

SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

The Site:
The property consists of 4.53 acres and is located at the southeast corner of Louisiana Boulevard and Summer Avenue. The legal description is Tracts B-1-A and B-1-B, Mesa Del Norte Addition. Tract B-1-B is fully developed.

Proposed Use:
Existing zoning is MX-M SU-3 MU-UPT-BUFFER as established by the Uptown Sector Development Plan. The proposed use shall be consistent with the SU-3 MU-UPT-BUFFER ZONE in the Uptown Sector Development Plan. MX-M ZONE

Applicable Plans:
The Uptown Sector Development Plan (Rank III) and the Comprehensive Plan (Rank I) applies to this site.

Pedestrian and Vehicular Ingress and Egress:
Vehicular Access and Circulation
Vehicular access and circulation to both Tracts is from Louisiana Boulevard via a 30 foot common access easement that provides internal access to Tract A, Tract B-1-A, and Tract B-1-B. Vehicular access is also provided from Constitution Avenue to Tract B-1-A.

Pedestrian Access and Circulation
Pedestrian access exists along Louisiana Boulevard, Summer Avenue, and Constitution Avenue. Internal circulation will be provided by sidewalks that are designed to meet the City's Zoning and Development Process Manual requirements.

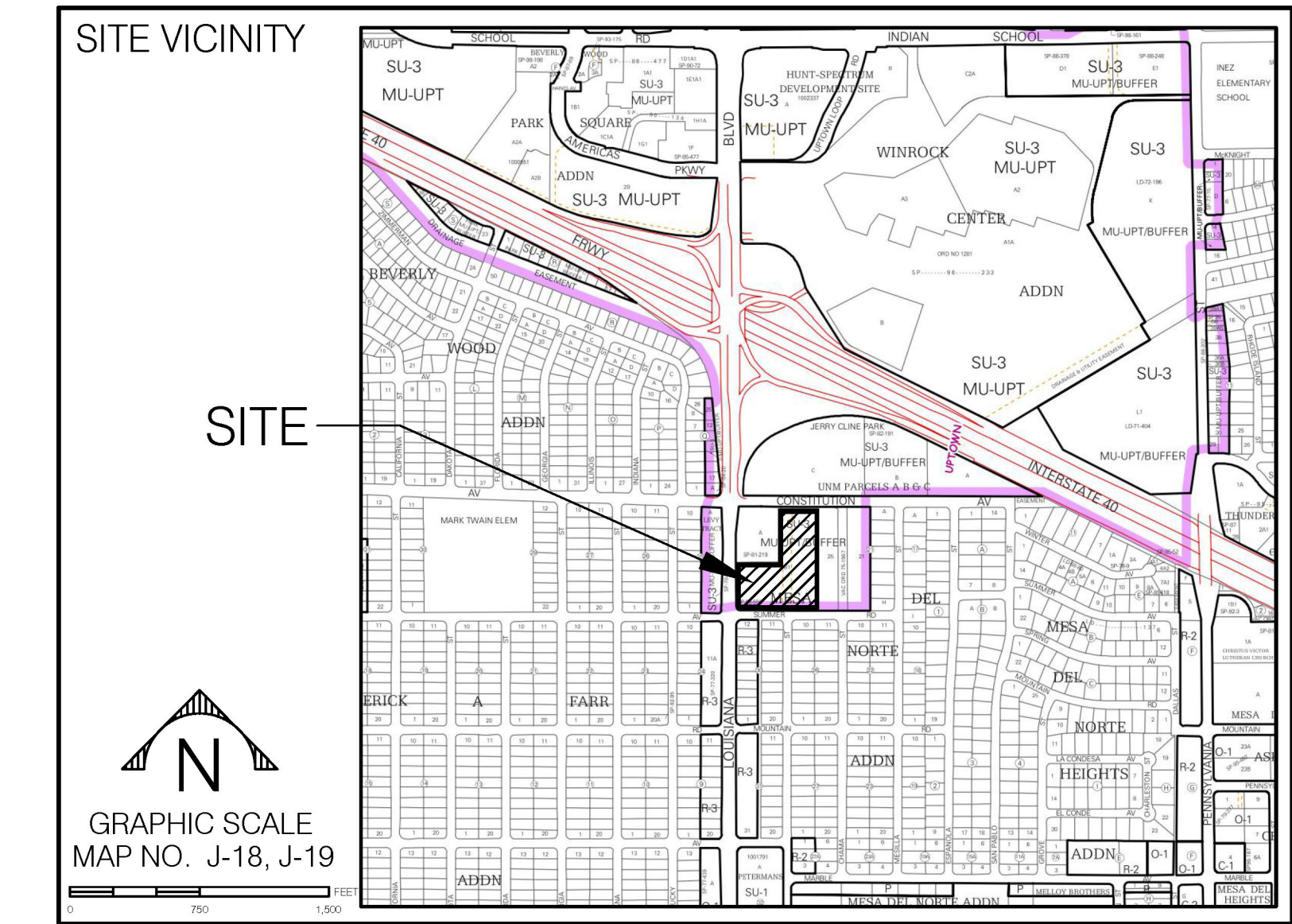
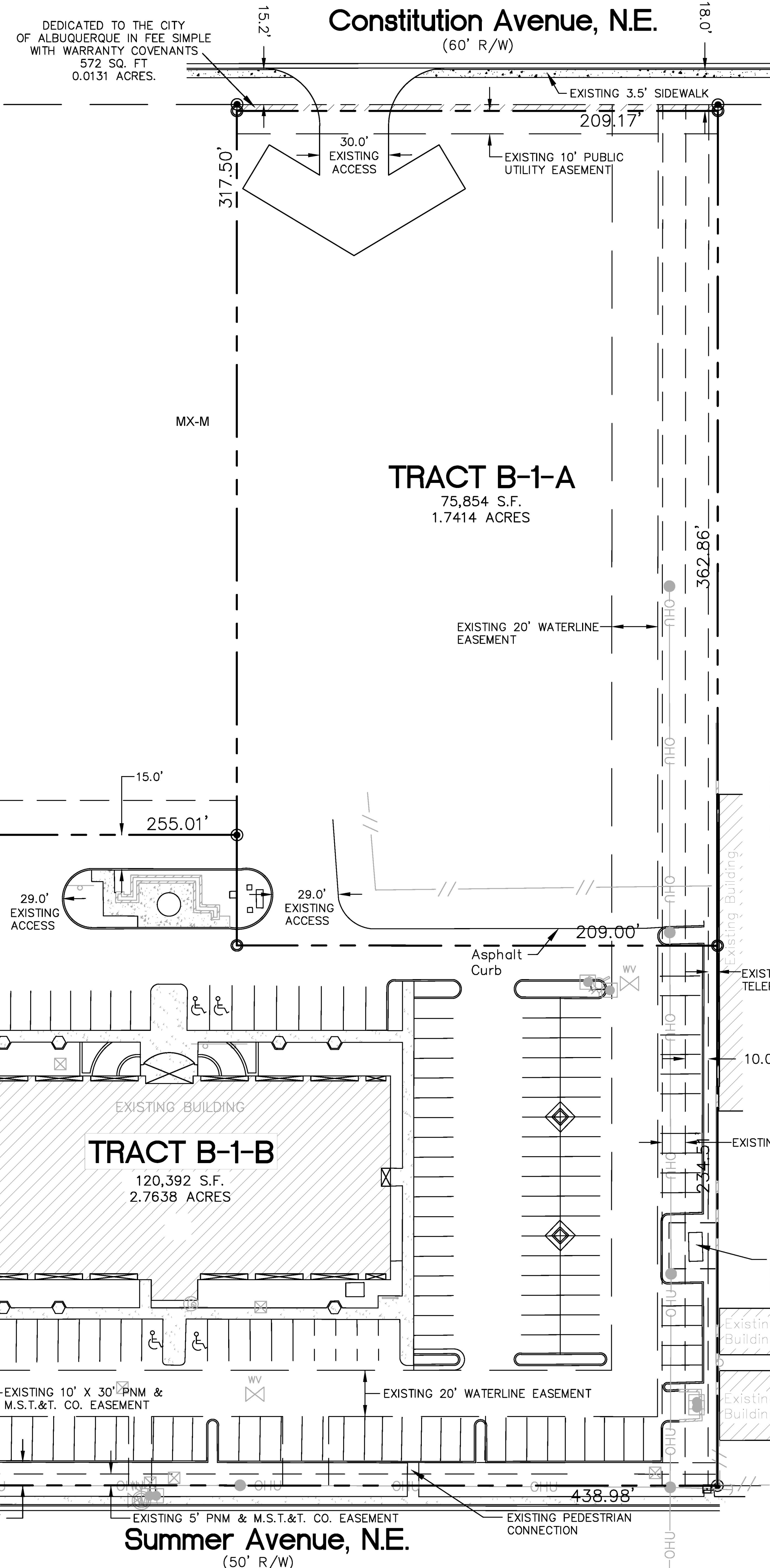
Transit
Transit routes 3 and 157 run along Louisiana Boulevard adjacent to this site. Bus stops are located at the southeast corner of Constitution Avenue / Louisiana Boulevard and southeast corner of Summer Avenue / Louisiana Boulevard for northbound travel and the southwest corner of Constitution Avenue / Louisiana Boulevard and south of the southwest corner of Summer Avenue / Louisiana Boulevard for southbound travel.

Building Heights and Setbacks:
Buildings shall not exceed 36 feet, subject to Buffer Setback regulations as provided in the Uptown Sector Development Plan. 65 FEET, WITH A STRUCTURED PARKING BONUS OF 12 FEET ALLOWED.

Maximum F.A.R.:
Consistent with the Uptown Sector Development Plan, there is no maximum F.A.R. for this property.

Landscape Plan:
The Landscape Plan shall be submitted with the individual Site Plans for Building Permit. Landscape plans shall be consistent with the City's Water Conservation Landscaping and Water Waste Ordinance and the Pollen Control Ordinance.

General Note:
A private reciprocal cross lot access, parking, and drainage easement is granted by plat for the benefit and use by and for the owners of Tracts B-1-A and B-1-B, and is to be maintained by said owners and consists of the entire parcel exclusive of the building areas.



PROJECT NUMBER: PR-2021-005689
Application Number: SI-2021-00987
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Jeanne Wolfenbarger</i>	Sep 17, 2021
Traffic Engineering, Transportation Division	Date
<i>Blaine Carter</i>	Sep 16, 2021
Parks and Recreation Department	Date
<i>Ernest Arroyo</i>	Sep 16, 2021
City Engineer	Date
<i>Charles Maestas</i>	Sep 16, 2021
Code Enforcement	Date
Solid Waste Management	Date
<i>Ernest Arroyo</i>	Sep 20, 2021
*DRB Chairperson, Planning Department	Date

PROJECT NUMBER: 1004532
Application Number: 10DRB-70324
Is an Infrastructure List required? () Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Alan Pente</i>	12-15-10
Traffic Engineering, Transportation Division	Date
<i>Alan Pente</i>	12/15/10
ABCWUA	Date
<i>Christina Sandoval</i>	12/15/10
Parks and Recreation Department	Date
<i>Bradley S. Bingham</i>	12/15/10
City Engineer	Date
<i>N/A</i>	
* Environmental Health Department-(conditional)	Date
<i>N/A</i>	
Solid Waste Management	Date
<i>Jack Chan</i>	1-13-11
DRB Chairperson, Planning Department	Date

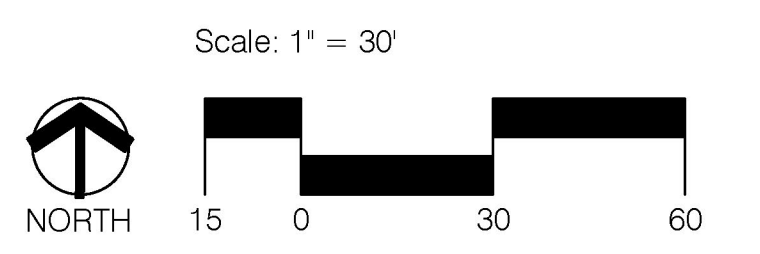
Note: The Existing Development on Tract B-1-B is subject to a Site Development Plan for Building Permit (Z-88-9); that site plan has expired for Tract B-1-A except for the portion covered by the phase line; development of Tract B-1-A will be subject to this Site Development Plan for Subdivision.

TRACT B-1-A & TRACT B-1-B, MESA DEL NORTE SUBDIVISION

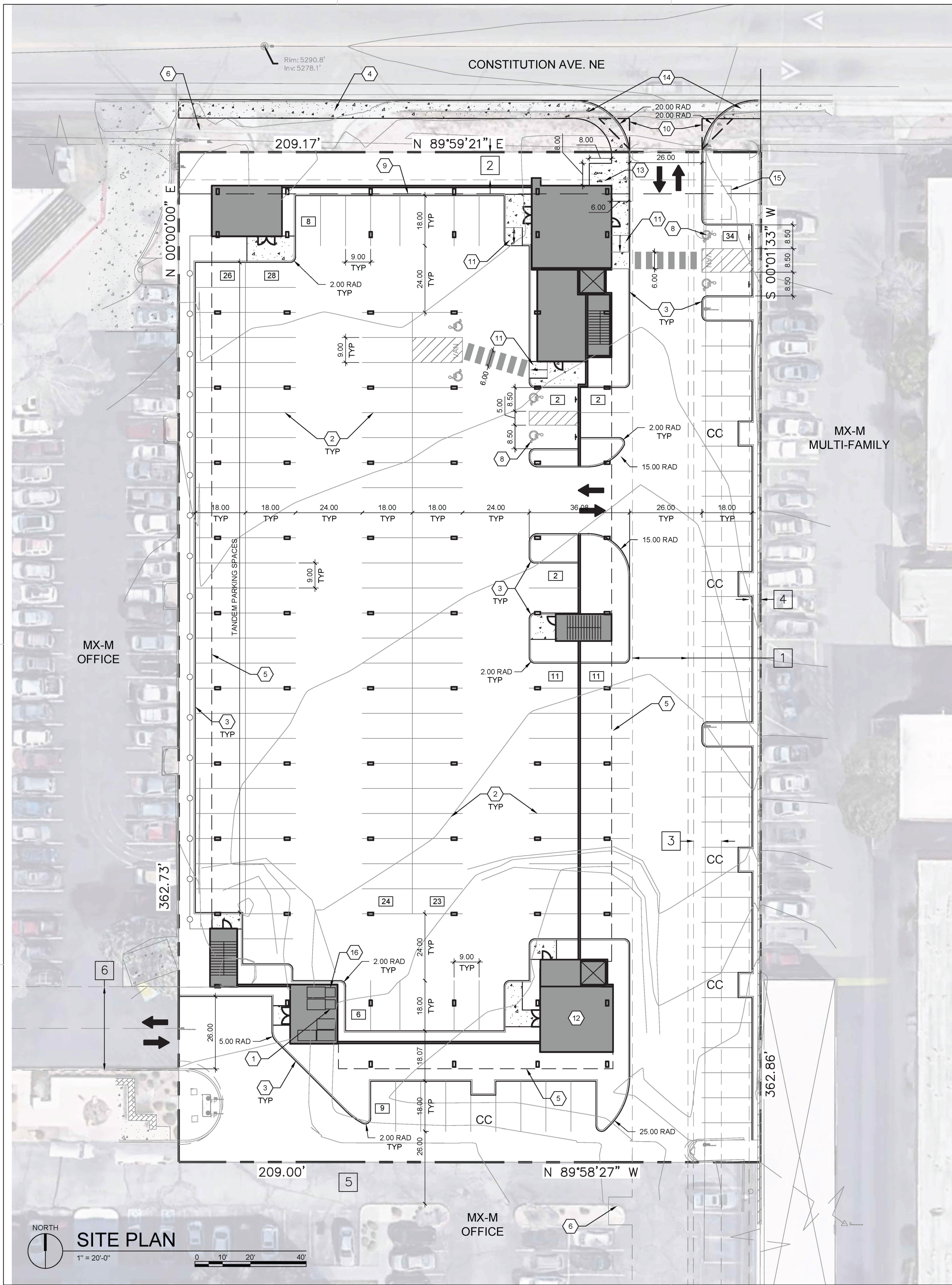
SITE PLAN FOR SUBDIVISION

Prepared For:
Ashcraft Real Estate
8200 Mountain Road NE
Albuquerque, NM 87110

CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com



1004532



SHEET KEYED NOTES

- TRASH CHUTE AND 2 YARD TRASH COMPACTOR
- PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
- CONCRETE CURB & GUTTER, SEE D3/SDP1.2
- 6" WIDE CONCRETE SIDEWALK SEE D5/SDP1.2
- BUILDING ABOVE
- EXISTING FIRE HYDRANT, SEE CIVIL
- NEW F.D.C. SEE CIVIL
- ADA PARKING, SEE A5/SDP1.2
- 15' MAX FRONT SETBACK
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- ACCESSIBLE RAMP, SEE B3/SDP1.2
- BIKE STORAGE ROOM
- BIKE RACK, SEE C3/SDP1.2
- PERPENDICULAR CURB RAMP'S ONE SIDE PER C.O.A. DETAIL 2441 AND PARALLEL CURB RAMP ON ONE SIDE PER C.O.A. DETAIL 2443.
- WATER METER VAULT, SEE CIVIL
- TRASH CHUTE FOR RECYCLE ONLY AND 2 YARD COMPACTOR.

EASEMENT NOTES

- EXISTING 20' WATERLINE EASEMENT
- EXISTING 10' P.U.E
- EXISTING 10' UTILITY EASEMENT
- EXISTING 4' UNDERGROUND TELEPHONE EASEMENT
- PRIVATE RECREATIONAL CROSS LOT ACCESS, PARKING, AND DRAINAGE EASEMENT FILED ON MAY 24, 2011, IN BOOK 2011C, PAGE 48, FOR THE BENEFIT AND USE BY AND FOR THE OWNERS OF TRACTS B-1-A AND B-1-B, AND IS TO BE MAINTAINED BY SAID OWNERS AND CONSISTS OF THE ENTIRE PARCEL EXCLUSIVE OF THE BUILDING AREA, BLANKET IN NATURE
- EXISTING 30' COMMON ACCESS EASEMENT

AMENITIES

AMENITIES ON-SITE WILL INCLUDE AT FIRST LEVEL COVERED PARKING GARAGE, LEASING OFFICE, MAIL AND PACKAGE CENTER AND BIKE STORAGE ROOM. AT SECOND FLOOR LEVEL THERE IS A CLUBHOUSE WITH GATHERING SPACE AND FITNESS CENTER. IN ADDITION TO THE CLUBHOUSE, OUTDOOR AMENITIES INCLUDE A SWIMMING POOL AND SPA, COVERED GATHERING AREAS AND LANDSCAPING.

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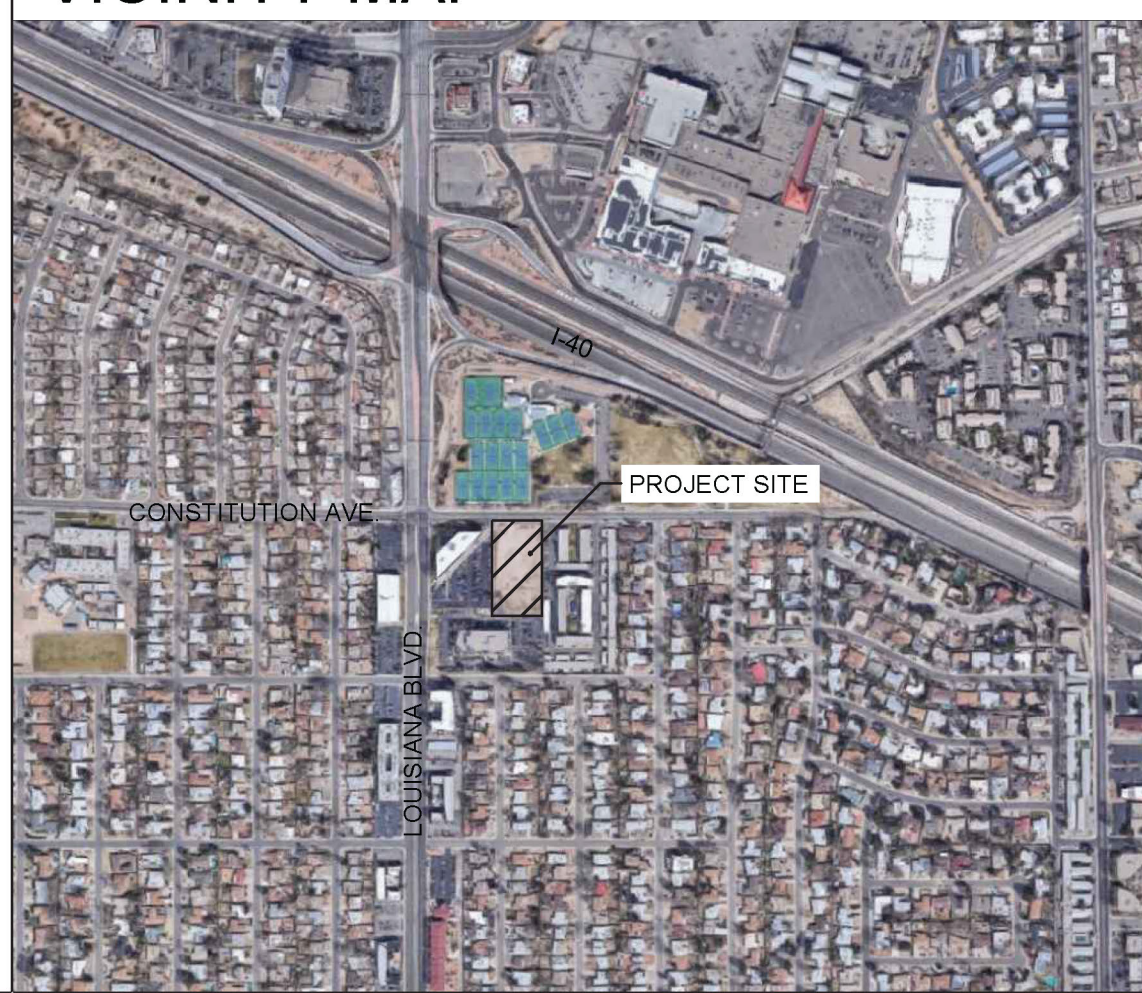
DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Jeanne Wolfenbarger</i>	Sep 17, 2021
Traffic Engineering, Transportation Division	Date
<i>Blaine Carter</i>	Sep 16, 2021
ABCWUA	Date
<i>Chief [Signature]</i>	Sep 16, 2021
Parks and Recreation Department	Date
<i>Ernest Arriaga</i>	Sep 16, 2021
City Engineer/Hydrology	Date
<i>Charles Maestas</i>	Sep 16, 2021
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
<i>Herman Gallegos</i>	09-15-21
Solid Waste Management	Date
<i>[Signature]</i>	Sep 20, 2021
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary

2/16/2018

VICINITY MAP



GENERAL NOTES

- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 14-16-5-8 OUTDOOR LIGHTING.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- ALL PUBLIC INFRASTRUCTURE LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE INCLUDED IN A PUBLIC WORK ORDER.

PROJECT DATA

ZONING:
IDO - MIXED USE - MODERATE INTENSITY ZONING DISTRICT (MX-M)
LANDUSE: MULTIFAMILY RESIDENTIAL

PLANNING CONTEXT:
SITE IS WITHIN THE UPTOWN URBAN CENTER

TRANSIT:
PROJECT SITE IS WITHIN A MAJOR TRANSIT CORRIDOR (LOUISIANA BOULEVARD). BUS ROUTE 12 IS ALONG CONSTITUTION, WEST OF LOUISIANA BOULEVARD. BUS ROUTE 157 IS ALONG LOUISIANA. A BUS STOP IS LOCATED APPROXIMATELY 255 FEET FROM THE SUBJECT SITE AT THE LOUISIANA/CONSTITUTION INTERSECTION.

BIKE FACILITIES:
A BIKE ROUTE IS WITHIN CONSTITUTION AVENUE EAST OF LOUISIANA BOULEVARD AND BIKE LANES ARE WITHIN CONSTITUTION AVENUE WEST OF LOUISIANA BOULEVARD. THE PASEO DE LAS MONTANAS MULTI-USE TRAIL IS NORTH OF THE SUBJECT SITE, WHICH CROSSES OVER I-40 AND CONTINUES ALONG THE FRONTAGE ROAD AS THE 46 TRAIL.

LEGAL DESCRIPTION:
Tract B-1-A, Mesa Del Norte Addition, City of Albuquerque, Bernalillo County, New Mexico

SITE AREA: 1.74 ACRES
ZONE ATLAS: J-19-Z
SETBACKS: FRONT= 0' MIN / 15' MAX, SIDE= 5' MIN / N/A MAX, REAR= 15'

BUILDING HEIGHT:
MAXIMUM ALLOWED: 65'-0" UC-MS-PT + 12'-0" STRUCTURED PARKING BONUS: 77'-0"
ACTUAL HEIGHT: 69'-1"

SPRINKLERED: YES, NFPA 13

BUILDING OCCUPANCY: S-2 COVERED PARKING, R-2 MULTIFAMILY RESIDENTIAL

CONSTRUCTION TYPE: 1 STORY COVERED PARKING (PODIUM) - TYPE IA
4 STORY RESIDENTIAL BUILDING - TYPE VA

BUILDING SF:
FIRST LEVEL - COVERED PARKING (PODIUM) 44,987 GSF
SECOND LEVEL 34,015 GSF
THIRD LEVEL 34,350 GSF
FOURTH LEVEL 34,350 GSF
FIFTH LEVEL 34,350 GSF
TOTAL 182,052 GSF

PARKING CALCULATION: (TABLE 5-5-1, UC-MS-PT)
REQUIRED SPACES: 151 SPACES
1 SPACES / DWELLING UNITS: 151 X 1 = 151 SPACES
PROVIDED PARKING = 187 TOTAL SPACES
ACCESSIBLE PARKING: (ADA 208.2.3)
2% OF UNITS = 151 X .02 = 3.02 = 4 SPACES REQUIRED
2 STANDARD SPACES + 4 VAN ACCESSIBLE SPACES = 6 SPACES PROVIDED

BIKE PARKING REQUIRED = 16 SPACES
(10% OF REQUIRED OFF-STREET PARKING = 151 X 0.10 = 16 SPACES)
BIKE PARKING PROVIDED = 16 SPACES

UNIT DATA

UNIT TYPE	DESCRIPTION	GSF	#UNITS	TOTAL
STUDIO	STUDIO	513 SF	51	26,418 SF
1-1B	1 BEDROOM / 1 BATHROOM	698 SF	16	11,168 SF
1-1C	1 BEDROOM / 1 BATHROOM	696 SF	15	10,455 SF
1-1D	1 BEDROOM / 1 BATHROOM	639 SF	17	10,897 SF
1-1E	1 BEDROOM / 1 BATHROOM	626 SF	15	9,390 SF
1-1F	1 BEDROOM / 1 BATHROOM	764 SF	3	2,343 SF
1-1G	1 BEDROOM / 1 BATHROOM	753 SF	4	2,964 SF
1-1H	1 BEDROOM / 1 BATHROOM	700 SF	4	2,800 SF
1-1J	1 BEDROOM / 1 BATHROOM	667 SF	4	2,668 SF
2-2C	2 BEDROOM / 2 BATHROOM	1,014 SF	22	22,990 SF
			TOTAL: 151 UNITS	102,625 SF

OPEN SPACE CALCULATIONS

TABLE 2-4-5 / MX-M ZONING	
USABLE OPEN SPACE	
1 BD, 225 SF PER UNIT	225 SF X 129 UNITS = 29,025 SF
2 BD, 285 SF PER UNIT	285 SF X 22 UNITS = 6,270 SF
TOTAL	= 35,295 SF
UC-MS-PT: 50% REDUCTION	= 35,295 SF X 50% = 17,648 SF
REQUIRED OPEN SPACE:	= 17,648 SF
PROVIDED OPEN SPACE:	
LEVEL 1	= 10,138 SF
LEVEL 2	= 12,825 SF
TOTAL	= 22,963 SF

LEGEND

- CONCRETE
- HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
- FIRELANE STRIPING MARKING FIRE ACCESS LANE, REF: A4/SDP1.2
- PROPERTY LINE
- FIRE HYDRANT
- POST INDICATOR VALVE (PIV), RE: CONCEPTUAL UTILITY PLAN
- FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED
- BIKE RACK
- SIDEWALK RAMP (ARROW POINTS DOWN)
- TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
- 6' TALL DECORATIVE METAL FENCE
- ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2
- COMPACT PARKING, REF: D5/SDP1.3
- LIGHT POLE
- 6" BOLLARD WITH SIGN
- 6' WIDE PAINTED CROSSWALK, SEE A3/SDP1.2



ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT



ENGINEER

PROJECT

MARKANA FLATS
LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110

SITE PLAN - DRB

REVISIONS

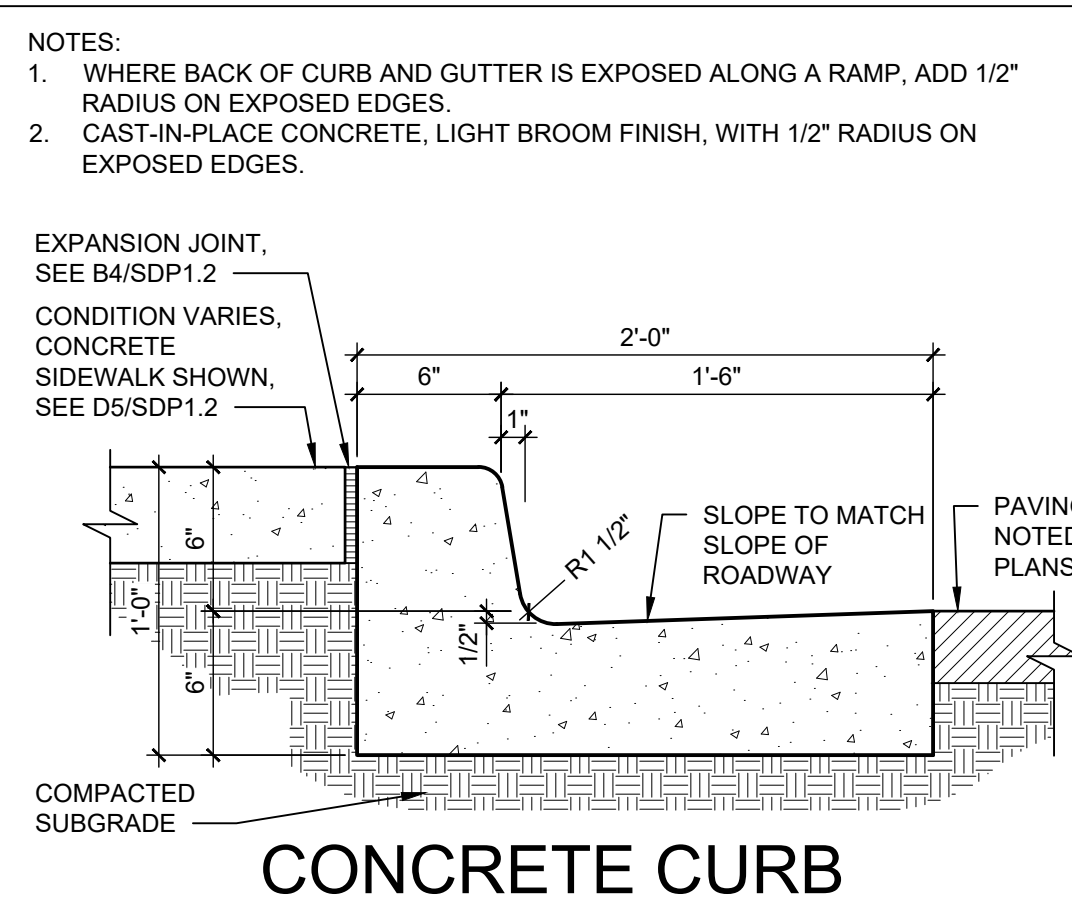
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REVIEWED BY DM
DATE 7/1/2021
PROJECT NO. 21-0020
DRAWING NAME

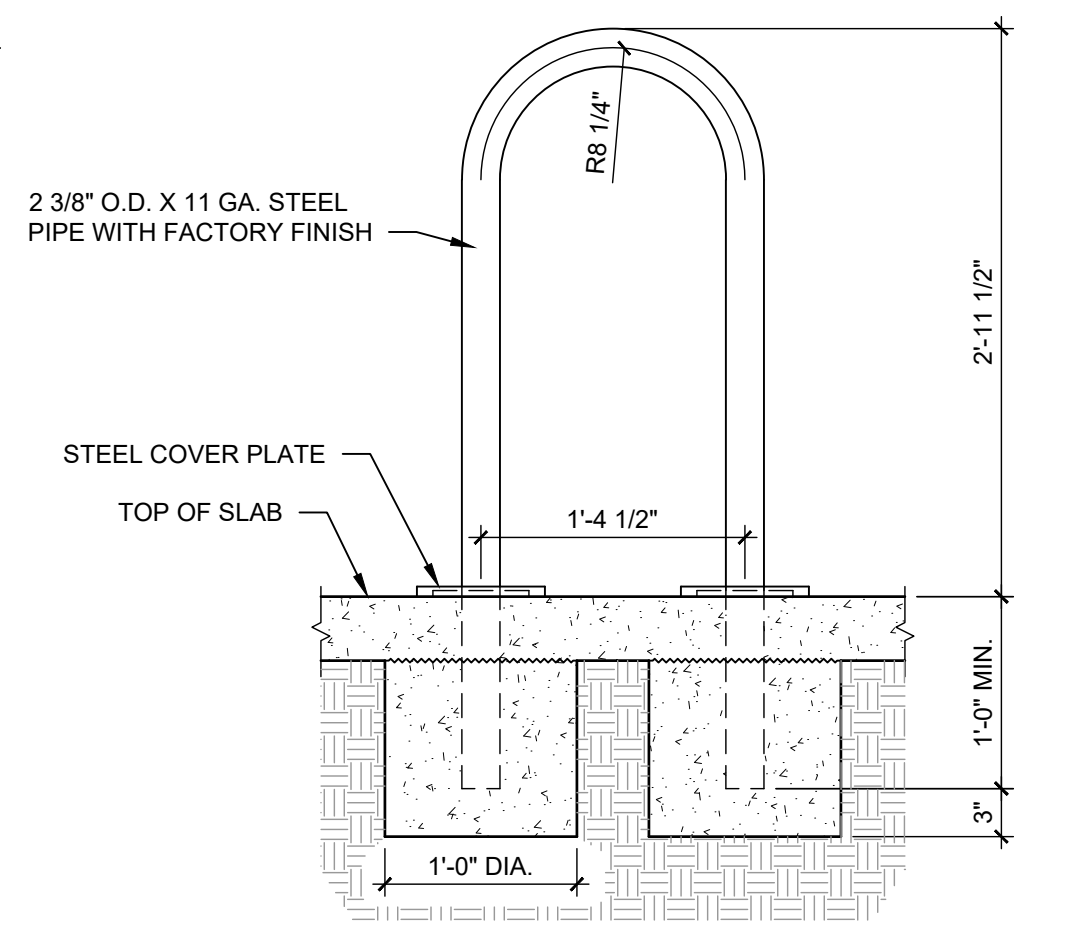
ARCHITECTURAL
SITE PLAN

SHEET NO.
SDP1.1
OF

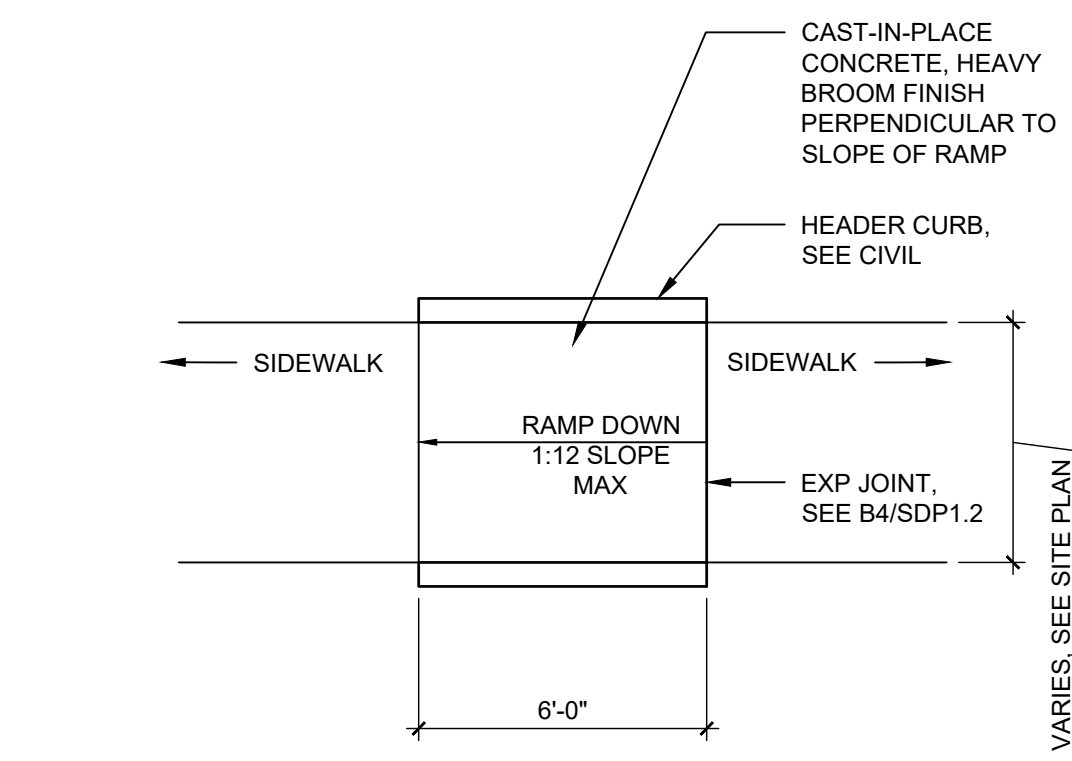




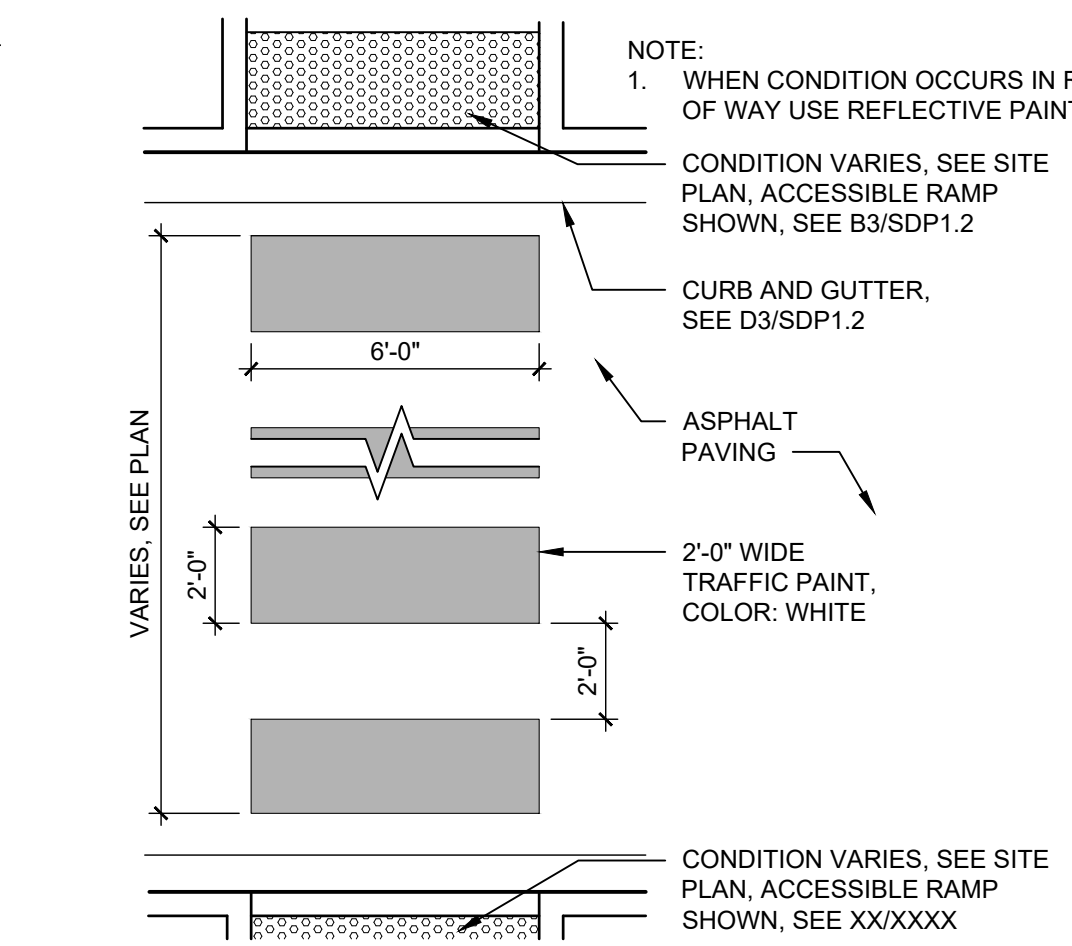
D3 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"



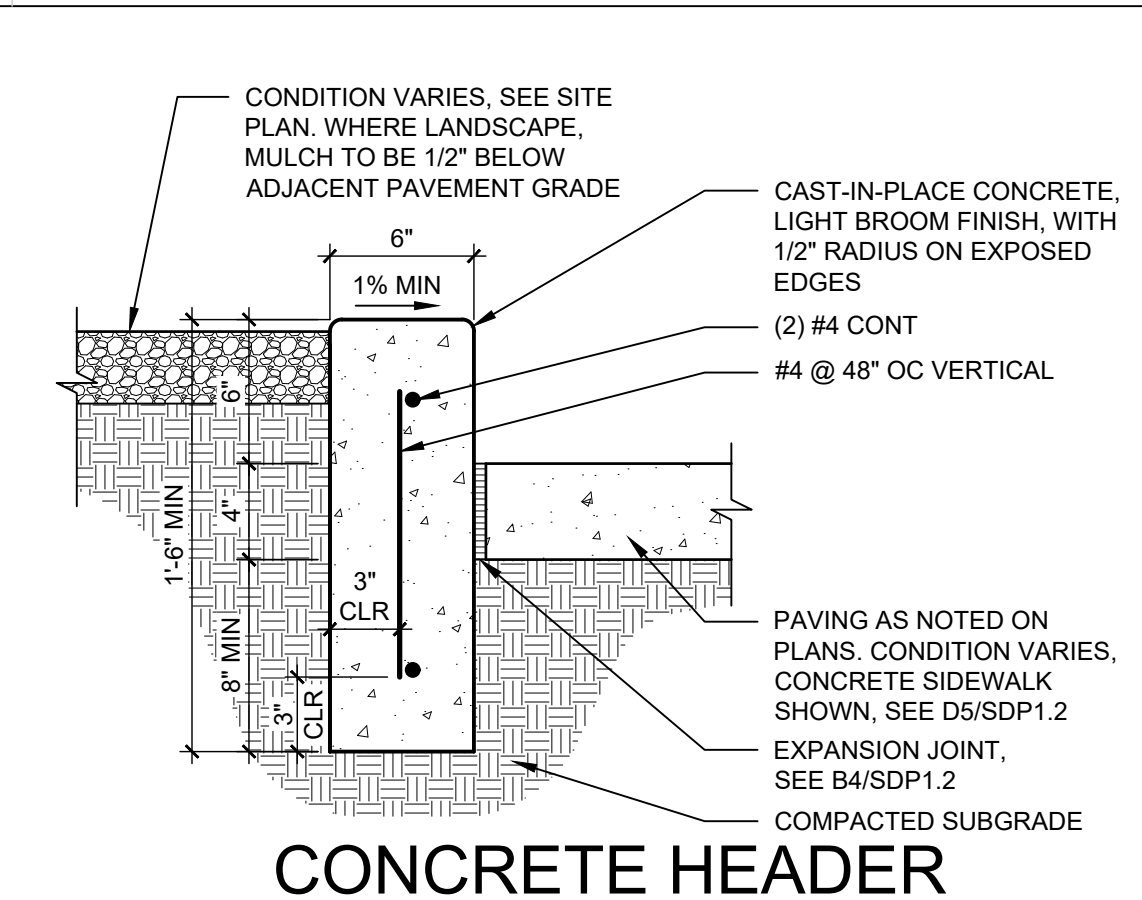
C3 BICYCLE RACK
1" = 1'-0"



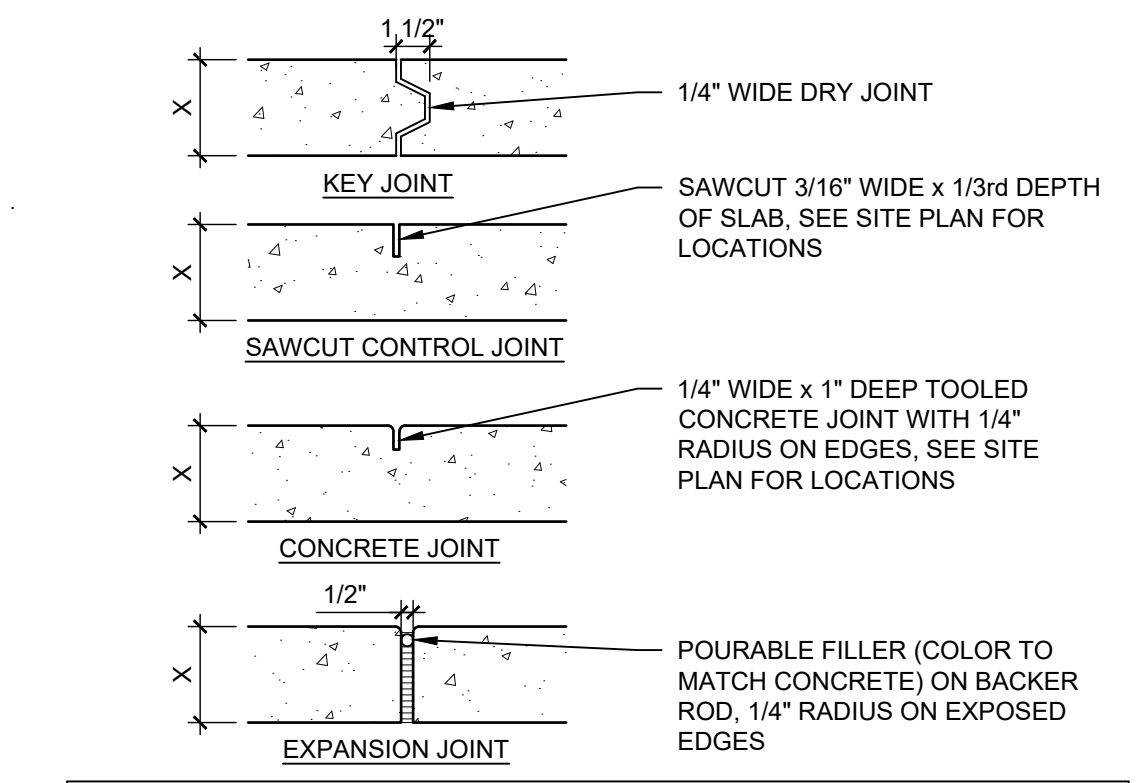
B3 ACCESSIBLE RAMP
1/4" = 1'-0"



A3 PAINTED CROSSWALK
1/4" = 1'-0"

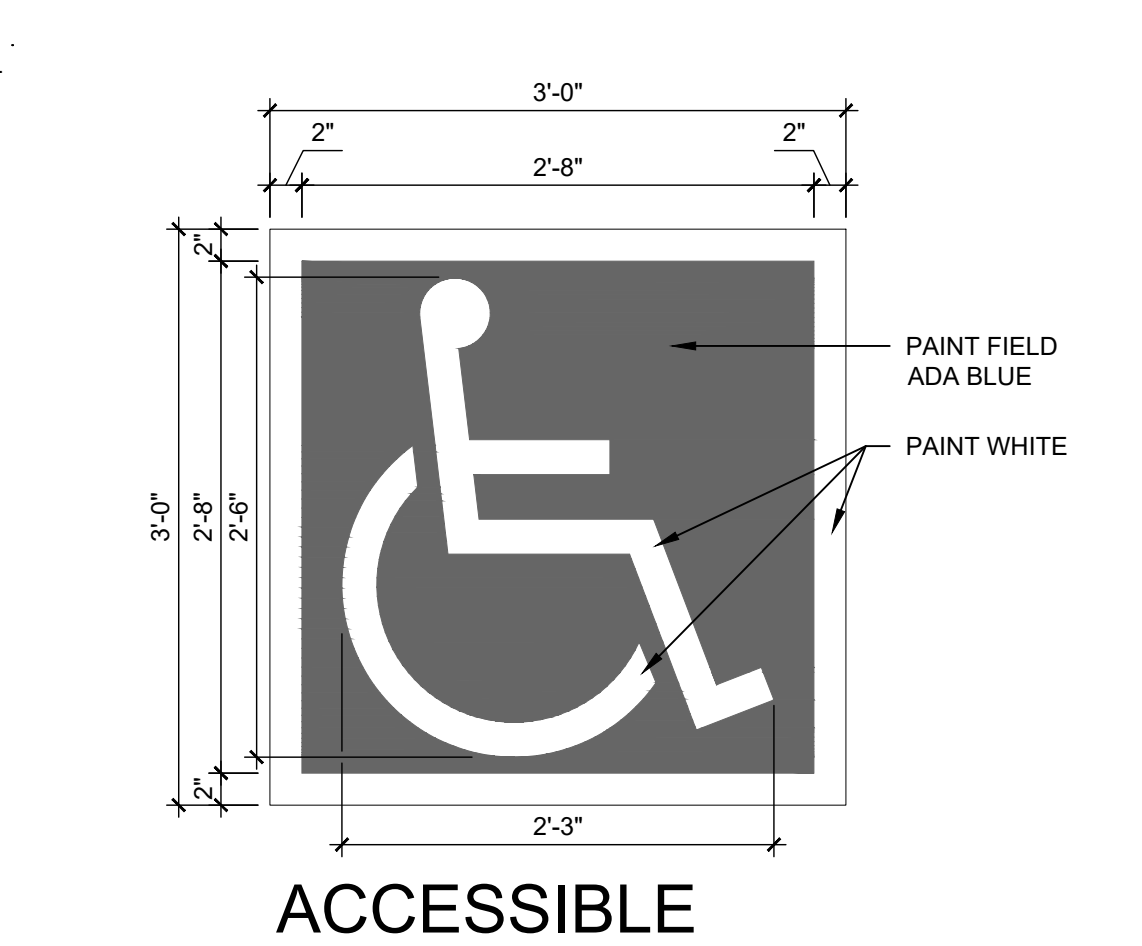


D4 CONCRETE HEADER CURB
1 1/2" = 1'-0"

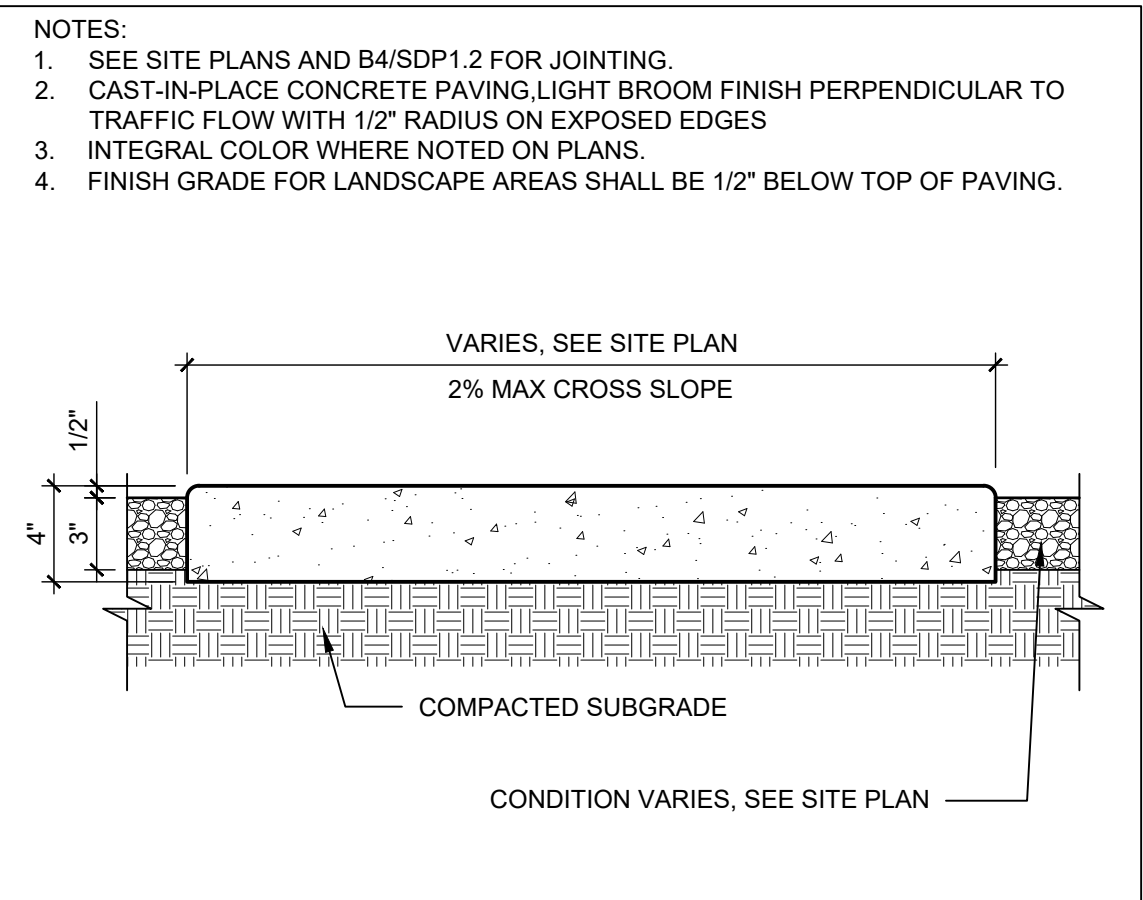


CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS			
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON
CONTROL JOINTS	4' OC	5' OC	8' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC

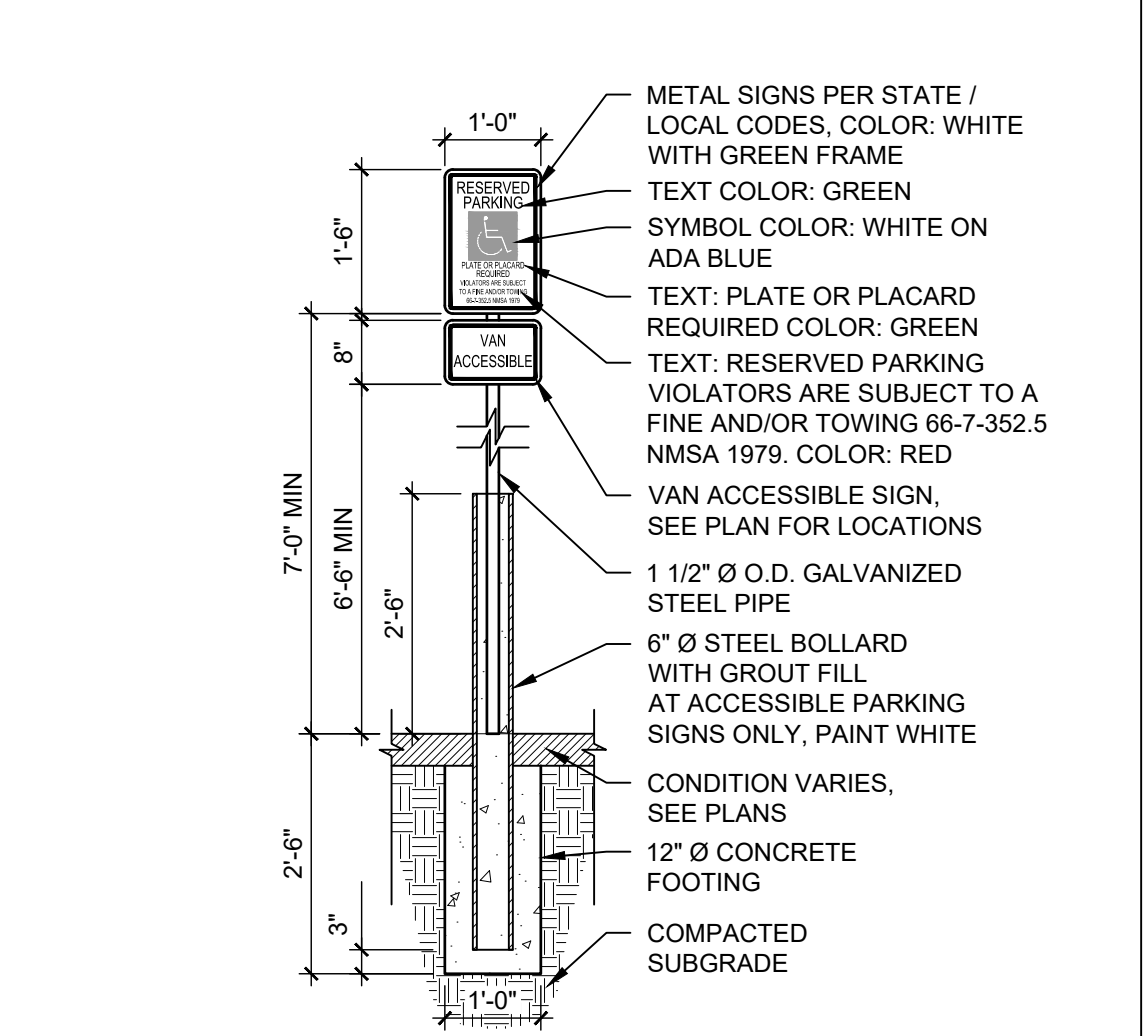
B4 CONCRETE JOINTS & JOINT SPACING
1 1/2" = 1'-0"



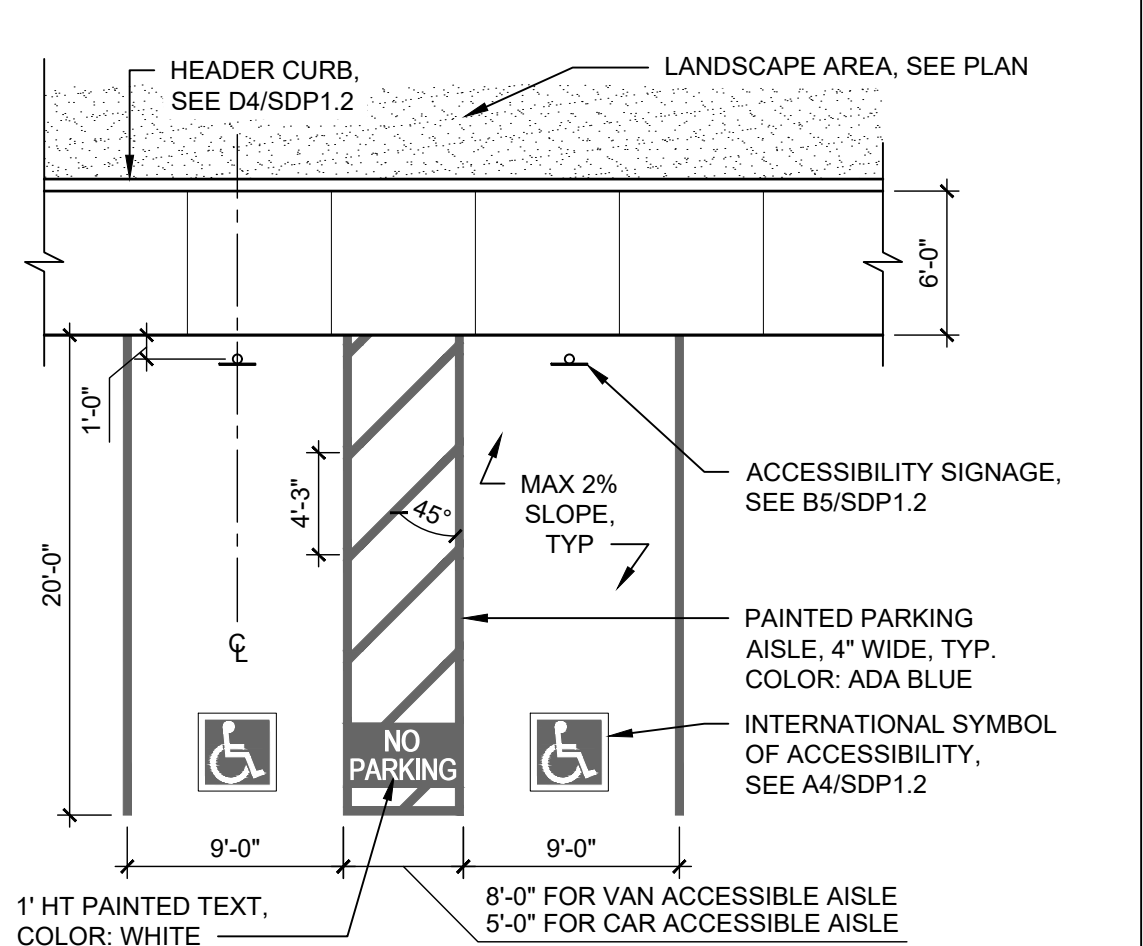
A4 ACCESSIBLE PAVEMENT MARKING
1" = 1'-0"



D5 CONCRETE SIDEWALK
1 1/2" = 1'-0"



B5 BOLLARD MOUNTED ACCESSIBLE SIGN
1/2" = 1'-0"



A5 ACCESSIBLE PARKING
1/8" = 1'-0"



SEAL

PROJECT

MARKANA FLATS
LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110

DRB SUBMITTAL

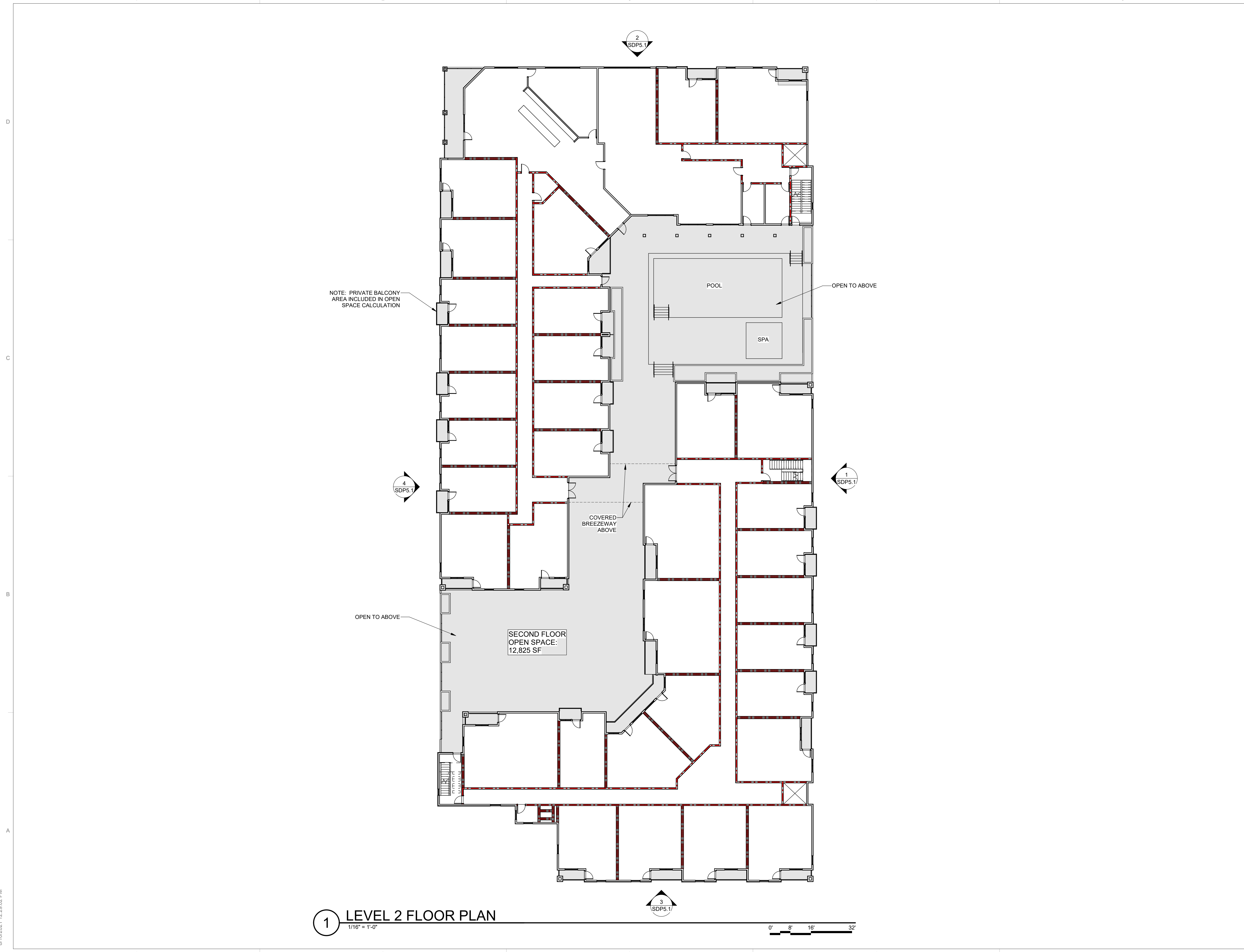
REVISIONS

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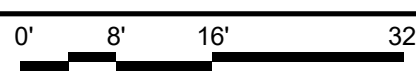
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REVIEWED BY DM
DATE 6/30/2021
PROJECT NO: 21-0020

DRAWING NAME
LEVEL 2 FLOOR
PLAN

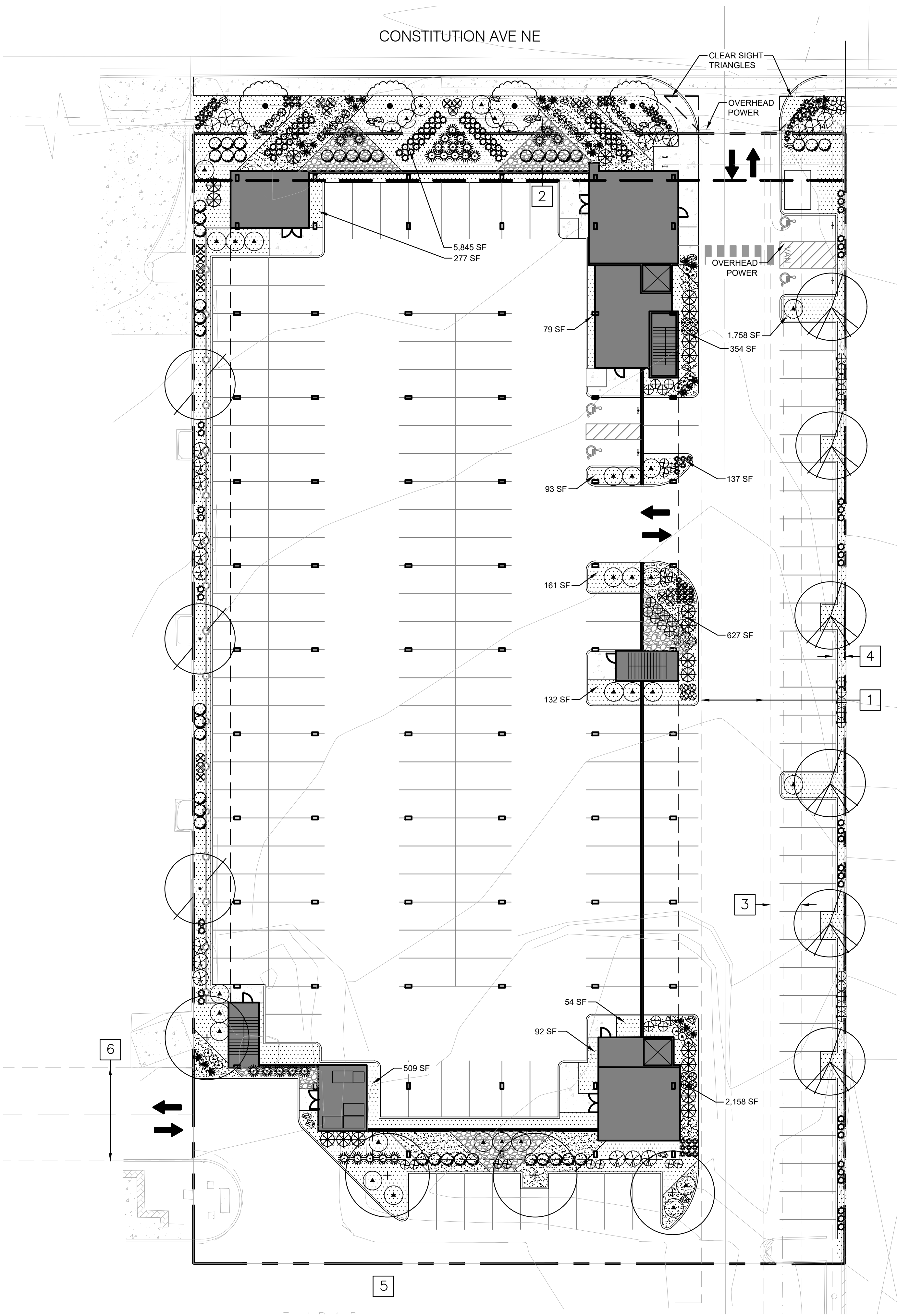
SHEET NO
SDP4.1



1 LEVEL 2 FLOOR PLAN
1/16" = 1'-0"



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GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, A SEPARATE VALVE(S) WILL BE PROVIDED AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 10 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS. THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

ORGANIC MULCH AT TREES:
ORGANIC MULCH IS REQUIRED AS GROUND COVER UNDER TREES WITHIN A 5-FOOT RADIUS AROUND THE TREE TRUNK, BUT NOT DIRECTLY AGAINST THE TRUNK. IN THESE AREAS, WEED BARRIER FABRIC IS PROHIBITED.

LANDSCAPE CALCULATIONS

SITE AREA (1.74 AC)	75,850 SF
BUILDING FOOTPRINT	-44,987 SF
NET LOT	30,863 SF
REQUIRED/PROVIDED LANDSCAPE	3,087 SF (10%)/12,278 SF (40%)

*NOTE: SITE IS LOCATED IN THE UPTOWN COMPREHENSIVE PLAN URBAN CENTER

COVERAGE	
REQUIRED/PROVIDED VEGETATIVE COVER	9,209 SF (75%) / 12,051 SF (98%)
REQUIRED/PROVIDED GROUND-LEVEL COVER	2,302 SF (25%) / 3,311 SF (36%)

PARKING LOT TREES	
PARKING LOT SPACES PROVIDED	82
REQUIRED/PROVIDED PARKING LOT TREES (1/10 SPACES)	8/13

PARKING LOT AREA	
THE SITE IS LOCATED IN THE UPTOWN URBAN CENTER. AT LEAST 5 PERCENT OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEWER SPACES SHALL BE LANDSCAPED.	
PARKING LOT AREA	22,274 SF
REQUIRED/PROVIDED PARKING LOT LANDSCAPE	1,114 SF (5%)/ 5,312 SF (24%)

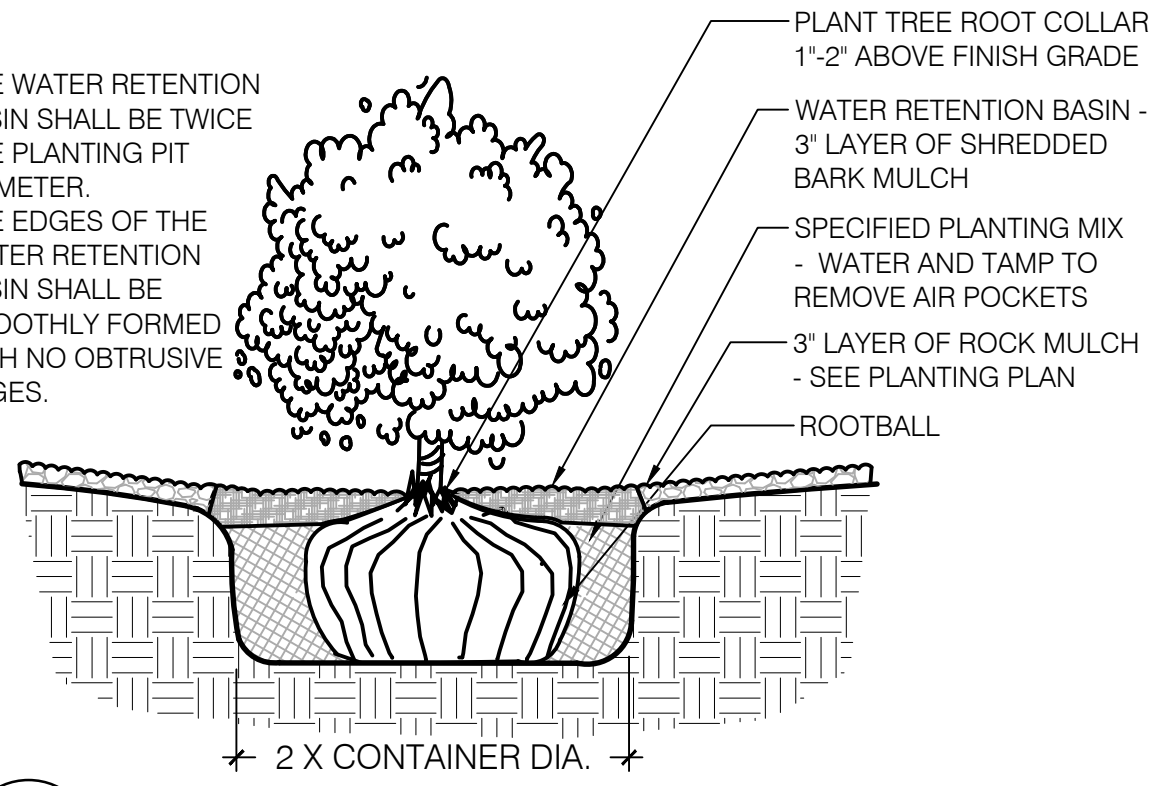
STREET TREES
CONSTITUTION AVE NE AT THIS SITE IS CATEGORIZED AS A LOCAL STREET AND NO STREET TREES ARE REQUIRED.

EASEMENT NOTES

- EXISTING 20' WATERLINE EASEMENT
- EXISTING 10' P.U.E.
- EXISTING 10' UTILITY EASEMENT
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- EXISTING 30' COMMON ACCESS EASEMENT

NOTES:

- THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
- THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.



A SHRUB PLANTING

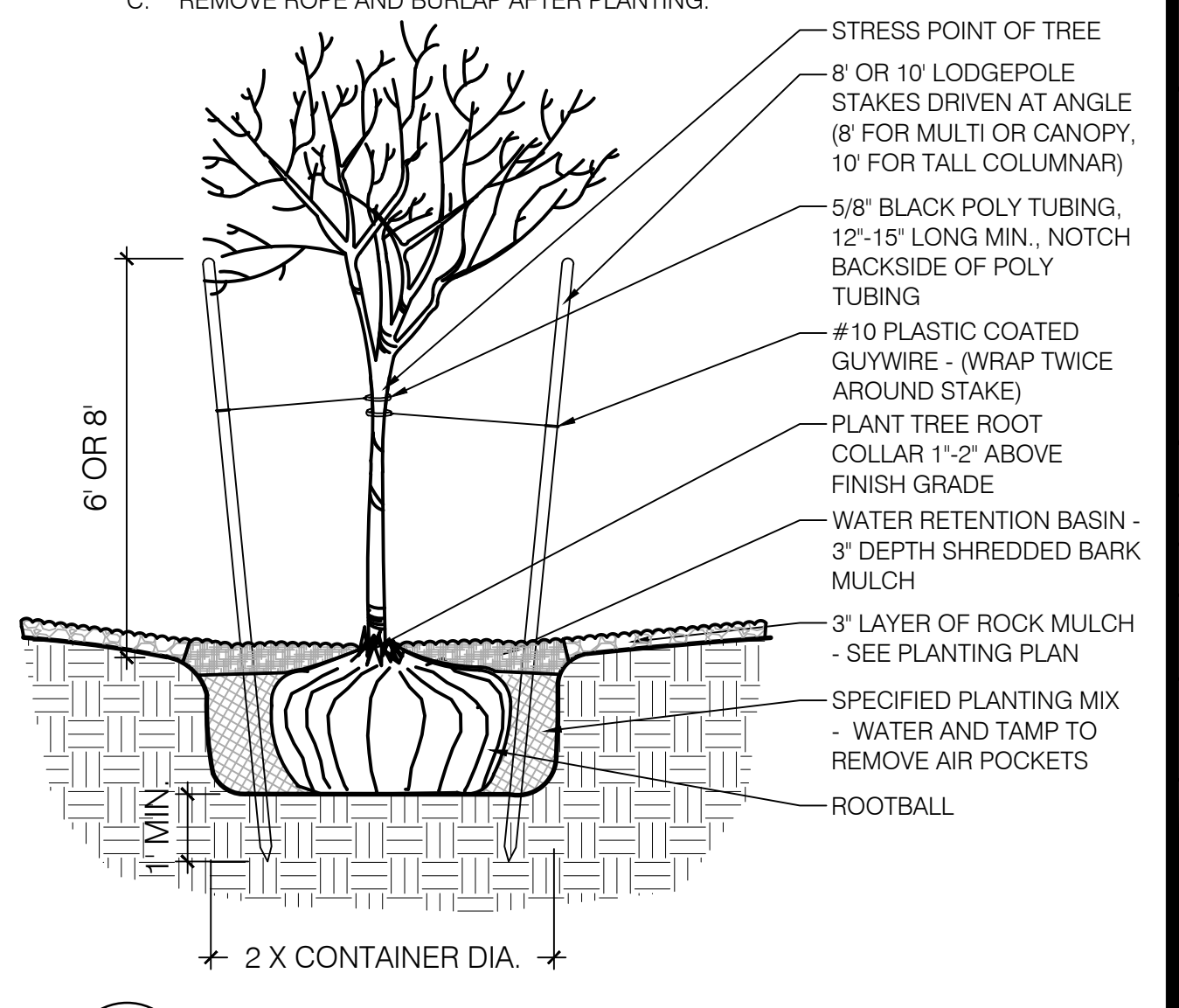
SCALE: N.T.S.

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
TREES				
3	(Symbol)	CELTIS RETICULATA NETLEAF HACKBERRY (LM)	2' B&B	25 HT. X 25' SPR.
6	(Symbol)	CHILOPSIS LINEARIS DESERT WILLOW (LM)	2' B&B	20 HT. X 25' SPR.
19	(Symbol)	JUNIPERUS SCOOPULORUM WICHITA BLUE WICHITA BLUE JUNIPER (M)	24' BOX	10' HT. X 4' SPR. (FEMALE ONLY)
4	(Symbol)	PRUNUS CERASTIFERA PURPLELEAF PLUM (M)	2' B&B	20 HT. X 20' SPR.
4	(Symbol)	QUERCUS FUSIFORMIS ESCAPMENT LIVE OAK (M)	2' B&B	25 HT. X 30' SPR.
SHRUBS				
41	(Symbol)	BUDDLEIA DAVIDII NAN. NANHO PURPLE PURPLE BUTTERFLY BUSH (M)	5-GAL.	4' HT. X 4' SPR.
21	(Symbol)	CYTISUS X PRAECOX ALLGOLD/ ALLGOLD BROOM (M)	5-GAL.	5' HT. X 5' SPR.
31	(Symbol)	NANDINA DOMESTICA GULF STREAM GULF STREAM NANDINA (M)	5-GAL.	3' HT. X 3' SPR.
32	(Symbol)	RHUS TRILOBATA AUTUMN AMBER CREEPING THREE-LEAF SUMAC (L+)	5-GAL.	18' HT. X 6' SPR.
DESERT ACCENTS				
27	(Symbol)	HESPERALOE PARVIFLORA RED FLOWERING YUCCA (L+)	5-GAL.	4' HT. X 4' SPR.
26	(Symbol)	YUCCA RUPICOLA TWISTLEAF YUCCA (RW)	5-GAL.	2' HT. X 3' SPR.
ORNAMENTAL GRASSES				
101	(Symbol)	PANICUM VIRGATUM SHENANDOAH SHENANDOAH SWITCH GRASS (M)	1-GAL.	3' HT. X 2' SPR.
20	(Symbol)	MUHLENBERGIA CAPILLARIS 'LENCA' REGAL MIST® PINK MUHLY GRASS (M)	1-GAL.	3' HT. X 3' SPR.
75	(Symbol)	FESTUCA GLAUCA ELIJAH BLUE ELIJAH BLUE FESCUE (M)	1-GAL.	1' HT. X 1' SPR.
FLOWERING PLANTS				
11	(Symbol)	ACHILLEA MOONSHINE MOONSHINE YARROW (M)	1-GAL.	2' HT. X 2' SPR.
32	(Symbol)	SALVIA 'ULTRA VIOLET' ULTRA VIOLET HYBRID SAGE (L)	1-GAL.	2' HT. X 2' SPR.
18	(Symbol)	PENSTEMON SCHMIDEL RED RIDING HOOD ¹ RED RIDING HOOD BEARDTONGUE (L)	1 GAL.	3' HT. X 2' SPR.
12	(Symbol)	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' MUNSTEAD LAVENDER (M)	1 GAL.	18" HT. X 18" SPR.
BOULDERS AND MULCHES				
17	(Symbol)	LANDSCAPE BOULDERS (3X3 MIN)		
9,016 SF	(Symbol)	3/8"-1" AMARETTO BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC)		
2,136 SF	(Symbol)	2" TEQUILA SUNRISE ROCK MULCH (4" DEPTH OVER FILTER FABRIC)		
1,126 SF	(Symbol)	2'-4" COYOTE MIST COBBLE MULCH (6" DEPTH OVER FILTER FABRIC)		

NOTES:

- THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
- THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
- REMOVE ROPE AND BURLAP AFTER PLANTING.



B TREE PLANTING

SCALE: N.T.S.

LANDSCAPE PLAN

SCALE: 1"=20'-0"

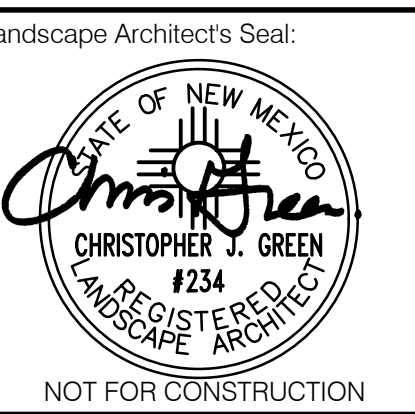


Landscape Architecture
Urban Design
Planning Services

302 EIGHTH ST. NW
Albuquerque, NM 87102
Phone (505) 764-9801
Fax (505) 842-5495

REVISIONS	Description	Date

MARKANA FLATS
LEGACY DEVELOPMENT AND MANAGEMENT, LLC
ALBUQUERQUE, NEW MEXICO



NOT FOR CONSTRUCTION

Designed By: KP

Drawn By: KP

Checked By: CG

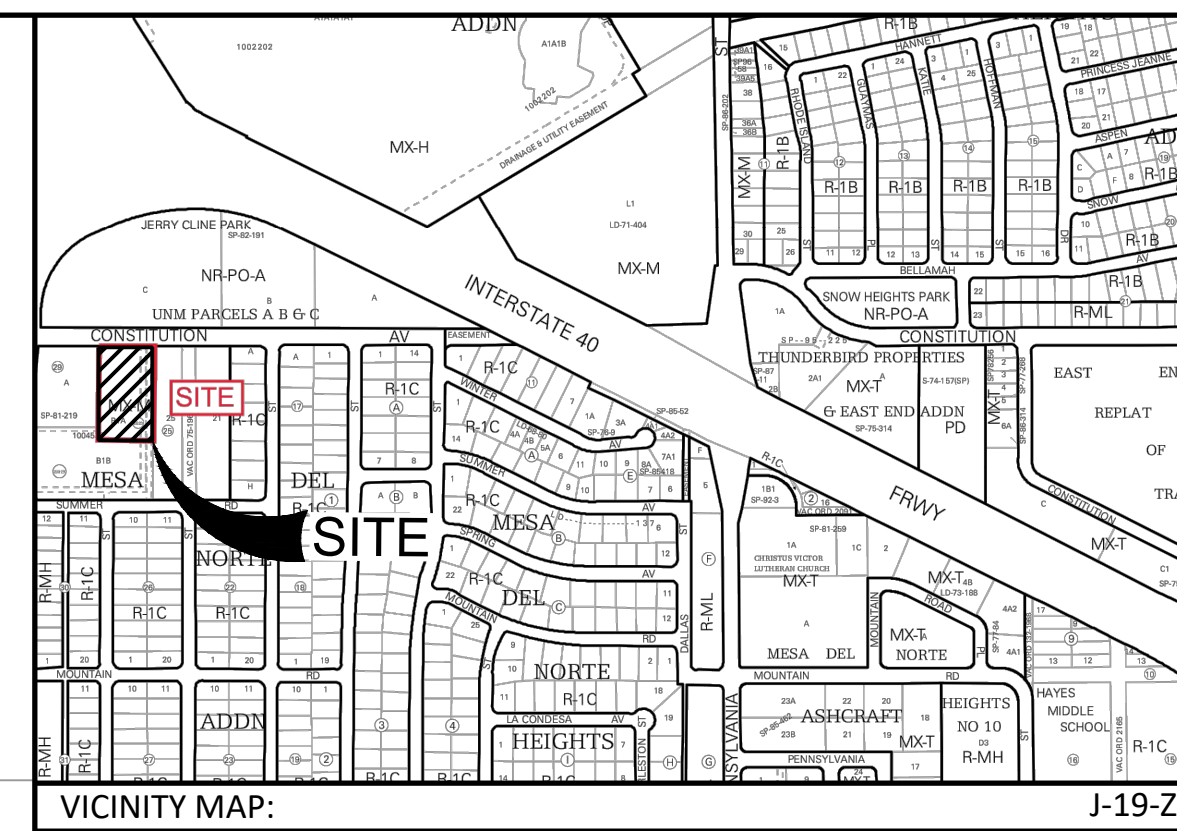
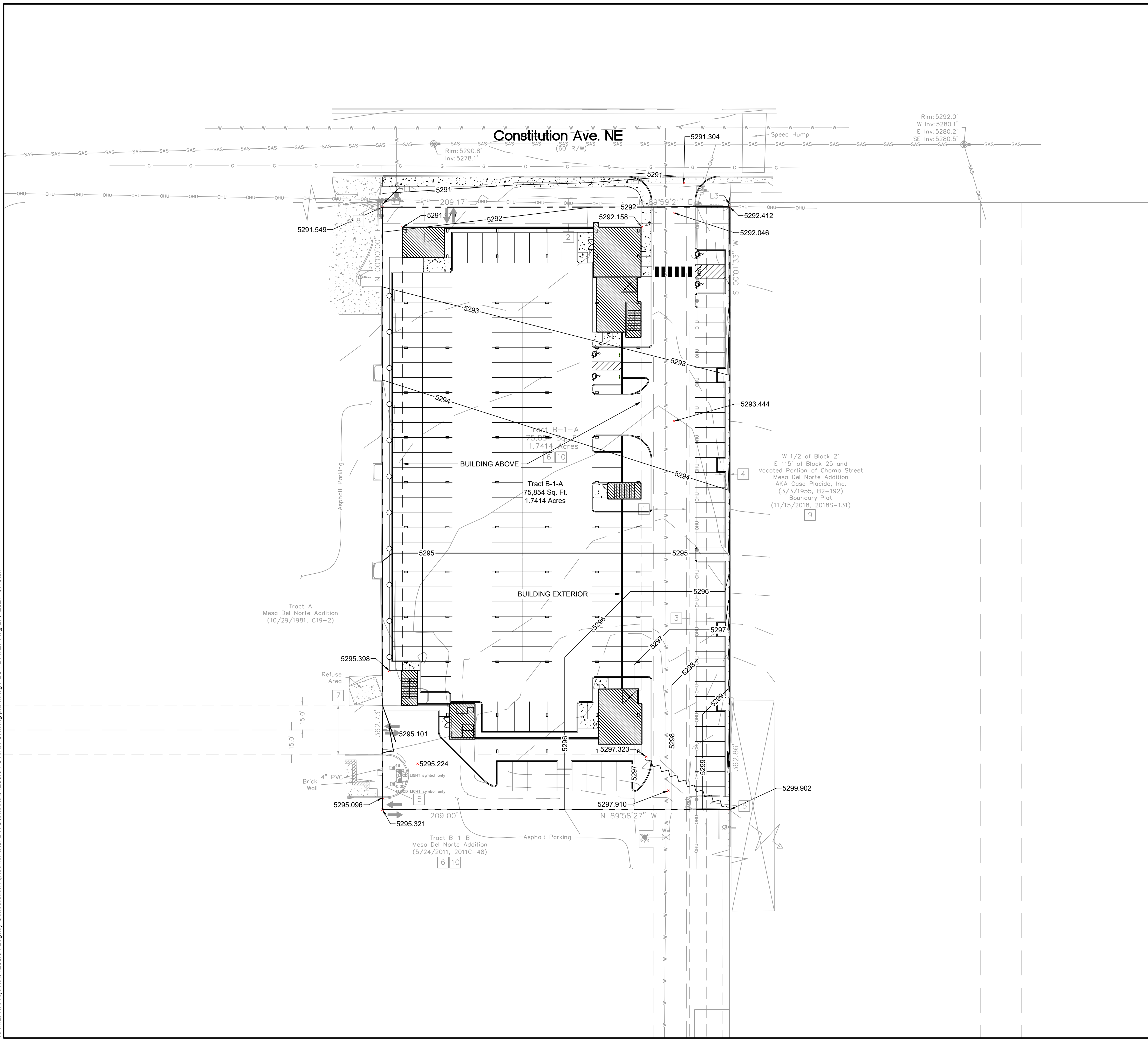
Date: 8/27/2021

Project No:

Sheet Title:

LANDSCAPE PLAN
L101

NAME: N:\Projects\04266.04 Legacy Constitution Apartments\3_DWG\Sheets\04266.04 Overall Grading plan.dwg PLOT DATE: Aug 27, 2021 8:43am



NOTE:

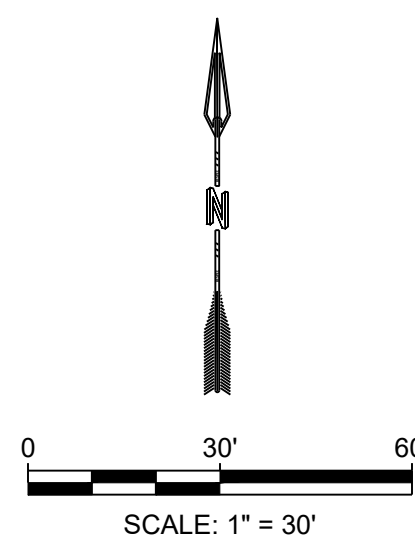
1. THE EXISTING SITE FEATURES WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.

GRADING NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
2. FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
3. STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
4. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
5. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
6. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
7. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SLUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
8. REFER TO GEOTECHNICAL EVALUATION REPORT 3220JJ138 BY WESTERN TECHNOLOGIES, INC. DATED JANUARY 12, 2021.

LEGEND:

---	PROPERTY BOUNDARY
—5270—	PROPOSED MAJOR CONTOUR
—5272—	PROPOSED MINOR CONTOUR
- - -5270 - - -	EXISTING MAJOR CONTOUR
- - -5272 - - -	EXISTING MINOR CONTOUR
~~~~~	PROPOSED HIGH POINT



DESIGNED JS	REVISION
DRAWN MR	
CHECKED JS	
DATE 8.27.2021	

**RESPEC**  
 COMMUNITY DESIGN SOLUTIONS  
 5771 JEFFERSON STREET SUITE 101  
 MESA, AZ 85205  
 WWW.RESPEC.COM PHONE: 602.953.9718

**RESPEC**

STAMP  
  
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THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.

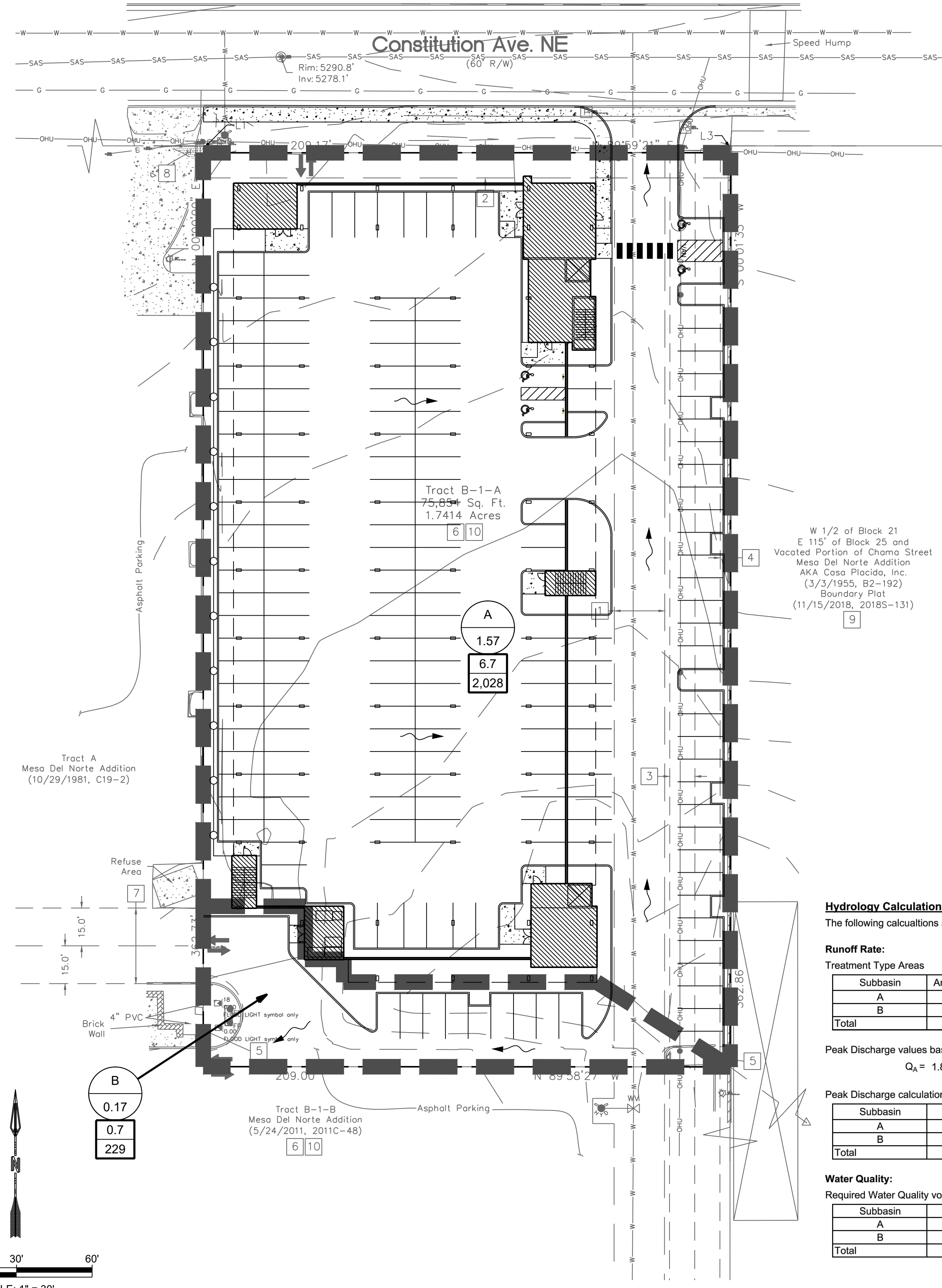
PROJECT NAME:  
**MARKANA FLATS APARTMENTS**

SHEET TITLE:  
**CONCEPT GRADING PLAN**

SUBMITTED FOR:  
**DRB SITE PLAN**

SHEET NUMBER:  
**C-101**

NAME: N:\Projects\04-266-04_Legacy Constitution Apartments\3_DWG\Sheets\04-266-04_Drainage.dwg PLOT DATE: Aug 27, 2021 8:43am



City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
DATE: 09/14/21  
BY: *Randy C. Brantlett*  
HydroTrans # J19D047A

THESE PLANS AND/OR REPORT ARE  
CONCEPTUAL ONLY. MORE INFORMATION MAY  
BE NEEDED IN THEM AND SUBMITTED TO  
HYDROLOGY FOR BUILDING PERMIT APPROVAL.

**Hydrology Calculations**

The following calculations are based on Albuquerque's Development Process Manual, Article 6-2

**Runoff Rate:**

Treatment Type Areas

Subbasin	Area ₁ (ac)	Area ₂ (ac)	Area ₃ (ac)	Area ₄ (ac)	Total (ac)
A	0.00	0.12	0.12	1.33	1.57
B	0.00	0.01	0.01	0.15	0.17
Total	0.00	0.13	0.13	1.48	1.74

Peak Discharge values based on Zone 3 from Table 6.2.14

$Q_A = 1.84 \text{ cfs/ac}$     $Q_B = 2.49 \text{ cfs/ac}$     $Q_C = 3.17 \text{ cfs/ac}$     $Q_D = 4.49 \text{ cfs/ac}$

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation 6.6

Subbasin	Discharge (cfs)
A	6.7
B	0.7
Total	7.4

**Water Quality:**

Required Water Quality volume for first flush of 0.42"

Subbasin	Req Volume (cu. ft.)	Provided Volume (cu. ft.)	Net Volume (cu. ft.)
A	2,028	0	2,028
B	229	0	229
Total	2,256	0	2,256

**BACKGROUND**

TRACT B-1-A, MESA DEL NORTE ADDITION IS APPROXIMATELY 1.7 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS LOCATED SOUTH OF CONSTITUTION AVENUE BETWEEN LOUISIANA BOULEVARD AND MESILLA STREET. TRACT B-1-A IS CURRENTLY UNDEVELOPED. THERE IS AN EXISTING POWER LINE AND WATER LINE THAT CROSS THE EAST SIDE OF THE SITE. THE PROPOSED PROJECT IS AN APARTMENT COMPLEX. THE FIRST LEVEL WILL BE A PARKING GARAGE AND THE FOUR LEVELS ABOVE WILL BE THE DWELLING UNITS AND VARIOUS AMENITIES. THE GRADING & DRAINAGE PLAN FOR LOUISIANA PLACE BY HUITT-ZOLLARS 2006 AS WELL AS THE GRADING & DRAINAGE PLAN FOR LOUISIANA PLACE DATED DECEMBER 1987 SHOULD BE REFERENCED FOR BACKGROUND RELATED TO THIS PROPOSED DEVELOPMENT. THE SITE IS ALLOWED FREE DISCHARGE. THERE IS NO DESIGNATED 100-YEAR FLOODPLAIN SHOWN ON THE SITE.

**METHODOLOGY**

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) ARTICLE 6.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.42". ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

**EXISTING CONDITIONS**

THE SITE, IN GENERAL, SLOPES FROM SOUTH TO NORTH AT A SLOPE OF APPROXIMATELY 2%. STORM WATER RUNOFF GENERATED BY THE SITE DRAINS NORTH AND DISCHARGES TO CONSTITUTION AVENUE.

**DEVELOPED CONDITIONS**

THE DRAINAGE INTENTION OF THE DEVELOPED CONDITIONS IS TO MATCH THE EXISTING DRAINAGE PATTERN.

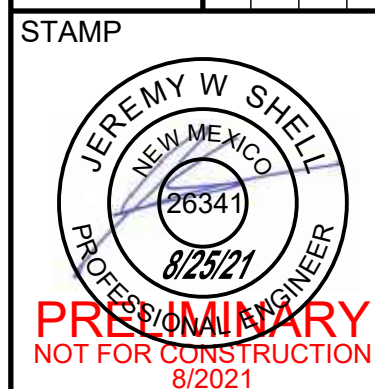
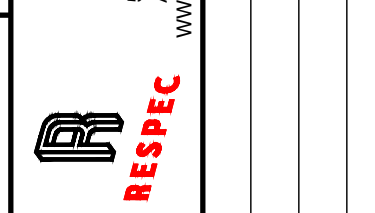
SUB-BASIN A IS A MAJORITY OF THE NEW APARTMENT DEVELOPMENT. IT CONTAINS 1.57 ACRES AND GENERATES 6.7 CFS. SIMILAR TO EXISTING CONDITIONS, THIS SUB-BASIN DISCHARGES NORTH INTO CONSTITUTION AVENUE.

SUB-BASIN B IS A SMALL PORTION OF THE SOUTH SIDE OF THE DEVELOPMENT. IT IS 0.17 ACRES AND GENERATES 0.7 CFS. THIS SUB-BASIN DISCHARGES TO THE ADJACENT PROPERTIES TO THE WEST AT THE SOUTHWEST CORNER OF THE SITE.

THE WATER QUALITY TABLE ON THIS SHEET UNDER "HYDROLOGY CALCULATIONS" SUMMARIZES THE WATER QUALITY VOLUMES REQUIRED FOR DEVELOPED CONDITIONS. THE OWNER HAS ELECTED TO PAY THE FEE-IN-LIEU OF STORM WATER QUALITY PONDING REQUIREMENTS. THE TOTAL VOLUME REQUIRED IS 2,256 CUBIC FEET. THEREFORE, THE PAYMENT AMOUNT IS 2,256 CF X \$8/CF = \$18,048.



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DRAWN MR	
CHECKED JS	
DATE 8.27.2021	



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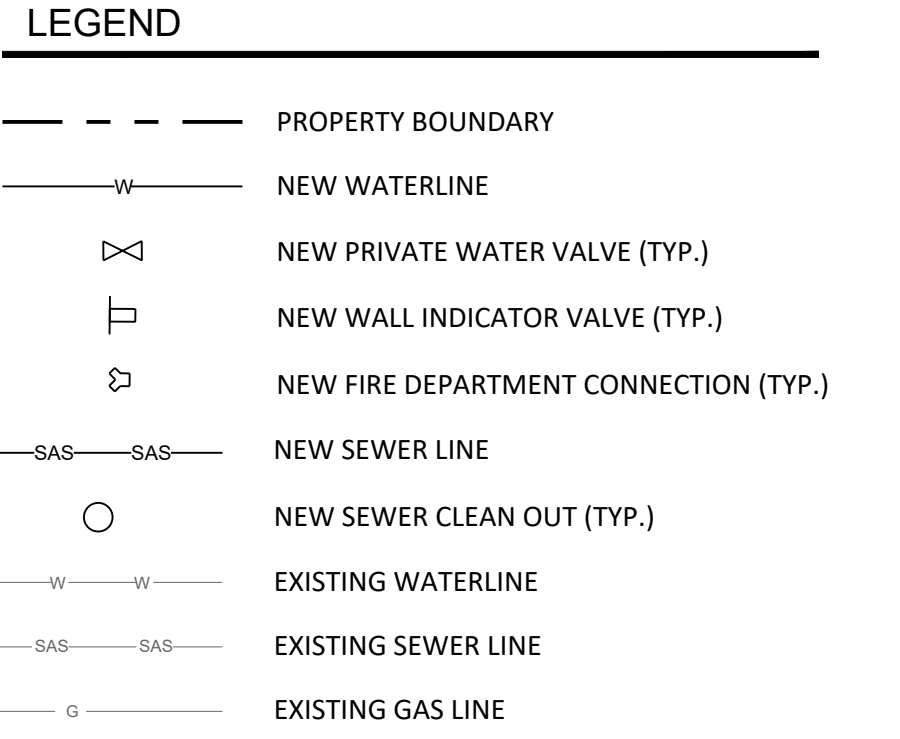
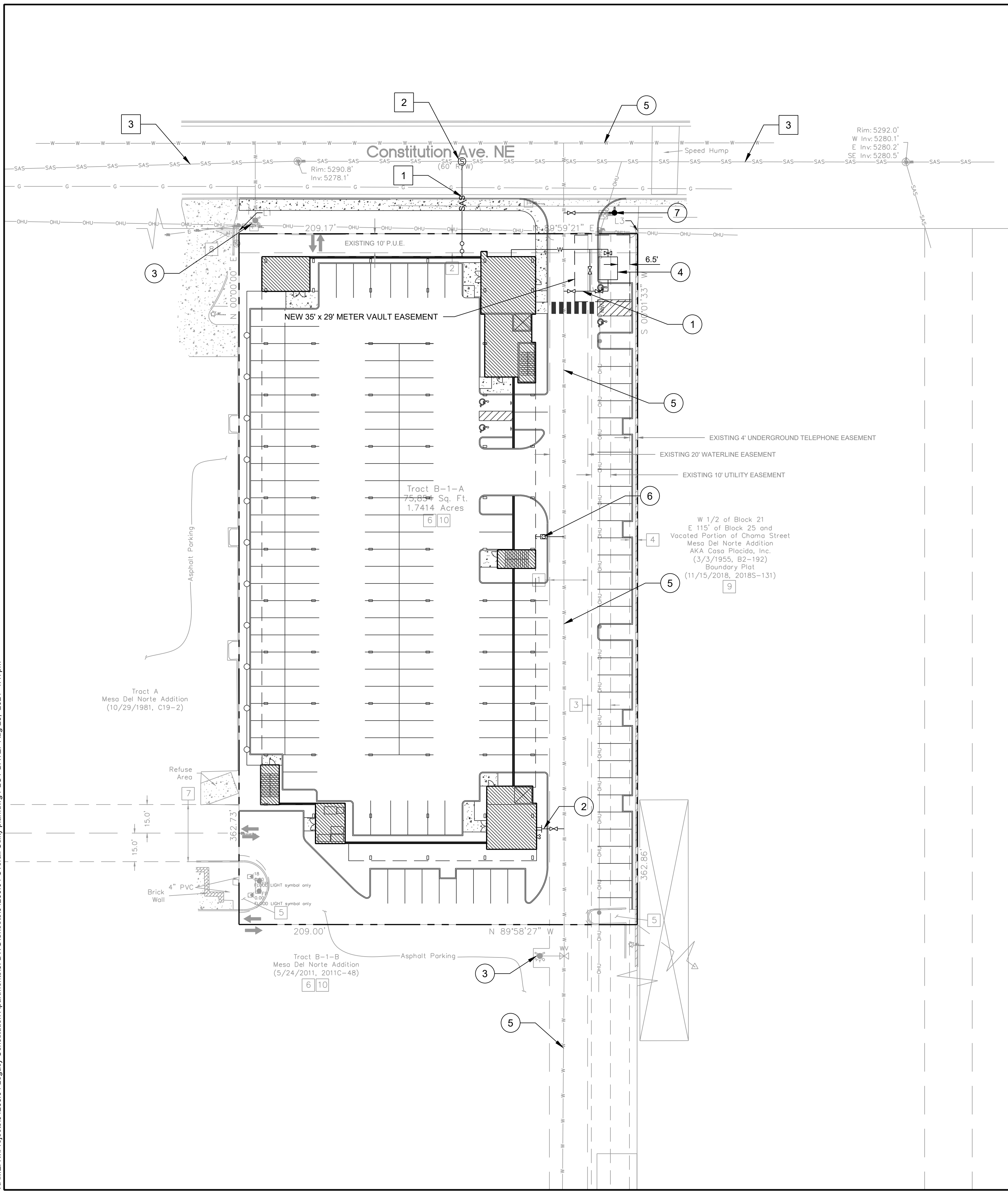
PROJECT NAME: MARKANA FLATS APARTMENTS

SHEET TITLE: CONCEPT DRAINAGE PLAN

SUBMITTED FOR: DRB SITE PLAN

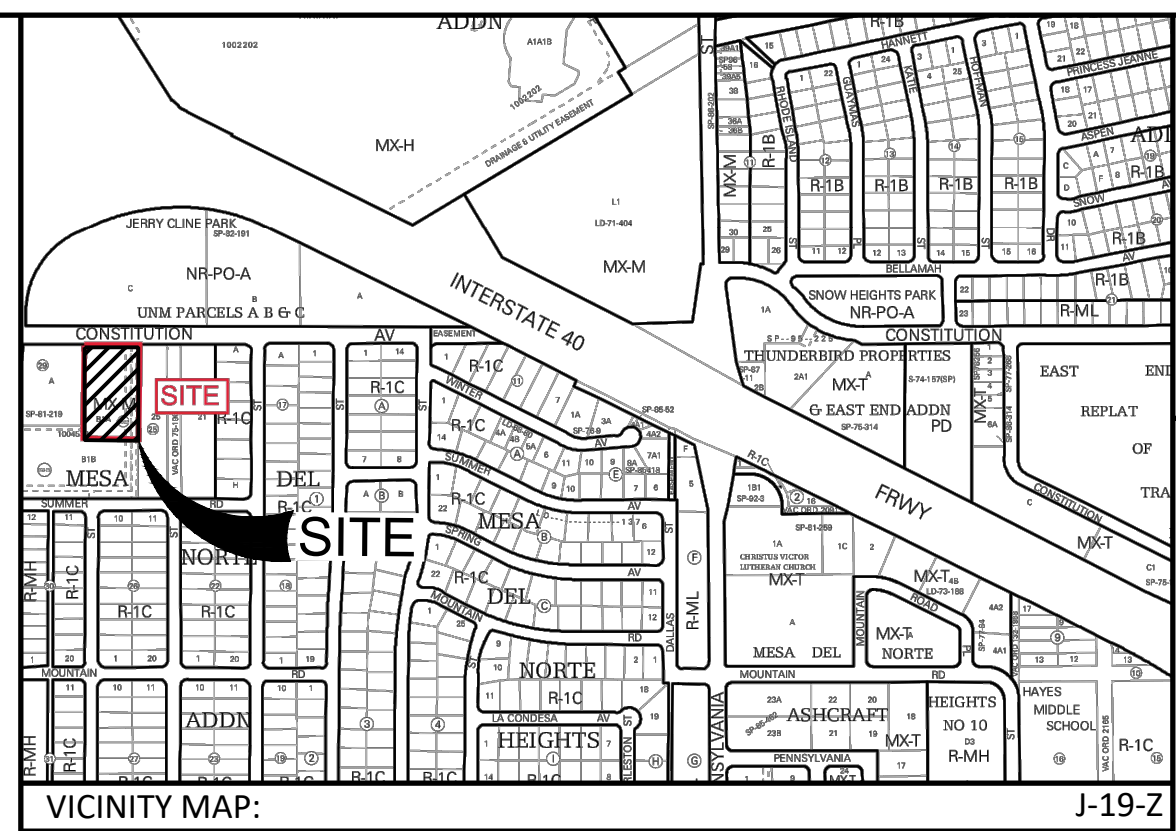
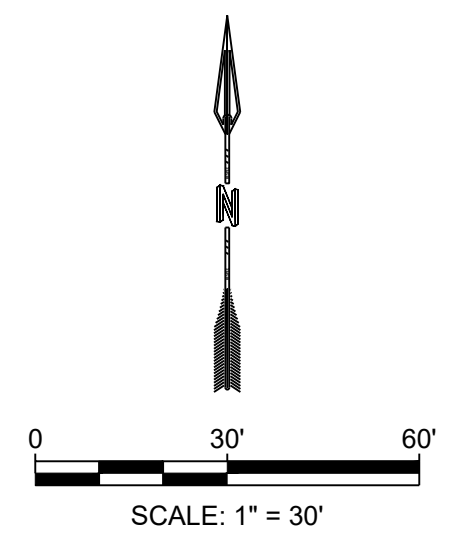
SHEET NUMBER: C-100

NAME: N:\Projects\04266.04 Legacy Constitution Apartments3.DWG\Sheets\04266.04 Overall Utility plan.dwg PLOT DATE: Aug 25, 2021 4:47pm



- ### KEYED NOTES
- 1 INSTALL PRIVATE 3" DOMESTIC WATER MAIN
  - 2 INSTALL PRIVATE 8" FIRE WATER MAIN
  - 3 EXISTING PUBLIC FIRE HYDRANT
  - 4 INSTALL PUBLIC 3" WATER METER
  - 5 EXISTING PUBLIC 8" WATER MAIN
  - 6 INSTALL PUBLIC 1-1/2" WATER METER FOR IRRIGATION ONLY
  - 7 INSTALL PUBLIC FIRE HYDRANT
- 
- 1 INSTALL PRIVATE 8" SEWER MAIN
  - 2 MANHOLE CONNECTION TO EXISTING PUBLIC SEWER MAIN
  - 3 EXISTING PUBLIC 12" SEWER MAIN

- ### GENERAL NOTES
1. ALL SANITARY SEWER MANHOLES SHALL BE 48" DIA., TYPE E UNLESS OTHERWISE APPROVED BY THE ENGINEER.
  2. ALL HYDRANT LEGS SHALL BE VALVED AND HAVE RESTRAINED JOINTS BETWEEN THE MAIN AND THE VALVE.
  3. UTILITY CONDUIT LOCATIONS TO BE DETERMINED BY OTHERS.
  4. ALL SAS MAIN LINES TO BE SDR-35 PVC.
  5. ALL WL MAIN LINES TO BE C-900 DR-18 PVC.
  6. SEE THIS SHEET FOR RESTRAINT TABLE AND NOTES.
  7. CONTRACTOR TO FIELD VERIFY SIZE'S AND LOCATION PRIOR TO ANY CONSTRUCTION.
  8. RESTRAINED LENGTHS FOR VALVES SHALL BE PROVIDED ON BOTH SIDES OF VALVE.
  9. WHERE POSSIBLE, CONTRACTOR SHALL INSTALL FULL 20' JOINT OF PIPE ON EITHER SIDE OF ALL MECHANICAL JOINT VALVES, FITTINGS, AND APPURTENANCES. FOR ALL CIRCUMSTANCES WHERE A 20' JOINT CAN BE UTILIZED AND THE CONTRACTOR ELECTS TO USE A SHORTER PIPE JOINT, CONTRACTOR SHALL PROVIDE, AT CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY JOINT RESTRAINTS REQUIRED BY THE TABLE ON THIS SHEET.
  10. ALL UTILITY IMPROVEMENTS LOCATED WITHIN THE RIGHT OF WAY ARE PUBLIC AND SHALL BE INCLUDED ON A PUBLIC WORK ORDER, UNLESS OTHERWISE NOTED.
  11. ALL UTILITIES SHOWN ON THE PRIVATE PROPERTY SHALL BE PRIVATE UNLESS OTHERWISE NOTED.
  12. ALL WATER LINES SHALL HAVE A 3' BURY MINIMUM.
  13. SEE PLUMBING PLANS FOR UTILITY CONTINUATION INTERNAL TO BUILDINGS.
  14. CONTRACTOR SHALL ENSURE A MINIMUM 6" VERTICAL SEPARATION BETWEEN SEWER AND WATER MAINS AT CROSSINGS.
  15. INSTALL CLEANOUTS AT ANY CHANGE IN DIRECTION OF PIPE (AND AS SHOW ON PLANS).
  16. PARALLEL RBPA BACKFLOW PREVENTERS FOR ALL PROPOSED PRIVATE WATERLINES WILL BE PROVIDED INTERNAL TO THE PROPOSED BUILDING PER COA STD DTL 2385. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.



PRESSURE PIPE RESTRAINED JOINT LENGTH REQUIREMENTS  
TEST PRESSURE @ 150 PSI

LENGTHS OF PIPE TO BE RESTRAINED - ALL JOINTS WITHIN LENGTH(FEET) MUST BE RESTRAINED (APPLIES TO PVC ONLY)

PIPE SIZE	HORIZONTAL BENDS				DEAD END OR VALVE	FIRE HYDRANT TEE STD. 6-INCH BRANCH LINE
	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND		
4"	18'	8'	4'	2'	39'	FOR ALL PIPE MAIN LINE SIZES, ALL FITTINGS AND PIPE JOINTS FROM TEE TO FIRE HYDRANT FLANGE SHALL BE RESTRAINED
6"	25'	11'	5'	3'	55'	
8"	33'	14'	7'	4'	72'	
10"	39'	16'	8'	4'	87'	
12"	45'	19'	9'	5'	102'	

PIPE SIZE	VERTICAL DOWNBEND					
	45°		22 1/2°		11 1/4°	
PIPE SIZE	UPPER BEND RESTRAINT	LOWER BEND RESTRAINT	UPPER BEND RESTRAINT	LOWER BEND RESTRAINT	UPPER BEND RESTRAINT	LOWER BEND RESTRAINT
6x4						
8x4						
8x6						
10x4	4'	16'	4'	8'	2'	4'
10x6	6'	23'	5'	11'	3'	5'
10x8	8'	30'	7'	14'	3'	7'
12x4	10'	36'	8'	17'	4'	8'
12x6	12'	42'	10'	20'	5'	10'
12x8						
12x10						

RESTRAINED LENGTH ON LARGE SIDE ONLY

TEES	LENGTH ALONG RUN (L)										
	2'	4'	6'	8'	10'	12'	14'	16'	18'	20'	
8x6x4	29	18	7	1	1	1	1	1	1	1	
8x6x6	48	41	33	26	18	11	4	1	1	1	
8x8x4	25	11	1	1	1	1	1	1	1	1	
8x8x6	46	36	26	16	6	1	1	1	1	1	
8x8x8	65	57	50	43	35	28	20	13	5	1	
10x10x4	21	3	1	1	1	1	1	1	1	1	
10x10x6	43	30	18	5	1	1	1	1	1	1	
10x10x8	63	53	44	34	25	15	6	1	1	1	
10x10x10	79	72	64	56	49	41	34	26	18	11	
12x12x4	17	1	1	1	1	1	1	1	1	1	
12x12x6	40	25	10	1	1	1	1	1	1	1	
12x12x8	61	49	38	26	15	3	1	1	1	1	
12x12x10	78	68	59	50	41	32	22	13	4	1	
12x12x12	95	87	79	72	64	56	49	41	33	26	

RESTRAINED LENGTH ALONG BRANCH (Lb)

- NOTE:
1. ASSUMES MINIMUM DEPTH OF BURY = 3 FT.
  2. RESTRAINED LENGTH FOR VALVES SHALL BE PROVIDED ON BOTH SIDES OF VALVE.
  3. WHERE POSSIBLE, CONTRACTOR SHALL INSTALL FULL 20-FT JOINT OF PIPE ON EITHER SIDE OF ALL MECHANICAL JOINT VALVES, FITTINGS, AND APPURTENANCES. FOR ALL CIRCUMSTANCES WHERE A 20-FT JOINT CAN BE UTILIZED AND THE CONTRACTOR ELECTS TO USE A SHORTER PIPE JOINT, CONTRACTOR SHALL PROVIDE, AT CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY JOINT RESTRAINTS REQUIRED BY TABLE ABOVE.

THRUST RESTRAINT NOTE:

ALL BURIED VALVES, FITTINGS, AND APPURTENANCES SHALL BE MECHANICAL JOINT-TYPE UTILIZING "MEGA-LUG"® STYLE MECHANICAL JOINT RESTRAINTS IN CONJUNCTION WITH "MEGA-LUG"® PIPE BELL-HARNESSE RESTRAINTS WHEN ADEQUATE RESTRAINED LENGTH CAN BE OBTAINED. IN THE EVENT ADEQUATE RESTRAINED LENGTHS CANNOT BE OBTAINED, CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER FOR DETERMINATION OF APPROPRIATE ACTION TO BE TAKEN. THE EBAA FROM "RESTRAINED LENGTH CALCULATION" PROGRAM (VERSION 4.0) HAS BEEN USED TO DETERMINE MINIMUM RESTRAINED LENGTHS SHOWN IN TABLE ABOVE. THE FOLLOWING GENERAL ASSUMPTIONS APPLY TO ALL CALCULATIONS:

TRENCH TYPE 3  
SOIL TYPE SM (SILTY SANDS, SAND SILT MIXTURE)  
SAFETY FACTOR 1.5 TO 1

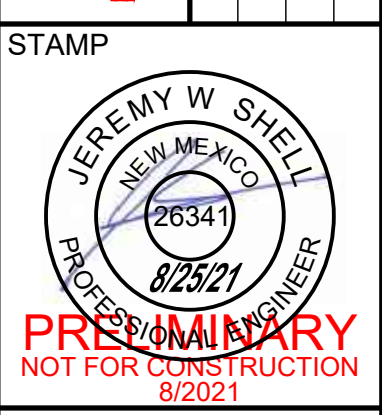
TYPICAL BURY DEPTH:  
4" THROUGH 12" DIAMETER PIPE 3 FT  
14" THROUGH 24" DIAMETER PIPE 4 FT

TYPICAL BURY DEPTHS FOR VERTICAL OFFSETS:  
4" THROUGH 12" DIAMETER PIPE 3 FT TO TOP OF UPPER BRANCH  
6 FT TO TOP OF LOWER BRANCH  
14" THROUGH 24" DIAMETER PIPE 4 FT TO TOP OF UPPER BRANCH  
7 FT TO TOP OF LOWER BRANCH

CONTRACTOR MAY SUBMIT SUBSTITUTE REDUCED RESTRAINED JOINT LENGTHS IF SOIL AND DEPTH OF BURY CONDITIONS WARRANT. CONTRACTOR SHALL PROVIDE SOIL TEST RESULTS AND APPROPRIATE CALCULATIONS TO SUPPORT THE LENGTH REDUCTION. SOIL TESTING AND CALCULATIONS SHALL BE PERFORMED AT CONTRACTOR'S SOLE EXPENSE.

DESIGNED JS	DRAWN MR	CHECKED JS	DATE 8.25.2021
RESEC	RESEC	RESEC	RESEC

COMMUNITY DESIGN SOLUTIONS  
5771 JEFFERSON STREET SUITE 101  
DALLAS, TX 75231  
WWW.RESEC.COM PHONE: (955) 539-9718



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PROJECT NAME: MARKANA FLATS APARTMENTS

SHEET TITLE: CONCEPT UTILITY PLAN

SUBMITTED FOR: DRB SITE PLAN

SHEET NUMBER: C-102





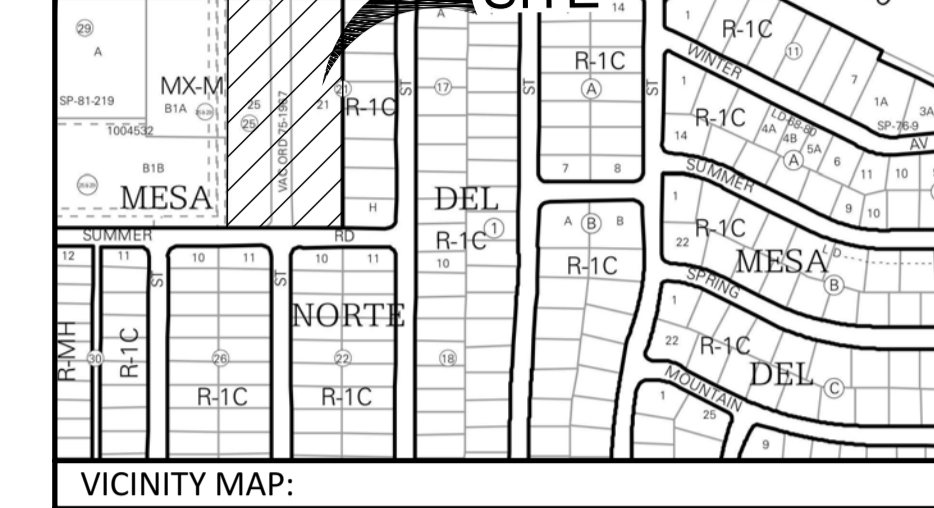
**ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION**

**PERMIT**

PERMIT NUMBER: FP-24-006658  
APPROVED DATE: 6/28/21

**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE AND NECA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. CIVIL INSPECTION REQUIRED.



VICINITY MAP: J-19-Z

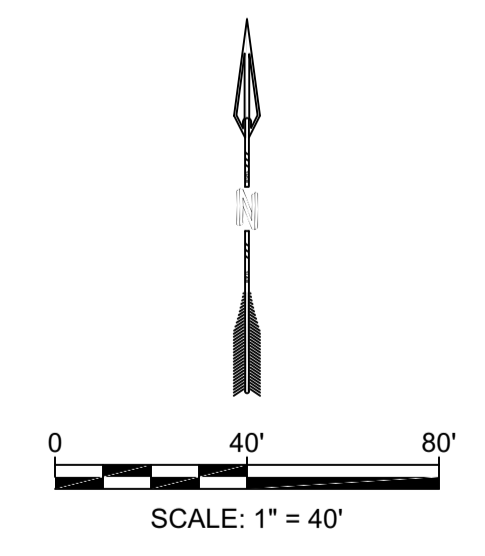
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			6.28.2021

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5971 JEFFERSON STREET SUITE 101  
NORTHEAST ALBUQUERQUE, NM 87110  
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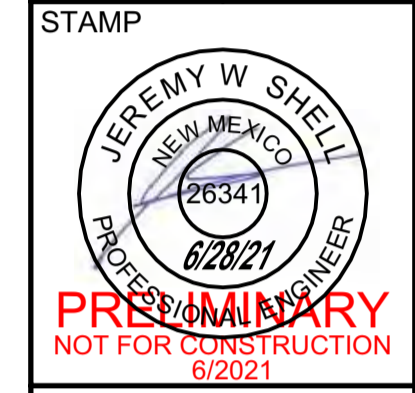
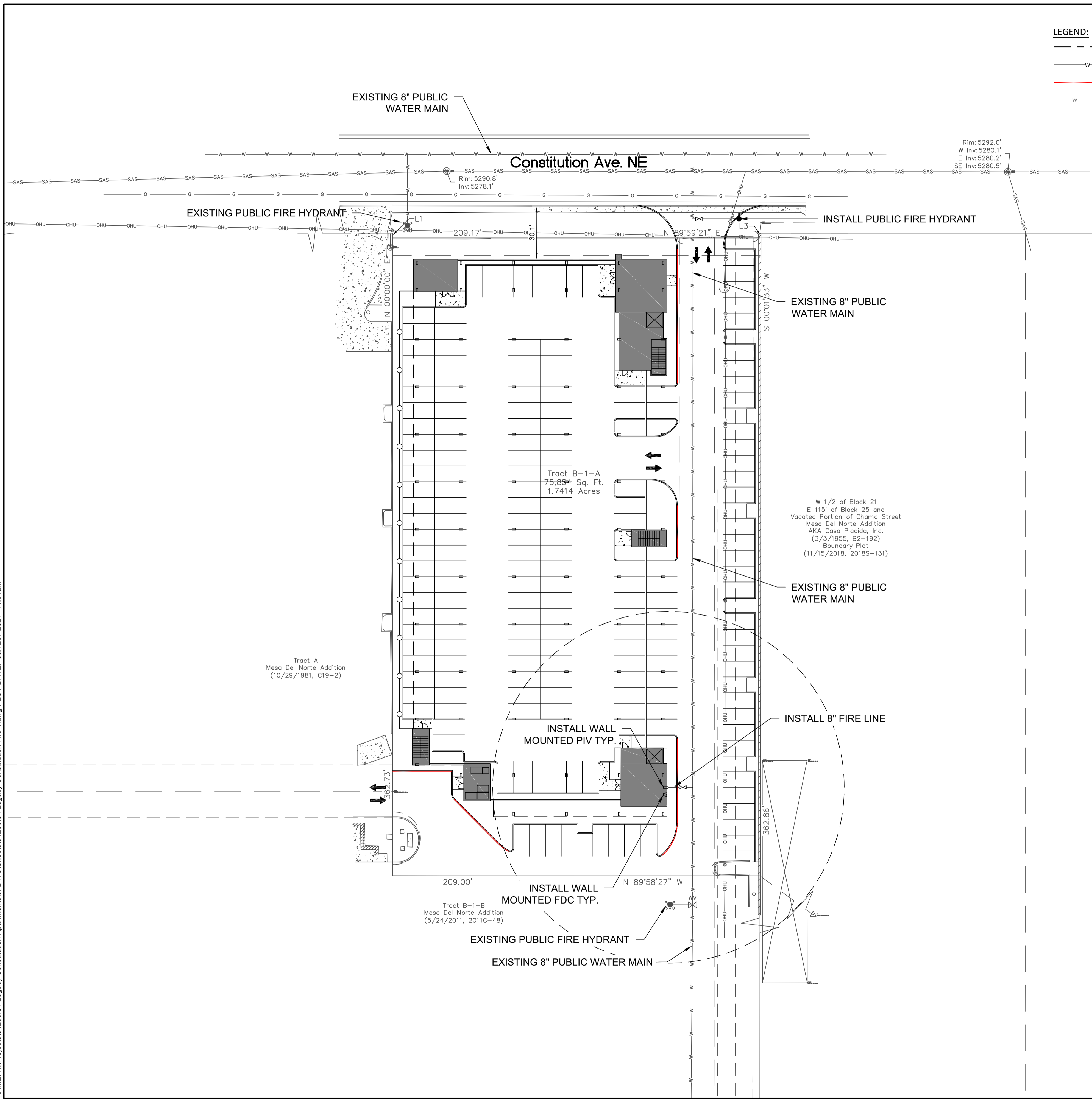
**PROJECT SUMMARY:**  
THE PROPOSED DEVELOPMENT IS A MULTI-FAMILY APARTMENT COMPLEX. THE PROJECT IS LOCATED ON TR B-1-A PLAT OF TRS B-1-A & B-1-B MESA, NORTHEAST ALBUQUERQUE.

**FIRE ONE NOTES:**

- BUILDING TYPE AREA**  
STORY I 45,510 SQ.FT.  
STORY II 34,310 SQ.FT.  
III - V 34,706 SQ.FT.  
TOTAL 183,938 SQ.FT.
- CONSTRUCTION AND OCCUPANCY TYPE:**  
- 1ST STORY PODIUM: TYPE IA, S2 PARKING GARAGE, (3 HOUR FIRE RATED HORIZONTAL SEPARATION TO R2).  
- 2ND - 5TH STORIES: TYPE VA, R2 MULTIFAMILY APARTMENTS.
- FIRE FLOW = 3,375 GPM**
- BUILDING HEIGHT: 4 STORIES OVER 1 STORY PODIUM = 73 FT.**
- THE PROPOSED BUILDINGS SHALL BE FULLY SPRINKLED NFPA 13.**
- THE PARKING LOT SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.**
- THE MINIMUM DRIVE ISLE WIDTH SHALL BE 26' UNLESS OTHERWISE SPECIFIED.**
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.**
- ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.**
- FIRE DEPARTMENT CONNECTION'S SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.**
- INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.**
- A KNOX BOX SHALL BE PROVIDED AT ALL PROPOSED GATE LOCATIONS.**
- ELEVATORS SHALL MEET ALL THE REQUIREMENTS IN NFPA 13, CHAPTER 8 AND 72, CHAPTER 21.**
- ALL HYDRANT SUPPLY LINES THAT BRANCH OFF FROM THE WATER MAIN AND FIRE SERVICE LINES TO BUILDINGS WILL BE 6" DIAMETER UNLESS OTHERWISE SPECIFIED.**
- THE BUILDINGS WILL BE REQUIRED TO HAVE FIRE AND SMOKE ALARMS PER IBC 907.2.9.**
- WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWING SHALL BE ON SITE FOR INSPECTIONS.**
- CLASS 1 STANDPIPE SHALL BE PROVIDED IN BUILDINGS WHERE THE FLOOR LEVEL OF THE HIGHEST STORY IS LOCATED MORE THAN 30' ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS.**



**LEGEND:**  
 - - - - - PROPERTY BOUNDARY  
 - W - NEW WATERLINE  
 - - - - - NEW MARKED FIRE LANE  
 - W - W - EXISTING WATERLINE



**PROVISIONARY**  
NOT FOR CONSTRUCTION  
6/2021



PROJECT NAME: **MARKANA FLATS APARTMENTS**

SHEET TITLE: **FIRE 1 PLAN**

SUBMITTED FOR: **REVIEW**

SHEET NUMBER: **F-100**

NAME: N:\Projects\04266.04 Legacy Constitution Apartments\3 DWG\Sheets\04266.04 Legacy Constitution Fire 1.dwg PLOT DATE: Jun 28, 2021 11:54am



SEAL

PROJECT

**MARKANA FLATS**  
LOUISIANA BLVD. NE  
ALBUQUERQUE, NM 87110

DRB SUBMITTAL

REVISIONS

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DRAWN BY SP, AG  
REVIEWED BY DM  
DATE 6/30/2021  
PROJECT NO: 21-0020

DRAWING NAME  
**EXTERIOR ELEVATIONS**

SHEET NO  
**SDP5.1**

**GENERAL SHEET NOTES**

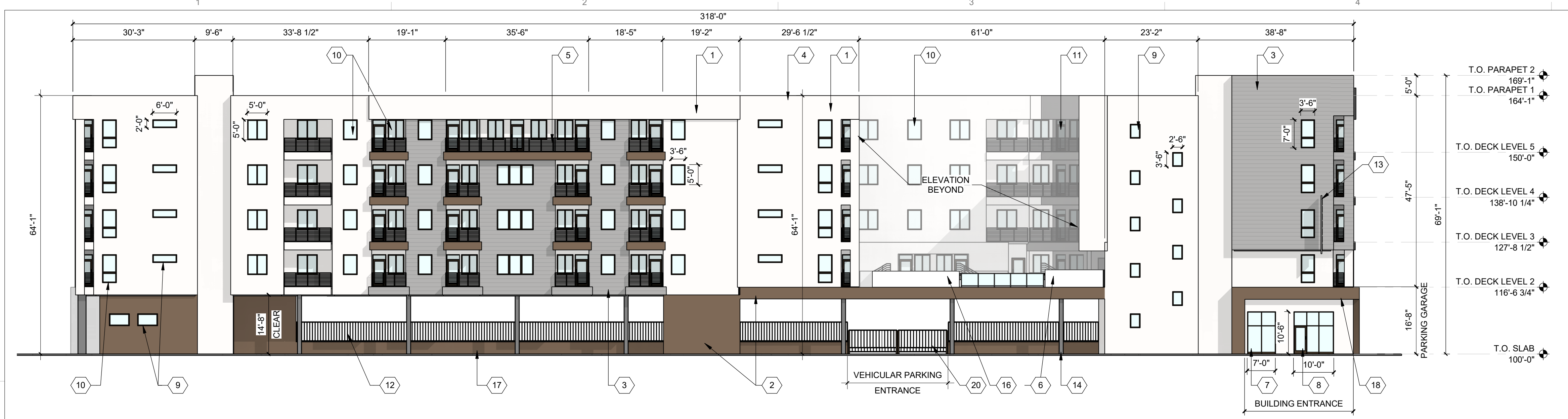
- ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE
- BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC, MOUNT AT 15'-20" ABOVE FINISHED FLOOR
- HVAC EQUIPMENT IS LOCATED ON THE ROOF AND SCREENED BY BUILDING PARAPET
- ROOF DRAINAGE BY WAY OF INTERNAL ROOF DRAINS (EXTERNAL DOWNSPOUTS AS REQUIRED FOR DESIGN OPTION)
- STREET FACING FACADES SHALL COMPLY WITH IDO SECTIONS 5-11(E)(2) AND 5-5(G)(3)
- ALL WINDOWS ON THE UPPER FLOORS SHALL BE RECESSED NOT LESS THAN 2" SECTION 5-11(E)(2)(b)
- FACADE DESIGN 5-11 (E)(2)(a) GENERAL STREET FACING FACADE INCORPORATE AT LEAST 2 FEATURES ALONG 30% OF THE LENGTH OF THE FACADE
  - WINDOWS ON UPPER FLOORS (AT ALL FACADES)
  - BALCONIES PROVIDE SHADE AND PROTECTION FROM THE WEATHER
- FACADE DESIGN 5-11 (E)(2)(a) (3) GENERAL STREET FACING FACADE INCORPORATE AT LEAST 1 ADDITIONAL FEATURE
  - WALL PLANE PROJECTIONS OR RECESSES OF AT LEAST 1FT EVERY 100FT FOR AT LEAST 25% OF FACADE
  - CHANGE IN COLOR TEXTURE AND MATERIAL AT LEAST 50FT OF FACADE LENGTH

**REFERENCE KEYNOTES**

- EXTERIOR WALL: STUCCO FINISH, COLOR 1 (OFF WHITE CREAM)
- EXTERIOR WALL: STUCCO FINISH, COLOR 2 (DARK BROWN)
- EXTERIOR WALL: METAL PANEL SIDING, FIBER CEMENT SIDING OR STUCCO FINISH (LIGHT GRAY OR SILVER)
- METAL COPING
- METAL GUARDRAIL, PAINTED
- SOLID GUARDRAIL, TEMPERED GLASS
- ALUMINUM STOREFRONT
- ALUMINUM STOREFRONT DOOR
- FIXED COMPOSITE WINDOW
- RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS)
- UNIT BALCONY DOOR, FULL LITE W/ TRANSOM
- DECORATIVE SECURITY FENCE (OPTIONAL)
- BUILDING MOUNTED BLADE SIGN, METAL SIGN BOX AND TRANSLUCENT OFF WHITE SIGN PANEL WITH OPAQUE SIGN CHARACTERS INTERNALLY LIGHTED
- STEEL COLUMN, PAINTED
- ROOF DECK
- PLANTER
- KNEE WALL, STUCCO FINISH (DARK NEUTRAL OR GRAYTONE)
- COVERED ENTRY
- BUILDING MOUNTED SIGNAGE, CAST METAL CHARACTER SILVER OR WHITE, BACK LIGHTED, SIZE: (14'-5 1/2"W x 1'-6"H = 24.7 SF)
- VEHICULAR ENTRY GATE (OPTIONAL)
- TRELLIS/SUNSHADE (OPTIONAL)

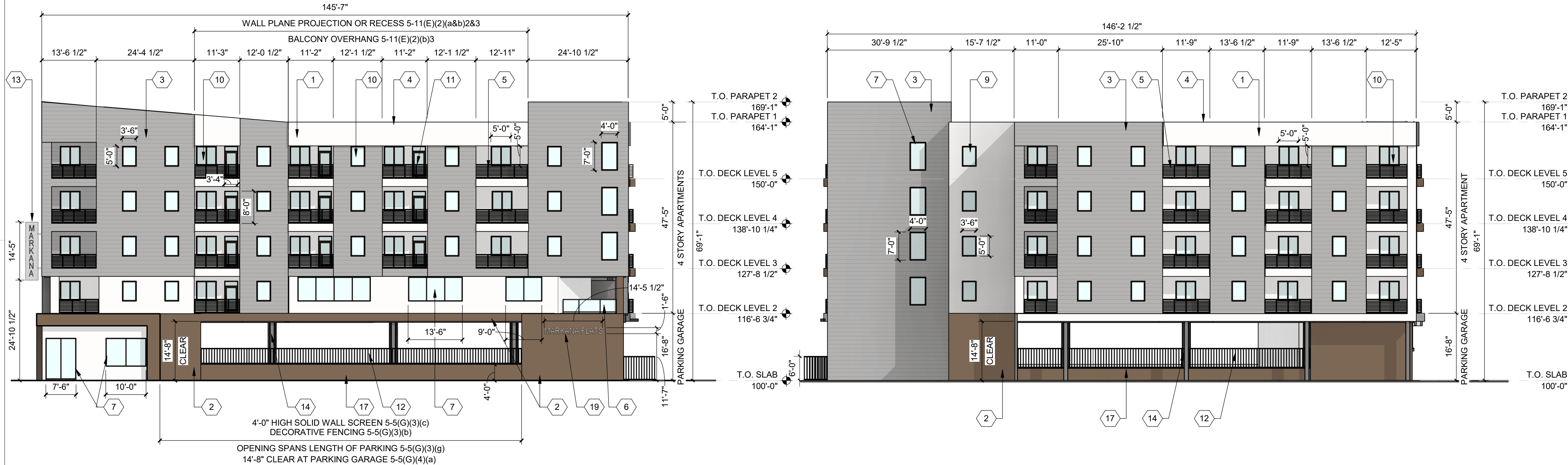
**LEGEND**

- STUCCO_COLOR 1 (OFF WHITE CREAM)
- STUCCO_COLOR 2 (DARK BROWN)
- METAL PANEL SIDING, FIBER CEMENT SIDING OR STUCCO FINISH (LIGHT GRAY OR SILVER)



**1 EAST ELEVATION**  
1/16" = 1'-0"

COMPLIANCE WITH SECTION 5-11(E)(2):  
CHANGE COLOR AND TEXTURE OF MATERIAL EVERY 50 FT. 5-11(E)(2)(a)2  
RECESS WINDOWS 2" AT UPPER FLOORS 5-11(E)(2)(b)2  
PROVIDE WINDOWS AT UPPER FLOORS 5-11(E)(2)(a&b)&2&3



**2 NORTH ELEVATION (STREET-FACING FACADE)**  
1/16" = 1'-0"

**3 SOUTH ELEVATION**  
1/16" = 1'-0"



**4 WEST ELEVATION**  
1/16" = 1'-0"

SEAL

PROJECT

MARKANA FLATS  
LOUISIANA BLVD. NE  
ALBUQUERQUE, NM 87110

DRB SUBMITTAL

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REVIEWED BY	DM
DATE	6/30/2021
PROJECT NO.	21-0020

DRAWING NAME  
SITE SECTION

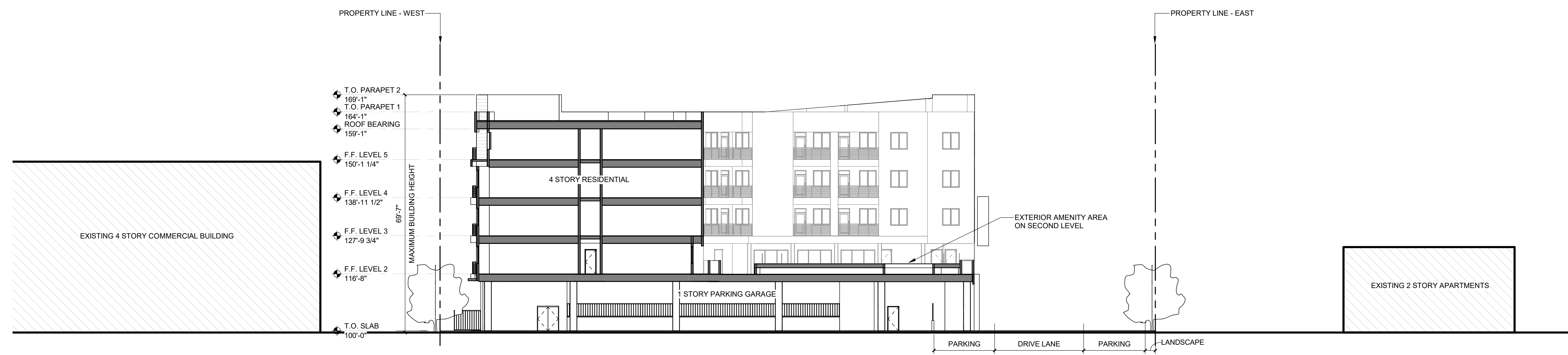
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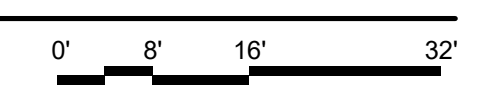
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1 SITE SECTION NORTH  
1/16" = 1'-0"



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MARKANA FLATS  
LOUISIANA BLVD. NE  
ALBUQUERQUE, NM 87110

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REVIEWED BY DM  
DATE 6/30/2021  
PROJECT NO: 21-0020

DRAWING NAME  
AERIAL VIEWS

SHEET NO  
SDP5.3

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# PR-2021-005689_SI-2021-00987_Site_Plan_Amendment_Approved_9-15-21_Signature_Sheets


Final Audit Report

2021-09-20


Created:	2021-09-16
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAANjUvpZzfaeHyjNR0By4G5FFpziaDkVaX

## "PR-2021-005689_SI-2021-00987_Site_Plan_Amendment_Approved_9-15-21_Signature_Sheets" History


-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)  
2021-09-16 - 10:14:40 PM GMT - IP address: 143.120.132.106
-  Document emailed to Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov) for signature  
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-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature  
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