

# GENERAL NOTES

1. THERE ARE NO EXISTING TREES ON THIS SITE.
2. ALL FUTURE SIGNAGE WILL COMPLY WITH DEVELOPMENT STANDARDS IN IDO SECTION 14-16-5-2 SIGNS. THE DESIGN OF THE SIGN WILL BE DETERMINED UPON APPLICATION FOR A SIGN PERMIT.

# KEYED NOTES

1. NEW ASPHALT PAVING TO EXTENTS SHOWN, AT GC OPTION, MILL AND RESURFACE EXISTING TO REMAIN IF VIABLE. SAWCUT ALL PATCHES AND TRANSITIONS TO MAKE FLUSH.
2. NEW PRECAST CONCRETE BUMPER-TYP.
3. PAVEMENT STRIPING TO EXTENTS SHOWN
4. LANDSCAPING AREA
5. CONCRETE SIDEWALK PAVING- 5" THICK 3000 PSI MIX W/ 6X6 WWF
6. EDGE OF ASPHALT PAVING AT BASECOURSE/GRAVEL CONDITION, THICKEN ASPHALT EDGE.
7. NEW PAINTED MTL SLIDING SECURITY GATE BY OWNER- COORDINATE POWER, CONTROLS LOCATIONS
8. GRAVEL OR COMPACTED BASECOURSE PAVING AT THIS AREA- OVERAGE PARKING AREAS, USE PIN FLAGS TO IDENTIFY SPACES, OR AT GC OPTION, PROVIDE PRECAST PARKING BUMPERS W/ 18" LONG #4 REBAR DOVELS TO ANCHOR (2 PER BUMPER).
9. THROUGH IRON PERIMETER FENCING ALONG THE SOUTHERN PORTION OF THE PROPERTY - 6' TALL
10. EXISTING CURB CUT TO REMAIN; WIDTH SHOWN, CLOSETS ABO DETAIL MATCH IS COA CITY STANDARDS 2425A AND 2425B.
11. NEW HC PARKING SIGN PER DETAIL THIS PAGE
12. NEW HC STRIPING AND PAVEMENT PAINTED SYMBOL
13. NEW CABO STD DUMPSTER ENCLOSURE LOCATION PER DETAIL ON SHEET A1.3
14. NEW ADA RAMP WITH TACTILE TRUNCATED DOME MAT. SEE DTL THIS SHEET
15. PAINTED DIRECTIONAL ARROW AND/OR WORD SIGNAGE ON PAVEMENT
16. MOTORCYCLE PARKING SIGN
17. LINE OF SIGHT TRIANGLE- PER 8-2-2-15 (11" SHOWN- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS IN THIS AREA
18. DASHED LINE INDICATES LOCATION OF ADA PATH FROM STREET OR FROM HC PARKING SPACE. CROSS SLOPE NOT TO EXCEED 2%
19. PREMISE ID SIGNAGE- 12" HIGH
20. STANDING CURB LOCATION- SEE TCL SHEET FOR DETAIL.
21. EXISTING SIDEWALK TO REMAIN; REPAIR/REPLACE CRACKED STONES AS REQUIRED.
22. NEW BIKE RACK PER DETAIL ON TCL PAGE.
23. NOT USED
24. NOT USED
25. NOT USED
26. NOT USED
27. POLE LIGHT; 45 DEG SHIELDED.
28. STORAGE BUILDINGS ADJACENT PROPERTY
29. ON-STREET PARKING SPACE, 8' X20' PER DPM 7-4(H)(2)(III) AND FIGURE 7.4.88
30. EXISTING CMU OR METAL SKINNED WALL 8' TALL AT NORTH EDGE.
31. EXISTING METAL FENCE ALONG EAST EDGE OF PROPERTY.

# ZONING

**LEGAL DESCRIPTION** Lots 1, 2 & 8-13 Amended & Supplemental Replat Blocks A-B & C Monkbridge Addition

**SITE ACREAGE:** 2.0711 ACRES

**EXISTING LAND USE:** Commercial Services (light vehicle repair), Manufacturing (towing), Low-density Residential (single family detached dwelling)

**PROPOSED LAND USE:** Commercial Services (light vehicle repair), Manufacturing (towing)

**PROPOSED LAND USE:** Commercial Services (light vehicle repair), Manufacturing (towing)

**CLASSIFICATION** NR-LM  
**ZONE ATLAS** G-14-Z

# PARKING CALCULATIONS

**OFFICE - 3.5 per 1000 s.f.**  
2,157 S.F. / 1000 \* 3.5 = **8 SPACES**

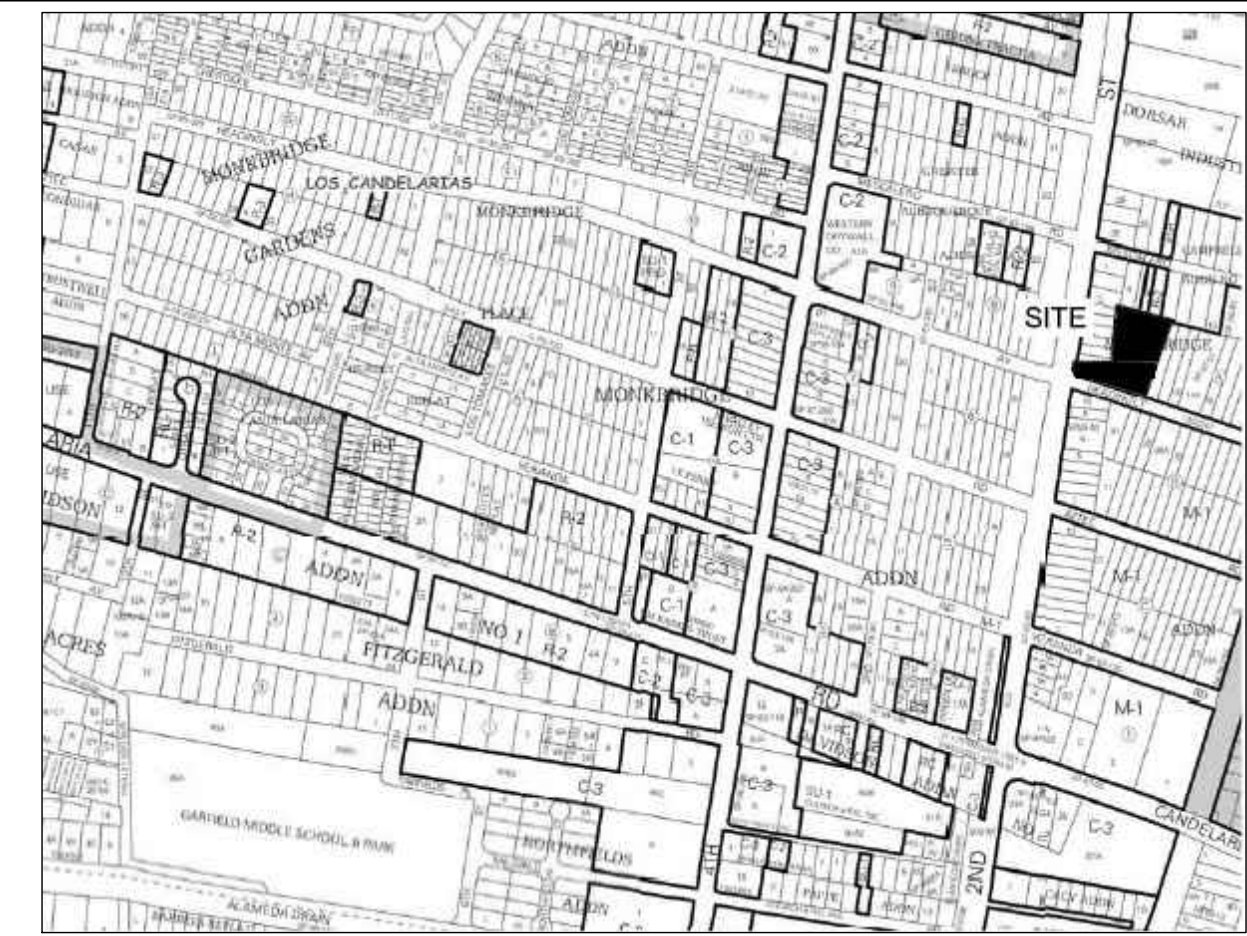
**LIGHT VEHICLE REPAIR - 1/1000S.F.**  
16,511 S.F. / 1000 = **17 SPACES**

**TOTAL SPACES REQUIRED - 25 SPACES**

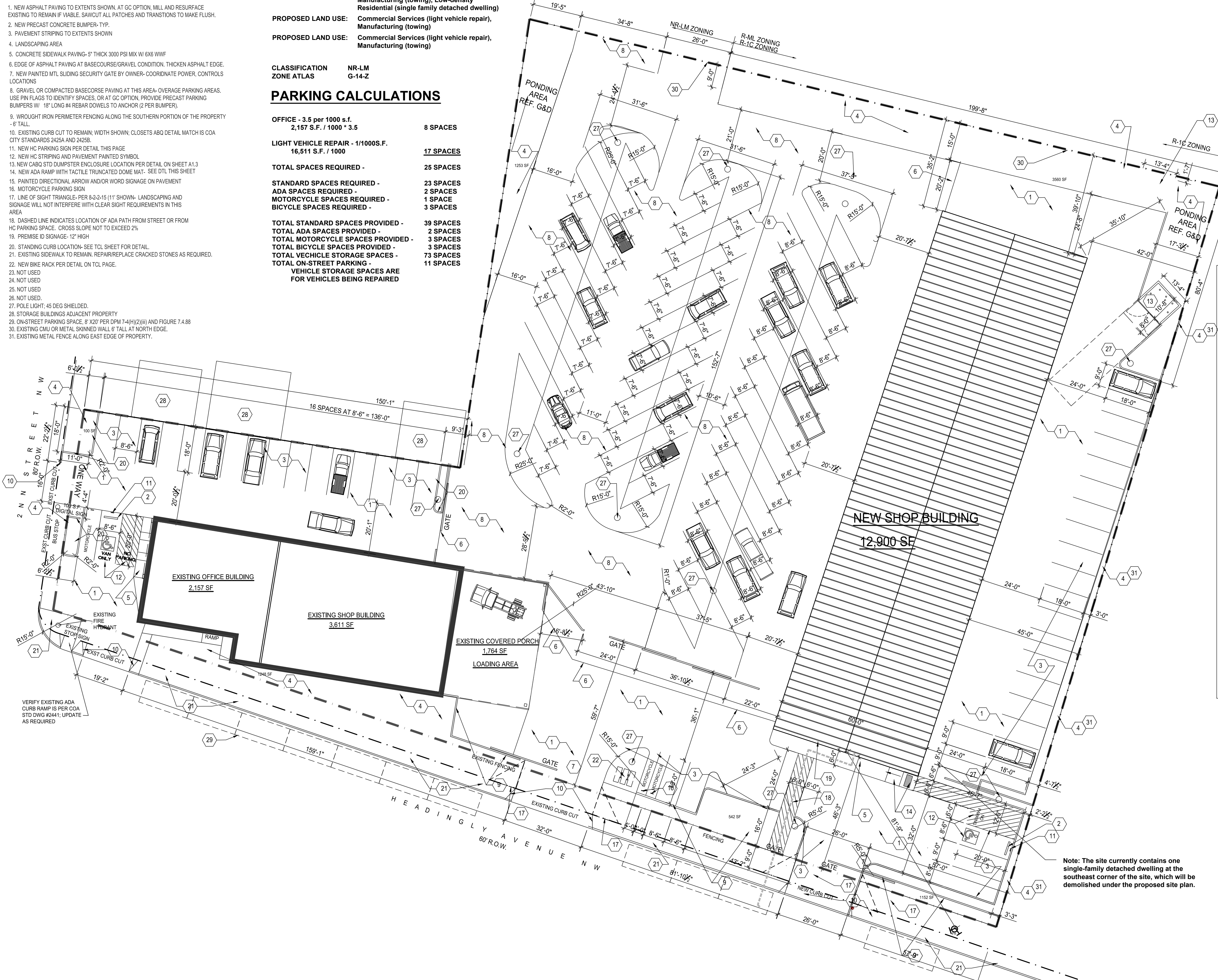
**STANDARD SPACES REQUIRED - 23 SPACES**  
**ADA SPACES REQUIRED - 2 SPACES**  
**MOTORCYCLE SPACES REQUIRED - 1 SPACE**  
**BICYCLE SPACES REQUIRED - 3 SPACES**

**TOTAL STANDARD SPACES PROVIDED - 39 SPACES**  
**TOTAL ADA SPACES PROVIDED - 2 SPACES**  
**TOTAL MOTORCYCLE SPACES PROVIDED - 3 SPACES**  
**TOTAL BICYCLE SPACES PROVIDED - 3 SPACES**  
**TOTAL VEHICLE STORAGE SPACES - 73 SPACES**  
**TOTAL ON-STREET PARKING - 11 SPACES**

**VEHICLE STORAGE SPACES ARE FOR VEHICLES BEING REPAIRED**



# VICINITY MAP



**PROJECT NUMBER:** \_\_\_\_\_

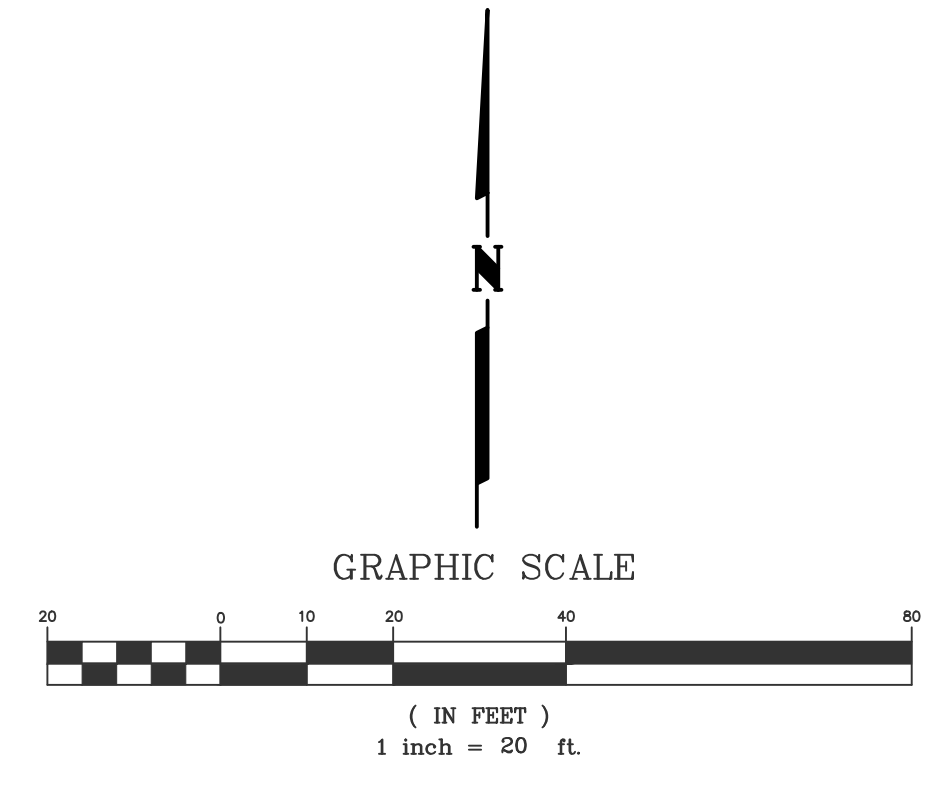
**Application Number:** \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

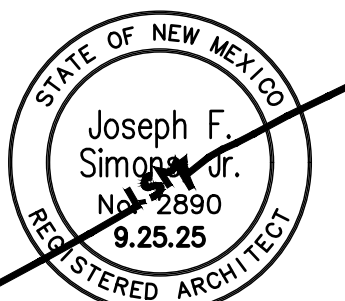
### DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
Hydrology	Date _____
Code Enforcement	Date _____
* Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
Planning Department	Date _____

\*Environmental Health, if necessary  
12/16/22



**SITE PLAN**  
A1.1 1" = 20'-0"



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**EPC SITE PLAN DISCOUNT COLLISION**  
4000 2ND ST. NW  
ALBUQUERQUE, NM  
BERNALILLO COUNTY

**JOB NUMBER**  
DIS-002  
**DATE**  
9.25.25  
**REVISIONS**

**DESIGNED & DRAWN BY**  
JFS

**A1.1**

EPC - SP-2025-00066



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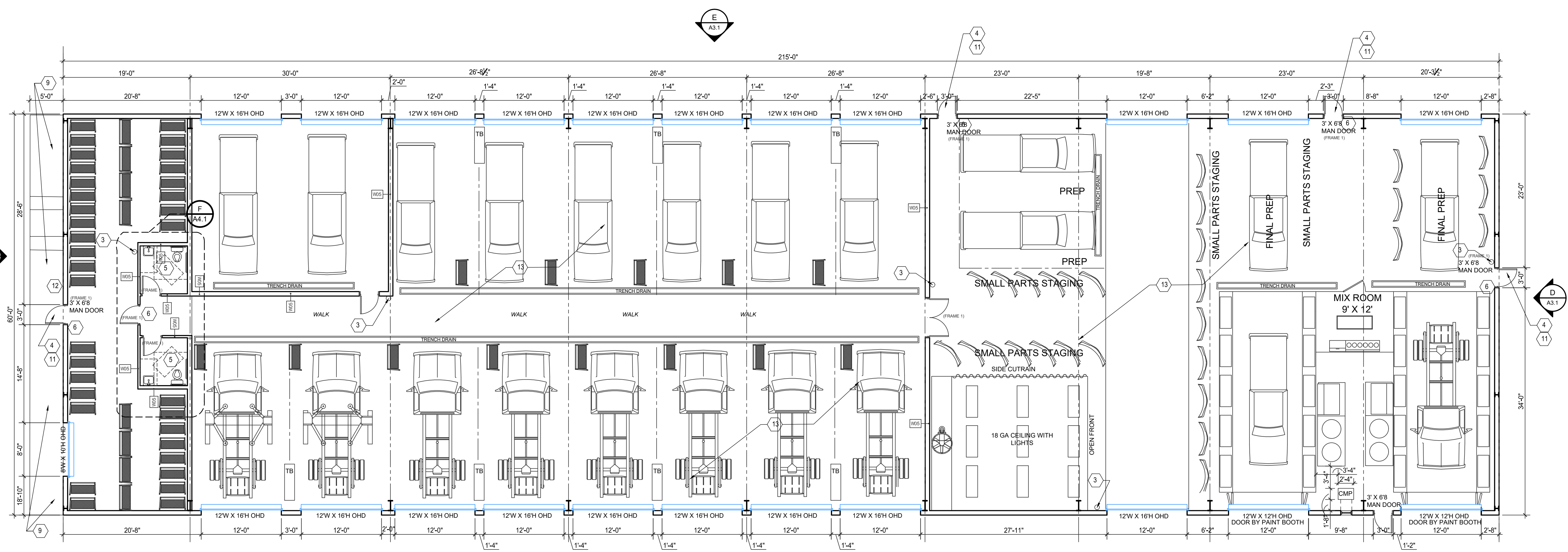
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**DISCOUNT TOWING**  
 4000 2ND ST. NW  
 ALBUQUERQUE, NM  
 BERNALILLO COUNTY

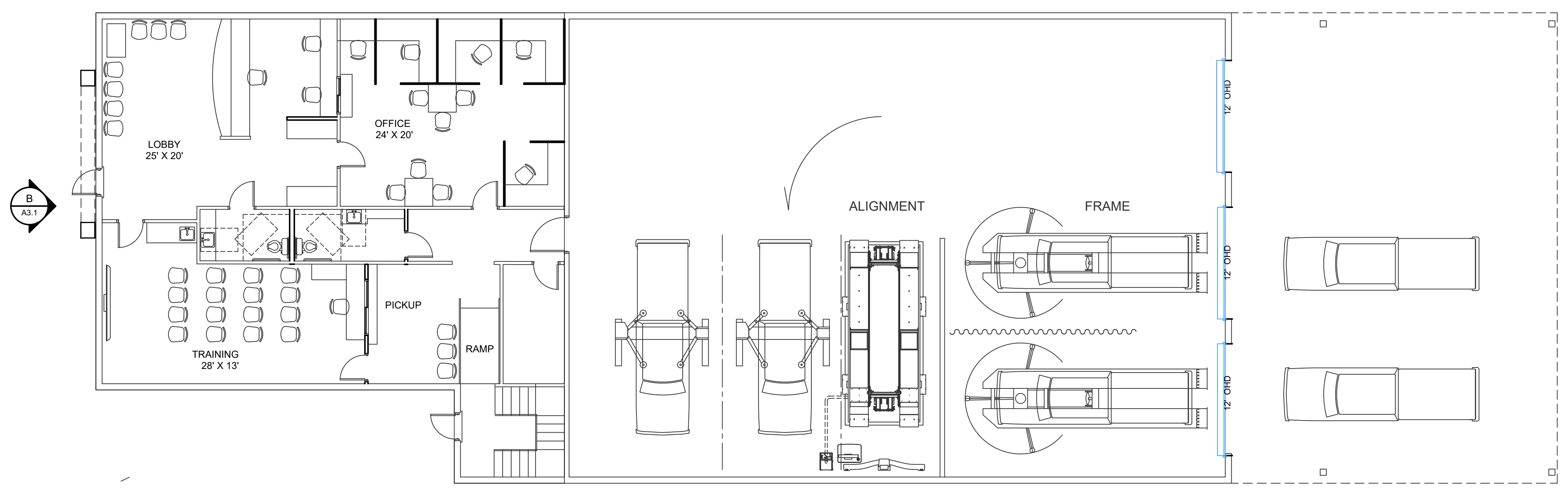
**JOB NUMBER**  
 DIS-002  
**DATE**  
 4.18.22  
**REVISIONS**

**DESIGNED & DRAWN BY**  
 JFS



**KEYED NOTES**

- MOP SINK LOCATION
- NEW ELECTRIC HILO WATER FOUNTAIN THIS LOCATION
- FIRE EXTINGUISHER- 2A-10-BC IN SEMI RECESSED CABINET OR BRACKET
- EXTERIOR EXIT- PROVIDE PANIC BAR AND EXIT SIGNAGE
- ADA COMPLIANT RESTROOM- PROVIDE SUSPENDED GYP BD CLG AT 8'-0" A.F.F.
- NEW DIRECTIONAL EXIT SIGN WITH EMERGENCY LIGHTING WITH 90 MIN BATTERY BACKUP- REFER TO ELECTRICAL DWGS FOR ADDITIONAL INFO.
- ELECTRICAL PANELS THIS LOCATION- REFER TO ELECTRICAL DRAWINGS
- HVAC UNIT- PAD MTD PACKAGE UNIT- REFER TO MECHANICAL DWGS
- NEW 4" THICK 3000 PSI CONC. SIDEWALK THIS LOCATION
- 3'-5 5/8" 20 GA. MTL STUD @ 15" O.C. WALL W/ 5/8" GYP BD. BOTH SIDES- T.T. AND P THIS LOCATION- STUD FRAMING & STUDS. GYP BD. TO DECK. AT WALL BT RESTROOMS USE 6" MTL
- EXTERIOR DOORS: PROVIDE WEATHERSTRIPS, CLOSER, THRESHOLD, PANIC BAR, PUSH/PULL PLATE
- PROVIDE KNOX BOX THIS LOCATION
- PAINT ALL EXPOSED STEEL FRAMING INSIDE THIS BUILDING

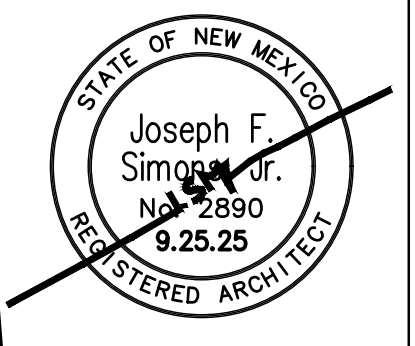
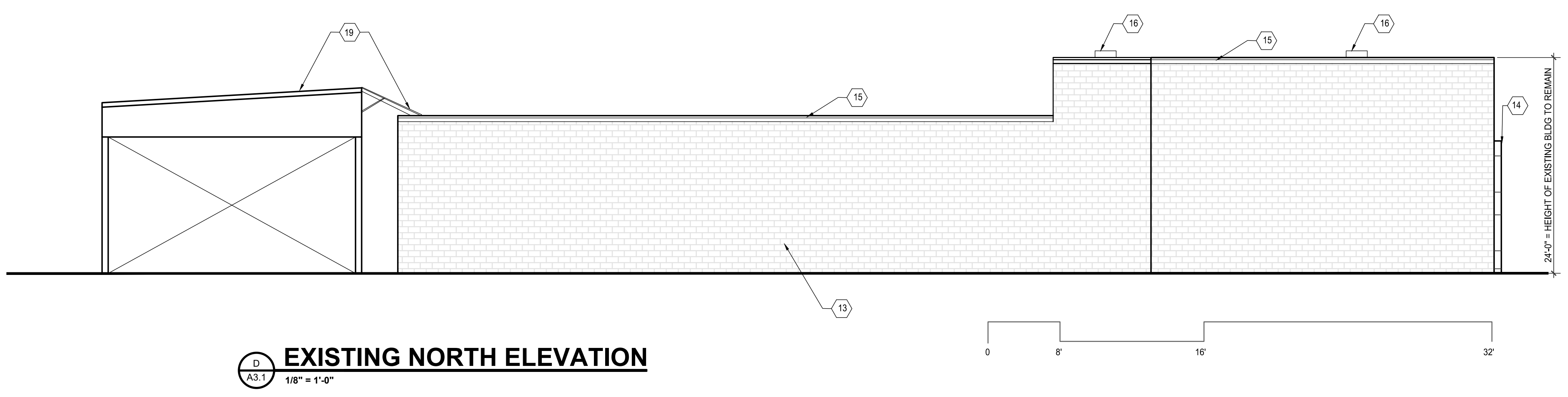
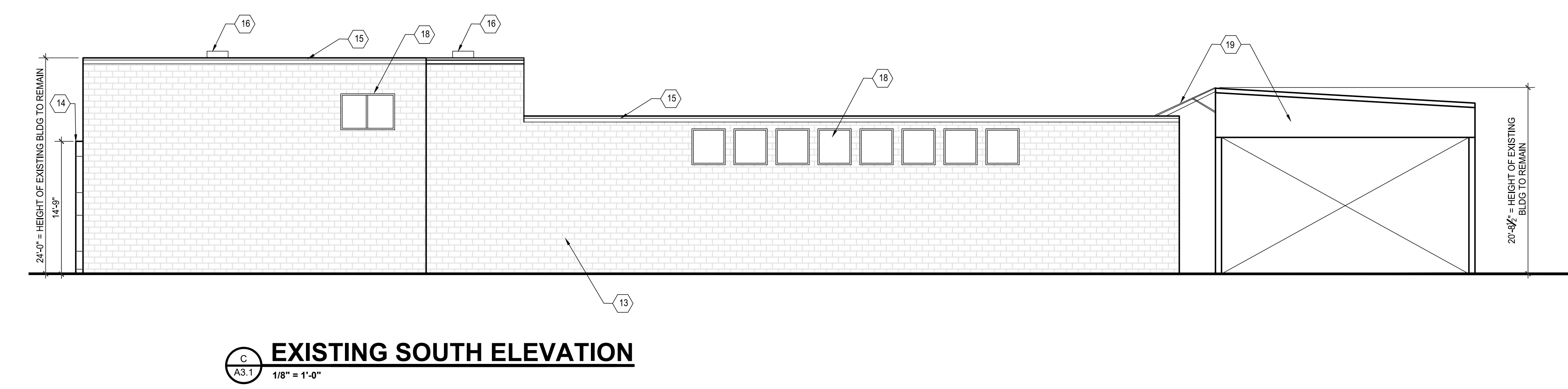
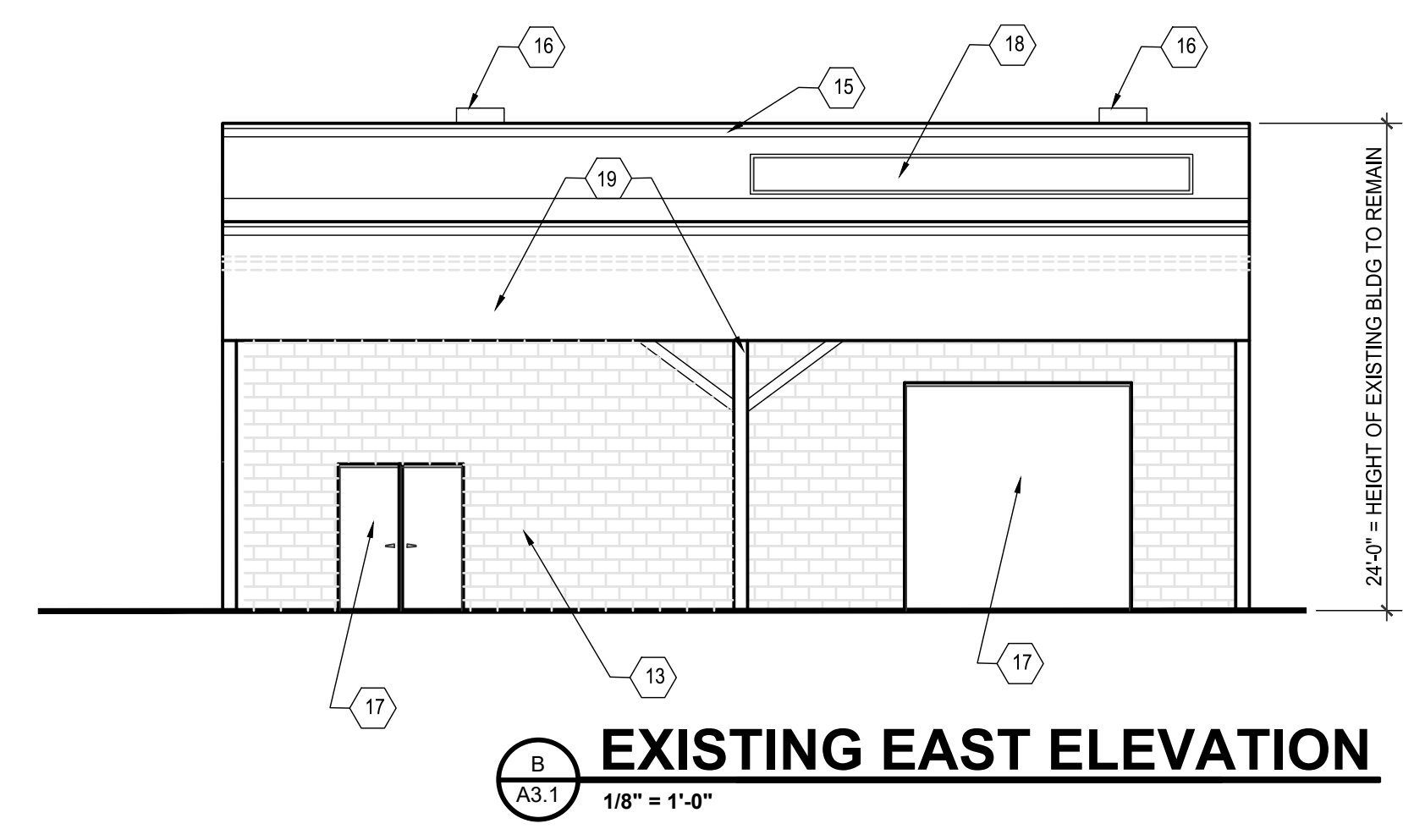
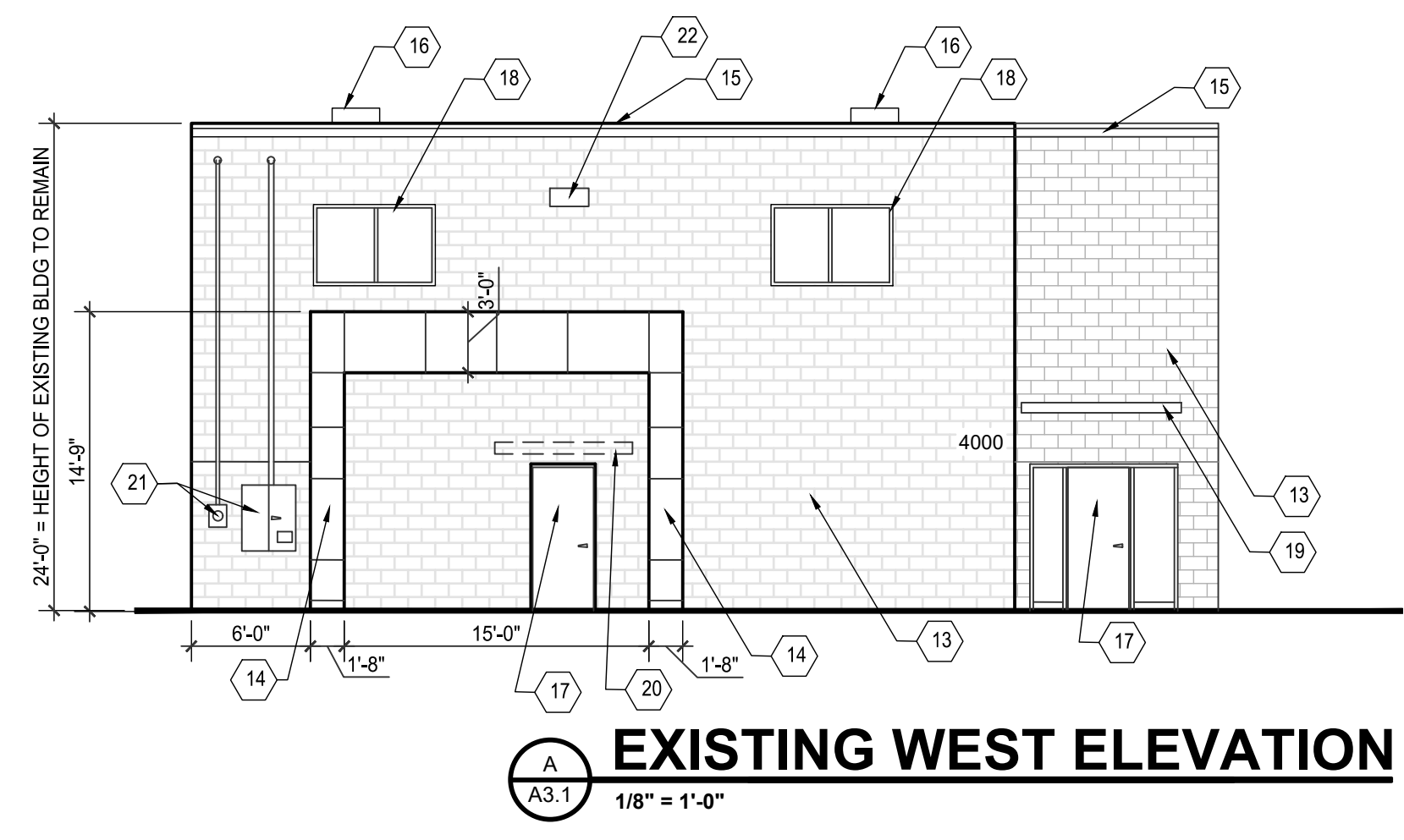


# GENERAL NOTES

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2. ALL FUTURE SIGNAGE WILL COMPLY WITH DEVELOPMENT STANDARDS IN IDO SECTION 14-16-5-2 SIGNS. THE DESIGN OF THE SIGN WILL BE DETERMINED UPON APPLICATION FOR A SIGN PERMIT.
3. NEW BUILDING COLORS TO BE SELECTED AT TIME OF SIGN PERMIT.

# KEYED NOTES

1. PREFABRICATED STEEL FRAMING, EXTERIOR SHEATHING, ROOFING AND TRIM BY METAL BLDG MANUFACTURER.
2. INSULATED GLAZING WINDOW ASSEMBLY BY METAL BUILDING MANUFACTURER.
3. HVAC UNIT-SEE MECHANICAL FOR SIZE, SUPPORT ANGLES AND TRIM BY METAL BLDG. MANUFACTURER.
4. DOWNSPOUT LOCATION, VERIFY SIZE AND ANCHORING BY METAL BLDG MANUFACTURER
5. GUTTER LOCATION, VERIFY SIZE AND ANCHORING BY METAL BLDG MANUFACTURER
6. EXTERIOR MAN DOOR AND FRAME- REFER TO PLANS AND SHEET A4.1 FOR SIZE AND TYPE.
7. STANDING SEAM METAL PANEL ROOF SYSTEM- BY METAL BLDG MFR.
8. PREFINISHED INSULATED OVERHEAD DOOR BY METAL BLDG MANUFACTURER
9. EXTERIOR LIGHT FIXTURE- RE: ELECTRICAL DWGS.
10. ELECTRICAL SERVICE AND METER LOCATION
11. PROVIDE KNOX BOX THIS LOCATION OR APPROVED LOCATION BY FIRE MARSHAL
12. PREMISE ID SIGNAGE- 12" HIGH
13. PAINTED CMU BLOCK (EXISTING)- REPAINT OR AT GC OPTION, COAT WITH EFS/STUCCO.
14. NEW MTL STUD FRAMED SIGNAGE FEATURE WITH W/D SHEATHING AND ACM PANEL FINISH- BY SIGN MFR, ANCHOR INTO EXISTING CMU FACADE AND SLAB BELOW.
15. PREFINISHED MTL COPING- REFINISH OR REPLACE
16. EXISTING HVAC.
17. EXISTING DOOR TO REMAIN- REPAINT/REFINISH.
18. EXISTING WINDOWS TO REMAIN- REPAINT/REFINISH.
19. EXISTING SHADE STRUCTURE TO REMAIN- REPAINT/REFINISH.
20. EXISTING ELECTRICAL SERVICE/ CT METER CAN ENCLOSURE TO REMAIN- REPAINT CABINET TO MATCH ADJACENT.
21. EXISTING LOUVER VENT TO REMAIN- REPAINT/REFINISH.
22. GAS METER; REF. PLUMBING
23. ELEC METER; REF. ELECTRICAL
24. ROOF EXHAUST; REF. MECHANICAL.



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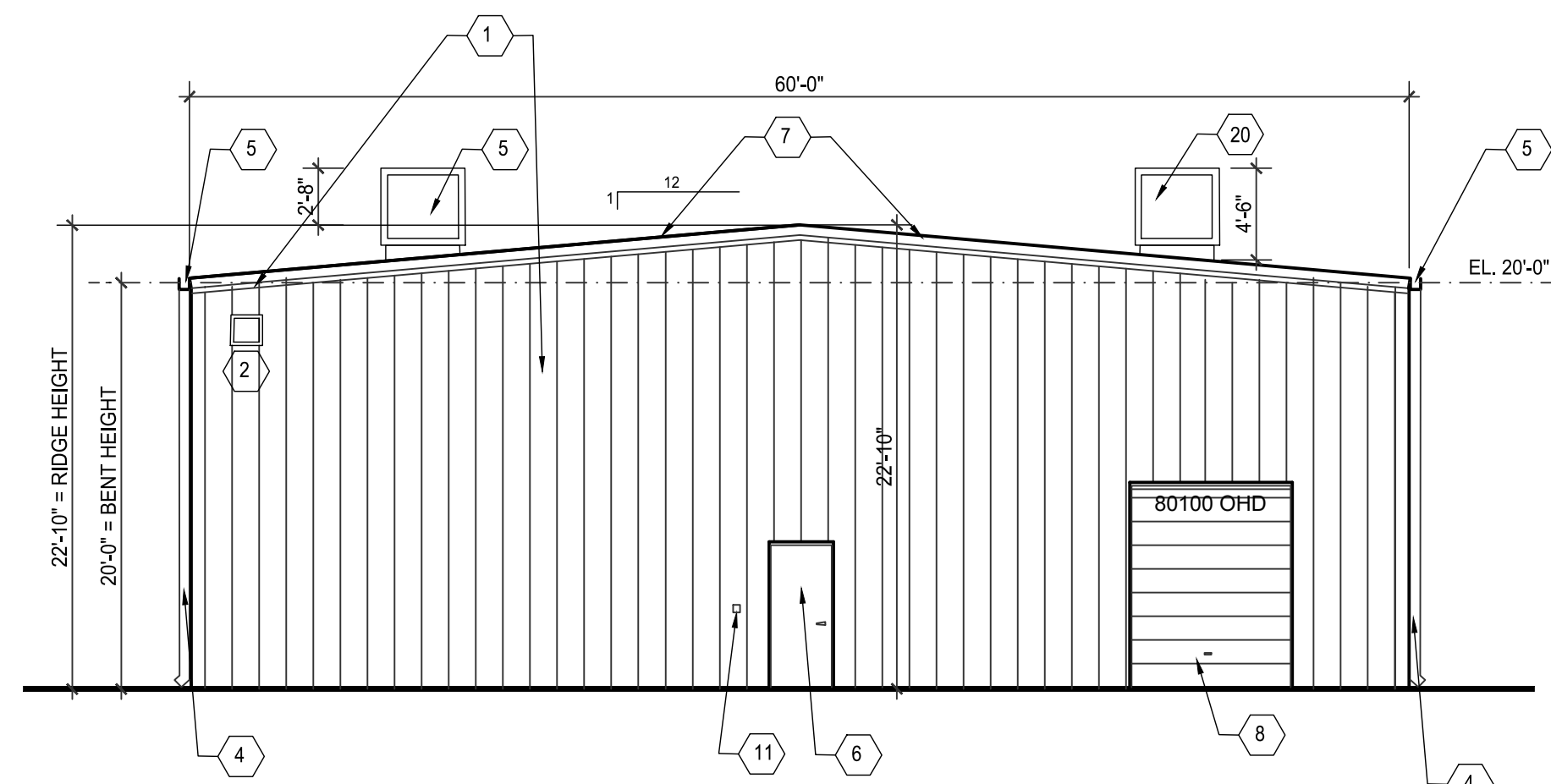


**EPC SITE PLAN  
DISCOUNT COLLISION**  
4000 2ND ST. NW  
ALBUQUERQUE, NM  
BERNALILLO COUNTY

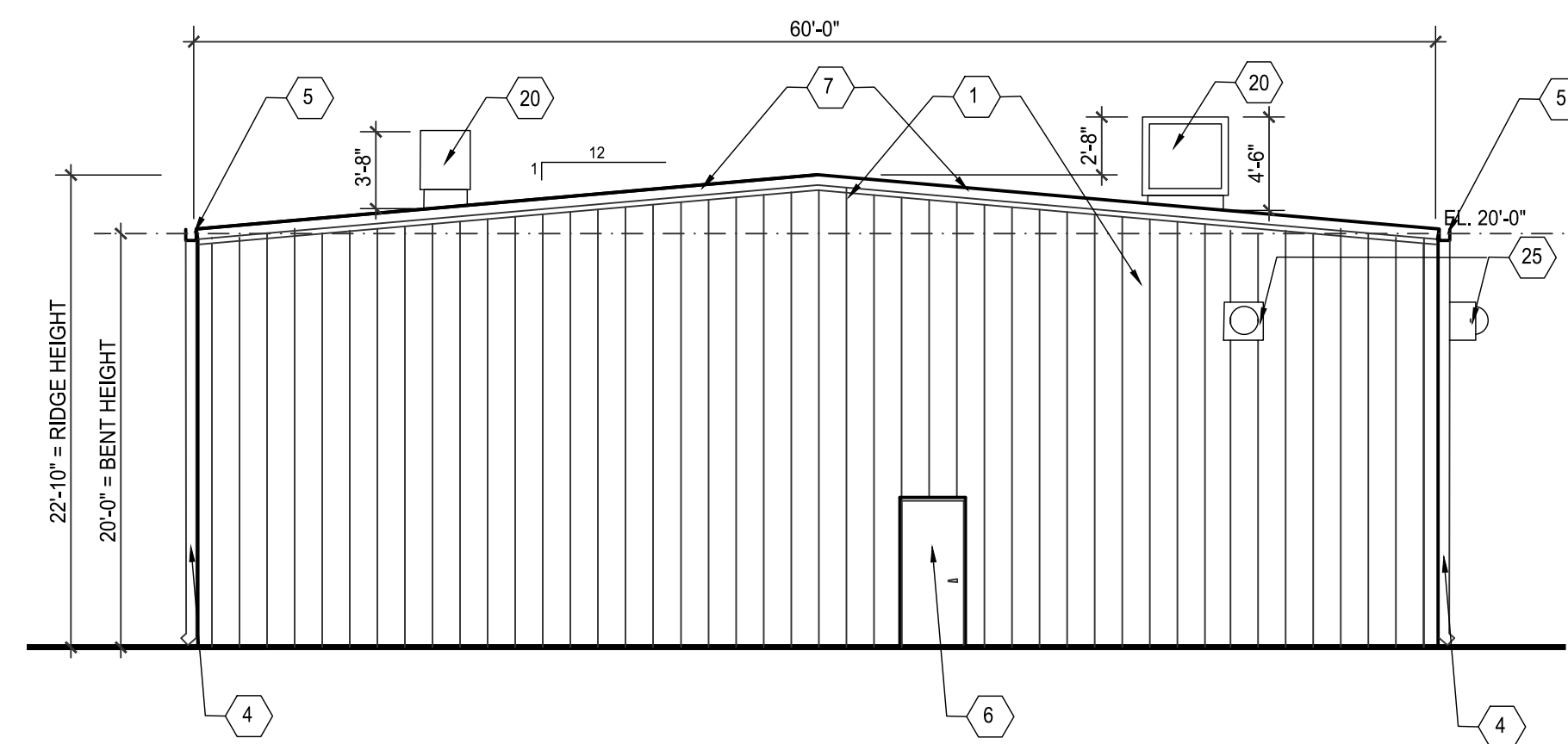
<b>JOB NUMBER</b>	DIS-002
<b>DATE</b>	9.25.25
<b>REVISIONS</b>	

**DESIGNED & DRAWN BY**  
JFS

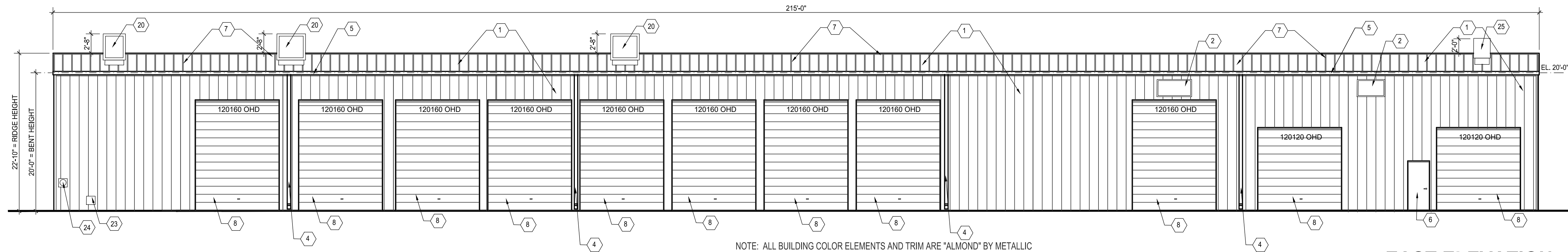
**A3.1**



**A SOUTH ELEVATION**  
A3.2  
1/8" = 1'-0"

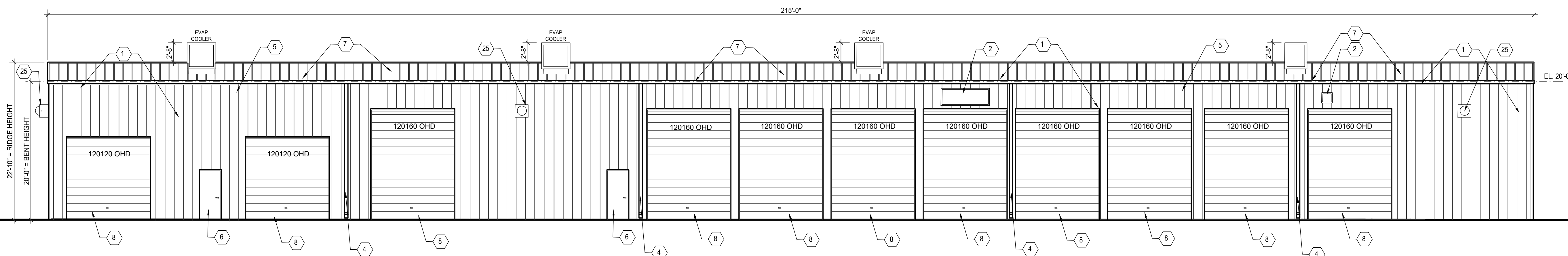


**B NORTH ELEVATION**  
A3.2  
1/8" = 1'-0"



NOTE: ALL BUILDING COLOR ELEMENTS AND TRIM ARE "ALMOND" BY METALLIC

**C EAST ELEVATION**  
A3.2  
1/8" = 1'-0"



**D WEST ELEVATION**  
A3.2  
1/8" = 1'-0"

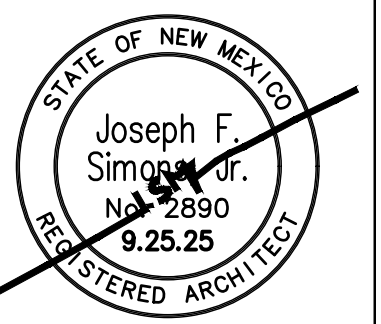


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**KEYED NOTES**

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2. LOUVER; REF. MECHANICAL.
3. HVAC UNIT- SEE MECHANICAL FOR SIZE, SUPPORT ANGLES AND TRIM BY METAL BLDG. MANUFACTURER.
4. DOWNSPOUT LOCATION, VERIFY SIZE AND ANCHORING BY METAL BLDG MANUFACTURER
5. GUTTER LOCATION, VERIFY SIZE AND ANCHORING BY METAL BLDG MANUFACTURER
6. EXTERIOR MAN DOOR AND FRAME- REFER TO PLANS AND SHEET A4.1 FOR SIZE AND TYPE.
7. STANDING SEAM METAL PANEL ROOF SYSTEM- BY METAL BLDG MFR.
8. PREFINISHED INSULATED OVERHEAD DOOR BY METAL BLDG MANUFACTURER
9. EXTERIOR LIGHT FIXTURE- RE: ELECTRICAL DWGS.
10. ELECTRICAL SERVICE AND METER LOCATION
11. PROVIDE KNOX BOX THIS LOCATION OR APPROVED LOCATION BY FIRE MARSHAL
12. PREMISE ID SIGNAGE- 12" HIGH
13. PAINTED CMU BLOCK (EXISTING)- REPAINT OR AT GC OPTION, COAT WITH EPS/STUCCO.
14. NEW MTL. STUD FRAMED SIGNAGE FEATURE WITH WD SHEATHING AND ACM PANEL FINISH- BY SIGN MFR. ANCHOR INTO EXISTING CMU FACADE AND SLAB BELOW.
15. PREFINISHED MTL COPING- REFINISH OR REPLACE
16. EXISTING HVAC.
17. EXISTING DOOR TO REMAN. REPAINT/REFINISH.
18. EXISTING WINDOWS TO REMAN- REPAINT/REFINISH.
19. EXISTING SHADE STRUCTURE TO REMAN- REPAINT/REFINISH.
20. EVAPORATIVE COOLER.
21. EXISTING ELECTRICAL SERVICE/ CT METER CAN ENCLOSURE TO REMAN- REPAINT CABINET TO MATCH ADJACENT.
22. EXISTING LOUVER VENT TO REMAN- REPAINT/REFINISH.
23. GAS METER; REF. PLUMBING
24. ELEC METER; REF. ELECTRICAL.
25. EXHAUST; REF. MECHANICAL.



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EPC SITE PLAN  
DISCOUNT COLLISION  
4000 2ND ST. NW  
ALBUQUERQUE, NM  
BERNALILLO COUNTY

JOB NUMBER	DIS-002
DATE	9.25.25
REVISIONS	

DESIGNED & DRAWN BY  
JFS

**A3.2**

### LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	47123
TOTAL BUILDING AREA (sf)	18668
TOTAL NET-LOT AREA (sf)	28445
LANDSCAPE AREA REQUIRED (sf) (15%)	4269

TOTAL ON-SITE LANDSCAPE PROVIDED	8057
GROUND COVER REQUIRED (15%)	6043
TREE CANOPIES AND GROUND-LEVEL PLANTS PROVIDED	6379
TOTAL GROUND-LEVEL PLANTS REQUIRED 25%	1509
TOTAL GROUND-LEVEL PLANTS PROVIDED	2943

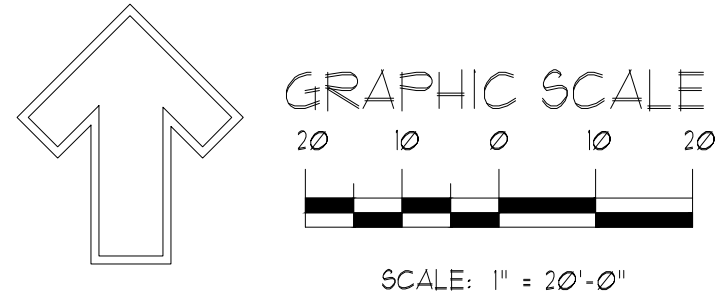
Organic Mulch (refer to IDO sheet.)

Note: Each Tree min 5' rad. 18.5 5 Trees x 18.5 sf =	343
See Tree Detail, a 5' radius of wood mulch is required around each tree w/out Filter Fabric with the exception of street trees.	
Note: Each Shrub 4' rad. 28.3 30 Shrubs x 12.5 sf =	311
Total Organic Mulch around trees and shrubs	110
Total Organic Mulch in planting beds	1657
Total Mulch Provided (area sf)	2427
Total Mulch Required 25% of total landscape area (area sf)	202



### PLANT SCHEDULE

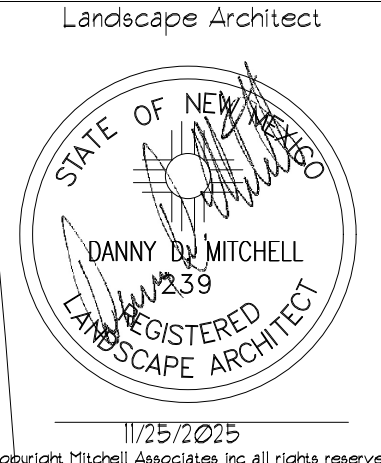
SYMBOL	QTY	SIZE	COMMON / BOTANICAL NAME	WATER USE	H X W MATURITY	COVERAGE	TOTAL COVERAGE
<b>TREES</b>							
	1	6' Hr.	Austrian Pine <i>Pinus nigra</i>	Medium	35'x25'	491	490
	3	2' Cal.	Bigtooth Maple <i>Acer grandidentatum</i>	Low - Medium	30'x25'	491	1,413
	3	2' Cal.	Gambel Oak <i>Quercus gambellii</i>	Low - Medium	25'x25'	491	1,413
						Total:	3,436
	7		SUBTOTAL				
<b>SHRUBS</b>							
	3	5 gal.	Apache Plume <i>Fallugia paradoxa</i>	Very low - Low	4'x5'	20	60
	5	5 gal.	Blue Mist Bluebeard <i>Caryopteris x clandonensis 'Blue Mist'</i>	Low - Medium	3'x5'	20	100
	6	5 gal.	Chamisa <i>Encarneria nauseosa nauseosa</i>	Very low - Low	5'x5'	20	120
	5	5 gal.	Desert Willow <i>Chilopsis linearis</i>	Low	20'x25'	491	2,455
	5	5 gal.	Fernbush <i>Chamaebotaria millefolium</i>	Very low - Low	5'x6'	28	140
	2	5 gal.	Gro-Low Fragrant Sumac <i>Rhus aromatica 'Gro-Low'</i>	Very low - Medium	2'x5'	20	40
	4	5 gal.	Red Yucca <i>Hesperaloe parviflora</i>	Very low - Low	3'x3'	7	28
	30		SUBTOTAL			Total:	2,943



**LANDSCAPE NOTES:**  
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain landscaping in a living, healthy, and attractive condition.  
 It is the intent of this plan to comply with the City of Albuquerque, IDO Ordinance.  
 It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.  
 Water management is the sole responsibility of the Property Owner.  
 Landscape Gravel a minimum depth of 3" shall be placed in all landscape areas.  
 Contractor shall supply to the owner samples and prices of various gravel samples for approval prior to installing.  
 25% of landscape area shall be covered with organic mulch. Mulch shall be a minimum of 4" deep in areas as shown on the plan. Landscape maintenance shall ensure that all wood mulch areas are maintained and refreshed on a regular basis. Filter Fabric shall not be placed in areas to receive wood mulch.

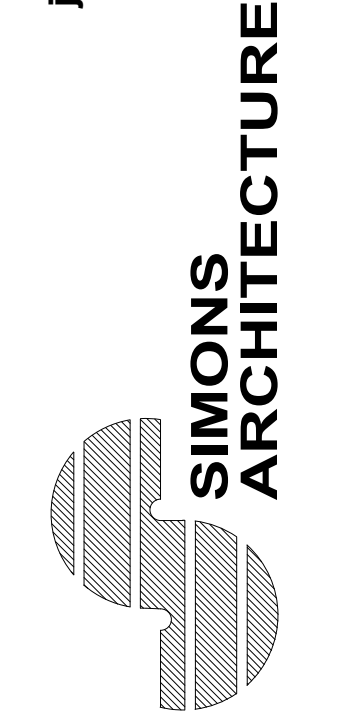
Landscape shall be watered by a complete underground irrigation system operated by automatic timer.  
 1/2 Trees shall have Netafim and shrubs shall have a minimum of 2 emitters per shrub.  
 Trees and shrubs shall be zoned separately.  
 Point of connection for irrigation system is unknown at current time and shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.  
 Landscaping shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.  
 No substitutions or alterations to this plan with out the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit set.

**Clear Site Triangle Note:**  
 Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.  
**Street Tree Notes:**  
 Per Section 5-6(D) (1) (a) Required Street Trees. Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)  
**Section 6-6-2-5 Street Trees**  
 (A)  
 1. Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.  
 2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced



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**EPC SITE PLAN DISCOUNT COLLISION**  
 4000 2ND ST. NW  
 ALBUQUERQUE, NM  
 BERNALILLO COUNTY

JOB NUMBER  
**DIS-002**  
 DATE  
**11/25/25**

REVISIONS

DESIGNED & DRAWN BY  
**dmirc**

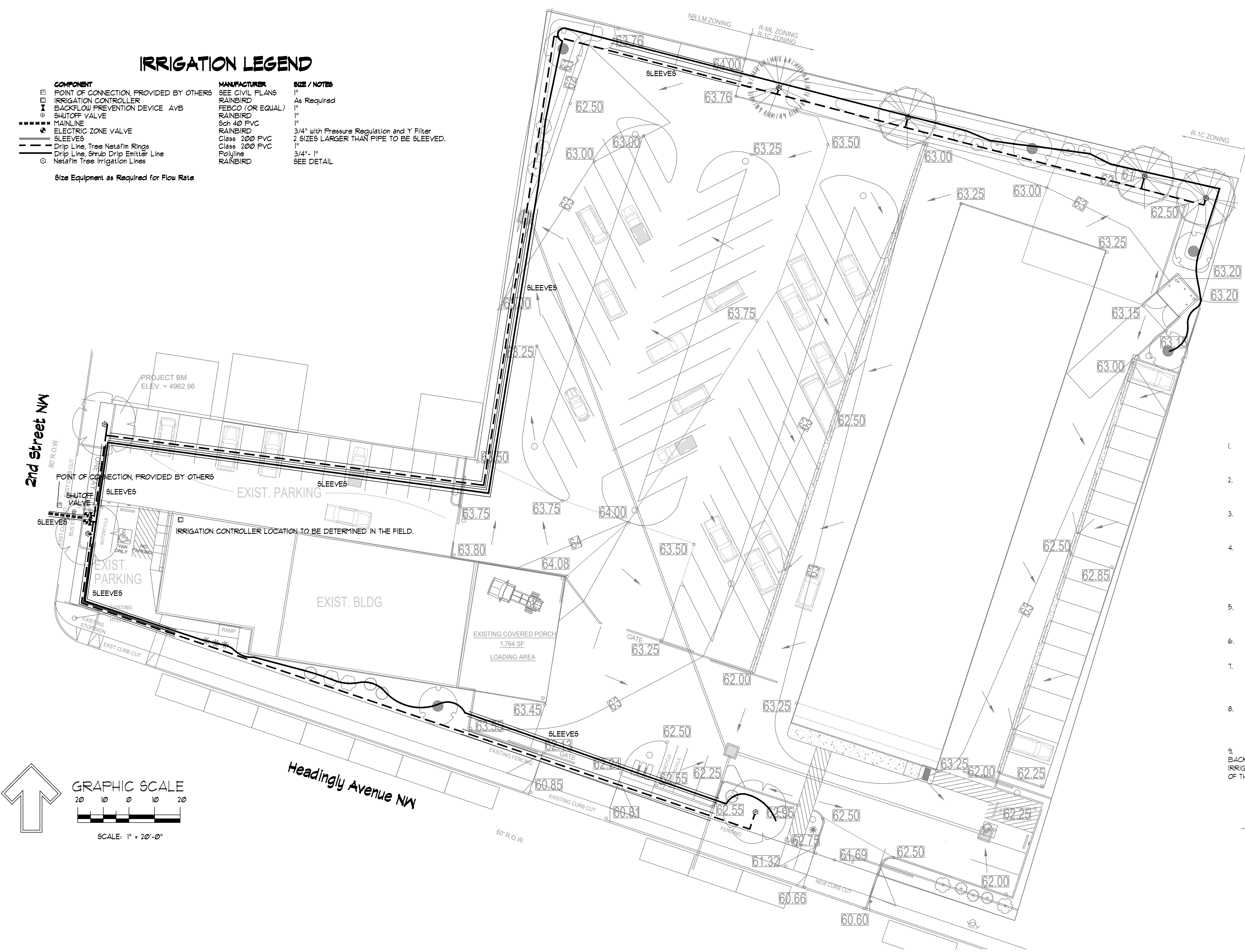
### Landscape Plan

# LS1

# IRRIGATION LEGEND

COMPONENT	MANUFACTURER	SIZE / NOTES
POINT OF CONNECTION PROVIDED BY OTHERS	SEE CIVIL PLANS	1"
IRRIGATION CONTROLLER	RAINBIRD	As Required
BACKFLOW PREVENTION DEVICE AVB	FEBCO (OR EQUAL)	1"
SHUTOFF VALVE	RAINBIRD	1"
MAINLINE	RAINBIRD	3/4" with Pressure Regulation and Y Filter
ELECTRIC ZONE VALVE	RAINBIRD	2 SIZES LARGER THAN PIPE TO BE SLEEVED.
SLEEVES	Class 200 PVC	1"
Drip Line, Tree NetAm Rings	Class 200 PVC	1"
Drip Line, Shrub Drip Emitter Line	Polyline	3/4" - 1"
NetAm Tree Irrigation Lines	RAINBIRD	SEE DETAIL

Size Equipment as Required for Flow Rate



## GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
- THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
- SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNER. BACKFLOW PREVENTOR TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER.

## GENERAL NOTES

Irrigation shall be a complete underground system.

Trees and shrubs shall be on separate valves.

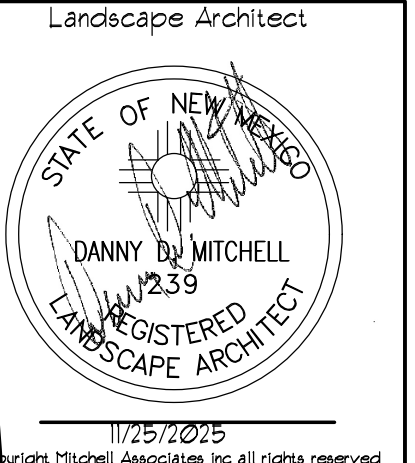
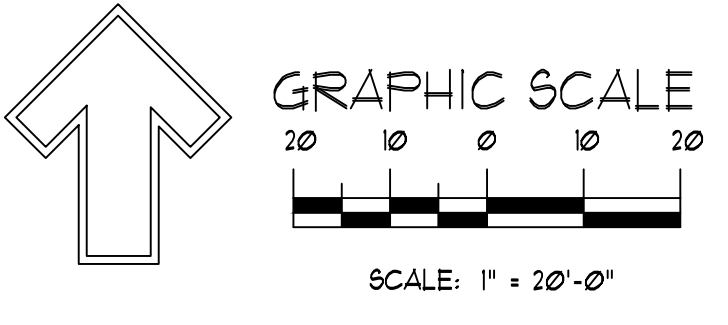
Point of connection for Irrigation system shall be as indicated on the Utility Plan, Civil drawings. Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.

Irrigation will be operated by smart Irrigation system automatic controller, capable of multi-programming ability.

Location of controller to be field determined and power source for controller to be provided by the owner.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source for irrigation system shall be the responsibility of the Property Owner.



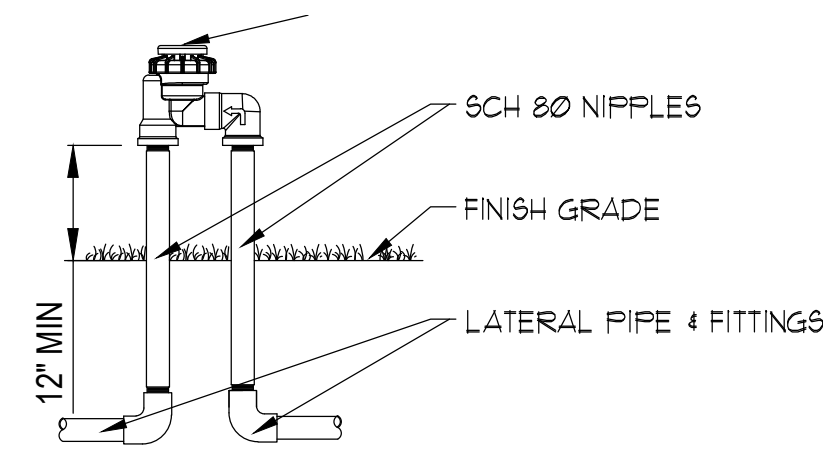
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EPC SITE PLAN  
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BERNALILLO COUNTY

JOB NUMBER  
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REVISIONS

DESIGNED & DRAWN BY  
dm/rc  
Irrigation Plan  
LS2

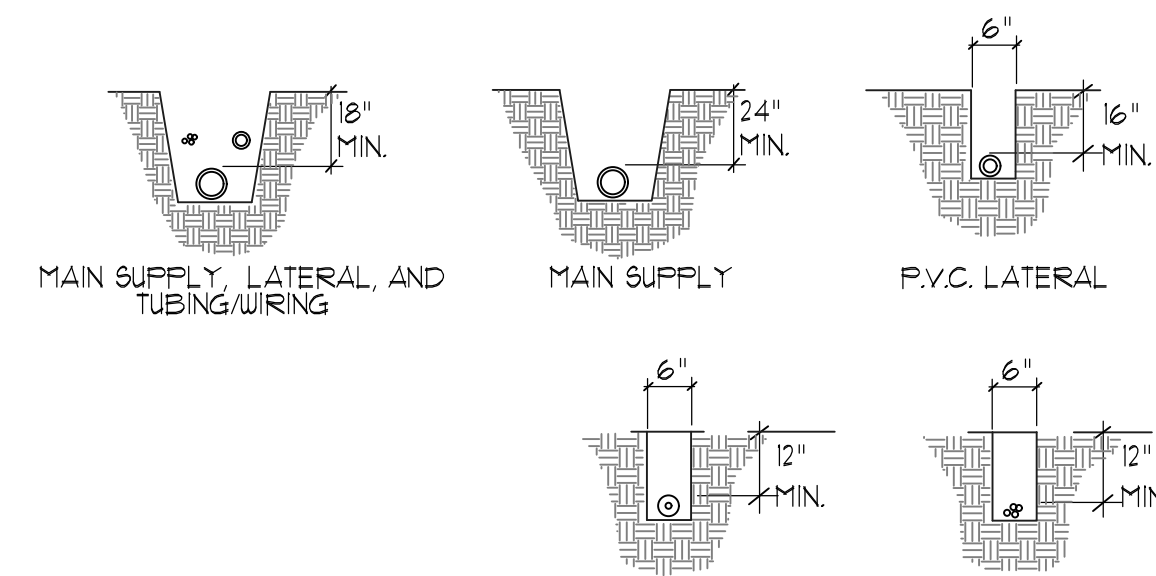


NOTE:  
ATMOSPHERIC VACUUM BREAKERS SHOULD BE INSTALLED 6 - 12" ABOVE THE HIGHEST SPRINKLER HEAD WITHIN THE ZONE, OR, ACCORDING TO LOCAL CODE.

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. DO NOT SCALE DRAWINGS.
  3. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) REFERENCE NUMBER 301-035n.

**AVB VALVES-AVB W / SCH 80 NIPPLE RISERS**

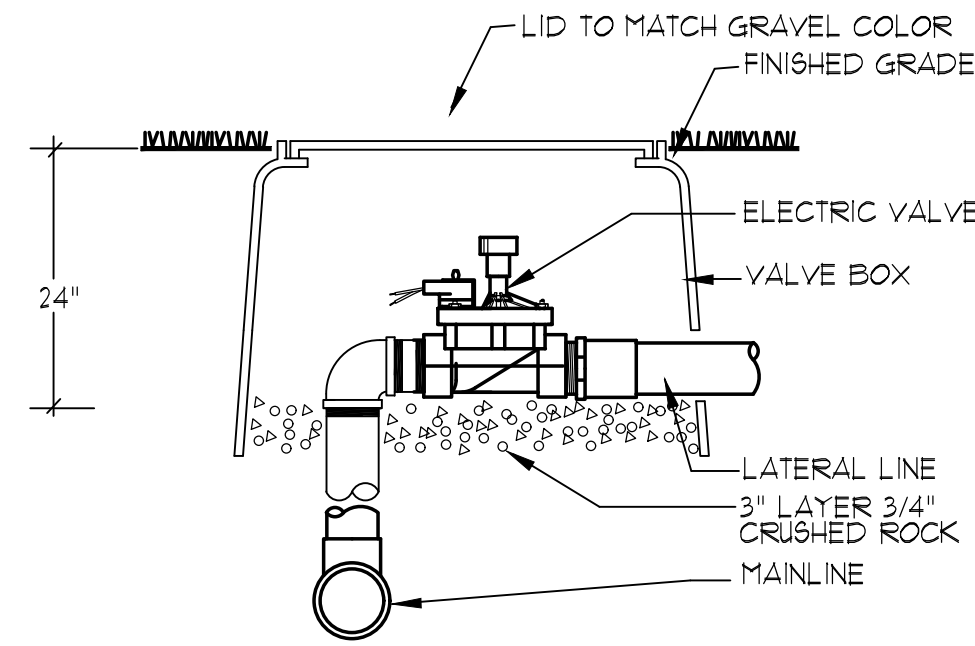
N.T.S.



- DETAIL NOTES:
1. ALL P.V.C. PIPING SHALL BE SNAKED IN TRENCHES.
  2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
  3. ALL WIRING TO BE BUNDLED AND TAPED AT 10' INTERVALS.
  4. ALL MAIN SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
  5. PROVIDE PIPE AND WIRE SLEEVING UNDER ALL PAVED SURFACES.
  6. WIRE SHALL BE WITHIN SEPARATE 2" ELECTRICAL CHASE.

**TRENCHING DETAIL**

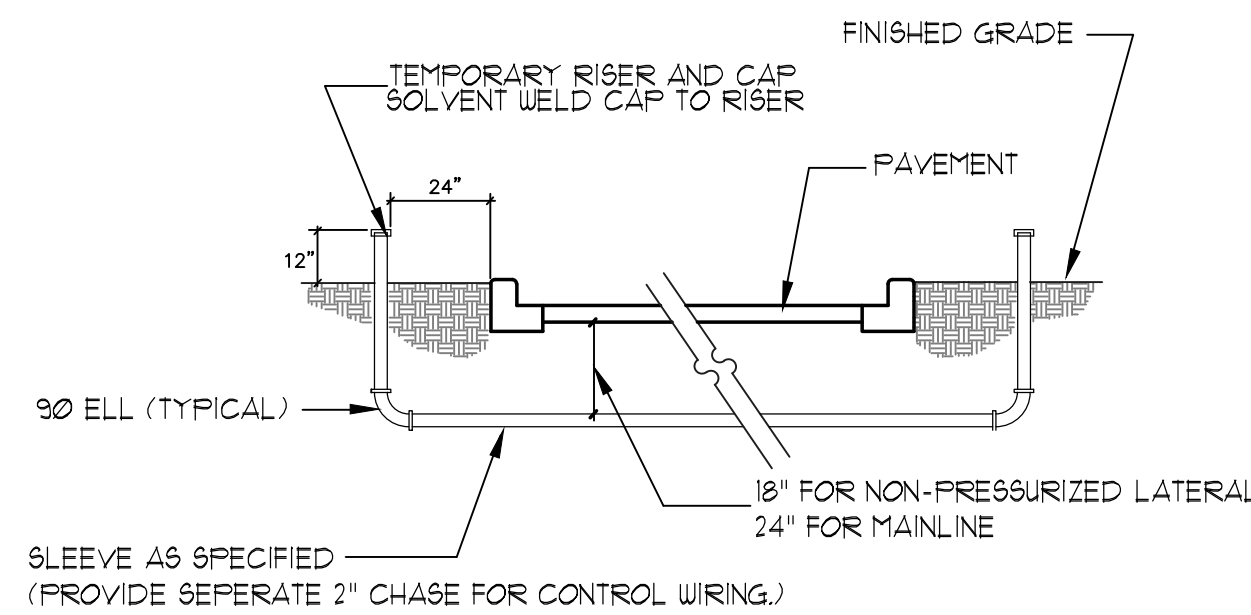
N.T.S.



**ELECTRIC VALVE ASSEMBLY**

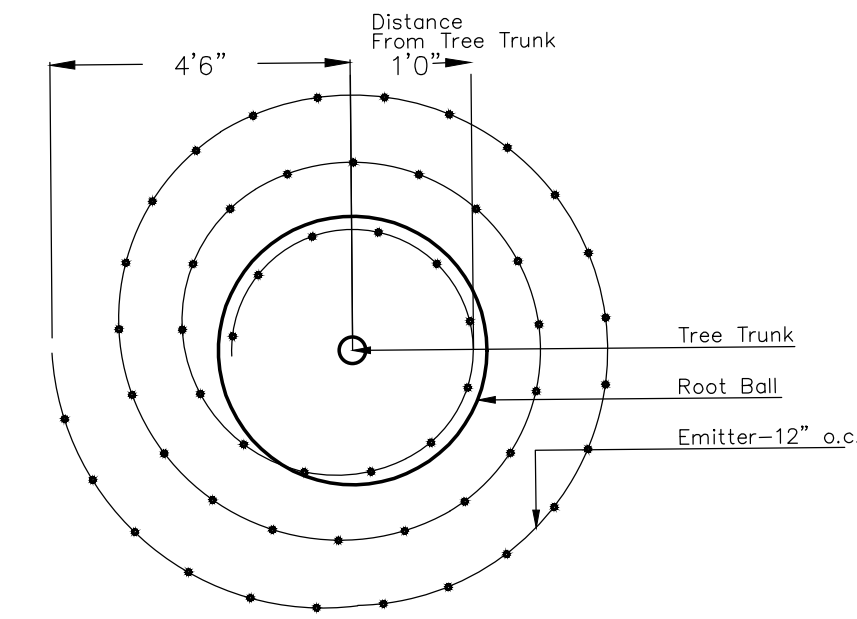
NOTE: ALL IRRIGATION COMPONENTS WILL USE RECLAIMED WATER WHEN IT BECOMES AVAILABLE TO MESA DEL SOL.

N.T.S.



**SLEEVE INSTALLATION DETAIL**

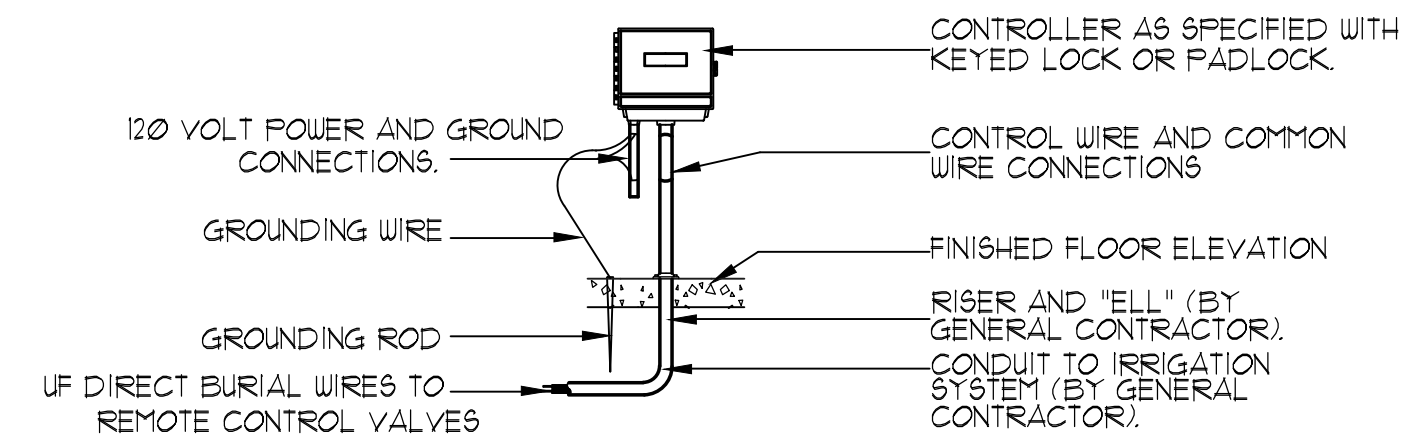
N.T.S.



**Netafim Spiral Detail**

**NETAFIM DETAIL**

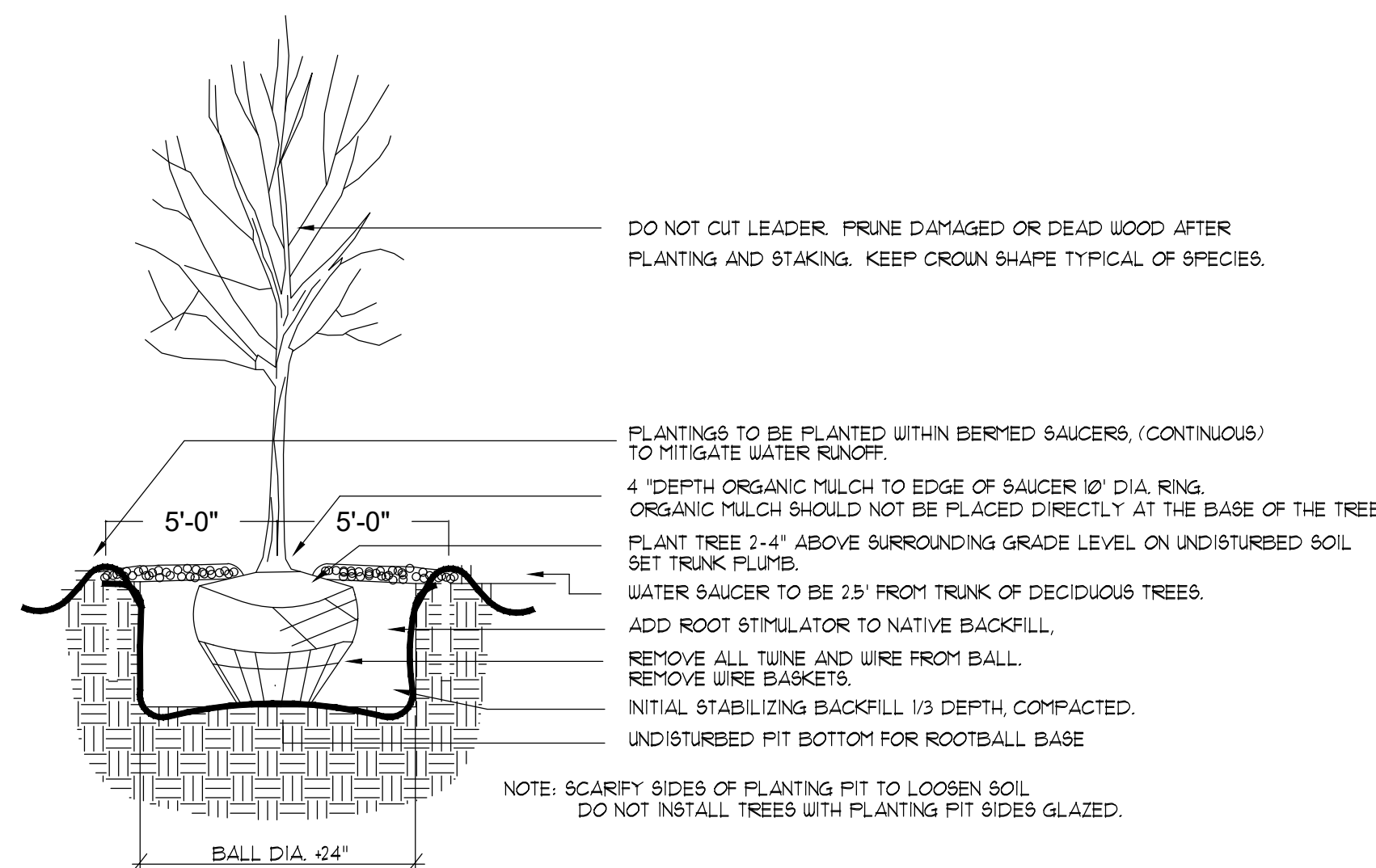
N.T.S.



- DETAIL NOTES:
1. ELECTRICAL POWER TO BE SUPPLIED BY OTHERS.
  2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
  3. SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER.
  4. CONTROLLER TO BE MOUNTED APPROXIMATELY 5'-0" ABOVE FINISHED FLOOR ELEVATION.

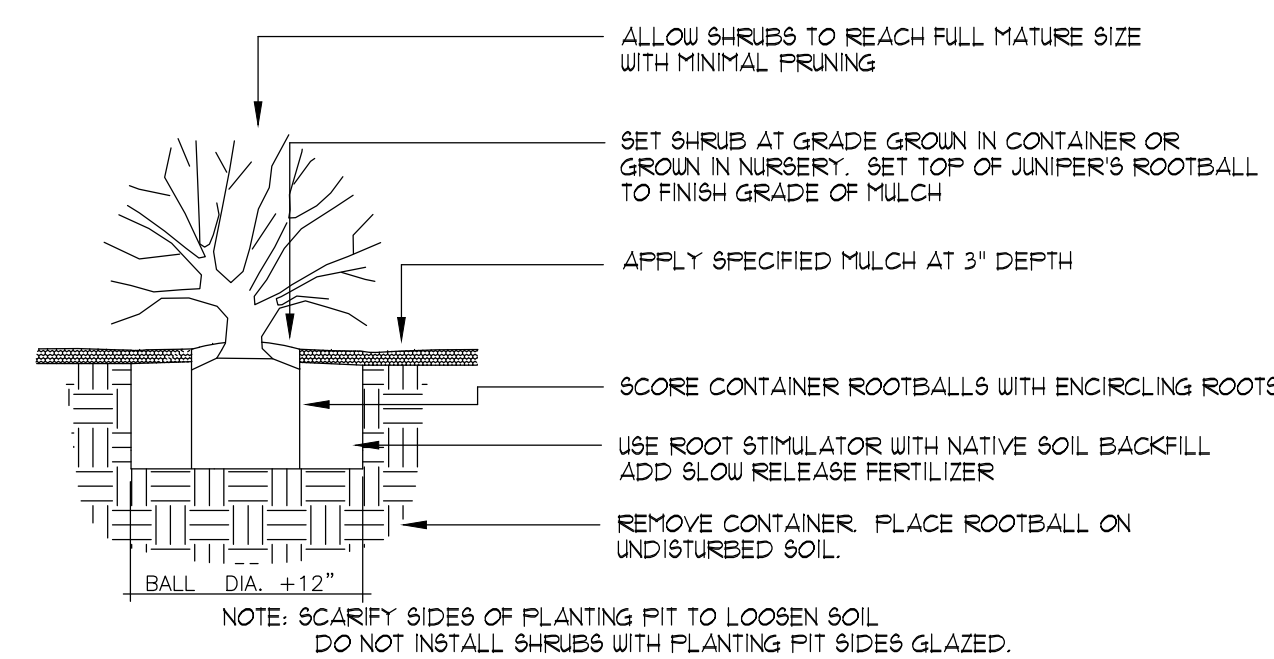
**CONTROLLER DETAIL**

N.T.S.



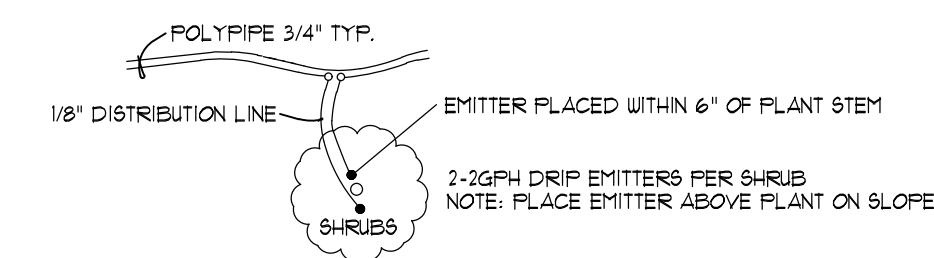
**TREE PLANTING DETAIL**

N.T.S.



**SHRUB PLANTING DETAIL**

N.T.S.



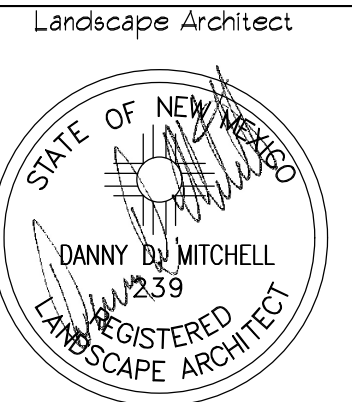
**SHRUB EMITTER PLACEMENT DETAIL**

N.T.S.



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11/25/2025

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**EPC SITE PLAN DISCOUNT COLLISION**  
 4000 2ND ST. NW  
 ALBUQUERQUE, NM  
 BERNALILLO COUNTY

JOB NUMBER

DIS-002

DATE

11/25/25

REVISIONS

DESIGNED & DRAWN BY

dm/rc

**DETAILS**

**LS3**

# City of Albuquerque Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided for Reference

**PURPOSE**  
This Section 14-16-5-6 regulates landscaping to ensure visually attractive, sustainable desert landscapes that aid in the creation of a quality public realm. The City recognizes landscape as a visual component to quality environments that enhance Albuquerque's overall appearance and provide other public benefit through:

- 5-6(A)(1) Providing visual relief from urbanization.
- 5-6(A)(2) Establishing a consistent, attractive streetscape that generates a sense of continuity and a strong positive city image.
- 5-6(A)(3) Improving the aesthetic appearance of commercial, industrial, and multi-family residential development to protect and enhance public and private investments and property values.
- 5-6(A)(4) Ensuring the use of native and/or adapted, low water-use, or xeric species and regionally appropriate, sustainable design and maintenance techniques to conserve water resources.
- 5-6(A)(5) Contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscape should be designed to retain soil moisture, prevent erosion, encourage the growth of abutting plantings, and mitigate urban heat-island effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and glare.
- 5-6(A)(6) Providing screening of some types of facilities, structures, and parking areas.
- 5-6(A)(7) Providing shade and comfort for pedestrians and visually narrowing streets, which has been shown to reduce vehicle speeding and accidents.

**APPLICABILITY**  
5-6(B)(1) The provisions of this Section 14-16-5-6 shall apply to any of the following, unless specified otherwise in this IDO:

- 5-6(B)(1)(a) Construction of a new building containing multi-family, mixed-use, or non-residential development, or an accessory parking structure.
- 5-6(B)(1)(b) Construction of a new lot containing 15 or more spaces, or expansion of an existing parking lot by 25 spaces or more.
- 5-6(B)(1)(c) Expansion of the gross floor area of an existing building containing multi-family, mixed-use, or non-residential development by 2500 square feet or more, or expansion of an existing building by 25 percent or more.
- 5-6(B)(1)(d) Renovation or redevelopment of an existing building containing multi-family, mixed-use, or non-residential development, including but not limited to reconstruction after fire, flood, or other damage where the value of the renovation or redevelopment, indicated by building permits, is \$500,000 or more.
- 5-6(B)(2) In the case of walls provided for buffering or screening requirements with conflicting standards in this Section 14-16-5-6, Section 14-16-5-3 (Fencing and

3 feet. In any direction from any impermeable hard surface. (A buffer using organic mulch can be used when planting cool season grass adjacent to impermeable surfaces.)

- 5-6(C)(4)(e) Landscaping abutting arroyos shall consist of native plants that are included on the Official Albuquerque Plant Palette.
- 5-6(C)(4)(f) Artificial turf/grass shall not be counted as living vegetative material or meet the requirements of the Subsection 14-16-5-6(C) (General Landscaping Standards).
- 5-6(C)(4)(g) All vegetation shall comply with Article 9-2 and Parts 6-1 and 6-2-7 of ROA 1994 (Poison Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.
- 5-6(C)(4)(h) All required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ANSI) of the American Nursery and Landscape Association.
- 5-6(C)(4)(i) Shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided.
- 5-6(C)(4)(j) In DT-UC-MB areas, landscaped areas other than street frontage shall include pedestrian furniture, pedestrian amenities, or trash receptacles to encourage pedestrian use.
- 5-6(C)(4)(k) See also Subsection 14-16-5-6(D) (Street Frontage Landscaping) for additional landscaping requirements.
- 5-6(C)(4)(l) Planting Standards. 5-6(C)(5)(A) All vegetated material required by this Section 14-16-5-6 shall be planted in uncompact soil.
- 5-6(C)(5)(B) If used, weed barriers shall be permeable to optimize stormwater infiltration and prevent erosion.
- 5-6(C)(5)(C) The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area, or 50 percent in DT-UC-MB areas. 5-6(C)(5)(d) A minimum of 2 inches of organic mulch is required in all planting areas with 3-4 inches recommended. 5-6(C)(5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited.
- 5-6(C)(5)(f) All landscaped areas shall be protected from vehicular encroachment by curbs or wheel stops located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated areas and stormwater infiltration areas.
- 5-6(C)(6) Minimum Plant Sizes at Installation. All vegetation required by this Section 14-16-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO.

Plant material type (Mature Type)	Minimum Size
Deciduous Street Trees	2 in. caliper @ 8' above grade
Deciduous Arroyo Trees	3.5 in. caliper @ 8' in. above grade or 6 ft. in height
Evergreen Trees	6 ft. in height
Multi-trunk Trees	Minimum 2 trunks with a combined caliper of 2 in.
Shrubs	3 gallon container
Ground cover and turf	Adequate to provide ground cover within 1 growing season after planting.

5-6(C)(7) Plant Material Spacing  
5-6(C)(7)(a) vegetation required by this Section 14-16-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve vaults, noise bins, manholes, hydrants, and fire department connections.

5-6(C)(7)(b) All planting requirements are based on the length of the street frontage, areas occupied by driveways and drive aisles shall be included when calculating the number of trees required to be planted, and all trees that would otherwise be required in driveways or drive aisles shall be planted in other landscaped front yard areas.

5-6(C)(7)(c) The Planning Director may authorize adjustments to any spacing requirements when required due to topography, drainage, utilities or obstructions, provided that the total amount of required landscaping is not reduced.

5-6(C)(8) Protecting Clear Sight Triangle  
The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

5-6(C)(9) Planting in or over the Public Right-of-Way  
5-6(C)(9)(a) All planting or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repairs, or liability for all the landscaping planted in or over the public right-of-way.

5-6(C)(9)(b) Any trees that are planting a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8 foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 3 foot clearance over the street surface.

5-6(C)(9)(c) Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the area or the landscaping area shall be included in the area in the public right-of-way, or a separate valve(s) at the property line adjacent isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way.

5-6(C)(10) Planting near Utilities  
5-6(C)(10)(a) Trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced.

5-6(C)(10)(b) Trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line.

5-6(C)(10)(c) Trees or shrubs planted within utility easements shall comply with the standards of the utility provider to minimize effects on facilities maintenance and repair.

5-6(C)(10)(d) If overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.

5-6(C)(10)(e) All screening and vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance for access and to ensure the safety of the work areas and public during maintenance and repair.

5-6(C)(10)(f) Trees shall not be planted near existing or proposed street light poles.

5-6(C)(10)(g) Standards in the DPM may apply to tree planting in or near other utility easements, such as gas lines.

5-6(C)(11) Parking on Landscaped Areas Prohibited  
5-6(C)(11)(a) All existing vegetation preserved and used for credit against the requirements for new vegetation shall be protected during construction by a fence erected one foot beyond the drip line of the vegetation.

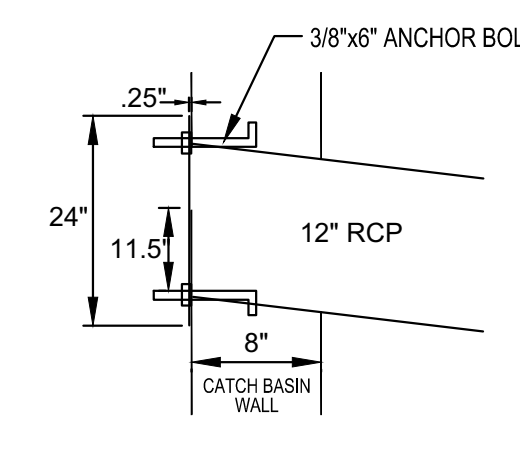
5-6(C)(11)(b) Trees may be credited only 1 time toward any one buffer, screen, or other landscape requirement.

5-6(C)(11)(c) Trees shall be credited in accordance with Table 5-6-2.

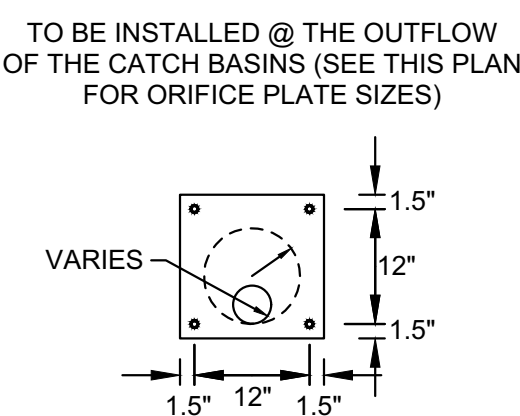
Diameter at Breast Height (in.)	Number of Trees Credited
<2.5	6
2.5 and <3.5	8
3.5 and <4.5	10
4.5 and <5.5	12
5.5 and <6.5	14
6.5 and <7.5	16
7.5 and <8.5	18
8.5 and <9.5	20
9.5 and <10.5	22
10.5 and <11.5	24
11.5 and <12.5	26
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20.5 and <21.5	44
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23.5 and <24.5	50
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**KEYED NOTES**

- 1 MAINTAIN EXISTING DRAINAGE AROUND EXISTING BUILDING
- 2 EDGE OF PAVEMENT
- 3 PROPOSED 2' CONCRETE VALLEY GUTTER
- 4 INSTALL DRIVEWAY PER COS STD DWG 2426
- 5 EXISTING STORM DRAIN INLET INSTALL 8" PVC INTO INV.= 4958.00
- 6 47 LF OF 8" PVC INV. IN= 4958.25 INV. OUT= 4958.00
- 7 TYPE 'D' DROP INLET TOG= 4961.75 INV. OUT= 4958.25 INV. IN (W)= 4958.50 INV. IN (E)= 4958.50 INSTALL ORIFICE PLATE @ INV.= 4958.50 SEE DETAIL A
- 8 100 LF OF 8" PVC INV. IN= 4959.00 INV. OUT= 4958.50
- 9 TYPE 'D' DROP INLET TOG= 4961.75 INV. OUT= 4959.00
- 10 222 LF OF 8" PVC INV. IN= 4959.33 INV. OUT= 4958.50
- 11 TYPE 'D' DROP INLET TOG= 4962.50 INV. OUT= 4959.33 INSTALL ORIFICE PLATE W/3" HOLE @ INV.= 4959.75 SEE DETAIL A
- 12 DETENTION BASIN IN PARKING AREA TOP= 4962.50 BOTTOM= 4961.75 MWSEL= 4961.96
- 13 DETENTION BASIN IN PARKING AREA TOP= 4962.50 BOTTOM= 4961.75 MWSEL= 4961.96
- 14 INSTALL FLOOD WALL TOP OF WALL= 64.00 BOTTOM OF WALL= 61.33
- 15 INSTALL TRASH ENCLOSURE
- 16 INSTALL 2' CURB CUT
- 17 ASPHALT FLUSH WITH FINISH FLOOR
- 18 RETENTION POND TOP= 4962.85 BOTTOM= 4960.50 VOLUME= 955 CF
- 19 DETENTION POND / WITH WATER QUALITY VOLUME= 1074 CF TOP= 4963.25 OVERFLOW= 4962.50 BOTTOM= 4960.50 MWSEL= 4962.57
- 20 INSTALL 6" CURB AND GUTTER
- 21 INSTALL WHITE PAINTED CROSS WALK CHEVRONS
- 22 INSTALL 5' WIDE CONCRETE SIDEWALK



**DETAIL A NTS**  
TO BE INSTALLED @ THE OUTFLOW OF THE CATCH BASINS (SEE THIS PLAN FOR ORIFICE PLATE SIZES)



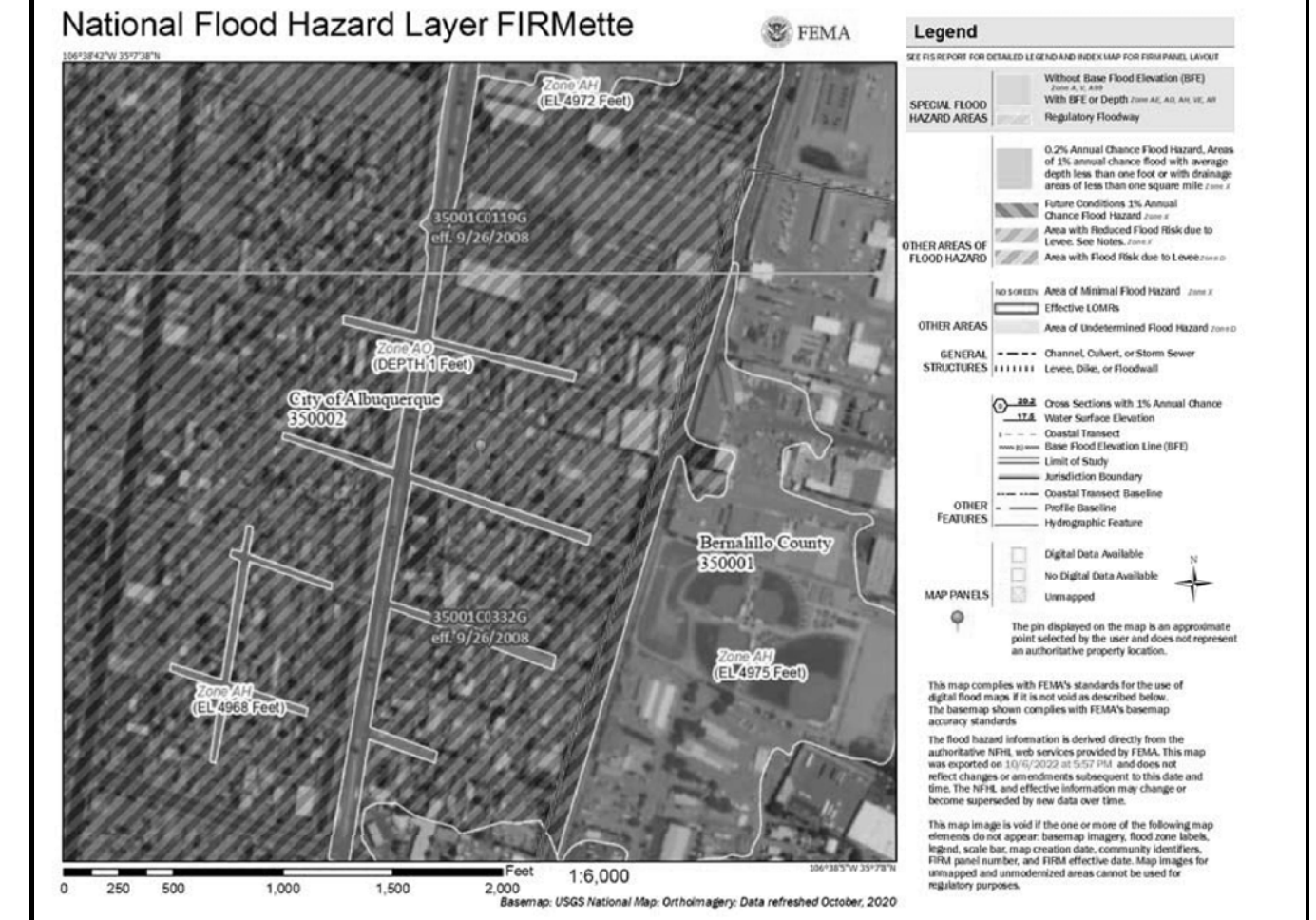
**VARIES**

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



**VICINITY MAP:**



**FIRM MAP:**

**LEGAL DESCRIPTION:**

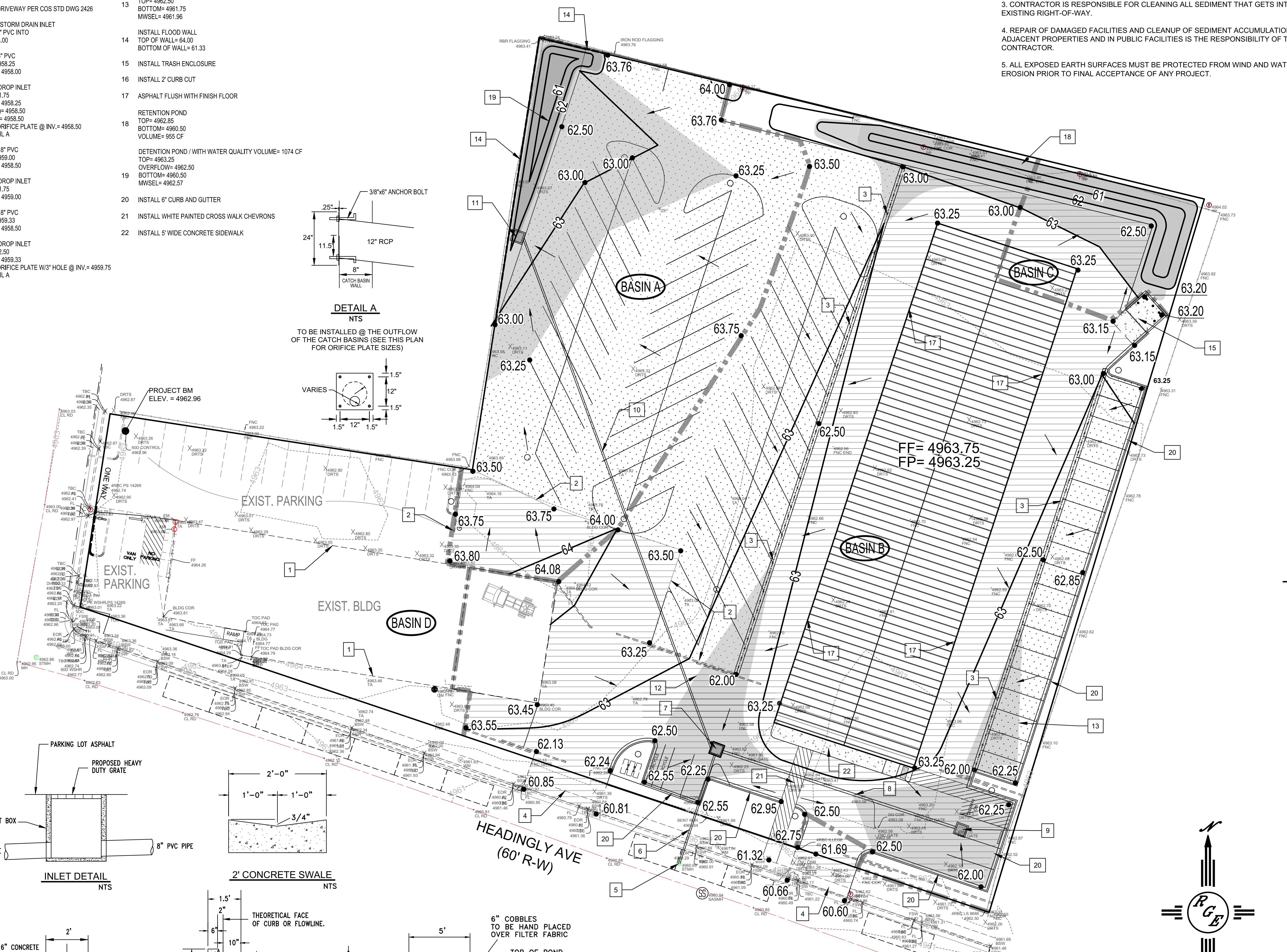
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**NOTES:**

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

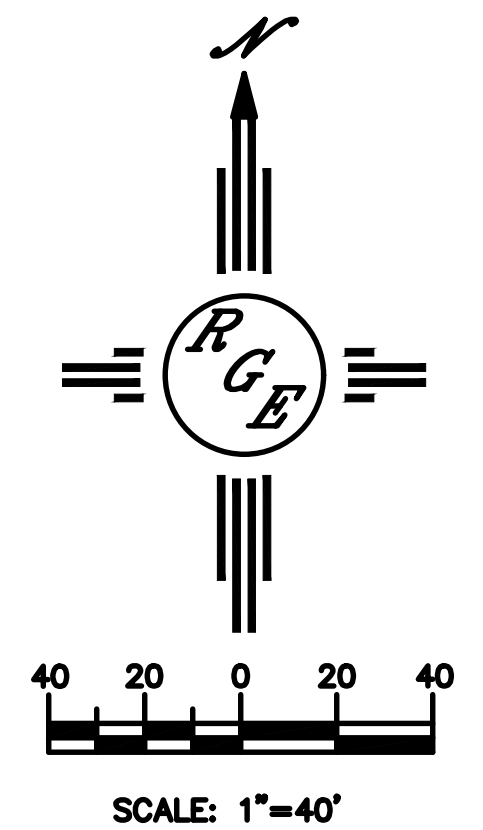
**LEGEND**

-----XXXX-----	EXISTING CONTOUR
-----XXXX-----	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
+ XXXX	EXISTING SPOT ELEVATION
● XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----	PROPOSED FLOOD WALL
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED 2' WIDE CONCRETE VALLEY GUTTER
[Pattern]	PROPOSED PAVEMENT
[Pattern]	DETENTION BASIN PONDING
[Pattern]	RETENTION POND
-----	BASIN BOUNDARY
-----	FLOW DIRECTION



**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

	<b>DISCOUNT COLLISION</b> 4000 2ND ST. NW <b>GRADING AND DRAINAGE PLAN</b>	DRAWN BY DEM DATE 11-19-25 DISCOUNT TOWING, DWG
	Rio Grande Engineering P.O. BOX 53204 ALBUQUERQUE, NM 87199 (505) 321-8099	SHEET # C1 JOB #



# BASIN DATA

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Q100 GENERATED	Q100 DISCHARGED
			%	(acres)	%	(acres)	%	(acres)	%	(acres)		
EXISTING ONSITE NATIVE	90661	2.081	100%	0.0000	0.0%	0.1216	0.0%	0.7660	0%	1.1937	2.87	2.87
EXISTING ONSITE	90661	2.081	0%	0.0000	10.0%	0.1216	58.0%	0.7660	32%	1.1937	6.23	6.23
ONSITE A	21103	0.484	0%	0.0000	10.0%	0.0484	78.0%	0.3779	12%	0.0581	1.34	0.40
ONSITE B	49375	1.133	0%	0.0000	0.0%	0.0000	26.0%	0.2947	74%	0.8388	4.09	3.08*
ONSITE C	5660	0.130	0%	0.0000	5.0%	0.0065	18.0%	0.0234	77%	0.1001	0.49	0
ONSITE D	14523	0.333	0%	0.0000	20.0%	0.0667	21.0%	0.0700	59%	0.1967	1.11	1.22

PREDEVELOPMENT DISCHARGE TO HEADINGLY 6.23  
 POST DEVELOPMENT DISCHARGE TO HEADINGLY 3.52 \*\*

\* ROUTED A ADDED TO B

\*\* DUE TO POND ROUTING THE TOTAL DISCHARGE IS NOT SIMPLE ADDITION OF EACH BASIN DISCHARGE

FIRST FLUSH .26" PER SF IMPERVIOUS  
 1126.59 CF REQUIRED--- 2029 PROVIDED

## VOLUME CALCULATIONS

POND A

ACTUAL ELEV.	DEPTH (FT)	AREA SF	VOLUME PER UNIT	VOLUME CUMULATIVE	VOLUME AC-FT	Q (CFS)
60.50	0.00	34.00	0	0	0.000	0.00
61.00	0.00	242.00	69.00	69.00	0.002	0.00
62.50	2.75	1098.00	1005.00	1074.00	0.025	0.39
63.00	3.25	2816.00	978.50	2052.50	0.047	0.43
63.25	3.50	5324.00	1017.50	3070.00	0.070	0.44

Orifice Equation  
 $Q = CA \sqrt{2gH}$

C = 0.6  
 Diameter (in) 3 0  
 Area (ft<sup>2</sup>)= 0.049087385  
 g = 32.2  
 H (Ft) = Depth of water above center of orifice  
 Q (CFS)= Flow

## VOLUME CALCULATIONS

PARKING LOT DETENTION POND-B

ACTUAL ELEV.	DEPTH (FT)	AREA SF	VOLUME PER UNIT	VOLUME CUMULATIVE	VOLUME AC-FT	Q (CFS)
58.50	0.00	8.00	0	0	0.000	0.00
61.75	3.25	8.00	26.00	26.00	0.001	3.03
62.25	3.50	4660.00	2217.30	2243.30	0.051	3.14

OUTFALL

Orifice Equation  
 $Q = CA \sqrt{2gH}$

C = 0.6  
 Diameter (in) 8  
 Area (ft<sup>2</sup>)= 0.34906585  
 g = 32.2  
 H (Ft) = Depth of water above center of orifice  
 Q (CFS)= Flow

ENGINEER'S SEAL	<b>DISCOUNT TOWING</b> 4000 SECOND STREET	DRAWN BY DEM
	<b>CALCULATION SHEET</b>	DATE 10-10-22
		DISCOUNT TOWING.DWG
11/20/25		
DAVID SOULE P.E. #14522		JOB #