



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2021-005687
Application No. SI-2021-00985

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

*(Please attach this sheet with each collated set for each board member)

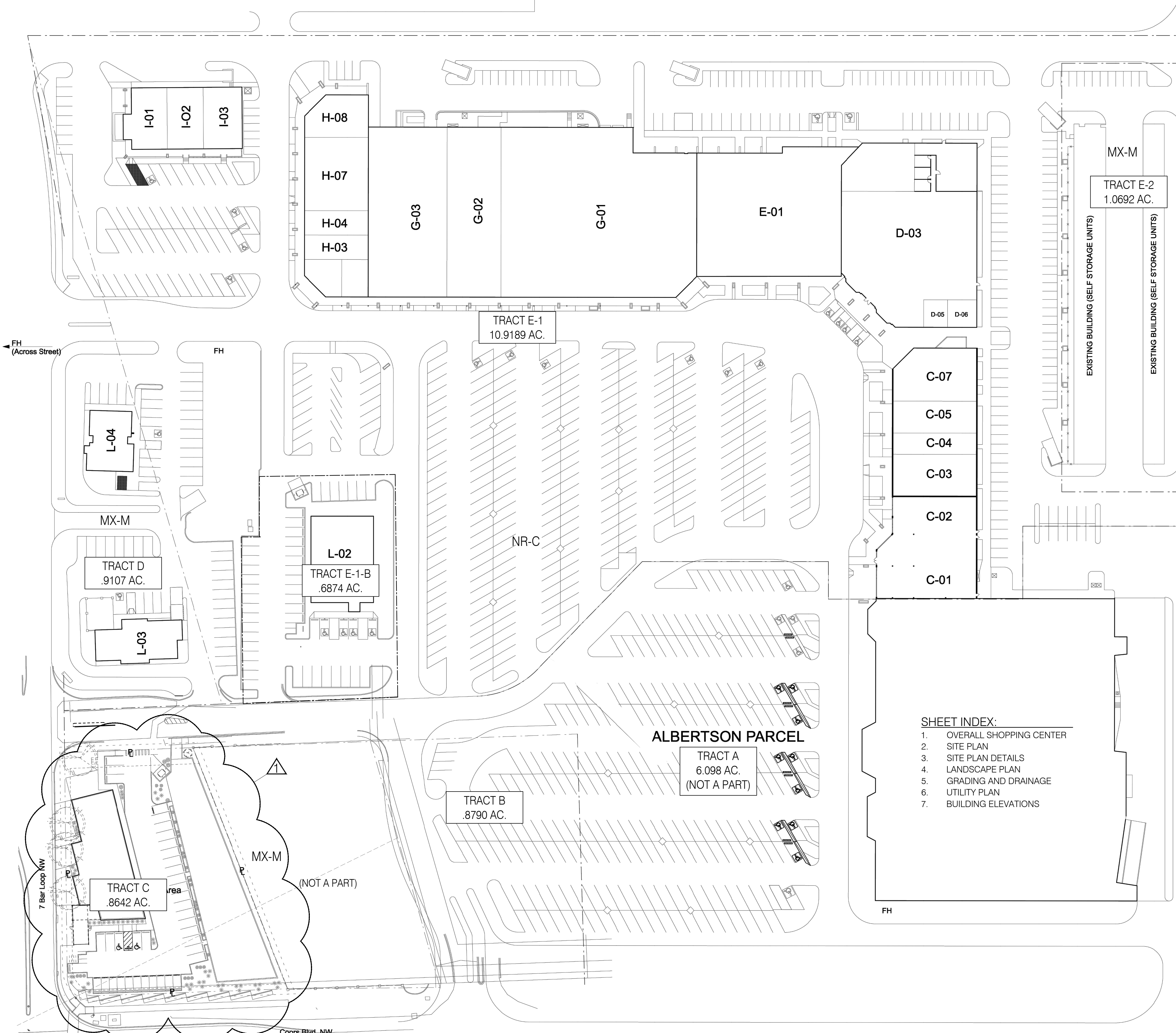
NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 03/30/2022 HEARING DATE OF DEFERRAL: 04/27/2022

SUBMITTAL DESCRIPTION: Updated plan set, paving plan, memorandum addressing all comments from transportation

CONTACT NAME: Thomas Lampo

TELEPHONE: 505-764-9801 EMAIL: lampo@consensusplanning.com



SITE DATA:
 City of Albuquerque
 Location: 10131 Coors Blvd. NW

Zoning: MX-M / NR-C
 Zoning Atlas Page: B-14
 Setbacks: No Change
 Height: No change

Parking:
 FIRST 15,000 SQ. FT @ 200 SQ. FT 75
 NEXT 45,000 SQ. FT @ 250 SQ. FT 180
 NEXT 77,829 SQ. FT @ 300 SQ. FT 260

TOTAL REQUIRED: 515
 HC required 16
 Motorcycle required 7

TOTAL PROVIDED: 616
 HC provided 21
 Motorcycle provided 12
 Compact spaces are included as a percentage of parking totals for the approved site plan.
 Number of compact spaces allowed = 128.
 Compact spaces provided = 12.

TRACT C SOLID WASTE NOTES:
 1. Remove existing raised median and replace with yellow traffic grade striping.
 2. Trash enclosure shall be located at grade and shall not have a slope greater than 1/8" per foot.

NOTE: A-01 (Albertsons not included in retail center) (Albertsons Parcel- 72,000 sq. ft. building w/ 254 spaces)

SITE DATA:
 I.B.C.
 Total New Bld. Area = 5,600 sq.ft.
 Occupancy: A-2
 Construction Type: Existing Vb
 Separation: 1-Hour Btw. Suites
 Sprinkler: No
 Description: Major amendment to add new pad site for 5,600 sq.ft. building for 2 restaurants and a tap room.

PROJECT NUMBER: 2021-005687
 Application Number: S1-2021-00985

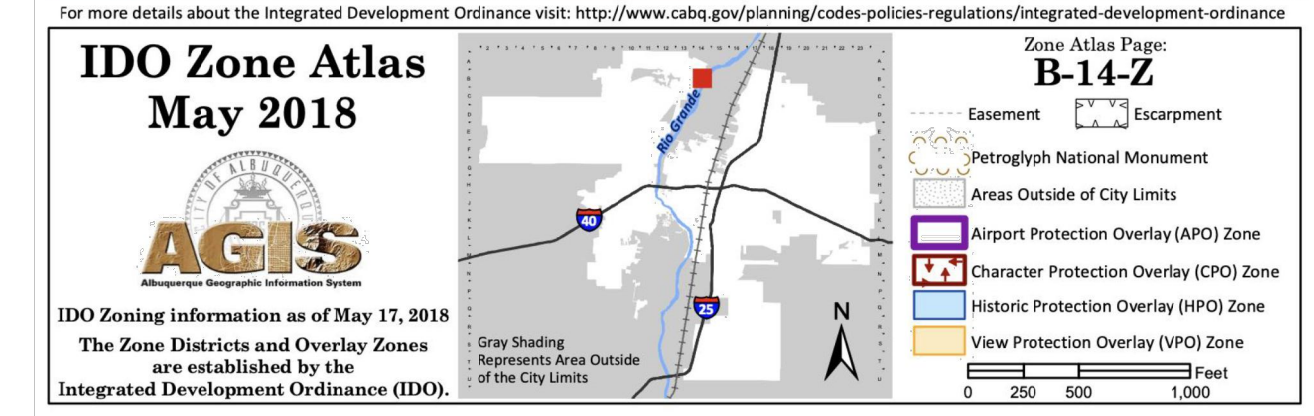
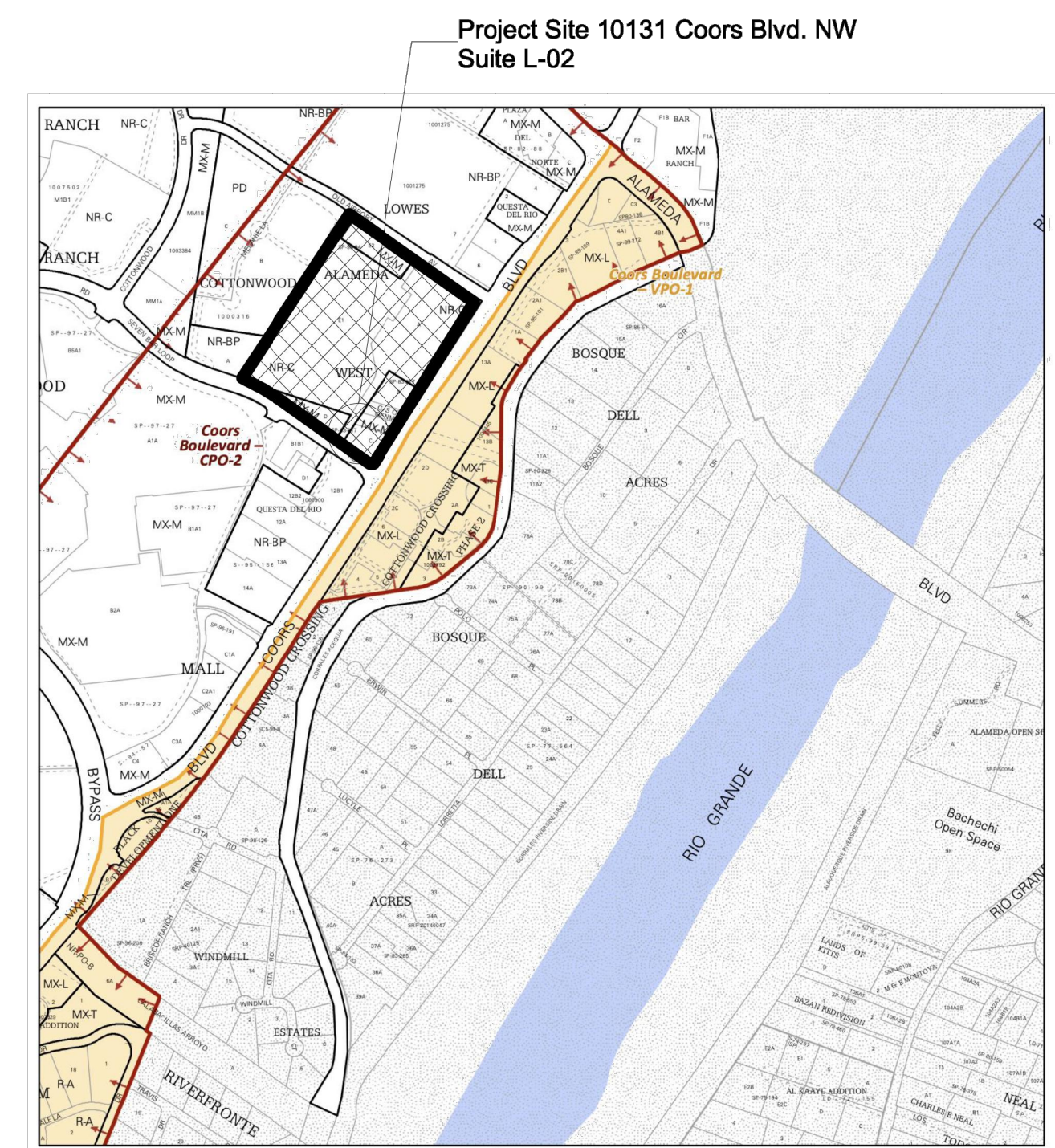
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated August 19, 2021 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

- SHEET INDEX:**
1. OVERALL SHOPPING CENTER
 2. SITE PLAN
 3. SITE PLAN DETAILS
 4. LANDSCAPE PLAN
 5. GRADING AND DRAINAGE
 6. UTILITY PLAN
 7. BUILDING ELEVATIONS



REPLACE FORMER DRAINAGE POND WITH NEW TAPROOM AND RESTAURANTS WITH PATIOS, FOR SPECIFIC DETAILS SEE SHEETS 2-7.

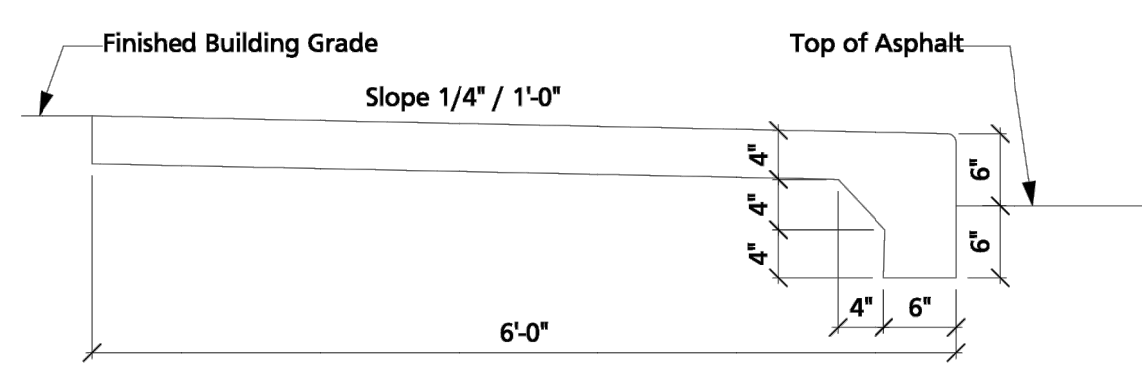
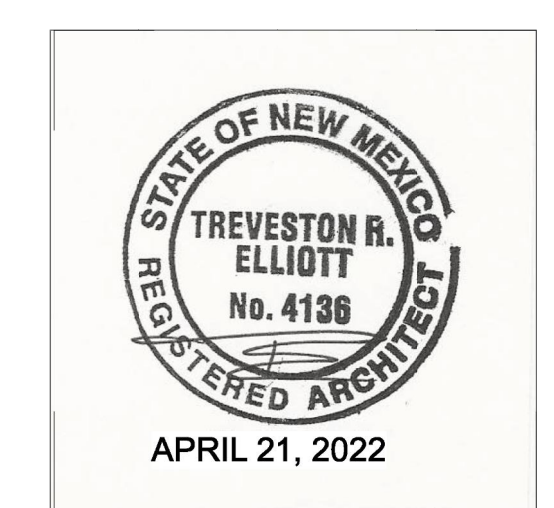


TREVESTON ELLIOTT ARCHITECT
 811 12TH ST. NW
 ALBUQUERQUE, NEW MEXICO
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 C 505.259.4617
 treveston@earthlink.net
 www.earthlink.net

ALAMEDA WEST SHOPPING CENTER
 ALBUQUERQUE, NEW MEXICO

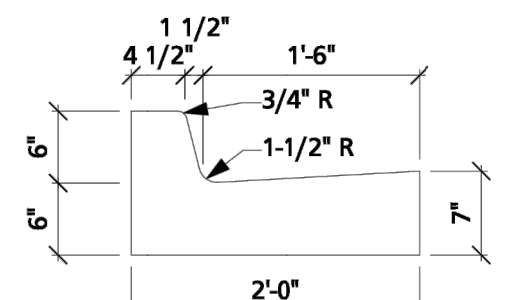


SITE PLAN-EPC
 MAJOR AMENDMENT



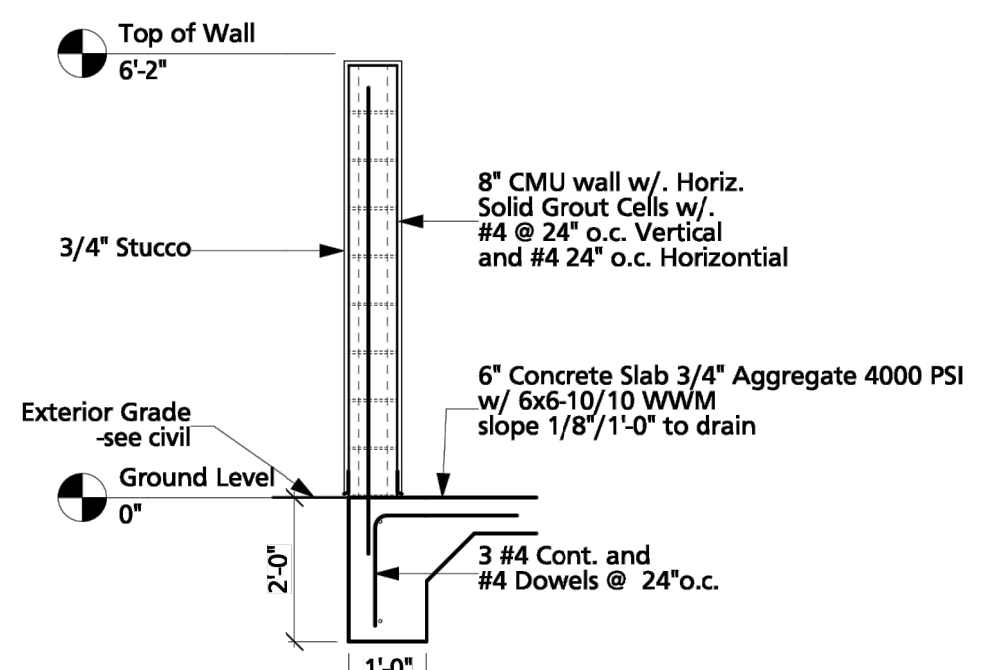
1 Standard Sidewalk Detail
Scale: 3/4" = 1'-0"

Per CoA std. dwg 2430 cross slope of 1/4" per foot shall be provided and shall slope towards the direction of the drainage area.
Concrete walks shall have contraction joints at 6' o.c. Intervals. 1/2" Expansion joints shall be installed every 36', unless otherwise shown on plans.
1/2" Expansion joints shall be installed where walk abut rigid structures.
Maximum 2% cross slope

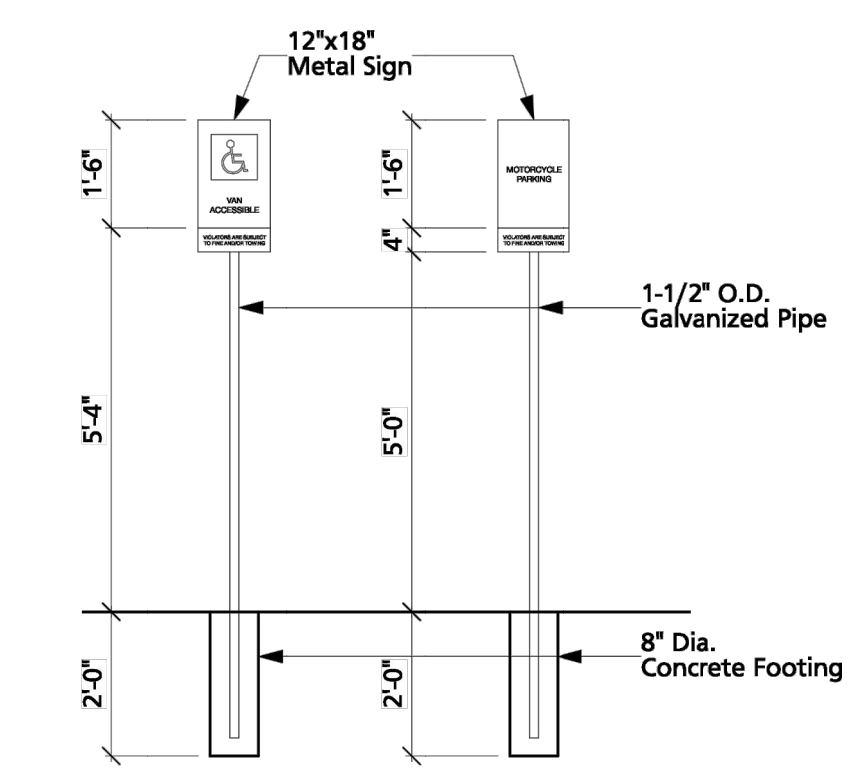


2 Standard Curb / Gutter Detail
Scale: 3/4" = 1'-0"

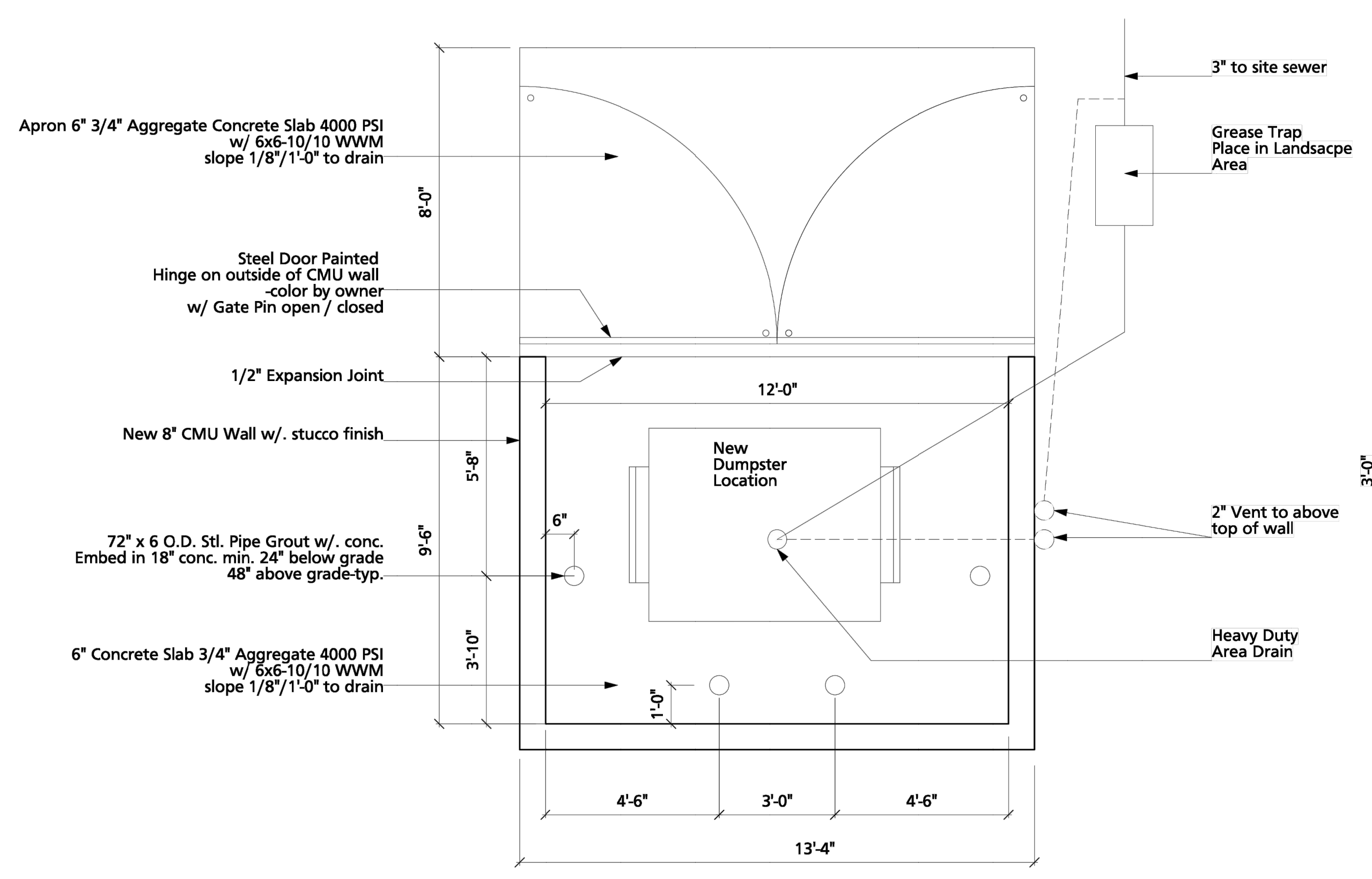
Provide 1/2" Expansion joints at 36' o.c. at immovable objects and at the beginning and end of curves
Provide contraction joints at 6' o.c.
All exposed concrete corners to have 3/4" radius.
Maximum 2% cross slope



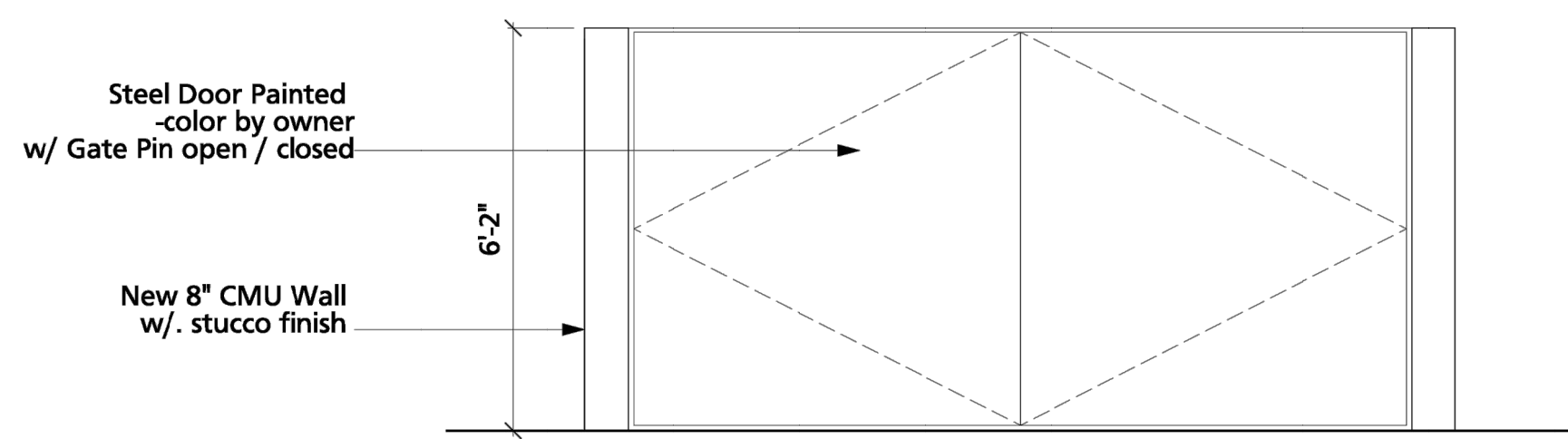
3 Dumpster Enclosure Wall Detail
Scale: 3/8" = 1'-0"



8 HC / Motorcycle Sign Detail
Scale: 3/8" = 1'-0"



4 Dumpster Enclosure Detail
Scale: 3/8" = 1'-0"



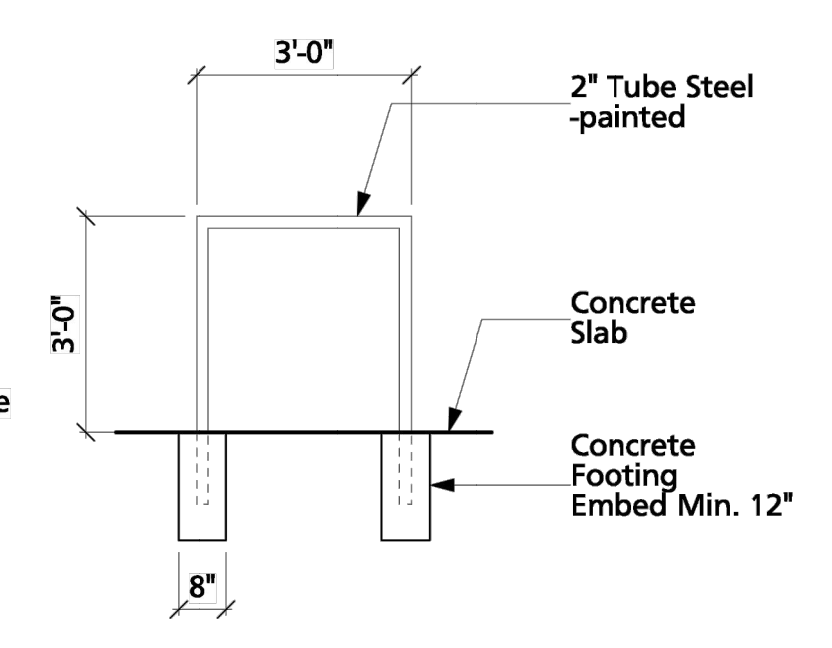
5 Dumpster Enclosure Elevation
Scale: 3/8" = 1'-0"

General Note:
PRE POUR INSPECTION REQUIRED BY COA SOLID WASTE DEPARTMENT.

ALL WHEELCHAIR RAMP LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.
ALL BROKEN OR CRACKED CURB & GUTTER / CURB CUTS AND SIDEWALK TO BE REPLACED PER CoA Std dwg 2415
ALL IMPROVEMENTS LOCATED IN RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER

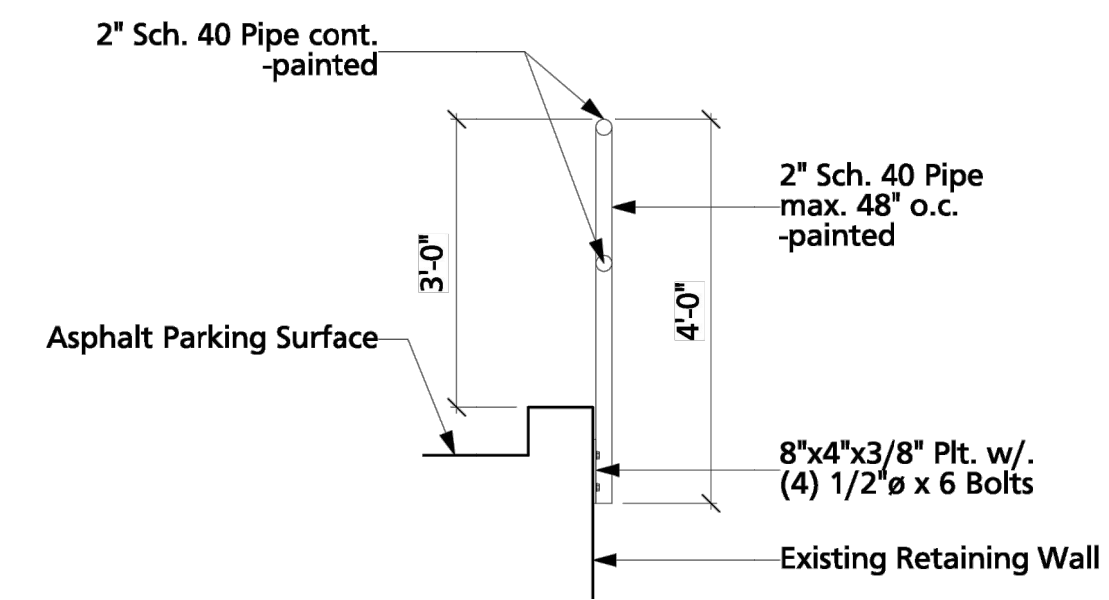
Original Building Square Footage	132,433 s. f.
Proposed Building Square Footage	138,033 s. f. (4 percent)
Original Required Parking	496 spaces
Proposed Required Parking	514 spaces
Proposed Parking Provided	606 spaces

GREASE TRAP REQUIREMENTS
GPM = .0104 x Rainfall x Area
GPM = .0104 x 2 x ???
GPM = ??? GPM
Specify Schier Model ??
Flow Rating = ?? GPM
Grease Capacity = ?? lb.

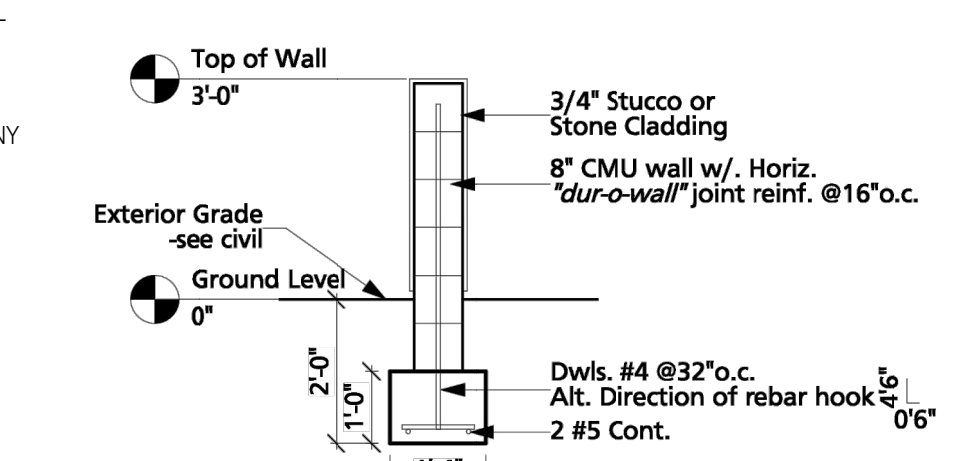


7 Bike Rack Elevation
Scale: 3/8" = 1'-0"

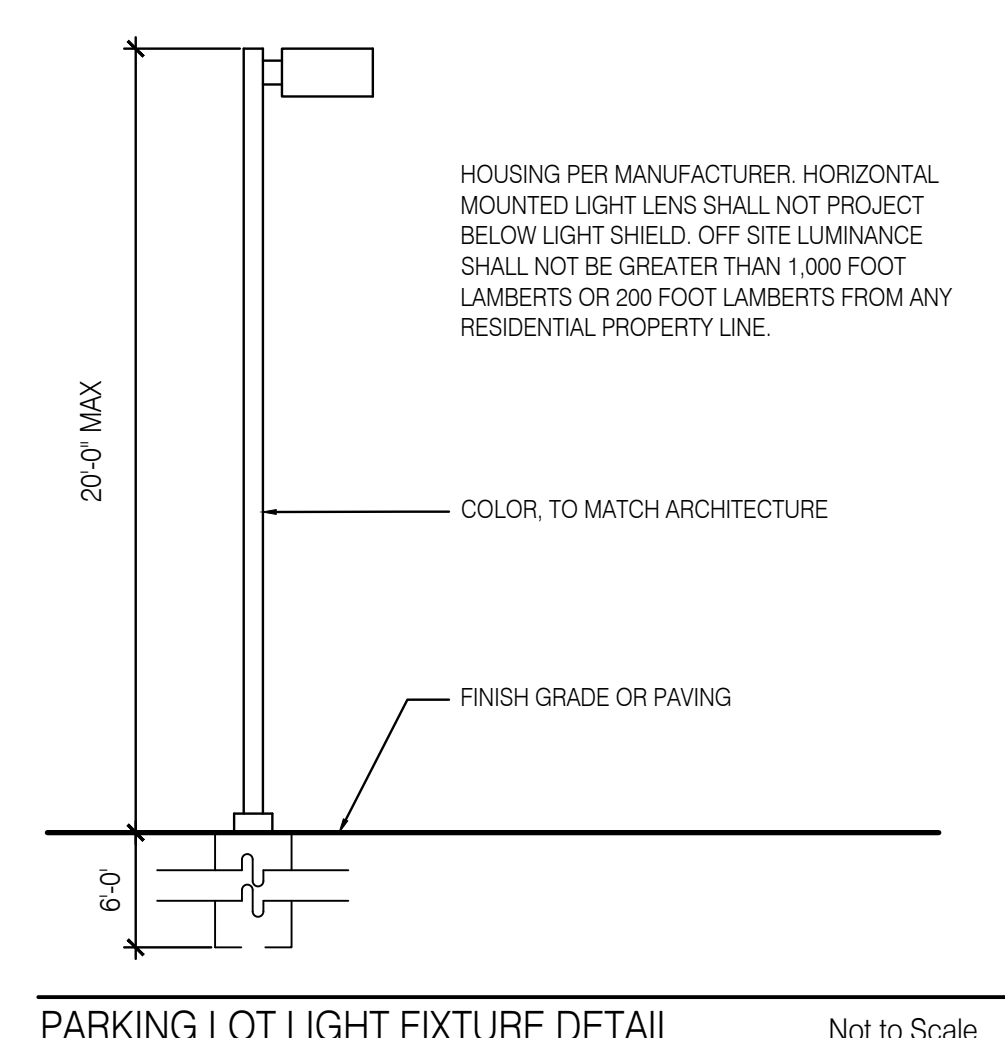
Rack: min. 3'-0" tall 2'-8" wide
U-Shape allows multiple place of attachment
Upright Support
Varying frame sizes accommodated
No lift Attachment
2'-8" min btwn. racks
Rack Centered on concrete pad



9 Guardrail Detail
Scale: 1/2" = 1'-0"



10 Yard Wall Detail
Scale: 3/8" = 1'-0"



PARKING LOT LIGHT FIXTURE DETAIL
Not to Scale

GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA (.86 AC.):	37,660 SF
BUILDING AREA:	-5,600SF
NET AREA:	32,060 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	4,809 SF
PROVIDED LANDSCAPE AREA	12,556 SF (249%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

REQUIRED LIVE VEGETATIVE MATERIAL COVERAGE	9,417 SF (75%)
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE	11,324 SF (90%)
REQUIRED GROUND-LEVEL PLANT COVERAGE	3,139 SF (25%)
PROVIDED GROUND-LEVEL PLANT COVERAGE	2,842 SF (25%)

PARKING LOT AREA
AT LEAST 10% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR LESS SPACES, SHALL BE LANDSCAPED.

38 PARKING SPACES	
TOTAL PARKING LOT AREA:	12,398 SF
PROVIDED LANDSCAPE AREA:	3,165 SF (40%)

PARKING LOT TREES
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING SPACES / 38 SPACES =
REQUIRED: 4 TREES
PROVIDED: 8 TREES (PLUS 4 TREES)

STREET TREES
STREET TREE REQUIREMENTS SPECIFY THE SPACING BETWEEN STREET TREES, WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE INSTALLED AT A FREQUENCY OF 25 FEET PER LINEAR FOOT OF STREET FRONTAGE. NEW STREET TREES SHALL BE PLANTED ALONG COORS BLVD NW, MIRANDELA ST NW, AND ANTEQUERA RD NW.

COORS BOULEVARD NW REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C.

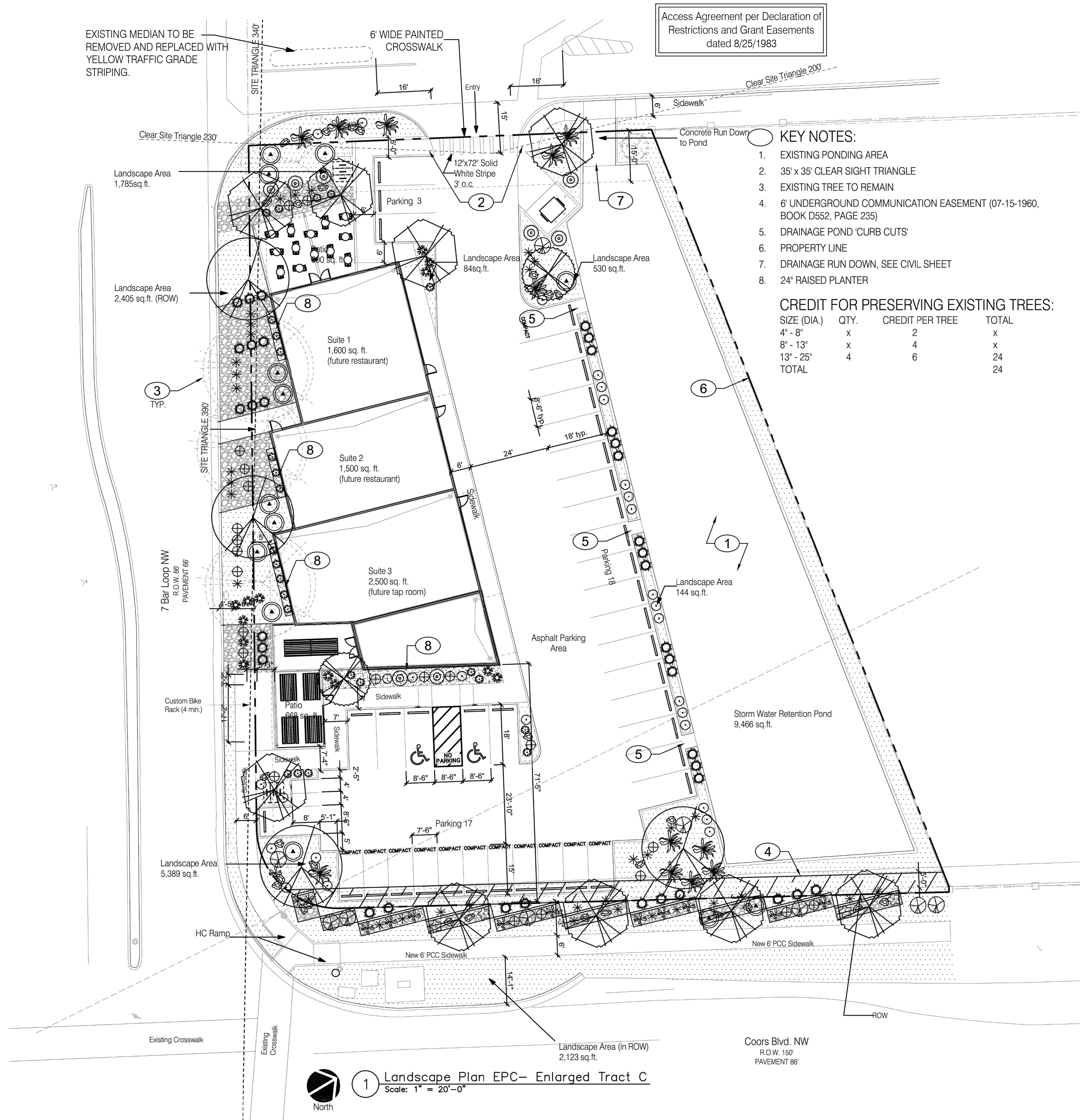
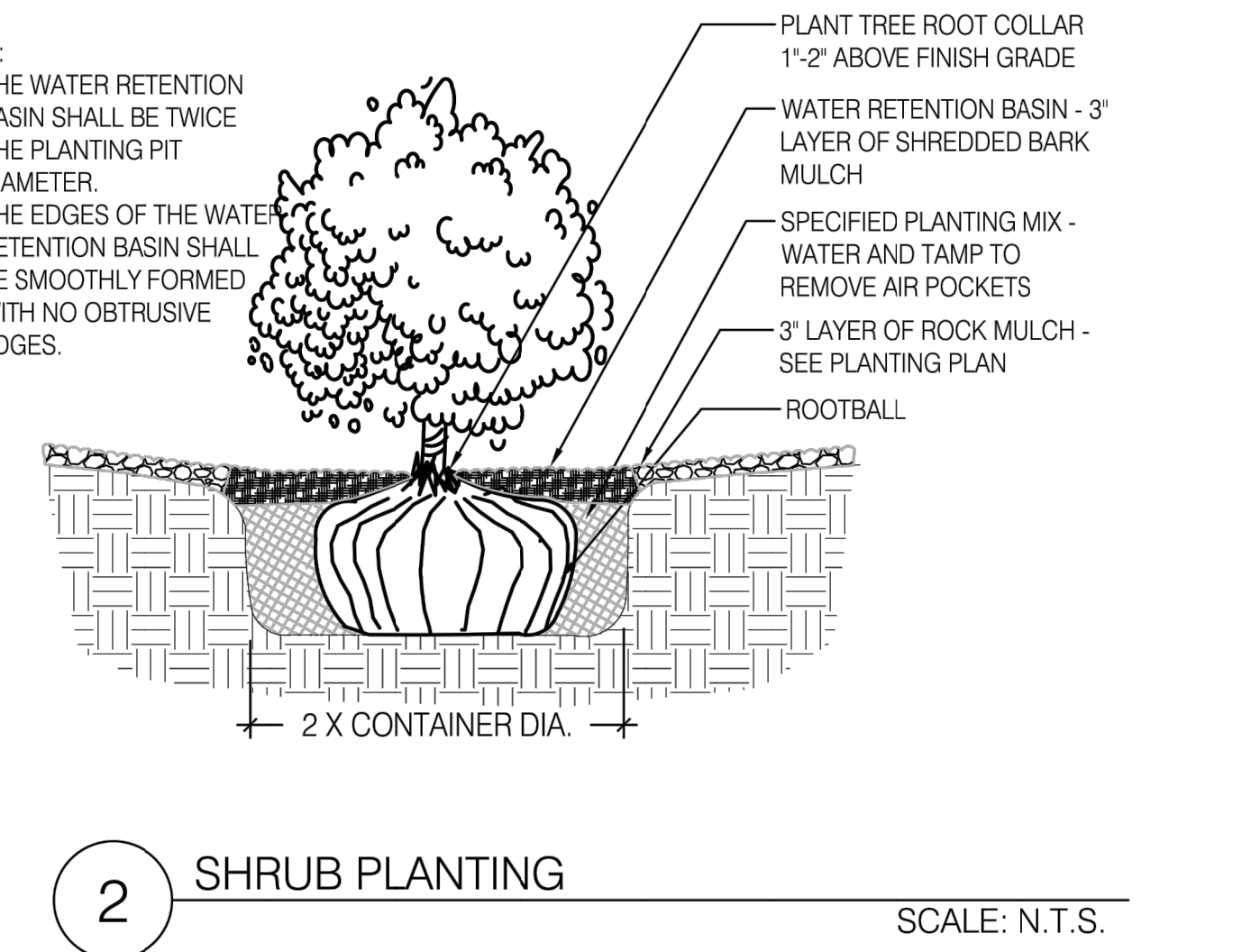
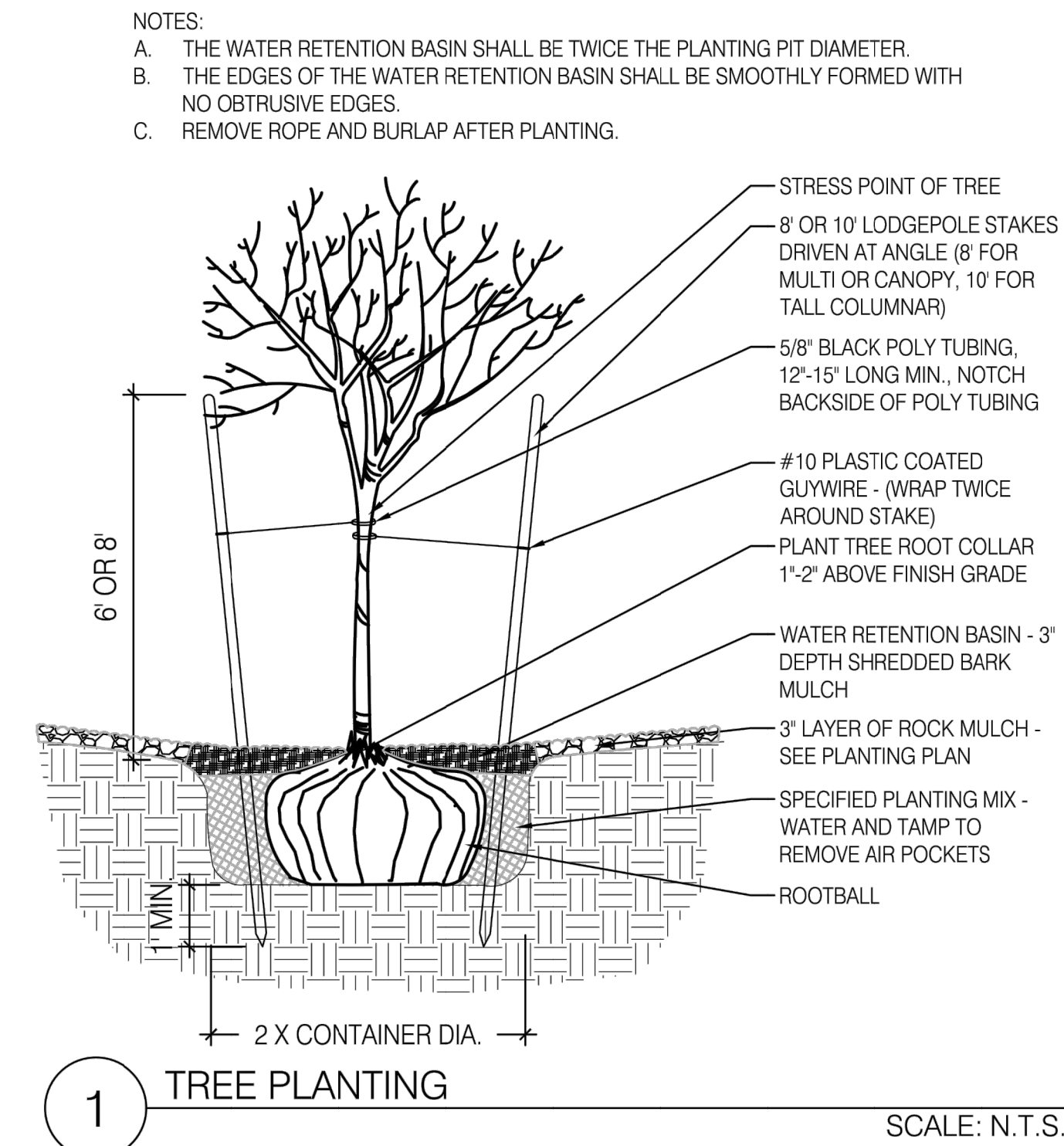
COORS BOULEVARD NW FRONTAGE IS 208'.
STREET TREES REQUIRED: 8
STREET TREES PROVIDED: 6 (2 PROVIDED IN ADJACENT LANDSCAPE)

SEVEN BAR LOOP RD NW FRONTAGE IS 230'.
STREET TREES REQUIRED: 9
STREET TREES PROVIDED: 28 (4 EXISTING COTTONWOODS ON SITE: SEE EXISTING TREE TABLE FOR CREDITS)

WALKWAY TREES
SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL PEDESTRIAN WALKWAYS.

PLANT LEGEND

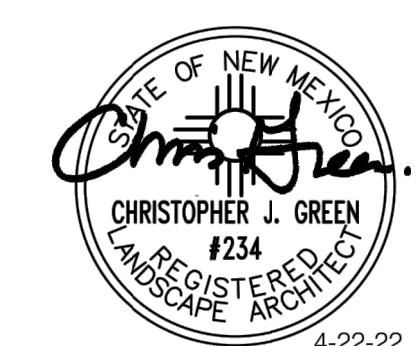
SITE QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	MATURE SIZE	(WATER USE)
EXISTING LANDSCAPE					
		EXISTING TREE			
		EXISTING UNDERGROUND COMMUNICATION EASEMENT			
TREES					
9		CHILOPSIS LINEARIS 'BUBBA' BUBBA DESERT WILLOW	2' CAL MS	20' HT. X 25' SPR.	LOW +
4		ACER NEGUNDO 'SENSATION' SENSATION BOX ELDER	2' CAL B&B	40' HT. X 30' SPR.	MED
2		VITEX AGNUS-CASTUS CHASTE TREE	2' CAL MS	20' HT. X 20' SPR.	MED
SHRUBS AND GROUNDCOVERS					
28		ERICAMERIA LARICIFOLIA DWARF TURPENTINE BUSH	5-GAL	3' HT. X 3' SPR.	LOW
12		FALLUGIA PARADOXA APACHE PLUME	5-GAL	5' HT. X 5' SPR.	LOW
13		JUNIPERUS HORIZ. 'BLUE CHIP' BLUE CHIP JUNIPER (FEMALES ONLY)	5-GAL	1' HT. X 7' SPR.	MED
8		PINUS MUGO 'PUMILIO' DWARF MUGO PINE	5-GAL	4' HT. X 6' SPR.	MED
13		RHUS TRILOBATA 'AUTUMN AMBER' AUTUMN AMBER SUMAC	5-GAL	2' HT. X 8' SPR.	LOW+
22		SALVIA GREGGII 'FURMAN'S RED' FURMAN'S RED CHERRY SAGE	5-GAL	30' HT. X 3' SPR.	MED
4		CARYOPTERIS CLAUDONENSIS BLUE MIST SPIREA 'DARK KNIGHT'	5-GAL	3' HT. X 4' SPR.	LOW+
DESERT ACCENTS					
36		HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA	5-GAL	3' HT. X 3' SPR.	LOW+
11		OPUNTIA VIOLACEA SANTA RITA PRICKLY PEAR	5-GAL	3' HT. X 4' SPR.	RW
ORNAMENTAL GRASSES					
37		CALAMOGROSTIS A. 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	3-GAL	30' HT. X 3' SPR.	MED
13		MUHLENBERGIA RIGIDA PURPLE MUHLY	3-GAL	2' HT. X 3' SPR.	LOW+
25		PENNISETUM ALOPECUROIDES 'HAMELN' DWARF FOUNTAIN GRASS	3-GAL	2' HT. X 2' SPR.	LOW
BOULDERS AND GRAVEL MULCH					
2,230 SF		2'-4" COYOTE MIST COBBLE MULCH (6" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)			
9,800 SF		7/16" MOUNTAINAIR BROWN GRAVEL MULCH, OR PRE APPROVED EQUAL (3" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)			
425 SF		3/8" MINUS ROUND PEA GRAVEL (5" DEPTH IN PLANTERS)			
28		MOSS ROCK BOULDERS (3X3' MIN)			



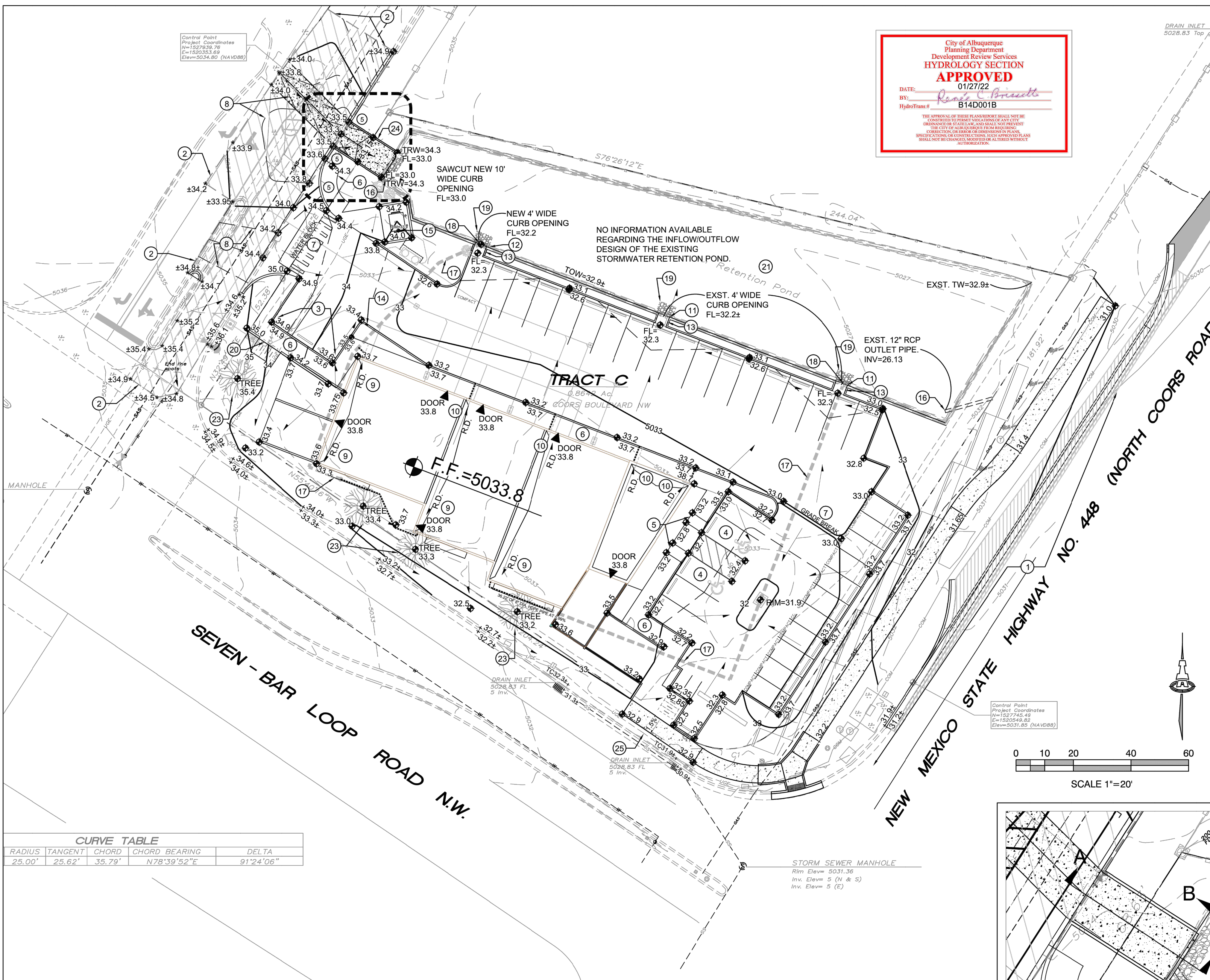
LANDSCAPE PLAN
AT COORS BLVD NW AND SEVEN-BAR LOOP
LANDSCAPE PLAN - EPC MAJOR AMENDMENT

Prepared for:
ALAMO CENTER LLC.
13405 PINO RIDGE PLACE
ALBUQUERQUE, NM 87111

Prepared by:
CONSENSUS PLANNING, INC.
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 01/27/22
 BY: *Renee C. Brissette*
 HydroTrans # B14D001B



CURVE TABLE

RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
25.00'	25.62'	35.79'	N78°39'52"E	91°24'06"

KEYED NOTES

- SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION WITHIN NMDOT ROW INCLUDING NEW ADA COMPLIANT RAMP, PUBLIC SIDEWALK, ETC. NO WORK SHALL BE PERFORMED IN THE NMDOT / PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT. SEE PAVING PLAN FOR EXTENT OF NEW PAVEMENT.
- TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA.
- ADA COMPLIANT PARKING AREA. MAX. SLOPE = 2% IN ANY DIRECTION.
- ADA COMPLIANT ACCESS RAMP.
- ADA COMPLIANT PEDESTRIAN ACCESS WALK.
- HIGH POINT / GRADE BREAK LOCATION.
- 0.2' DESIGN CONTOURS SHOWN DASHED TO CLARIFY PAVING GRADES.
- CONCENTRATED ROOF DISCHARGE TO BE PIPED DIRECTLY TO STORM DRAIN USING STANDARD FITTINGS OR ADS INSERTA TEE CONNECTION.
- CONCENTRATED ROOF DISCHARGE TO BE PIPE THROUGH FACE OF CURB.
- EXISTING 4.0' WIDE (BOTTOM WIDTH) WALL OPENING.
- NEW 4.0' WIDE WALL (BOTTOM WIDTH) WALL OPENING.
- NEW 4.0' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE RUNDOWN.
- PROVIDE 12" WIDE OPENING IN CURB TO PASS FLOW.
- CONCRETE DUMPSTER PAD SLOPED TO SAS DRAIN INLET. SEE UTILITY PLAN.
- CONTRACTOR TO CLEAN / CLEAR EXISTING STORM DRAIN CULVERTS.
- CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG-501 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
- OUTLET PRIVATE STORM DRAIN INTO EXISTING POND. INVERT = 5028.0 TYP. (2 LOCATIONS).
- INSTALL 6' X 4' X 18" DEEP ANGULAR ROCK EROSION PROTECTION AT WALL OPENING.
- CONSTRUCT GARDEN RETAINING WALL(S) (RETAINING < 30') TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL.
- EXISTING STORMWATER QUALITY RETENTION / DETENTION POND
- NOT USED
- PROTECT EXISTING TREE.
- SEE CONCRETE RUNDOWN TO EXISTING POND DETAILS THIS SHEET. SEE PAVING PLAN FOR ADDITIONAL INFORMATION.
- ANGULAR ROCK EROSION PROTECTION BETWEEN WALK AND BACK OF CURB (SLOPES > 4:1).

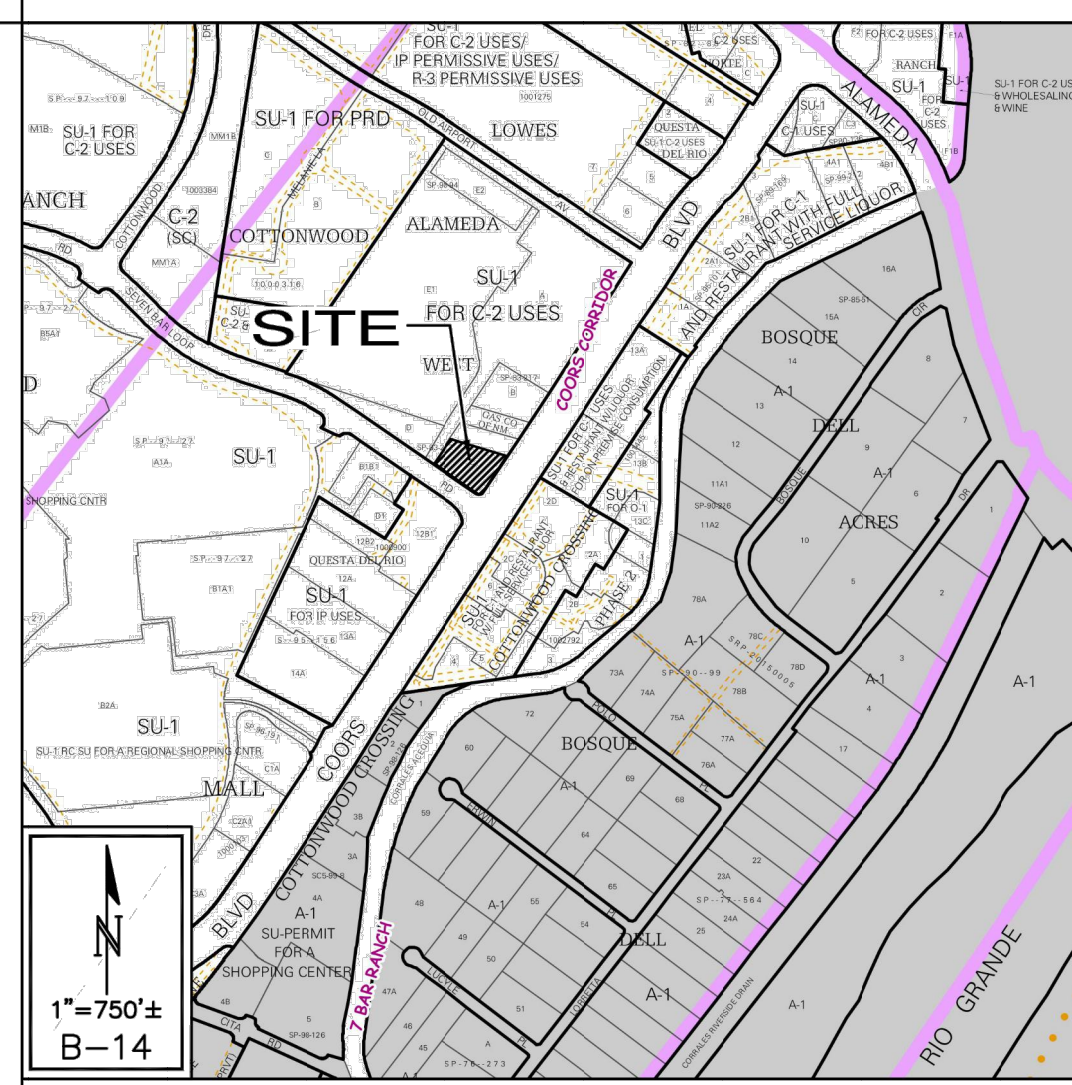
ADA COMPLIANCE

- SIDEWALK(S) AND RAMP(S):**
- * LONGITUDINAL SLOPE SHALL NOT EXCEED 20:1
 - * TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
- ACCESSIBLE RAMP(S):**
- * TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)
 - * TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
- ACCESSIBLE PARKING:** TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

LEGEND

- 39 — PROPOSED 1.0' CONTOUR
- ◆ 37.5 PROPOSED SPOT ELEVATION
- SURFACE FLOW DIRECTION
- FF = 5033.8 FINISH FLOOR ELEVATION
- ▬▬▬▬▬ PROPOSED STORM DRAIN

VICINITY MAP B-14



PROJECT INFORMATION

PROPERTY: THE SITE IS A GRADED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP B-14. THE SITE IS BOUND TO THE EAST BY COORS ROAD, TO THE SOUTH BY SEVEN BAR LOOP ROAD, AND TO THE NORTH AND WEST BY DEVELOPED COMMERCIAL PROPERTIES.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A 5,600± SF COMMERCIAL BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TR C ALAMEDA WEST

ADDRESS: 10127 COORS BLVD NW, 87114

LOT SIZE: 0.8642 AC

BENCHMARK: DESCRIPTION, ELEVATION = XXX FEET (NAVD 1988)

OFF-SITE FLOW: OFF-SITE FLOW IS ROUTED THROUGH AN EXISTING WALLED POND ON THE NORTH SIDE OF THE PROPERTY. NO OFF-SITE DRAINAGE AFFECTS THE AREA TO BE DEVELOPED.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0109H, EFF. 8/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: WITH THE EXCEPTION OF MINOR PERIMETER AREA, ON-SITE RUNOFF WILL FREE DISCHARGE TO THE EXISTING POND LOCATED ON THE NORTH SIDE OF THE PROPERTY.

STORMWATER QUALITY RETENTION: PER THE APPROVED GRADING PLAN PREPARED BY ANCHOR ENGINEERING, LLC DATED 4/4/17 (COA HYDROLOGY FILE B14D001), STORMWATER QUALITY RETENTION VOLUME IS PROVIDED WITHIN THE EXISTING POND.

Isaacson & Arman, Inc.
 Civil Engineering Consultants

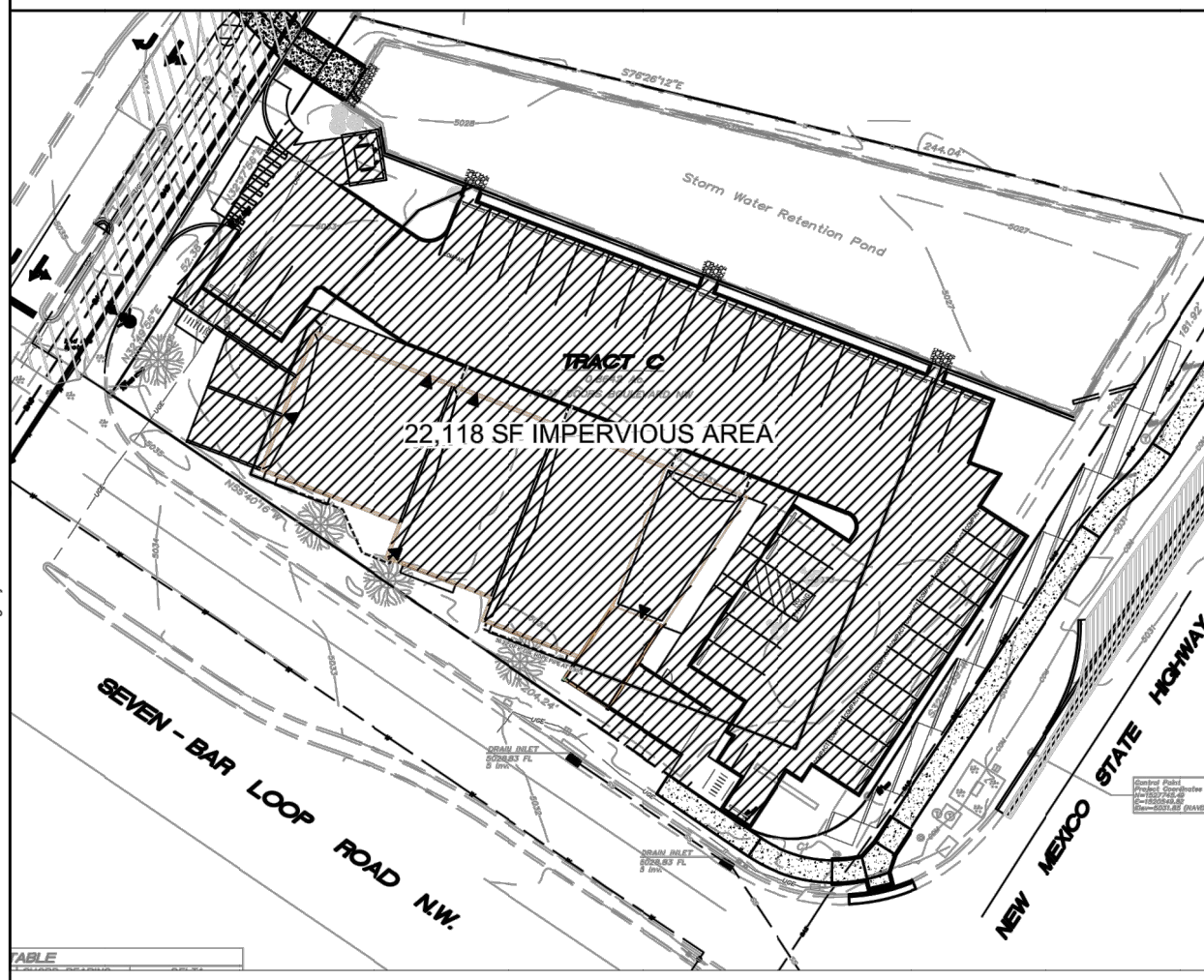
128 Monroe Street NE
 Albuquerque, NM 87108
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Engineer

**Alameda West Shopping Center
 Commercial Addition
 Albuquerque, New Mexico**

IMPERVIOUS AREA



CALCULATIONS

CALCULATIONS: Alameda West Shopping Center - Addition : 12/13/2021
 Based on City of Albuquerque DMP, Article 6-2 Hydrology dated June 26, 2020

100-YEAR, 6-HOUR CALCULATIONS

AREA OF SITE: 37660 SF = 0.86 ACRE

HISTORIC FLOWS:			DEVELOPED FLOWS:			EXCESS PRECIP:		
Area	Treatment SF	%	Area	Treatment SF	%	Zone	Ex	
Area A	0	0%	Area A	0	0%	Ea	0.55	
Area B	37660	100%	Area B	15542	41%	Eb	0.73	
Area C	0	0%	Area C	0	0%	Ec	0.95	
Area D	0	0%	Area D	22118	59%	Ed	2.24	
Total Area	37660	100%	Total Area	37660	100%			

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
 Weighted E = $\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$

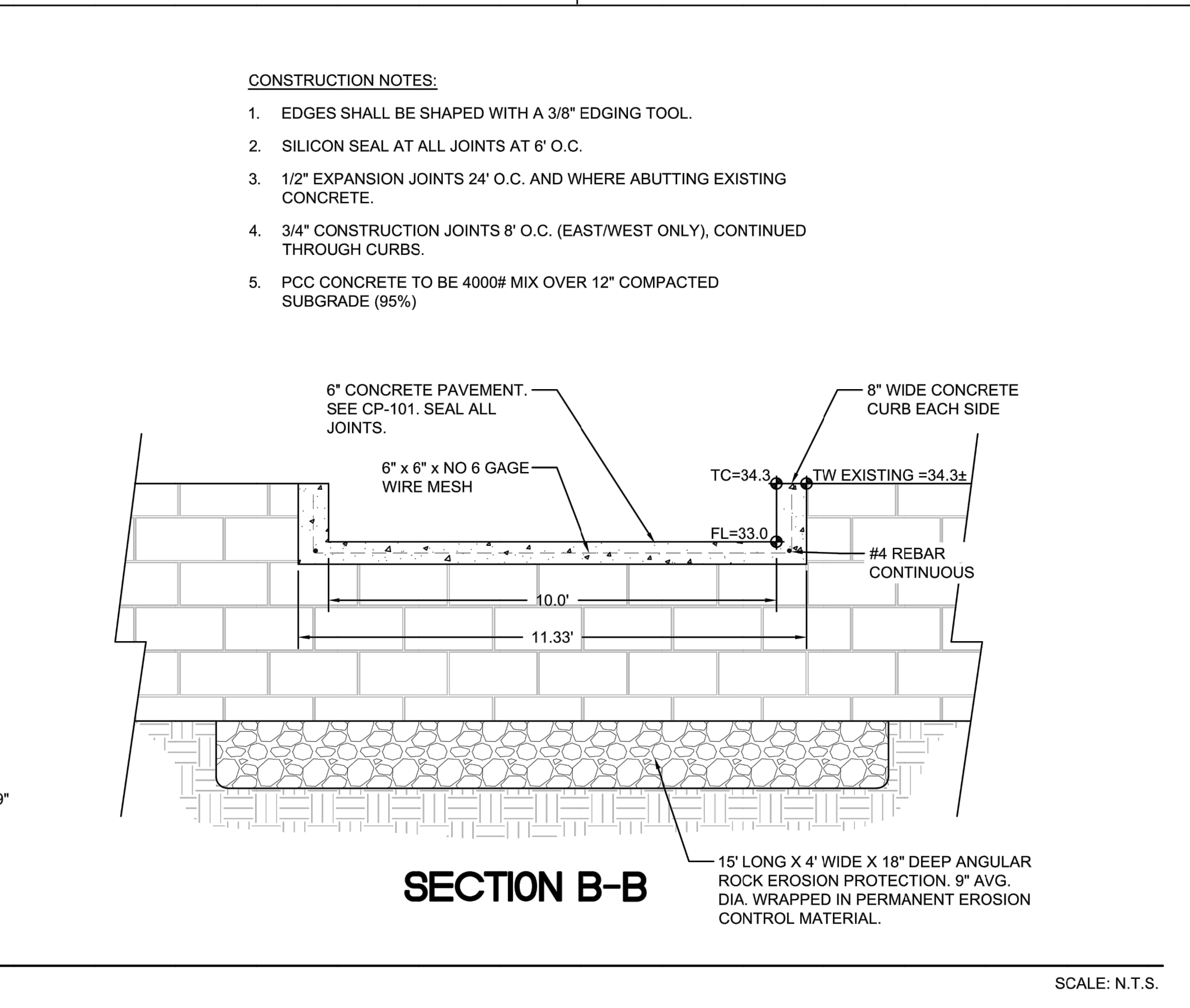
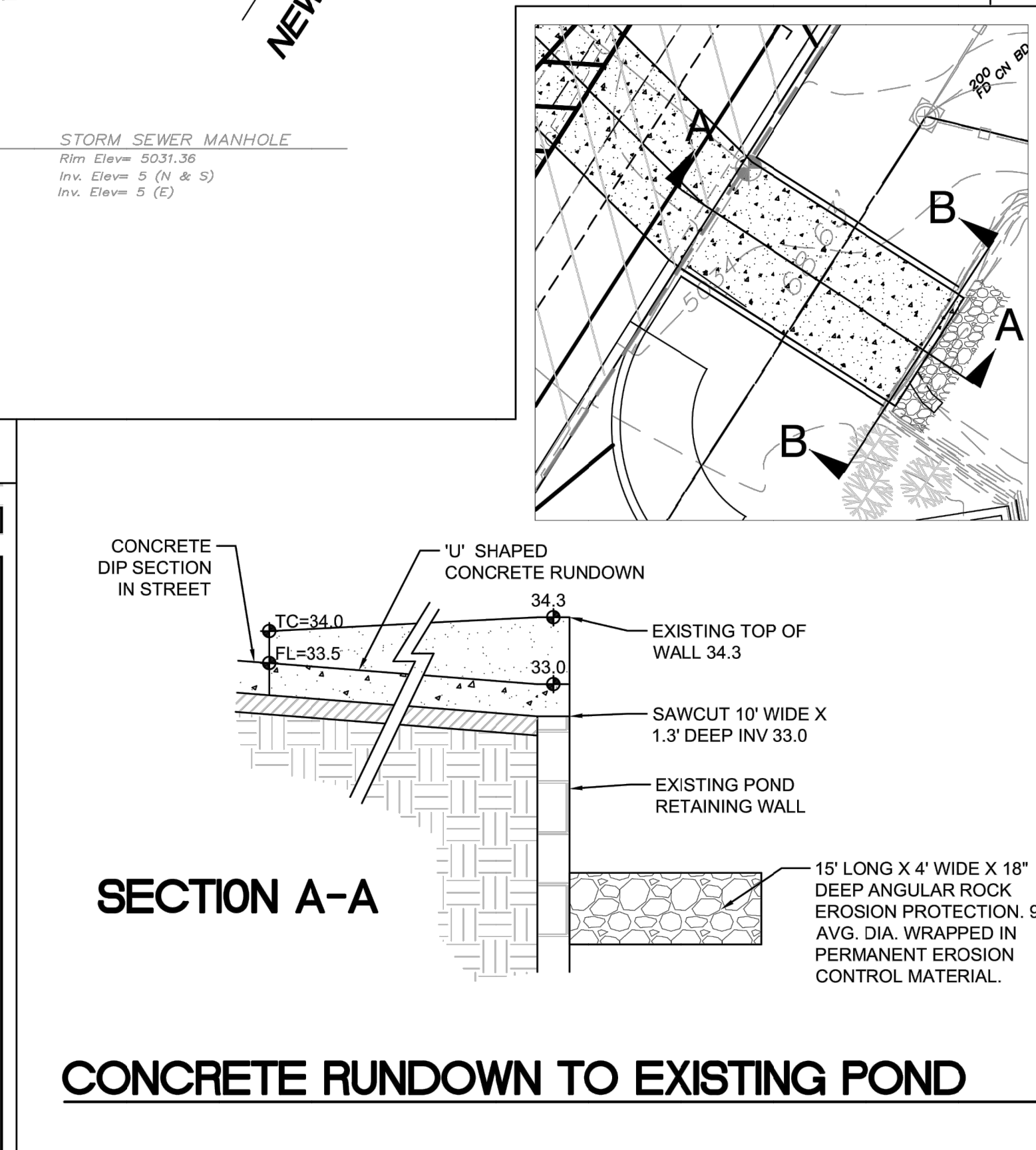
Historic E = 0.73 in. | Developed E = 1.62 in.

On-Site Volume of Runoff: V360 = $\frac{E^3 A}{12}$
 Historic V360 = 2291 CF | Developed V360 = 5074 CF

On-Site Peak Discharge Rate: $Qp = QaAa + QbAb + QcAc + QdAd / 43.560$

For Precipitation Zone 1
 Qa = 1.54 | Qb = 2.87
 Qc = 2.16 | Qd = 4.12

Historic Qp = 1.9 CFS | Developed Qp = 2.9 CFS



- CONSTRUCTION NOTES:**
- EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
 - SILICON SEAL AT ALL JOINTS AT 6' O.C.
 - 1/2" EXPANSION JOINTS 24' O.C. AND WHERE ABUTTING EXISTING CONCRETE.
 - 3/4" CONSTRUCTION JOINTS 8' O.C. (EAST/WEST ONLY), CONTINUED THROUGH CURBS.
 - PCC CONCRETE TO BE 4000# MIX OVER 12" COMPACTED SUBGRADE (95%)

Issue	Date	Description
ISSUE: CONCEPTUAL		
PROJECT NUMBER: IA 2432		
FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:		

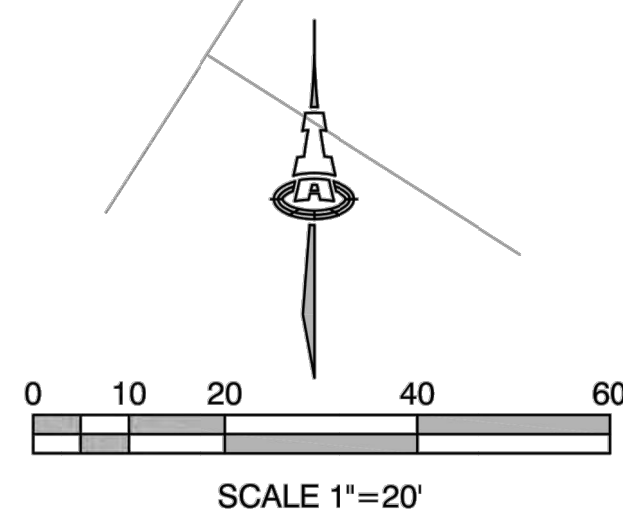
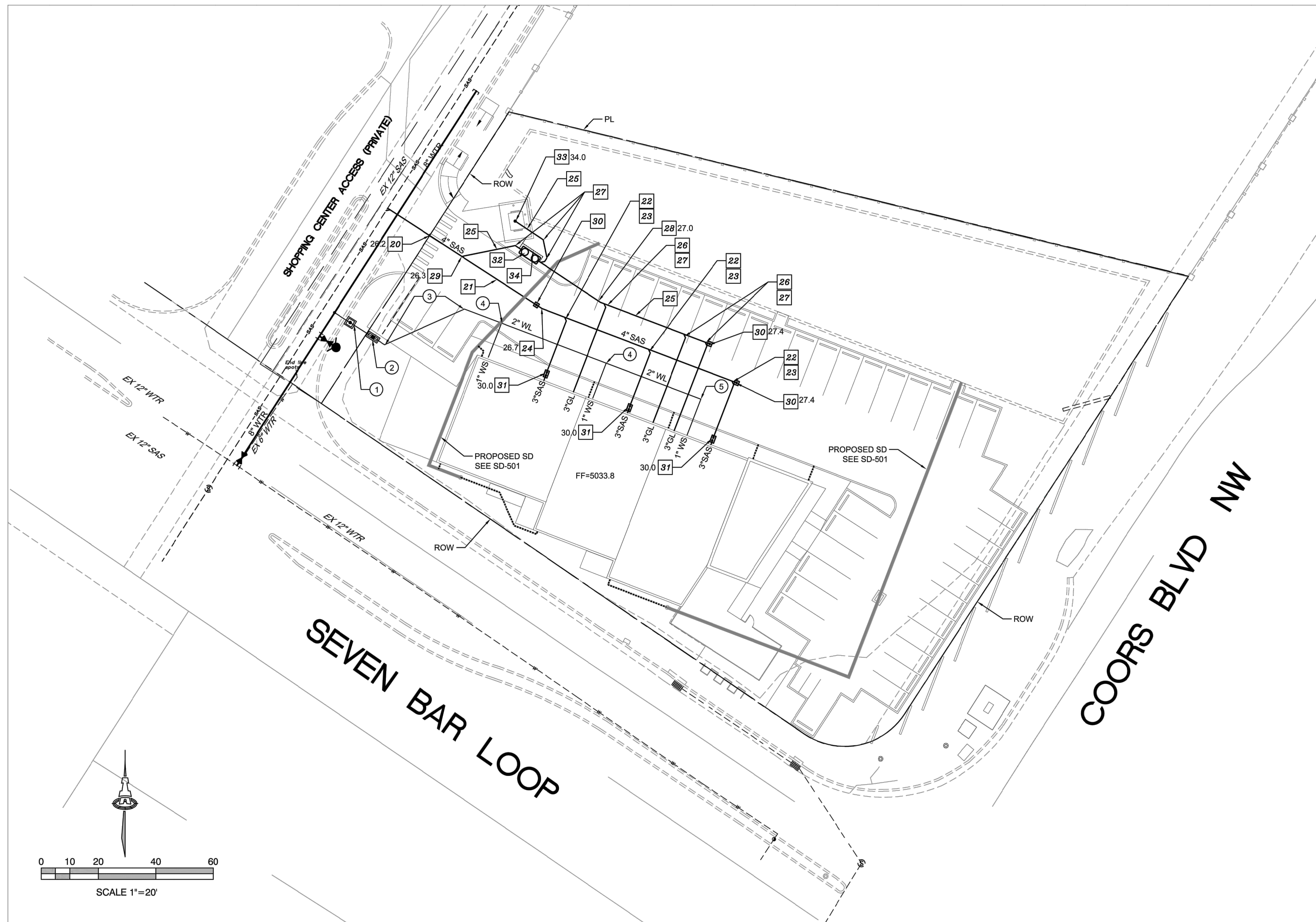
SHEET TITLE

GRADING & DRAINAGE PLAN

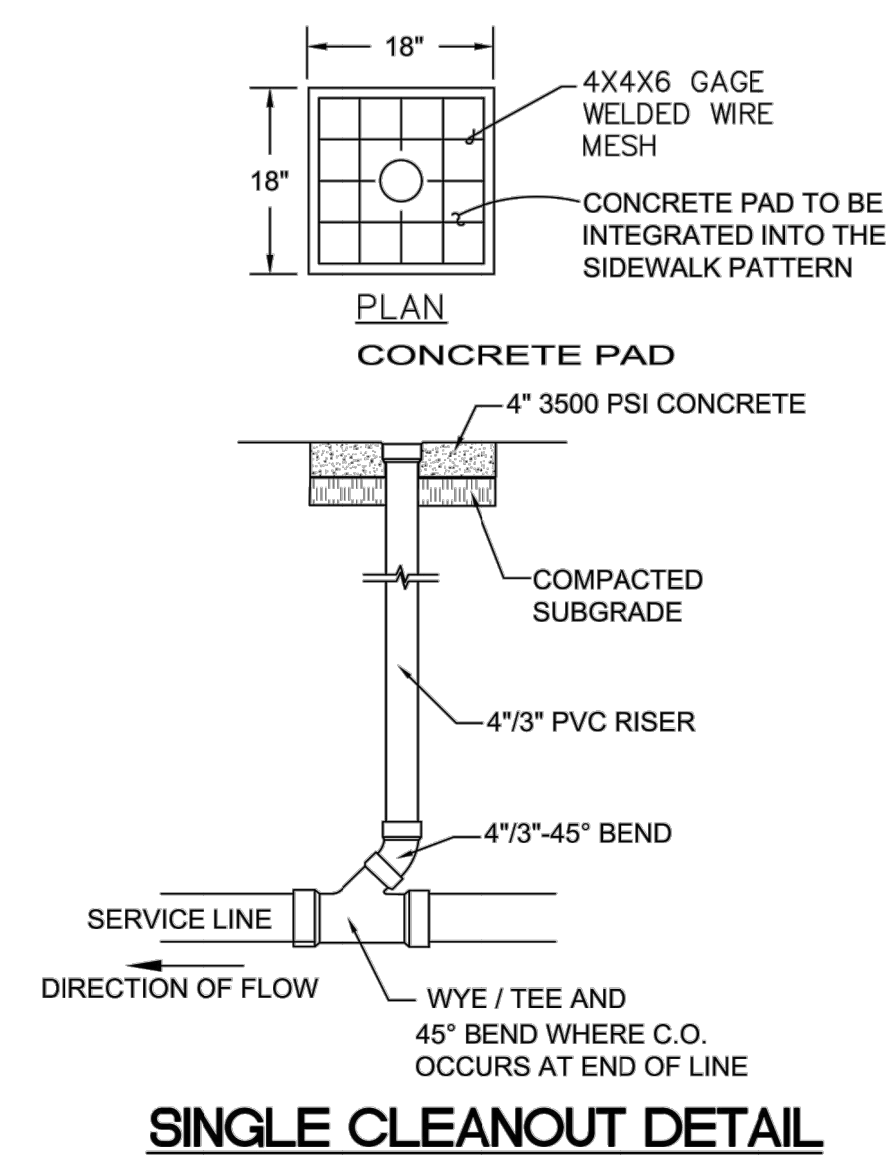
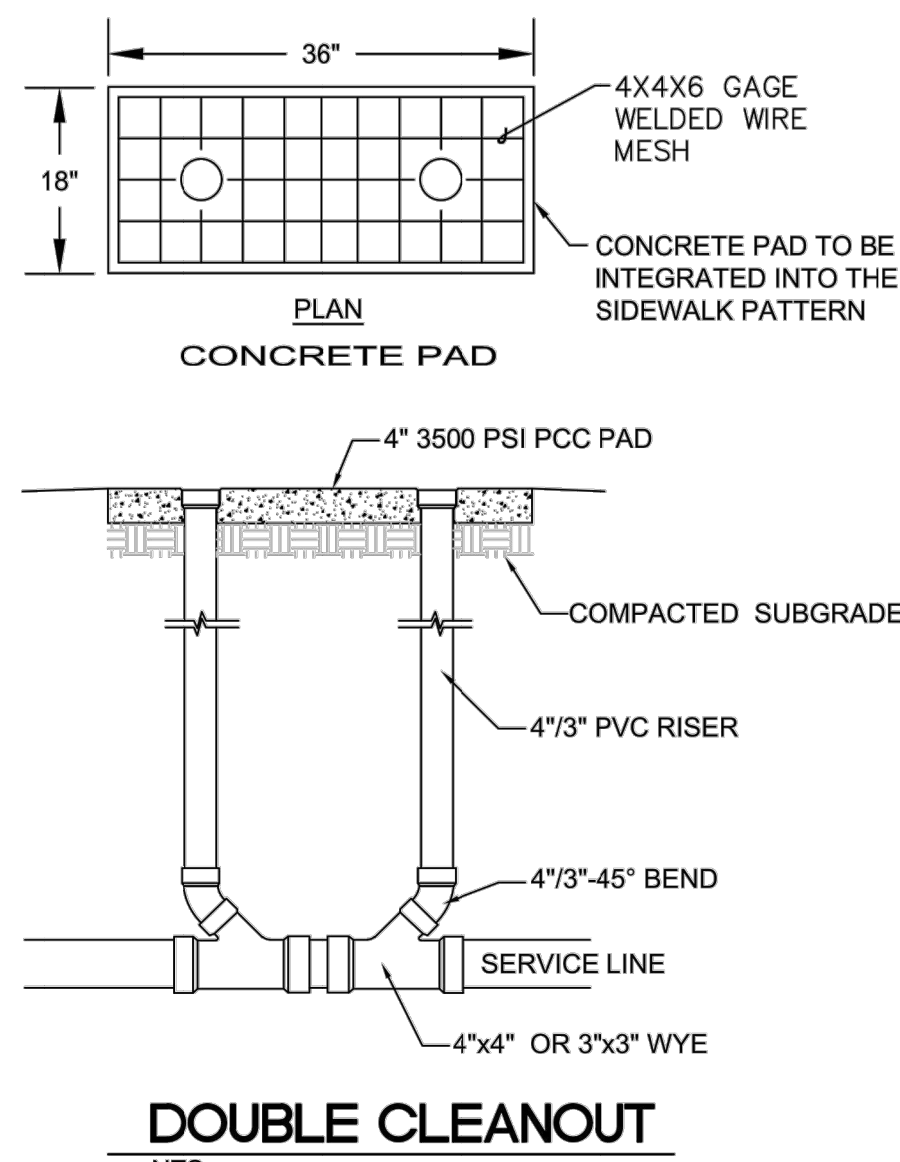
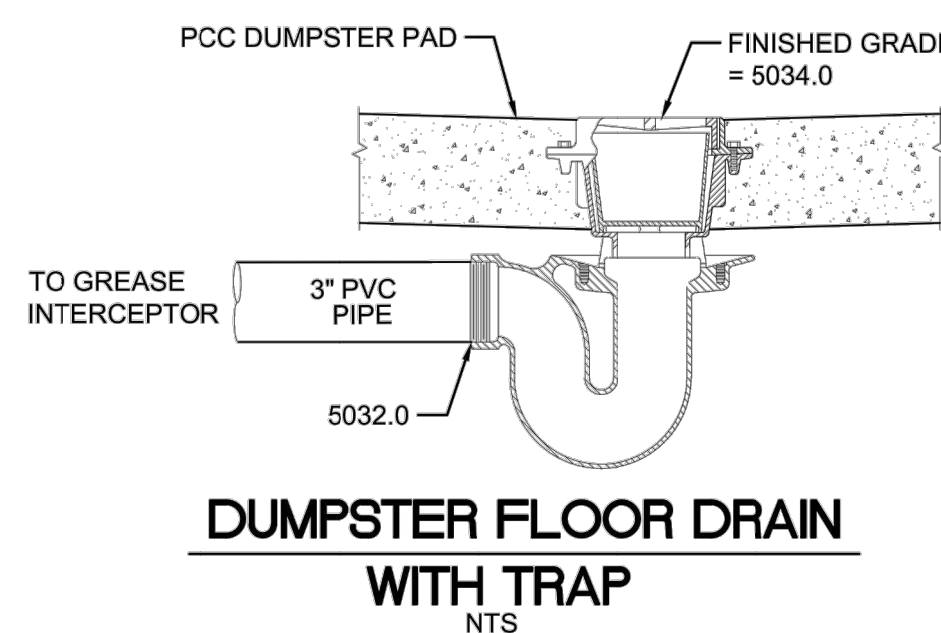
SHEET NUMBER

APRIL 22, 2022
 SHEET 5 OF 7

SCALE: N.T.S.



8" WATERLINE, FIRE HYDRANT, WATER METER SETTING AND SEWER SERVICE CONNECTION TO EXISTING SEWER MAIN TO BE CONSTRUCTED UNDER ABCWUA WORK ORDER.



GENERAL NOTES

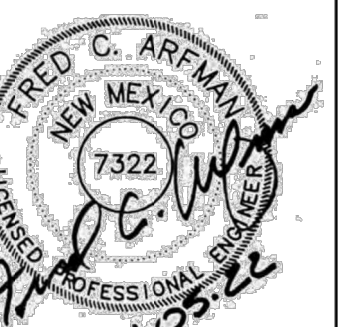
- SEE SHEET C-100 FOR ALL CIVIL GENERAL NOTES.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

KEYED NOTES

- WATER KEYED NOTES**
- CONNECT NEW 2" WATER SERVICE LINE TO EXISTING METER SETTING.
 - FEBCO MODEL 825YA RPBFP IN A SAFE-T-COVER MODEL 200-AL.
 - 2" 45° BEND.
 - 2"x1" TEE.
 - 2"x1" 90° BEND.
- SEWER KEYED NOTES**
- REMOVE 4" PLUG AND CONNECT NEW 4" SEWER SERVICE LINE.
 - 4" SANITARY SEWER LINE AT 1% MIN. SLOPE.
 - 4"x4" WYE/TEE.
 - 4" 45° BEND.
 - 4" 11 1/2° BEND.
 - 3" GREASE LINE AT 1% MIN. SLOPE.
 - 3"x3" WYE/TEE.
 - 3" 45° BEND.
 - 3" 11 1/2° BEND.
 - 4"x3" WYE/TEE.
 - SANITARY SEWER SINGLE CLEAN OUT, SEE DETAIL THIS SHEET.
 - SANITARY SEWER DOUBLE CLEAN OUT, SEE DETAIL THIS SHEET.
 - SCHIRE MODEL GB-250 GREASE INTERCEPTOR.
 - 3" DUMPSTER FLOOR DRAIN WITH "P" TRAP.
 - 2" GREASE INTERCEPTOR VENT LINE.

LEGEND

- EX 12" WTR - EXISTING WATERLINE
- EX 12" SAS - EXISTING SEWER LINE
- EX - EXISTING SEWER MANHOLE
- NEW WATER SERVICE
- NEW SEWER SERVICE
- SEWER CLEAN OUT



Engineer

**Alameda West Shopping Center
Commercial Addition**
Albuquerque, New Mexico

ISSUE: FINAL	PROJECT NUMBER: IA 2432
FILE:	
DRAWN BY: FCA	CHECKED BY: FCA
DATE: OCTOBER, 2021	

No	Date	Description

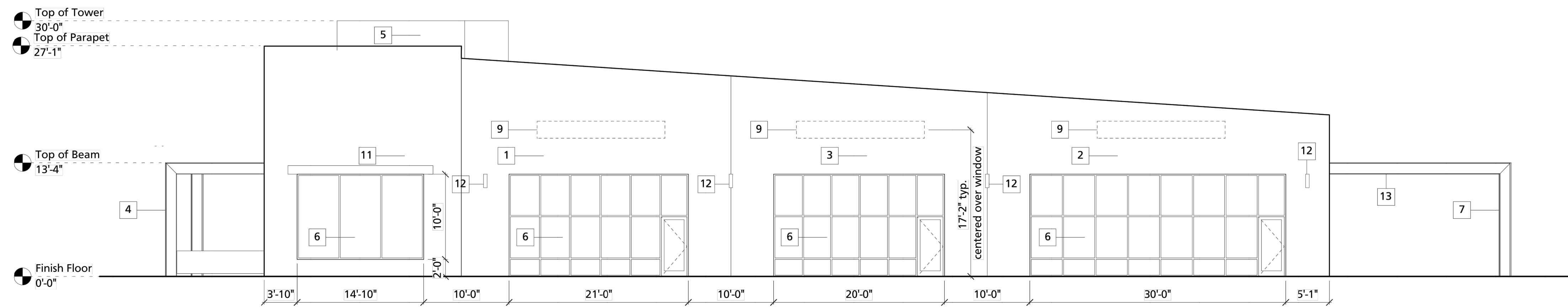
SHEET TITLE

UTILITY PLAN

SHEET NUMBER

FEBRUARY 8, 2022
SHEET 6 OF 7





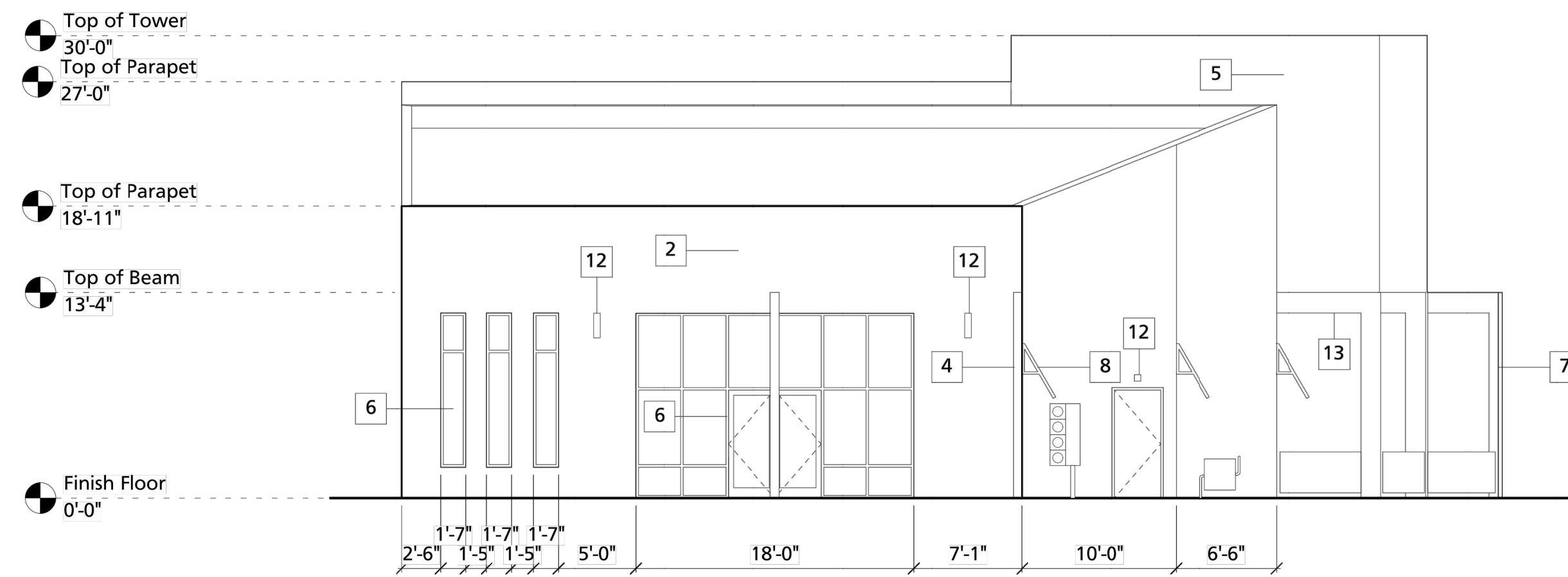
N North Elevation
Scale: 1/8" = 1'-0"

Per IDO 14-16-5-12 (F)(2)
Wall sign
zone MX-M 15% of Facade
North Facade = 2,867 sq.ft. 430 sq.ft. of sign allowed
proposed (3) @ 30 sq.ft. ea.

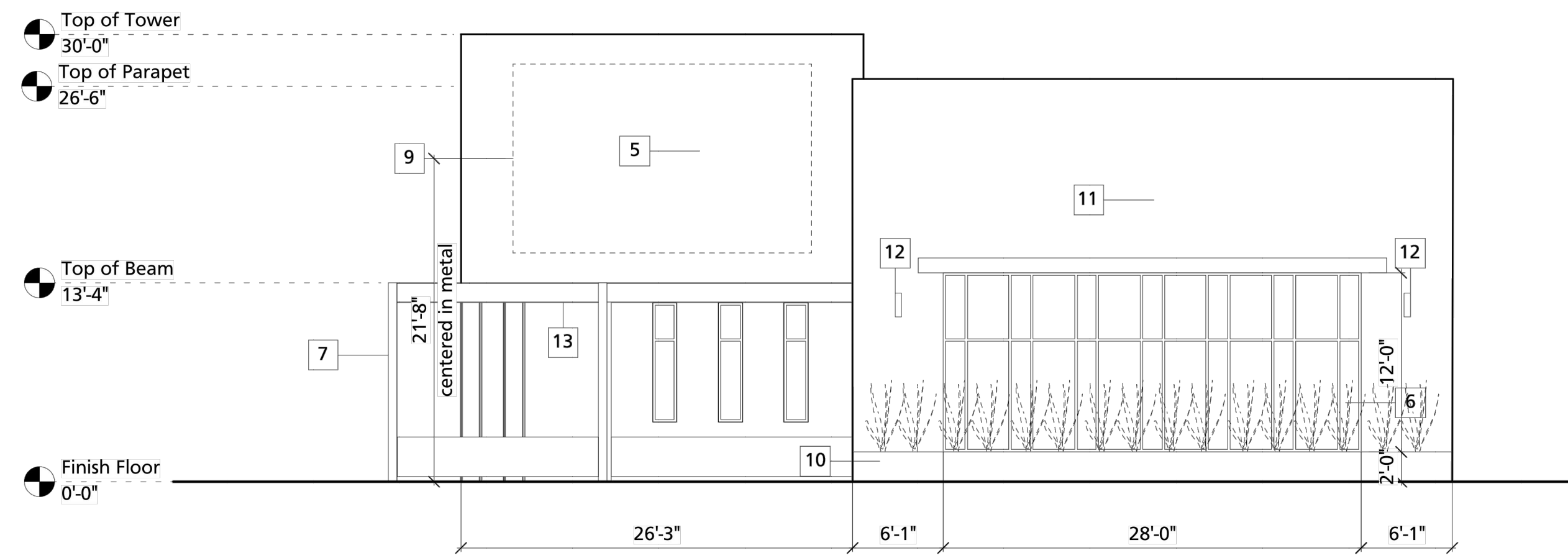
KEYED NOTES:

1. STUCCO WALL COLOR -blue
2. STUCCO WALL COLOR -gray
3. STUCCO WALL COLOR -brown
4. STUCCO WALL COLOR -na
5. PERFORATED STEEL MESH
6. STOREFRONT WINDOW
7. STEEL PATIO STRUCTURE
8. METAL AWNING
9. BUILDING SIGN
10. RAISED PLANTER
11. STUCCO WALL COLOR -na
12. OUTDOOR WALL LIGHT
13. OUTDOOR STRIP LIGHT

- STUCCO WALL COLOR #1
- STUCCO WALL COLOR #2
- STUCCO WALL COLOR #3
- PERFORATED METAL #5
- STUCCO WALL COLOR #4



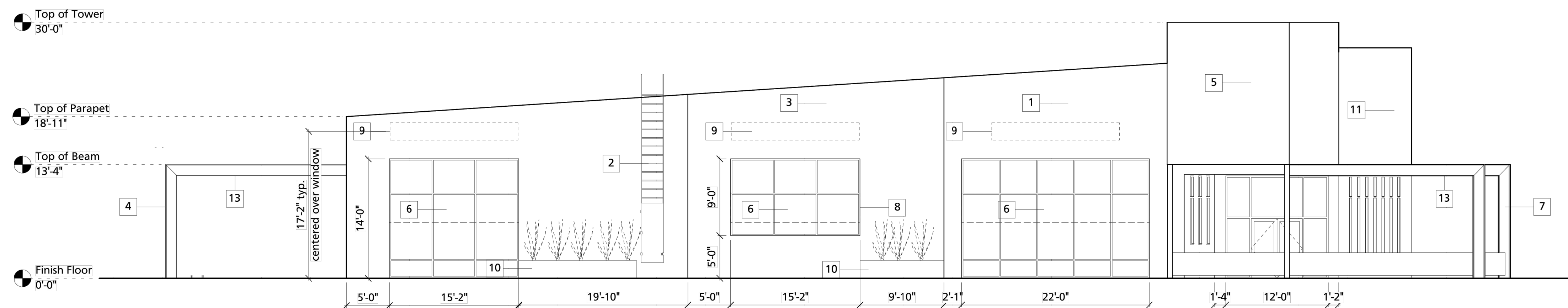
W West Elevation
Scale: 1/8" = 1'-0"



E East Elevation
Scale: 1/8" = 1'-0"

Per IDO 14-16-5-12 (F)(2)
Wall sign
zone MX-M 15% of Facade
North Facade = 1,867 sq.ft.
280 sq.ft. of sign allowed
proposed 1 @ 250 sq.ft.

Per IDO 14-16-5-11 (E)(2)(b)
Building Design
30% Windows 1,077sq.ft. /30% = 323 (336 sq.ft. provided)
Street Facing Facade Shall Incorporate 3 features
1. d Awnings over windows
2. e Sun Shelves
3. f Raised Planters



S South Elevation
Scale: 1/8" = 1'-0"

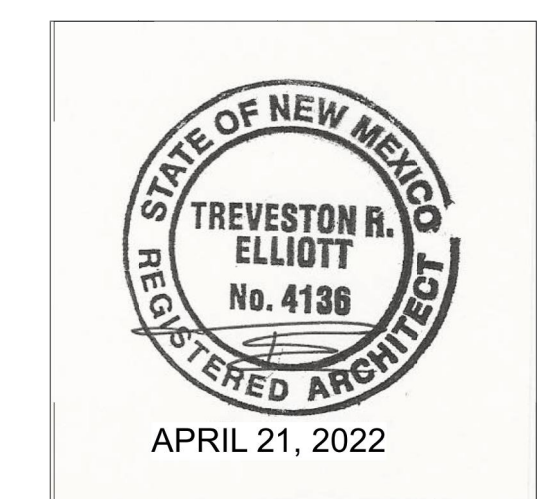
Per IDO 14-16-5-12 (F)(2)
Wall sign
zone MX-M 15% of Facade
South Facade = 2,547 sq.ft.
382 sq.ft. of sign allowed
proposed (3) @ 30 sq.ft. ea.

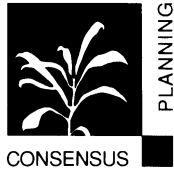
Per IDO 14-16-5-11 (E)(2)(b)
Building Design
30% Windows 2,119sq.ft. /30% = 635.7 (655 sq.ft. provided)
Street Facing Facade Shall Incorporate 3 features
1. d Awnings over windows
2. e Sun Shelves
3. f Raised Planters

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COTTONWOOD WEST
SHOPPING CENTER
ALBUQUERQUE, NEW MEXICO





Memorandum

To: Ms. Jeanne Wolfenbarger, P.E., Development Review Board
From: Jim Strozier, FAICP
Date: April 22, 2022
Re: Response to PR-2021-005687 Transportation Comments

What does the 30-foot dimension represent on the plan view to the north of the site? (Any easements should be shown clearly.)

RESPONSE: The 30 foot dimension is the width of the private access from 7 Bar Loop. We have added the note "Access Agreement per Declaration of Restrictions and Grant Easements dated 08/25/1983."

If the sidewalk is going to deviate from its typical path within the right-of-way, include a sidewalk easement and wayfinding signage, and label sidewalk connection at the west end. For sidewalk within Coors Boulevard, coordinate with NMDOT and include a note that it shall be built per a permit. If curb is going to be proposed on the infrastructure list, provide a cross-section for both COA review and NMDOT review and call out general location on the site plan.

RESPONSE: The west end of the sidewalk has been labeled on site plan. A note for the sidewalk within Coors Blvd has been added that reads "Public 6' Sidewalk and Right-Turn Lane Extension to be Constructed by NMDOT Permit. Coordinate with Civil Sheets."

Clearly show islands/channelization within the access to 7-Bar Loop along with proposed/existing lane widths. For any proposed work, include on infrastructure list.

RESPONSE: Islands and channelization are now displayed on the site plan. Removal of existing median and additional striping is noted as private on site plan. Since these are improvements within a private easement, our understanding is that they should not be included on the infrastructure list.

Designate all curb ramps on the site plan with a keyed note and include ramp details on the civil sheet along with the detail of the crosswalk.

RESPONSE: A keyed note has been added for all curb ramps on site, the details for which have been added to civil detail sheet.

Include all dimensioning for width of parking spaces for the compact spaces, handicapped spaces, and standard spaces. Follow minimum DPM requirements.

RESPONSE: Dimensions for all parking spaces have been added to the site plan, in accordance with DPM requirements.

The maximum allowable number of compact spaces is 25% of the total per the IDO requirements.

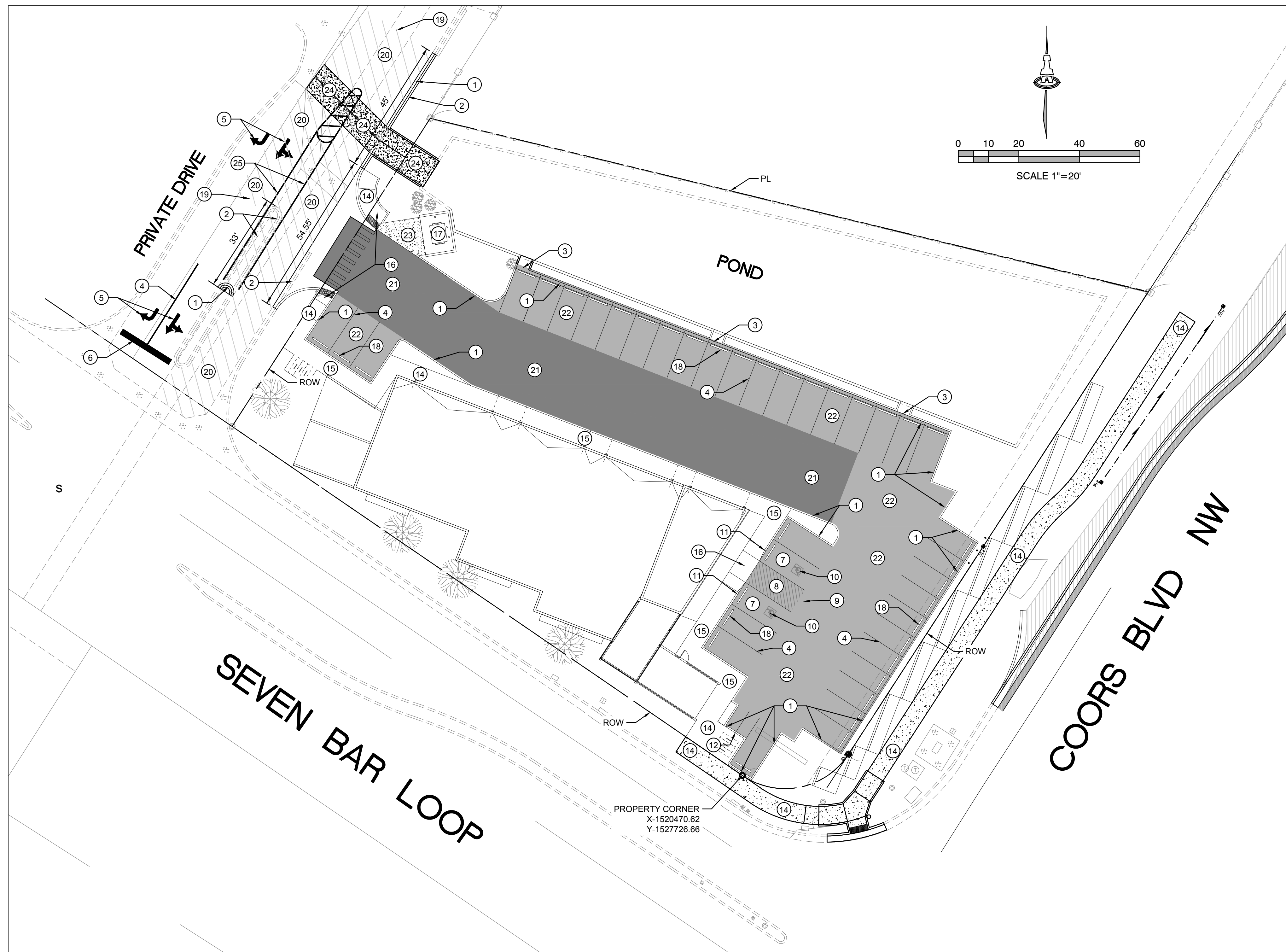
RESPONSE: A note discussing the total number of allowed and provided compact spaces has been added to Sheet 1. Pursuant to the existing site plan, all parking calculations are for the entire "shopping center."

Label curb, parking bumpers, and paved parking spaces with keyed notes. List all curb radii, following the DPM requirements.

RESPONSE: Keyed notes have been added to the site plan which call out curbs, parking bumpers and paved parking spaces. A paving plan has been included as an exhibit with the supplemental submittal. All curb radii have been shown on the site plan in accordance with DPM requirements.

Use intersection clear sight distance for the access off of 7-bar Loop. Place this clear sight distance triangle on both the site pan and the landscaping plan.

RESPONSE: An intersection clear site distance triangle has been placed on both the site plan and the landscape plan for the 7-Bar/private drive intersection.



GENERAL NOTES

1. FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (505-260-1990) FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ADJUST ALL UTILITY CLEANOUTS & WATER VALVES TO FINAL GRADE.
4. SEE CG-101 FOR CURB OPENINGS LOCATION.

KEYED NOTES

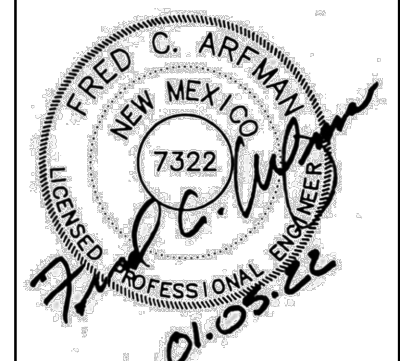
SEE C-100 FOR ALL CIVIL GENERAL NOTES.

SEE ARCHITECTURAL PLANS FOR SITE LIGHT AND DETAILS. COORDINATE CONDUIT PLACEMENT PRIOR TO PAVING START

SEE PAVING SECTIONS THIS SHEET. CG-501 FOR PAVING DETAILS AS UNDERLINED BELOW.

1. CONCRETE MEDIAN CURB AND GUTTER.
2. REMOVE AND DISPOSE EXISTING CURB AND GUTTER.
3. CURB OPENING. SEE GRADING AND DRAINAGE PLAN FOR ADDITIONAL INFORMATION.
4. 4" WIDE PARKING LOT STRIPE IN WHITE TRAFFIC PAINT TYP.
5. PAINTED TRAFFIC ARROW AND WORD "ONLY" (PER MUTCD).
6. 24" PAINTED STOP BAR.
7. ADA COMPLIANT ACCESSIBLE PARKING SPACES. MAXIMUM 2% SLOPE IN ANY DIRECTION
8. ACCESS AISLE WITH 4" PERIMETER STRIPE AND 4" WIDE STRIPES AT 2' O.C. IN BLUE TRAFFIC PAINT
9. PAINTED "NO PARKING" BLUE. 2" WIDE LETTERING @ 2' HIGH
10. ACCESSIBILITY SYMBOL
11. POST MOUNTED SIGN ADA VAN ACCESSIBLE PARKING.
12. POST MOUNTED SIGN MOTORCYCLE PARKING.
13. ALONG DASHED LINE, PAINT FACE AND TOP OF CURB RED AND PAINT WHITE STENCILED LETTERING ON TOP OF CURB "NO PARKING" AND "FIRE LANE" ALTERNATING AT 30 FT. O.C.
14. CONCRETE SIDEWALK. SIDEWALK WIDTH VARIES. SEE SITE PLAN.
15. SIDEWALK WITH TURNED DOWN EDGE. WIDTH VARIES. SEE SITE PLAN.
16. SIDEWALK ACCESS RAMP. DO NOT EXCEED 1:50 CROSS-SLOPE AND 1:12 LONGITUDINAL SLOPE.
17. TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR ALL DETAILS.
18. PRECAST CONCRETE PARKING BUMPER.
19. CONTRACTOR TO VERIFY LOCATION OF EXISTING CURB, ASPHALT, AND CONCRETE PAVEMENT TIE-IN LOCATIONS AND MATCH EXISTING WITH SMOOTH TRANSITION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
20. SAW CUT, REMOVE AND REPLACE EXISTING ASPHALT PAVEMENT TO ENSURE POSITIVE DRAINAGE TO NEW PCC RUNDOWN. SEE CG-101.
21. HEAVY DUTY ASPHALT PAVEMENT PER GEO-TECHNICAL REPORT.
22. LIGHT DUTY ASPHALT PAVEMENT PER GEO-TECHNICAL REPORT.
23. PORTLAND CEMENT CONCRETE (PCC) PAVEMENT WITH CONSTRUCTION (CJ) AND EXPANSION (EJ) JOINTS AS INDICATED.
24. PORTLAND CEMENT CONCRETE (PCC) RUNDOWN. SEE CG-501 FOR DETAILS.
25. 4" WIDE STRIPE IN YELLOW TRAFFIC PAINT.
26. PAINTED CROSSWALK.

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Engineer

Alameda West Shopping Center
Commercial Addition
Albuquerque, New Mexico

ISSUE: CONCEPTUAL
PROJECT NUMBER: IA 2432
FILE:
DRAWN BY: FCA
CHECKED BY:
DATE: JUNE 28, 2021

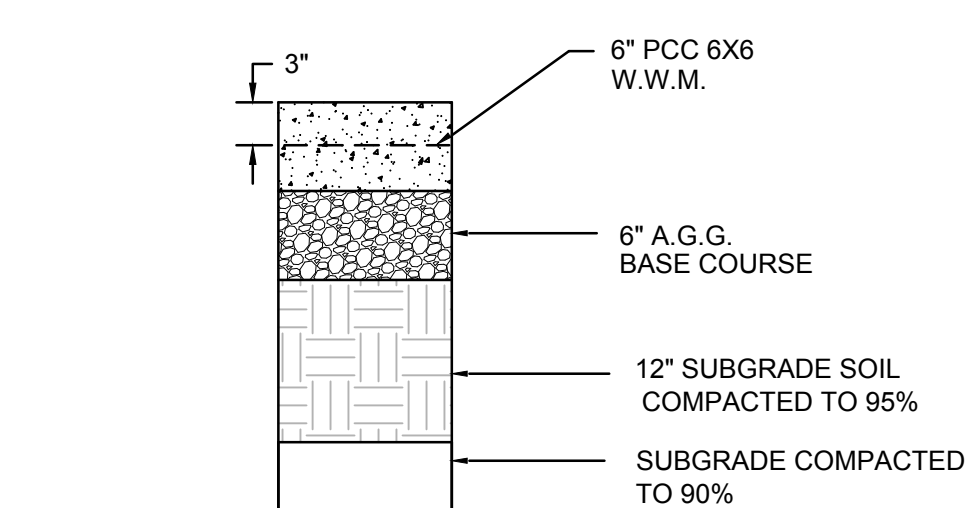
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SHEET TITLE

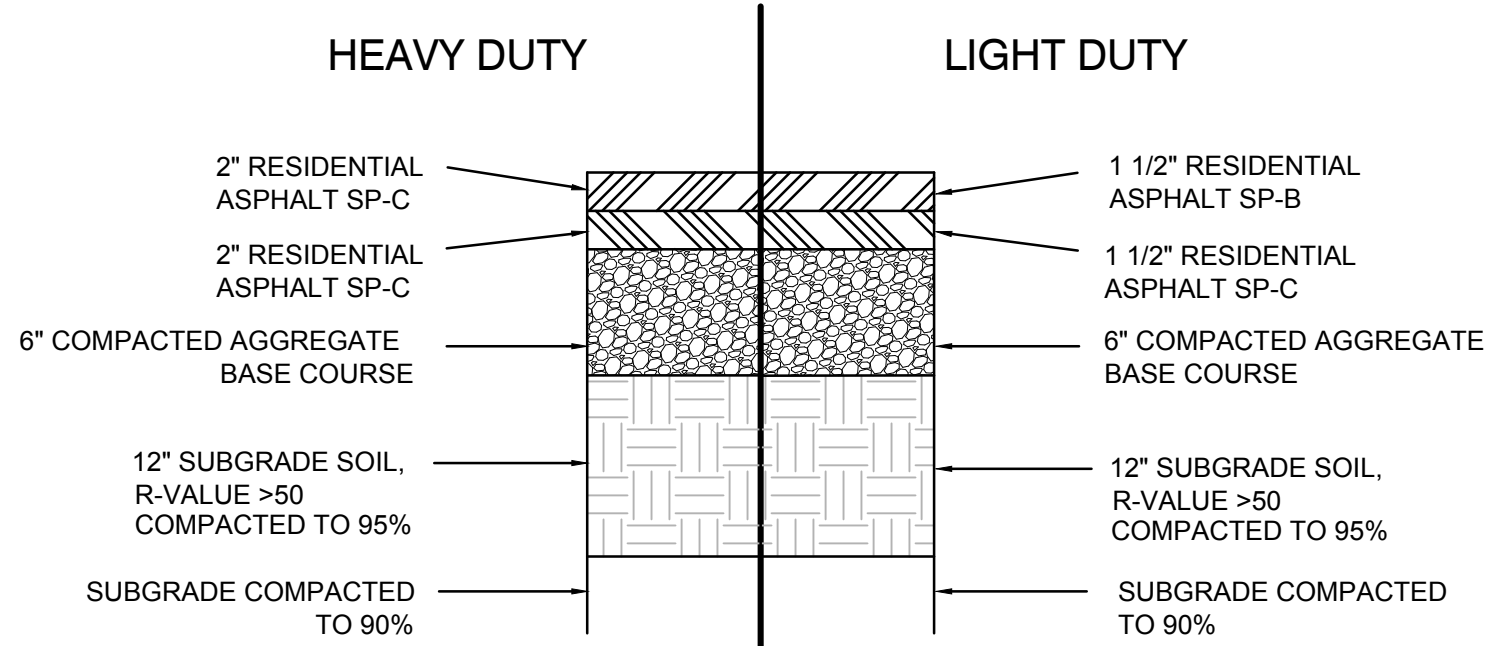
PAVING PLAN

SHEET NUMBER

CP-101



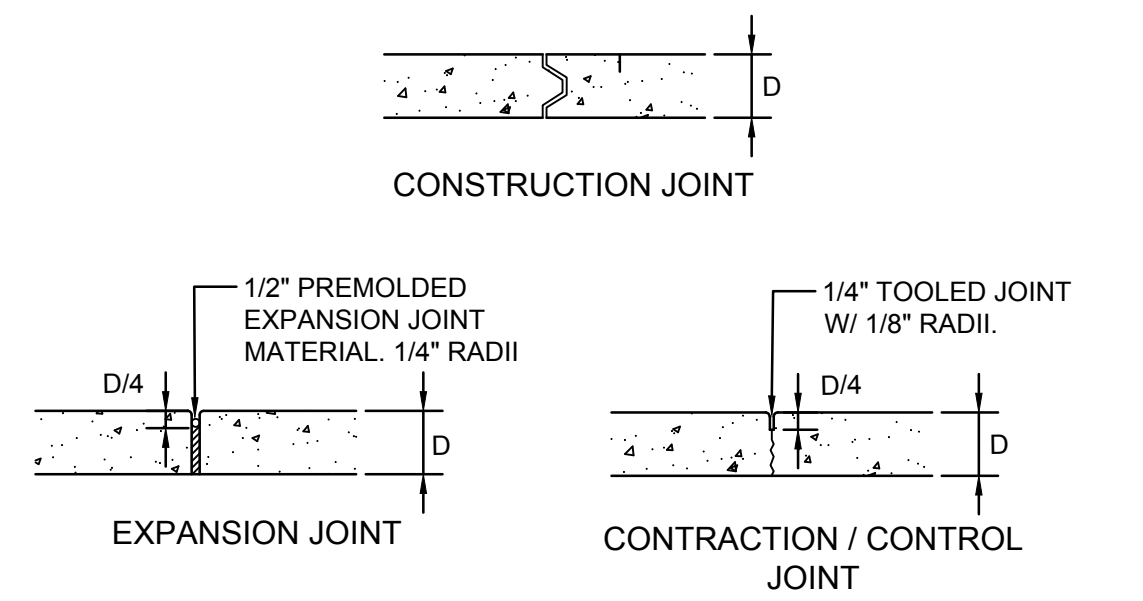
CONCRETE PAVING SECTION
SCALE: N.T.S.



ASPHALT PAVING SECTIONS
SCALE: N.T.S.

LEGEND

- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- LIGHT ASPHALT PAVING SECTION
- HEAVY ASPHALT PAVING SECTION
- PCC PAVING SECTION
- REMOVE AND REPLACE ASPHALT
- POST MOUNTED SIGN
- FIRE LANE MARKINGS

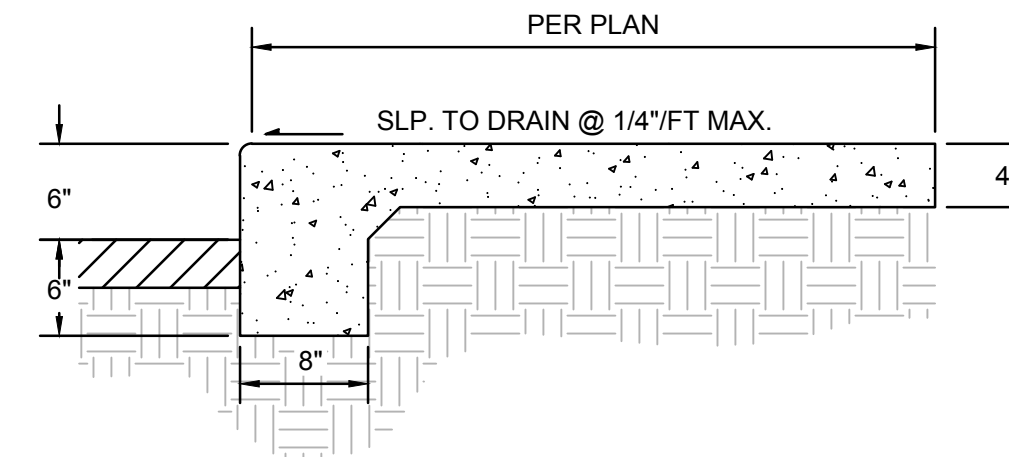


GENERAL NOTES

1. ODD-SHAPED AREAS OF PAVEMENT SHOULD BE AVOIDED TO MINIMIZE RANDOM CRACKING
2. LONGITUDINAL JOINT SPACING SHALL NOT EXCEED 12.5'
3. TRANSVERSE JOINT SPACING SHALL BE AT REGULAR INTERVALS OF 15' OR LESS
4. OFFSETS AT RADIUS POINTS SHALL BE AT LEAST 1.5' WIDE

CONCRETE JOINTS

SCALE: N.T.S.

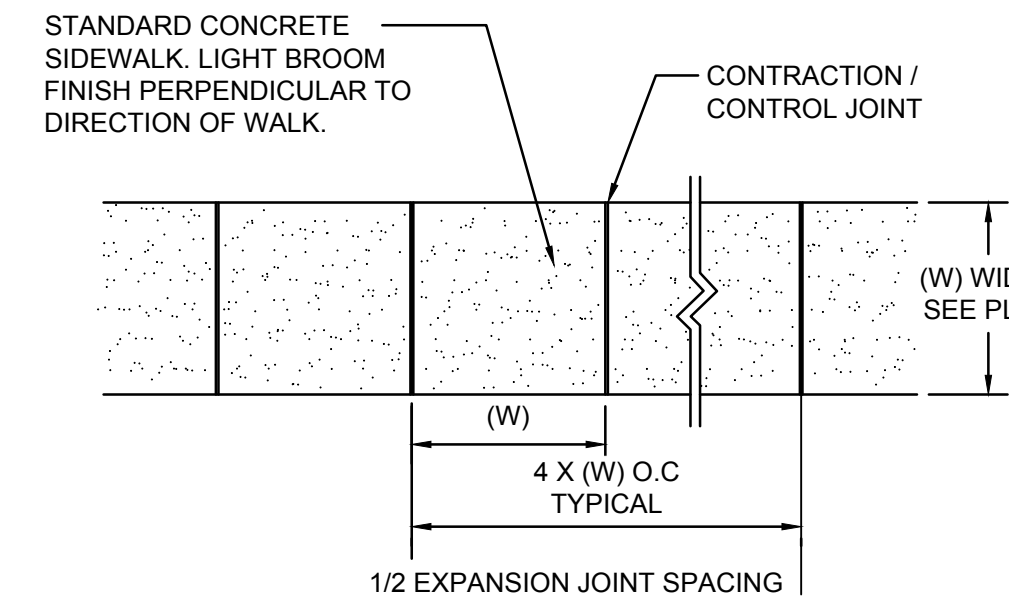


GENERAL NOTES

1. CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
2. 1/2" EXPANSION JOINTS @ 24' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
3. REQUIRES FULL FORM ON ALL FACES.
4. 3/8" RADII AT ALL EXPOSED EDGES.

SIDEWALK - TURNED DOWN EDGE

SCALE: N.T.S.



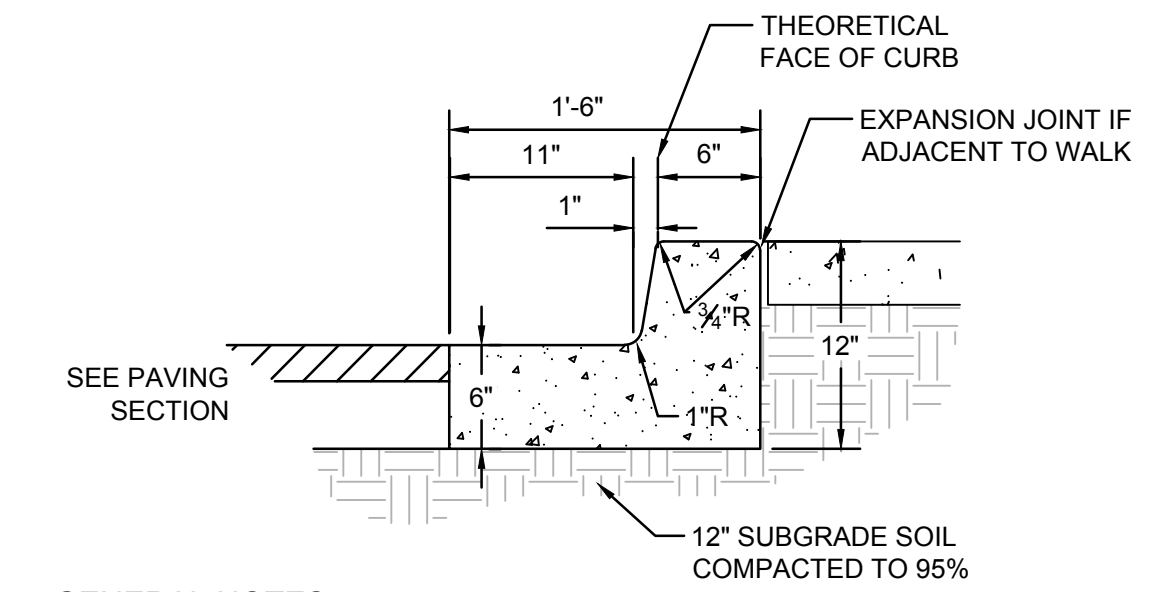
GENERAL NOTES

1. 4000 PSI COMPRESSIVE STRENGTH CONCRETE
2. SEE CONCRETE JOINTS DETAIL
3. FINISHED EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).
4. 3/8" RADII AT ALL EXPOSED EDGES.

CONCRETE WALK

BROOM FINISH

SCALE: N.T.S.



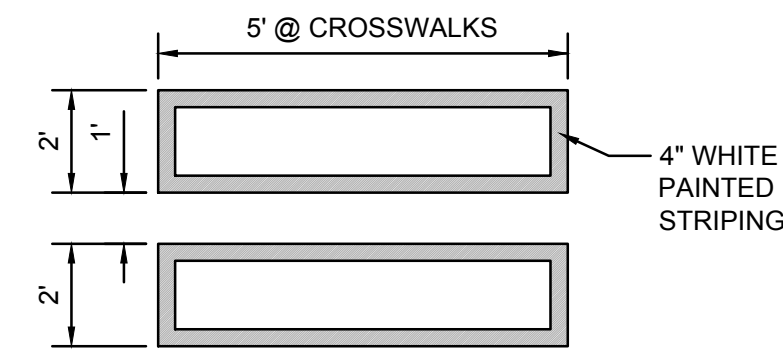
GENERAL NOTES

1. REQUIRES FULL FORM ON ALL FACES.
2. CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
3. EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
4. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" RADII.

MEDIAN CURB AND GUTTER

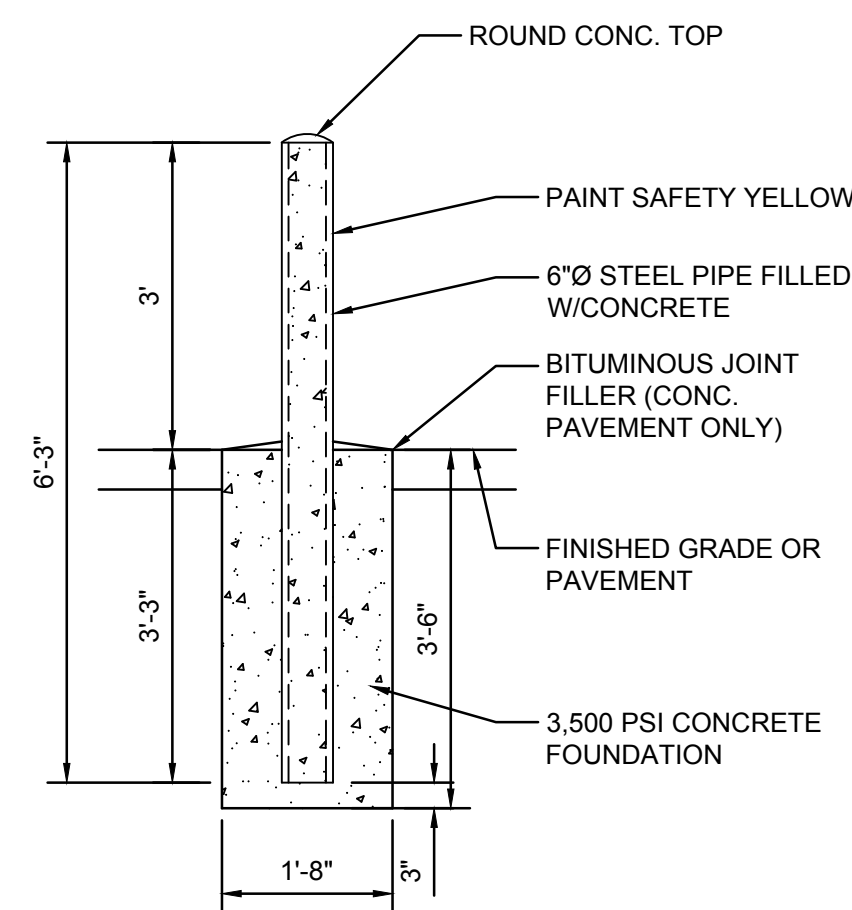
6" WIDE THEORETICAL FACE OF CURB

SCALE: N.T.S.



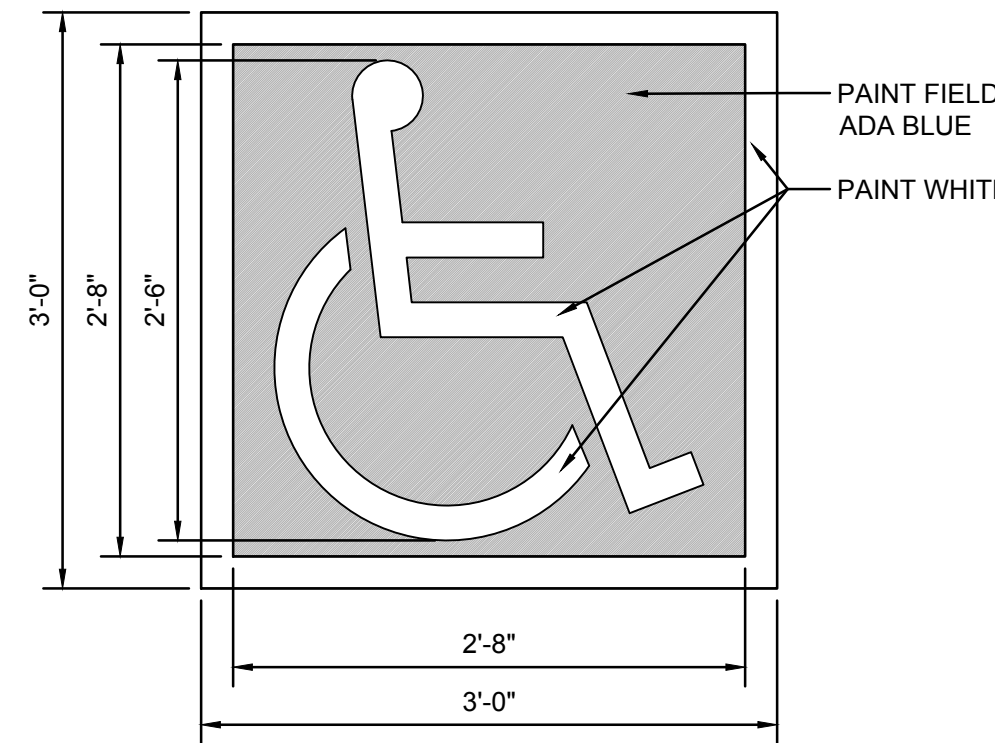
PAINTED ACCESSIBLE CROSSWALK

SCALE: N.T.S.



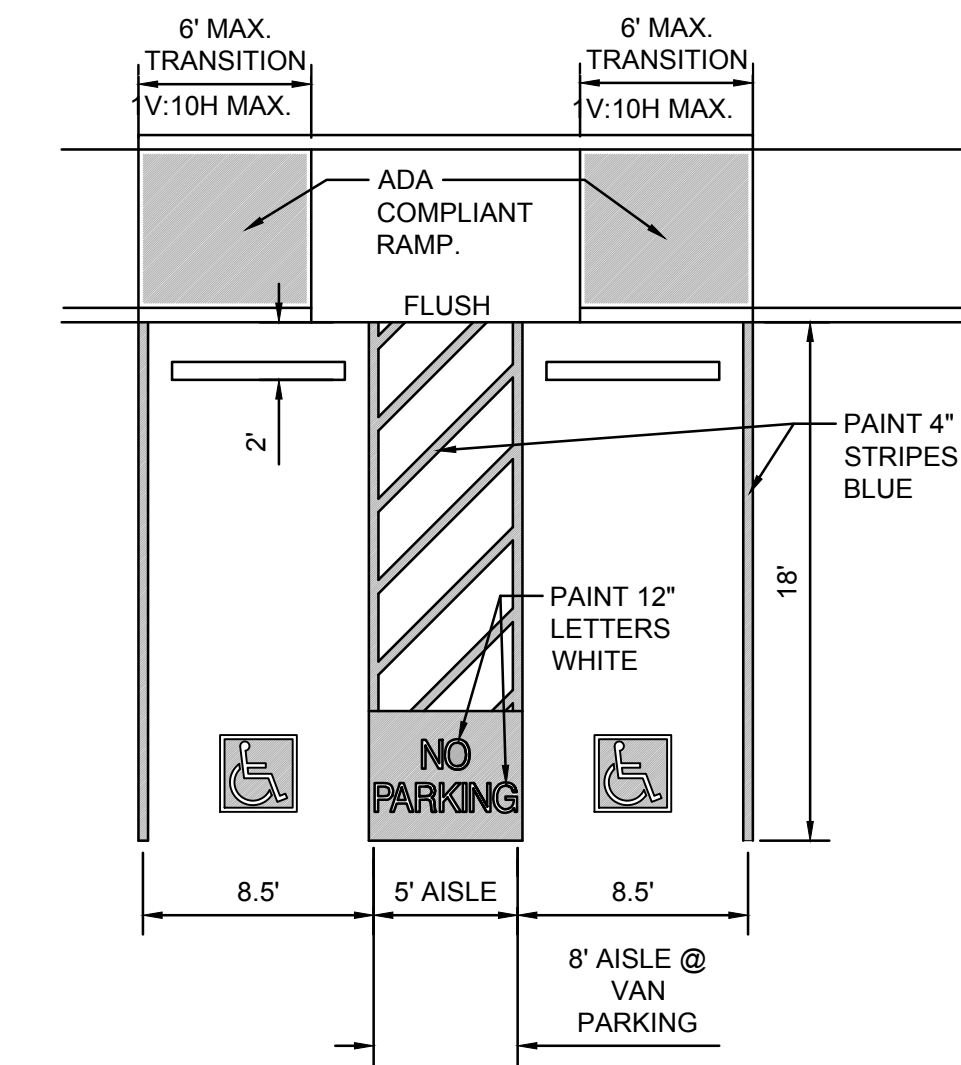
CONCRETE FILLED BOLLARD

SCALE: N.T.S.



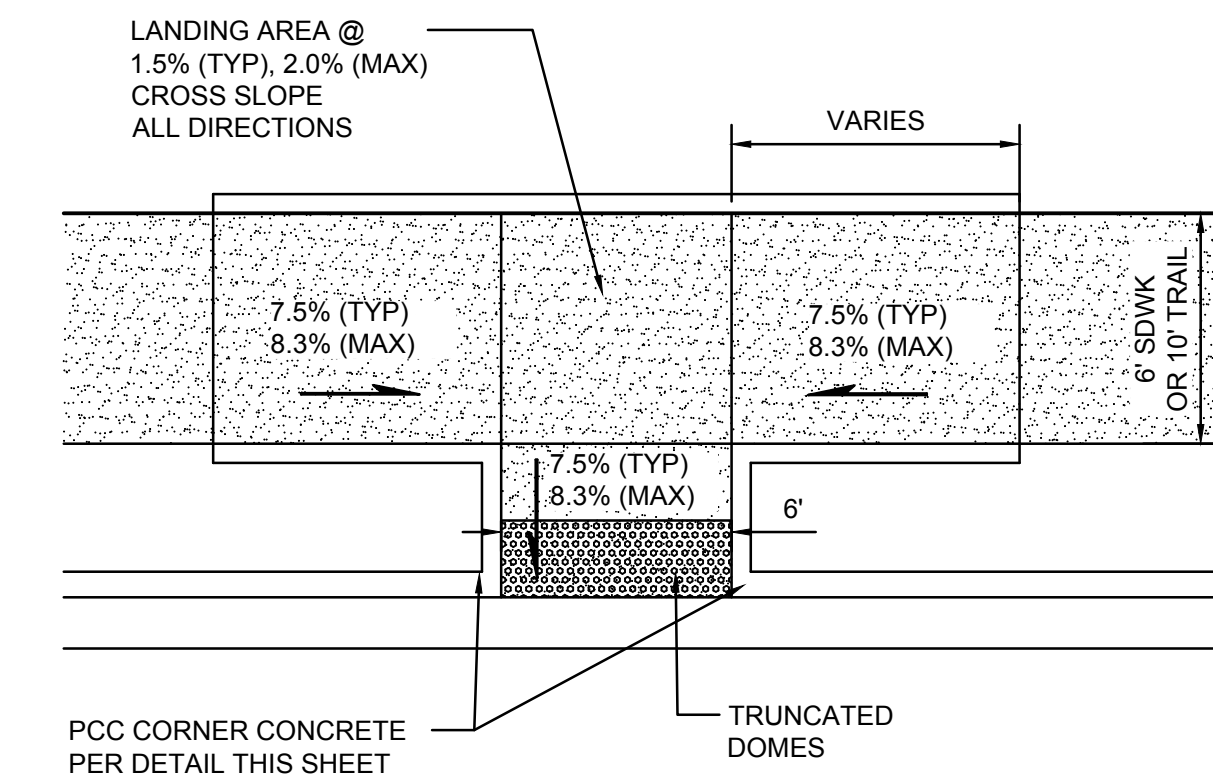
ACCESSIBILITY SYMBOL

SCALE: N.T.S.



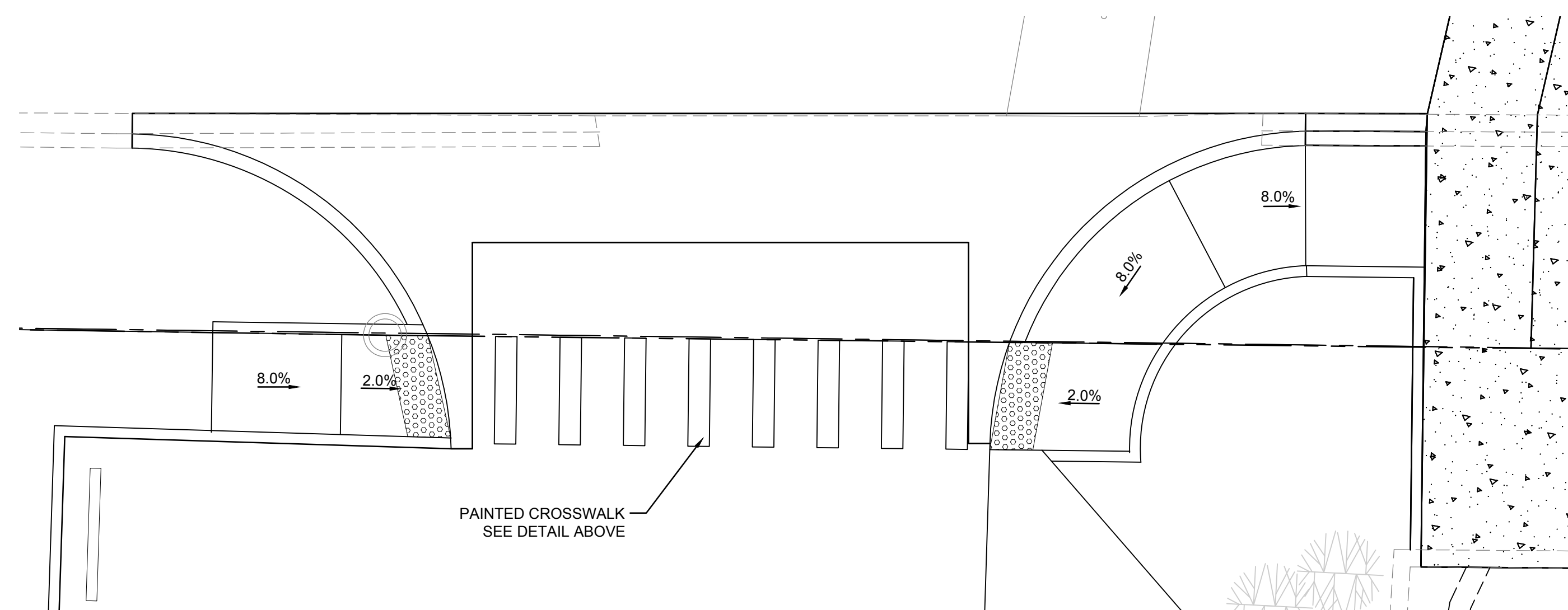
ADA PARKING DETAIL

SCALE: N.T.S.



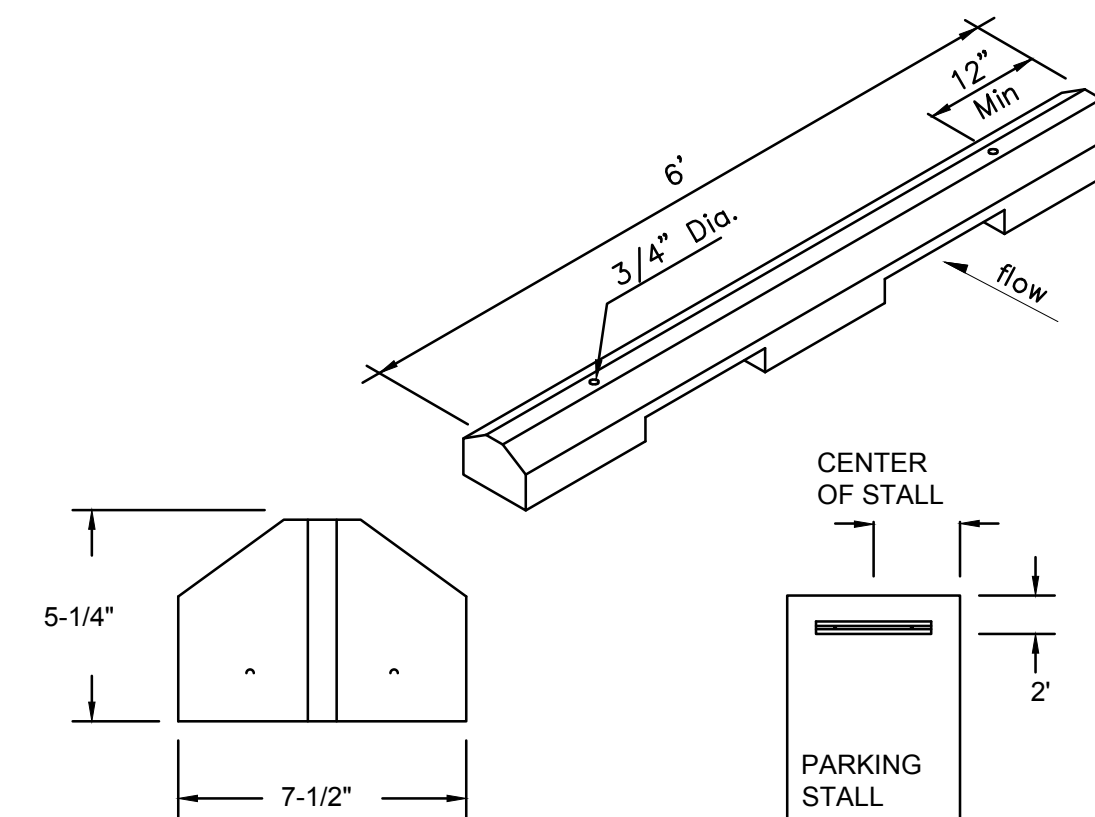
ACCESSIBLE RAMP

SCALE: 1"=5'



PAINTED CROSSWALK AND ACCESSIBLE RAMPS

SCALE: 1"=5'

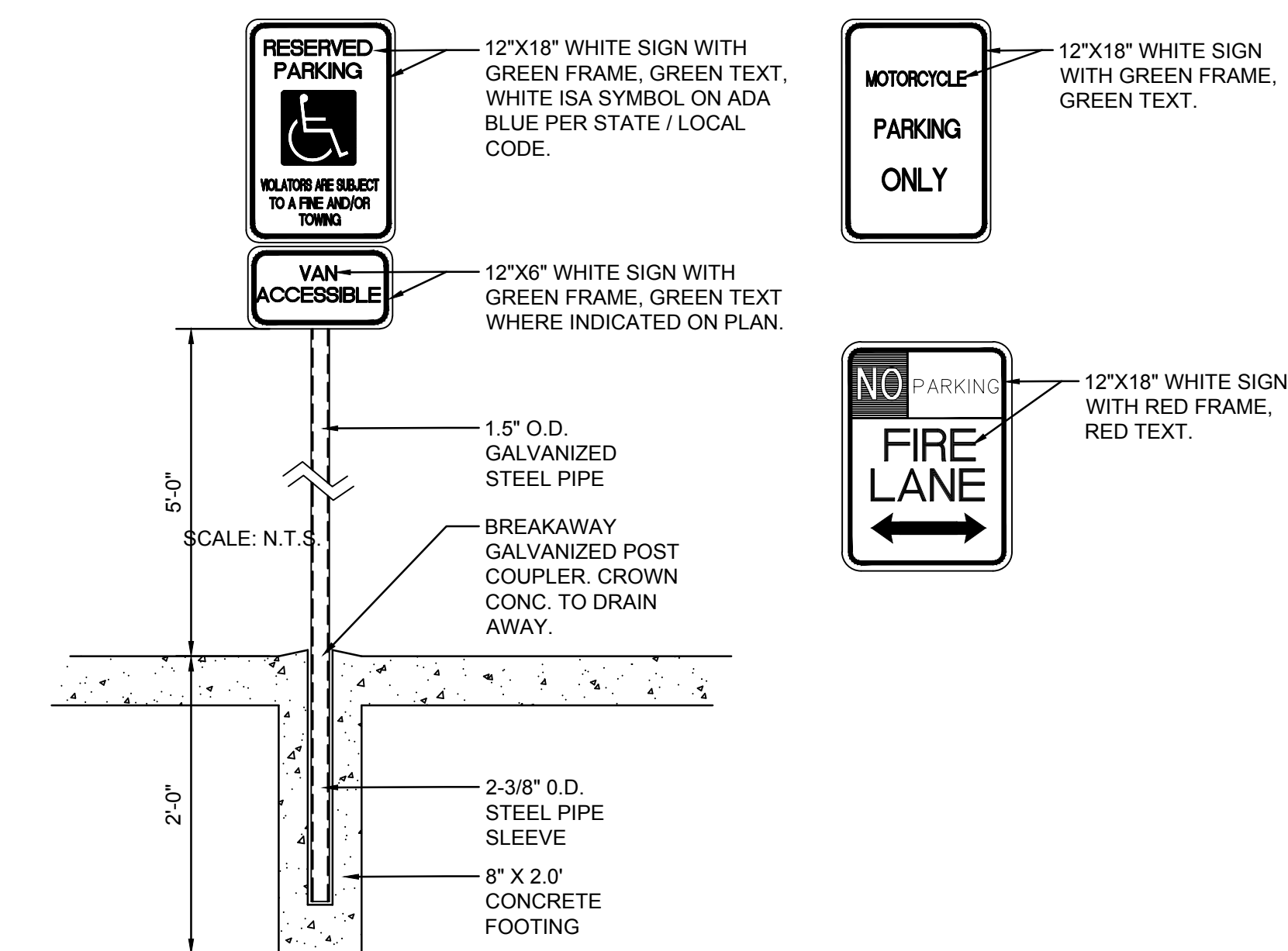


GENERAL NOTES

1. WHEEL STOPS TO BE PLACED 2' BACK, CENTERED IN THE PARKING STALL WHEEL STOPS CAN BE PAINTED IN A CONTRASTING COLOR SUCH AS GRAY, YELLOW OR BLACK.
2. BLUE SHALL BE USED FOR HANDICAP PARKING STALLS.
3. INSTALL EACH WITH TWO DOWELS PER MANUFACTURERS SPECIFICATIONS.

CONCRETE WHEEL STOP

SCALE: N.T.S.

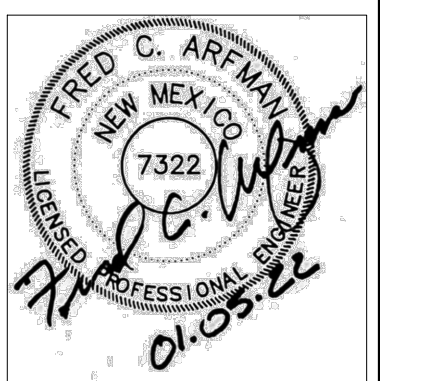


SIGNAGE

SCALE: N.T.S.



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Engineer

Alameda West Shopping Center
Commercial Addition
Albuquerque, New Mexico

ISSUE: FINAL	PROJECT NUMBER: IA 2432
FILE:	DRAWN BY: FCA
CHECKED BY:	DATE: OCTOBER, 2021

No	Date	Description

SHEET TITLE	PAVING DETAILS
SHEET NUMBER	CP-501