



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input checked="" type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2A)	<input type="checkbox"/> Extension of IIA: Temp. Def. of SNW (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Form S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Form S2)	<input type="checkbox"/> Temporary Deferral of SNW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST
 Site Plan Amendment for a previously approved with conditions by EPC at 10127 Coors Blvd NW (SI-2021-00985) to allow for commercial development on a parcel previously used as a drainage pond that has been partially reclaimed.

APPLICATION INFORMATION		
Applicant: Alamo Center LLC		Phone: 505-764-9801
Address: 13405 Pino Ridge Place		Email: cp@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87111
Professional/Agent (if any): Consensus Planning		Phone: 505-764-9801
Address: 302 8th Street NW		Email: cp@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Tract C Alameda West	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): B-14-Z	Existing Zoning: MX-M	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres): 0.8642

LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 10127 Coors Blvd NW	Between: 7 Bar Loop Rd NW	and: Old Airport Rd NW

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)
 Z-97-18/AX-97-3; DRB-98-60; PR-2018-001541; SI-2021-00985

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: February 8, 2022
Printed Name: James Strozier, FAICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:				Fee Total:	
Staff Signature:	Date:			Project #	

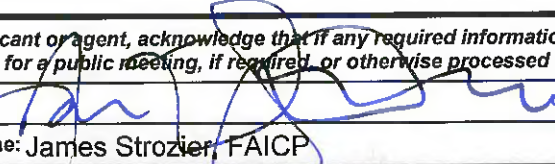

FORM P2A: FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS - EPC

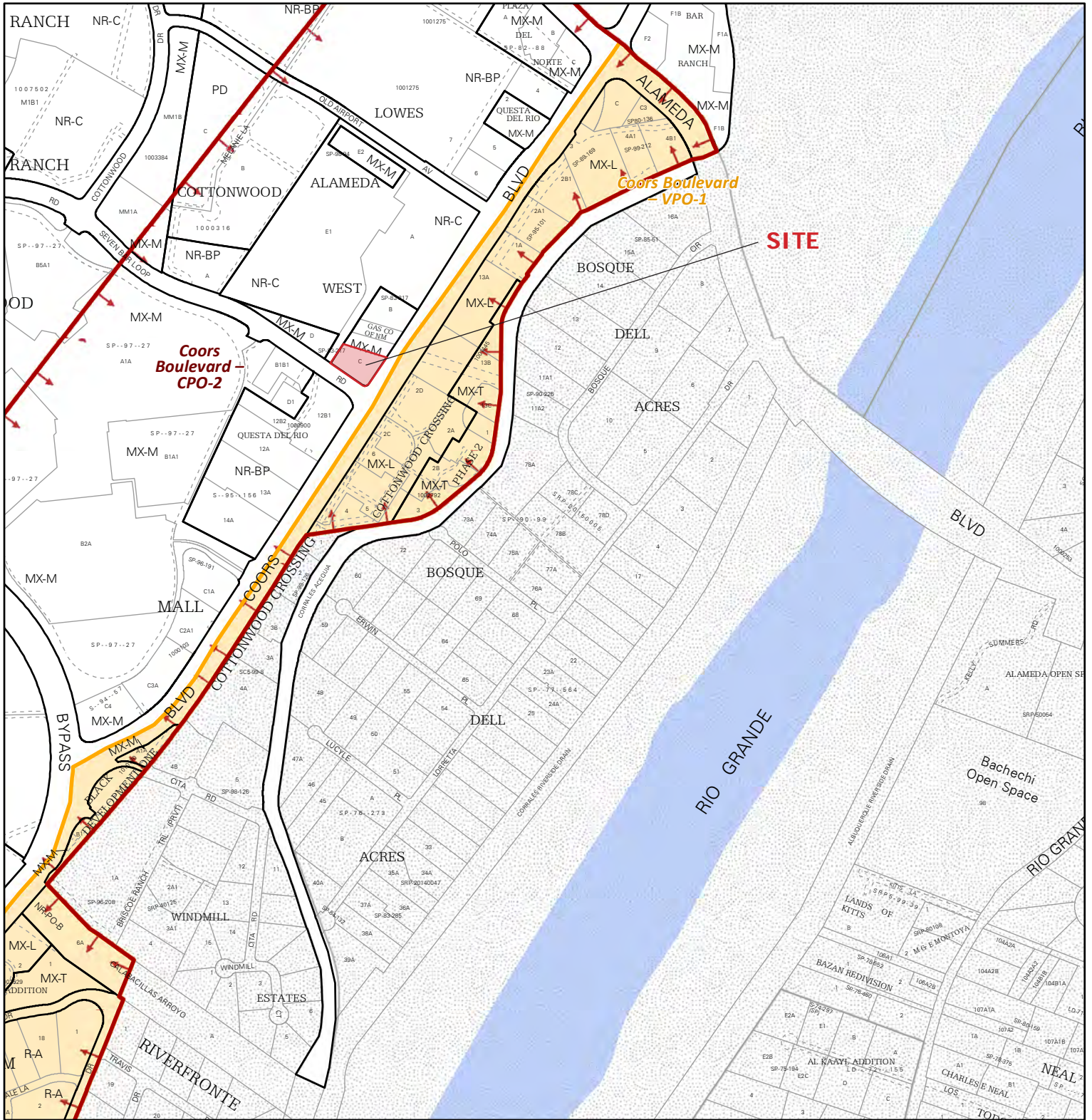
Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

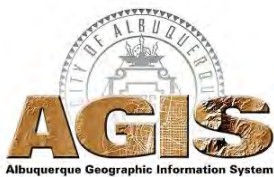
- Interpreter Needed for Hearing? **NO** if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Solid Waste Department signature on Site Plan - *In Process*
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information - *In Process for Signature*
- Approved Grading and Drainage Plan
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Site Plan and related drawings
- N/A Infrastructure List, if required

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i>	
Signature: 	Date: February 8, 2022
Printed Name: James Strozier, FAICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers: _____	Project Number: _____
Staff Signature: _____	
Date: _____	

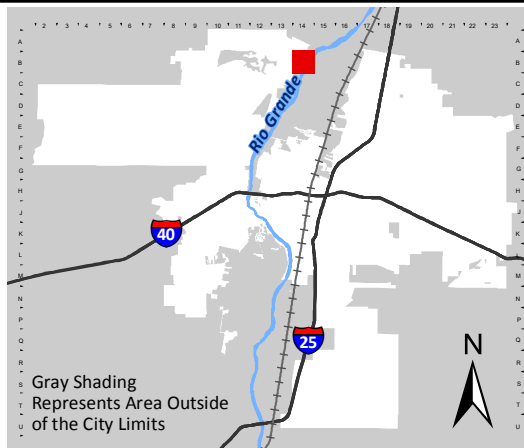


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Zone Atlas Page:

B-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

ALAMO CENTER LLC
6116 BUFFALO GRASS CT NE
ALBUQUERQUE, NM 87111

May 19, 2021

City of Albuquerque
Planning Department
600 2nd St NW
Albuquerque, NM 87102

Re: Letter of Authorization for Major Amendment Application – Alameda West Shopping Center

To Whom It May Concern:

Alamo Center, a New Mexico Limited Liability Company, hereby authorizes Consensus Planning, and its employees, to obtain information, submit and process applications, represent the project at meetings and public hearings, and act as our agent related to the property located at 10127 Coors Blvd NW (the subject of this application). The subject property is legally described as Tract C Alameda West containing 0.8642 acres. Alamo Center LLC is also the owner of other associated properties at the Alameda West Shopping Center located at 10131 Coors Blvd NW legally described as Tracts B, D, and Tract E-1-A Plat of Tract E-1-A and E-1-B Alameda West subdivision.

Please contact me if you have any questions or need any additional information.

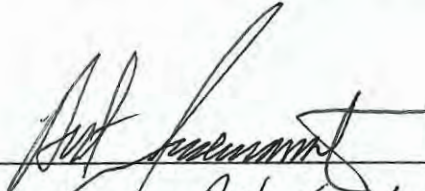
Sincerely,

Alamo Holdings, LLC

By:

Printed Name:

Title:



ART GARDENSWARTZ

MANAGER, PRINCIPLE

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Coors and 7 Bar Commercial Development (SI-2021-00985)


AGIS MAP # B-14-Z

LEGAL DESCRIPTIONS: Tract C

Alameda West

DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 12/14/2021 (date).



Applicant/Agent

Consensus Planning 02/07/2022
Date


Hydrology Division Representative

Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on 7/19/2021 (date).



Applicant/Agent

Consensus Planning 02/07/2022
Date



ABCWUA Representative

2/8/2022
Date

Serviceability Letter #210739 Signed 8/24/2021

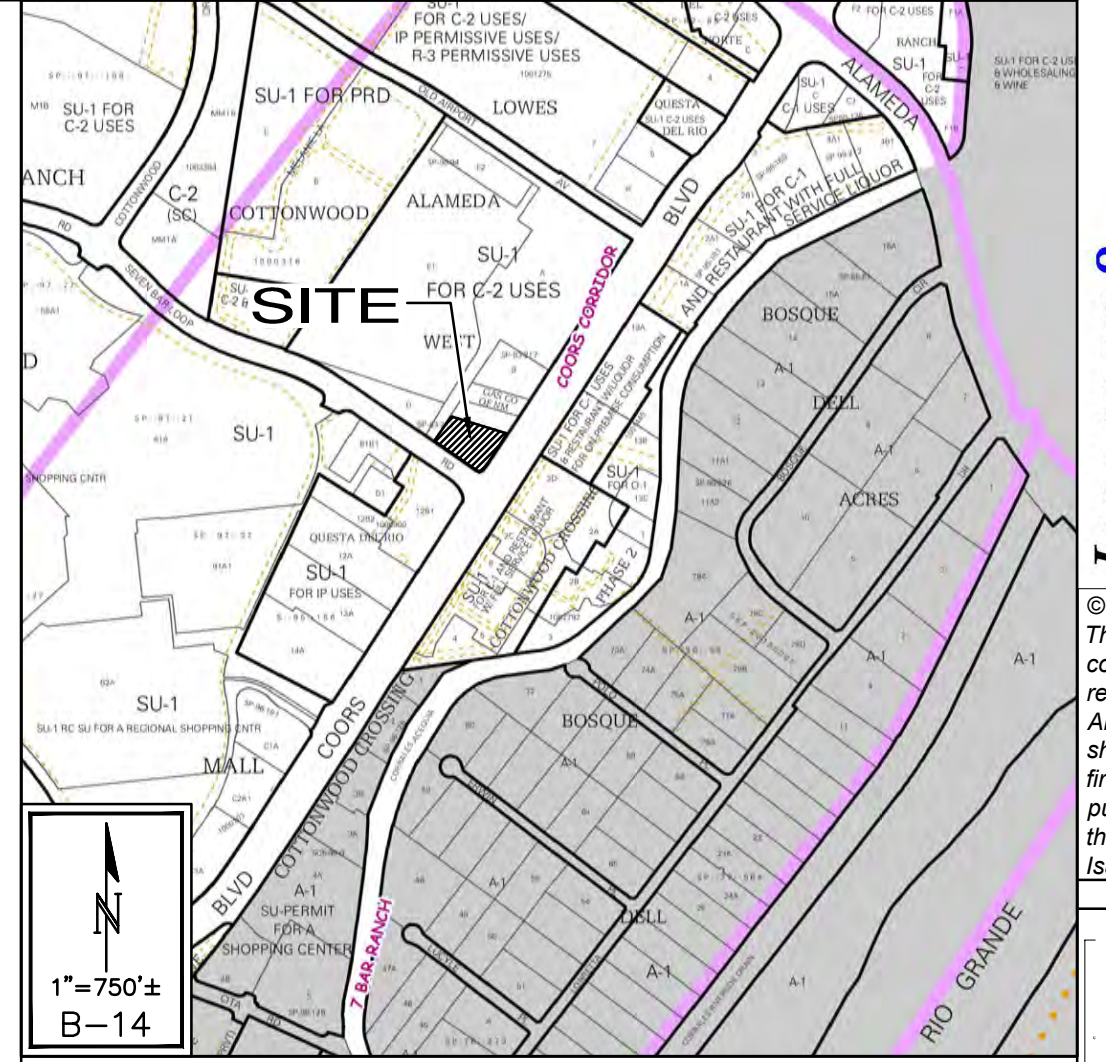
PROJECT # _____

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 01/27/22
 BY: *Randy C. Brissett*
 HydroTeam # B14D001B

KEYED NOTES

- SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION WITHIN NMDOT R/W INCLUDING NEW ADA COMPLIANT RAMP, PUBLIC SIDEWALK, ETC. NO WORK SHALL BE PERFORMED IN THE NMDOT / PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT. SEE PAVING PLAN FOR EXTENT OF NEW PAVEMENT.
- TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA.
- ADA COMPLIANT PARKING AREA. MAX. SLOPE = 2% IN ANY DIRECTION.
- ADA COMPLIANT ACCESS RAMP.
- ADA COMPLIANT PEDESTRIAN ACCESS WALK.
- HIGH POINT / GRADE BREAK LOCATION.
- 0.2' DESIGN CONTOURS SHOWN DASHED TO CLARIFY PAVING GRADES.
- CONCENTRATED ROOF DISCHARGE TO BE PIPED DIRECTLY TO STORM DRAIN USING STANDARD FITTINGS OR ADS INSERTA TEE CONNECTION.
- CONCENTRATED ROOF DISCHARGE TO BE PIPE THROUGH FACE OF CURB.
- EXISTING 4.0' WIDE (BOTTOM WIDTH) WALL OPENING.
- NEW 4.0' WIDE WALL (BOTTOM WIDTH) WALL OPENING.
- NEW 4.0' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE RUNDOWN.
- PROVIDE 12" WIDE OPENING IN CURB TO PASS FLOW.
- CONCRETE DUMPSTER PAD SLOPED TO SAS DRAIN INLET. SEE UTILITY PLAN.
- CONTRACTOR TO CLEAN / CLEAR EXISTING STORM DRAIN CULVERTS.
- CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG-501 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
- OUTLET PRIVATE STORM DRAIN INTO EXISTING POND. INVERT = 5028.0 TYP. (2 LOCATIONS).
- INSTALL 6' X 4' X 18" DEEP ANGULAR ROCK EROSION PROTECTION AT WALL OPENING.
- CONSTRUCT GARDEN RETAINING WALL(S) (RETAINING < 30') TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL.
- EXISTING STORMWATER QUALITY RETENTION / DETENTION POND
- NOT USED
- PROTECT EXISTING TREE.
- SEE CONCRETE RUNDOWN TO EXISTING POND DETAILS THIS SHEET. SEE PAVING PLAN FOR ADDITIONAL INFORMATION.
- ANGULAR ROCK EROSION PROTECTION BETWEEN WALK AND BACK OF CURB (SLOPES > 4:1).

VICINITY MAP B-14



PROJECT INFORMATION

PROPERTY: THE SITE IS A GRADED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP B-14. THE SITE IS BOUND TO THE EAST BY COORS ROAD, TO THE SOUTH BY SEVEN BAR LOOP ROAD, AND TO THE NORTH AND WEST BY DEVELOPED COMMERCIAL PROPERTIES.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A 5,600± SF COMMERCIAL BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TR C ALAMEDA WEST

ADDRESS: 10127 COORS BLVD NW, 87114

LOT SIZE: 0.8642 AC

BENCHMARK: DESCRIPTION, ELEVATION = XXX FEET (NAVD 1988)

OFF-SITE FLOW: OFF-SITE FLOW IS ROUTED THROUGH AN EXISTING WALLED POND ON THE NORTH SIDE OF THE PROPERTY. NO OFF-SITE DRAINAGE AFFECTS THE AREA TO BE DEVELOPED.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0109H, EFF. 8/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

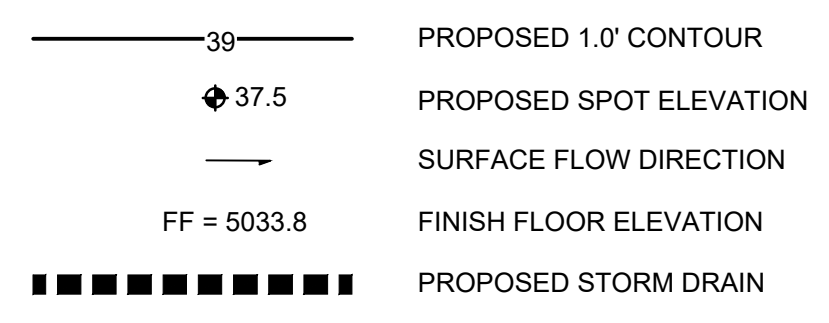
DRAINAGE PLAN CONCEPT: WITH THE EXCEPTION OF MINOR PERIMETER AREA, ON-SITE RUNOFF WILL FREE DISCHARGE TO THE EXISTING POND LOCATED ON THE NORTH SIDE OF THE PROPERTY.

STORMWATER QUALITY RETENTION: PER THE APPROVED GRADING PLAN PREPARED BY ANCHOR ENGINEERING, LLC DATED 4/4/17 (COA HYDROLOGY FILE B14D001), STORMWATER QUALITY RETENTION VOLUME IS PROVIDED WITHIN THE EXISTING POND.

ADA COMPLIANCE

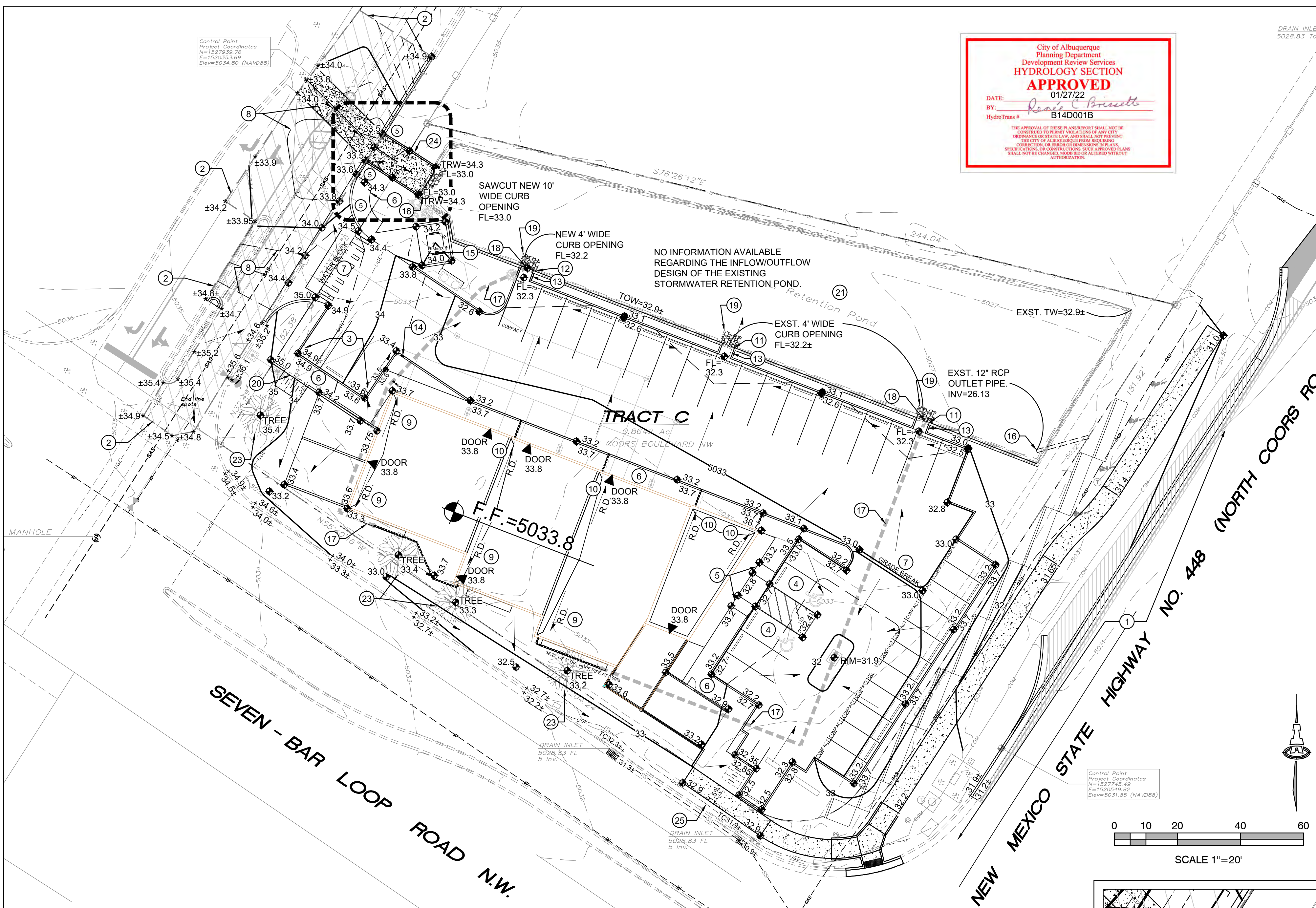
- SIDEWALK(S) AND RAMP(S):
- * LONGITUDINAL SLOPE SHALL NOT EXCEED 20:1
 - * TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
- ACCESSIBLE RAMP(S):
- * TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)
 - * TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
- ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

LEGEND



CONSTRUCTION NOTES:

- EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
- SILICON SEAL AT ALL JOINTS AT 6' O.C.
- 1/2" EXPANSION JOINTS 24' O.C. AND WHERE ABUTTING EXISTING CONCRETE.
- 3/4" CONSTRUCTION JOINTS 8' O.C. (EAST/WEST ONLY), CONTINUED THROUGH CURBS.
- PCC CONCRETE TO BE 4000# MIX OVER 12" COMPACTED SUBGRADE (95%)



CURVE TABLE

RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
25.00'	25.62'	35.79'	N78°39'52"E	91°24'06"

CALCULATIONS

CALCULATIONS: Alameda West Shopping Center - Addition : 12/13/2021
 Based on City of Albuquerque DMP, Article 6-2 Hydrology dated June 26, 2020

100-YEAR, 6-HOUR CALCULATIONS

AREA OF SITE: 37660 SF = 0.86 ACRE

HISTORIC FLOWS:		DEVELOPED FLOWS:		EXCESS PRECIP:	
Treatment SF	%	Treatment SF	%	Area	Precip. Zone
Area A = 0	0%	Area A = 0	0%	E _A = 0.55	
Area B = 37660	100%	Area B = 15542	41%	E _B = 0.73	
Area C = 0	0%	Area C = 0	0%	E _C = 0.95	
Area D = 0	0%	Area D = 22118	59%	E _D = 2.24	
Total Area = 37660	100%	Total Area = 37660	100%		

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
 Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$

Historic E = 0.73 in | Developed E = 1.62 in

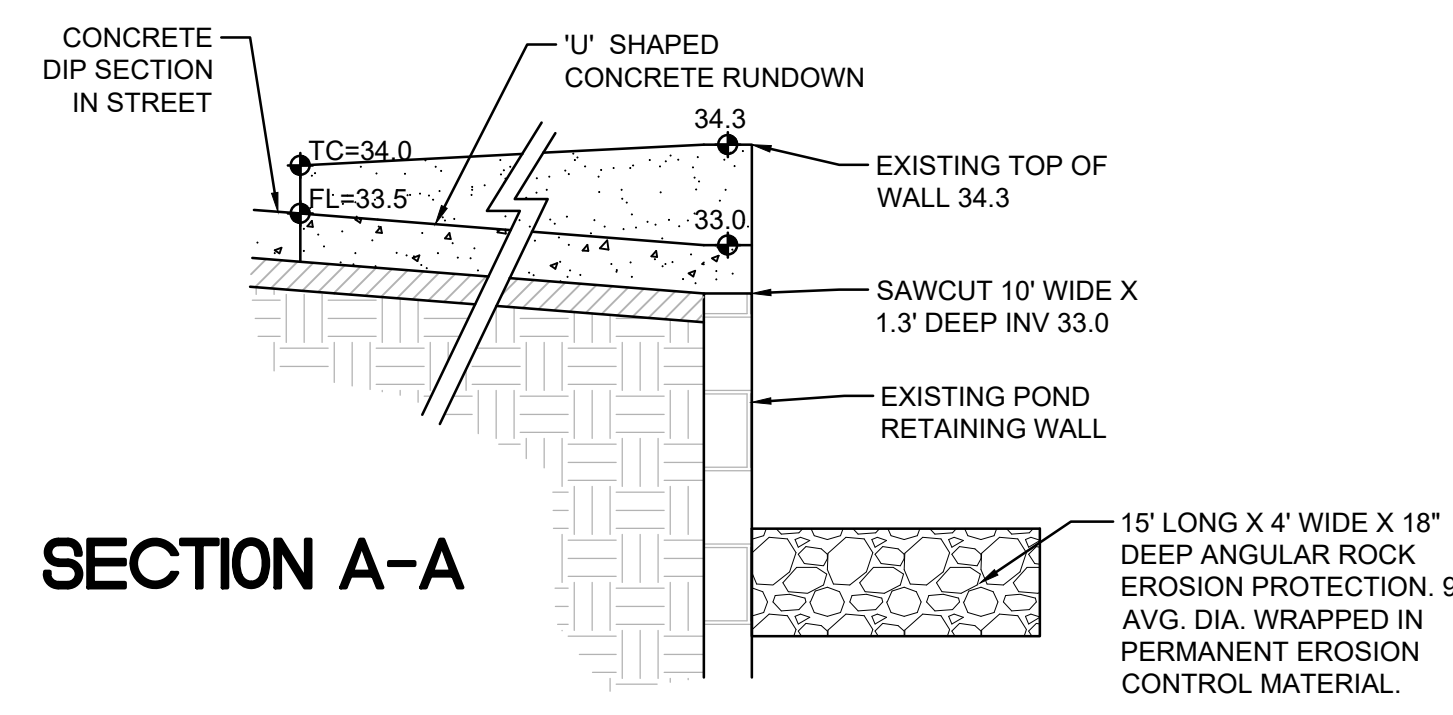
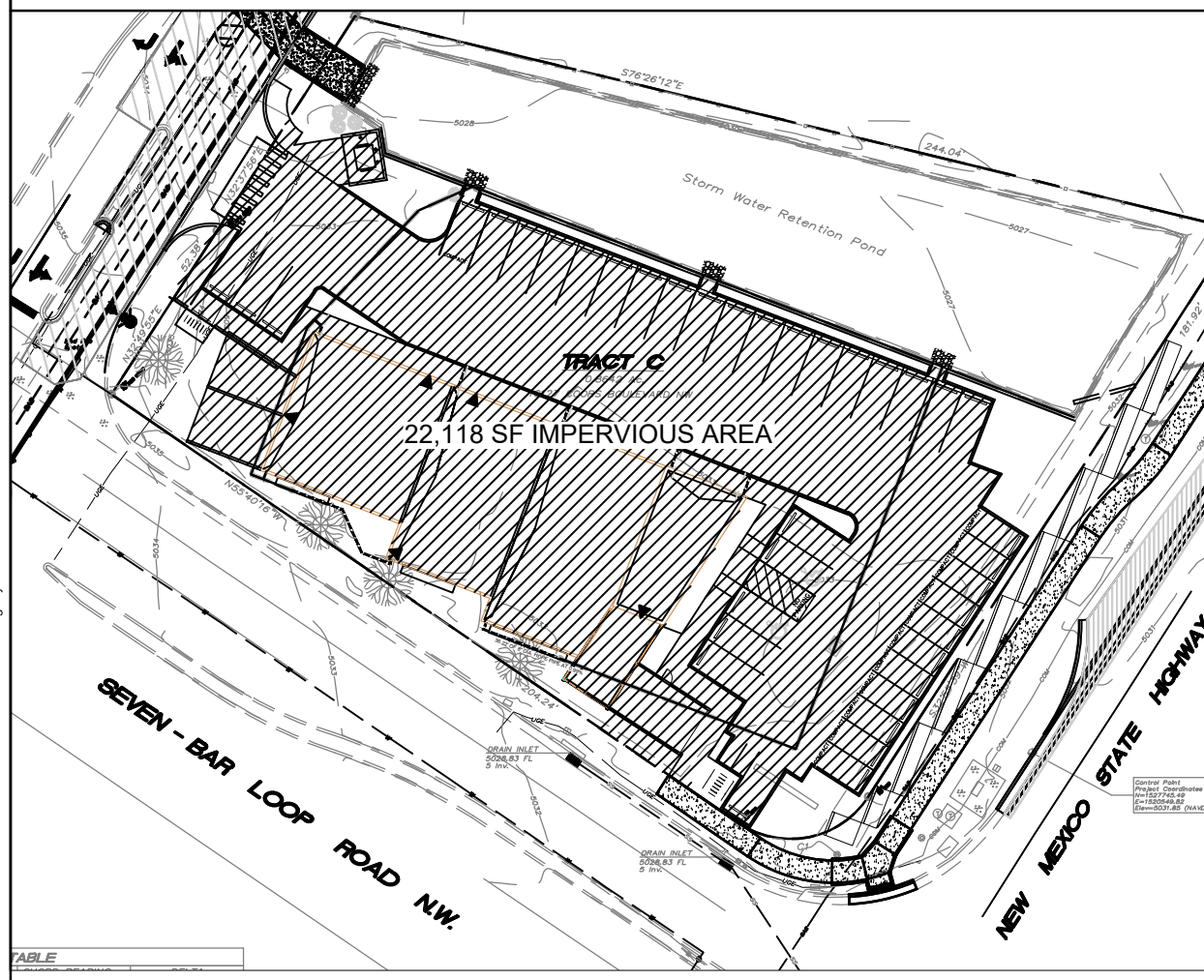
On-Site Volume of Runoff: V₃₆₀ = E^{*}A / 12
 Historic V₃₆₀ = 2291 CF | Developed V₃₆₀ = 5074 CF

On-Site Peak Discharge Rate: Q_p = Q_{10A}A₁₀ + Q_{10B}A₁₀ + Q_{10C}A₁₀ + Q_{10D}A₁₀ / 43.560

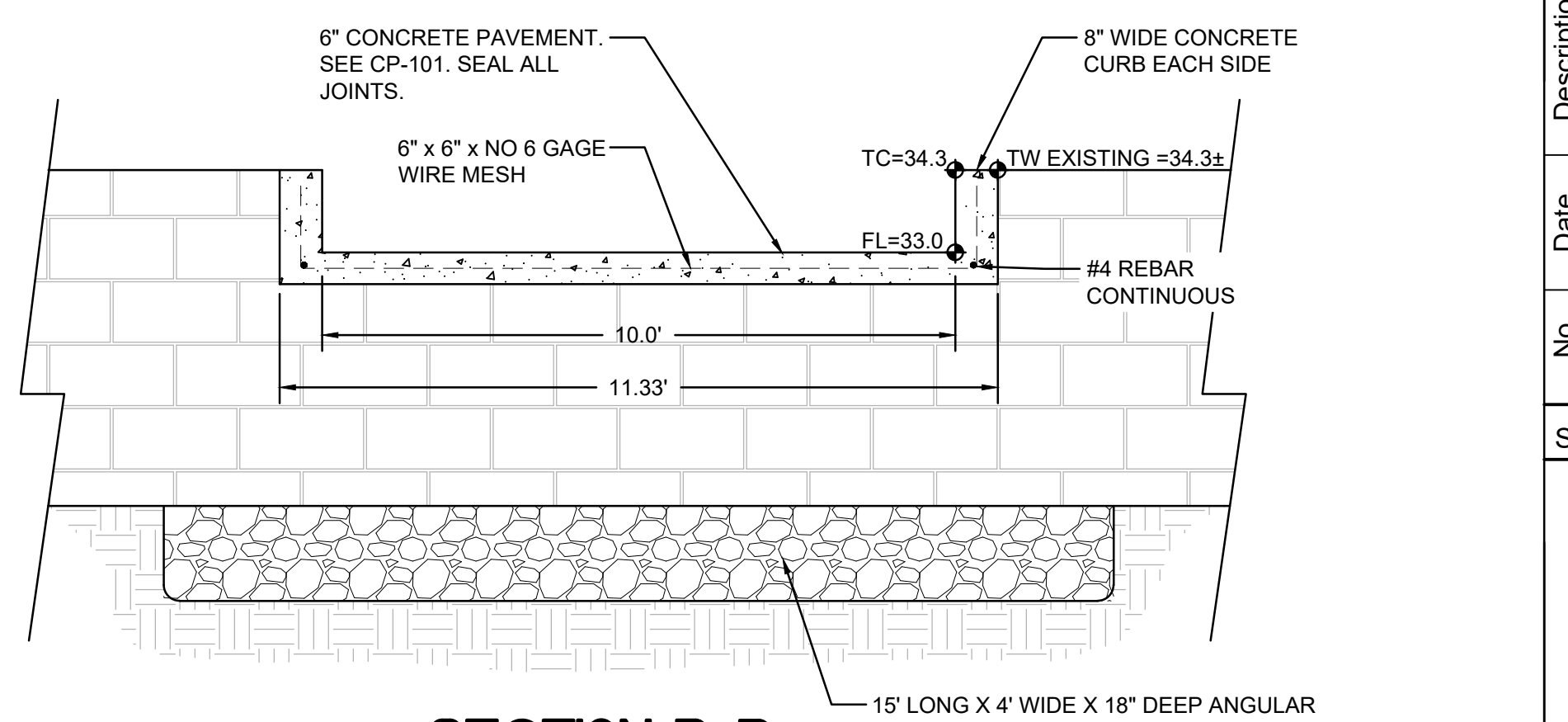
For Precipitation Zone 1

Q _{10A} = 1.54	Q _{10C} = 2.87
Q _{10B} = 2.16	Q _{10D} = 4.12
Historic Q _p = 1.9 CFS	Developed Q _p = 2.9 CFS

IMPERVIOUS AREA



SECTION A-A
CONCRETE RUNDOWN TO EXISTING POND



SECTION B-B
GRADING & DRAINAGE PLAN

Isaacson & Arman, Inc.
 Civil Engineering Consultants

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Engineer

Alameda West Shopping Center
 Commercial Addition
 Albuquerque, New Mexico

ISSUE: CONCEPTUAL
PROJECT NUMBER: IA 2432
FILE:
DRAWN BY: FCA
CHECKED BY:
DATE: JUNE 28, 2021

No	Date	Description

GRADING & DRAINAGE PLAN

SHEET NUMBER

CG-101

SCALE: N.T.S.

August 20, 2021

Chair

Steven Michael Quezada
County of Bernalillo
Commissioner, District 2

Vice Chair

Klarissa J. Peña
City of Albuquerque
Councilor, District 3

Walt Benson
County of Bernalillo
Commissioner, District 4

Pat Davis
City of Albuquerque
Councilor, District 6

Trudy E. Jones
City of Albuquerque
Councilor, District 8

Timothy M. Keller
City of Albuquerque
Mayor

Charlene Pyskoty
County of Bernalillo
Commissioner, District 5

Ex-Officio Member
Pablo R. Rael
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Fred Arfman
Isaacson & Arfman
128 Monroe St NE
Albuquerque, NM 87108

RE: Water and Sanitary Sewer Serviceability Letter #210739
Project Name: Alameda West Commercial
Project Address: 10127 Coors Blvd NW
Legal Description: Tract C, Alameda West Subdivision
UPC: 101406516235720225
Zone Atlas Map: B-14

Dear Mr. Arfman:

Project Description: The subject site is located on the northwest corner of Coors Boulevard and Seven Bar Loop Road within the City of Albuquerque. The proposed development consists of approximately 0.86 acres and the property is currently zoned MX-M for mixed use medium intensity. The property lies within the Pressure Zone 2WR in the Corrales trunk. The request for information indicates plans to construct a 5,600 square foot commercial building.

Development Agreement: Pursuant to the System Expansion Ordinance, this property is outside of the Water Authority service area and the Water Authority Board must approve a Development Agreement to serve this property and establish requirements as a condition of service. Contact Utility Development in regards to Development Agreements.

Water Resource Charge: All developments located outside of the Water Authority's Adopted Service Area will be assessed a Water Resource Charge (WRC) as provided in the Water Authority's Water and Sewer Rate Ordinance for the development of new water resources, rights and supplies necessary to serve the development. The WRC shall not be used for reimbursement of master planned facilities.

Existing Conditions: Water infrastructure in the area consists of the following:

- Six-inch PVC distribution main (project #NMUI-071-84) along unnamed entrance road northwest of the subject parcel. This is a stub approximately in 50 feet length.
- 12-inch PVC distribution main (project #NMUI-071-84) along Seven Bar Loop Road frontage
- 12-inch PVC distribution main (project #NMUI-071-84) along Coors Boulevard, running southwesterly from a 90degree elbow from the aforementioned main in Seven Bar Loop Road
- Eight-inch PVC distribution main (project #NMUI-080-97) along the eastern side of Coors Boulevard

Sanitary sewer infrastructure in the area consists of the following:

- 12-inch PVC collector line (project #NMUI-071-84) along unnamed entrance road northwest of the site, and continuing northeasterly past the project's frontage to serve remaining parcels on the west side of this segment of Coors Boulevard
- Eight-inch PVC collector line (project #NMUI-062-95) along unnamed access road southwest of the subject parcel, providing service to the parcel across the frontage of Seven Bar Loop Road.
- 24-inch asbestos concrete interceptor line (project #07-007-80) along the east side of Coors Boulevard

Water Service: New metered water service to the property can be provided contingent upon a developer funded project to extend and up-size the distribution main stub, listed in the "Existing Conditions" section above. The up-sizing should replace the entirety of the existing stub and be at least eight-inches in diameter. It shall extend along the unnamed access drive such that the western parcel line of the site is covered. Upon completion of the extension, the project may obtain water service via routine connection to the upsized public main in the unnamed entrance road.

Additionally, service is contingent upon the generation of easements that would facilitate the extension of the upsized eight-inch public main within Alameda West to the north, such that a future extension could serve the two currently unserved parcels directly north of the site. This easement is required for this project because the proposed frontage improvement is not within the public right-of-way, and the additional easement is necessary for the unserved parcels to utilize the upsized public main for development.

Existing metered service and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main and capping the line near the valve. For fire lines, the valve access shall be grouted and collar removed. Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service.

Sanitary Sewer Service: Sanitary sewer service can be provided via routine connection to the existing 12-inch PVC collector main within the entrance road northwest of the subject parcel, listed in the "Existing Conditions" section above. All food service establishments must install a grease trap upstream of the domestic private sewer connection prior to discharge into the public sanitary sewer lines.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1,500 gallons-per-minute. There is also a requirement of one total fire hydrant, which is proposed to be installed with this project. As modeled using InfoWater™ computer software, the fire flow cannot be met. Analysis was performed by simulating the required fire flow at proposed hydrant.

In order to provide the required fire flow, infrastructure improvements are required. These improvements consist of up-sizing the stub to at least an eight-inch.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority and installed at each domestic service connection at a location accessible to the Water Authority. All new fire line services to fire protection systems shall be equipped with a reduced pressure principle backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction at each service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the fire protection system contains ANSI/NSF Standard 60 or 61 water piping throughout the entire fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections, connections from auxiliary water supplies, antifreeze nor other additives. The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at 289-3454 for more information.

Easements: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service.

Pro Rata: As described in this statement, the extension of public water and sanitary sewer lines may be eligible for partial reimbursement through the Pro Rata process as detailed in the Water Authority Water and Wastewater System Expansion Ordinance. Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the City of Albuquerque via the Work Order process. Designs must be performed by a licensed, New Mexico registered, professional. Construction must be performed by a licensed and bonded public utility contractor.

Costs and Fees: In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority,

particularly the Water Waste Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This serviceability letter does not provide a commitment from the Water Authority to provide services to the development. It only provides details of infrastructure that is available and potential precursors for the proposed development. For service to be provided, a Board approved development agreement must be supplemented by this serviceability letter. The serviceability letter will remain in effect for a period of one (1) year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,



Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps (2)
f/ Serviceability Letter 210739



210739 - Water



Legend


-  Project Location
-  Valve
-  Hydrant

Pipe SUBTYPE

-  Distribution Line
-  Hydrant Leg



General Map Keyed Notes

- 1 -- Proposed Waterline Extension 
- 2 -- Existing Waterline Stub To Be Up-Sized 
- -- Fire Flow Analysis Points
- 1 -- Analysis Point
- 2 -- Analysis Point



210739 - Sanitary Sewer



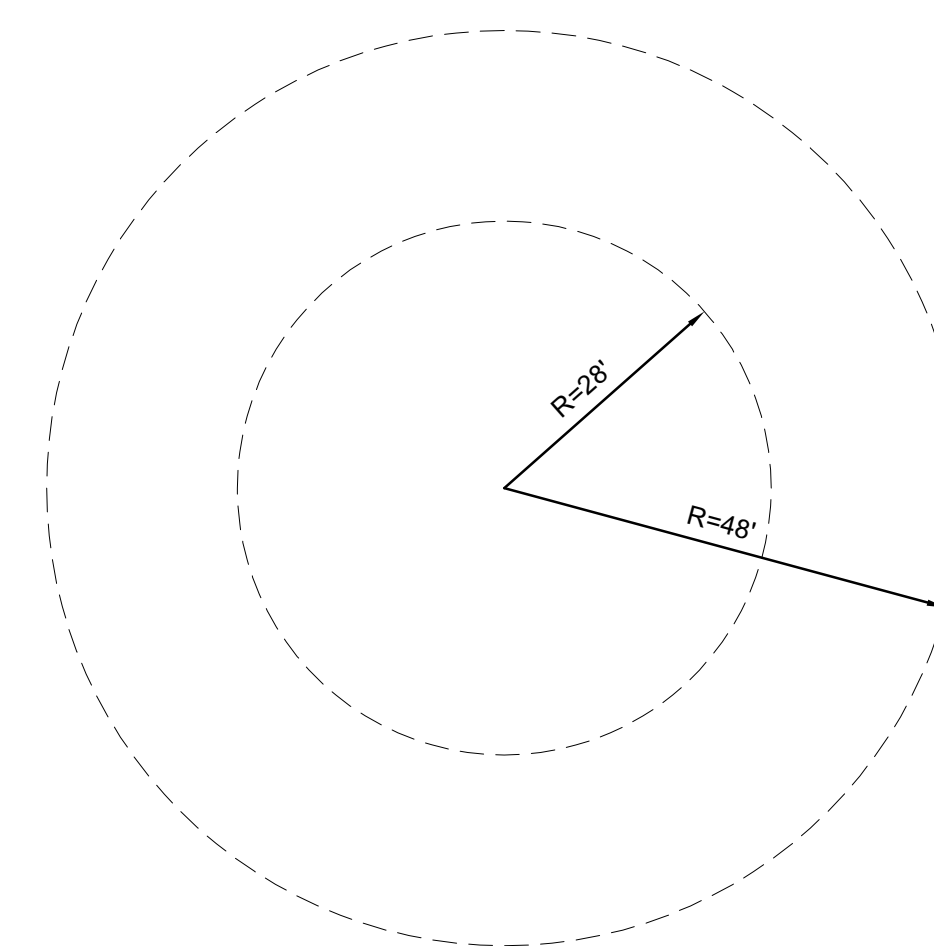
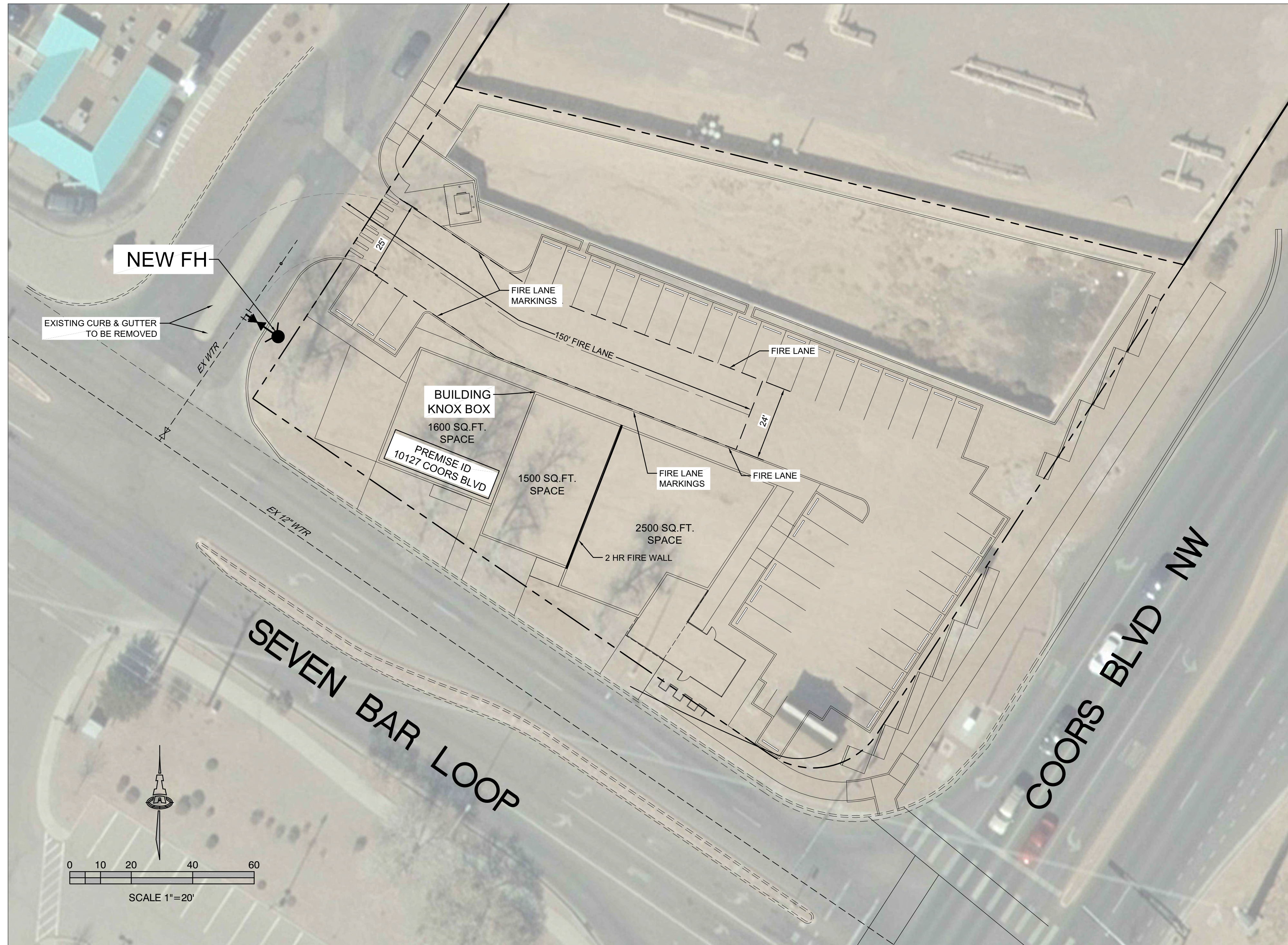
Legend

- Project Location
- Sewer Manhole

**Sewer Pipe
SUBTYPE**

- COLLECTOR
- INTERCEPTOR



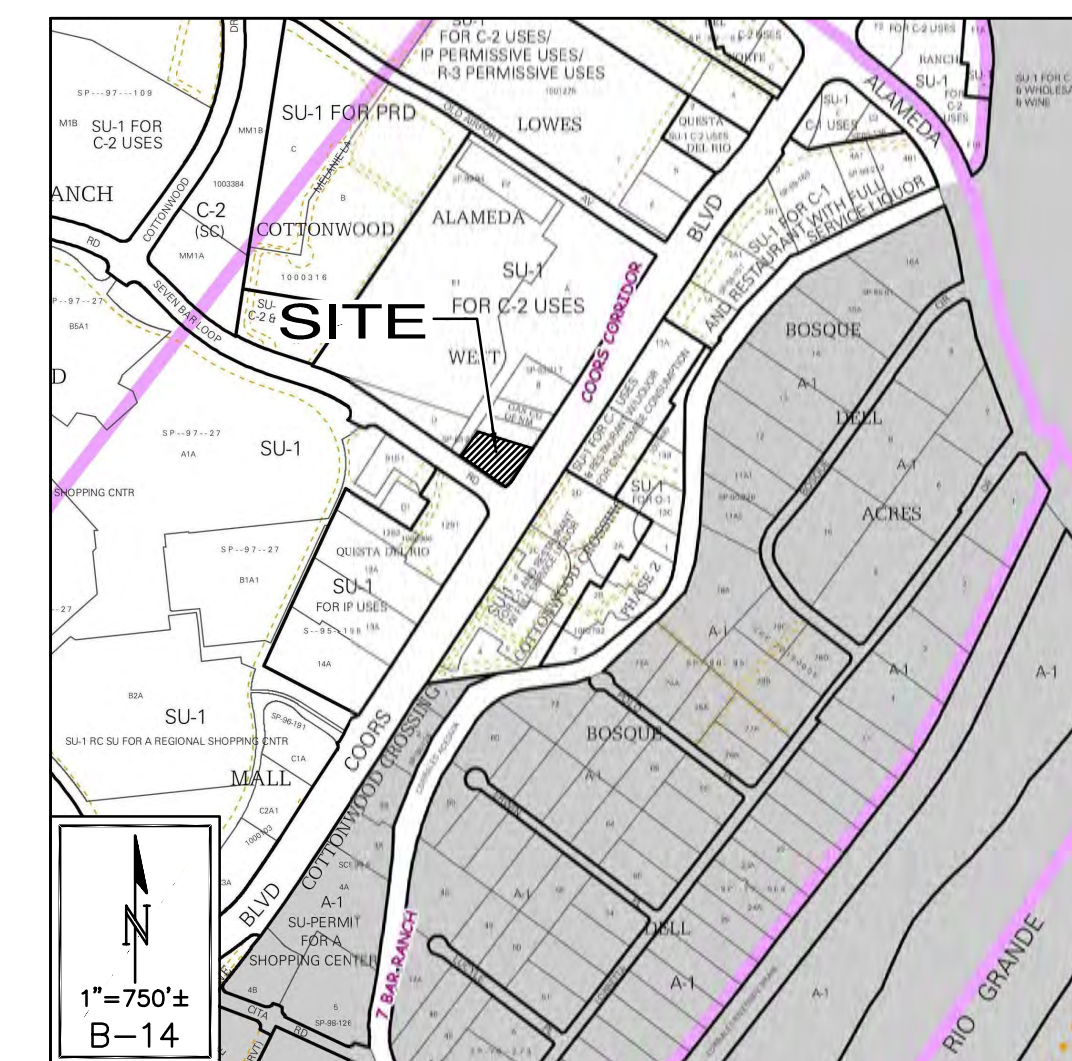



**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**

PERMIT
PERMIT NUMBER: FP 21-006668
APPROVED DATE: 09/29/21

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1500GPM 1HYDRANT 5600QFT IIB



10127 COORS BLVD, NW
ALBUQUERQUE, NM 87114

5,600 SQ. FT TOTAL BUILDING
TYPE IIB CONSTRUCTION
NON-SPRINKLED
20'-0" BUILDING HEIGHT
OCCUPANCY GROUP-I-4

FIRE FLOWS = 1000 GPM
(SEE BELOW)
REQUIRED FIRE HYDRANTS = 1

1 NEW FIRE HYDRANT ON SITE

ALL ACCESS ROADS AND FIRE LANES
HAVE GRADES LESS THAN 10% AND A
LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE LANES
WILL ACCOMMODATE A 28' MINIMUM
TRUCK TURNING RADIUS

FIRE FLOWS

FROM 2015 IFC TABLE B105.1(2): FIRE FLOW CALCULATIONS AREA, SF
TYPE IIB & IIB; 0-5900 SF = 1,500 GPM
BUILDING SIZES WITH 2 HR FIRE WALL:
3,000 SF
3,100 SF

FIRE FLOW EQUIVALENT:
3,100 / 5,900 = 53%
53% x 1,500 GPM = 795 GPM
PER FOOTNOTE a: THE REDUCED FIRE FLOW
SHALL NOT BE LESS THAN 1,000 GPM

Isaacson & Artman, Inc.
Civil Engineering Consultants

128 Monroe Street NE
Albuquerque, NM 87108
505-268-8628 | www.isacivil.com



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Engineer

Alameda West Shopping Center
Commercial Addition
Albuquerque, New Mexico

ISSUE: CONCEPTUAL
PROJECT NUMBER: IA 2432
FILE:
DRAWN BY: FCA
CHECKED BY: FCA
DATE: JUNE 28, 2021

No	Date	Description

SHEET TITLE

**FIRE HYDRANT
LOCATION
AND ACCESS
PLAN**

SHEET NUMBER

FIRE 1
FP 21-006668

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

August 19, 2021

Alamo Center LLC
13405 Pino Ridge Place
Albuquerque NM, 87111

Project #2021-005687, SI-2021– 00985
Amendment to Site Plan

LEGAL DESCRIPTION:

Consensus Planning Inc., agent for Alamo Center LLC, requests the above action for all or a portion of Tracts B, C, D Alameda West Addition; Tract E-1-A and Tract E-1-B plat of tract E-1-A & E-1-B A Alameda West; Tract E-2, Tracts E-1 and E-2 Alameda West; a tract of land within the Town of Alameda Grant and a portion of Tract 5 Questa del Rio Subdivision MRGCD Map #25, zoned MX-M and NR-C, located at 10,127 Coors Blvd. NW, between 7 Bar Loop Rd. NW and Old Airport Rd. NW, approximately 17.5 acres (B-14-Z).
Staff Planner: Leroy Duarte

On August 19, 2021, the Environmental Planning Commission (EPC) voted to APPROVE Project #2021-005687, SI-2021– 00985, Amendment to Site Plan, based on the following Findings and subject to the following Conditions of Approval:

FINDINGS:

1. The request is for a Major Amendment of a Prior Approved Site Development Plan for a property legally described as Tracts B, C, D Alameda West Addition; Tract E-1-A and Tract E-1-B plat of tract E-1-A & E-1-B A Alameda West; Tract E-2, Tracts E-1 and E-2 Alameda West; a tract of land within the Town of Alameda Grant and a portion of Tract 5 Questa del Rio Subdivision MRGCD Map #25, zoned MX-M and NR-C, located at 10,127 Coors Blvd. NW, located between 7 Bar Loop Rd. NW and Old Airport Rd. NW, approx. 17.5 acres (the subject site)
2. The applicant proposes to amend the prior approved site plan in order to redevelop the southeastern portion of the site (approx. 1 acre) with two restaurants, a taproom, and outdoor patio.
3. The subject site is zoned MX-M (Mixed Use – Medium Intensity). The purpose of the MX-M zone district is to provide for a wide array of moderate-intensity retail, commercial, institutional and moderate-density residential uses, with taller, multi-story buildings encouraged in Centers and Corridors. Allowable uses are shown in IDO Table 4-2-1. Taproom and restaurants are permissive in the MX-M zone district.

4. The EPC is hearing this case pursuant to IDO section 14-16-6-4(Z) Amendments of Pre-IDO Approvals. Major amendments shall be reviewed by the decision-making body that issued the permit or approval being amended, following the procedures for the most closely equivalent decision in Part 14-16-6 (Administration and Enforcement). The amendment exceeds the thresholds found in IDO table 6-4-4: Allowable Minor Amendments, therefore it is classified as a Major Amendment pursuant to IDO section 14-16-6-4(Z)(1)(b).
5. The subject site is located in an Area of Change and at the intersection of two Major Transit Corridor at Seven Bar Loop NW and Coors Blvd NW.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 5: Land Use:

A. Goal 5.1 – Centers and Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors

The request would facilitate growth as a community of strong Centers connected by a multi-modal network of corridors because the subject site sits along two designated Corridors.

B. Policy 5.1.5 – Employment Centers: Create centers that prioritize employment opportunities and foster synergy among business.

The request would facilitate the development of two restaurants and a taproom which would activate the corridor with more people using transit and walking to nearby commercial services, encourage development, and make the nearby transit service accessible.

8. The request furthers the following, additional polices regarding Centers and Corridors from Comprehensive Plan Chapter 5: Land Use.

A. Goal 5.2 Complete Communities: Foster communities where residents can live, work, learn, shop and play together.

The request would facilitate development of the subject site with restaurants and a taproom, which would provide additional opportunities for the residents to the west of the site to live, work, and shop in the area.

9. The request furthers the following, additional polices regarding Centers and Corridors from Comprehensive Plan Chapter 5: Land Use.

A. Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The subject site is already served by existing infrastructure and public facilities, so the redevelopment made possible by the request would generally promote efficient development patterns and use of land.

- B. Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is an infill site located in an area already served by existing infrastructure and public facilities. The request would support additional growth along two established Corridors.

- C. Goal 5.6 City Development areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Change, where growth is expected and desired the request would encourage, enable, and direct growth to it.

- 10. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 7: Urban Design.

- A. Goal 7.3 – Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

The request would reinforce the sense of place using the existing infrastructure and designing within the existing shopping center and under the guidelines of the Coors Boulevard Overlay Zone; creating architecture that will seemingly blend into its built environment.

- B. Policy 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The request would allow the parcel of a partially reclaimed drainage pond to be re-developed into eateries and a taproom that will serve the surrounding areas, which in turn will enhance the built environment.

- 11. The request is consistent with the following Comprehensive Plan Goal from Chapter 8: Economic Development.

- A. Goal 8.1 –Placemaking: Create places where business and talent will stay and thrive

The proposed development of the subject site will encourage business diversity within the shopping center.

- 12. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 14-16-6-6(J)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy analysis of the site plan, the request is consistent with applicable Comprehensive Goals and Policies.

- B. 14-16-6-6(J)(3)(b) The site plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

The subject site is zoned MX-M; therefore, this criterion does not apply.

- C. 14-16-6-6(J)(3)(c) The site plan complies with all applicable provisions of this IDO, the DPM, other adopted City Regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

With the application of conditions of approval, the site plan will comply with all applicable provisions of the IDO. The request will need to be reviewed by the Development Review Board (DRB) to ensure compliance with applicable provisions of the Development Process Manual (DPM). As per the IDO, the EPC will determine whether any deviations from typical Mixed-Use development are acceptable in this proposed major amendment.

- D. 14-16-6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

The request will be reviewed by the Development Review Board (DRB), which is charged with addressing infrastructure and ensuring that infrastructure such as streets, trails, sidewalks, and drainage systems has sufficient capacity to serve a proposed development.

- E. 14-16-6-6(J)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

The future, proposed development will be required to comply with the decisions made by two bodies- the EPC and the DRB. The EPCs' conditions of approval will improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas. The DRB's conditions will ensure infrastructure is adequately addressed so that a proposed development will not burden the surrounding area.

- F. 14-16-6-6(J)(3)(f) If the subject site is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject property is not within an approved Master Development Plan; therefore, this criterion does not apply.

- G. 14-16-6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration,

light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the impacts.

The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required, therefore this criterion does not apply.

13. Based on existing mature trees along Seven Bar Loop and the potential negative impact to the trees from construction of a sidewalk, the alternative pedestrian diagram shown on the site plan is supported.
14. The affected, registered neighborhood organization is the Westside Coalition of Neighborhood Associations which was notified as required. Property owners within 100 feet of the subject site were also notified as required.
15. Based on existing mature trees along Seven Bar Loop and the potential negative impact to the trees from construction of a sidewalk, the alternative pedestrian diagram shown on the site plan is supported.
16. As of this writing, Staff has not been contacted and is unaware of any opposition.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is responsible for ensuring that technical EPC Conditions have been satisfied and that other applicable City requirements have been met.
2. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
3. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are addressed and met. Upon receiving sign-off from the DRB, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.
4. Site Plan General:
 - A. Setbacks standards for Coors Boulevard shall comply with IDO Section 14-16-3-4-(C)(3)(b)
 - B. A HC Sign detail shall be provided.
 - C. A Motorcycle sign detail shall be provided.
 - D. A guard rail detail shall be provided.
 - E. A wall screening detail shall be provided.

5. Pedestrian Access & Circulation:

A. Proposed sidewalks within development shall be dimensioned to ensure compliance with DPM standards, pursuant to IDO subsection 14-16-5-3(D)(1)(a).

B. A detail of crosswalk indicating dimensions and materials shall be provided.

6. Parking & Circulation:

A. Parking calculations shall be shown clearly on-site plan, and shall comply with existing governing site plan.

7. Landscaping:

A. All street trees must be planted in accordance to IDO Section 14-16-5-6(D)(1)(c).

B. Remove Caryopteris Clandonensis Blue Mist Spirea 'Dark Knight' from plant list and substitute with a xeric plant.

8. Lighting:

A. Provide a note on the Site Plan stating that lighting shall be provided in accordance with IDO section 14-16-5-8 Outdoor and Site Lighting.

B. Provide lighting placement on site plan.

C. Specify color for parking lot light pole.

9. Clarification:

A. Specify color for dumpster enclosure detail.

10. Any relocation or alteration of existing PNM facilities is at the property owner's expense. Adjusted and/or new electric utility easements and PNM facilities may be necessary and should be clearly shown on the site plan. Perimeter landscape design should abide by any easement restrictions and not impact PNM facilities.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **September 3, 2021**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the IDO, Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,

for Alan M. Varela
Planning Director

AV/LD

cc:

Westside Coalition of Neighborhood Associations, Rene Horvath aboard111@gmail.com
Westside Coalition of Neighborhood Associations, Elizabeth Haley ekhaley@comcast.net
Alamo Center LLC, 13405 Pino Ridge Pl., Albuquerque NM, 87111
Consensus Planning, cp@consensusplanning.com
Legal, kmorrow@cabq.gov
EPC file



February 8, 2022

Jolene Wolfley, Chair
Development Review Board
600 Second Street NW
Albuquerque, NM 87102

Re: 10127 Coors Boulevard NW (SI-2021-00985) Site Plan Amendment

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Madam Chair:

The purpose of this letter is to transmit the Site Plan Amendment that was approved by the Environmental Planning Commission (EPC) on August 19, 2021 under the project SI-2021-00985 for final sign-off. The EPC placed the following conditions of approval. The response to each of the conditions are shown below.

1. The EPC delegates final sign-off authority of this site plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is also responsible for ensuring that the EPC Conditions of Approval have been satisfied and that other applicable City requirements have been met.

The Site Plan is being submitted to the DRB for their review at the February 16, 2022, meeting. This letter outlines the changes completed to meet the EPC Conditions of approval and review by the DRB will ensure all technical standards are met.

2. A letter shall accompany the submittal, specifying all revisions that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

This letter outlines the changes made to meet the EPC conditions of approval.

3. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are addressed and met. Upon receiving sign-off from the DRB, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.

The applicant met with the Staff planner, Leroy Duarte, on February 7, 2022, to discuss the changes made to meet the EPC conditions of approval and he agreed that each condition had been met. Once approved by the DRB, the Applicant will submit the finalized plan for filing at the Planning Department.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

4. Site Plan General:
 - A. Setbacks standards for Coors Boulevard shall comply with IDO Section 14-16-3-4 (C)(3)(b)
 - a. Setback standards for Coors Boulevard comply with IDO requirements. Setbacks are shown to be 71' - 5" on the site



- plan in conformance with IDO Section 14-16-3-4 (C)(3)(b), which requires a minimum setback of 35' from Coors Blvd.*
- B. A handicapped sign detail shall be provided.
 - a. *Handicapped sign detail has been provided on Sheet 3 of the Site Plan.*
 - C. A motorcycle sign detail shall be provided.
 - a. *Motorcycle sign detail has been provided on Sheet 3 of the Site Plan.*
 - D. A guard rail detail shall be provided.
 - a. *Guard rail detail has been provided on Sheet 3 of the Site Plan.*
 - E. A wall screening detail shall be provided.
 - a. *Wall screening detail has been provided on Sheet 3 of the Site Plan.*
5. Pedestrian Access & Circulation:
- A. Proposed sidewalks within development shall be dimensioned to ensure compliance with DPM standards, pursuant to IDO §14-16-5-3 (D)(1)(a).
 - a. *Conforms. Sidewalks are shown on the page 2 of the site plan to be 6' in width, in conformance with DPM section 7-4(E)(2) requirements, which states that sidewalks "shall consist of 6 foot wide accessible, direct, clearly discernible, and ADA/PROWAG-compliant walkway or multi-use path from the City right-of-way to main entrances."*
 - B. A detail of crosswalk indicating dimensions and materials shall be provided.
 - a. *Crosswalk dimensions and materials have been provided on Sheet 1.*
6. Parking & Circulation:
- A. Parking calculations shall be shown clearly on site plan, and shall comply with existing governing site plan.
 - a. *Parking calculations have been provided on Sheet 1 of the Site Plan.*
7. Landscaping:
- A. All street trees must be planted in accordance to IDO Section 14-16-5-6 (D)(1)(c)
 - a. *Conforms. Table 5-6-3 requires minimum planting areas of:*
 - *4'x4' (16 sf) for trees with a mature height of 15-20 ft*
 - *5'x5' (25 sf) for trees with a mature height of 20-40 ft*
 - *6'x6' (36 sf) for trees with a mature height >40 ft**The Landscape Plan, shows nine 'Bubba Bubba Desert Willows' (20' tall), four 'Sensation Box Elders' (40' tall) and two 'Agnus-Cactus Chaste' trees (20' tall). All of the trees will be planted without landscape edgers, except on desert*



willow which is given a planter box of 5'x5', above the required 4'x4' planting area minimum.

- B. Remove Caryopteris Clandonensis Blue Mist Spirea 'Dark Knight' from plant list and substitute with a xeric plant.
 - a. *This Blue Mist Spirea is on the City's list of approved plants as a Low+ xeric plant.*

8. Lighting:

- A. Provide a note on the Site Plan stating that lighting shall be provided in accordance with IDO section 14-16-5-8 Outdoor Site Lighting.
 - a. *A note stating conformance has been provided on Sheet 3 of the Site Plan.*
- B. Provide lighting placement on site plan.
 - a. *N/A. At present no lighting is proposed on site.*
- C. Specify color for parking lot light pole.
 - a. *Sheet 3 of the Site Plan contains a statement that light poles will match the architectural colors described on Sheet 7. Depending on placement, this will result in light poles that are brown, beige or gray.*

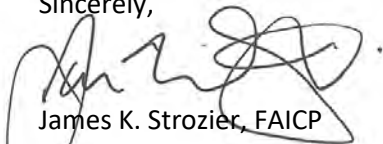
9. Clarification:

- A. Specify color for dumpster enclosure detail.
 - a. *Color for dumpster enclosure will be one of the three stucco options found on Sheet 7 of the Site Plan.*

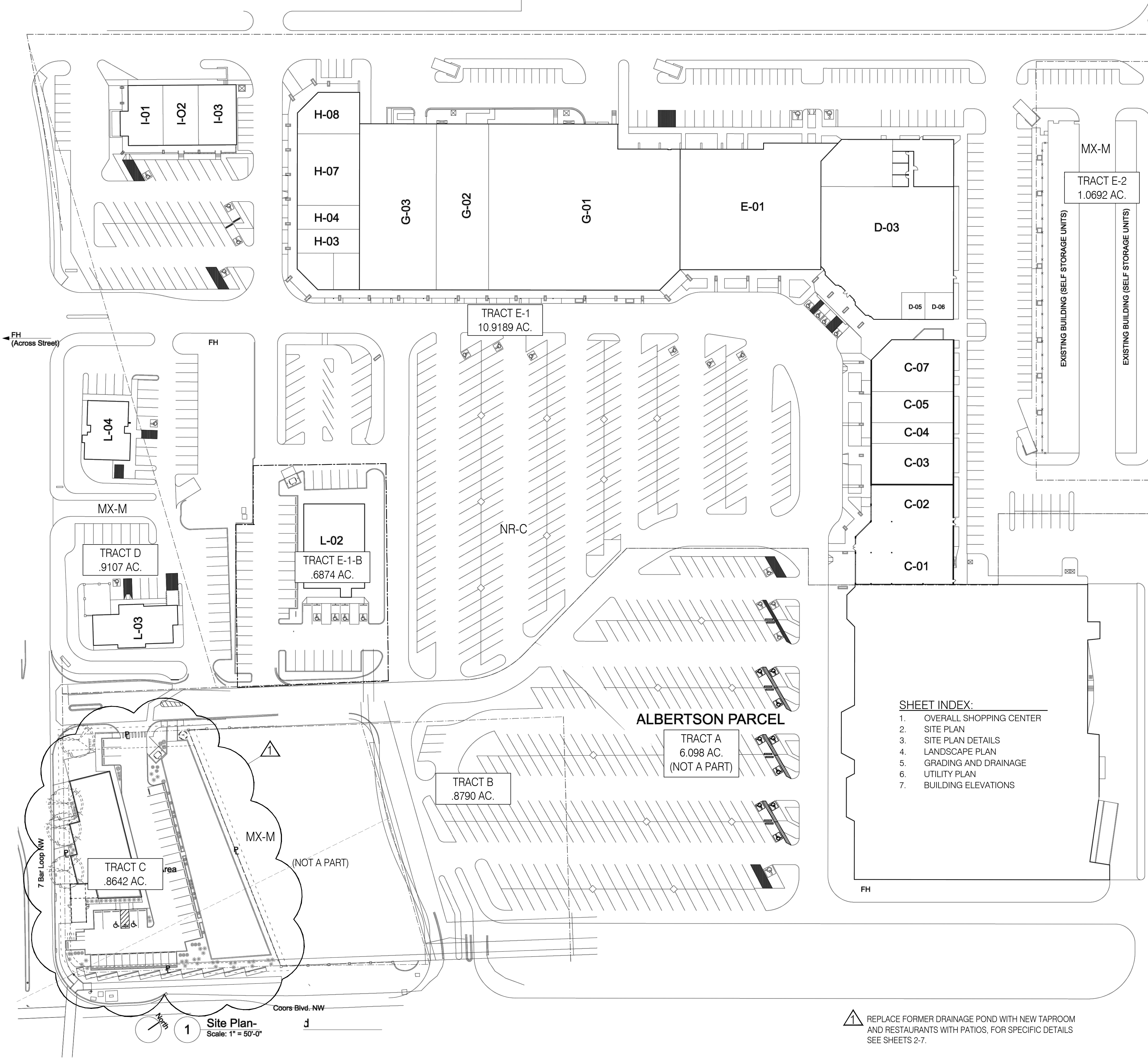
- 10. Any relocation or alteration of existing PNM facilities is at the property owner's expense. Adjusted and/or new electric utility easements and PNM facilities may be necessary and should be clearly shown on the site plan. Perimeter landscape design should abide by any easement restrictions and not impact PNM facilities.
 - a. *Landscape design does not impact PNM facilities.*

Please do not hesitate to contact me with any questions or if additional information is needed.

Sincerely,



James K. Strozier, FAICP
Principal



SITE DATA:
 City of Albuquerque
 Location: 10131 Coors Blvd. NW
 Zoning: MX-M / NR-C
 Zoning Atlas Page: B-14
 Setbacks: No Change
 Height: No change
 Parking:

FIRST 15,000 SQ. FT @200 SQ. FT 75
 NEXT 45,000 SQ. FT @ 250 SQ. FT 180
 NEXT 77,829 SQ. FT @ 300 SQ. FT 260

TOTAL REQUIRED: 515
 HC required 16
 Motorcycle required 7

TOTAL PROVIDED: 616
 HC provided 21
 Motorcycle provided 12

NOTE: A-01 (Albertsons not included in retail center)
 (Albertsons Parcel- 72,000 sq. ft. building w/ 254 spaces)

NEW SITE DATA:
 I.B.C.
 Total New Bld. Area = 5,600 sq.ft.
 Occupancy: A-2
 Construction Type: Existing Vb
 Separation: 1-Hour Btw. Suites
 Sprinkler: No
 Description: Major amendment to add new parking for 5,600 sq. ft. building for 2 restaurants and a tap room.

PROJECT NUMBER: 2021-005687
 Application Number: S1-2021-00985

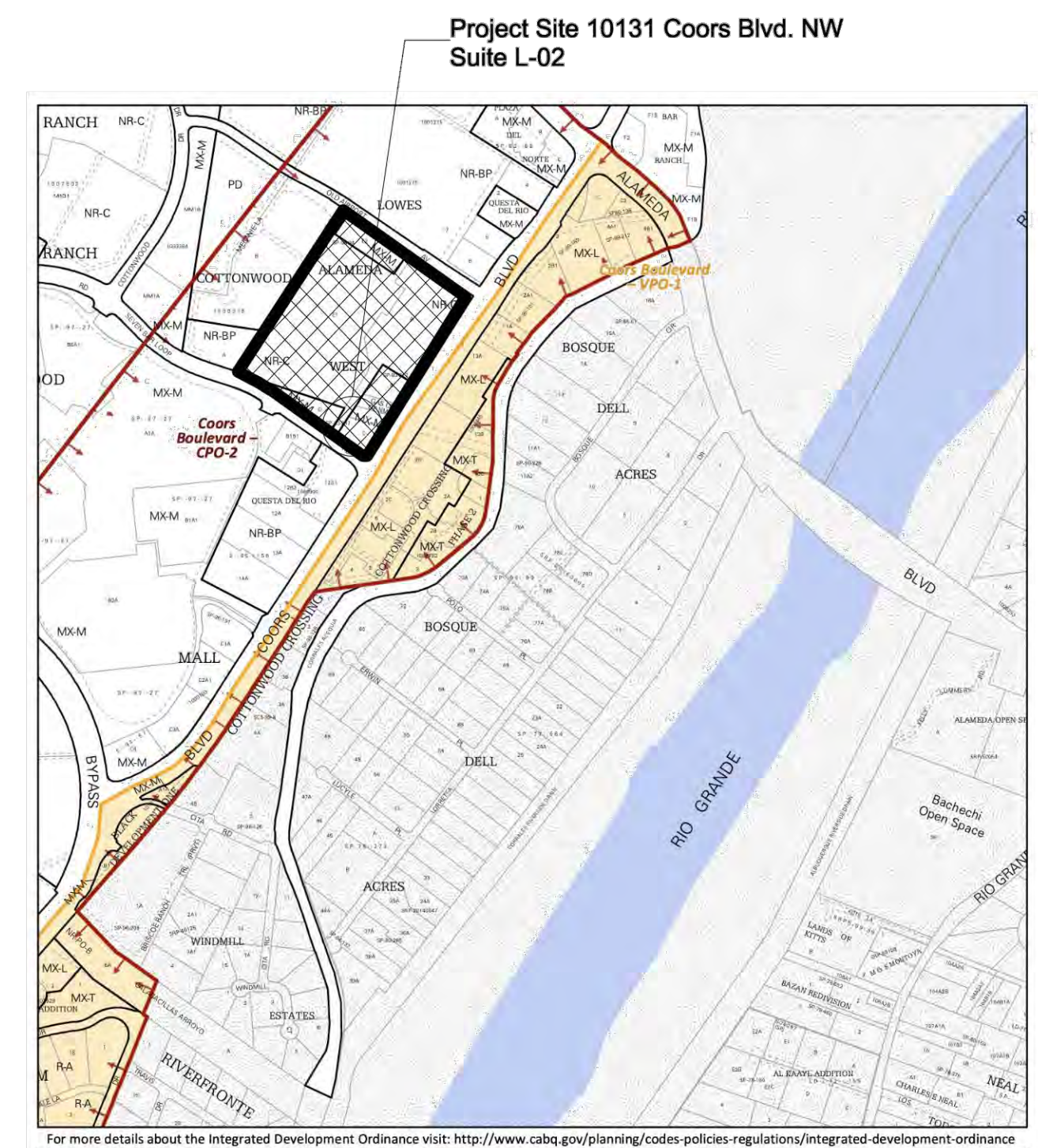
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

- SHEET INDEX:**
1. OVERALL SHOPPING CENTER
 2. SITE PLAN
 3. SITE PLAN DETAILS
 4. LANDSCAPE PLAN
 5. GRADING AND DRAINAGE
 6. UTILITY PLAN
 7. BUILDING ELEVATIONS



REPLACE FORMER DRAINAGE POND WITH NEW TAPROOM AND RESTAURANTS WITH PATIOS, FOR SPECIFIC DETAILS SEE SHEETS 2-7.

1 Site Plan- Scale: 1" = 50'-0"

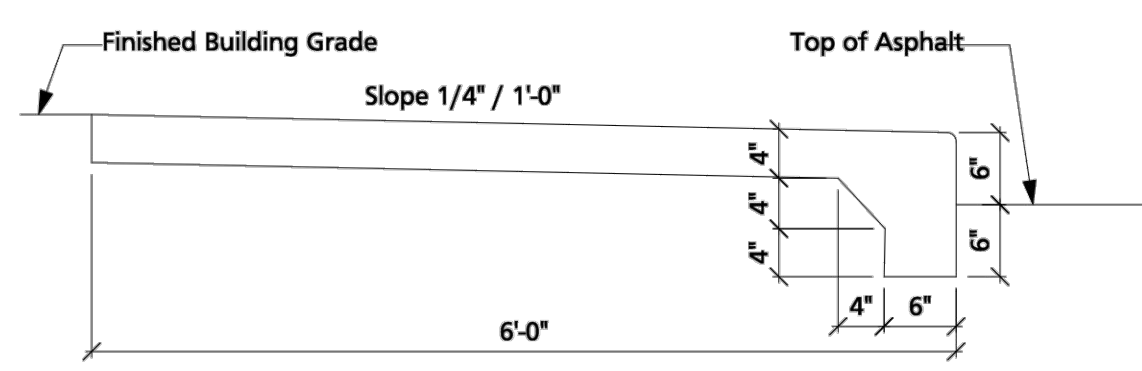
TREVESTON ELLIOTT ARCHITECT

811 12TH ST. NW
 ALBUQUERQUE, NEW MEXICO
 87102
 C 505.259.4617
 treveston@trevestonarchitect.com
 www.trevestonarchitect.com

ALAMEDA WEST SHOPPING CENTER
 ALBUQUERQUE, NEW MEXICO

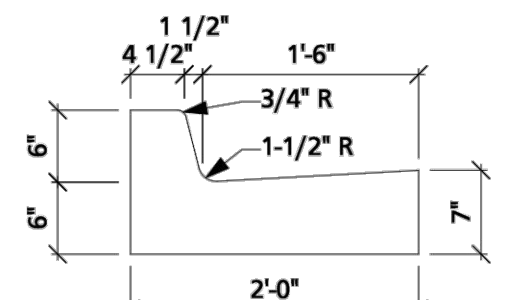
100% SCHEMATIC DESIGN

SITE PLAN-EPC
 MAJOR AMENDMENT



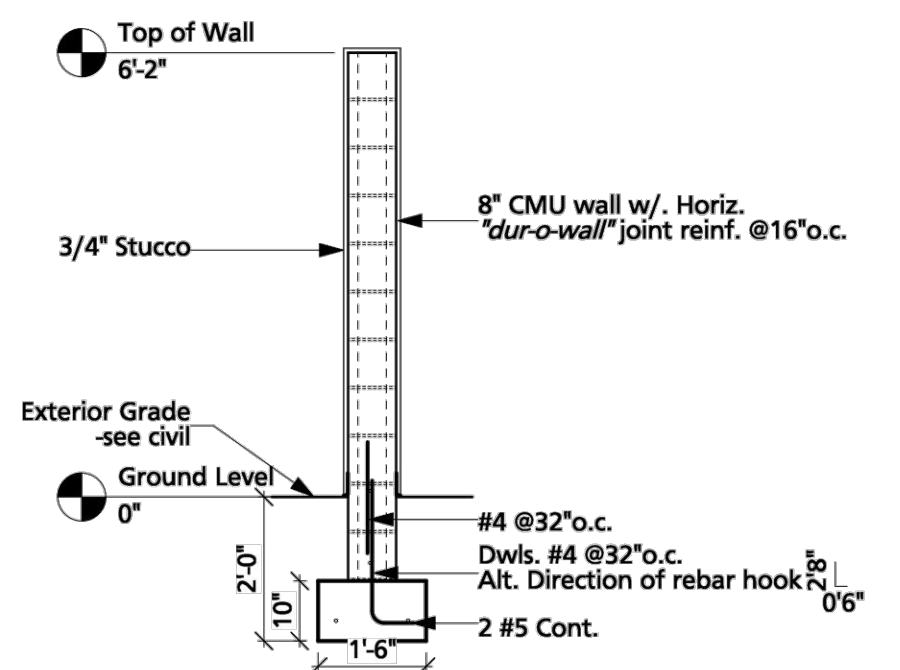
1 Standard Sidewalk Detail
Scale: 3/4" = 1'-0"

Per CoA std. dwg 2430 cross slope of 1/4" per foot shall be provided and shall slope towards the direction of the drainage area.
Concrete walks shall have contraction joints at 6' o.c. Intervals. 1/2" Expansion joints shall be installed every 36', unless otherwise shown on plans.
1/2" Expansion joints shall be installed where walk abut rigid structures.
Maximum 2% cross slope

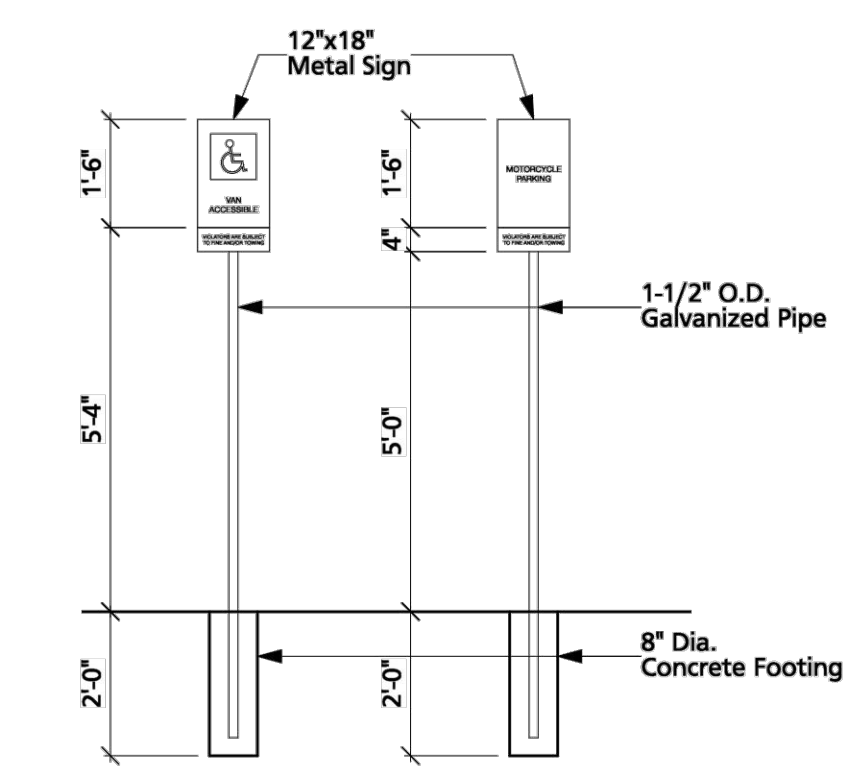


2 Standard Curb / Gutter Detail
Scale: 3/4" = 1'-0"

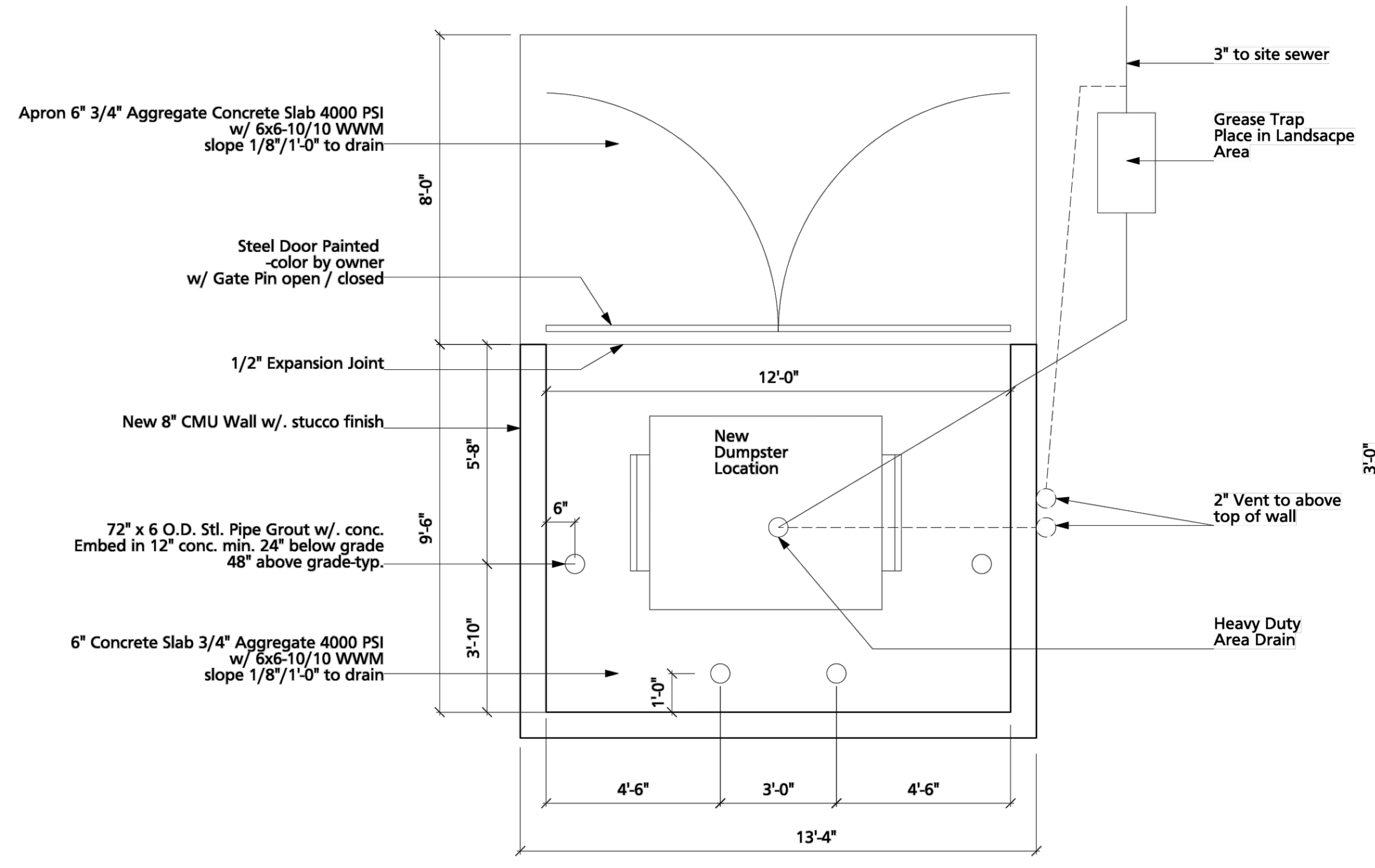
Provide 1/2" Expansion joints at 36' o.c. at immovable objects and at the beginning and end of curves
Provide contraction joints at 6' o.c.
All exposed concrete corners to have 3/4" radius.
Maximum 2% cross slope



3 Dumpster Enclosure Wall Detail
Scale: 3/8" = 1'-0"

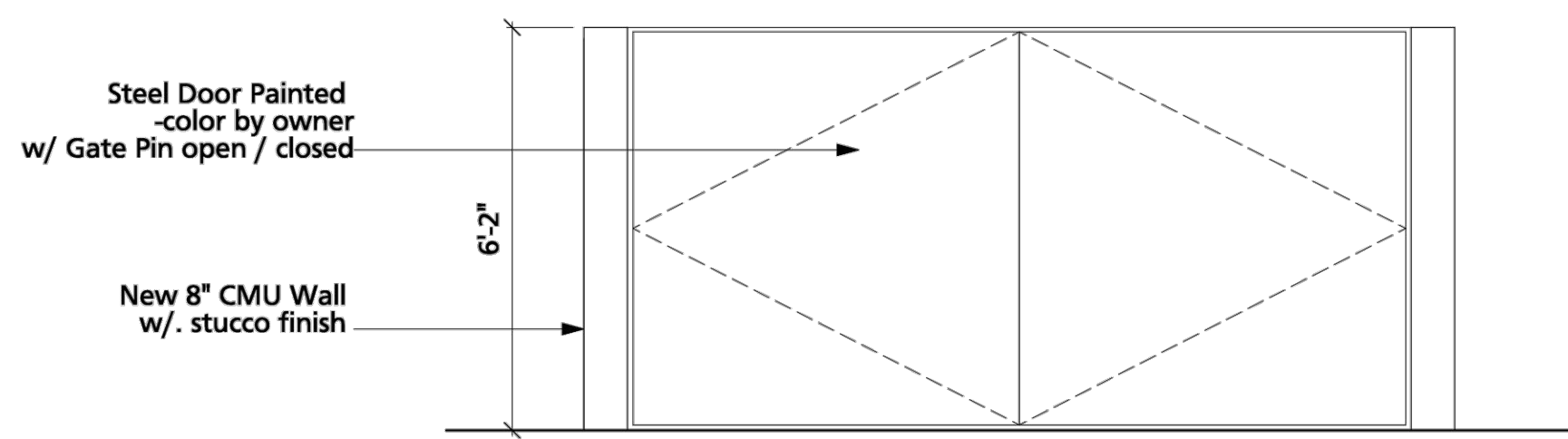


8 HC / Motorcycle Sign Detail
Scale: 3/8" = 1'-0"

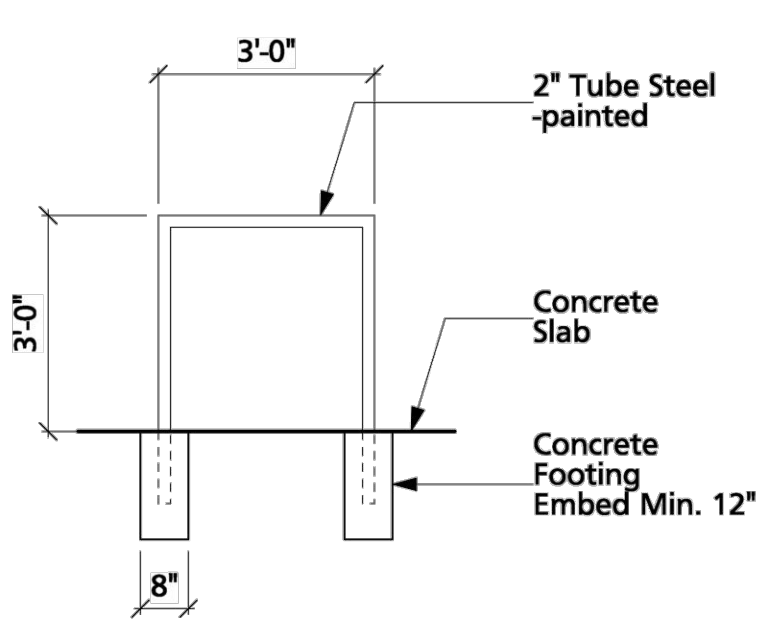


4 Dumpster Enclosure Detail
Scale: 3/8" = 1'-0"

GREASE TRAP REQUIREMENTS
GPM = .0104 x Rainfall x Area
GPM = .0104 x 2 x ???
GPM = ??? GPM
Specify Schier Model ??
Flow Rating = ?? GPM
Grease Capacity = ?? lb.

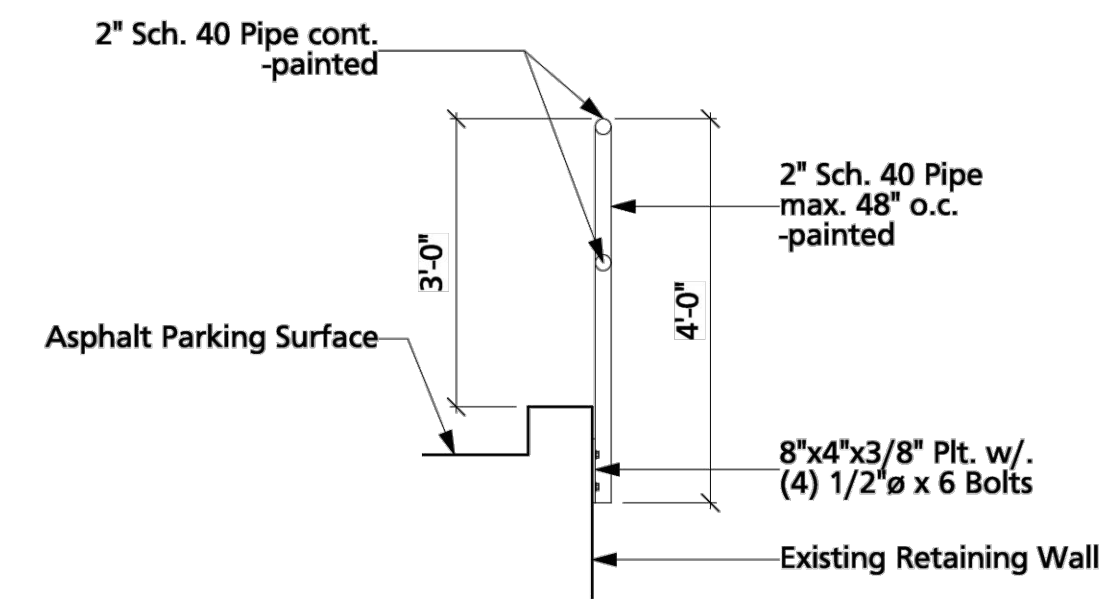


5 Dumpster Enclosure Elevation
Scale: 3/8" = 1'-0"

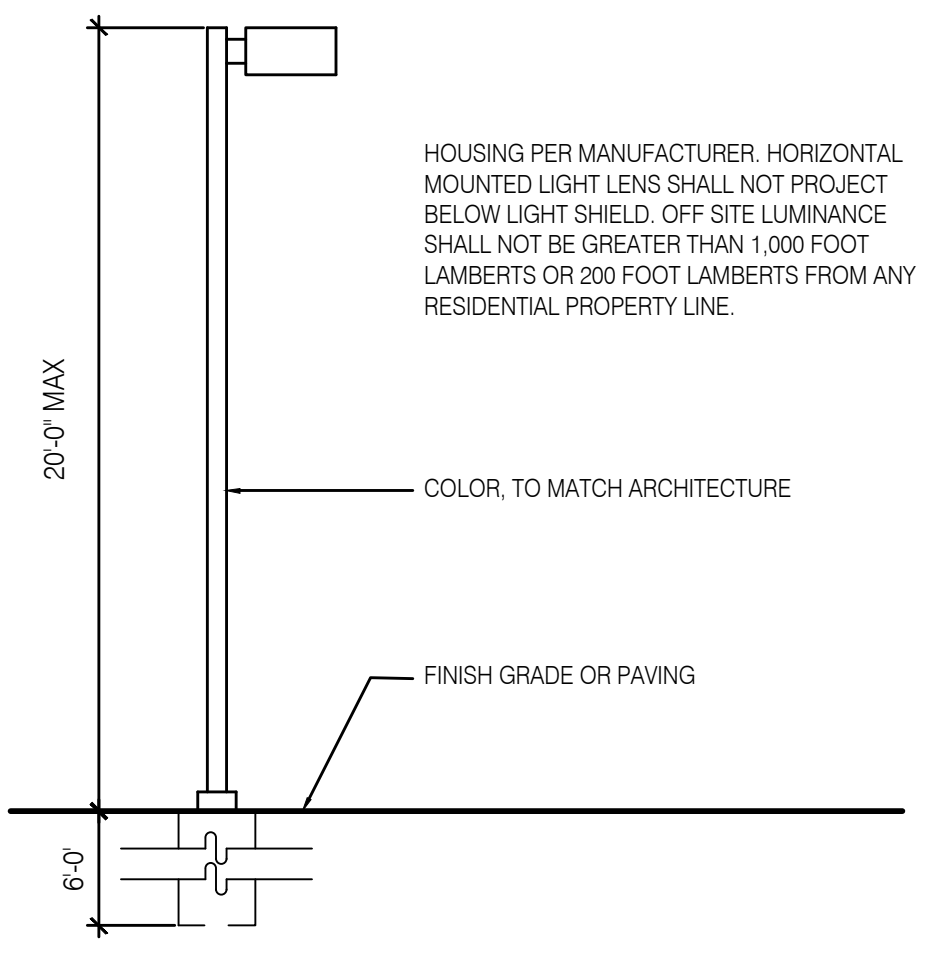


7 Bike Rack Elevation
Scale: 3/8" = 1'-0"

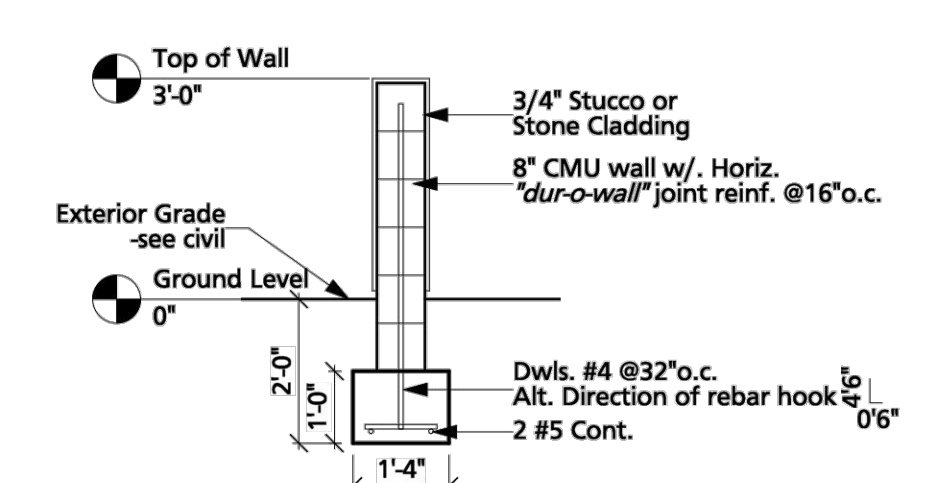
Rack: min. 3'-0" tall 2'-8" wide
U-Shape allows multiple place of attachment
Upright Support
Varying frame sizes accommodated
No lift Attachment
2'-8" min btwn. racks
Rack Centered on concrete pad



9 Guardrail Detail
Scale: 1/2" = 1'-0"



PARKING LOT LIGHT FIXTURE DETAIL
Not to Scale



10 Yard Wall Detail
Scale: 3/8" = 1'-0"

General Note:
PRE POUR INSPECTION REQUIRED BY COA SOLID WASTE DEPARTMENT.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.
ALL BROKEN OR CRACKED CURB & GUTTER / CURB CUTS AND SIDEWALK TO BE REPLACED PER CoA Std dwg 2415
ALL IMPROVEMENTS LOCATED IN RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER

Original Building Square Footage	132,433 s. f.
Proposed Building Square Footage	138,033 s. f. (4 percent)
Original Required Parking	496 spaces
Proposed Required Parking	514 spaces
Proposed Parking Provided	606 spaces

GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA (86 AC.):	37,660 SF
BUILDING AREA:	- 5,600 SF
NET AREA:	32,060 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	4,809 SF
PROVIDED LANDSCAPE AREA	12,556 SF (249%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

REQUIRED LIVE VEGETATIVE MATERIAL COVERAGE	9,417 SF (75%)
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE	11,324 SF (90%)
REQUIRED GROUND-LEVEL PLANT COVERAGE	3,139 SF (25%)
PROVIDED GROUND-LEVEL PLANT COVERAGE	2,842 SF (25%)

PARKING LOT AREA
AT LEAST 10% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR LESS SPACES, SHALL BE LANDSCAPED.

38 PARKING SPACES	
TOTAL PARKING LOT AREA:	12,398 SF
PROVIDED LANDSCAPE AREA:	3,165 SF (40%)

PARKING LOT TREES
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING SPACES / 38 SPACES =
REQUIRED: 4 TREES
PROVIDED: 8 TREES (PLUS 4 TREES)

STREET TREES
STREET TREE REQUIREMENTS SPECIFY THE SPACING BETWEEN STREET TREES, WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE INSTALLED AT A FREQUENCY OF 25 FEET PER LINEAR FOOT OF STREET FRONTAGE. NEW STREET TREES SHALL BE PLANTED ALONG COORS BLVD NW, MIRANDELA ST NW, AND ANTEQUERA RD NW.

COORS BOULEVARD NW REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C.

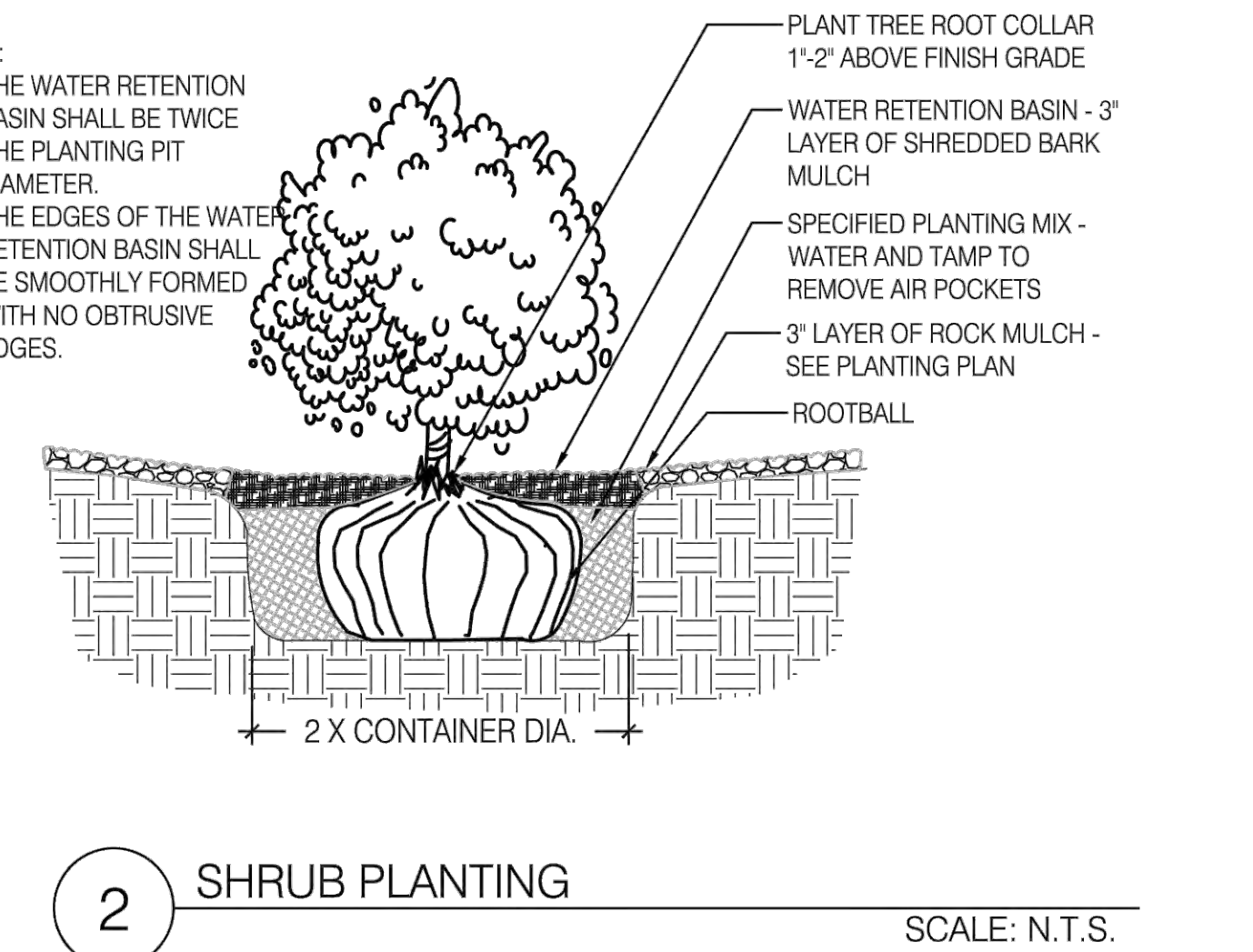
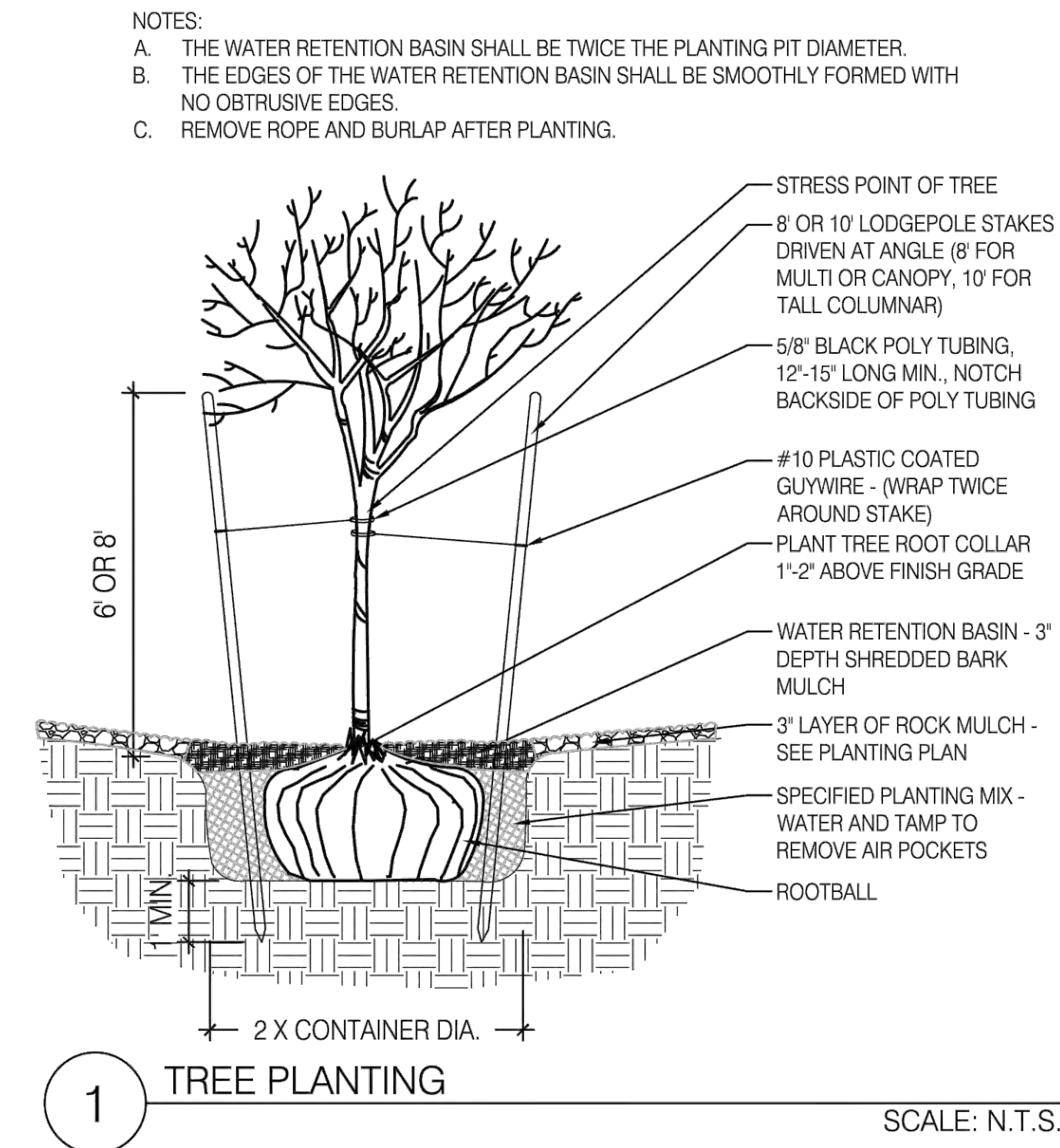
COORS BOULEVARD NW FRONTAGE IS 208'.
STREET TREES REQUIRED: 8
STREET TREES PROVIDED: 6 (2 PROVIDED IN ADJACENT LANDSCAPE)

SEVEN BAR LOOP RD NW FRONTAGE IS 230'.
STREET TREES REQUIRED: 9
STREET TREES PROVIDED: 28 (4 EXISTING COTTONWOODS ON SITE: SEE EXISTING TREE TABLE FOR CREDITS)

WALKWAY TREES
SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL PEDESTRIAN WALKWAYS.

PLANT LEGEND

SITE QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	MATURE SIZE	(WATER USE)
EXISTING LANDSCAPE					
		EXISTING TREE			
		EXISTING UNDERGROUND COMMUNICATION EASEMENT			
TREES					
9		CHILOPSIS LINEARIS 'BUBBA' BUBBA DESERT WILLOW	2' CAL MS	20' HT. X 25' SPR.	LOW +
4		ACER NEGUNDO 'SENSATION' SENSATION BOX ELDER	2' CAL B&B	40' HT. X 30' SPR.	MED
2		VITEX AGNUS-CASTUS CHASTE TREE	2' CAL MS	20' HT. X 20' SPR.	MED
SHRUBS AND GROUNDCOVERS					
28		ERICACEAE LARICIFOLIA DWARF TURPENTINE BUSH	5-GAL	3' HT. X 3' SPR.	LOW
12		FALLUGIA PARADOXA APACHE PLUME	5-GAL	5' HT. X 5' SPR.	LOW
13		JUNIPERUS HORIZ. 'BLUE CHIP' BLUE CHIP JUNIPER (FEMALES ONLY)	5-GAL	1' HT. X 7' SPR.	MED
8		PINUS MUGO 'PUMILIO' DWARF MUGO PINE	5-GAL	4' HT. X 6' SPR.	MED
13		RHUS TRILOBATA 'AUTUMN AMBER' AUTUMN AMBER SUMAC	5-GAL	2' HT. X 8' SPR.	LOW+
22		SALVIA GREGGII 'FURMAN'S RED' FURMAN'S RED CHERRY SAGE	5-GAL	30' HT. X 3' SPR.	MED
4		CARYOPTERIS CLANDONENSIS BLUE MIST SPIREA 'DARK KNIGHT'	5-GAL	3' HT. X 4' SPR.	LOW+
DESERT ACCENTS					
36		HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA	5-GAL	3' HT. X 3' SPR.	LOW+
11		OPUTIA VIOLACEA SANTA RITA PRICKLY PEAR	5-GAL	3' HT. X 4' SPR.	FW
ORNAMENTAL GRASSES					
37		CALAMAGROSTIS A. KARL FOERSTER KARL FOERSTER FEATHER REED GRASS	3-GAL	30' HT. X 3' SPR.	MED
13		MUHLENBERGIA RIGIDA PURPLE MUH-LY	3-GAL	2' HT. X 3' SPR.	LOW+
25		PENNISETUM ALOPECUROIDES 'HAMELN' DWARF FOUNTAIN GRASS	3-GAL	2' HT. X 2' SPR.	LOW
BOULDERS AND GRAVEL MULCH					
2,230 SF		2'-4" COYOTE MIST COBBLE MULCH (6" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)			
9,800 SF		7/16" MOUNTAIN AIR BROWN GRAVEL MULCH, OR PRE APPROVED EQUAL (3" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)			
425 SF		3/8" MINUS ROUND PEA GRAVEL (5" DEPTH IN PLANTERS)			
28		MOSS ROCK BOULDERS (3X3' MIN)			



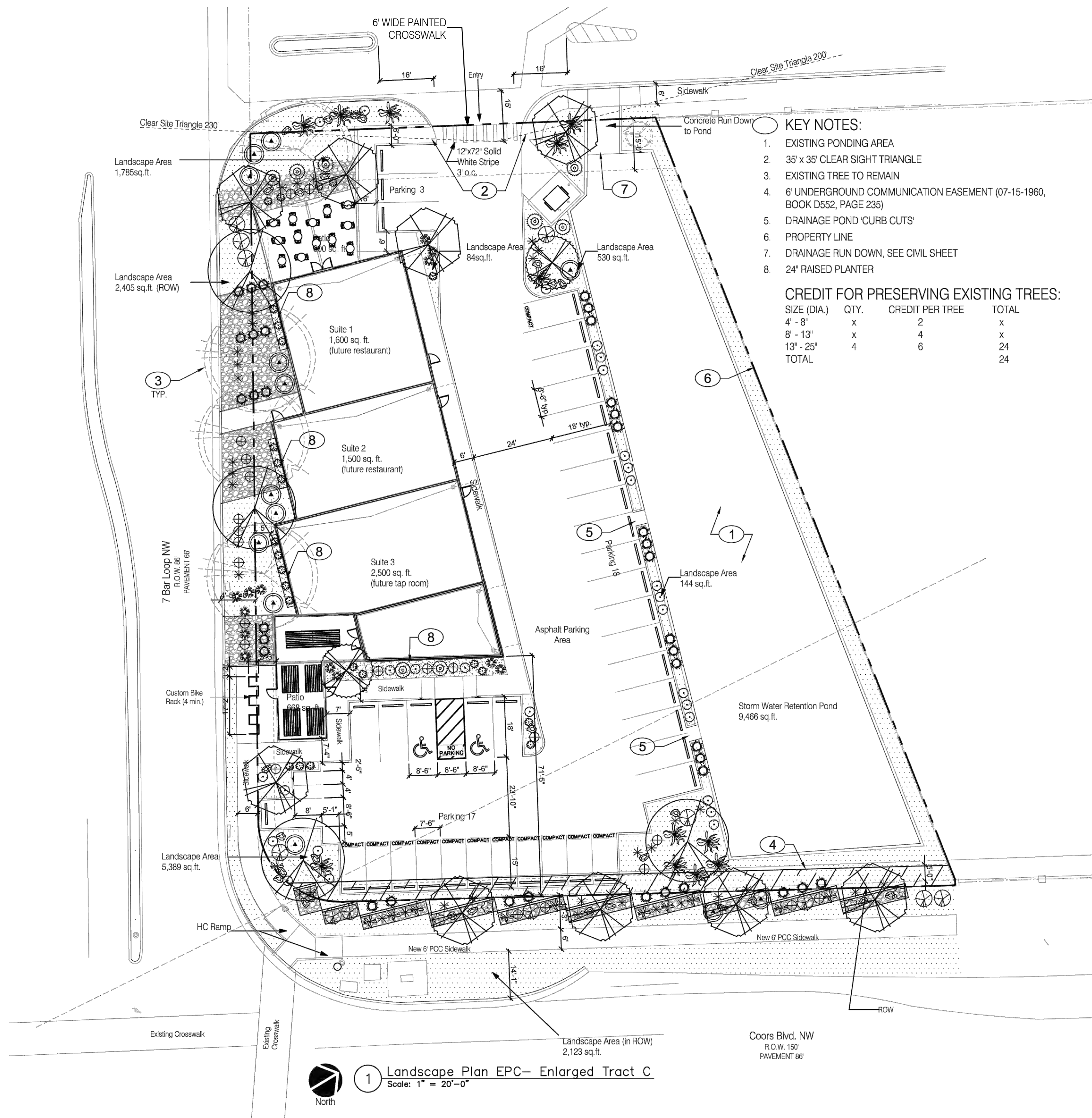
LANDSCAPE PLAN

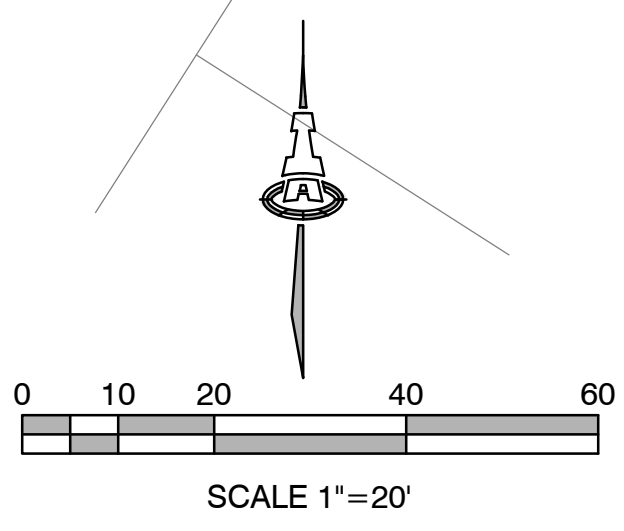
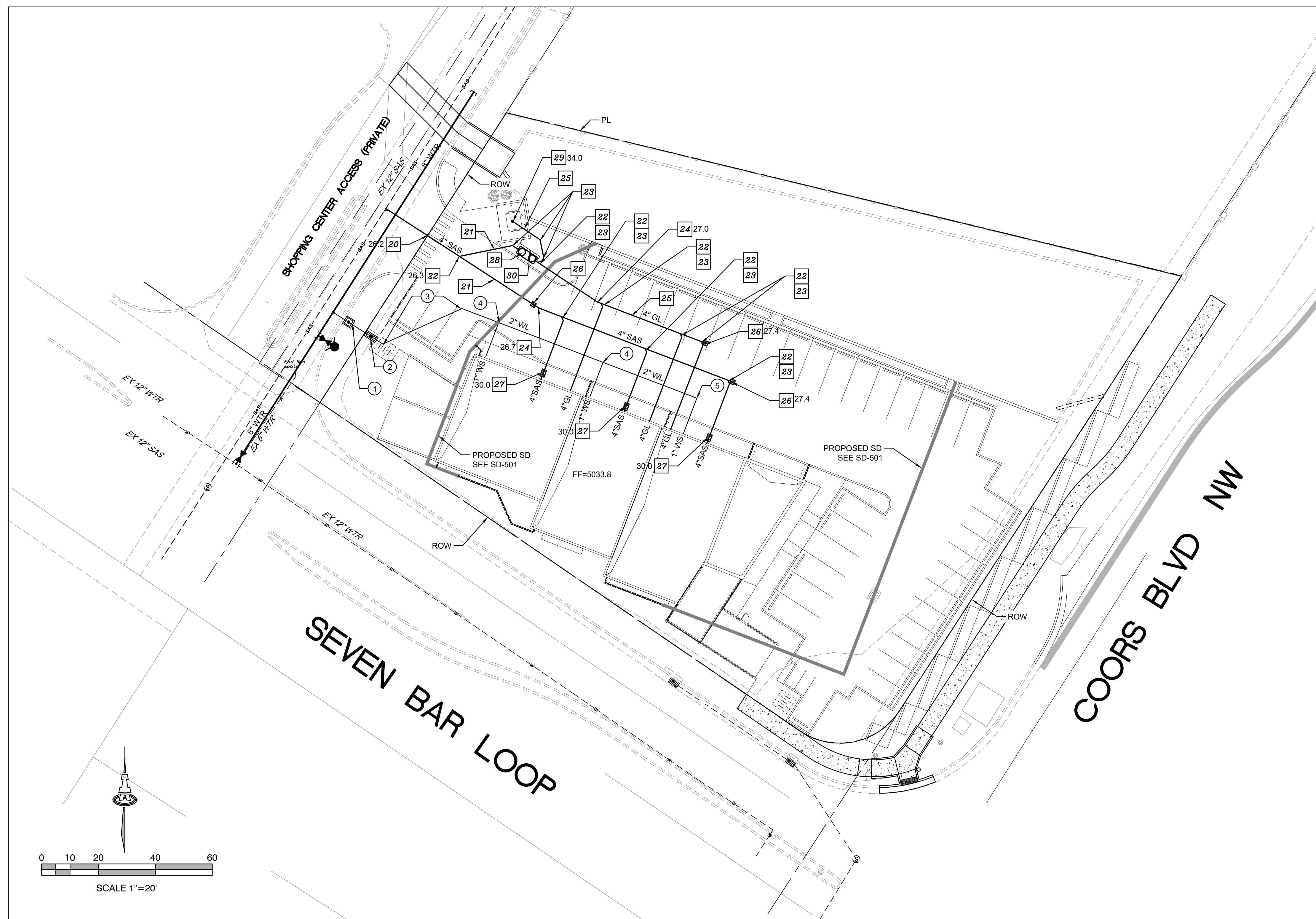
AT COORS BLVD NW AND SEVEN-BAR LOOP

LANDSCAPE PLAN - EPC MAJOR AMENDMENT

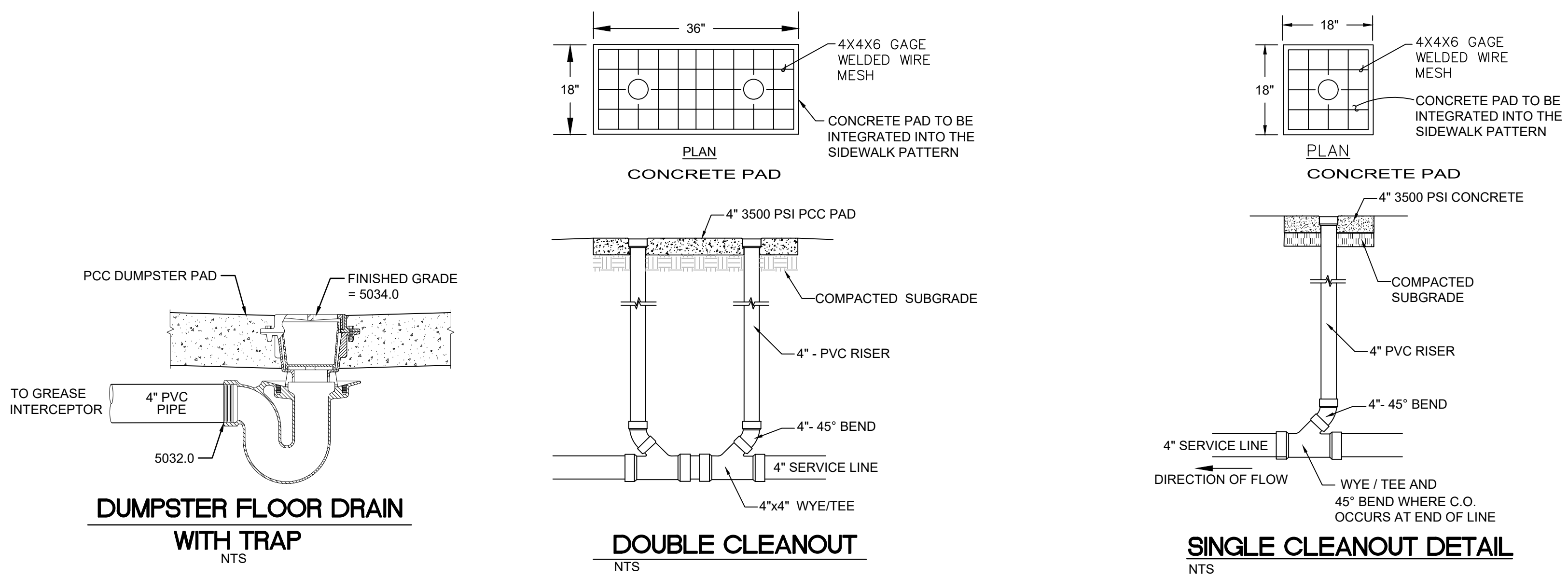
Prepared for:
ALAMO CENTER LLC.
13405 PINO RIDGE PLACE
ALBUQUERQUE, NM 87111

Prepared by:
CONSENSUS PLANNING, INC.
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102





8" WATERLINE, FIRE HYDRANT, WATER METER SETTING AND SEWER SERVICE CONNECTION TO EXISTING SEWER MAIN TO BE CONSTRUCTED UNDER ABCWUA WORK ORDER.



GENERAL NOTES

- SEE SHEET C-100 FOR ALL CIVIL GENERAL NOTES.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

KEYED NOTES

- WATER KEYED NOTES**
- CONNECT NEW 2" WATER SERVICE LINE TO EXISTING METER SETTING.
 - FEBCO MODEL 825YA RPBFP IN A SAFE-T-COVER MODLE 200-AL.
 - 2" 45° BEND.
 - 2"x1" TEE.
 - 2"x1" 90° BEND.
- SEWER KEYED NOTES**
- REMOVE 4" PLUG AND CONNECT NEW 4" SERVICE LINE.
 - 4" SANITARY SEWER LINE AT 1% MIN. SLOPE.
 - 4"x4" WYE/TEE.
 - 4" 45° BEND.
 - 4" 11 1/2° BEND.
 - 4" GREASE LINE AT 1% MIN. SLOPE.
 - SANITARY SEWER SINGLE CLEAN OUT, SEE DETAIL THIS SHEET.
 - SANITARY SEWER DOUBLE CLEAN OUT, SEE DETAIL THIS SHEET.
 - SCHIRE MODEL GB-250 GREASE INTERCEPTOR.
 - 4" DUMPSTER FLOOR DRAIN WITH "P" TRAP.
 - 2" GREASE INTERCEPTOR VENT LINE.

LEGEND

- EX 12" WTR --- EXISTING WATERLINE
- EX 12" SAS --- EXISTING SEWER LINE
- EXISTING SEWER MANHOLE
- NEW WATER SERVICE
- NEW SEWER SERVICE
- SEWER CLEAN OUT

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Engineer

Alameda West Shopping Center
Commercial Addition
Albuquerque, New Mexico

ISSUE: FINAL
PROJECT NUMBER: IA 2432
FILE:
DRAWN BY: FCA
CHECKED BY: FCA
DATE: OCTOBER, 2021

No	Date	Description

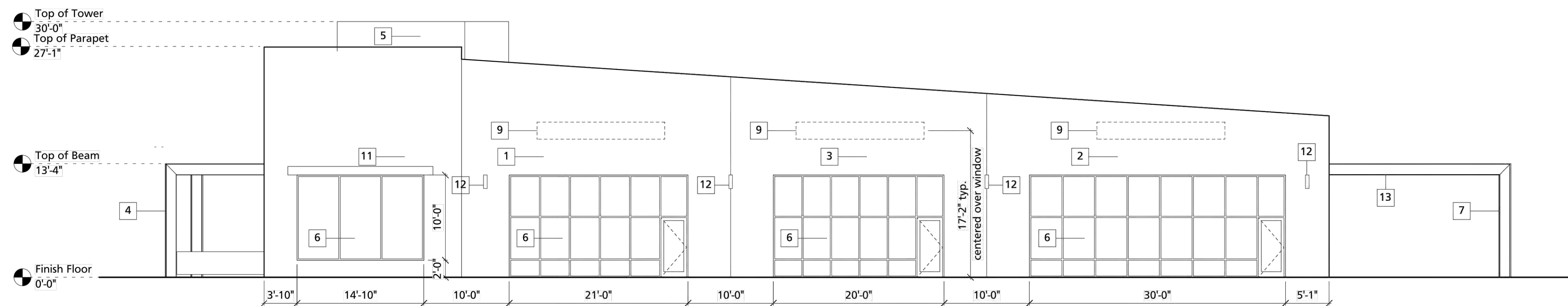
SHEET TITLE

UTILITY PLAN

SHEET NUMBER

CU-101





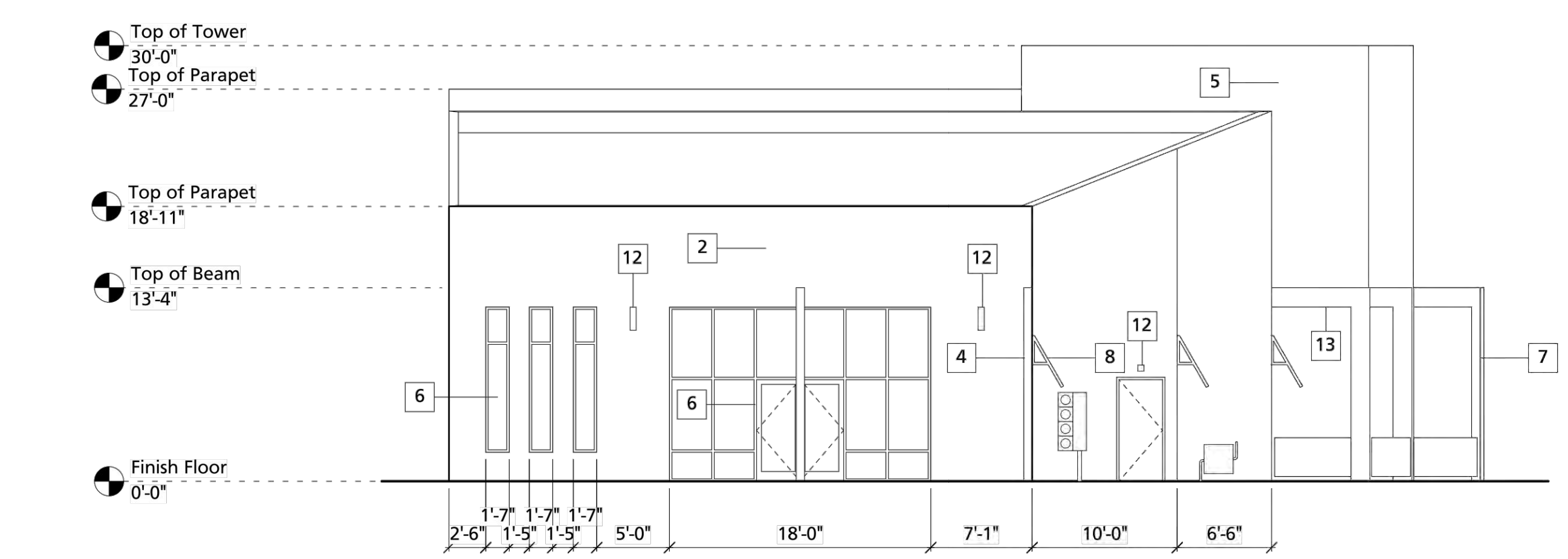
N North Elevation
Scale: 1/8" = 1'-0"

Per IDO 14-16-5-12 (F)(2)
Wall sign
zone MX-M 15% of Facade
North Facade = 2,867 sq. ft. 430 sq. ft. of sign allowed
proposed (3) @ 30 sq. ft. ea.

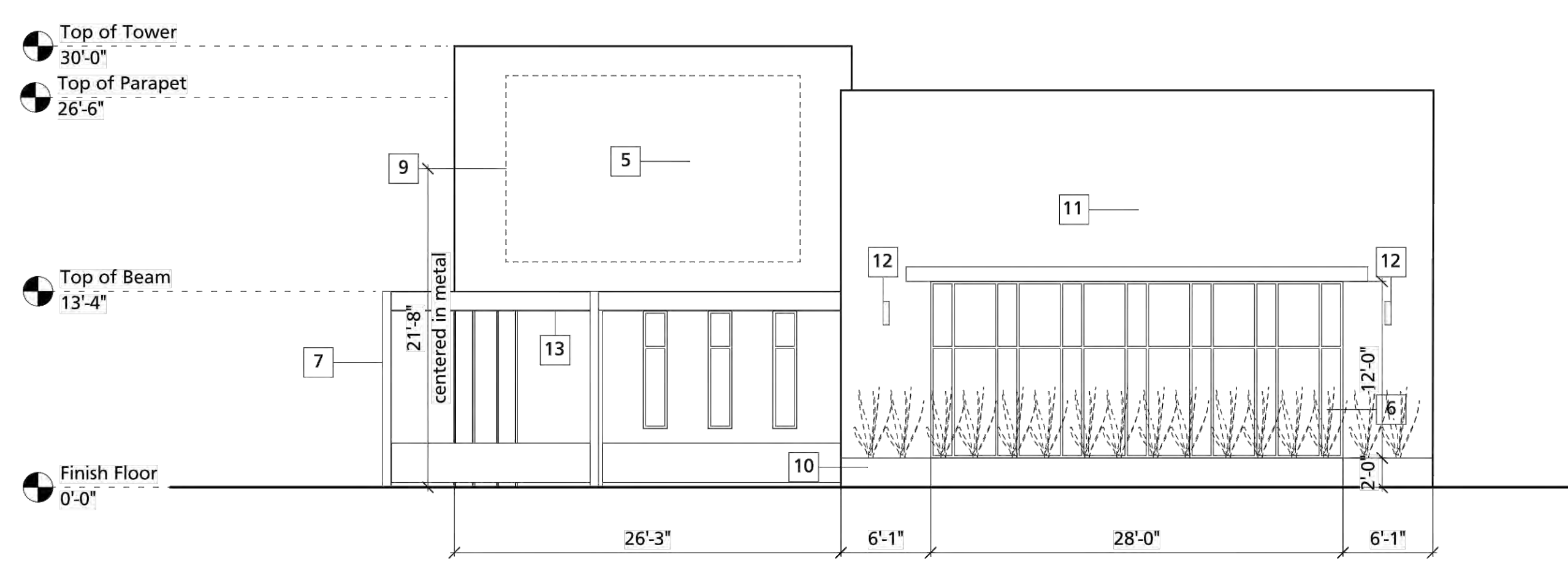
KEYED NOTES:

1. STUCCO WALL COLOR -blue
2. STUCCO WALL COLOR -gray
3. STUCCO WALL COLOR -brown
4. STUCCO WALL COLOR -na
5. PERFORATED STEEL MESH
6. STOREFRONT WINDOW
7. STEEL PATIO STRUCTURE
8. METAL AWNING
9. BUILDING SIGN
10. RAISED PLANTER
11. STONE VENEER
12. OUTDOOR WALL LIGHT
13. OUTDOOR STRIP LIGHT

- STUCCO WALL COLOR #1
- STUCCO WALL COLOR #2
- STUCCO WALL COLOR #3
- PERFORATED METAL #5
- STONE VENEER #11



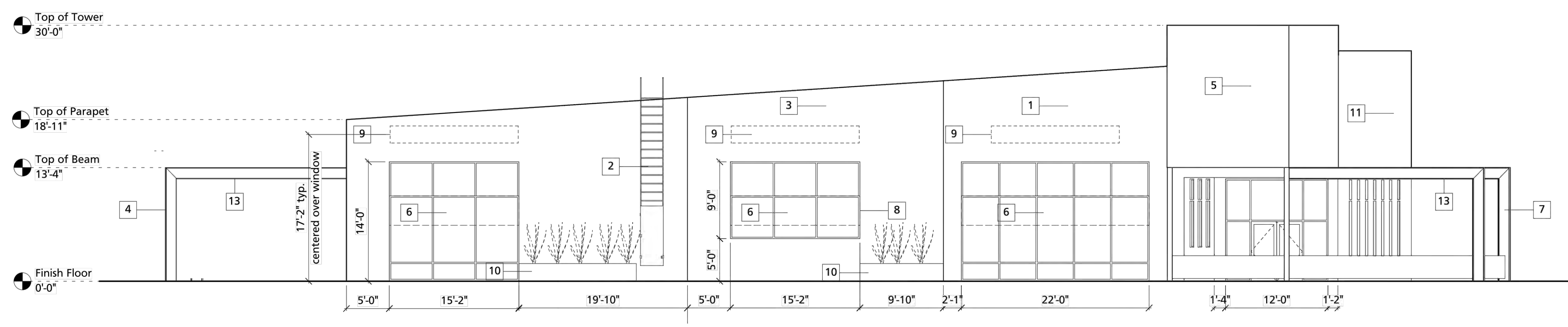
W West Elevation
Scale: 1/8" = 1'-0"



E East Elevation
Scale: 1/8" = 1'-0"

Per IDO 14-16-5-12 (F)(2)
Wall sign
zone MX-M 15% of Facade
North Facade = 1,867 sq. ft.
280 sq. ft. of sign allowed
proposed 1 @ 250 sq. ft.

Per IDO 14-16-5-11 (E)(2)(b)
Building Design
30% Windows 1,077sq. ft. (30% = 323 (336 sq. ft. provided)
Street Facing Facade Shall Incorporate 3 features
1. d Awnings over windows
2. e Sun Shelves
3. f Raised Planters



S South Elevation
Scale: 1/8" = 1'-0"

Per IDO 14-16-5-12 (F)(2)
Wall sign
zone MX-M 15% of Facade
South Facade = 2,547 sq. ft.
382 sq. ft. of sign allowed
proposed (3) @ 30 sq. ft. ea.

Per IDO 14-16-5-11 (E)(2)(b)
Building Design
30% Windows 2,119sq. ft. (30% = 635.7 (655 sq. ft. provided)
Street Facing Facade Shall Incorporate 3 features
1. d Awnings over windows
2. e Sun Shelves
3. f Raised Planters

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