SERVICES REPORT" PREPARED BY GEO-TEST, INC., DATED JULY 16TH, 2021. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE ENGINEER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

**ROUGH GRADING NOTES**

- GRADES SHOWN ON THE ROUGH GRADING PLAN REPRESENT FINISHED GRADES. FINISHED GRADES SHALL BE ADJUSTED TO ACCOUNT FOR PAVEMENT SECTION, LANDSCAPING, BUILDING FLOOR SLAB, ETC.
- CONTRACTOR SHALL PROVIDE CERTIFIED FINISHED GRADE, INCLUDING STOCKPILES (HARD COPY AND ELECTRONIC FORMAT - AUTOCAD PREFERRED) FROM A LICENSED SURVEYOR. TOPOGRAPHIC ACCURACY SHALL BE AS REQUIRED TO PROVIDE 1' CONTOUR INTERVAL.
- FOR THE BUILDING AREA, OVER EXCAVATION AND BACKFILL SHALL OCCUR PER GEOTECHNICAL REPORT.
- CONTRACTOR IS RESPONSIBLE FOR SWPPP PREPARATION AND IMPLEMENTATION.
- FINISHED GRADE FOR PAVEMENT AREAS SHALL BE LEFT AS FOLLOWS:
  - A. SIDEWALKS: 4" BELOW PAVEMENT SURFACE ELEVATIONS SHOWN ON GRADING PLAN.
  - B. AUTOMOBILE PARKING AND DRIVE LANES: PER LIGHT DUTY PAVEMENT SECTION.
  - C. HEAVY TRUCK TRAFFIC (INCLUDING DELIVERY & TRASH TRUCKS): PER HEAVY DUTY PAVEMENT SECTION.
  - D. FLOOR SLAB: BELOW FINISHED FLOOR PER STRUCTURAL PLANS.

**PROJECT BENCH MARK**

CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT "14-L17 1984"  
3 1/4" ALUMINUM DISC SET FLUSH IN THE SIDEWALK  
GEOGRAPHIC POSITION (NAD 1983)  
NM STATE PLANE COORDINATES  
N= 1480200.281 USR E= 1534391.165 USR  
GROUND-TO-GRID FACTOR = 0.999662355  
NAVD 1988 ELEVATION= 5319.339 USR

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

ENGINEER



PROJECT

ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

REVISIONS

- △
- △
- △
- △

DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

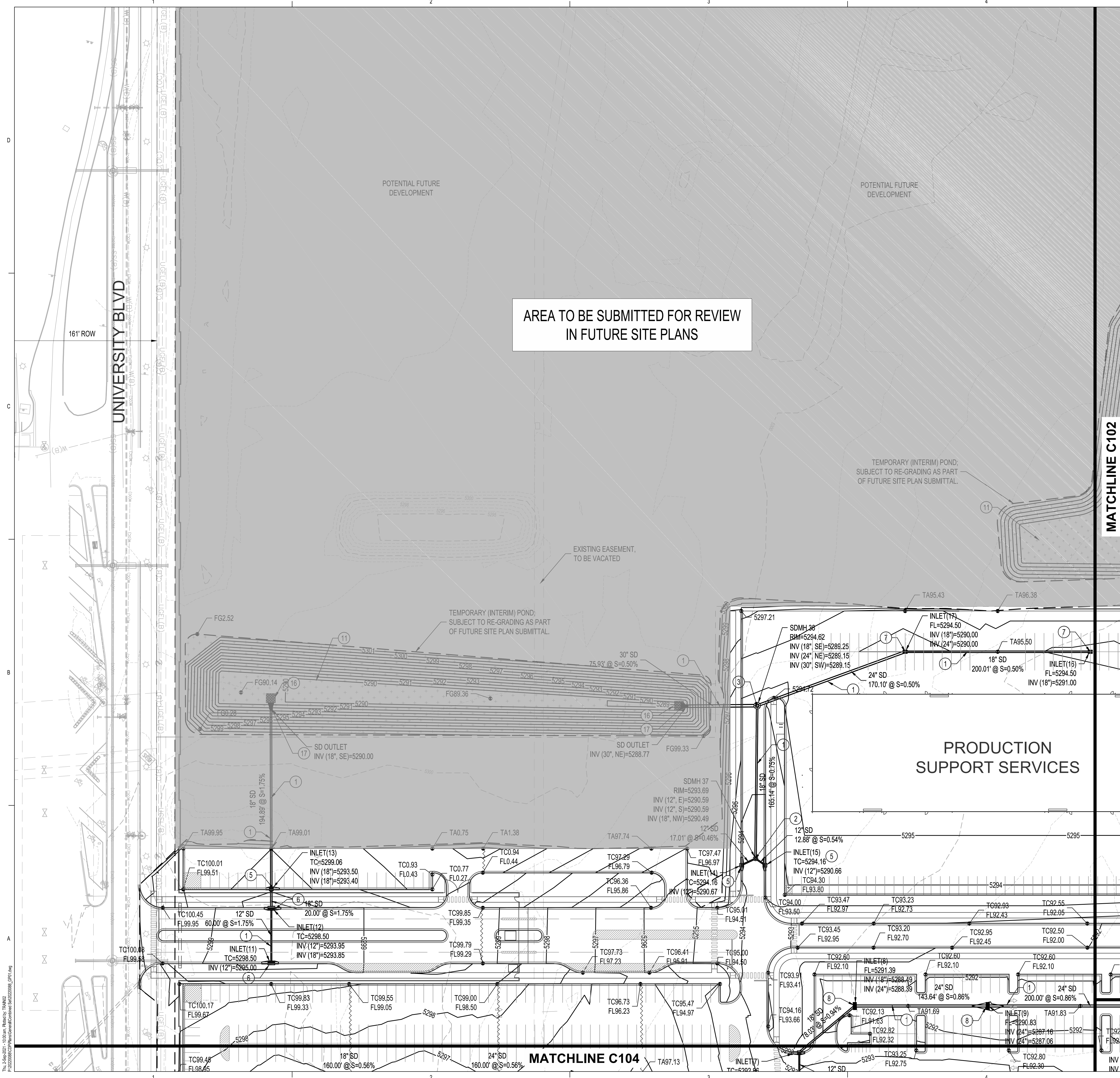
**OVERALL  
GRADING PLAN**

SHEET NO.

**C100**

OF





- ### GRADING KEYED NOTES
- INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
  - CONSTRUCT 4' DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
  - CONSTRUCT 6' DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
  - CONSTRUCT TYPE "A" SINGLE GRATE SD INLET PER COA STD DWG 2201, OR EQUAL.
  - CONSTRUCT TYPE "C" SINGLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
  - CONSTRUCT TYPE "C" DOUBLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
  - CONSTRUCT TYPE "D" SINGLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
  - CONSTRUCT TYPE "D" DOUBLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
  - NOT USED.
  - INSTALL 8" ROOF DRAIN PIPE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
  - CONSTRUCT RETENTION POND.
  - FUTURE RETENTION POND.
  - INSTALL PRE-MANUFACTURED STORM DRAIN FITTING, SIZE(S) PER PLAN.
  - EXISTING UTILITY TO REMAIN, PROTECT IN PLACE.
  - CONNECT TO EXISTING STORM DRAIN INFRASTRUCTURE.
  - CONSTRUCT 12' x 10' x 10' EROSION CONTROL MAT, TYPE VL RIPRAP WITH FILTER FABRIC AND 12' SUBGRADE PREPARATION.
  - INSTALL STORM DRAIN FLARED END SECTION, SIZE PER PLANS.
  - INSTALL 24"x24" NYLOPLAST INLET WITH DOME GRATE.

### LEGEND

	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	PROPOSED GRADING LIMITS
	PROPOSED DRAINAGE SWALE
	DIRECTION OF FLOW
	WATER BLOCK/GRADE BREAK
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLETS
	PROPOSED STORM DRAIN CAP
	PROPOSED STORM DRAIN LINE
	PROPOSED RETENTION POND
	SPOT GRADE
	FG=FINISHED GRADE; TA=TOP OF ASPHALT; TC=TOP OF CURB; FL=FLOWLINE; TS=TOP OF SIDEWALK

### SITE KEY MAP

1"=50'

0 25 50

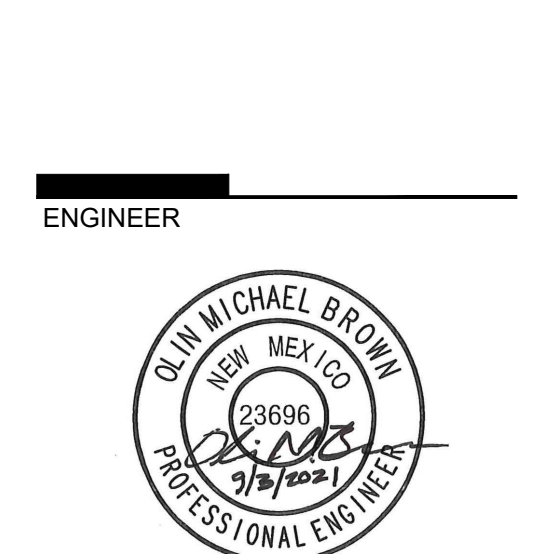
**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

ENGINEER



PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

### REVISIONS

△	
△	
△	
△	

DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

**GRADING PLAN**

SHEET NO.  
**C101**  
OF



**GRADING KEYED NOTES**

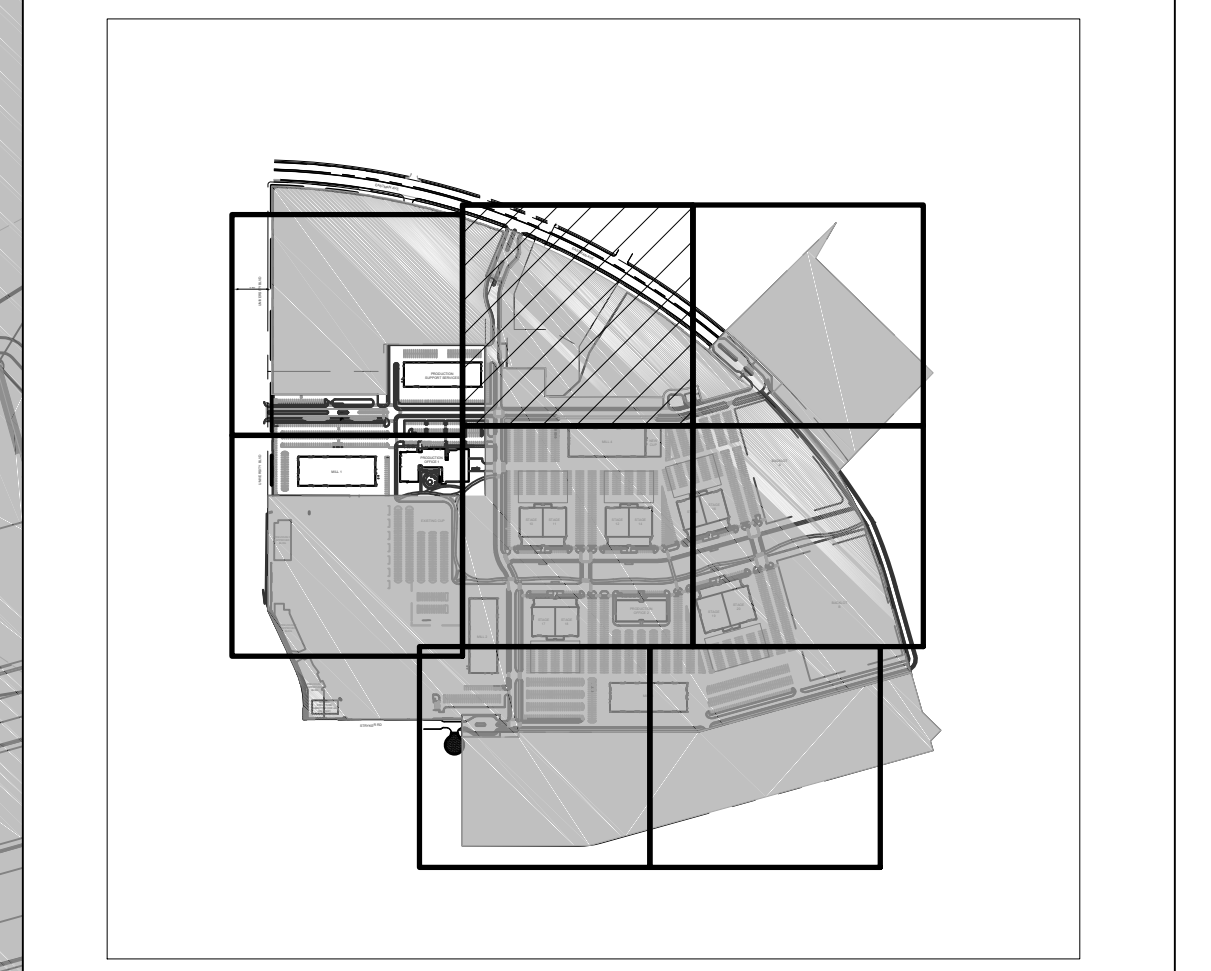
1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
2. CONSTRUCT 4' DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
3. CONSTRUCT 6' DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
4. CONSTRUCT TYPE "A" SINGLE GRATE SD INLET PER COA STD DWG 2201, OR EQUAL.
5. CONSTRUCT TYPE "C" SINGLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
6. CONSTRUCT TYPE "C" DOUBLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
7. CONSTRUCT TYPE "D" SINGLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
8. CONSTRUCT TYPE "D" DOUBLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
9. NOT USED.
10. INSTALL 8" ROOF DRAIN PIPE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
11. CONSTRUCT RETENTION POND.
12. FUTURE RETENTION POND.
13. INSTALL PRE-MANUFACTURED STORM DRAIN FITTING, SIZE(S) PER PLAN.
14. EXISTING UTILITY TO REMAIN, PROTECT IN PLACE.
15. CONNECT TO EXISTING STORM DRAIN INFRASTRUCTURE.
16. CONSTRUCT 12' x 10' x 10' EROSION CONTROL MAT; TYPE VL RIPRAP WITH FILTER FABRIC AND 12" SUBGRADE PREPARATION.
17. INSTALL STORM DRAIN FLARED END SECTION, SIZE PER PLANS.
18. INSTALL 24"x24" NYLOPLAST INLET WITH DOME GRATE.

**LEGEND**

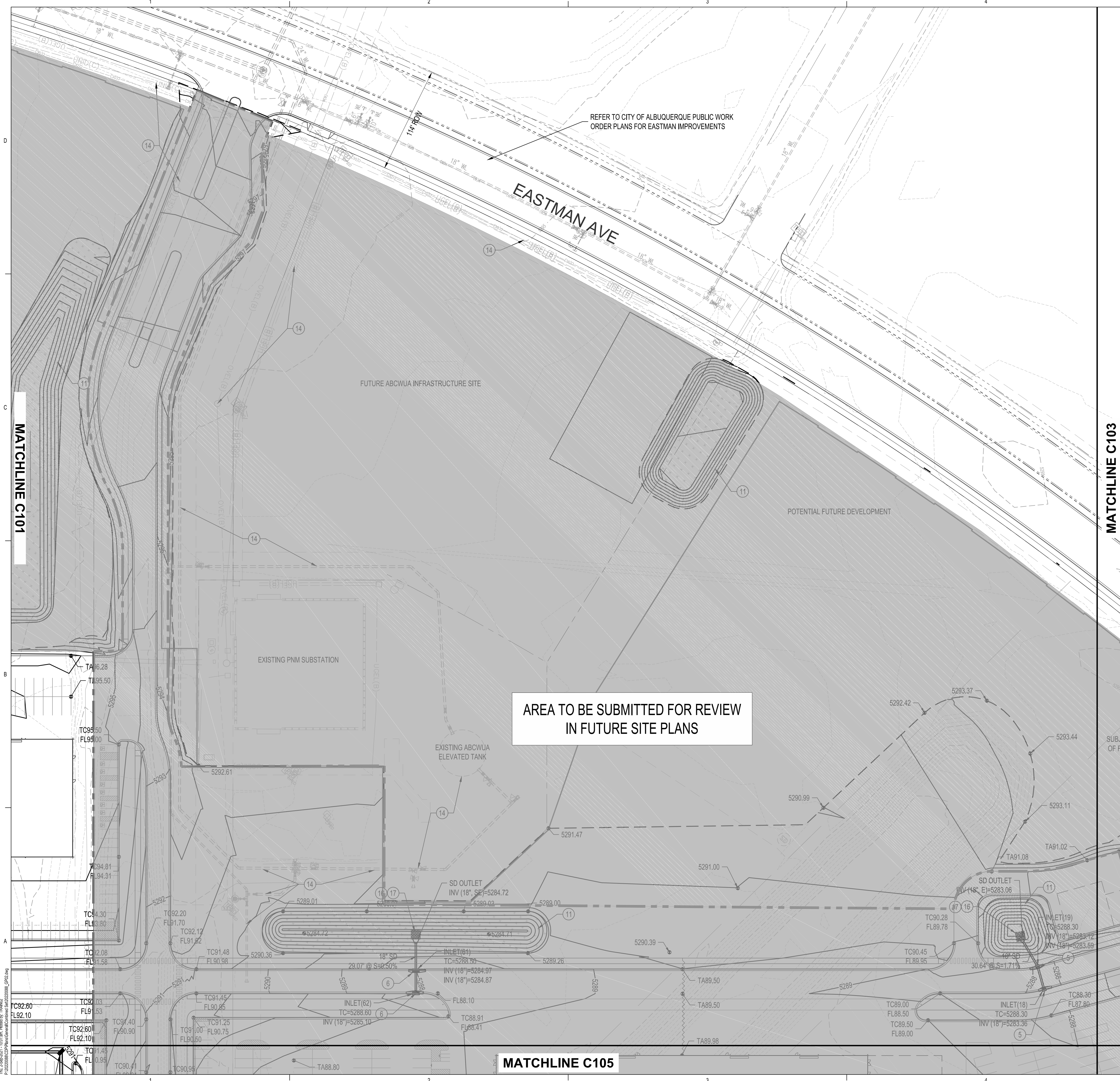
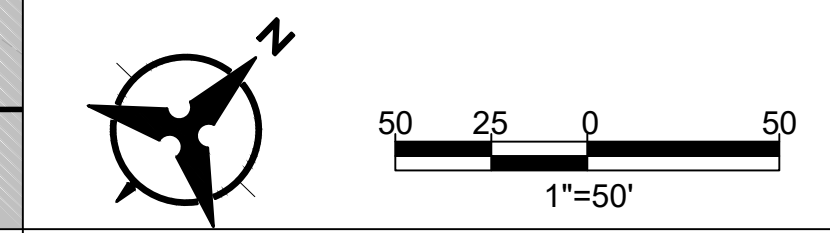
	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	PROPOSED GRADING LIMITS
	PROPOSED DRAINAGE SWALE
	DIRECTION OF FLOW
	WATER BLOCK/GRADE BREAK
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLETS
	PROPOSED STORM DRAIN CAP
	PROPOSED STORM DRAIN LINE
	PROPOSED RETENTION POND
	SPOT GRADE
	FG=FINISHED GRADE; TA=TOP OF ASPHALT; TC=TOP OF CURB; FL=FLOWLINE; TS=TOP OF SIDEWALK

MATCHLINE C103

MATCHLINE C101



**SITE KEY MAP**



REFER TO CITY OF ALBUQUERQUE PUBLIC WORK ORDER PLANS FOR EASTMAN IMPROVEMENTS

**EASTMAN AVE**

FUTURE ABCWUA INFRASTRUCTURE SITE

POTENTIAL FUTURE DEVELOPMENT

EXISTING PNM SUBSTATION

EXISTING ABCWUA ELEVATED TANK

AREA TO BE SUBMITTED FOR REVIEW IN FUTURE SITE PLANS

**MATCHLINE C105**

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

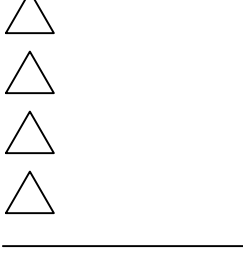
ENGINEER



PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

REVISIONS



DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

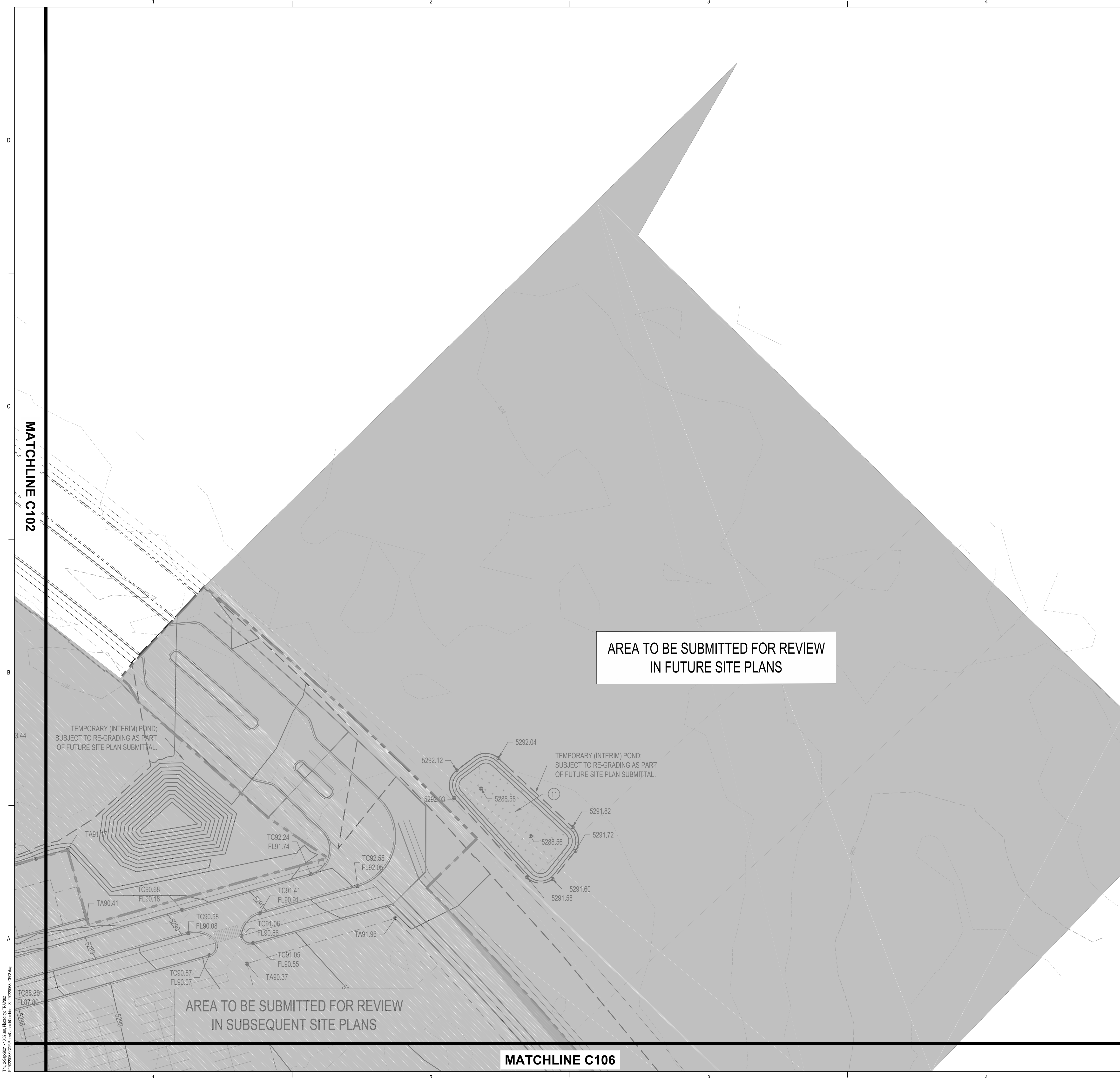
**GRADING PLAN**

SHEET NO.

**C102**

OF



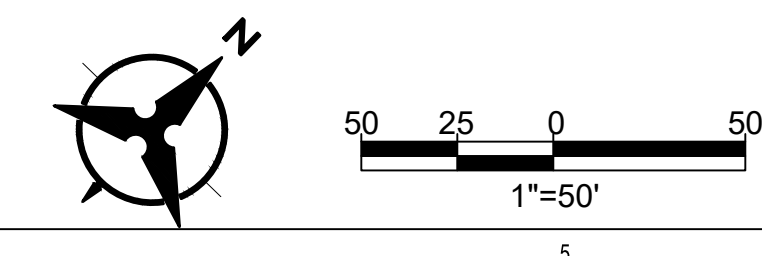
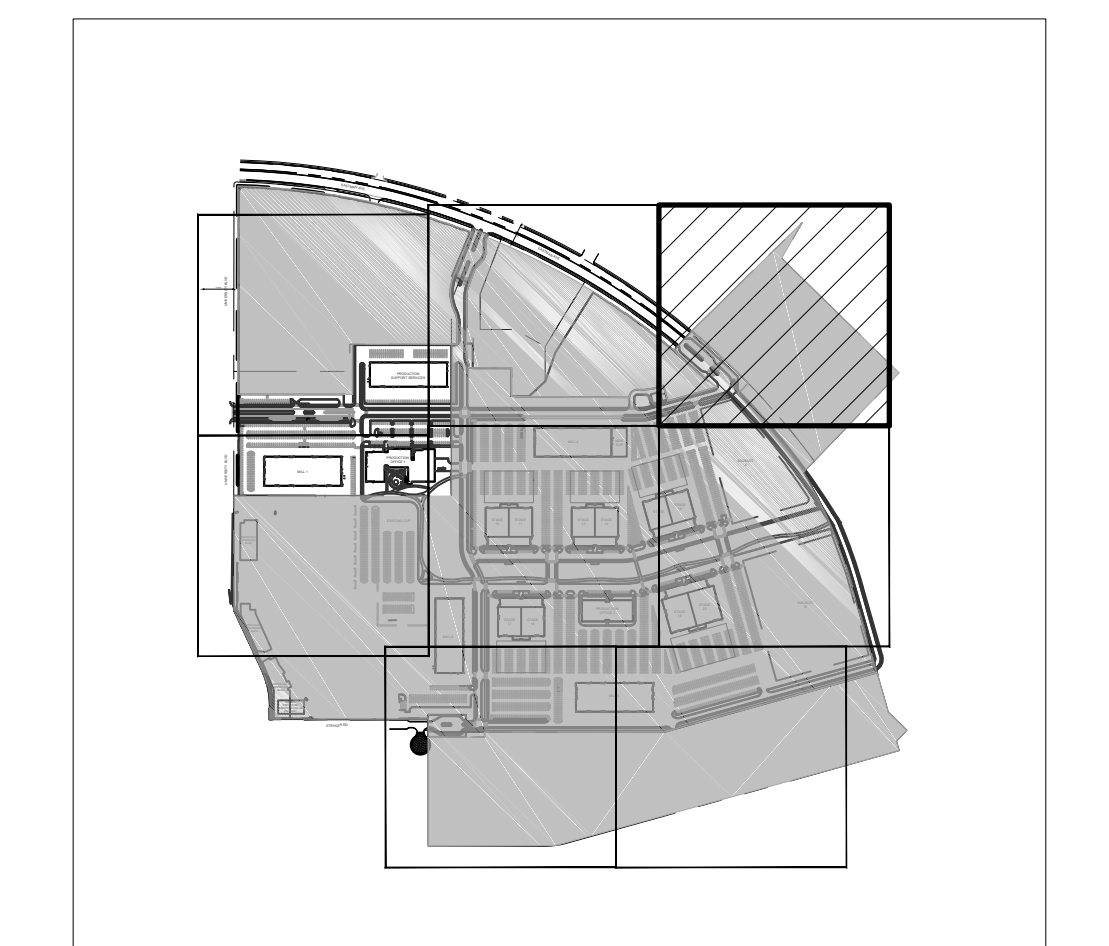


**GRADING KEYED NOTES**

1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
2. CONSTRUCT 4' DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
3. CONSTRUCT 6' DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
4. CONSTRUCT TYPE "A" SINGLE GRATE SD INLET PER COA STD DWG 2201, OR EQUAL.
5. CONSTRUCT TYPE "C" SINGLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
6. CONSTRUCT TYPE "C" DOUBLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
7. CONSTRUCT TYPE "D" SINGLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
8. CONSTRUCT TYPE "D" DOUBLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
9. NOT USED.
10. INSTALL 8" ROOF DRAIN PIPE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
11. CONSTRUCT RETENTION POND.
12. FUTURE RETENTION POND.
13. INSTALL PRE-MANUFACTURED STORM DRAIN FITTING, SIZE(S) PER PLAN.
14. EXISTING UTILITY TO REMAIN, PROTECT IN PLACE.
15. CONNECT TO EXISTING STORM DRAIN INFRASTRUCTURE.
16. CONSTRUCT 12' x 10' x 10' EROSION CONTROL MAT; TYPE VL RIPRAP WITH FILTER FABRIC AND 12" SUBGRADE PREPARATION.
17. INSTALL STORM DRAIN FLARED END SECTION, SIZE PER PLANS.
18. INSTALL 24"x24" NYLOPLAST INLET WITH DOME GRATE.

**LEGEND**

	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	PROPOSED GRADING LIMITS
	PROPOSED DRAINAGE SWALE
	DIRECTION OF FLOW
	WATER BLOCK/GRADE BREAK
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLETS
	PROPOSED STORM DRAIN CAP
	PROPOSED STORM DRAIN LINE
	PROPOSED RETENTION POND
	SPOT GRADE
	FG=FINISHED GRADE; TA=TOP OF ASPHALT; TC=TOP OF CURB; FL=FLOWLINE; TS=TOP OF SIDEWALK



**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

ENGINEER



PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

REVISIONS

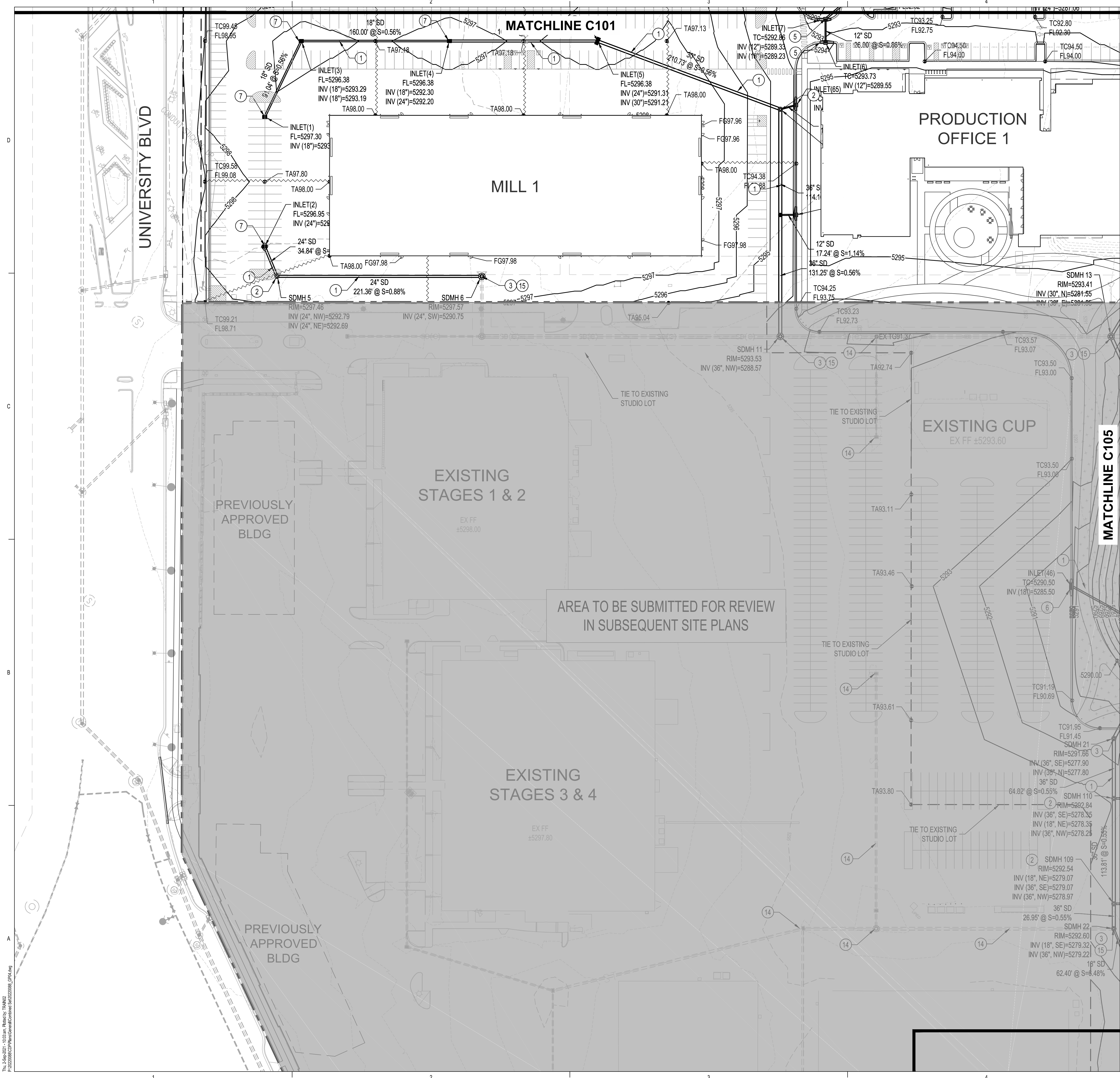
△	
△	
△	
△	

DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

**GRADING PLAN**

SHEET NO.  
**C103**  
OF

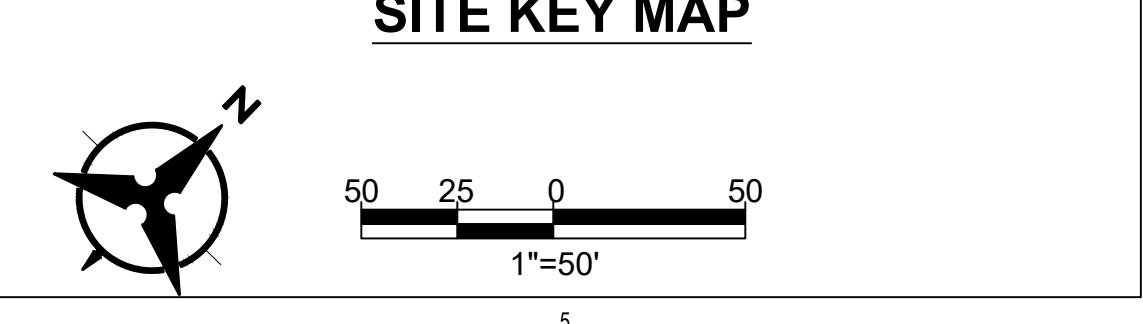
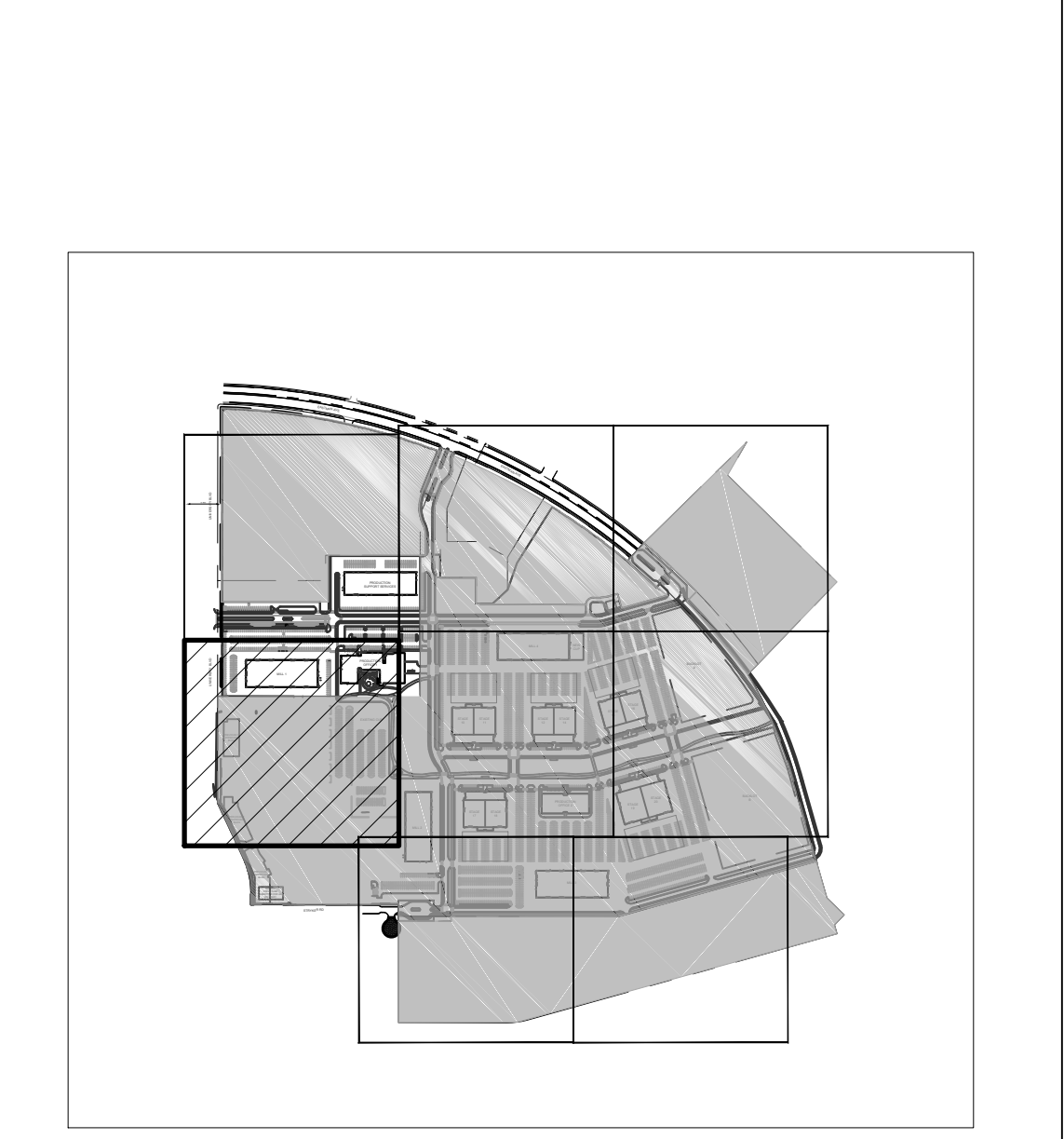




- ### GRADING KEYED NOTES
- INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
  - CONSTRUCT 4' DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
  - CONSTRUCT 6' DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
  - CONSTRUCT TYPE "A" SINGLE GRATE SD INLET PER COA STD DWG 2201, OR EQUAL.
  - CONSTRUCT TYPE "C" SINGLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
  - CONSTRUCT TYPE "C" DOUBLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
  - CONSTRUCT TYPE "D" SINGLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
  - CONSTRUCT TYPE "D" DOUBLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
  - NOT USED.
  - INSTALL 8" ROOF DRAIN PIPE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
  - CONSTRUCT RETENTION POND.
  - FUTURE RETENTION POND.
  - INSTALL PRE-MANUFACTURED STORM DRAIN FITTING, SIZE(S) PER PLAN.
  - EXISTING UTILITY TO REMAIN, PROTECT IN PLACE.
  - CONNECT TO EXISTING STORM DRAIN INFRASTRUCTURE.
  - CONSTRUCT 12' x 10' EROSION CONTROL MAT; TYPE VL RIPRAP WITH FILTER FABRIC AND 12" SUBGRADE PREPARATION.
  - INSTALL STORM DRAIN FLARED END SECTION, SIZE PER PLANS.
  - INSTALL 24"x24" NYLOPLAST INLET WITH DOME GRATE.

### LEGEND

	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	PROPOSED GRADING LIMITS
	PROPOSED DRAINAGE SWALE
	DIRECTION OF FLOW
	WATER BLOCK/GRADE BREAK
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLETS
	PROPOSED STORM DRAIN CAP
	PROPOSED STORM DRAIN LINE
	PROPOSED RETENTION POND
	SPOT GRADE
	FG=FINISHED GRADE; TA=TOP OF ASPHALT; TC=TOP OF CURB; FL=FLOWLINE; TS=TOP OF SIDEWALK



**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

ENGINEER



PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

### REVISIONS

△	
△	
△	
△	

DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

**GRADING PLAN**

SHEET NO.  
**C104**  
OF

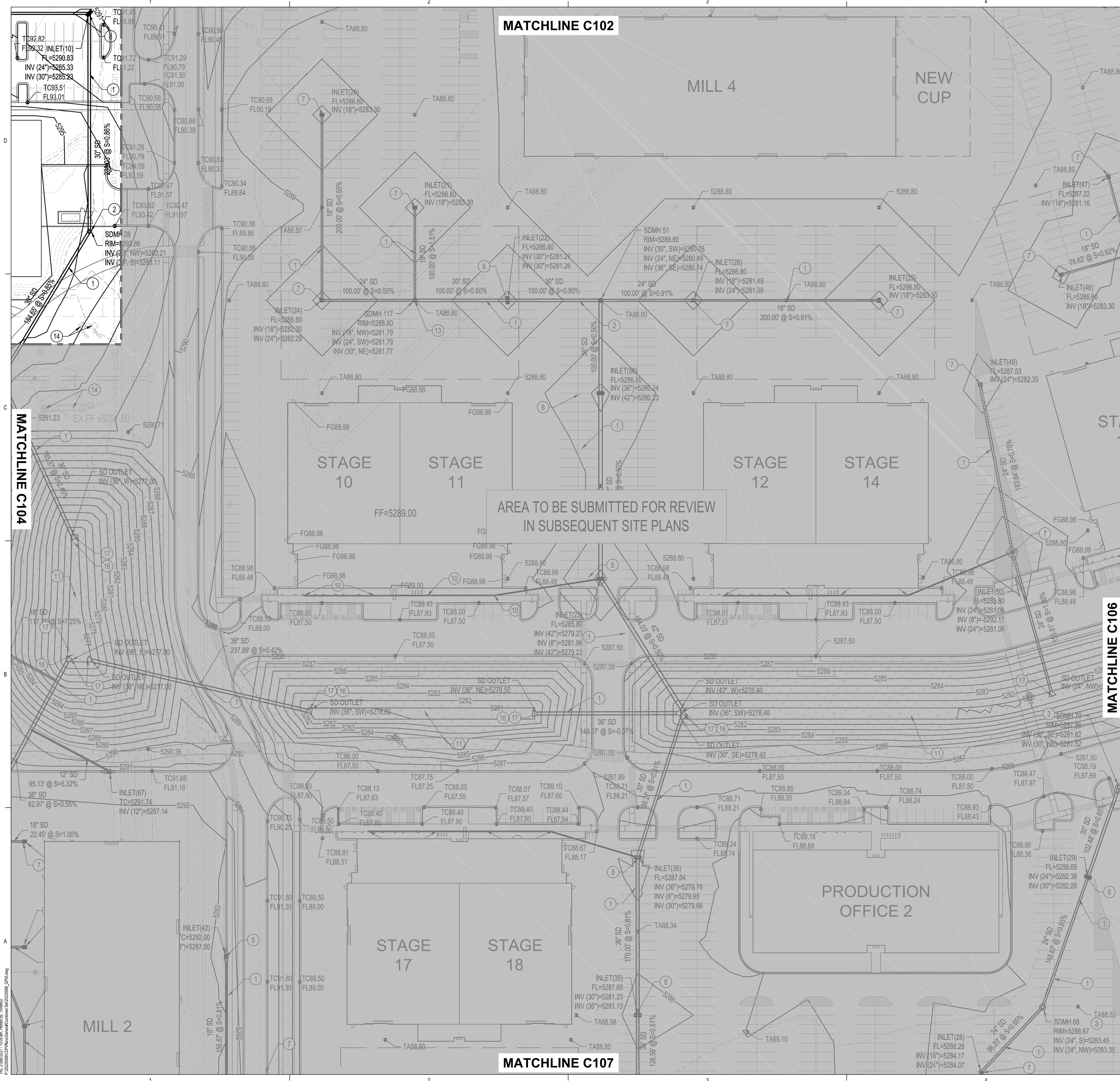
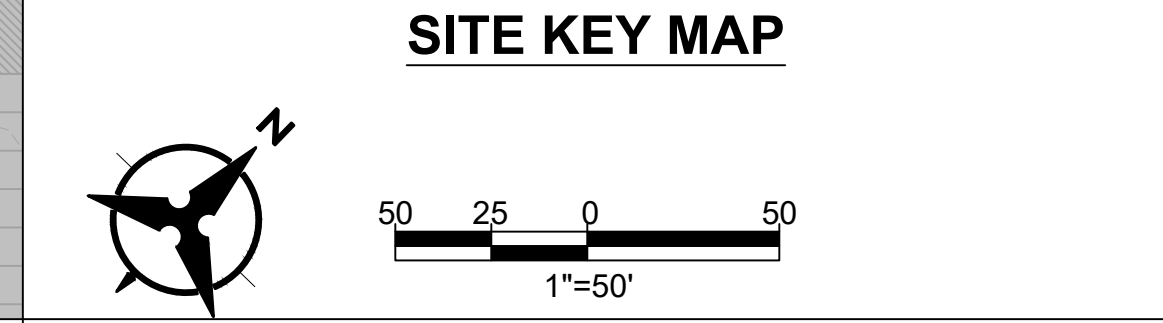
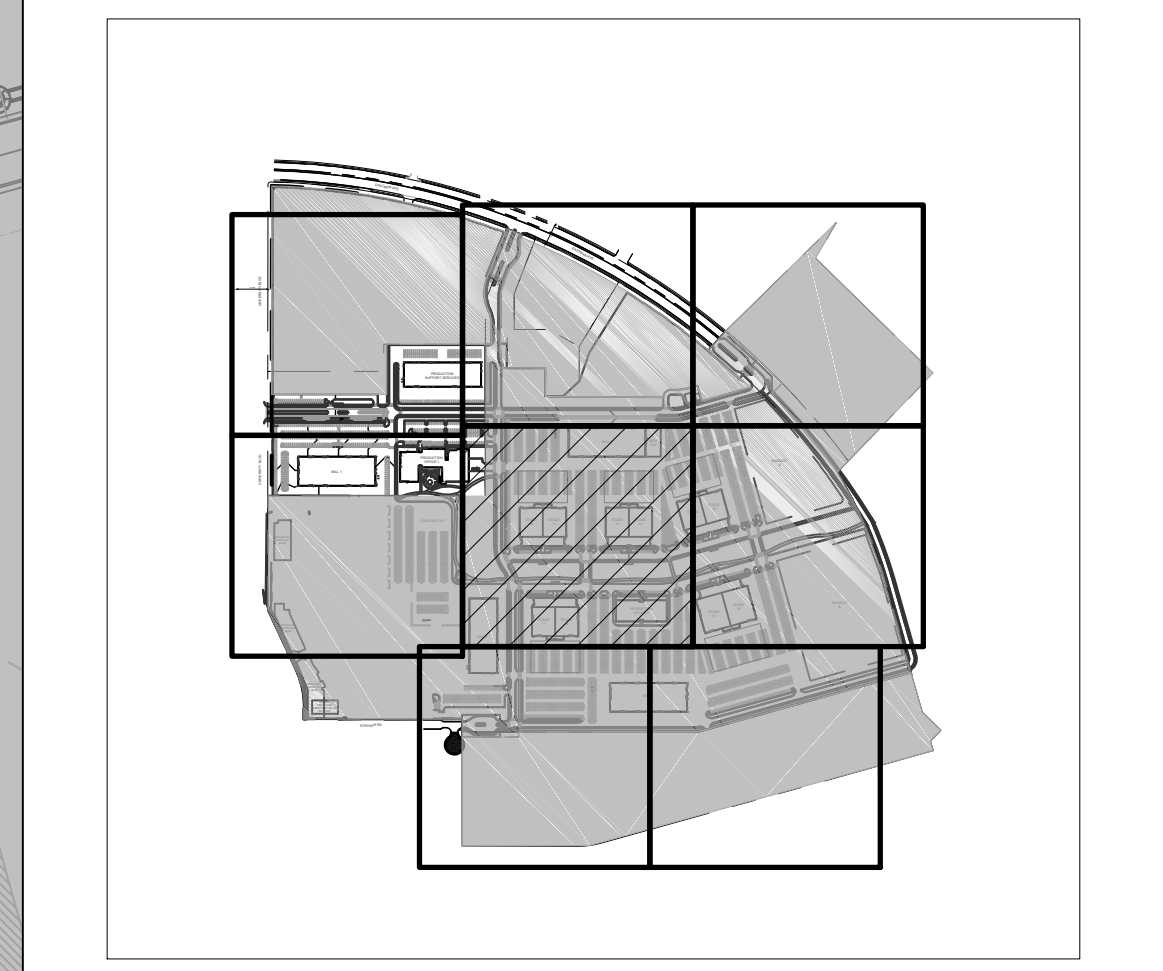


### GRADING KEYED NOTES

1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
2. CONSTRUCT 4' DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
3. CONSTRUCT 6' DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
4. CONSTRUCT TYPE "A" SINGLE GRATE SD INLET PER COA STD DWG 2201, OR EQUAL.
5. CONSTRUCT TYPE "C" SINGLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
6. CONSTRUCT TYPE "C" DOUBLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
7. CONSTRUCT TYPE "D" SINGLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
8. CONSTRUCT TYPE "D" DOUBLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
9. NOT USED.
10. INSTALL 8" ROOF DRAIN PIPE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
11. CONSTRUCT RETENTION POND.
12. FUTURE RETENTION POND.
13. INSTALL PRE-MANUFACTURED STORM DRAIN FITTING, SIZE(S) PER PLAN.
14. EXISTING UTILITY TO REMAIN, PROTECT IN PLACE.
15. CONNECT TO EXISTING STORM DRAIN INFRASTRUCTURE.
16. CONSTRUCT 12" x 10' EROSION CONTROL MAT, TYPE VL RIPRAP WITH FILTER FABRIC AND 12" SUBGRADE PREPARATION.
17. INSTALL STORM DRAIN FLARED END SECTION, SIZE PER PLANS.
18. INSTALL 24"x24" NYLOPLAST INLET WITH DOME GRATE.

### LEGEND

- PROPERTY LINE
  - EXISTING EASEMENT
  - 5320 PROPOSED INDEX CONTOUR
  - 5319 PROPOSED INTERMEDIATE CONTOUR
  - 5320 EXISTING INDEX CONTOUR
  - 5319 EXISTING INTERMEDIATE CONTOUR
  - PROPOSED GRADING LIMITS
  - PROPOSED DRAINAGE SWALE
  - DIRECTION OF FLOW
  - WATER BLOCK/GRADE BREAK
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLETS
  - PROPOSED STORM DRAIN CAP
  - SD PROPOSED STORM DRAIN LINE
  - PROPOSED RETENTION POND
  - 18.50 SPOT GRADE
- FG=FINISHED GRADE; TA=TOP OF ASPHALT; TC=TOP OF CURB; FL=FLOWLINE; TS=TOP OF SIDEWALK



**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

ENGINEER



PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

REVISIONS


DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	GRADING PLAN

GRADING PLAN

SHEET NO.  
**C105**  
OF

The 2009-2012 National Electrical Code, National Fire Protection Association, Inc. (NFPA) is hereby acknowledged.



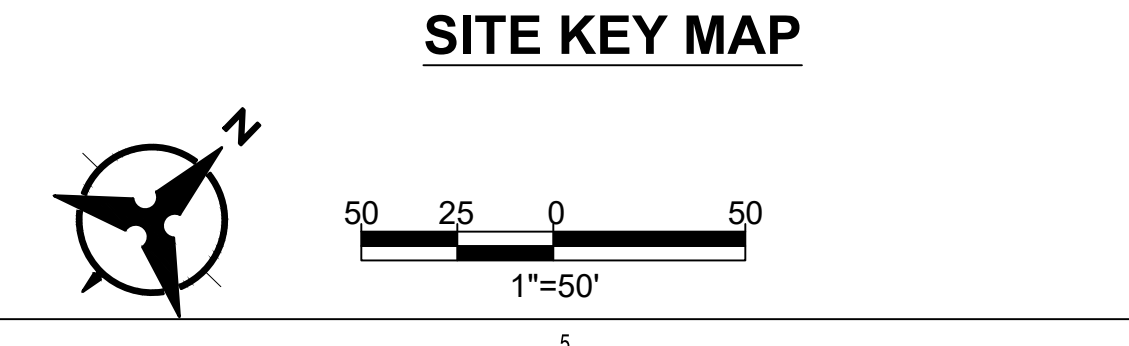
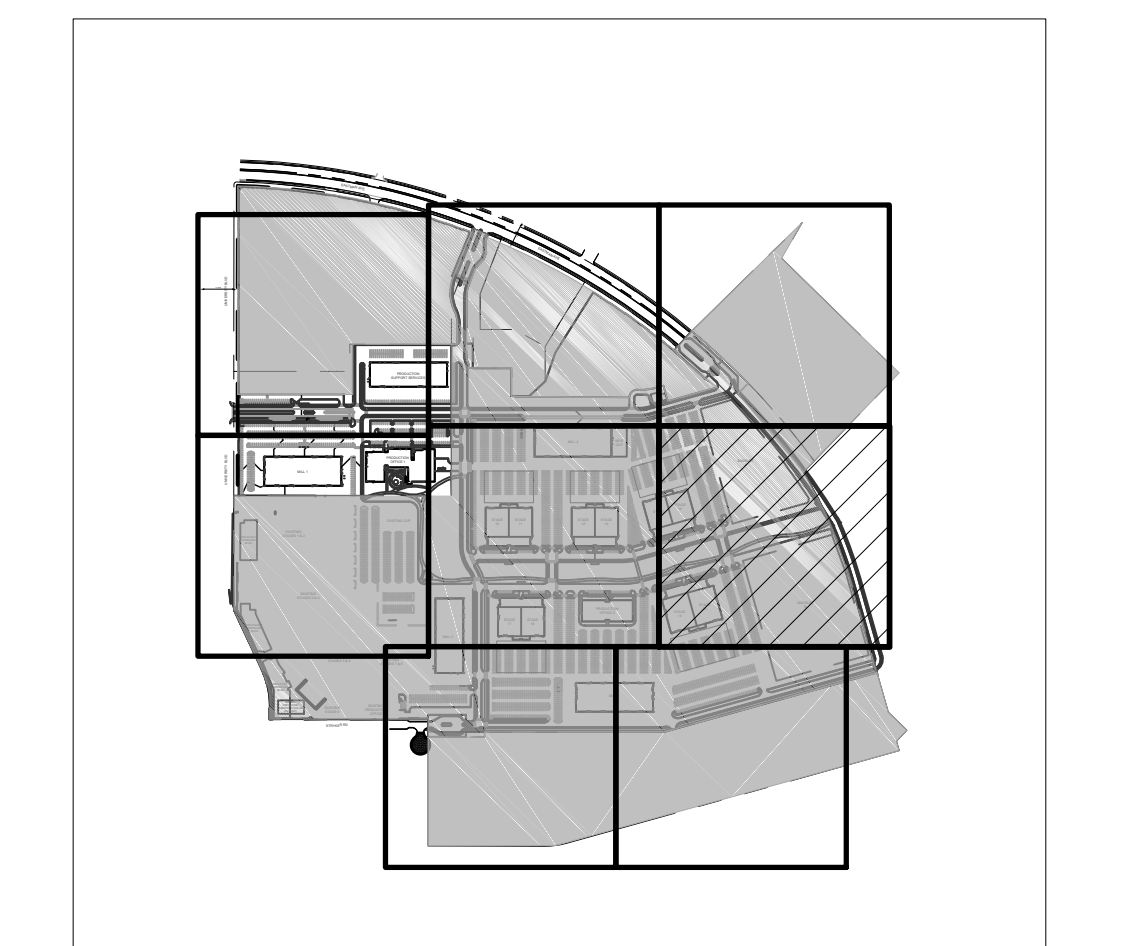


**GRADING KEYED NOTES**

1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
2. CONSTRUCT 4' DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
3. CONSTRUCT 6' DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
4. CONSTRUCT TYPE "A" SINGLE GRATE SD INLET PER COA STD DWG 2201, OR EQUAL.
5. CONSTRUCT TYPE "C" SINGLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
6. CONSTRUCT TYPE "C" DOUBLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
7. CONSTRUCT TYPE "D" SINGLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
8. CONSTRUCT TYPE "D" DOUBLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
9. NOT USED.
10. INSTALL 8" ROOF DRAIN PIPE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
11. CONSTRUCT RETENTION POND.
12. FUTURE RETENTION POND.
13. INSTALL PRE-MANUFACTURED STORM DRAIN FITTING, SIZE(S) PER PLAN.
14. EXISTING UTILITY TO REMAIN, PROTECT IN PLACE.
15. CONNECT TO EXISTING STORM DRAIN INFRASTRUCTURE.
16. CONSTRUCT 12' x 10' x 10' EROSION CONTROL MAT, TYPE VL RIPRAP WITH FILTER FABRIC AND 12" SUBGRADE PREPARATION.
17. INSTALL STORM DRAIN FLARED END SECTION, SIZE PER PLANS.
18. INSTALL 24"x24" NYLOPLAST INLET WITH DOME GRATE.

**LEGEND**

- PROPERTY LINE
- EXISTING EASEMENT
- 5320— PROPOSED INDEX CONTOUR
- 5319— PROPOSED INTERMEDIATE CONTOUR
- - -5320- - - EXISTING INDEX CONTOUR
- - -5319- - - EXISTING INTERMEDIATE CONTOUR
- - - PROPOSED GRADING LIMITS
- PROPOSED DRAINAGE SWALE
- DIRECTION OF FLOW
- ~ WATER BLOCK/GRADE BREAK
- ⊙ PROPOSED STORM DRAIN MANHOLE
- ⊙ PROPOSED STORM DRAIN INLETS
- ⊙ PROPOSED STORM DRAIN CAP
- SD PROPOSED STORM DRAIN LINE
- ⊙ PROPOSED RETENTION POND
- 18.50 SPOT GRADE
- FG=FINISHED GRADE; TA=TOP OF ASPHALT; TC=TOP OF CURB; FL=FLOWLINE; TS=TOP OF SIDEWALK



**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

ENGINEER



PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

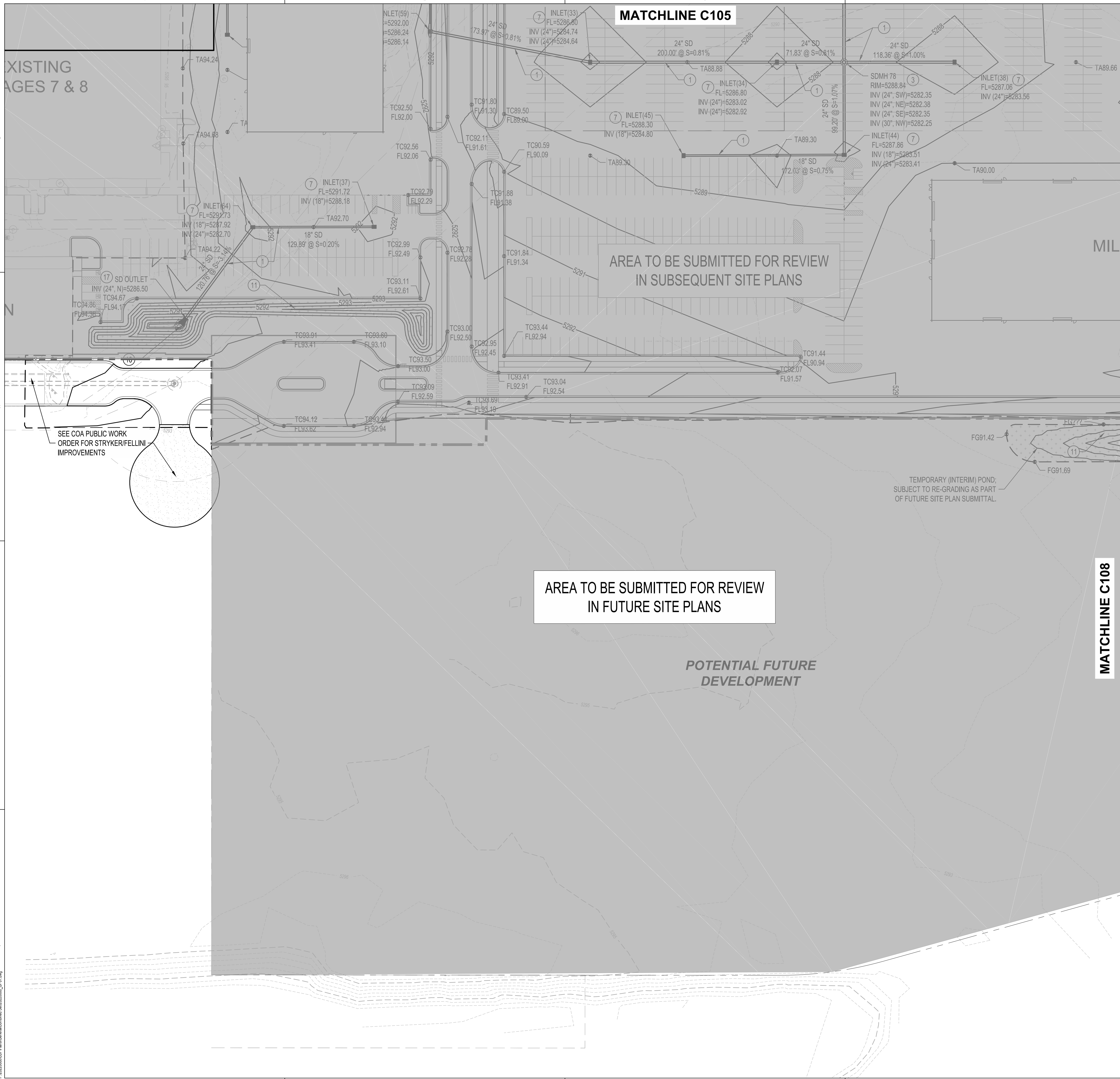
REVISIONS


DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

**GRADING PLAN**

SHEET NO.  
**C106**  
OF



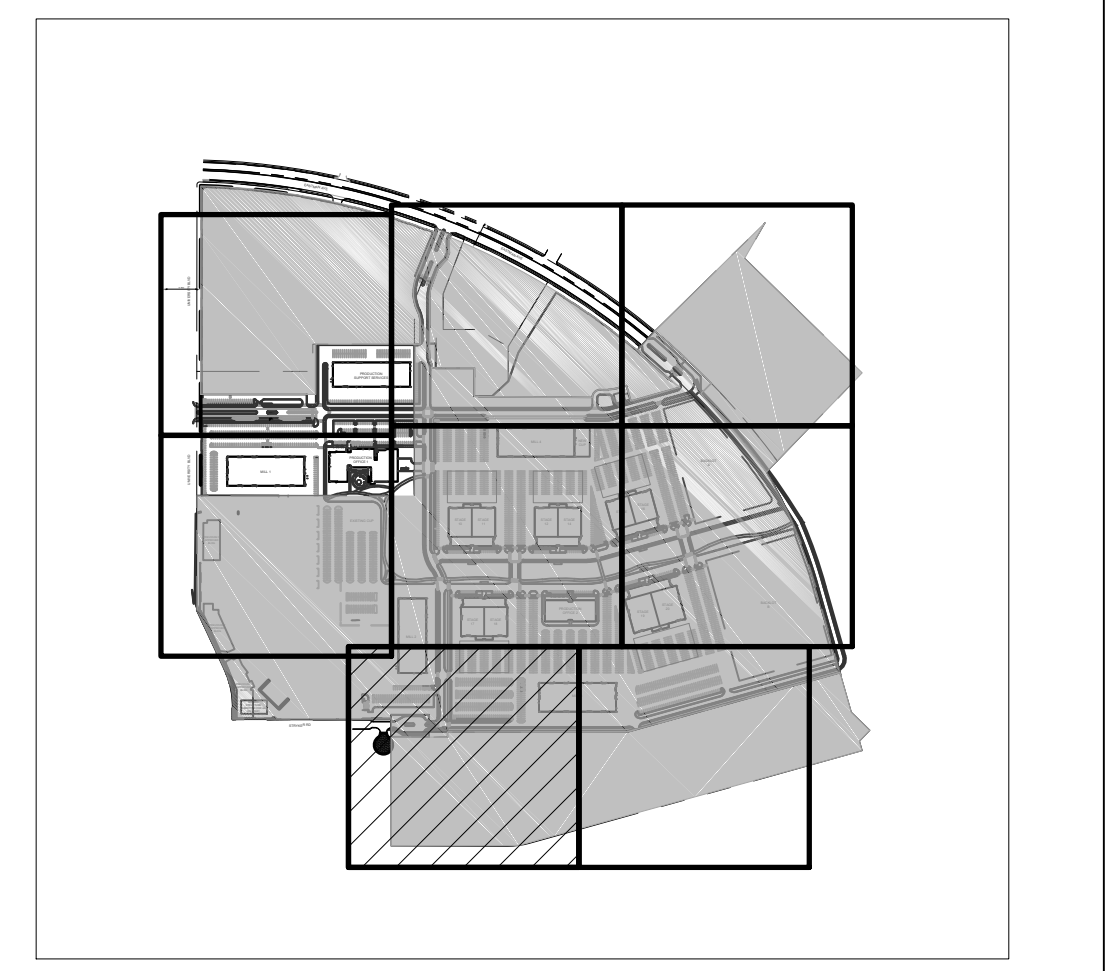


### GRADING KEYED NOTES

1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
2. CONSTRUCT 4" DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
3. CONSTRUCT 6" DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
4. CONSTRUCT TYPE "A" SINGLE GRATE SD INLET PER COA STD DWG 2201, OR EQUAL.
5. CONSTRUCT TYPE "C" SINGLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
6. CONSTRUCT TYPE "C" DOUBLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
7. CONSTRUCT TYPE "D" SINGLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
8. CONSTRUCT TYPE "D" DOUBLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
9. NOT USED.
10. INSTALL 8" ROOF DRAIN PIPE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
11. CONSTRUCT RETENTION POND.
12. FUTURE RETENTION POND.
13. INSTALL PRE-MANUFACTURED STORM DRAIN FITTING, SIZE(S) PER PLAN.
14. EXISTING UTILITY TO REMAIN, PROTECT IN PLACE.
15. CONNECT TO EXISTING STORM DRAIN INFRASTRUCTURE.
16. CONSTRUCT 12" x 10' x 10' EROSION CONTROL MAT; TYPE VL RIPRAP WITH FILTER FABRIC AND 12" SUBGRADE PREPARATION.
17. INSTALL STORM DRAIN FLARED END SECTION, SIZE PER PLANS.
18. INSTALL 24"x24" NYLOPLAST INLET WITH DOME GRATE.

### LEGEND

- PROPERTY LINE
  - EXISTING EASEMENT
  - PROPOSED INDEX CONTOUR
  - PROPOSED INTERMEDIATE CONTOUR
  - EXISTING INDEX CONTOUR
  - EXISTING INTERMEDIATE CONTOUR
  - PROPOSED GRADING LIMITS
  - PROPOSED DRAINAGE SWALE
  - DIRECTION OF FLOW
  - WATER BLOCK/GRADE BREAK
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLETS
  - PROPOSED STORM DRAIN CAP
  - PROPOSED STORM DRAIN LINE
  - PROPOSED RETENTION POND
  - 18.50 SPOT GRADE
- FG=FINISHED GRADE; TA=TOP OF ASPHALT; TC=TOP OF CURB; FL=FLOWLINE; TS=TOP OF SIDEWALK



**SITE KEY MAP**

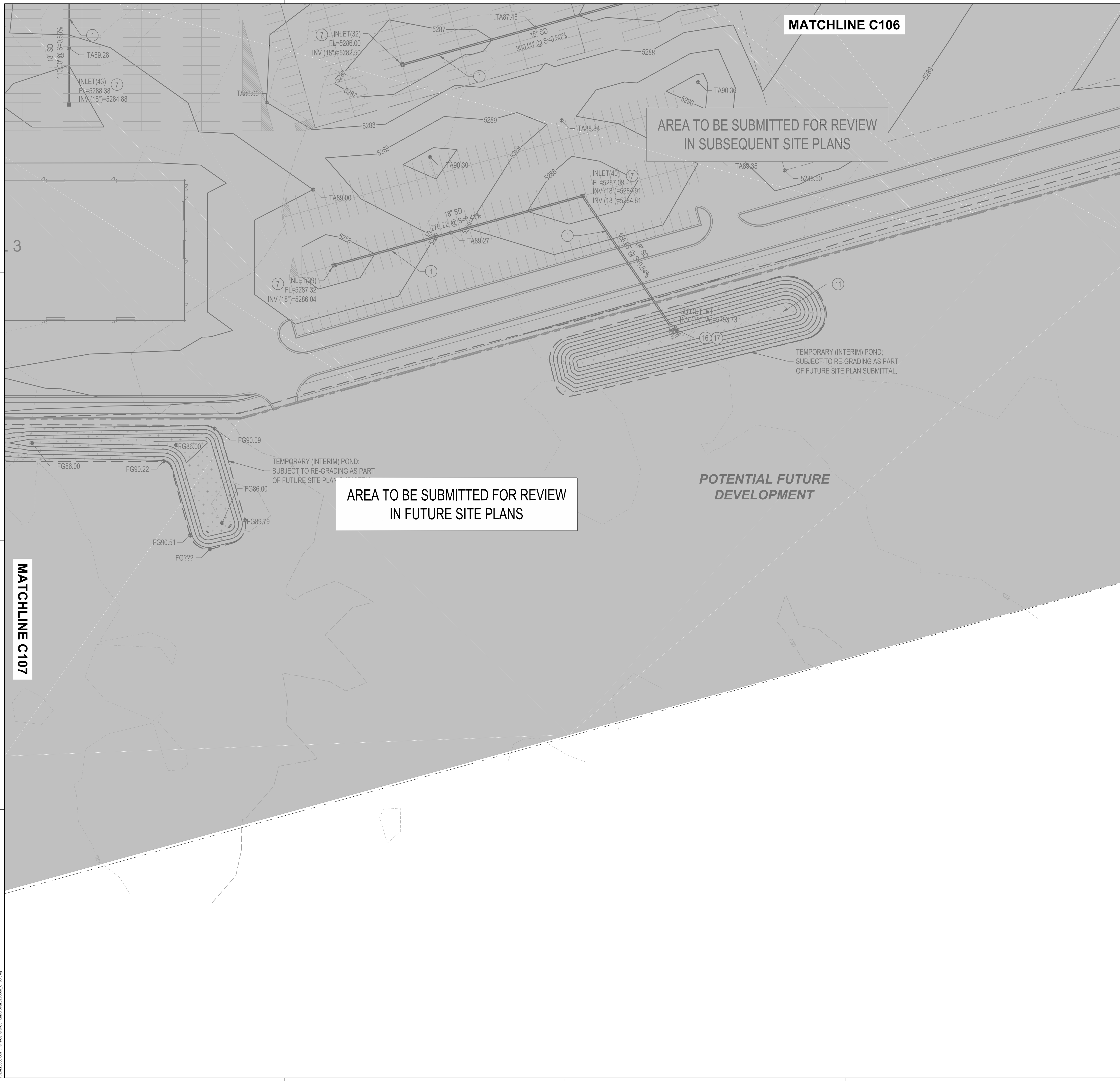


REVISIONS


DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	GRADING PLAN

Thu, 23-Sep-2021 10:07 AM, Plot Size: 11.00x17.00  
 C:\Users\quinn\OneDrive\Documents\Projects\2020\20-0072\20-0072-008.dwg





MATCHLINE C106

AREA TO BE SUBMITTED FOR REVIEW  
IN SUBSEQUENT SITE PLANS

AREA TO BE SUBMITTED FOR REVIEW  
IN FUTURE SITE PLANS

POTENTIAL FUTURE  
DEVELOPMENT

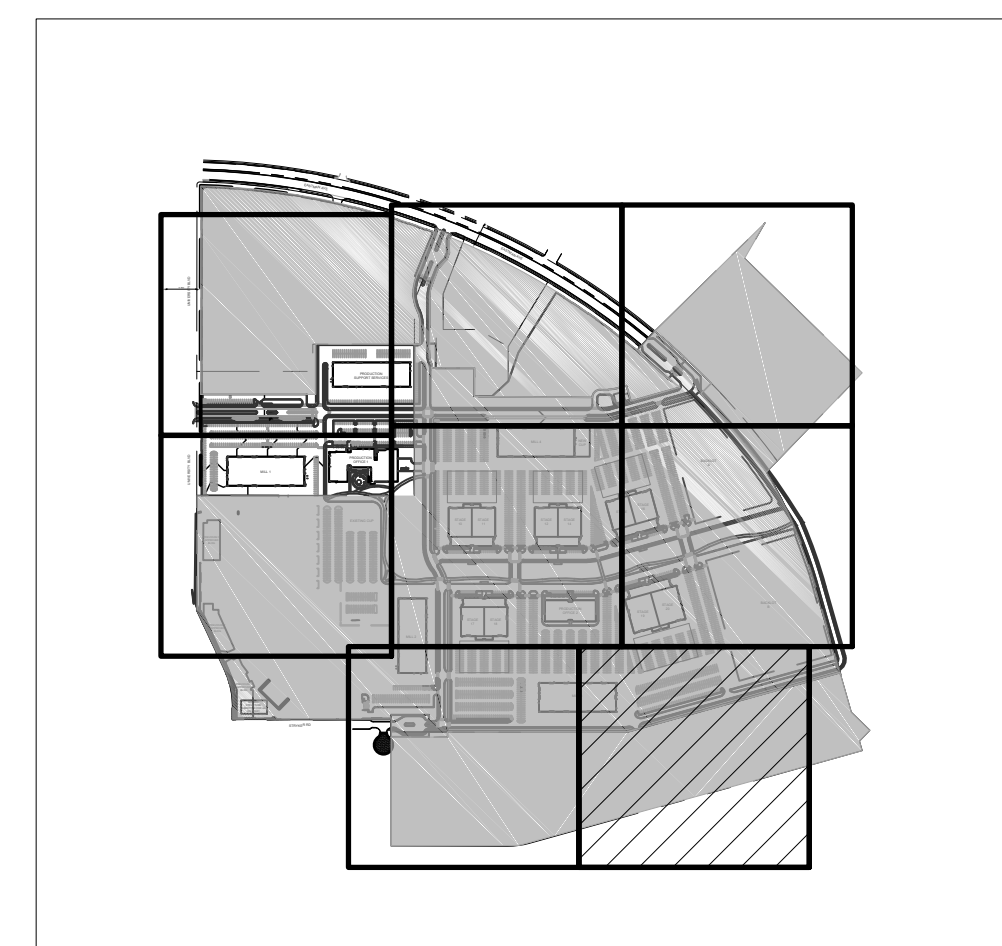
MATCHLINE C107

**GRADING KEYED NOTES**

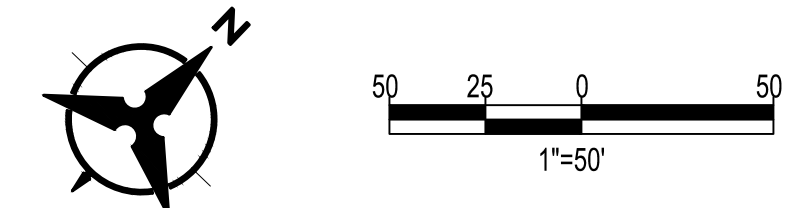
1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
2. CONSTRUCT 4" DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
3. CONSTRUCT 6" DIA TYPE "E" STORM DRAIN MANHOLE PER COA STD DWG 2101.
4. CONSTRUCT TYPE "A" SINGLE GRATE SD INLET PER COA STD DWG 2201, OR EQUAL.
5. CONSTRUCT TYPE "C" SINGLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
6. CONSTRUCT TYPE "C" DOUBLE GRATE SD INLET PER COA STD DWG 2205, OR EQUAL.
7. CONSTRUCT TYPE "D" SINGLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
8. CONSTRUCT TYPE "D" DOUBLE GRATE SD INLET PER COA STD DWG 2206, OR EQUAL.
9. NOT USED.
10. INSTALL 8" ROOF DRAIN PIPE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
11. CONSTRUCT RETENTION POND.
12. FUTURE RETENTION POND.
13. INSTALL PRE-MANUFACTURED STORM DRAIN FITTING, SIZE(S) PER PLAN.
14. EXISTING UTILITY TO REMAIN, PROTECT IN PLACE.
15. CONNECT TO EXISTING STORM DRAIN INFRASTRUCTURE.
16. CONSTRUCT 12" x 10' x 10' EROSION CONTROL MAT, TYPE VL RIPRAP WITH FILTER FABRIC AND 12" SUBGRADE PREPARATION.
17. INSTALL STORM DRAIN FLARED END SECTION, SIZE PER PLANS.
18. INSTALL 24"x24" NYLOPLAST INLET WITH DOME GRATE.

**LEGEND**

	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	PROPOSED GRADING LIMITS
	PROPOSED DRAINAGE SWALE
	DIRECTION OF FLOW
	WATER BLOCK/GRADE BREAK
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLETS
	PROPOSED STORM DRAIN CAP
	PROPOSED STORM DRAIN LINE
	PROPOSED RETENTION POND
	SPOT GRADE
	FG=FINISHED GRADE; TA=TOP OF ASPHALT; TC=TOP OF CURB; FL=FLOWLINE; TS=TOP OF SIDEWALK



**SITE KEY MAP**



**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

ENGINEER



PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

REVISIONS

- △
- △
- △
- △

DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

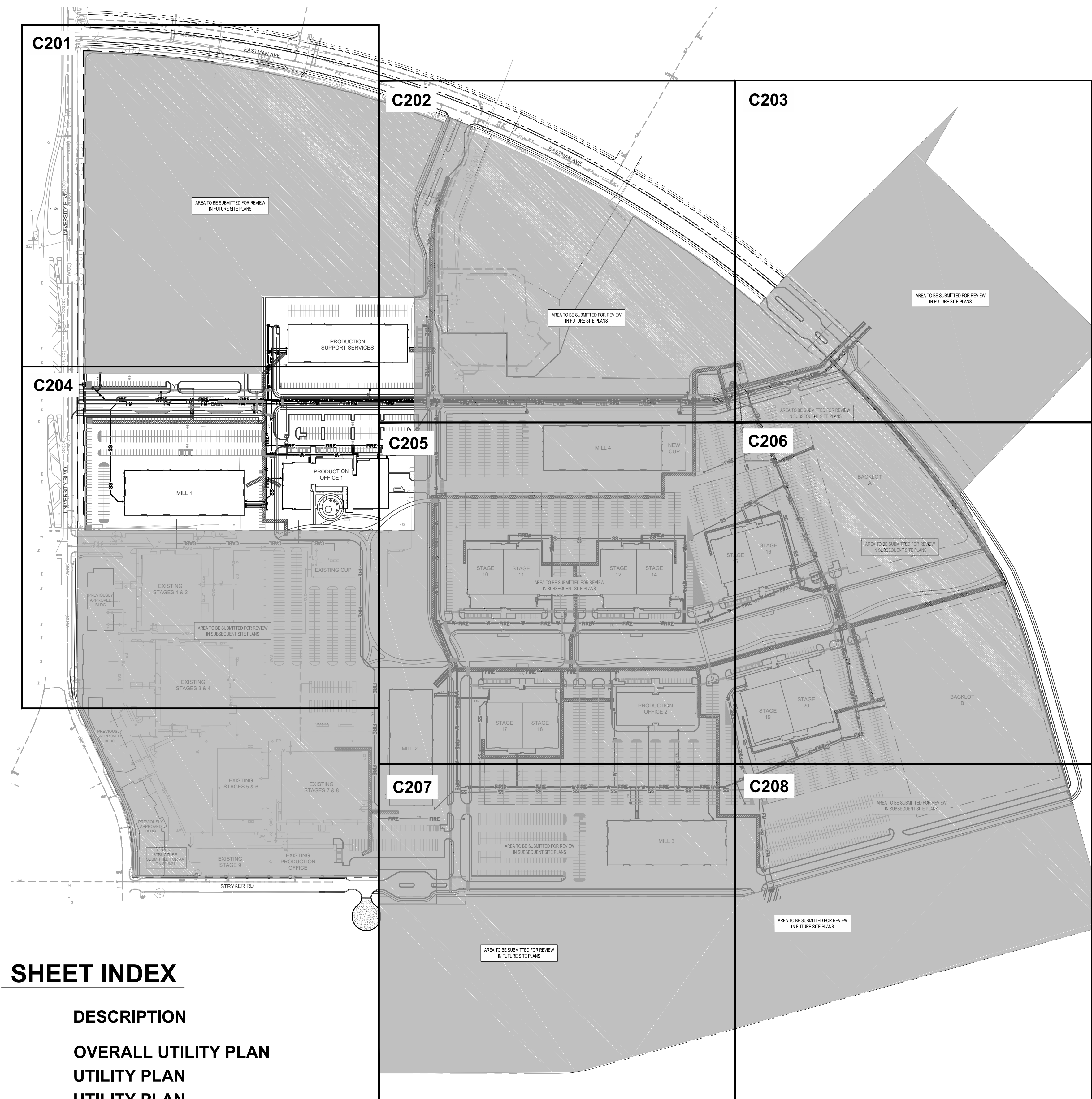
**GRADING PLAN**

SHEET NO.

**C108**  
OF

Thu, 2/26/2021 10:08am, Plot: 178462  
 C:\Users\jphillips\OneDrive\Documents\Projects\2020\08\0803\080308\_Grading





**SHEET INDEX**

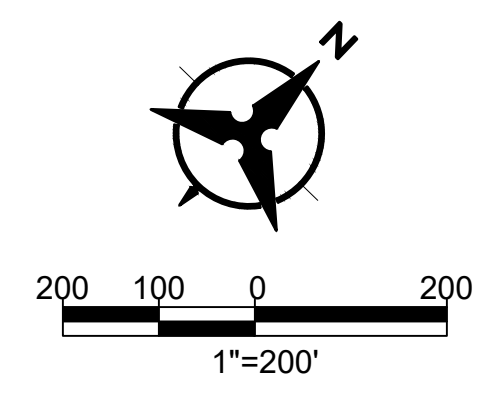
SHEET NUMBER	DESCRIPTION
C200	OVERALL UTILITY PLAN
C201	UTILITY PLAN
C202	UTILITY PLAN
C203	UTILITY PLAN
C204	UTILITY PLAN
C205	UTILITY PLAN
C206	UTILITY PLAN
C207	UTILITY PLAN
C208	UTILITY PLAN
C209	UTILITY DETAILS

**UTILITIES GENERAL NOTES**

- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION, OR AS SHOWN ON PLANS.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
- UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
- ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
- CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
- ALL VALVES SHALL BE ANCHORED PER COA STANDARD DRAWINGS.
- FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
- CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

**LEGEND**

	EXISTING STORM DRAIN LINE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CHILLED WATER LINE
	EXISTING UNDERGROUND ELECTRICAL LINE
	EXISTING COMMUNICATION LINE
	EXISTING UNDERGROUND GAS LINE
	PROPOSED STORM DRAIN LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE LINE
	PROPOSED NATURAL GAS LINE
	PROPOSED LOW VOLTAGE ELECTRIC
	PROPOSED DRY UTILITY CORRIDOR
	EXISTING SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER CLEANOUT
	EXISTING VALVE
	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)



**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon** **Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

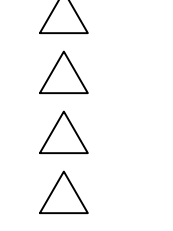
ENGINEER



PROJECT

ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

REVISIONS



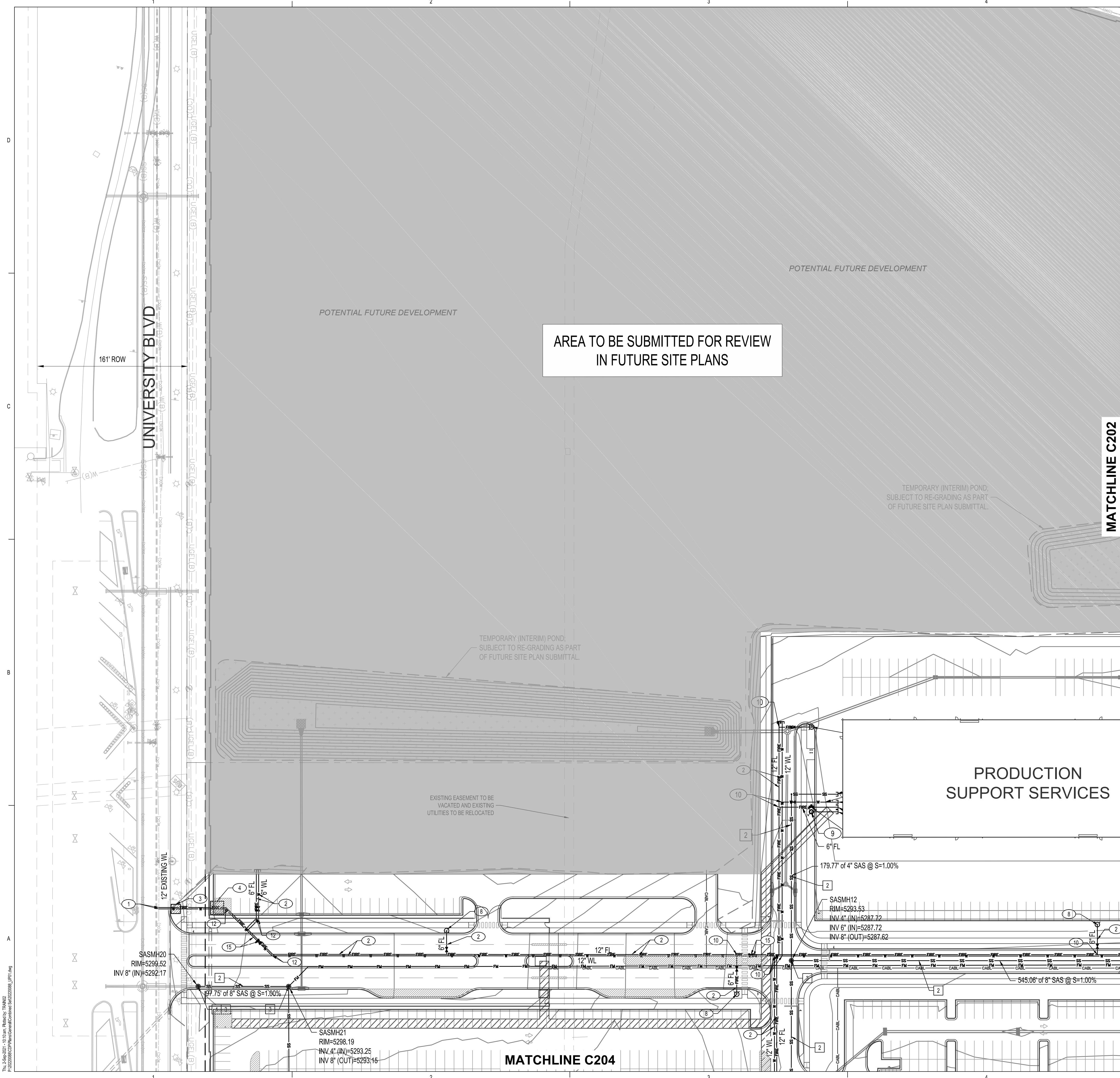
DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

OVERALL  
UTILITY PLAN

SHEET NO.

**C200**  
OF

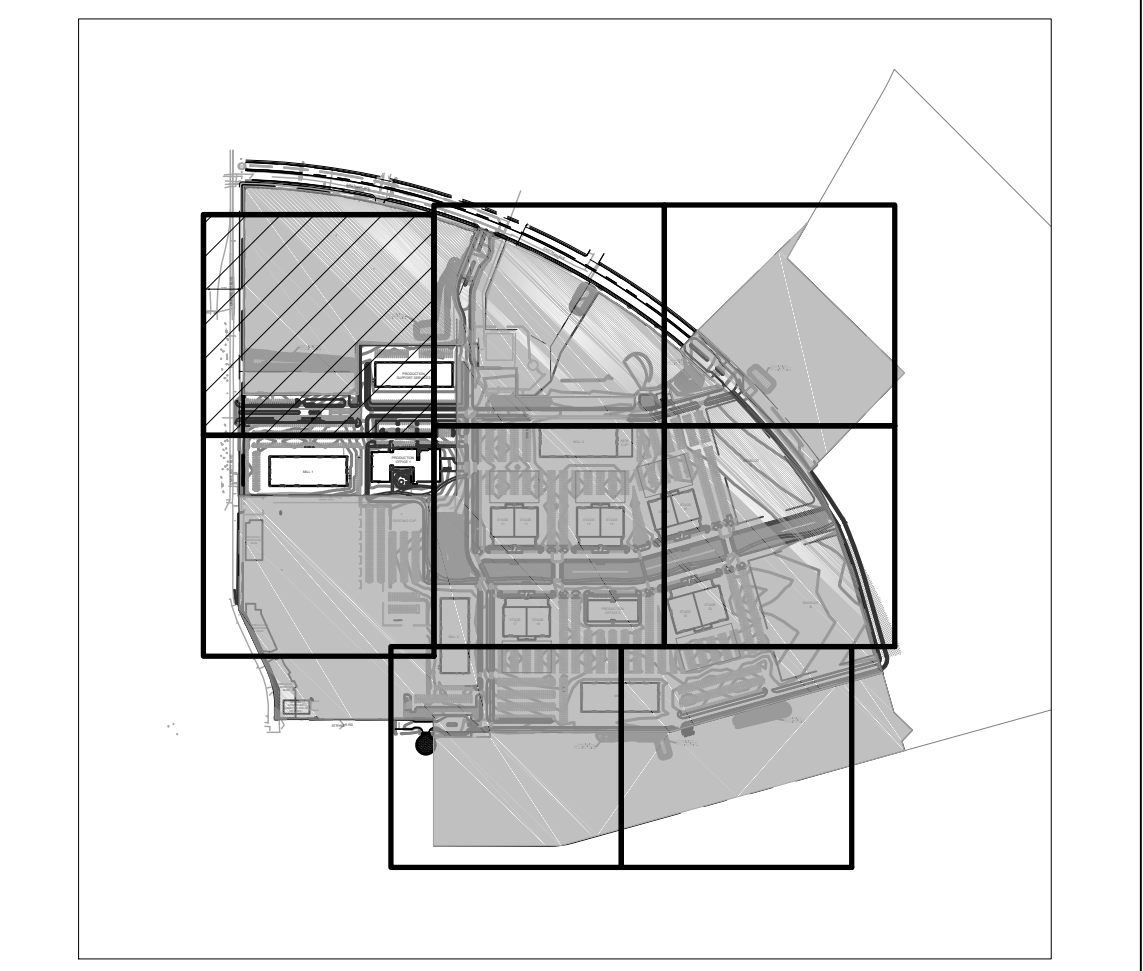




- ### ○ WATER KEYED NOTES
- CONNECT TO EXISTING WATER SYSTEM, SIZE PER PLAN.
  - INSTALL NEW WATERLINE, SIZE PER PLAN.
  - INSTALL NEW LARGE DIAMETER METER VAULT PER COA STANDARD DRAWING 2371.
  - INSTALL BACKFLOW PREVENTER AND HEATED ENCLOSURE OR VAULT.
  - INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL FIRE PROTECTION (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL POST INDICATOR VALVE PER DETAIL 4, SHEET C210.
  - INSTALL FIRE HYDRANT AND 6" GATE VALVE PER COA STANDARD DRAWING 2340.
  - INSTALL REMOTE FIRE DEPARTMENT CONNECTION AND 4" FIRE LINE, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL TEE MJ, DI. SIZE PER PLAN.
  - INSTALL 90° MJ, DI. SIZE PER PLAN.
  - INSTALL 45° MJ, DI. SIZE PER PLAN.
  - INSTALL 22.5° MJ, DI. SIZE PER PLAN.
  - INSTALL 11.25° MJ, DI. SIZE PER PLAN.
  - INSTALL WATER LINE VALVE. SIZE PER PLAN.
  - INSTALL BUILDING MOUNTED FIRE DEPARTMENT CONNECTION, SEE PLUMBING AND ARCHITECTURAL SHEET.
  - INSTALL WALL VALVE INDICATOR PER DETAIL 4, SHEET C210.
- ### □ SANITARY SEWER KEYED NOTES
- CONNECT TO EXISTING SANITARY SEWER STUB, SIZE PER PLAN.
  - INSTALL NEW SANITARY SEWER LINE, SIZE PER PLAN.
  - INSTALL 4" DIAMETER TYPE "C" SANITARY SEWER MANHOLE PER COA STANDARD DRAWING.
  - INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL 4" FORCE MAIN.

### LEGEND

	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CHILLED WATER LINE
	EXISTING UNDERGROUND ELECTRICAL LINE
	EXISTING COMMUNICATION LINE
	EXISTING UNDERGROUND GAS LINE
	PROPOSED STORM DRAIN LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE LINE
	PROPOSED NATURAL GAS LINE
	DRY UTILITY CORRIDOR, SEE ELECTRICAL AND COMMUNICATIONS PLANS
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)



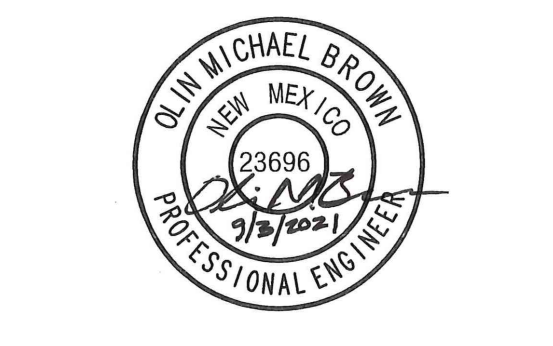
**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

ENGINEER



PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

REVISIONS

△	
△	
△	
△	

DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

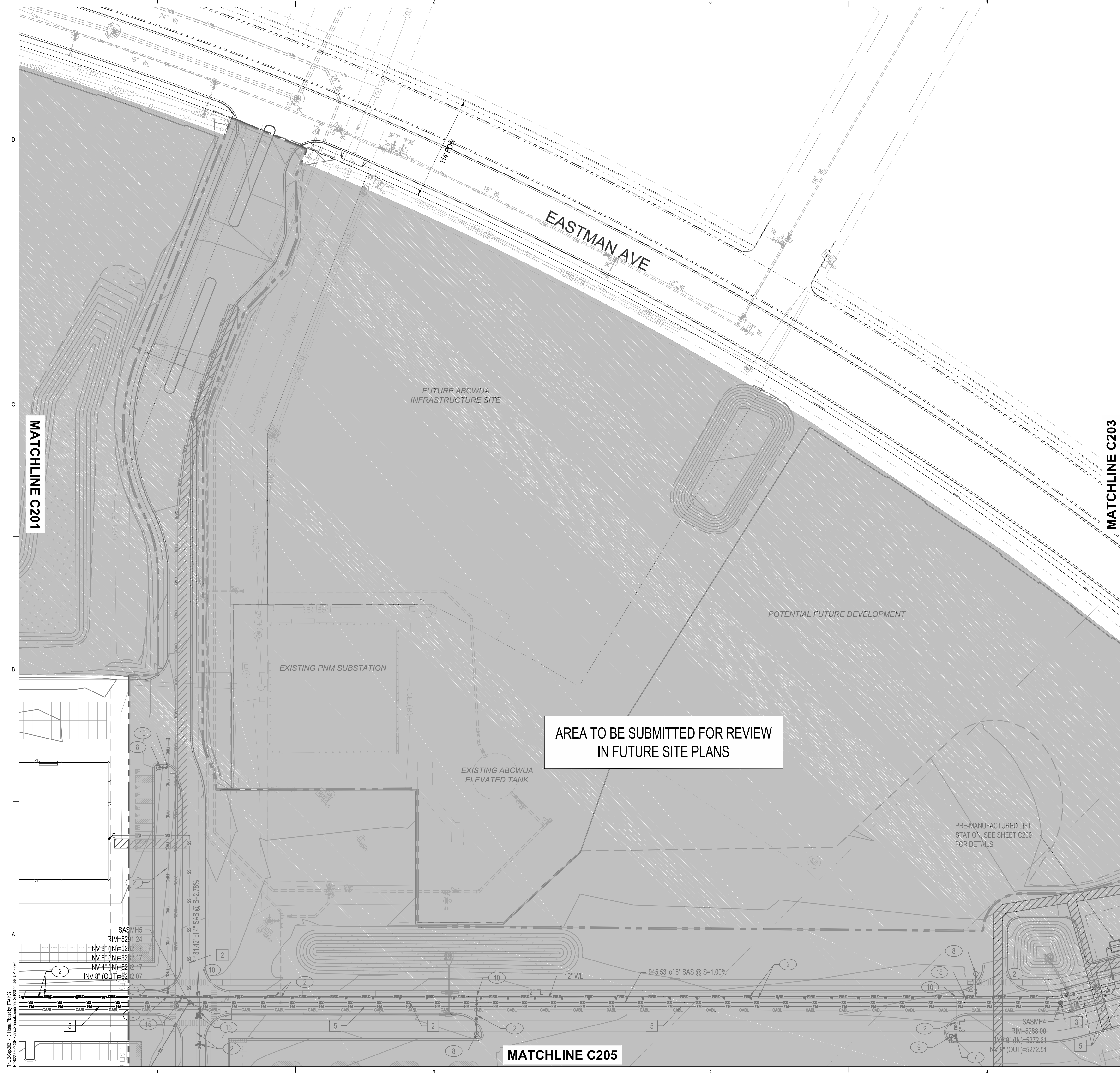
UTILITY PLAN

SHEET NO.

**C201**  
OF

Thu, 23-Sep-2021 10:10:01 AM. Plot by: TSNM2  
 C:\Users\TSM2\OneDrive\Documents\Projects\2020\0072\008\SPR.dwg

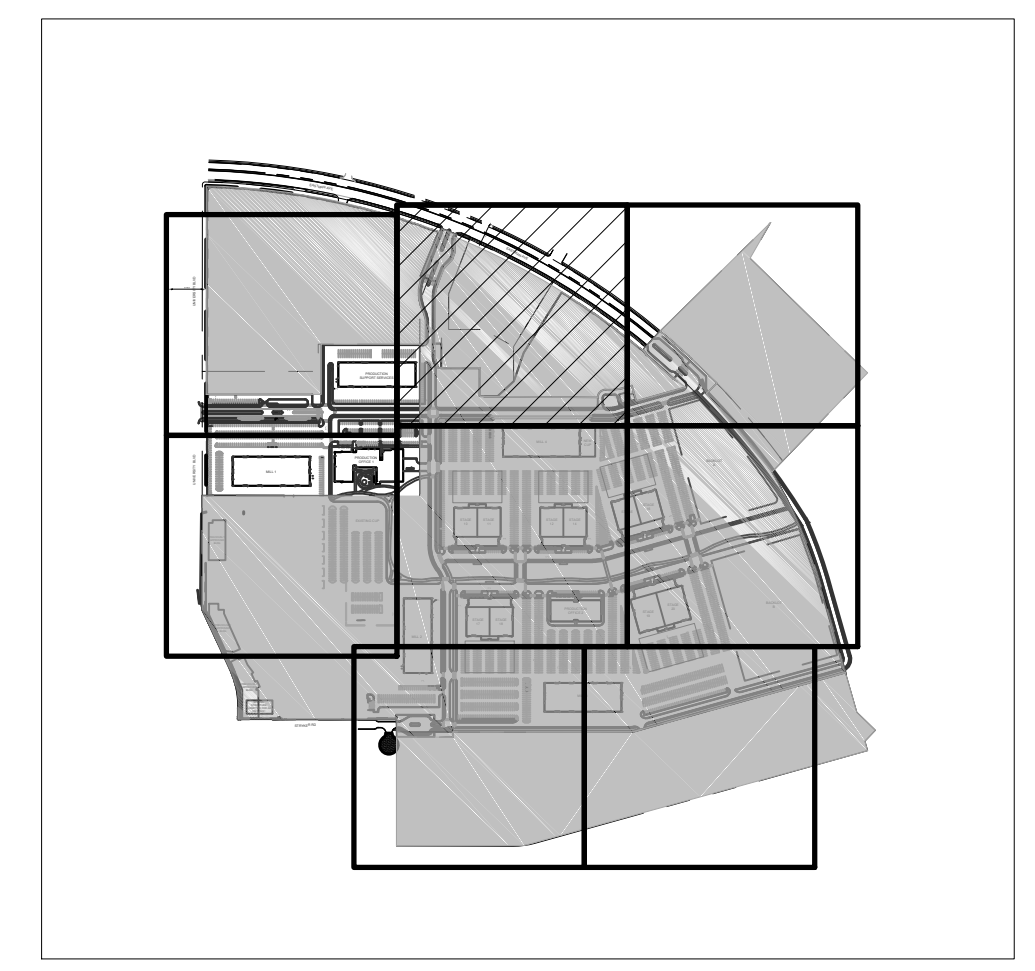




- ### ○ WATER KEYED NOTES
- CONNECT TO EXISTING WATER SYSTEM, SIZE PER PLAN.
  - INSTALL NEW WATERLINE, SIZE PER PLAN.
  - INSTALL NEW LARGE DIAMETER METER VAULT PER COA STANDARD DRAWING 2371.
  - INSTALL BACKFLOW PREVENTER AND HEATED ENCLOSURE OR VAULT.
  - INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL FIRE PROTECTION (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL POST INDICATOR VALVE PER DETAIL 4, SHEET C210.
  - INSTALL FIRE HYDRANT AND 6" GATE VALVE PER COA STANDARD DRAWING 2340.
  - INSTALL REMOTE FIRE DEPARTMENT CONNECTION AND 4" FIRE LINE, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL TEE MJ, DI. SIZE PER PLAN.
  - INSTALL 90° MJ, DI. SIZE PER PLAN.
  - INSTALL 45° MJ, DI. SIZE PER PLAN.
  - INSTALL 22.5° MJ, DI. SIZE PER PLAN.
  - INSTALL 11.25° MJ, DI. SIZE PER PLAN.
  - INSTALL WATER LINE VALVE. SIZE PER PLAN.
  - INSTALL BUILDING MOUNTED FIRE DEPARTMENT CONNECTION, SEE PLUMBING AND ARCHITECTURAL SHEET.
  - INSTALL WALL VALVE INDICATOR PER DETAIL 4, SHEET C210.
- ### □ SANITARY SEWER KEYED NOTES
- CONNECT TO EXISTING SANITARY SEWER STUB, SIZE PER PLAN.
  - INSTALL NEW SANITARY SEWER LINE, SIZE PER PLAN.
  - INSTALL 4' DIAMETER TYPE "C" SANITARY SEWER MANHOLE PER COA STANDARD DRAWING.
  - INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL 4" FORCE MAIN.

### LEGEND

	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CHILLED WATER LINE
	EXISTING UNDERGROUND ELECTRICAL LINE
	EXISTING COMMUNICATION LINE
	EXISTING UNDERGROUND GAS LINE
	PROPOSED STORM DRAIN LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE LINE
	PROPOSED NATURAL GAS LINE
	DRY UTILITY CORRIDOR, SEE ELECTRICAL AND COMMUNICATIONS PLANS
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)



**REVISIONS**

△	
△	
△	
△	

**DRAWN BY** KH/HG  
**REVIEWED BY** OB/MB  
**DATE** 9/3/2021  
**PROJECT NO.** 20-0072.008  
**DRAWING NAME**

**UTILITY PLAN**

**SHEET NO.**  
**C202**  
OF

Scale: 1"=50'  
North Arrow

**DEKKER PERICH SABATINI**

**ARCHITECTURE DESIGN INSPIRATION**

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

**ARCHITECT**

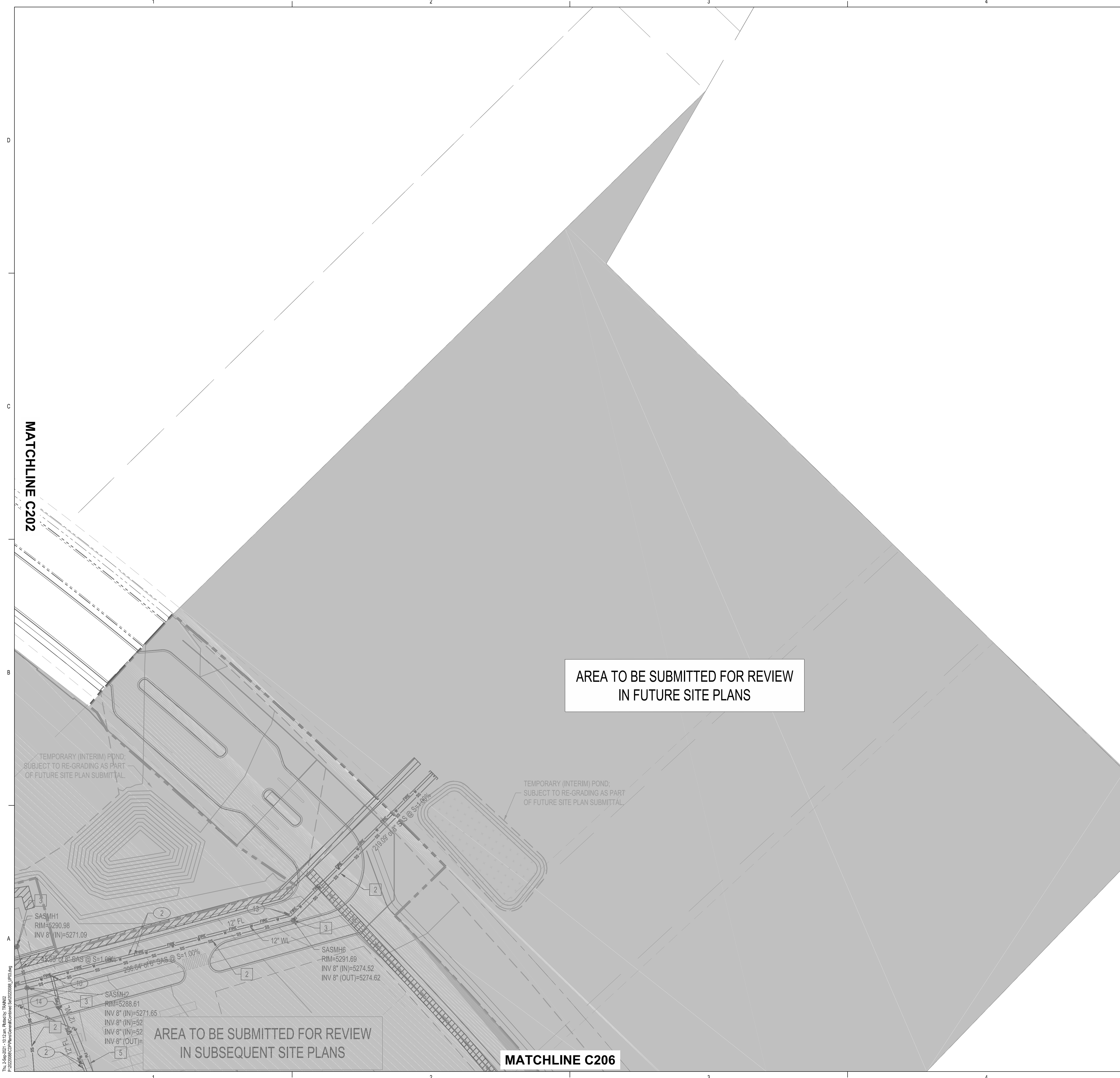
**ENGINEER**

**OLIN MICHAEL BROWN**  
NEW MEXICO  
23696  
9/18/2021  
PROFESSIONAL ENGINEER

**PROJECT**

**ABQ Studios Expansion**  
**NORTH DEVELOPMENT PACKAGE**  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106



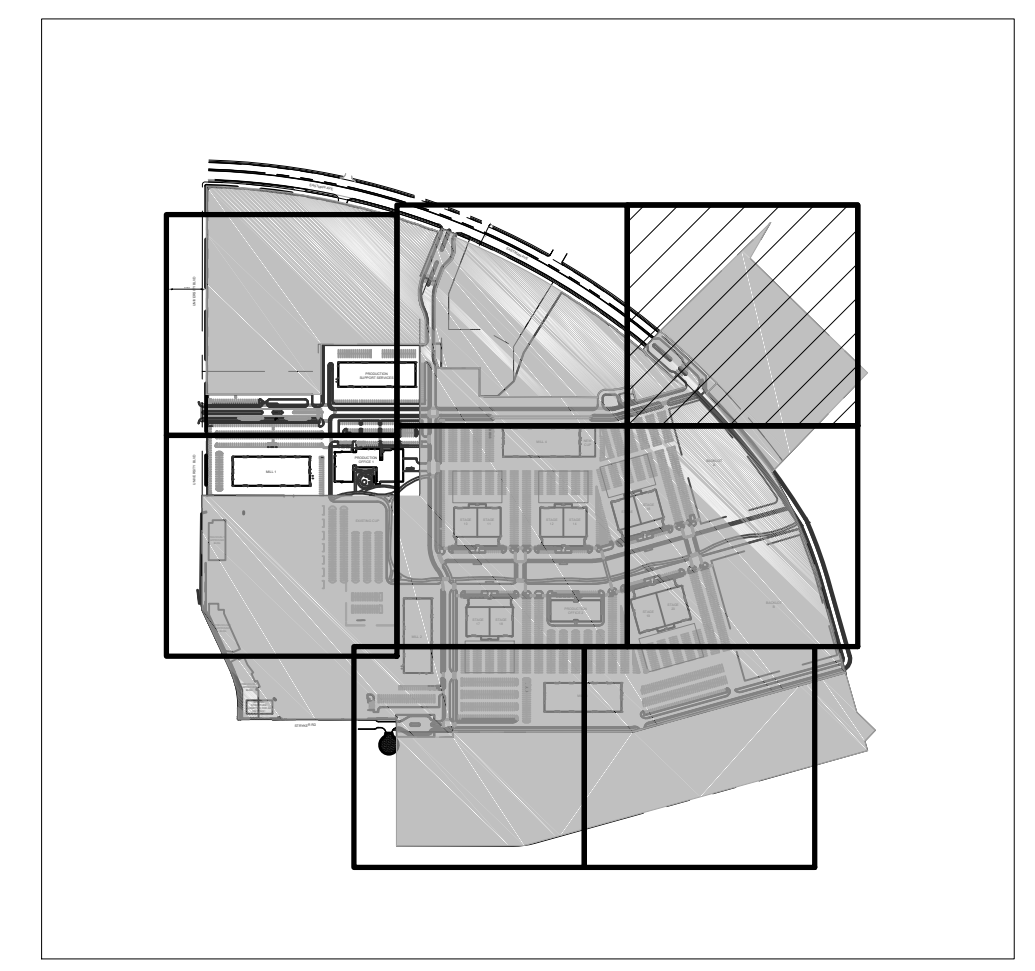


- WATER KEYED NOTES**
- CONNECT TO EXISTING WATER SYSTEM, SIZE PER PLAN.
  - INSTALL NEW WATERLINE, SIZE PER PLAN.
  - INSTALL NEW LARGE DIAMETER METER VAULT PER COA STANDARD DRAWING 2371.
  - INSTALL BACKFLOW PREVENTER AND HEATED ENCLOSURE OR VAULT.
  - INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL FIRE PROTECTION (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL POST INDICATOR VALVE PER DETAIL 4, SHEET C210.
  - INSTALL FIRE HYDRANT AND 6" GATE VALVE PER COA STANDARD DRAWING 2340.
  - INSTALL REMOTE FIRE DEPARTMENT CONNECTION AND 4" FIRE LINE, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL TEE MJ, DI. SIZE PER PLAN.
  - INSTALL 90° MJ, DI. SIZE PER PLAN.
  - INSTALL 45° MJ, DI. SIZE PER PLAN.
  - INSTALL 22.5° MJ, DI. SIZE PER PLAN.
  - INSTALL 11.25° MJ, DI. SIZE PER PLAN.
  - INSTALL WATER LINE VALVE. SIZE PER PLAN.
  - INSTALL BUILDING MOUNTED FIRE DEPARTMENT CONNECTION, SEE PLUMBING AND ARCHITECTURAL SHEET.
  - INSTALL WALL VALVE INDICATOR PER DETAIL 4, SHEET C210.

- SANITARY SEWER KEYED NOTES**
- CONNECT TO EXISTING SANITARY SEWER STUB, SIZE PER PLAN.
  - INSTALL NEW SANITARY SEWER LINE, SIZE PER PLAN.
  - INSTALL 4' DIAMETER TYPE "C" SANITARY SEWER MANHOLE PER COA STANDARD DRAWING.
  - INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL 4" FORCE MAIN.

**LEGEND**

	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CHILLED WATER LINE
	EXISTING UNDERGROUND ELECTRICAL LINE
	EXISTING COMMUNICATION LINE
	EXISTING UNDERGROUND GAS LINE
	PROPOSED STORM DRAIN LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE LINE
	PROPOSED NATURAL GAS LINE
	DRY UTILITY CORRIDOR, SEE ELECTRICAL AND COMMUNICATIONS PLANS
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)



**SITE KEY MAP**

1"=50'



ARCHITECTURE  
DESIGN  
INSPIRATION

Bohannon Huston  
www.bhinc.com 800.877.5332

ARCHITECT

ENGINEER

PROJECT

ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

**REVISIONS**

△	
△	
△	
△	

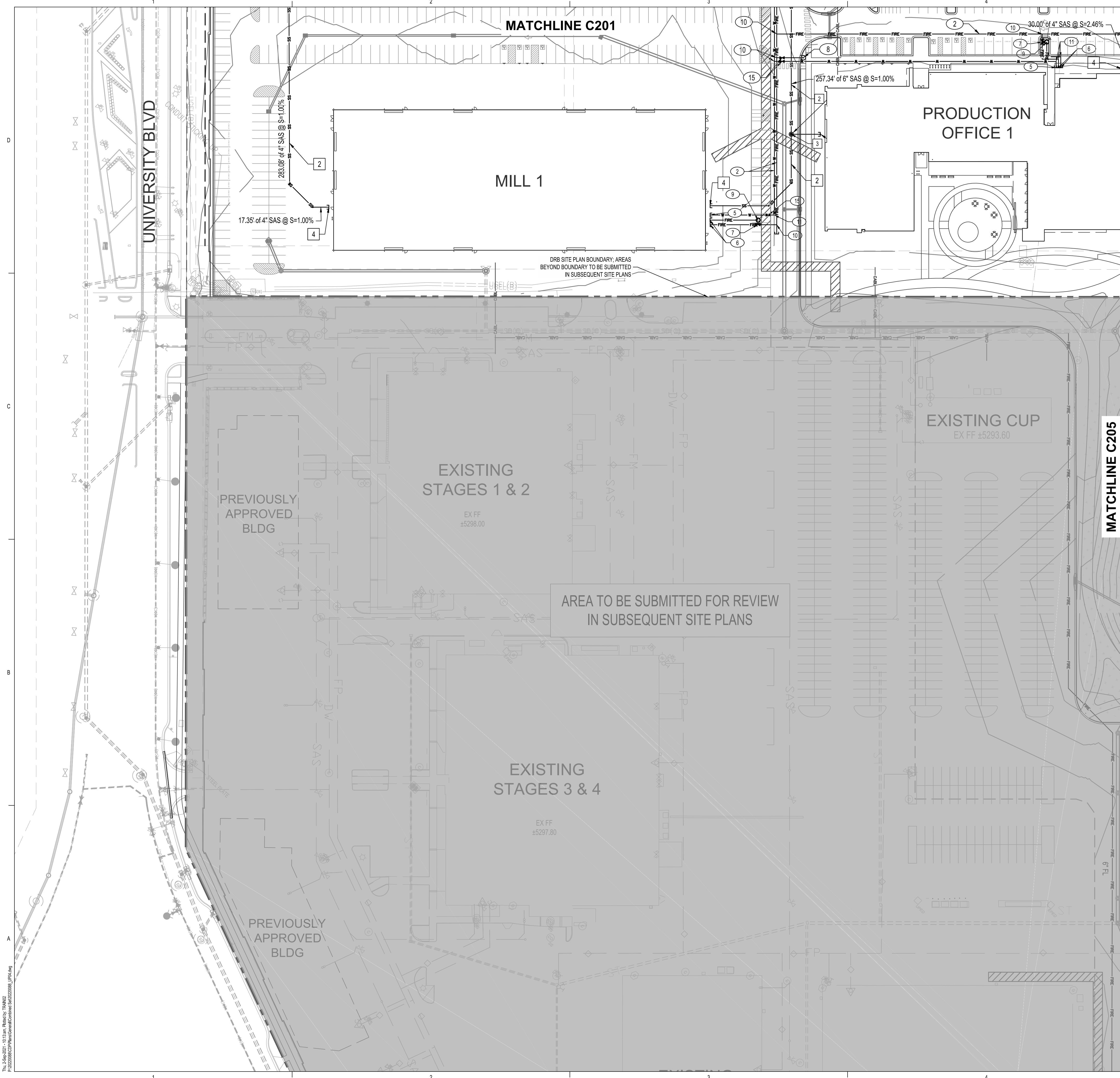
DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

**SITE UTILITY PLAN**

SHEET NO.

**C203**  
OF



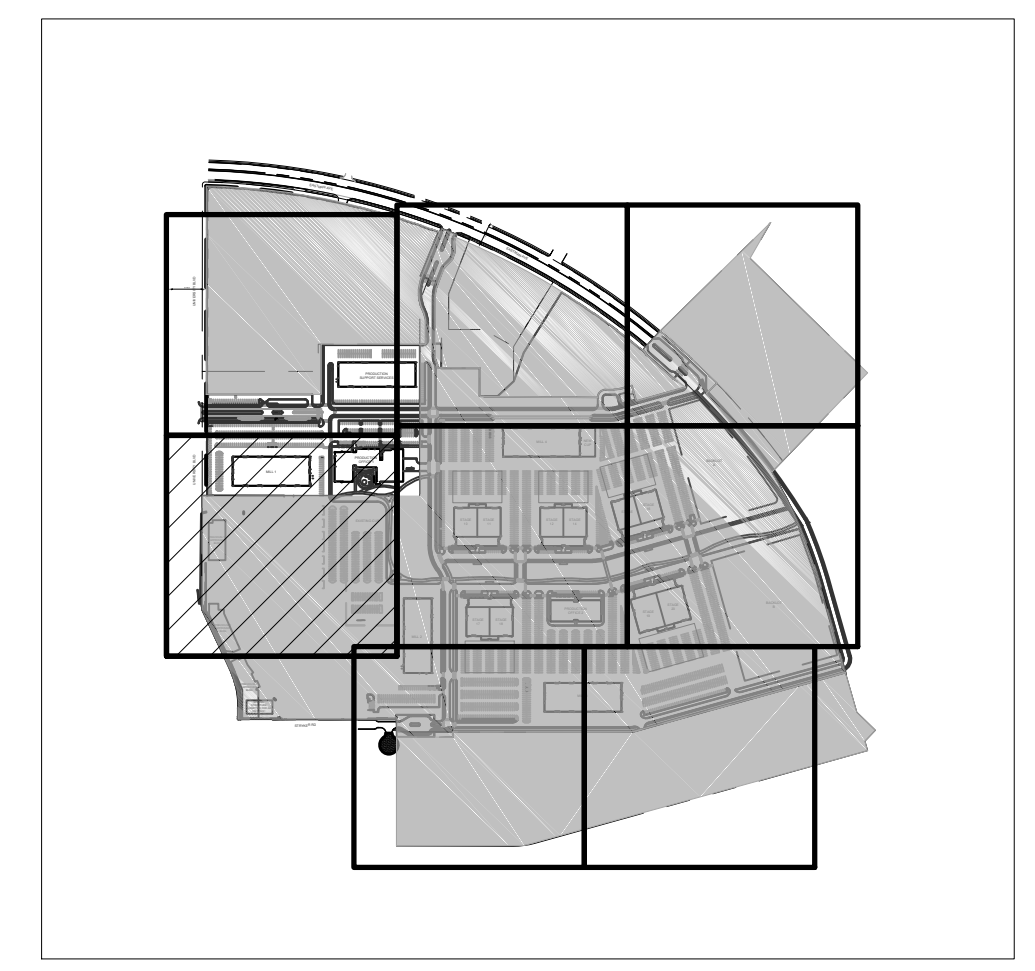


- WATER KEYED NOTES**
- CONNECT TO EXISTING WATER SYSTEM, SIZE PER PLAN.
  - INSTALL NEW WATERLINE, SIZE PER PLAN.
  - INSTALL NEW LARGE DIAMETER METER VAULT PER COA STANDARD DRAWING 2371.
  - INSTALL BACKFLOW PREVENTER AND HEATED ENCLOSURE OR VAULT.
  - INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL FIRE PROTECTION (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL POST INDICATOR VALVE PER DETAIL 4, SHEET C210.
  - INSTALL FIRE HYDRANT AND 6" GATE VALVE PER COA STANDARD DRAWING 2340.
  - INSTALL REMOTE FIRE DEPARTMENT CONNECTION AND 4" FIRE LINE, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL TEE MJ, DI. SIZE PER PLAN.
  - INSTALL 90° MJ, DI. SIZE PER PLAN.
  - INSTALL 45° MJ, DI. SIZE PER PLAN.
  - INSTALL 22.5° MJ, DI. SIZE PER PLAN.
  - INSTALL 11.25° MJ, DI. SIZE PER PLAN.
  - INSTALL WATER LINE VALVE. SIZE PER PLAN.
  - INSTALL BUILDING MOUNTED FIRE DEPARTMENT CONNECTION, SEE PLUMBING AND ARCHITECTURAL SHEET.
  - INSTALL WALL VALVE INDICATOR PER DETAIL 4, SHEET C210.

- SANITARY SEWER KEYED NOTES**
- CONNECT TO EXISTING SANITARY SEWER STUB, SIZE PER PLAN.
  - INSTALL NEW SANITARY SEWER LINE, SIZE PER PLAN.
  - INSTALL 4' DIAMETER TYPE "C" SANITARY SEWER MANHOLE PER COA STANDARD DRAWING.
  - INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL 4" FORCE MAIN.

**LEGEND**

	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CHILLED WATER LINE
	EXISTING UNDERGROUND ELECTRICAL LINE
	EXISTING COMMUNICATION LINE
	EXISTING UNDERGROUND GAS LINE
	PROPOSED STORM DRAIN LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE LINE
	PROPOSED NATURAL GAS LINE
	DRY UTILITY CORRIDOR, SEE ELECTRICAL AND COMMUNICATIONS PLANS
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)



**REVISIONS**

△	
△	
△	
△	

DRAWN BY: KH/HG  
 REVIEWED BY: OB/MB  
 DATE: 9/3/2021  
 PROJECT NO.: 20-0072.008  
 DRAWING NAME:

**SITE UTILITY PLAN**

SHEET NO. **C204** OF

**DEKKER PERICH SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

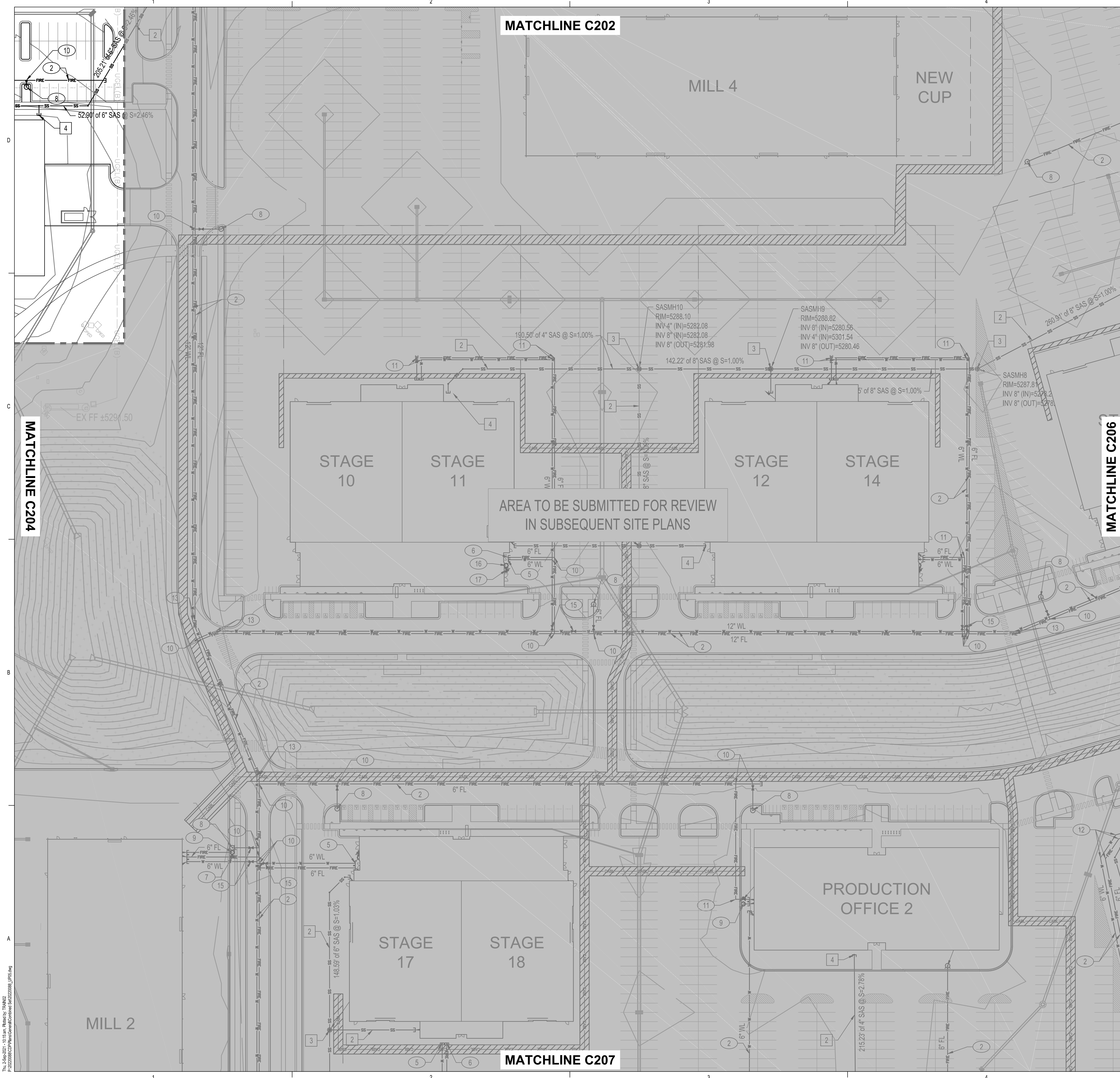
ENGINEER

PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

Thu, 2/26/2025 10:13:11 AM. Plot by: TPNM2  
 C:\Users\TPNM2\OneDrive\Documents\20250226\20250226\_101311.dwg





MATCHLINE C202

MATCHLINE C204

MATCHLINE C206

MATCHLINE C207

AREA TO BE SUBMITTED FOR REVIEW  
IN SUBSEQUENT SITE PLANS

**WATER KEYED NOTES**

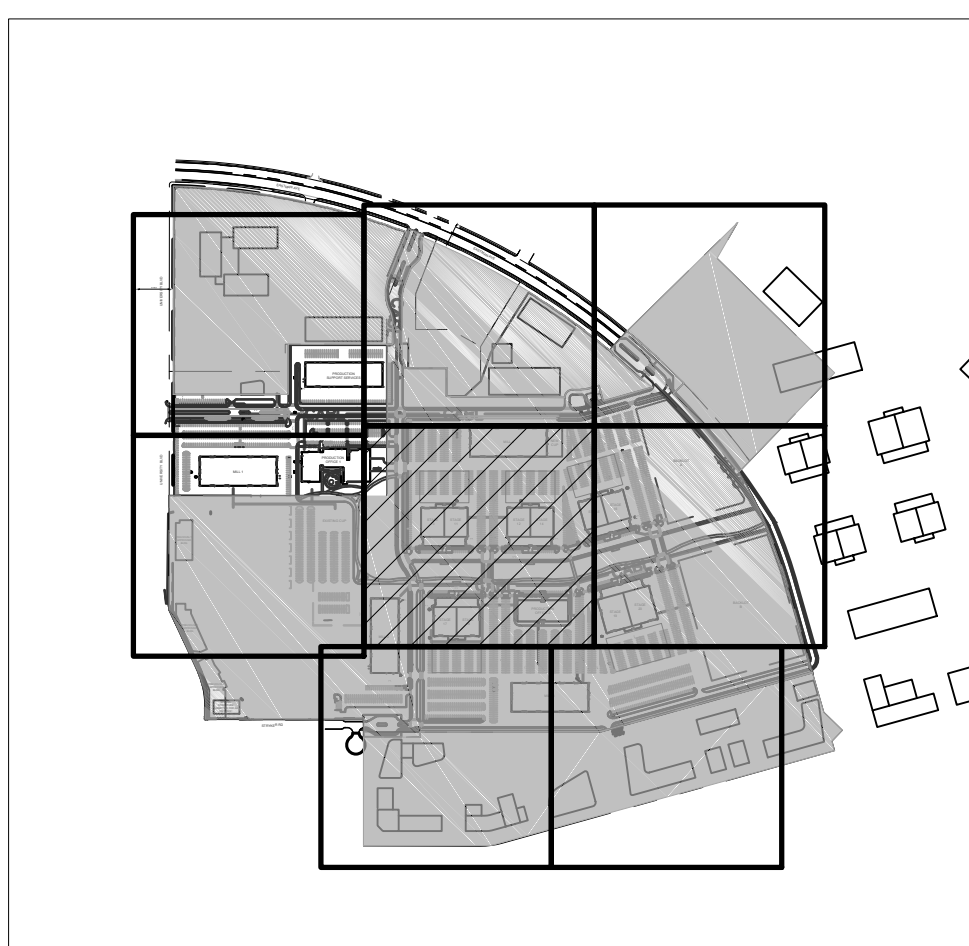
- CONNECT TO EXISTING WATER SYSTEM, SIZE PER PLAN.
- INSTALL NEW WATERLINE, SIZE PER PLAN.
- INSTALL NEW LARGE DIAMETER METER VAULT PER COA STANDARD DRAWING 2371.
- INSTALL BACKFLOW PREVENTER AND HEATED ENCLOSURE OR VAULT.
- INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL FIRE PROTECTION (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL POST INDICATOR VALVE PER DETAIL 4, SHEET C210.
- INSTALL FIRE HYDRANT AND 6" GATE VALVE PER COA STANDARD DRAWING 2340.
- INSTALL REMOTE FIRE DEPARTMENT CONNECTION AND 4" FIRE LINE, SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL TEE MJ, DI. SIZE PER PLAN.
- INSTALL 90° MJ, DI. SIZE PER PLAN.
- INSTALL 45° MJ, DI. SIZE PER PLAN.
- INSTALL 22.5° MJ, DI. SIZE PER PLAN.
- INSTALL 11.25° MJ, DI. SIZE PER PLAN.
- INSTALL WATER LINE VALVE. SIZE PER PLAN.
- INSTALL BUILDING MOUNTED FIRE DEPARTMENT CONNECTION, SEE PLUMBING AND ARCHITECTURAL SHEET.
- INSTALL WALL VALVE INDICATOR PER DETAIL 4, SHEET C210.

**SANITARY SEWER KEYED NOTES**

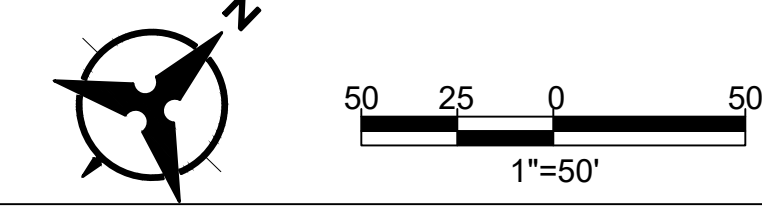
- CONNECT TO EXISTING SANITARY SEWER STUB, SIZE PER PLAN.
- INSTALL NEW SANITARY SEWER LINE, SIZE PER PLAN.
- INSTALL 4" DIAMETER TYPE "C" SANITARY SEWER MANHOLE PER COA STANDARD DRAWING.
- INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL 4" FORCE MAIN.

**LEGEND**

	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CHILLED WATER LINE
	EXISTING UNDERGROUND ELECTRICAL LINE
	EXISTING COMMUNICATION LINE
	EXISTING UNDERGROUND GAS LINE
	PROPOSED STORM DRAIN LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE LINE
	PROPOSED NATURAL GAS LINE
	DRY UTILITY CORRIDOR, SEE ELECTRICAL AND COMMUNICATIONS PLANS
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)



**SITE KEY MAP**



**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

ENGINEER



PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

**REVISIONS**

- △
- △
- △
- △

DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

**SITE UTILITY  
PLAN**

SHEET NO.

**C205**  
OF

Thu, 2/26/2021 10:15am Plot by: TRW/MS  
 C:\2020\2021\Projects\ABQ Studios Expansion\NORTH DEVELOPMENT PACKAGE





**WATER KEYED NOTES**

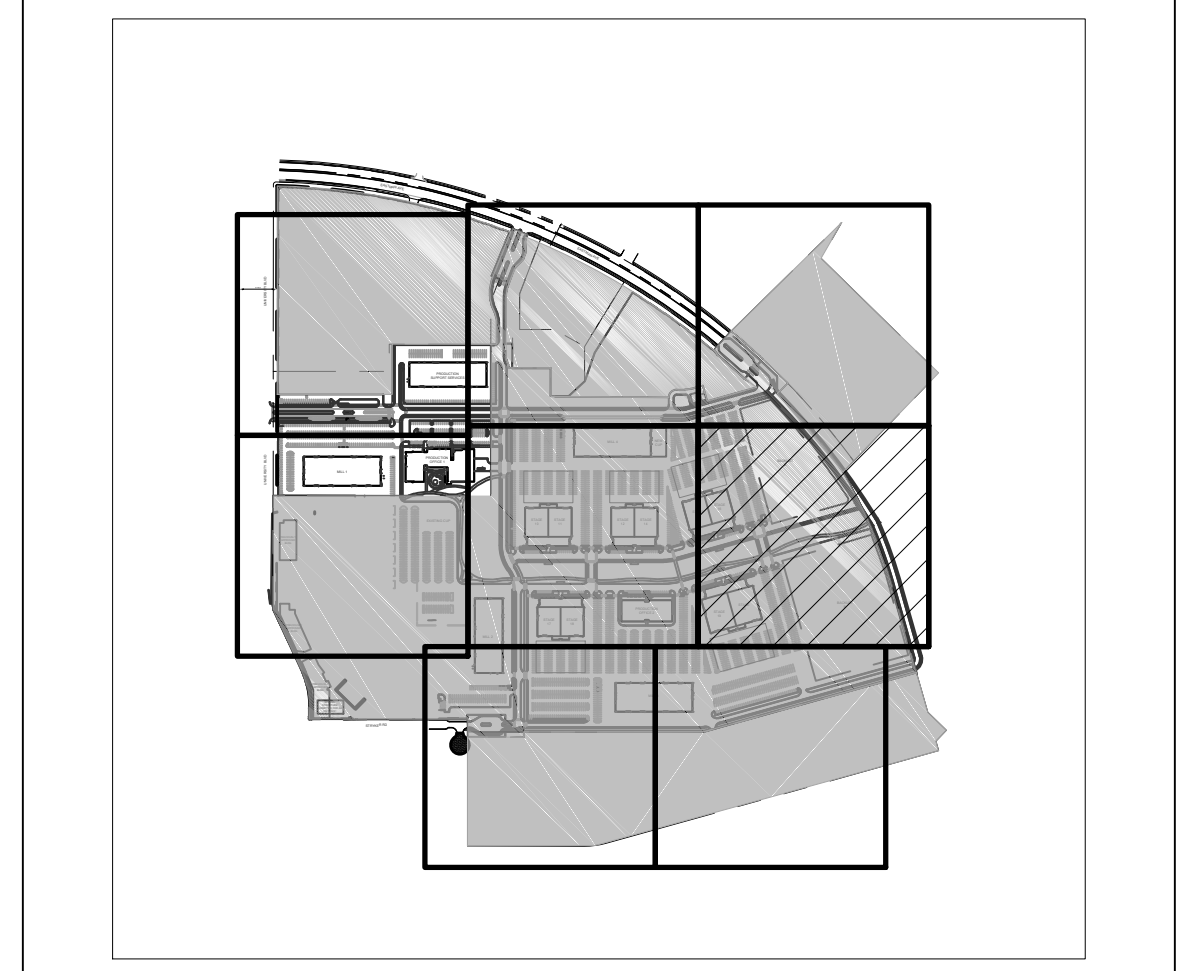
- CONNECT TO EXISTING WATER SYSTEM, SIZE PER PLAN.
- INSTALL NEW WATERLINE, SIZE PER PLAN.
- INSTALL NEW LARGE DIAMETER METER VAULT PER COA STANDARD DRAWING 2371.
- INSTALL BACKFLOW PREVENTER AND HEATED ENCLOSURE OR VAULT.
- INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL FIRE PROTECTION (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL POST INDICATOR VALVE PER DETAIL 4, SHEET C210.
- INSTALL FIRE HYDRANT AND 6" GATE VALVE PER COA STANDARD DRAWING 2340.
- INSTALL REMOTE FIRE DEPARTMENT CONNECTION AND 4" FIRE LINE, SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL TEE MJ, DI. SIZE PER PLAN.
- INSTALL 90° MJ, DI. SIZE PER PLAN.
- INSTALL 45° MJ, DI. SIZE PER PLAN.
- INSTALL 22.5° MJ, DI. SIZE PER PLAN.
- INSTALL 11.25° MJ, DI. SIZE PER PLAN.
- INSTALL WATER LINE VALVE. SIZE PER PLAN.
- INSTALL BUILDING MOUNTED FIRE DEPARTMENT CONNECTION, SEE PLUMBING AND ARCHITECTURAL SHEET.
- INSTALL WALL VALVE INDICATOR PER DETAIL 4, SHEET C210.

**SANITARY SEWER KEYED NOTES**

- CONNECT TO EXISTING SANITARY SEWER STUB, SIZE PER PLAN.
- INSTALL NEW SANITARY SEWER LINE, SIZE PER PLAN.
- INSTALL 4" DIAMETER TYPE "C" SANITARY SEWER MANHOLE PER COA STANDARD DRAWING.
- INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL 4" FORCE MAIN.

**LEGEND**

	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CHILLED WATER LINE
	EXISTING UNDERGROUND ELECTRICAL LINE
	EXISTING COMMUNICATION LINE
	EXISTING UNDERGROUND GAS LINE
	PROPOSED STORM DRAIN LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE LINE
	PROPOSED NATURAL GAS LINE
	DRY UTILITY CORRIDOR, SEE ELECTRICAL AND COMMUNICATIONS PLANS
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)



**SITE KEY MAP**

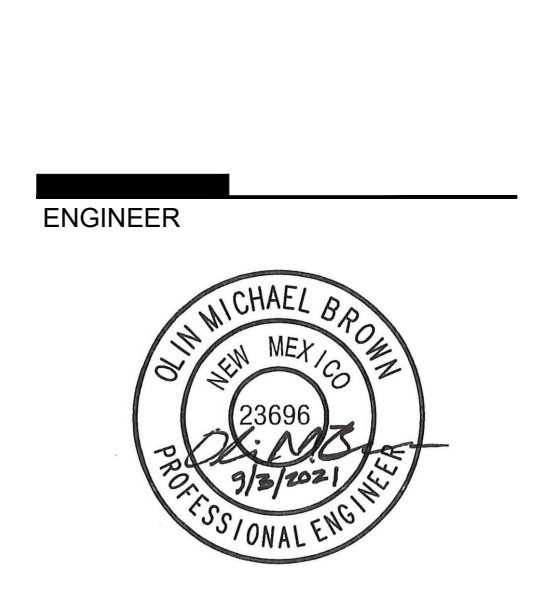


ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

ENGINEER



PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

**REVISIONS**

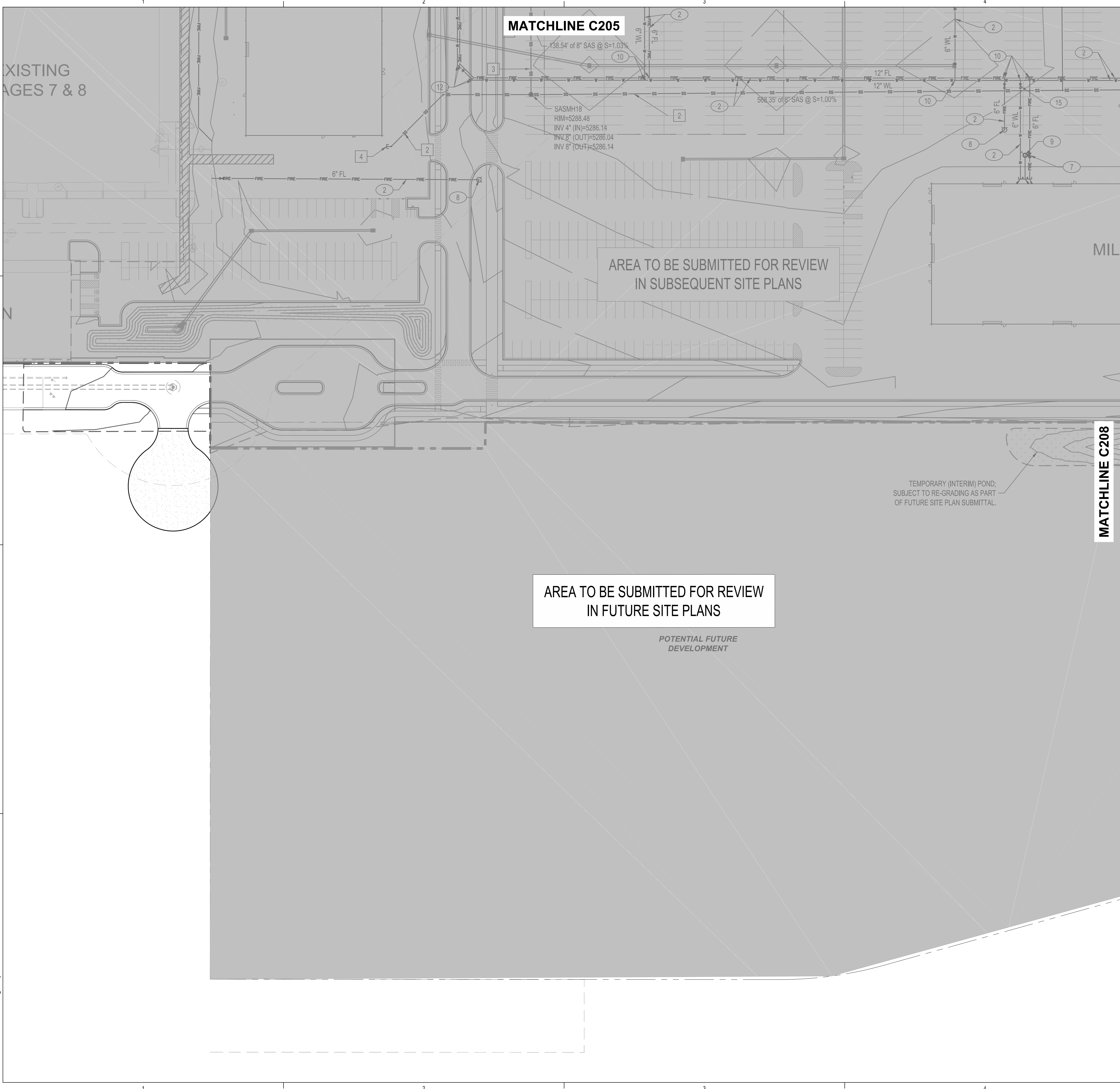
△	
△	
△	
△	

DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

**SITE UTILITY PLAN**

SHEET NO.  
**C206**  
OF





**○ WATER KEYED NOTES**

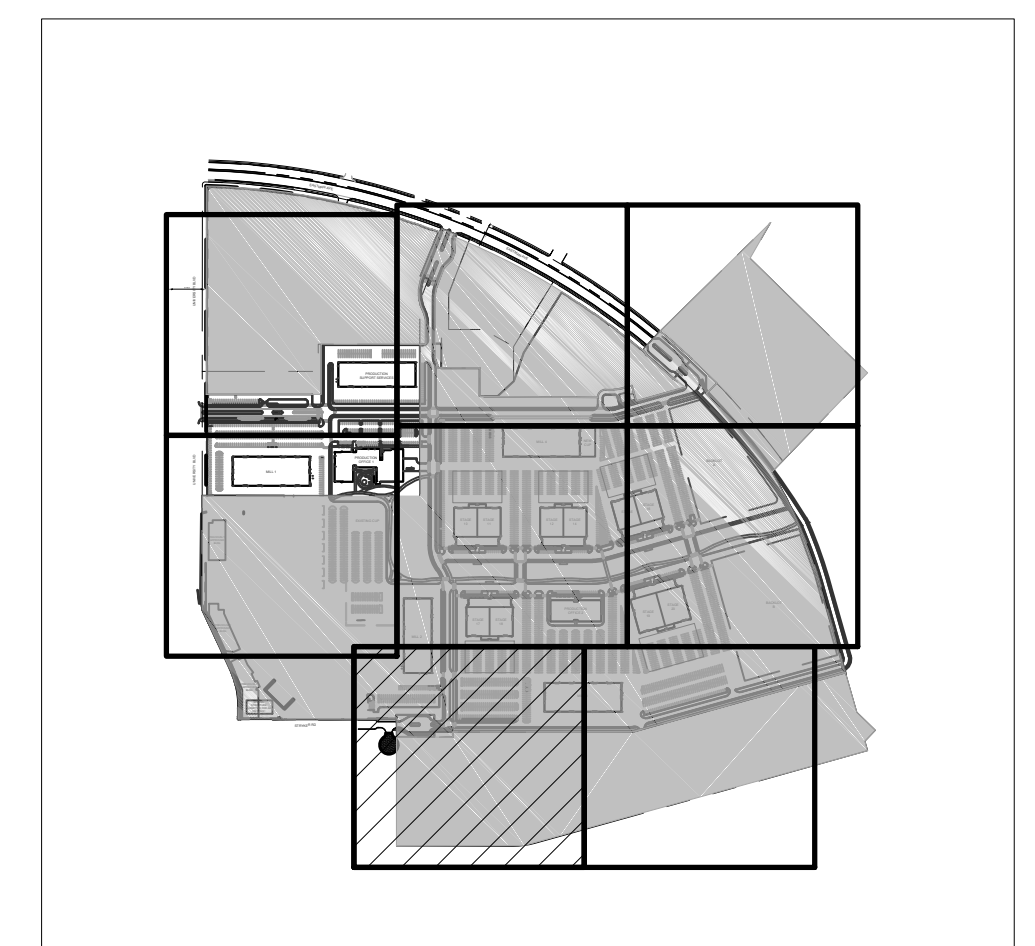
- CONNECT TO EXISTING WATER SYSTEM, SIZE PER PLAN.
- INSTALL NEW WATERLINE, SIZE PER PLAN.
- INSTALL NEW LARGE DIAMETER METER VAULT PER COA STANDARD DRAWING 2371.
- INSTALL BACKFLOW PREVENTER AND HEATED ENCLOSURE OR VAULT.
- INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL FIRE PROTECTION (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL POST INDICATOR VALVE PER DETAIL 4, SHEET C210.
- INSTALL FIRE HYDRANT AND 6" GATE VALVE PER COA STANDARD DRAWING 2340.
- INSTALL REMOTE FIRE DEPARTMENT CONNECTION AND 4" FIRE LINE, SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL TEE MJ, DI. SIZE PER PLAN.
- INSTALL 90° MJ, DI. SIZE PER PLAN.
- INSTALL 45° MJ, DI. SIZE PER PLAN.
- INSTALL 22.5° MJ, DI. SIZE PER PLAN.
- INSTALL 11.25° MJ, DI. SIZE PER PLAN.
- INSTALL WATER LINE VALVE. SIZE PER PLAN.
- INSTALL BUILDING MOUNTED FIRE DEPARTMENT CONNECTION, SEE PLUMBING AND ARCHITECTURAL SHEET.
- INSTALL WALL VALVE INDICATOR PER DETAIL 4, SHEET C210.

**□ SANITARY SEWER KEYED NOTES**

- CONNECT TO EXISTING SANITARY SEWER STUB, SIZE PER PLAN.
- INSTALL NEW SANITARY SEWER LINE, SIZE PER PLAN.
- INSTALL 4' DIAMETER TYPE "C" SANITARY SEWER MANHOLE PER COA STANDARD DRAWING.
- INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL 4" FORCE MAIN.

**LEGEND**

	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CHILLED WATER LINE
	EXISTING UNDERGROUND ELECTRICAL LINE
	EXISTING COMMUNICATION LINE
	EXISTING UNDERGROUND GAS LINE
	PROPOSED STORM DRAIN LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE LINE
	PROPOSED NATURAL GAS LINE
	DRY UTILITY CORRIDOR, SEE ELECTRICAL AND COMMUNICATIONS PLANS
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)



**REVISIONS**

△	
△	
△	
△	

DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

**SITE UTILITY PLAN**

SHEET NO. **C207** OF

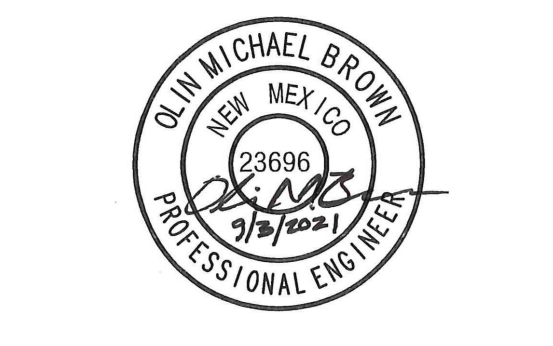


ARCHITECTURE  
DESIGN  
INSPIRATION



ARCHITECT

ENGINEER

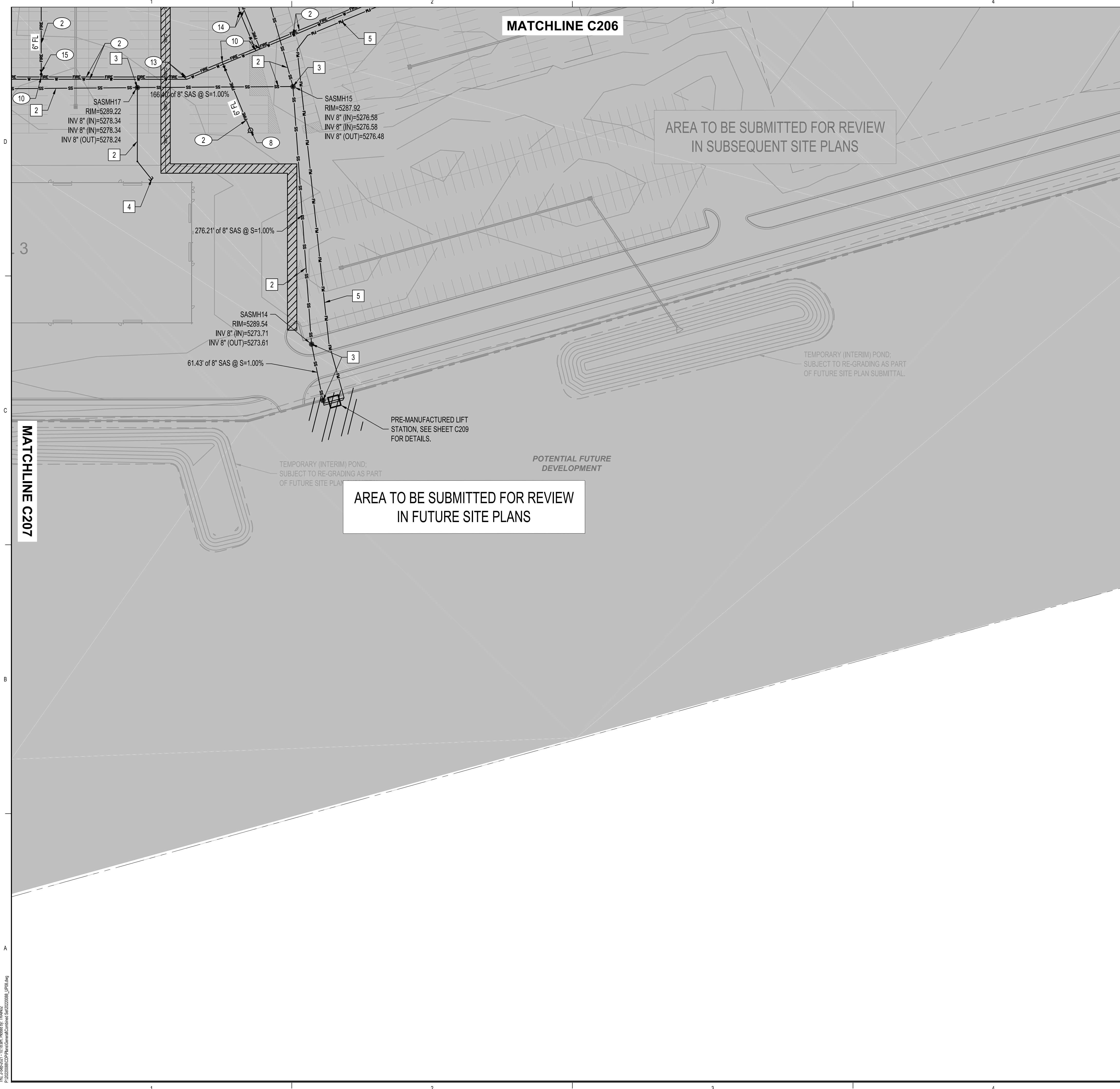


PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

Thu, 25-Sep-2021 10:17:11 AM. Plotted by: TRINAC  
 C:\Users\trina\OneDrive\Documents\20200720\20-0072\008\_001.dwg



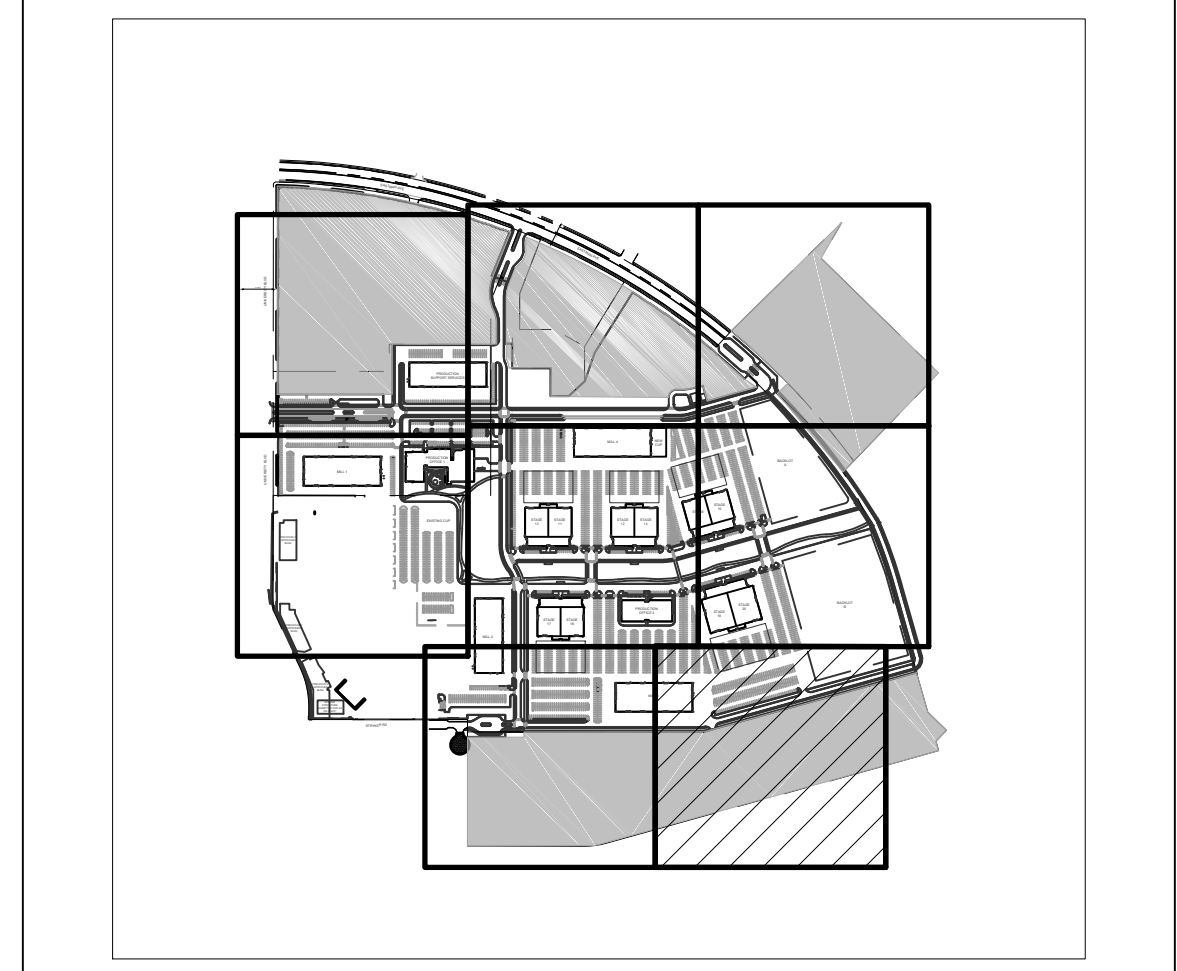


- WATER KEYED NOTES**
- CONNECT TO EXISTING WATER SYSTEM, SIZE PER PLAN.
  - INSTALL NEW WATERLINE, SIZE PER PLAN.
  - INSTALL NEW LARGE DIAMETER METER VAULT PER COA STANDARD DRAWING 2371.
  - INSTALL BACKFLOW PREVENTER AND HEATED ENCLOSURE OR VAULT.
  - INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL FIRE PROTECTION (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL POST INDICATOR VALVE PER DETAIL 4, SHEET C210.
  - INSTALL FIRE HYDRANT AND 6" GATE VALVE PER COA STANDARD DRAWING 2340.
  - INSTALL REMOTE FIRE DEPARTMENT CONNECTION AND 4" FIRE LINE, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL TEE MJ, DI. SIZE PER PLAN.
  - INSTALL 90° MJ, DI. SIZE PER PLAN.
  - INSTALL 45° MJ, DI. SIZE PER PLAN.
  - INSTALL 22.5° MJ, DI. SIZE PER PLAN.
  - INSTALL 11.25° MJ, DI. SIZE PER PLAN.
  - INSTALL WATER LINE VALVE. SIZE PER PLAN.
  - INSTALL BUILDING MOUNTED FIRE DEPARTMENT CONNECTION, SEE PLUMBING AND ARCHITECTURAL SHEET.
  - INSTALL WALL VALVE INDICATOR PER DETAIL 4, SHEET C210.

- SANITARY SEWER KEYED NOTES**
- CONNECT TO EXISTING SANITARY SEWER STUB, SIZE PER PLAN.
  - INSTALL NEW SANITARY SEWER LINE, SIZE PER PLAN.
  - INSTALL 4' DIAMETER TYPE "C" SANITARY SEWER MANHOLE PER COA STANDARD DRAWING.
  - INSTALL SERVICE LINE (SIZE PER PLANS) TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL 4" FORCE MAIN.

**LEGEND**

---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
-CW- -CW-	EXISTING CHILLED WATER LINE
-E-	EXISTING UNDERGROUND ELECTRICAL LINE
-C-	EXISTING COMMUNICATION LINE
-G-	EXISTING UNDERGROUND GAS LINE
SD	PROPOSED STORM DRAIN LINE
SS	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE
FIRE	PROPOSED FIRE LINE
NG	PROPOSED NATURAL GAS LINE
[Hatched Box]	DRY UTILITY CORRIDOR, SEE ELECTRICAL AND COMMUNICATIONS PLANS
[Circle with X]	EXISTING SANITARY SEWER MANHOLE
[Circle with H]	EXISTING FIRE HYDRANT
[Circle with S]	PROPOSED SANITARY SEWER MANHOLE
[Circle with C]	PROPOSED SANITARY SEWER CLEANOUT
[Circle with H]	PROPOSED HYDRANT
[Circle with F]	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)



**SITE KEY MAP**

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

ENGINEER



PROJECT

ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

REVISIONS

△	
△	
△	
△	

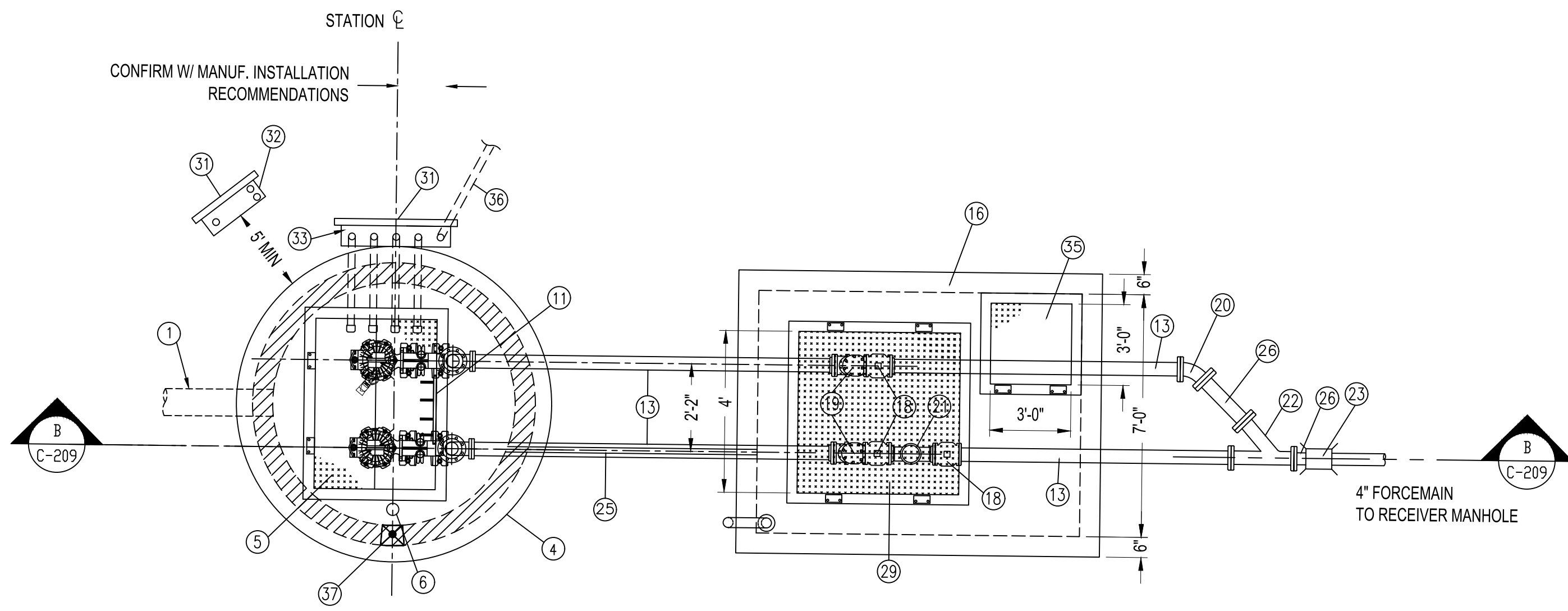
DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

**SITE UTILITY  
PLAN**

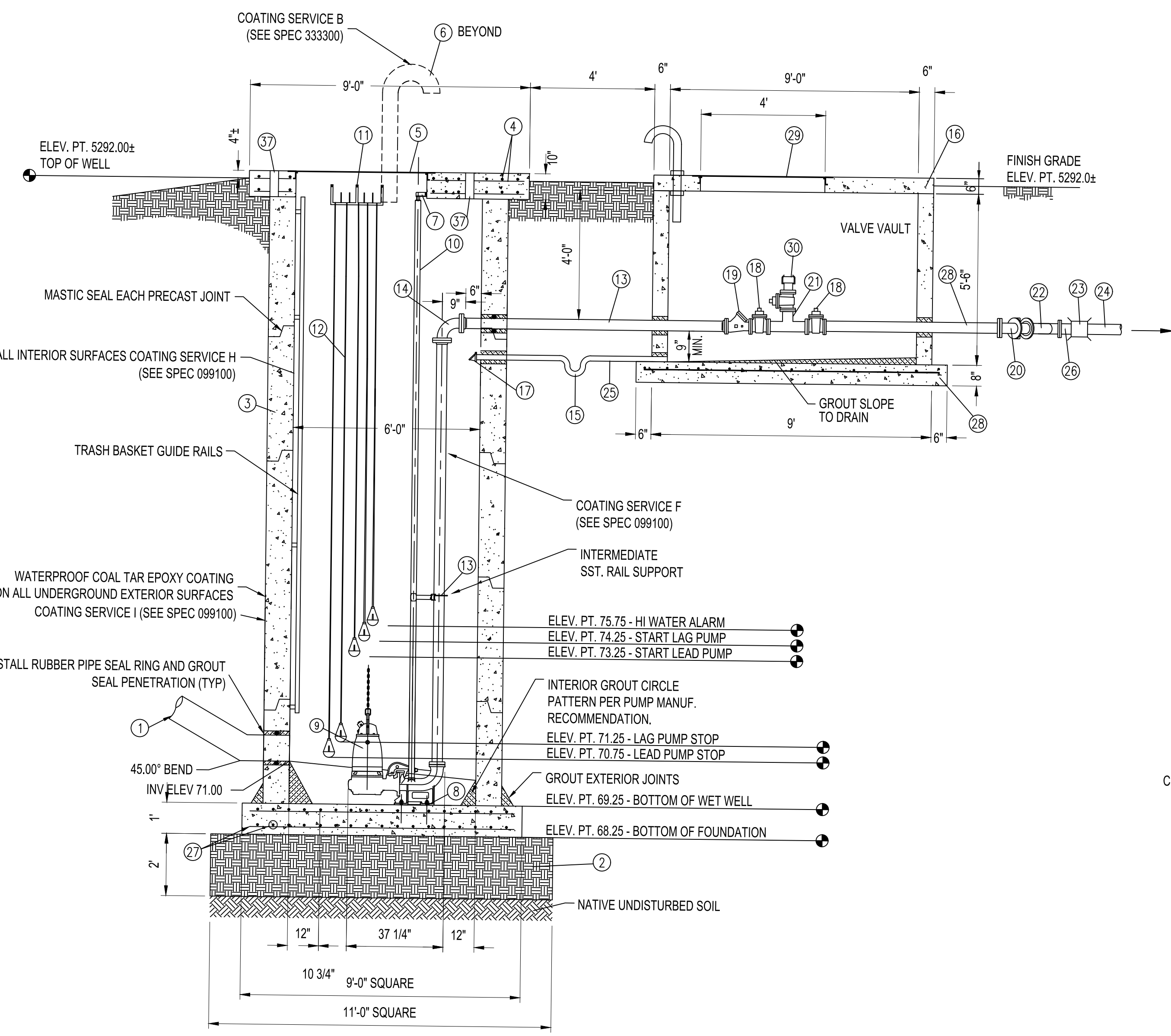
SHEET NO.  
**C208**  
OF

Thu, 23-Sep-2021 10:15am. Plotted by: TPNM2  
 C:\Users\TPNM2\Documents\Projects\20-0072\Drawings\20-0072-008\_SITING.dwg





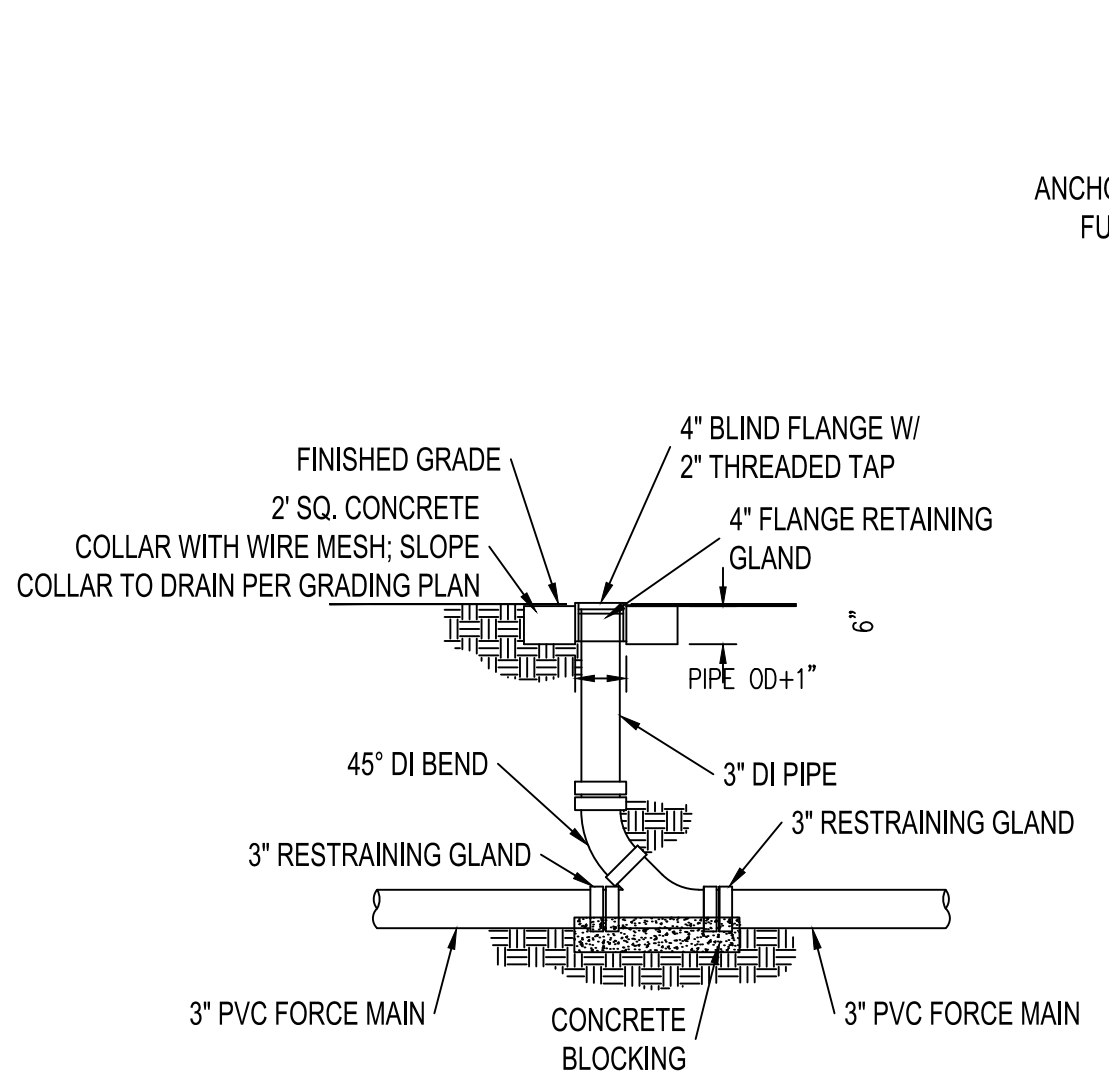
**LIFT STATION EXPANDED PLAN**  
NOT TO SCALE



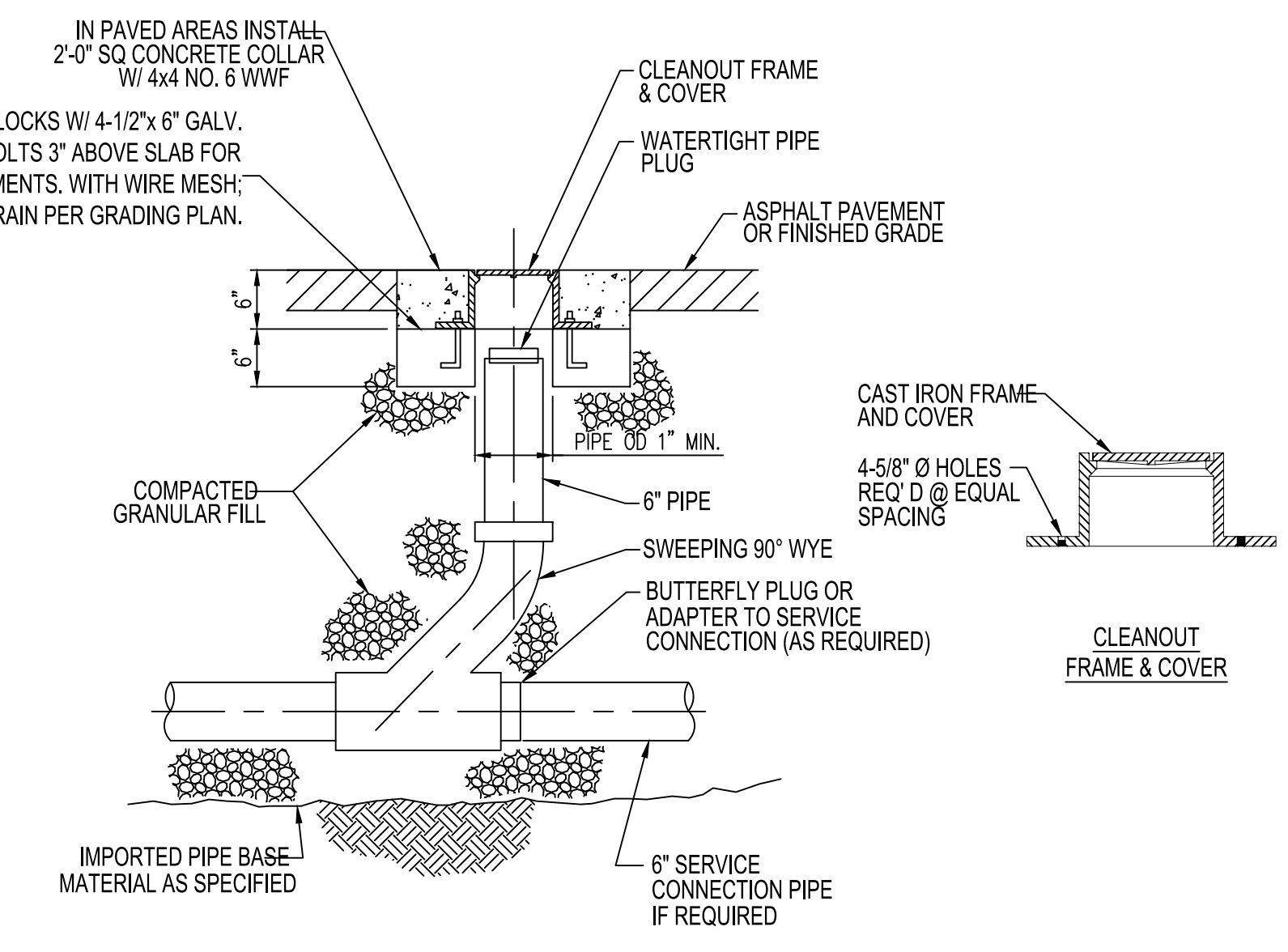
**LIFT STATION PROFILE**  
NOT TO SCALE

**LIFT STATION KEYED NOTES**

- NEW 12" PVC SAS INFLUENT LINE.
- EXCAVATE PER OSHA SLOPE REQUIREMENTS FOR SOIL TYPE ENCOUNTERED. PLACE AND COMPACT 24" STRUCTURAL FILL AT 95% ASTM D-1557.
- 6'-0" ID, PRECAST MANHOLE.
- WET WELL PRECAST CONCRETE LID w/ ALL COMPONENTS,  $f_c=4,000$  PSI, #6 @ 6" O.C.E.W. TOP AND BOTTOM WITH 2" CLEAR COVER.
- PRECAST ACCESS HATCH IN LID; FLYGT MODEL FDRN, ALUMINUM CHANNEL FRAME COVER RATED FOR 300 P.S.F. LOADING, WITH SAFE HATCH.
- 4" WELDED SCH. 40 STEEL PIPE VENT w/ SST. #16 SCREEN, HOT DIP GALV. ASSEMBLY AFTER FABRICATION. PRECAST WITH FLANGE IN LID OR MOUNT TO LID WITH FLANGE ADAPTER AND GROUT SEAL.
- INSTALL ALUMINUM NUT RAIL. ANCHOR TO LID w/ 3/8" SST. ANCHOR BOLTS.
- SST. ANCHOR BOLTS EPOXY SET PATTERN FOR PUMP BASE PER PUMP MANUF. RECOMMENDATIONS.
- INSTALL SUBMERSIBLE PUMPS. PROVIDE SST. TENSION RELIEF HARDWARE TO SUPPORT PUMP MOTOR LEADS EXITING CONDUIT. EXTEND PUMP POWER CABLE UNSPLICED TO JUNCTION BOX. PROVIDE SST. WIRE LIFTING CABLE GUIDE AND CHAIN LIFT EYE.
- INSTALL SST. SCH. 40 PUMP RETRIEVAL GUIDE BAR AND BRACKETS TO NUT RAIL/BASE. PROVIDE INTERMEDIATE ALUMINUM BRACKET SUPPORT PER MANUFACTURER RECOMMENDATIONS.
- HALLIDAY SERIES J SST. CABLE HOLDER. ANCHORED w/ SST. BOLTS TO LID. PROVIDE STAINLESS STEEL KELLUMS CABLE GRIPS.
- FIVE LEVEL FLOATS (FURN. BY PUMP SUPPLIER). PROVIDE SST. MOUNTING HARDWARE TO SUPPORT FLOATS. EXTEND FLOAT CABLE UNSPLICED TO CONTROL PANEL. SET FLOAT LEVELS AS INDICATED.
- 4" EPOXY COATED AND ASPHALT LINED DUCTILE IRON PIPE SPOOL w/ SST. BOLTS. FIELD FIT SIZE w/ FLANGE ADAPTERS.
- 4" EPOXY COATED AND ASPHALT LINED DUCTILE IRON 90° BEND w/ SST. BOLTS.
- 2" SCH. 40 PVC P-TRAP
- REINFORCED PRECAST CONCRETE VAULT w/ LID, 6" WALLS AND LID.
- 2" TIDEFLEX RUBBER PINCH VALVE.
- 4" PLUG VALVE w/ SQUARE OPERATOR. EPOXY COATED.
- 4" FLYGT BALL CHECK VALVE. EPOXY COATED.
- 4" ASPHALT COATED/ ASPHALT LINED DUCTILE IRON 45° BEND WITH STAINLESS STEEL BOLTS.
- 4" ASPHALT COATED/ ASPHALT LINED DUCTILE IRON TEE WITH STAINLESS STEEL BOLTS.
- 4" ASPHALT COATED DUCTILE IRON 45° WYE.
- 4" DUCTILE IRON COMPRESSION COUPLING FOR PVC/DI INTERFACE.
- 4" FORCEMAIN TO RECEIVER MANHOLE.
- 2" SCH. 40 PVC VAULT DRAIN.
- 4" ASPHALT COATED/ ASPHALT LINED DUCTILE IRON PIPE SPOOL. FIELD FITS SIZE WITH FLANGE ADAPTERS.
- CONCRETE FOUNDATION,  $f_c = 4,000$  PSI, #5 @ 6" O.C.E.W. TOP AND BOTTOM. 3" CLEAR COVER.
- CONCRETE FOUNDATION,  $f_c = 4,000$  PSI, #4 @ 8" O.C.E.W. TOP STEEL WITH 2" CLEAR COVER.
- ALUMINUM ACCESS HATCH; HALLIDAY MODEL S1S, LIGHT DUTY ALUMINUM HATCH. ALIGN HATCH OVER VALVES. INCLUDE GASKET TO MITIGATE STORM WATER INFILTRATION.
- 4" QUICK-COUPLING END AND CAP WITH CAP LEVER LOCKS.
- 2"x2"x3/16" SQ. STL. TUBE WELDED FRAME WITH 3/16" STL. PLATE. TOP OF FRAME 5'-6" A.F.G. PRIMER/ FINISH EPOXY COAT FRAME/ PLATE. EMBED 30" IN 12" DIA CONCRETE ANCHORS. FIELD LOCATE AND INSTALL ON WALL STRUCTURE (COORDINATE WITH TRIBAL UTILITY AUTHORITY FOR FINAL LOCATION).
- PUMP CONTROL PANEL PER PUMP SPECIFICATION 333100.
- PUMP POWER AND CONTROL JUNCTION BOX.
- NOT USED.
- PERSONNEL ACCESS HATCH, HOLIDAY MODEL S1S, LIGHT DUTY ALUMINUM HATCH WITH ALUMINUM ACCESS LADDER. ALIGN HATCH OVER LADDER.
- 480 VAC, THREE PHASE, FOUR WIRE PLUS GROUND, POWER FEEDER FROM BUILDING SUBPANEL. SEE BUILDING AND SITE ELECTRICAL PLANS FOR CONDUIT AND CONDUCTOR SIZE.
- STAINLESS STEEL PEDESTAL SOCKET FOR PORTABLE CRANE HOIST ATTACHED TO WET WELL LID WITH (4) 1" Ø HILTI HIT-RE 500-SD STAINLESS STEEL HAS EPOXY ANCHORS WITH 6" MINIMUM EMBED. COORDINATE WITH TRIBAL UTILITY AUTHORITY TO ENSURE CRANE COMPATABILITY.



**1 FORCEMAIN CLEANOUT DETAIL**  
N.T.S.



**2 CLEANOUT**  
N.T.S.

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

ARCHITECT

ENGINEER



PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106

REVISIONS

- ▲
- ▲
- ▲
- ▲

DRAWN BY	KH/HG
REVIEWED BY	OB/MB
DATE	9/3/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

**UTILITY  
DETAILS**

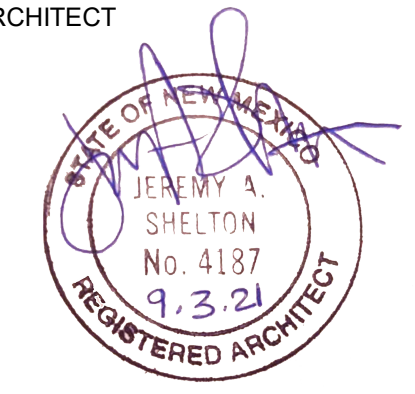
SHEET NO.

**C209**  
OF

This drawing is the property of Bohannon & Huston, Inc. and is not to be reproduced, copied, or used in any way without the written consent of Bohannon & Huston, Inc.



ARCHITECT

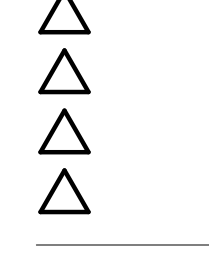


ENGINEER

PROJECT

**ABQ Studios Expansion  
NORTH DEVELOPMENT PACKAGE**  
5650 University Blvd SE  
Albuquerque, NM 87106

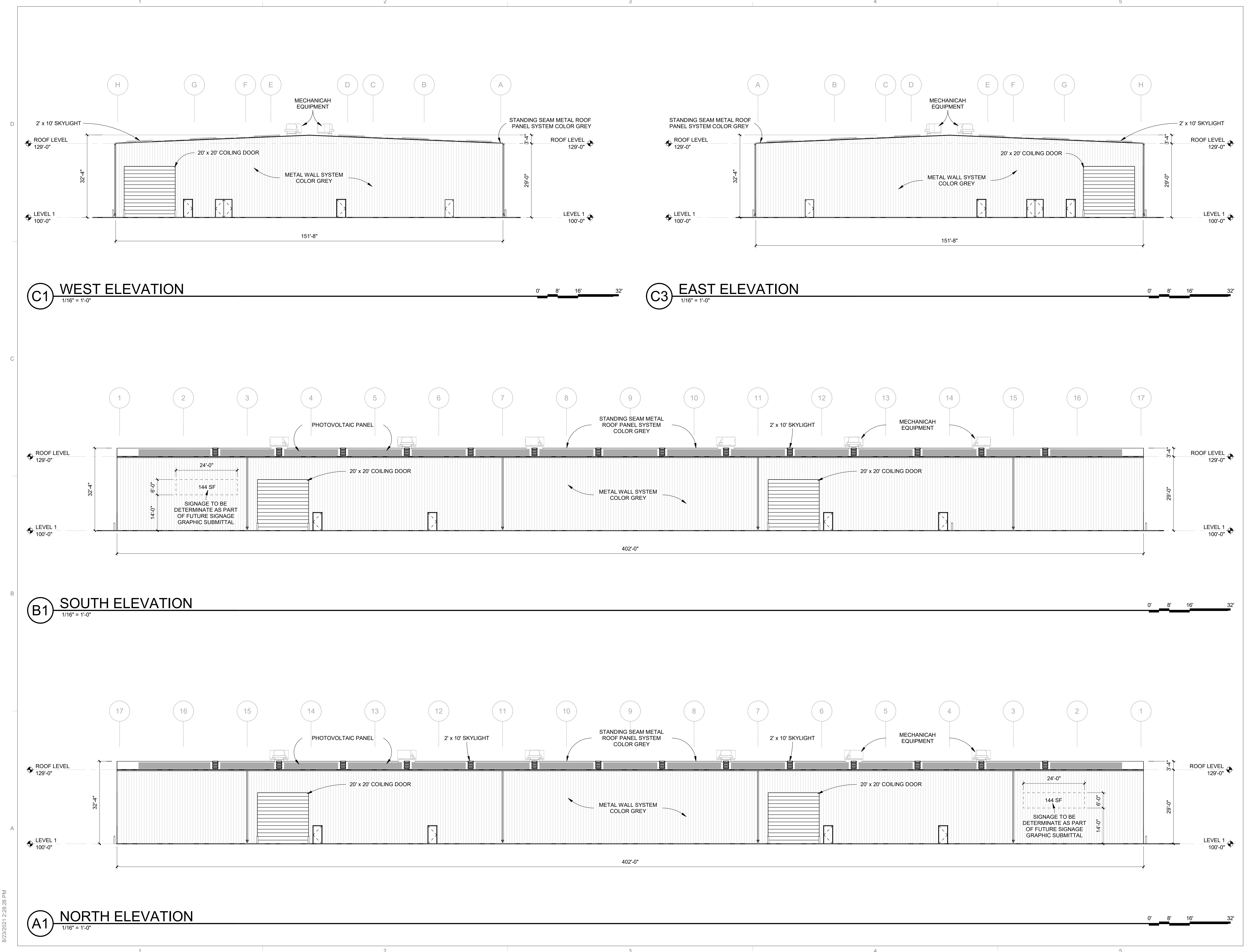
REVISIONS



DRAWN BY	CT
REVIEWED BY	SL, JS
DATE	9/03/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

**EXTERIOR  
ELEVATIONS -  
MILL 1**

SHEET NO  
**SDP-5.1**



8/23/2021 2:28:28 PM



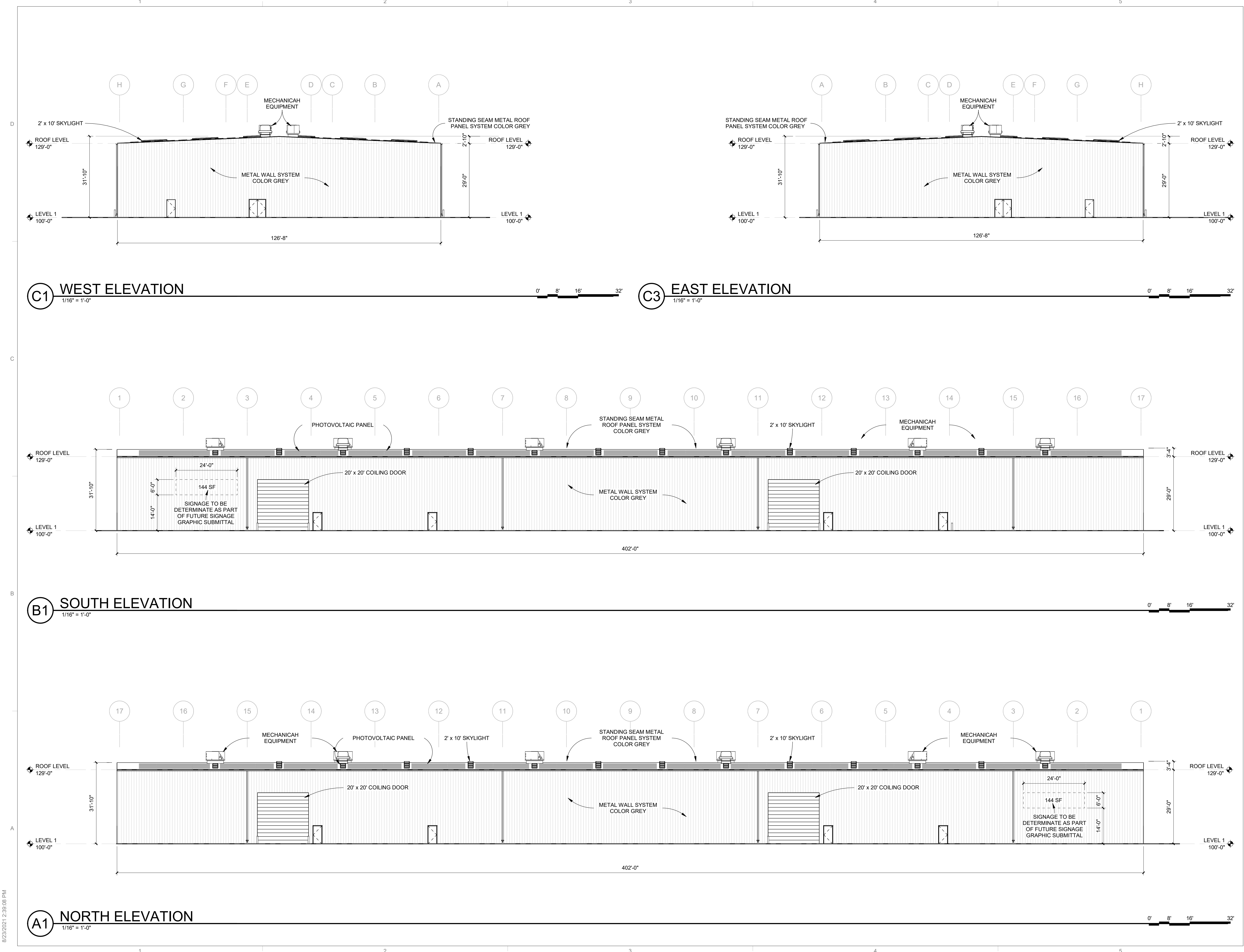
REVISIONS

▲	
▲	
▲	
▲	

DRAWN BY	CT
REVIEWED BY	SL, JS
DATE	9/03/2021
PROJECT NO.	20-0072.008
DRAWING NAME	

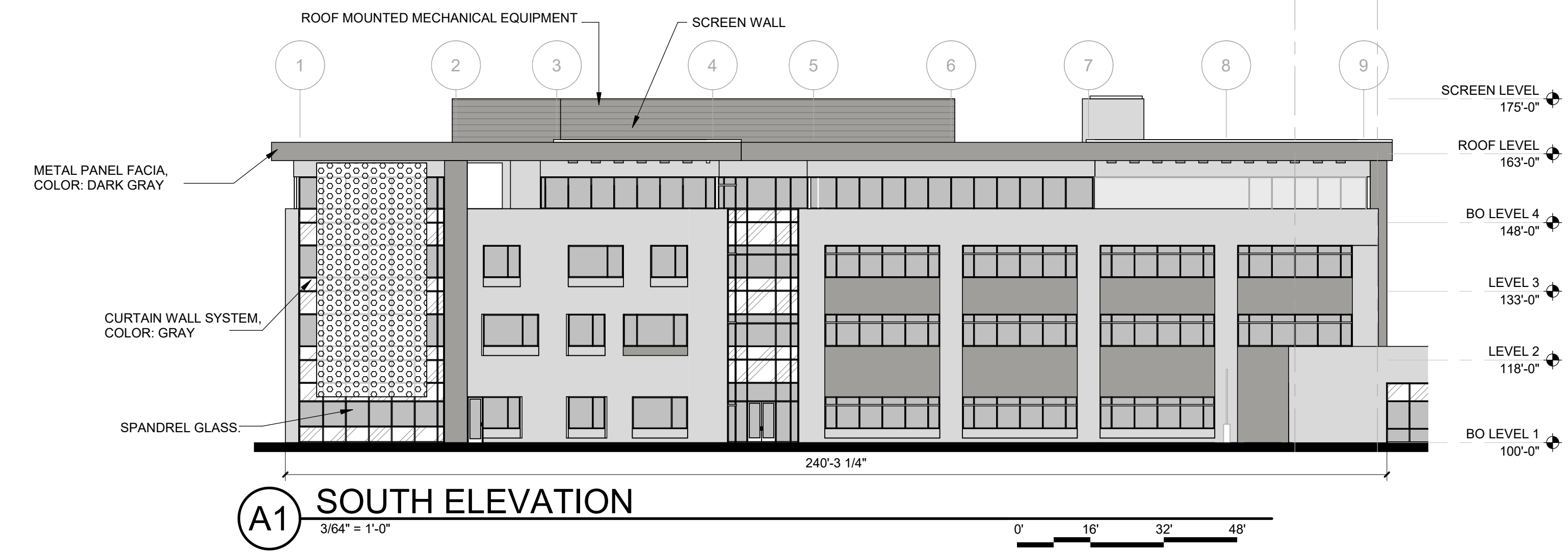
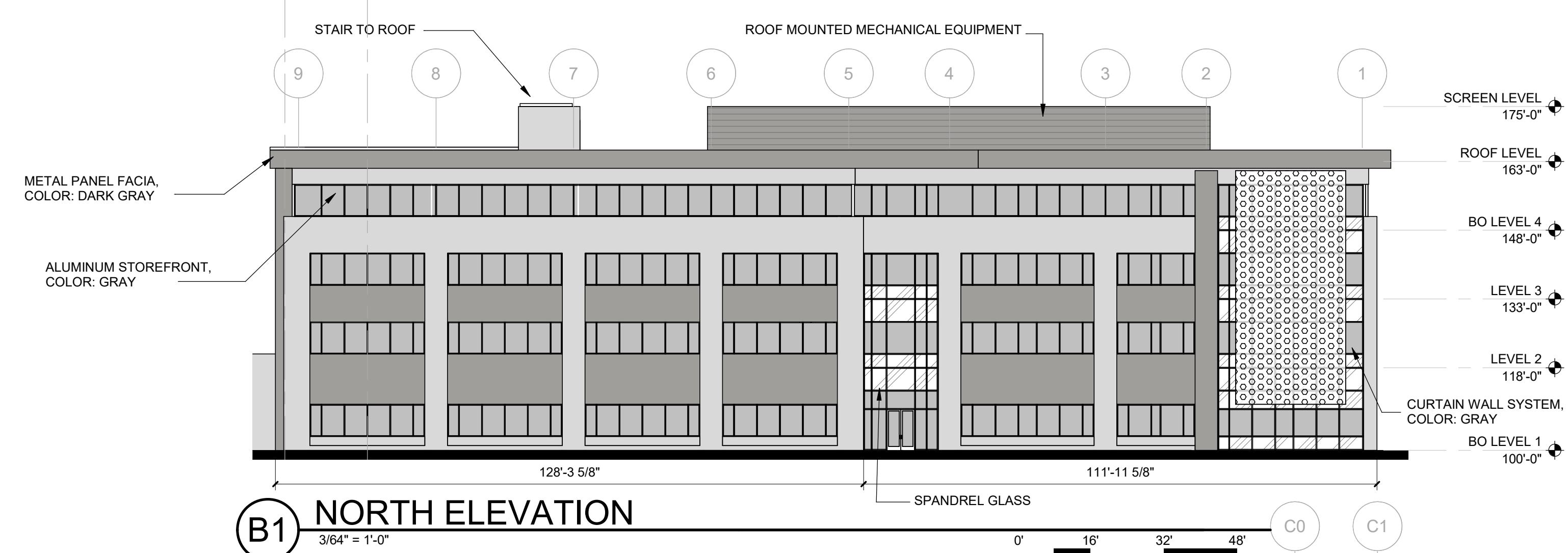
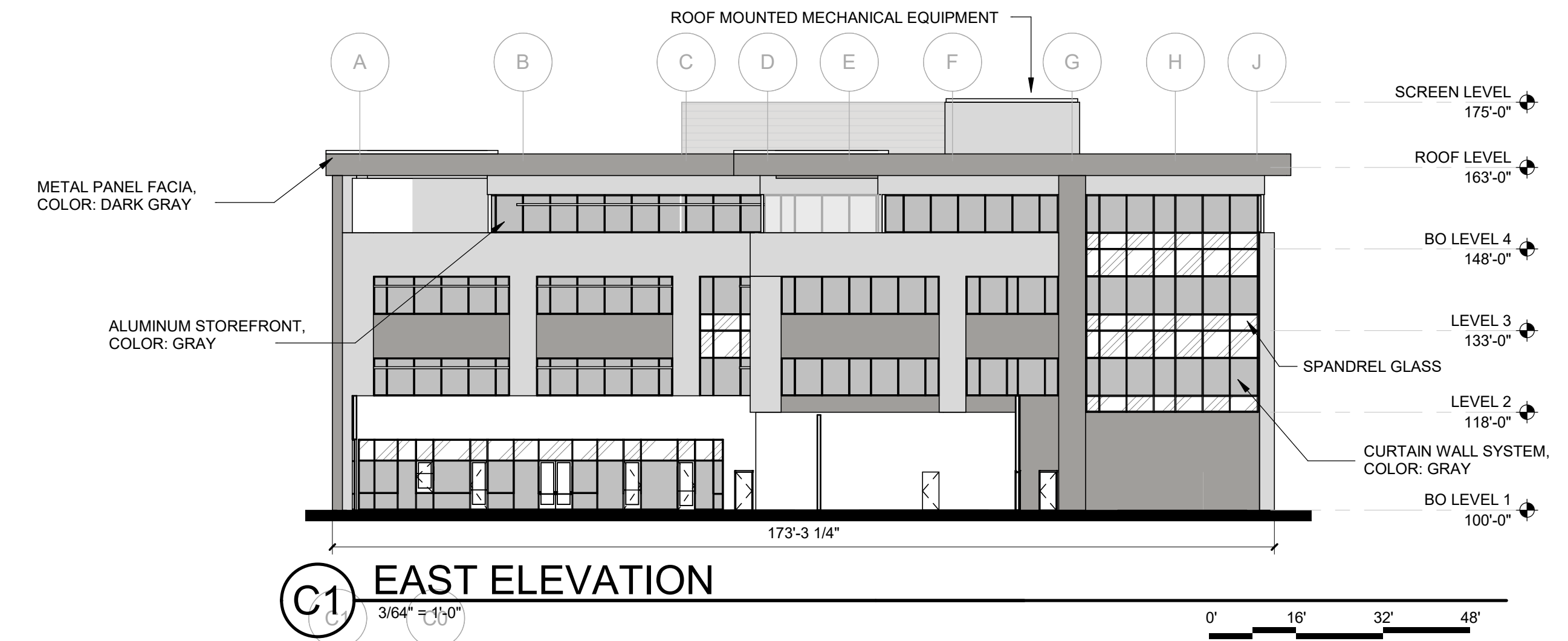
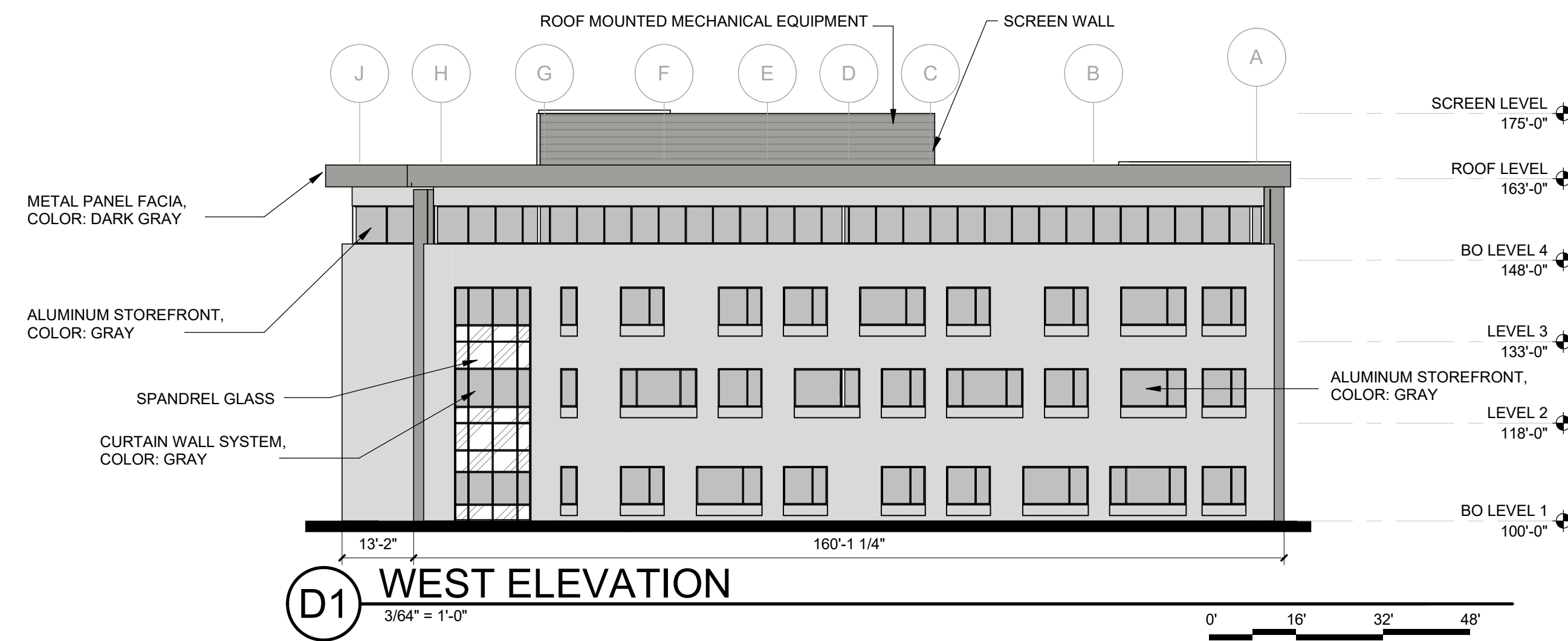
**EXTERIOR  
ELEVATIONS -  
SUPPORT  
SERVICES**

SHEET NO  
**SDP-5.2**



8/23/2021 2:39:08 PM





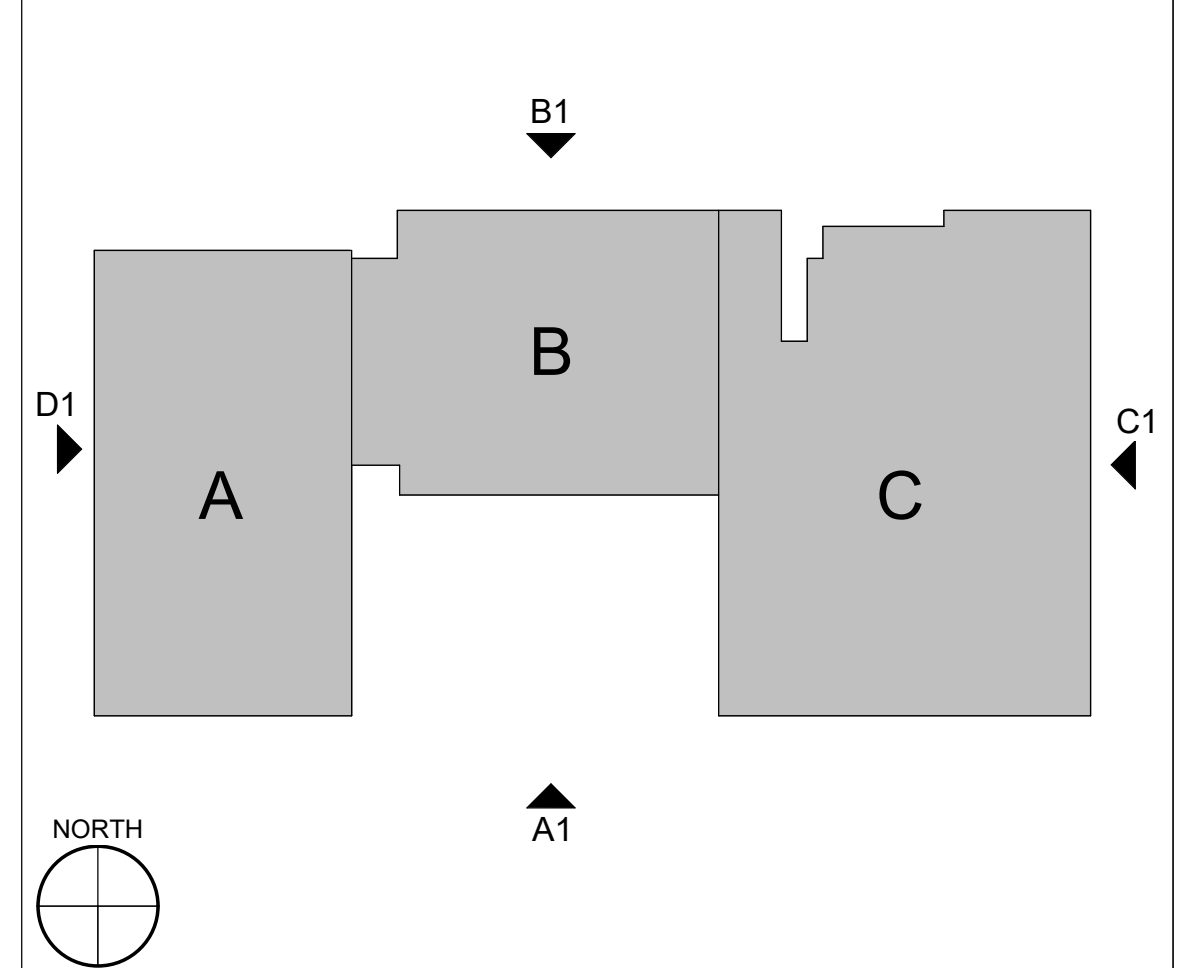
**GENERAL SHEET NOTES**

- A. PAINT WALL AND ROOF MOUNTED EQUIPMENT ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.
- B. CHANGES IN FINISH COLOR SHALL OCCUR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.
- C. (8) PREFINISHED CONDUCTOR HEAD WITH DOWNSPOUTS.
- D. EXTERIOR INSULATED HOLLOW METAL DOOR AND FRAME.
- E. SINGLE THERMAL BREAK 1" INSULATED TINTED GLASS, SOLARBAN 70.
- F. EXTENT AND TYPE OF EXTERIOR SIGNAGE IS NOT KNOWN CURRENTLY AND WILL BE DETERMINED AT A LATER TIME.
- G. EXTERIOR BUILDING EGRESS AREAS WILL BE ILLUMINATED WITH FIXTURES UTILIZING FULL CUT-OFF OPTICS SO AS TO MINIMIZE LIGHT POLLUTION, AND TO COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT. THE CONTROL FOR ALL EXTERIOR LIGHTING WILL GENERALLY BE VIA AN ASTRONOMIC TIME-CLOCK FUNCTION AS PART OF THE DDC SYSTEM.
- H. EXTERIOR CAMERAS IS NOT KNOWN CURRENTLY AND WILL BE DETERMINED AT A LATER TIME.

**LEGEND**

- CONCRETE PANEL, PAINT COLOR: GRAY
- CONCRETE PANEL, PAINT COLOR: LIGHT GRAY
- CONCRETE PANEL, PAINT COLOR: DARK GRAY
- CONCRETE PANEL, ACCENT PAINT COLOR: RED
- EIFS 1, COLOR: GRAY
- EIFS 3, COLOR: LIGHT GRAY
- EIFS 2, COLOR: DARK GRAY
- METAL FRAME, COLOR: RED
- PERFORATED METAL PANEL SCRIM, COLOR: DARK BRONZE

**KEY PLAN**



ARCHITECT  
  
 ENGINEER

PROJECT

ABQ Studios Expansion  
 NORTH DEVELOPMENT PACKAGE  
 5650 University Blvd SE  
 Albuquerque, NM 87106

REVISIONS

DRAWN BY RJ  
 REVIEWED BY DM, JS  
 DATE 9/03/2021  
 PROJECT NO: 20-0072.008  
 DRAWING NAME

EXTERIOR ELEVATIONS (PRODUCTION OFFICE #1)

SHEET NO  
**SDP-5.3**













# PR-2021-005629\_SI-2021-01483\_Site\_Plan\_Approved\_10-27-21\_Sheet\_1

Final Audit Report

2022-02-11

Created:	2022-02-02
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAubEDSbTVSVGmp-SFjbSu205-NHCICr4P

## "PR-2021-005629\_SI-2021-01483\_Site\_Plan\_Approved\_10-27-21\_Sheet\_1" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)  
2022-02-02 - 11:40:21 PM GMT- IP address: 143.120.132.106
-  Document emailed to Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov) for signature  
2022-02-02 - 11:45:56 PM GMT
-  Document emailed to Jeanne Wolfenbarger (jwolfenbarger@cabq.gov) for signature  
2022-02-02 - 11:45:56 PM GMT
-  Document emailed to Ernest Armijo (eamijo@cabq.gov) for signature  
2022-02-02 - 11:45:56 PM GMT
-  Document emailed to Cheryl Somerfeldt (csomerfeldt@cabq.gov) for signature  
2022-02-02 - 11:45:57 PM GMT
-  Document emailed to Jeff Palmer (jppalmer@cabq.gov) for signature  
2022-02-02 - 11:45:57 PM GMT
-  Document emailed to Blaine Carter (bcarter@abcwua.org) for signature  
2022-02-02 - 11:45:57 PM GMT
-  Email viewed by Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)  
2022-02-02 - 11:46:57 PM GMT- IP address: 73.242.176.142
-  Email viewed by Ernest Armijo (eamijo@cabq.gov)  
2022-02-03 - 0:02:24 AM GMT- IP address: 73.127.185.85
-  Document e-signed by Ernest Armijo (eamijo@cabq.gov)  
Signature Date: 2022-02-03 - 0:02:35 AM GMT - Time Source: server- IP address: 73.127.185.85



 Email viewed by Jeff Palmer (jppalmer@cabq.gov)


2022-02-03 - 3:55:48 AM GMT - IP address: 172.225.198.74

 Document e-signed by Jeff Palmer (jppalmer@cabq.gov)

Signature Date: 2022-02-03 - 4:45:12 AM GMT - Time Source: server- IP address: 67.0.33.52

 Email viewed by Cheryl Somerfeldt (csomerfeldt@cabq.gov)

2022-02-03 - 9:46:53 PM GMT - IP address: 75.161.154.137

 Document e-signed by Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

Signature Date: 2022-02-04 - 4:50:30 PM GMT - Time Source: server- IP address: 143.120.132.68

 Email viewed by Cheryl Somerfeldt (csomerfeldt@cabq.gov)


2022-02-04 - 11:59:56 PM GMT - IP address: 75.161.154.137

 Document e-signed by Cheryl Somerfeldt (csomerfeldt@cabq.gov)


Signature Date: 2022-02-05 - 0:00:17 AM GMT - Time Source: server- IP address: 75.161.154.137

 Email viewed by Blaine Carter (bcarter@abcwua.org)

2022-02-05 - 6:20:53 PM GMT - IP address: 67.0.42.200

 Email viewed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)

2022-02-06 - 8:25:23 AM GMT - IP address: 185.100.84.240

 Email viewed by Blaine Carter (bcarter@abcwua.org)


2022-02-09 - 1:56:03 PM GMT - IP address: 67.0.71.154

 Email viewed by Blaine Carter (bcarter@abcwua.org)

2022-02-10 - 11:50:52 PM GMT - IP address: 142.202.67.2

 Document e-signed by Blaine Carter (bcarter@abcwua.org)

Signature Date: 2022-02-10 - 11:51:11 PM GMT - Time Source: server- IP address: 142.202.67.2

 Email viewed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)

2022-02-11 - 8:07:57 PM GMT - IP address: 67.0.255.66

 Document e-signed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)

Signature Date: 2022-02-11 - 8:14:39 PM GMT - Time Source: server- IP address: 67.0.255.66

 Agreement completed.

2022-02-11 - 8:14:39 PM GMT