



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application. Please note that these applications are not reviewed in a public meeting.

SUBDIVISIONS	MISCELLANEOUS APPLICATIONS
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Sidewalk Waiver (Form V2)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	<input type="checkbox"/> Waiver to IDO (Form V2)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Waiver to DPM (Form V2)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Vacation of Public Easement(s) DHO (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
	APPEAL
	<input type="checkbox"/> Decision of DHO (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION

Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

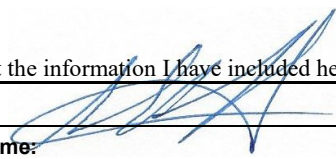
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM V2: WAIVER - DHO

Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.

_ SIDEWALK WAIVER

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

WAIVER DOCUMENTATION

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form V2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Scale drawing showing the location of the proposed waiver, as applicable

SUPPORTIVE DOCUMENTATION

- ___ 5) Letter of authorization from the property owner if application is submitted by an agent
- ___ 6) Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(P)(3)
- ___ 7) Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (Scheduled for August 2, 2023)

PUBLIC NOTICE DOCUMENTATION

- ___ 8) Proof of a Pre-Submittal Neighborhood Meeting per IDO 14-16-6-4(C)
 - ___ Office of Neighborhood Coordination neighborhood meeting inquiry response
 - ___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - ___ Completed neighborhood meeting request form(s)
 - ___ If a meeting was requested or held, copy of sign-in sheet and meeting notes
- ___ 9) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives

___ 10) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

_ WAIVER - IDO

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

WAIVER DOCUMENTATION

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form V2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Scale drawing showing the location of the proposed waiver, as applicable

SUPPORTIVE DOCUMENTATION

- ___ 5) Letter of authorization from the property owner if application is submitted by an agent
- ___ 6) Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(P)(3)
- ___ 7) Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (Scheduled for August 2, 2023)

PUBLIC NOTICE DOCUMENTATION

- ___ 8) Proof of a Pre-Submittal Neighborhood Meeting per IDO 14-16-6-4(C)
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- ___ 9) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives
- ___ 10) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

_ WAIVER – DPM (MUST BE HEARD WITH SUBDIVISION ACTION)

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

WAIVER DOCUMENTATION

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form V2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Scale drawing showing the location of the proposed waiver, as applicable

SUPPORTIVE DOCUMENTATION

- ___ 5) Letter of authorization from the property owner if application is submitted by an agent
- ___ 6) Letter describing, explaining, and justifying the request per the criteria in DPM – Chapter 2
- ___ 7) Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

PUBLIC NOTICE DOCUMENTATION

- ___ 8) Sign Posting Agreement – **this step is not required if waiver is to be heard with a minor subdivision plat**
- ___ 9) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by the Planning Department - **this step is not required if waiver is to be heard with a minor subdivision plat**
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives
 - ___ Proof of first class mailing to affected Neighborhood Association representatives and property owners within 100 feet – **this step is not required if waiver is to be heard with a minor subdivision plat**
- ___ 10) Interpreter Needed for Hearing? ___ if yes, indicate language: ___



July 28, 2023

Development Hearing Officer
City of Albuquerque, Planning

**RE: Temporary Deferral of Sidewalk Construction
Volcano Mesa at The Trails / Tract 2, Unit 2, The Trails**

RESPEC, agent for DR Horton, is requesting approval from Development Hearing Officer on the enclosed Preliminary Plat Temporary Deferral of Sidewalk application submitted for your consideration.

Tract 2, Unit 2, The Trails is located north of Oak Ridge Street between Universe Boulevard and Tijeras Creek Road within the City of Albuquerque. The subject property contains 10.4 acres. The proposed development consists of creating 72 new residential lots and 7 HOA tracts from the existing parcel. The properties are currently zoned R-ML for Multi-Family – Low Density.

To the best of our knowledge the site plan complies with all the applicable provisions of the City of Albuquerque's Integrated Development Ordinance and Development Process Manual. No deviations are requested at this time. We appreciate your consideration in this matter.

Sincerely,

Sheldon Greer, PE
RESPEC, Engineer
Community Design Solutions
505.264.0472
sheldon.greer@respec.com

5971 JEFFERSON ST., NE
SUITE 101
ALBUQUERQUE, NM 87109
505.268.2661



July 28, 2023

Development Hearing Officer
City of Albuquerque, Planning

**RE: WAIVER IDO / Volcano Mesa at The Trails
PR-2021-005717**

Dear Members of the DHO:

This letter is intended to describe, explain, and justify the following waivers.

- / Maximum allowable block length identified in IDO Table 5-4-1, Section 5-4(E)(3)
- / Incorporation of a permanent stub street identified in IDO Section 5-3(E)(1)(d)
- / Rear yards adjacent to an arterial roadway identified in IDO Section 5-4(F)(2)(b)

Waiver – DRB: Block Dimensions

The western block of this subdivision is 796-feet in length. Per interpretation by staff, this exceeds the maximum allowable length of 600-feet as specified in Table 5-4-1 of IDO Section 5-4(E)(3). It was suggested by staff to add a common tract to break up the block so this requirement is met. However, adding a tract mid-block would not be beneficial for a few reasons.

First, the existing subdivision to the west has no common tracts along this block, so no vehicular nor pedestrian connectivity would be possible. If the suggested common tract is created, it would serve no other purpose other than being a landscaped tract to break up the block.

Second, by creating this common tract, one of two things would need to occur. Either Tract A on the south end of the block or Tract G on the north end of the block would need to be reduced in size. As currently designed, Tract A aligns with the existing HOA tract adjacent to it. By leaving Tract A as shown, this would provide a common area consistent with the neighboring subdivision. Tract G serves two purposes. It provides a pedestrian connection to Paseo Del Norte from the subdivision as well as a connection point to the existing waterline stubbed to the subject property from the existing subdivision to the west. The width of Tract G is 20-feet. The minimum width the ABCWUA will allow for a public waterline corridor is 20-feet. This width also provides sufficient space for the pedestrian connection as well.

This waiver complies with the criteria specified in IDO Section 6-6(P)(3). Therefore, for the reasons explained above, the applicant is requesting a waiver to the block dimension requirements provided in IDO Section 5-4(E)(3).

7770 JEFFERSON ST., NE
SUITE 200
ALBUQUERQUE, NM 87109
505.268.2661

Waiver – DRB: Stub Streets

A stub street is being proposed at the northeast corner of the subdivision. IDO Section 5-3(E)(1)(d) discourages permanent stub streets, however, exceptions can be made through the DRB waiver process.

Stub streets were not originally proposed for the subdivision layout. However, the ABCWUA has requested that a waterline stub be provided to the adjacent tract to the east at this location for future connection. The stub street was added to provide right-of-way for this waterline stub.

This waiver complies with the criteria specified in IDO Section 6-6(P)(3). Therefore, for the reasons explained above, the applicant is requesting a waiver to the block dimension requirements provided in IDO Section 5-3(E)(1)(d).

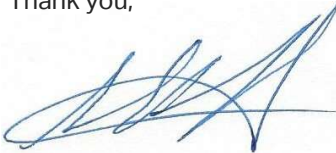
Waiver – DRB: Rear Yards Along Arterial Roadway

Rear yards are proposed along the northern boundary of this development, which abuts Paseo Del Norte right-of-way. Paseo Del Norte is an arterial street. IDO Section 5-4(F)(2)(b) discourages rear lot lines adjacent to arterial street.

This waiver requests that rear lot lines abutting an arterial street be allowed. The existing subdivisions located west of this project have backyards along Paseo Del Norte. Doing the same with this development would be consistent with what has already been done to the west. Further, an additional 10-feet is being provided for the rear yard set-back to help buffer the future homes from the arterial roadway.

If you should have any further comments, questions, or concerns, please feel free to reach out to me at your convenience.

Thank you,



Sheldon Greer, PE

RESPEC

Community Design Solutions

505.264.0472 cell

sheldon.greer@respec.com

FORM V: VACATIONS OF EASEMENTS OR RIGHT-OF-WAY - DHO

Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.

_ VACATION OF RIGHT-OF-WAY - DHO**_ VACATION OF RIGHT-OF-WAY - COUNCIL**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

VACATION DOCUMENTATION

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form V with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Copy of the complete document which created the easement(s)
Not required for City owned public right-of-way
- ___ 5) Drawing showing the easement or right-of-way to be vacated
- ___ 6) If easements, list number to be vacated _____
- ___ 7) Square footage to be vacated (see IDO Section 14-16-6-6(M)) _____

SUPPORTIVE DOCUMENTATION

- ___ 8) Letter of authorization from the property owner if application is submitted by an agent
- ___ 9) Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)
- ___ 10) Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

PUBLIC NOTICE DOCUMENTATION

- ___ 11) Sign Posting Agreement
- ___ 12) Proof of a Pre-Submittal Neighborhood Meeting per IDO 14-16-6-4(C)
 - ___ Office of Neighborhood Coordination neighborhood meeting inquiry response
 - ___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - ___ Completed neighborhood meeting request form(s)
 - ___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 13) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

___ 14) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

_ VACATION OF PRIVATE EASEMENT

_ VACATION OF PUBLIC EASEMENT

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

___ 1) DHO Application form completed, signed, and dated

___ 2) Form V with all the submittal items checked/marked

___ 3) Zone Atlas map with the entire site clearly outlined and labeled

___ 4) Copy of the complete document which created the easement(s)

___ 5) Drawing showing the easement or right-of-way to be vacated

___ 6) List number to be vacated _____

___ 7) Letter of authorization from the property owner if application is submitted by an agent

___ 8) Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)

___ 9) Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (Scheduled for August 2, 2023)

___ 10) Interpreter Needed for Hearing? ___ if yes, indicate language: ___



July 28, 2023

Development Hearing Officers and Development Facilitation
Team City of Albuquerque

**Re: Final Plat Review for Proposed Subdivision of Tract 2, The Trails, Unit 2 and
Vacation of Portion of Easement [1]**

Members of the Board:

RESPEC is acting as an agent for DR Horton, and we request a preliminary / final plat to create seventy-two (72) new lots and seven (7) tracts from one (1) existing tract by subdivision of Tract 2, The Trails, Unit 2. The property is located between Paseo del Norte and Oak Ridge Road NW, just west of Universe Blvd NW. The property is currently zoned as R-ML (Residential – Multi-Family Low Density). The plat was approved at preliminary plat stage under PR-2021- 005717 / SD-2021-00162.

At that preliminary plat approval, it was a condition of the notice of decision to vacate the portion of easement [1], a public drainage and private access easement. That area is to become part of the public right-of-way for “Sidreaux Loop NW” as it transitions from out of the existing Red Stone Road NW.

Our plat proposes to vacate a portion of easement [1], a public drainage and private access easement. The justification for the vacation is provided below:

- **Existing Private Access Easement [1]**

The existing public drainage and private access easement was granted to benefit our subject lots and an unplatted parcel back in 2004 (which has since been absorbed as part of the Taos II at the Trails subdivision adjoining our proposed plat to the west). The alignment and purpose of this easement becomes unnecessary and redundant as it will be absorbed into our dedication of right- of-way to grant Sidreaux Loop NW to the City. About half of the easement will be retained on Tract B.

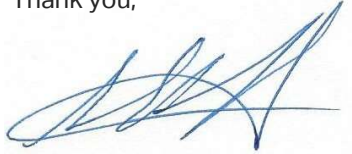
Per section 6-6(M)(3)(a) of the City of Albuquerque IDO, the public welfare does not require the easement to be retained, as the easement was privately held and with the dedication public right of right-of-way, access for all to these properties will be preserved. Thus, no substantial property right will be abridged against the will of the property owners or the public by the vacation of this easement.

Per section 6-6(M)(3)(b) of the City of Albuquerque IDO, there is a net benefit to the public welfare as the vacated easement clears up the record to allow the right-of-way to be dedicated to the public and allow freer access to the public.

7770 JEFFERSON ST., NE
SUITE 200
ALBUQUERQUE, NM 87109
505.268.2661

If you should have any further comments, questions, or concerns, please feel free to reach out to me at your convenience.

Thank you,



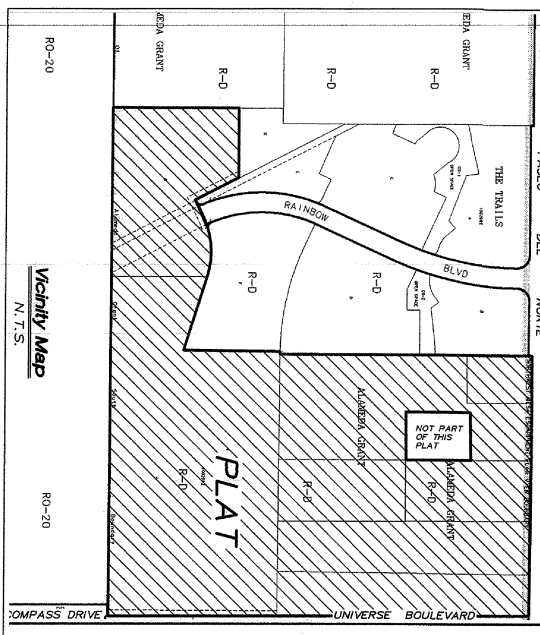
Sheldon Greer, PE

RESPEC

Community Design Solutions

505.264.0472 cell

sheldon.greer@respec.com



Vicinity Map
 N. T.S.
 RO-20

GENERAL NOTES

1. Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 83).
2. Distances are ground.
3. Record plot bearings and distances where they differ from those measured by field survey are shown in parentheses ().
4. All corners are a 5/8" nail, and cap stamped "NUGO L.S. 9750" unless otherwise indicated hereon.
5. Albuquerque City Zone Atlas page C-8.
6. U.C.L.S. Log Number 2004340101.
7. All street centerline monumentation shall be installed at all intersections and street intersections shall be marked with the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 9750" and will be set flush with the top asphalt pit.
8. Monholes will be offset at all points of curvature, points to allow use of centerline monumentation.

SUBDIVISION DATA

1. Total number of existing Tracts: 11
2. Total number of Tracts created: 14
3. Total mileage of full width streets created: 1.40 miles.
4. Gross Subdivision acreage: 189.65 acres.
5. Tracts OS-3 and OS-4 are Private Open Space Areas conveyed to the Trails Unit 2 Homeowners Association. The Homesteaders Association shall be the responsibility of said Trails Unit 2 Homeowners Association. There shall be no direct vehicular access from adjacent streets, passes or drives.

DISCLOSURE STATEMENT

- The purpose of this Bulkland Plat is to:
1. Show the various Public Easements and Utility Easements which were wooded by DBS-04-1341
 2. Create the Fourteen (14) Bulk Parcels shown hereon to facilitate platting of future Trails Units.
 3. Dedicate the additional street right of way for Universe Boulevard and Paseo Del Norte and the new street right of way for Street B, and to be shown in the simple plat warranty covenants by this plat.
 4. Grant the additional Public Utility Easements as shown hereon.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:
 *See Attached List's & Dates

M. J. ...
 Bernardo County Treasurer
 Date: _____

PUBLIC UTILITY EASEMENTS

- PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
- A. PNM Electric Services for installation, maintenance, and service of overhead and underground lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
 - B. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
 - C. QWest Corporation for the installation, maintenance, and service of such lines, cables and other related equipment and facilities, including but not limited to ground pedestals and closures.
 - D. Comcast Cable for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
 - E. New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, and other facilities, including but not necessary to provide water and sanitary sewer services.

Included, is the right to build, rebuild, construct, reconstruct, modify, remove, modify, repair, operate, and maintain facilities for the transmission, distribution, and free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and interference with the purposes set forth herein. No building, sign, pool, (aboveground or subsurface), hot tub, concrete or wood pool easements, nor shall any well be drilled or constructed on said property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of electrical wiring, conduits, electrical equipment, or other facilities shown on this plat.

Easements for electric transformers, poles, and supports, as installed, shall extend ten feet (10') in front of transformer, and six feet (6') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services have approved the plat and the easements shown hereon. Consequently, PNM does not warrant, assume any easement or easement rights to which it may be entitled.

SHEET INDEX

SHEET 1 OF 6 -	Approvals, General Notes, Etc...
SHEET 2 OF 6 -	Legal Description, Free consent and dedication
SHEET 3 OF 6 -	Overall Bulk Plat Boundary
SHEET 4 OF 6 -	North 1/2 of Trails Unit 2
SHEET 5 OF 6 -	South 1/2 of Trails Unit 2
SHEET 6 OF 6 -	Curve and Line Tables

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor, Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or by assistants duly qualified and acting under my direct supervision, that the survey was conducted in accordance with the State Survey in New Mexico as adopted by the State Board of Registration for Professional Engineers and Land Surveyors, that it meets the minimum requirements of the State Survey in New Mexico and the Albuquerque Subdivision Ordinance, that it shows all easements of record, and that it is true and correct.

Russ P. Hugg
 Professional Surveyor
 No. 9750
 August 18, 2004

BULK LAND PLAT OF
THE TRAILS UNIT 2
 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS
 AND UNPLATTED DEED PARCELS)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 N
 PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 1, 2004

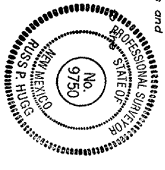
PROJECT NUMBER: **1002962**
 Application Number: **04DRB-01382**

PLAT APPROVAL

Utility Approvable:
 PNM Electric Services: *David B. Mark* 10-15-04
 PNM Gas Services: *David B. Mark* 10-15-04
 Qwest Corporation: *David B. Mark* 10-11-04
 Comcast: *David B. Mark* 9-2-04
 New Mexico Utilities: *David B. Mark* 9-2-04

Note: These properties lie within the New Mexico Utilities' service area. All necessary permits and capabilities are based upon the NMLL, Inc. condition, not the City of Albuquerque.

City Approvable:
 City Surveyor: *NA* 8-25-04
 Read Property's Division: *NA* 9/22/04
 Environmental Health Department: *NA* 9/22/04
 Planning, Engineering, and Inspection Division: *NA* 9-22-04
 Utilities Department: *NA* 9/22/04
 Parks and Recreation Department: *NA* 9/22/04
 AMUFCA: *NA* 9/22/04
 Registrar: *NA* 9/22/04
 Surveyor: *NA* 10/18/04



SURV TEK, INC.
 Consulting Surveyors
 6045 Perimeter Blvd, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-5896
 Fax: 505-897-5877

SHEET 1 OF 6

LEGAL DESCRIPTION

Tract certain parcel of land situate within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, ...

S 27' 18" E, 370.96 feet along a line common to said Tract G and Tract E of the Trails to the Southwest corner of said Tract J (a 5/8" Rebar and cap stamped "L.S. 5978" found in place). Thence

Northeasterly, 11.45 feet on the arc of a curve to the right (said curve having a radius of 6720.00 feet, a central angle of 90° 58' 34" and a chord which bears N 64° 24' 58" E, 11.45 feet) to which bears N 64° 24' 58" E, 11.45 feet) to a point of tangency (a 5/8" Rebar and cap stamped "L.S. 5978" found in place). Thence

N 03° 50' 21" E, 126.64 feet to a point of curvature (a 5/8" Rebar and cap stamped "L.S. 5978" found in place). Thence

Northeasterly, 474.25 feet on the arc of a curve to the right (said curve having a radius of 6280.00 feet, a central angle of 43° 16' 06" and a chord which bears N 64° 24' 58" E, 474.25 feet) to a point of tangency (a 5/8" Rebar and cap stamped "L.S. 5978" found in place). Thence

S 72° 48' 33" E, 614.89 feet to the Southwest corner of said Tract F (a 5/8" Rebar and cap stamped "L.S. 5978" found in place). Thence

N 00° 30' 19" E, 749.23 feet along a line common to said Tracts F and J to a point on curve and the Northwest corner of said Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico (a 5/8" Rebar and cap stamped "L.S. 5978" found in place). Thence

Southeasterly, 22.80 feet along a line common to said Tracts D and F. The Trails on the one of a curve to 2000.00 feet on the arc of a curve to the right (said curve having a radius of 591.11' and a chord which bears S 89° 49' 00" E, 22.80 feet) to the Southwest corner of said Tract F (a 5/8" Rebar and cap stamped "L.S. 5978" found in place). Thence

N 00° 06' 04" E, 1958.83 feet along the Eastern line of said Tract B, D and OS-2. The Trails to the Northeast corner of said Tract B (a 5/8" Rebar and cap stamped "L.S. 5978" found in place). Thence

S 89° 48' 21" E, 2056.42 feet along said southerly line of Paseo Del Norte and the South 1/4th, Range 2 East to the projected section corner common to Sections 9, 10, 15 and 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico (a 5/8" Rebar and cap stamped "L.S. 5978" found in place). Thence

S 00° 16' 10" W, 1981.76 feet along the East line of Projected Section 16, Township 11 North, Range 2 East to the Northeast corner of said Tract J. The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place). Thence

S 00° 16' 10" W, 1315.62 feet along the said East line of Projected Section 16, Township 11 North, Range 2 East to the Northeast corner of said Tract J. The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place). Thence

N 89° 40' 43" W, 1084.68 feet to the 5-1/2 mile marker on said Grant (a 3-1/4" brass cap found in place). Thence

N 89° 44' 42" W, 1585.93 feet to the corner common to said Tracts G and H. The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place). Thence

N 89° 44' 33" W, 1053.27 feet to the 7 mile marker on said Southerly Boundary of the Town of Alameda Grant (a 3-1/4" brass cap found in place). Thence

N 89° 40' 59" W, 268.70 feet to the Southwest corner said Tract H. The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place). Thence

N 00° 15' 20" E, 978.73 feet to the Northwest corner said Tract G. The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) said point also being the Southwest corner of said Tract H. The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place). Thence

S 89° 37' 33" E, 590.24 feet along a line common to said Tracts G and H to the point of beginning of the parcel herein described.

EXCEPTING THEREFROM: That certain parcel of land situate within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) as described in that certain Warranty Deed filed in the office of the County Clerk of Bernalillo County, New Mexico on January 1, 1998, and the certain Warranty Deed filed by Russ F. Hugg, New Mexico Professional Surveyor, performed by Russ F. Hugg, New Mexico Professional Surveyor, 9750 using New Mexico State Plane Coordinate System, Central Zone (NAD 27) grid bearings and ground distances as follows:

BEGINNING at the Northeast corner of said Warranty Deed parcel whence the Northwest corner of Tract B, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) and the Northeast corner of REPLAT OF A PORTION OF TRACT 4, BLACK RANCH, ALBUQUERQUE, NEW MEXICO, New Mexico (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) of the County Clerk of Bernalillo County, New Mexico on January 1, 1998, to the Northeast corner of said parcel (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) as follows:

S 89° 45' 40" E, 480.00 feet to the Northeast corner of said Warranty Deed parcel. Thence

S 00° 06' 45" W, 480.04 feet to the Southwest corner of said Warranty Deed parcel. Thence

N 89° 43' 58" W, 480.20 feet to the Southwest corner of said Warranty Deed parcel. Thence

N 00° 08' 08" E, 488.82 feet to the Northeast corner and point of beginning of the parcel herein described.

Said parcel contains 5.0520 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATED and now comprising "BULK LAND PLAT OF THE UNPLATTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) as described in that certain Warranty Deed filed in the office of the County Clerk of Bernalillo County, New Mexico on January 1, 1998, and the certain Warranty Deed filed by Russ F. Hugg, New Mexico Professional Surveyor, performed by Russ F. Hugg, New Mexico Professional Surveyor, 9750 using New Mexico State Plane Coordinate System, Central Zone (NAD 27) grid bearings and ground distances as follows:

BEGINNING at the Northeast corner of said Warranty Deed parcel whence the Northwest corner of Tract B, The Trails (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) and the Northeast corner of REPLAT OF A PORTION OF TRACT 4, BLACK RANCH, ALBUQUERQUE, NEW MEXICO, New Mexico (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) of the County Clerk of Bernalillo County, New Mexico on January 1, 1998, to the Northeast corner of said parcel (a 5/8" Rebar and cap stamped "L.S. 5978" found in place) as follows:

S 89° 45' 40" E, 480.00 feet to the Northeast corner of said Warranty Deed parcel. Thence

S 00° 06' 45" W, 480.04 feet to the Southwest corner of said Warranty Deed parcel. Thence

N 89° 43' 58" W, 480.20 feet to the Southwest corner of said Warranty Deed parcel. Thence

N 00° 08' 08" E, 488.82 feet to the Northeast corner and point of beginning of the parcel herein described.

Said parcel contains 5.0520 acres, more or less.

ACKNOWLEDGEMENT

THE TRAILS COMMUNITY ASSOCIATION, INC. Longford Group, Inc. Its Manager By: [Signature] 10-6-04 J. Roger Baker, Division President Date



BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS) WITHIN THE TOWN OF ALAMEDA GRANT NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO AUGUST, 2004

NOTICE OF SUBMISSION PLAT CONDITIONS

THE PLAT OF TRACTS 1 THRU 19 AND TRACTS OS-3 AND OS-4, THE TRAILS UNIT 2 has been granted a variance from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be required for the proposed subdivision. The proposed subdivision upon infrastructure improvements by the owner and/or developer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time of any specific proposal.

The City and AAFCA (with reference to drainage) may require and/or require and/or Site Development Plans are approved.

By the approval of this subdivision, the City makes no representation, warranty, or guarantee, and the City does not intend to provide any of the following items: water and sanitary sewer availability, future requirements, drainage requirements and/or improvements, and excavation, filling, or grading requirements. Any person intending to develop the subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City will issue a final subdivision plat. The City does not intend to provide any of the following items: water and sanitary sewer availability, future requirements, drainage requirements and/or improvements, and excavation, filling, or grading requirements. Any person intending to develop the subdivision is cautioned to investigate the status of these items.

BLANKET EASEMENT NOTES

- 1. Tracts OS-3 and OS-4 are subject to a blanket access, public utility, and public sanitary sewer granted to the City of Albuquerque by plat filed December 15, 2003 in Plat Book 2003C, page 375.
2. Existing Tracts G, H and J. The Trails are subject to a public water easement for a future well site granted to New Mexico Utilities, Inc. by plat filed December 15, 2003 in Plat Book 2003C, page 375.
3. Blanket Easements pertaining to Tracts G and J as defined in Notes 2 and 3 above are VACATED BY DRR 04 13321. All Blanket Easements pertaining to Tract H are to remain.

ACKNOWLEDGEMENT

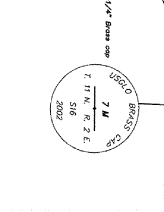
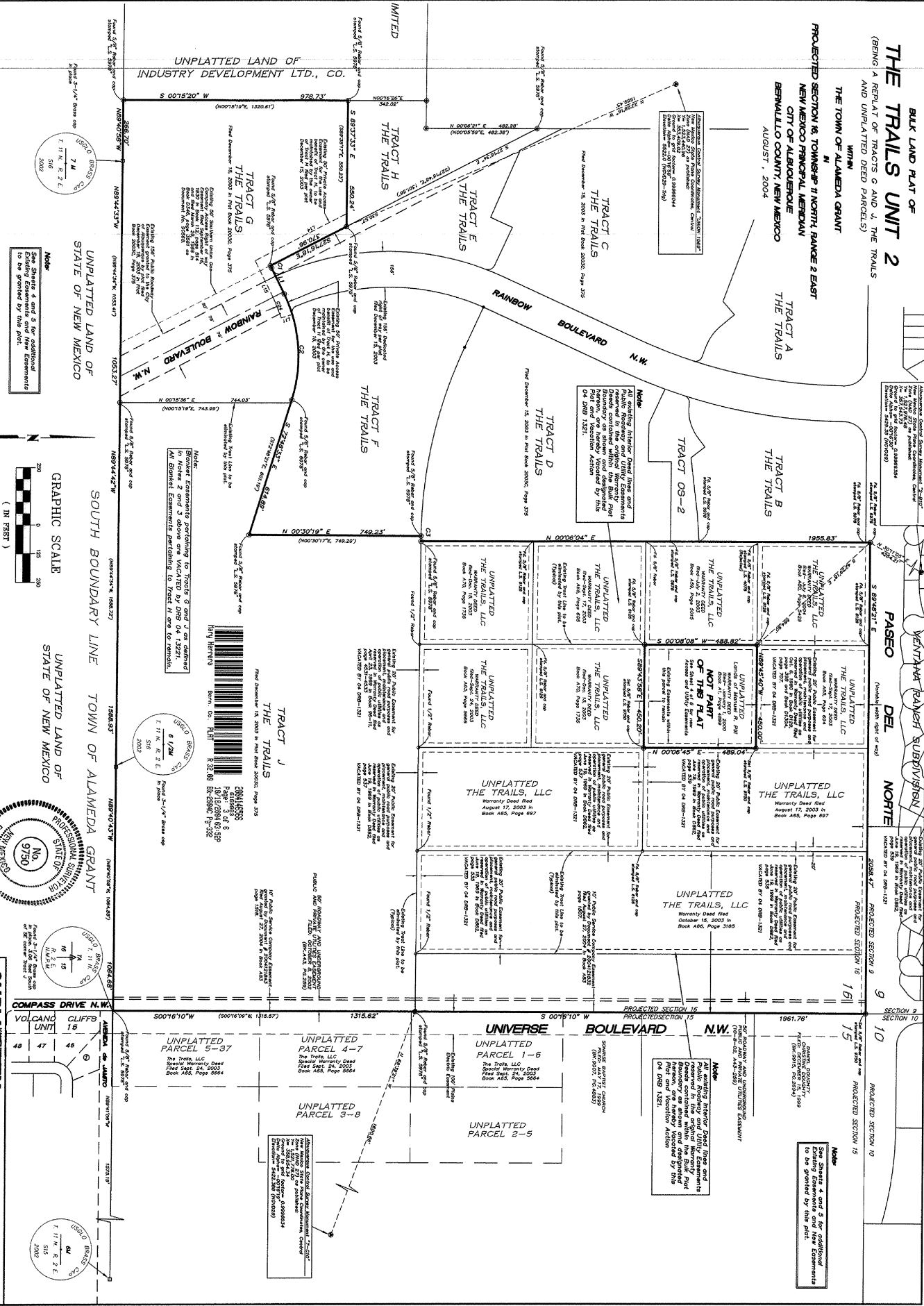
STATE OF NEW MEXICO COUNTY OF CLARK SS The foregoing instrument was acknowledged before me this 14th day of October, 2004, by Tracy Murphy, President of The Trails Community Association, Inc. Cynthia Hulse My commission expires 5/6/07 Notary Public

SHEET 2 OF 6 SURVYTEK, INC. Consulting Surveyors 6045 Avenida Blvd. N.W. Albuquerque, New Mexico 87114



BLK LAND FLAT OF THE TRAILS UNIT 2
 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS)
 WITHIN THE TOWN OF ALAMEDA GRANT
 PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 1, 2004

UNPLATTED LAND OF INDUSTRY DEVELOPMENT LTD., CO.
 UNPLATTED LAND OF STATE OF NEW MEXICO
 UNPLATTED LAND OF STATE OF NEW MEXICO
 UNPLATTED LAND OF STATE OF NEW MEXICO



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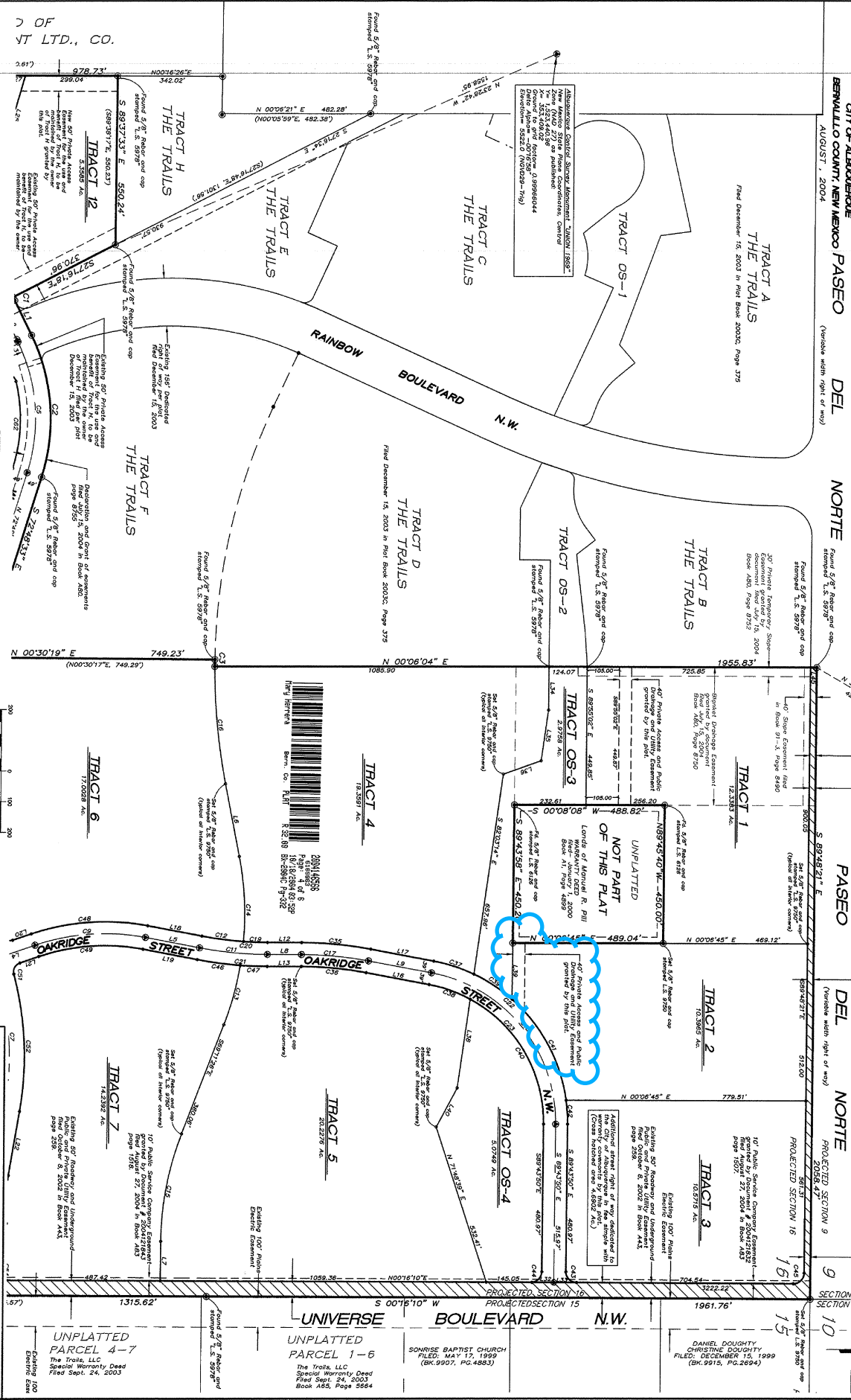
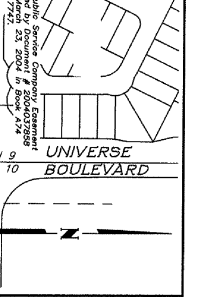
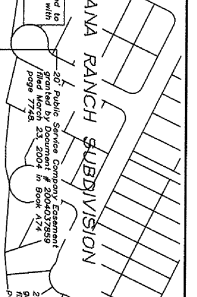
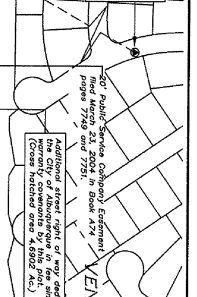
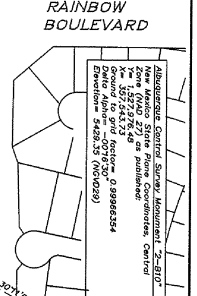
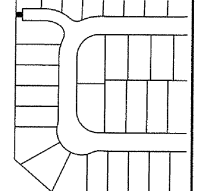
UNPLATTED LAND OF STATE OF NEW MEXICO
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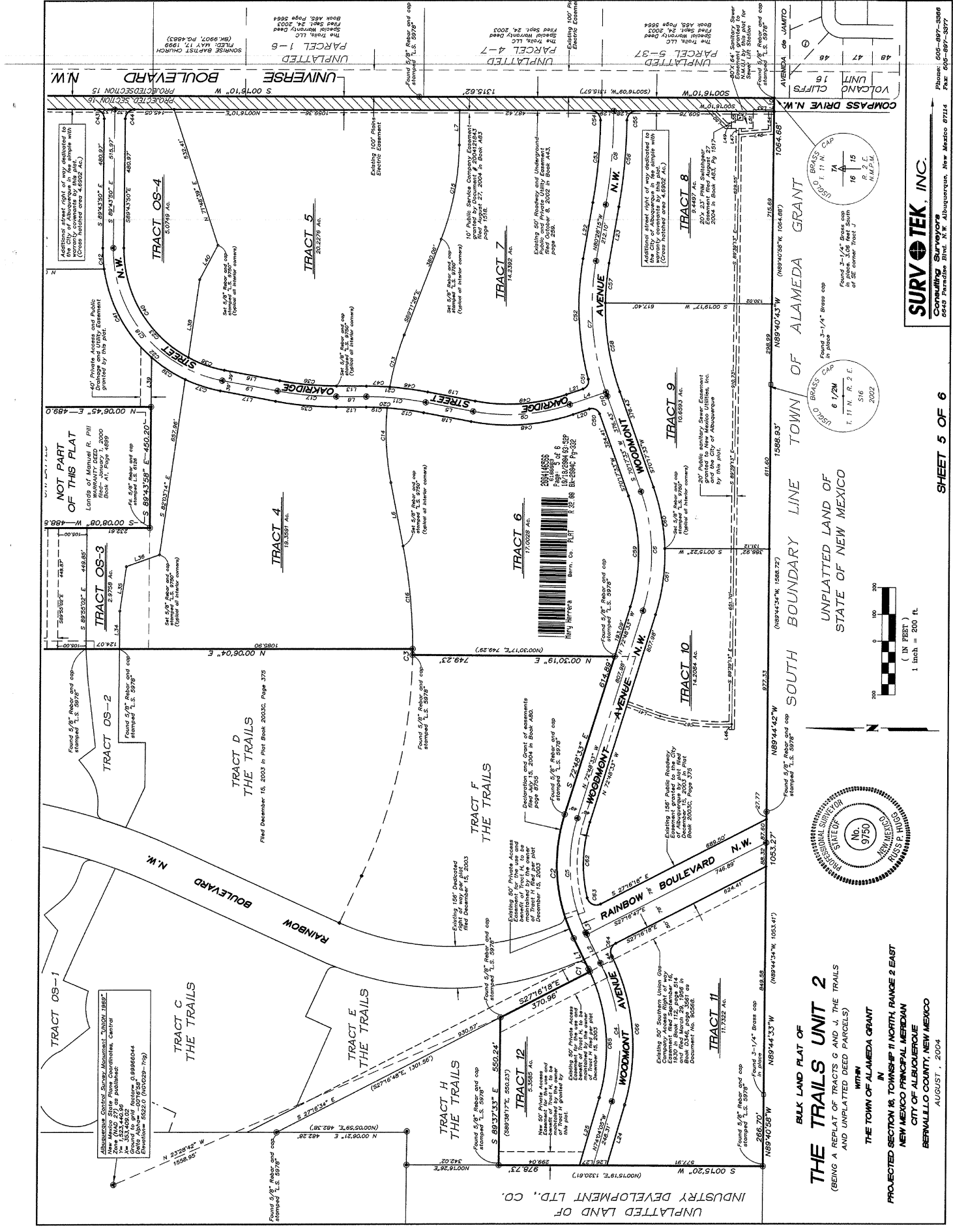
**BULK LAND FLAT OF
THE TRAILS UNIT 2**
(BEING A SERIAL OF TRACTS G AND J, THE TRAILS
AND UNPLATTED DEED PARCELS)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
NEW MEXICO PINNACLES MERIDIAN
CITY OF ALBUQUERQUE
BENNALILLO COUNTY, NEW MEXICO PASEO
AUGUST, 2004



1 INCH = 200 FT.

SURV-TEK, INC.
Consulting Surveyors
6649 Avenida Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-8864
Fax: 505-897-8877

SHEET 4 OF 6



SURVOTEK, INC.
 Consulting Surveyors
 6643 Pennington Blvd., N.W. Albuquerque, New Mexico 87114
 Phone: 505-497-5066
 Fax: 505-497-5077

**BULK LAND FLAT OF
THE TRAILS UNIT 2**
(BEING A REPLAT OF TRACTS G AND J, THE TRAILS
AND UNPLATTED DEED PARCELS)
WITH-IN
THE TOWN OF ALAMEDA GRANT
IN
COUNTY OF ALAMEDA, CALIFORNIA

PROJECTED SECTION 16, TOWNSHIP 11 NORTH RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BENICILLO COUNTY, NEW MEXICO
AUGUST, 2004

CHIRVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	11.45'	672.00'	5.72'	11.45'	N64.24.58"W	0.96.54"
C2	474.23'	638.00'	249.08'	463.06'	S85.33.24"W	4.316.08"
C3	22.80'	2000.00'	11.40'	22.80'	S89.489.00"E	0.39.11"
C4	528.62'	721.00'	276.83'	516.88'	N84.553.58"E	4.2700.34"
C5	450.86'	703.00'	233.63'	428.52'	S88.52.72"W	3.8136.06"
C6	494.53'	1000.00'	252.43'	489.51'	S85.21.43"W	28.920.09"
C7	494.53'	1000.00'	252.43'	489.51'	S85.29.53"E	10.03.16"
C8	362.69'	700.00'	185.51'	358.64'	S03.57.45"E	28.941.11"
C9	15.74'	1000.00'	7.87'	15.74'	S70.44.96"W	0.54.07"
C10	15.74'	1000.00'	7.87'	15.74'	S70.44.96"W	0.54.07"
C11	13.54'	1481.00'	68.35'	136.46'	S07.30.41"W	6.44.18"
C12	200.90'	1000.00'	100.79'	200.56'	N74.956.46"W	11.50.39"
C13	278.67'	1000.00'	140.25'	277.77'	N66.50.22"E	15.58.80"
C14	356.48'	1000.00'	181.19'	356.57'	S79.27.58"E	20.33.24"
C15	394.48'	2000.00'	198.84'	393.80'	N84.21.91"E	11.90.53"
C16	683.92'	500.00'	415.97'	638.56'	S80.30.38"W	23.31.03"
C17	78.05'	1161.00'	39.04'	78.03'	S02.33.00"W	0.351.06"
C18	214.59'	1061.00'	107.60'	214.28'	N05.35.09"W	10.35.24"
C19	228.00'	1239.00'	114.83'	228.68'	S05.35.09"W	10.35.24"
C20	486.00'	539.00'	442.42'	688.44'	S80.43.50"E	28.31.03"
C21	486.00'	539.00'	442.42'	688.44'	S80.43.50"E	28.31.03"
C22	88.48'	578.00'	44.32'	88.39'	N68.16.40"E	8.46.13"
C23	88.48'	578.00'	44.32'	88.39'	N68.16.40"E	8.46.13"
C24	88.48'	578.00'	44.32'	88.39'	N68.16.40"E	8.46.13"
C25	88.48'	578.00'	44.32'	88.39'	N68.16.40"E	8.46.13"
C26	Deleted					
C27	Deleted					
C28	Deleted					
C29	Deleted					
C30	Deleted					
C31	Deleted					
C32	Deleted					
C33	Deleted					
C34	Deleted					
C35	226.22'	1239.00'	113.43'	225.91'	S05.31.17"W	10.27.41"
C36	211.96'	1161.00'	106.29'	211.66'	S05.31.17"W	10.27.41"
C37	137.94'	539.00'	69.35'	137.56'	S18.03.01"W	14.39.42"
C38	142.79'	481.00'	71.95'	142.18'	N19.37.22"E	17.44.28"
C39	149.62'	539.00'	75.31'	149.16'	S33.02.01"W	15.94.25"
C40	149.62'	539.00'	75.31'	149.16'	S33.02.01"W	15.94.25"
C41	381.94'	438.00'	190.39'	374.00'	S61.37.21"W	40.36.03"
C42	78.52'	539.00'	39.33'	78.45'	S86.03.48"W	8.30.48"
C43	54.98'	35.00'	35.00'	49.50'	N45.16.10"E	9.000.00"
C44	54.98'	35.00'	35.00'	49.50'	N44.14.05"W	9.000.00"
C45	158.92'	139.00'	158.92'	139.00'	N00.16.10"E	9.000.00"
C46	158.92'	139.00'	158.92'	139.00'	N00.16.10"E	9.000.00"
C47	62.27'	1239.00'	43.85'	62.25'	N02.16.30"E	4.02.08"
C48	382.89'	739.00'	195.85'	378.62'	S03.57.45"E	29.41.11"
C49	342.48'	661.00'	175.18'	338.66'	S03.57.45"E	29.41.11"
C50	46.65'	30.00'	28.53'	42.09'	N23.14.36"E	88.03.53"
C51	45.20'	100.00'	28.53'	41.05'	S81.58.20"E	86.20.04"
C52	45.20'	100.00'	28.53'	41.05'	S81.58.20"E	86.20.04"
C53	307.82'	1951.00'	154.26'	302.60'	S84.58.32"E	9.02.34"
C54	55.11'	35.00'	35.13'	49.59'	N44.37.51"W	89.748.02"
C55	54.86'	35.00'	35.13'	49.41'	N44.37.51"W	89.748.02"
C56	323.07'	2048.00'	162.34'	323.67'	S88.00.03"E	9.03.37"
C57	323.07'	2048.00'	162.34'	323.67'	S88.00.03"E	9.03.37"
C58	338.02'	951.00'	169.00'	334.61'	S88.53.55"W	9.03.37"
C59	419.24'	651.00'	212.18'	412.04'	N89.44.30"E	5.63.54"
C60	233.13'	749.00'	117.57'	233.19'	N78.14.33"E	17.90.00"
C61	248.23'	749.00'	125.78'	248.08'	S82.20.30"E	19.03.54"
C62	288.78'	530.00'	146.45'	288.13'	N89.18.22"W	30.53.38"
C63	288.78'	530.00'	146.45'	288.13'	N89.18.22"W	30.53.38"
C64	54.25'	35.00'	34.98'	48.98'	N71.40.28"W	81.48.21"
C65	481.26'	672.00'	251.47'	471.05'	N82.24.55"E	41.02.00"
C66	564.57'	770.00'	285.65'	552.01'	N84.55.38"E	43.70.34"
C67	268.64'	800.00'	135.60'	267.38'	S08.21.09"W	19.74.23"

LINE TABLE

LINE	LENGTH	BEARING
L1	126.54'	N63.55.21"E
L2	126.54'	S63.55.21"W
L3	8.72'	N63.55.21"E
L4	141.46'	N18.48.20"W
L5	240.99'	S28.51.21"W
L6	128.13'	S89.43.50"E
L7	110.26'	N00.17.22"E
L8	208.92'	S10.45.07"W
L9	80.00'	N89.40.43"W
L10	110.26'	N00.17.22"E
L11	110.26'	N00.17.22"E
L12	110.26'	N00.17.22"E
L13	110.26'	N00.17.22"E
L14	446.14'	S27.16.18"E
L15	186.95'	S63.55.34"W
L16	408.92'	S10.45.07"W
L17	408.92'	S10.45.07"W
L18	128.63'	S10.32.50"W
L19	179.63'	S10.32.50"W
L20	63.40'	N84.48.20"W
L21	64.66'	N84.48.20"W
L22	212.10'	N80.28.15"W
L23	234.56'	N74.04.09"W
L24	282.05'	N00.15.20"E
L25	50.89'	N00.15.20"E
L26	50.89'	N00.15.20"E
L27	50.89'	N00.15.20"E
L28	83.82'	N00.16.10"E
L29	83.82'	N00.16.10"E
L30	Deleted	
L31	Deleted	
L32	74.00'	N00.16.10"E
L33	74.00'	N00.16.10"E
L34	162.26'	S81.58.20"E
L35	129.67'	S19.31.15"E
L36	282.28'	S82.03.14"E
L37	183.29'	S89.44.24"E
L38	130.01'	N19.58.28"E
L39	Deleted	
L40	Deleted	
L41	Deleted	
L42	Deleted	
L43	Deleted	
L44	6.33'	S63.55.20"W
L45	20.00'	N00.16.10"E
L46	40.00'	N00.16.10"E
L47	22.03'	S89.39.13"E
L48	120.23'	S04.49.15"E
L49	18.74'	N00.00.00"W
L50	78.85'	N45.00.00"E
L51	140.00'	N00.16.10"E
L52	77.23'	N00.16.10"E
L53	77.23'	N00.16.10"E
L54	75.36'	S89.40.43"E
L55	54.00'	S89.40.50"E



SHEET 6 OF 6
SURV-TEK, INC.
Consulting Surveyors
6240 Fremont Blvd., N.K. Albuquerque, New Mexico 87114
Phone: 505-497-5368
Fax: 505-497-5377



FORM S1: SUBDIVISION OF LAND – MAJOR

Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.

_ MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL**_ MAJOR AMENDMENT TO PRELIMINARY PLAT****_ BULK LAND SUBDIVISION**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

PLAT DOCUMENTATION

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form S1 with all the submittal items checked/marked
- ___ 3) Form S with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Preliminary Plat including the Grading and Drainage Plan with the surveyor's, property owner's, and City Surveyor's signatures on the Plat. If submitting a Bulk Land Plat, the Plat must also include utility and AMAFCA signatures
- ___ 6) Sidewalk Exhibit and/or cross sections of proposed streets
- ___ 7) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use
- ___ 8) Infrastructure List, if required for building of public infrastructure
- ___ 9) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
(The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf

SUPPORTIVE DOCUMENTATION

- ___ 10) Letter of authorization from the property owner if application is submitted by an agent
- ___ 11) Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(L)(3)
- ___ 12) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
(not required for Extension)

- ___ 13) Proof of Sketch Plat per IDO Section 14-16-6-6(L)(2)(b) (Sketch Plat review scheduled for August 2, 2023)
- ___ 14) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

PUBLIC NOTICE DOCUMENTATION

- ___ 15) Sign Posting Agreement
- ___ 16) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
- ___ Office of Neighborhood Coordination notice inquiry response
- ___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by the Planning Department
- ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
- ___ Proof of emailed notice to affected Neighborhood Association representatives
- ___ Proof of first class mailing to affected Neighborhood Association representatives and property owners within 100 feet
- ___ 17) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

_ EXTENSION OF PRELIMINARY PLAT

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form S1 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Preliminary Plat
- ___ 5) Copy of DRB approved infrastructure list
- ___ 6) Letter of authorization from the property owner if application is submitted by an agent
- ___ 7) Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)
- ___ 8) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

FORM S: PRE-APPROVALS/SIGNATURES

Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.

Legal Description & Location: Volcano Mesa at the Trails / TR 2 BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS G & J THE TRAILS AND UNPLATTED DEED PARCELS) CONT / Paseo del Norte NW and Universe Blvd NW

Job Description: _____

Hydrology:

- Grading and Drainage Plan X Approved NA
- AMAFCA X Approved NA
- Bernalillo County Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA

Renée C. Brissette 07/28/23
 Hydrology Department Date

Transportation:

- Traffic Circulations Layout (TCL) Approved X NA
- Traffic Impact Study (TIS) Approved X NA
- Neighborhood Impact Analysis (NIA) Approved X NA
- Bernalillo County Approved X NA
- NMDOT Approved X NA

Ernest Armijo 7/28/2023
 Transportation Department Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Availability Statement/Serviceability Letter X Approved NA
- ABCWUA Development Agreement X Approved NA
- ABCWUA Service Connection Agreement Approved X NA

Jeremy Shell 7/27/23
 ABCWUA Date

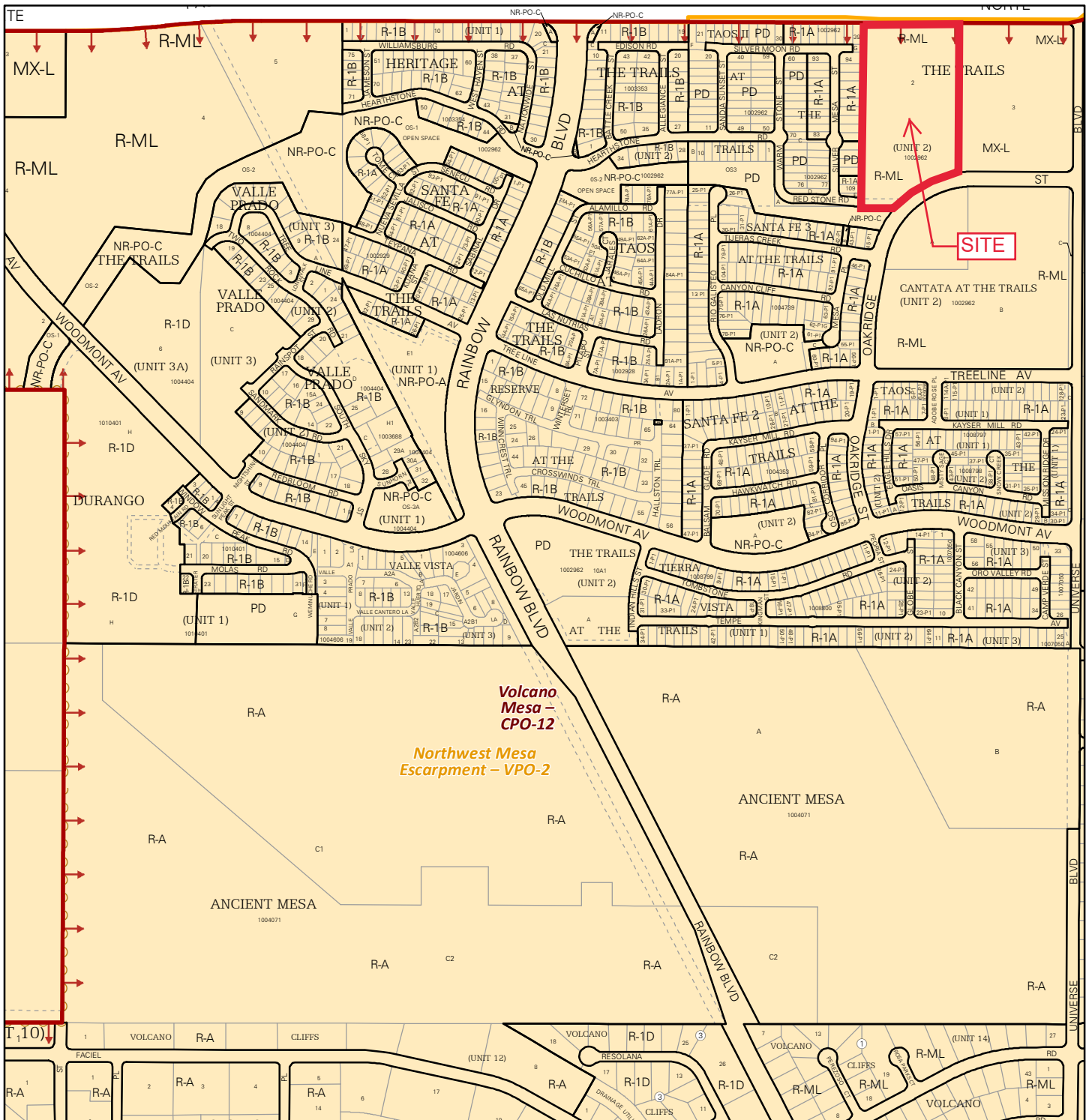
- Infrastructure Improvements Agreement (IIA*) Approved
- AGIS (DXF File) Approved
- Fire Marshall Signature on the plan Approved

Signatures on Plat

- Owner(s) Yes
- City Surveyor Yes
- AMAFCA** Yes NA
- NM Gas** Yes
- PNM** Yes
- COMCAST** Yes
- MRGCD** Yes NA


* Prior to Final Plat submittals and/or Final Site Plan approval submittals (include a copy of the recorded IIA)

** Signatures required for **Final Plat** application and not required for **Preliminary Plat** application

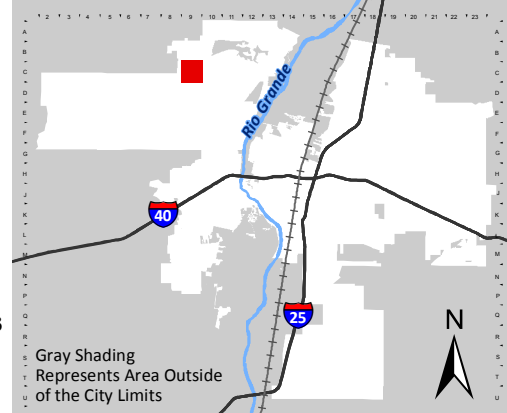


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Gray Shading Represents Area Outside of the City Limits

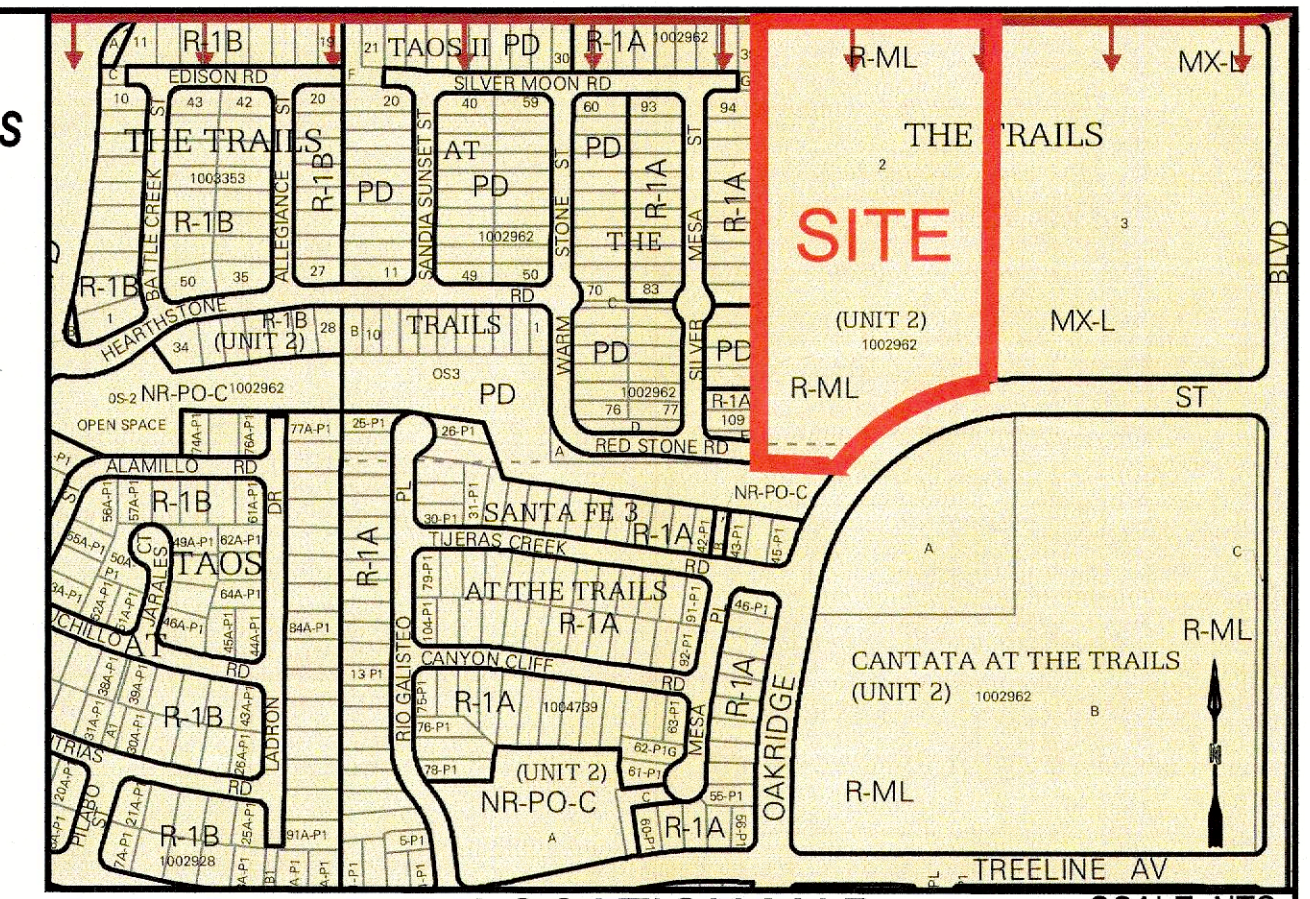
Zone Atlas Page:
C-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

PRELIMINARY PLAT FOR
VOLCANO MESA AT THE TRAILS
LOTS 1-72 AND TRACTS A-G

SEPTEMBER 2021



LOCATION MAP
SCALE: NTS
ZONE ATLAS MAP C-09-Z

RECORD AND MEASURED LEGAL DESCRIPTION

TRACT NUMBERED TWO (2), OF THE TRAILS UNIT 2, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED, "BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS) WITHIN THE TOWN OF ALAMEDA GRANT, IN PROJECTED SECTION SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AUGUST 2004", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 19, 2004 IN PLAT BOOK 2004C, PAGE 332.

GENERAL NOTES

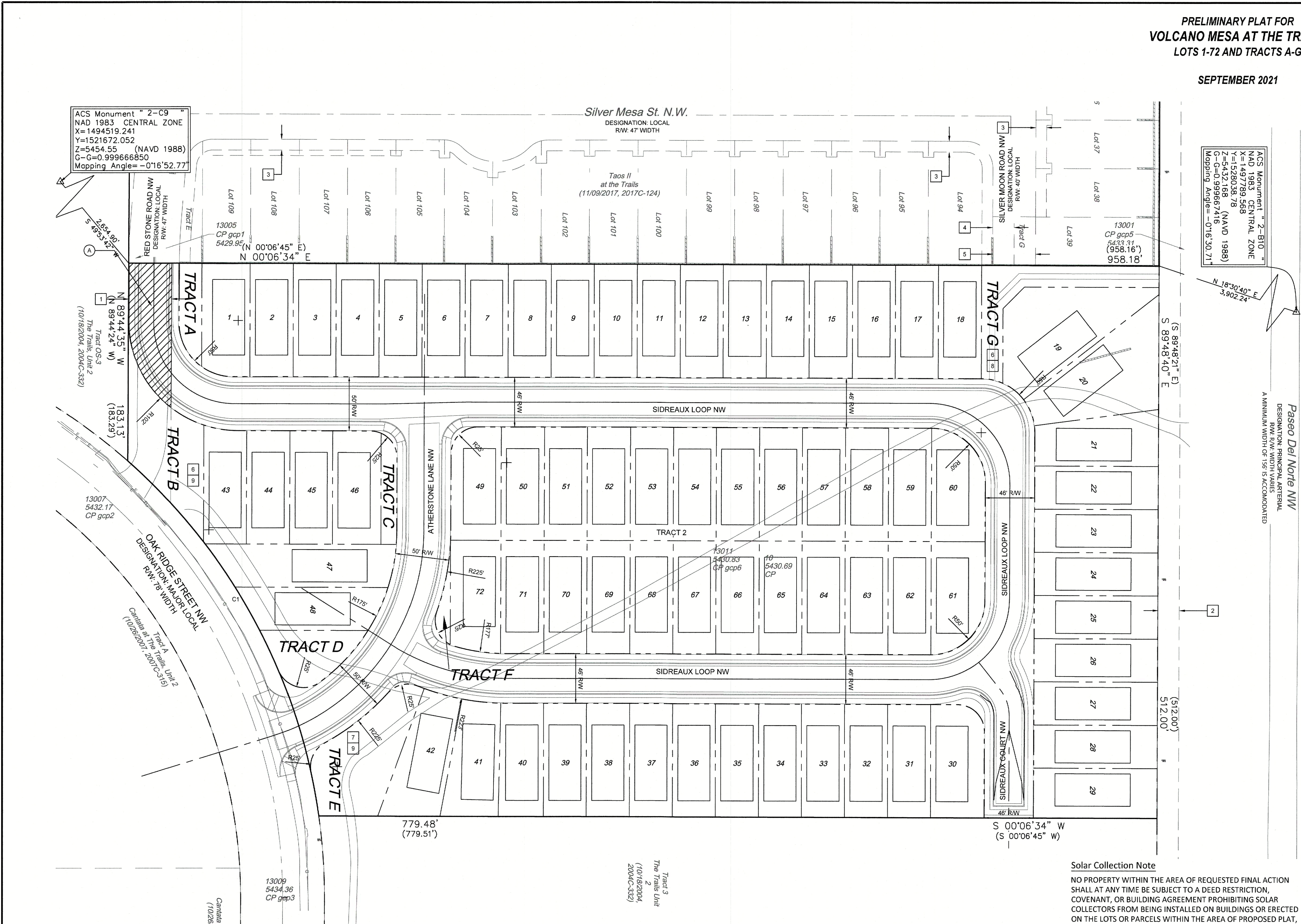
- EXISTING ZONING: R-ML - MULTI-FAMILY - LOW DENSITY
- A PROPOSED ZONING: MULTI-FAMILY - LOW DENSITY
- PROPOSED AREA: 10.4 AC
NUMBER OF LOTS: 72
NUMBER OF TRACTS: 7
PROPOSED DENSITY: 6.9 DU/AC
- MIN. LOT DIMENSIONS: 40' X 105'
MIN. LOT AREA: 4,200 SQFT
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS ARE TO BE PUBLIC AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO THE INTEGRATED DEVELOPMENT ORDINANCE.
- NO LOTS SHALL HAVE DIRECT ACCESS TO PASEO DEL NORTE BLVD.
- TRACTS A-G TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION

SIDE DATA

ZONE ATLAS NO.	C-09-Z
ZONING	R-ML
MILES OF FULL WIDTH STREET CREATED	0.39 MILE
NO. OF EXISTING TRACTS	1
NO. OF LOTS CREATED	72
NO. OF HOA TRACTS CREATED	7

EASEMENT NOTES

- EXISTING 40' PRIVATE ACCESS AND PUBLIC DRAINAGE AND UTILITY EASEMENT (10/18/2004, 2004C-332)
- EXISTING 20' PNM EASEMENT (3/23/2004, BK. A74, PG. 7747, DOC. NO. 2004037858) AS SHOWN ON THE PLAT (10/18/2004, 2004C-332)
- EXISTING 10' P.U.E. (11/09/2017, 2017C-124)
- EXISTING 20' WATER EASEMENT GRANTED TO ABCWUA (11/09/2017, 2017C-124)
- EXISTING BLANKET PRIVATE ACCESS, DRAINAGE AND SANITARY SEWER EASEMENT, ACROSS TRACT G (11/09/2017, 2017C-124)
- NEW BLANKET WATER EASEMENT GRANTED TO ABCWUA WITH THIS PLAT.
- NEW BLANKET SANITARY SEWER EASEMENT GRANTED TO ABCWUA WITH THIS PLAT.
- NEW BLANKET PUBLIC PEDESTRIAN ACCESS EASEMENT.
- NEW BLANKET DRAINAGE AND STORM DRAIN EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THIS PLAT.
- PORTION OF EXISTING 40' PRIVATE ACCESS AND PUBLIC DRAINAGE AND UTILITY EASEMENT TO THE VACATED BY THIS PLAT.



ACS Monument "2-C9"
NAD 1983 CENTRAL ZONE
X=1494519.241
Y=1521672.052
Z=5454.55 (NAVD 1988)
G-G=0.999666850
Mapping Angle=-0°16'52.77"

ACS Monument "2-B10"
NAD 1983 CENTRAL ZONE
X=1497789.569
Y=1528038.78
Z=5432.168 (NAVD 1988)
G-G=0.999667416
Mapping Angle=-0°16'30.71"

SURVEY NOTES

- ALL BOUNDARY CORNERS SHOWN (● / ○) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲), AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE" CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 9750".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

LEGEND

- SUBDIVISION BOUNDARY LINE
- PROPERTY LINE

Solar Collection Note
NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

APPROVED

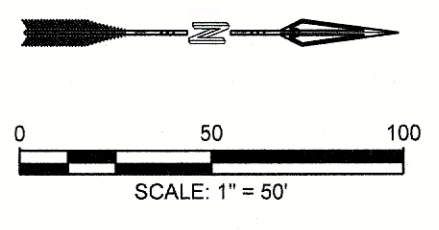
Loren N. Raanboorn, P.S.
CITY SURVEYOR

9/20/2021
DATE

TONYA BUXTON
ALBUQUERQUE DIVISION PRESIDENT, DR HORTON

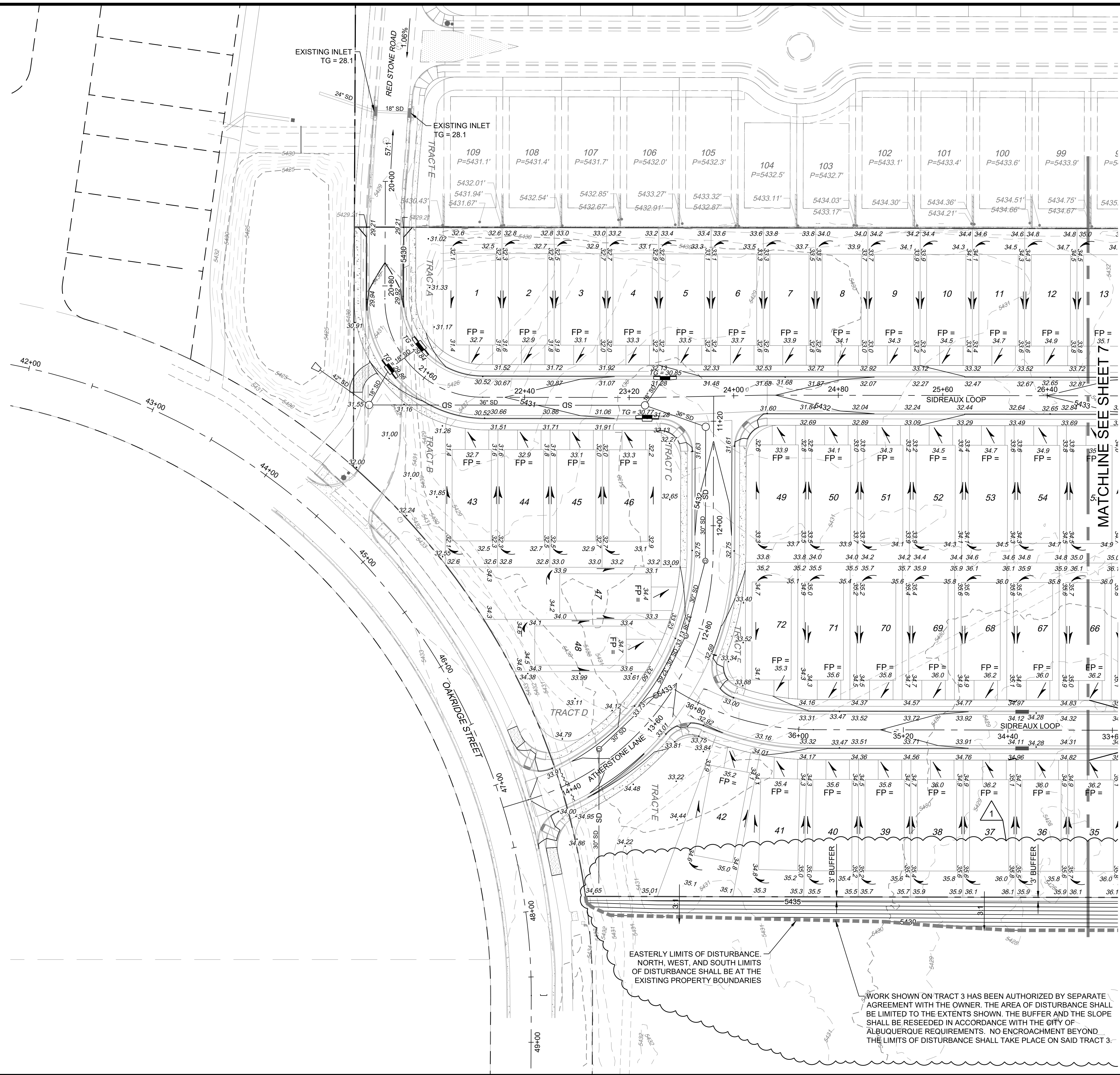
11.30.21
DATE

CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD DIRECTION
C1	381.96' (381.94')	539.00' (539.00')	40°36'08"	374.02'	S 61°36'52" W

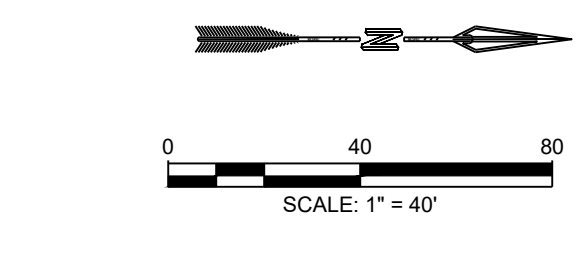


Benchmark -NAVD 88
ACS MONUMENT "2-C9" HAVING AN ELEVATION OF 5454.55.

N:\Projects\W0021 DR Horton\W0021.01 Overall Grading Plan.dwg Wed, 10/26/22 - 10:29, LSB: Sid Galanis



- NOTES:**
- CURB AND GUTTER, SIDEWALKS, AND DRIVE PADS SHALL MATCH THE ELEVATIONS OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.
 - THE SUBGRADE PREP SHALL EXTEND ONE FOOT BEYOND THE FREE EDGE OF NEW CURB AND GUTTER.
 - CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE 2 FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50 OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.



RESPEC
COMMUNITY DESIGN SOLUTIONS
7770 JEFFERSON STREET NE, SUITE 200
ALBUQUERQUE, NEW MEXICO 87109
WWW.RESPEC.COM PHONE: (505)253-9718

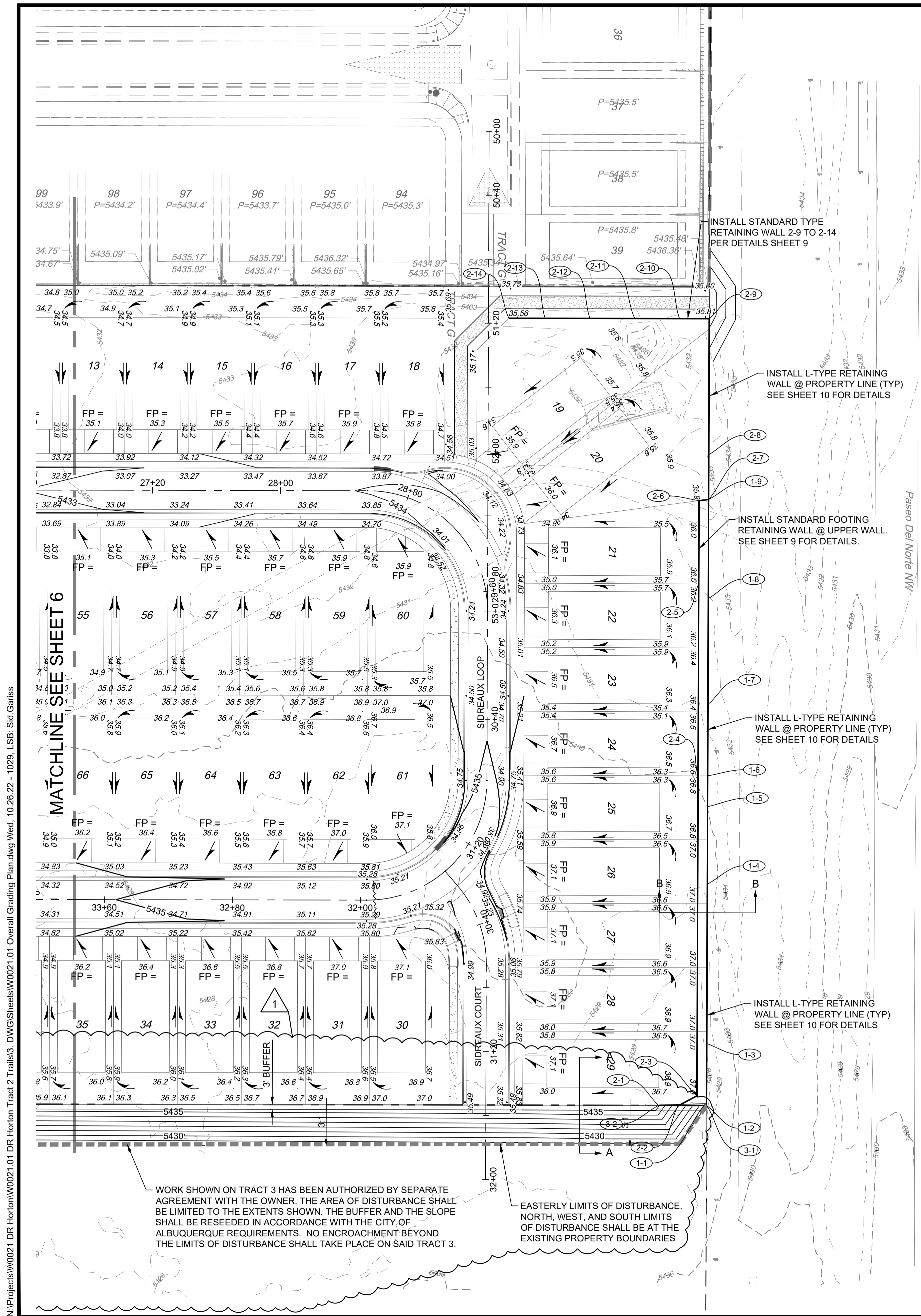
CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION
VOLCANO MESA AT THE TRAILS
GRADING PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Project No. 738489	Zone Map No. C-9-Z	Sheet 6 of 29	

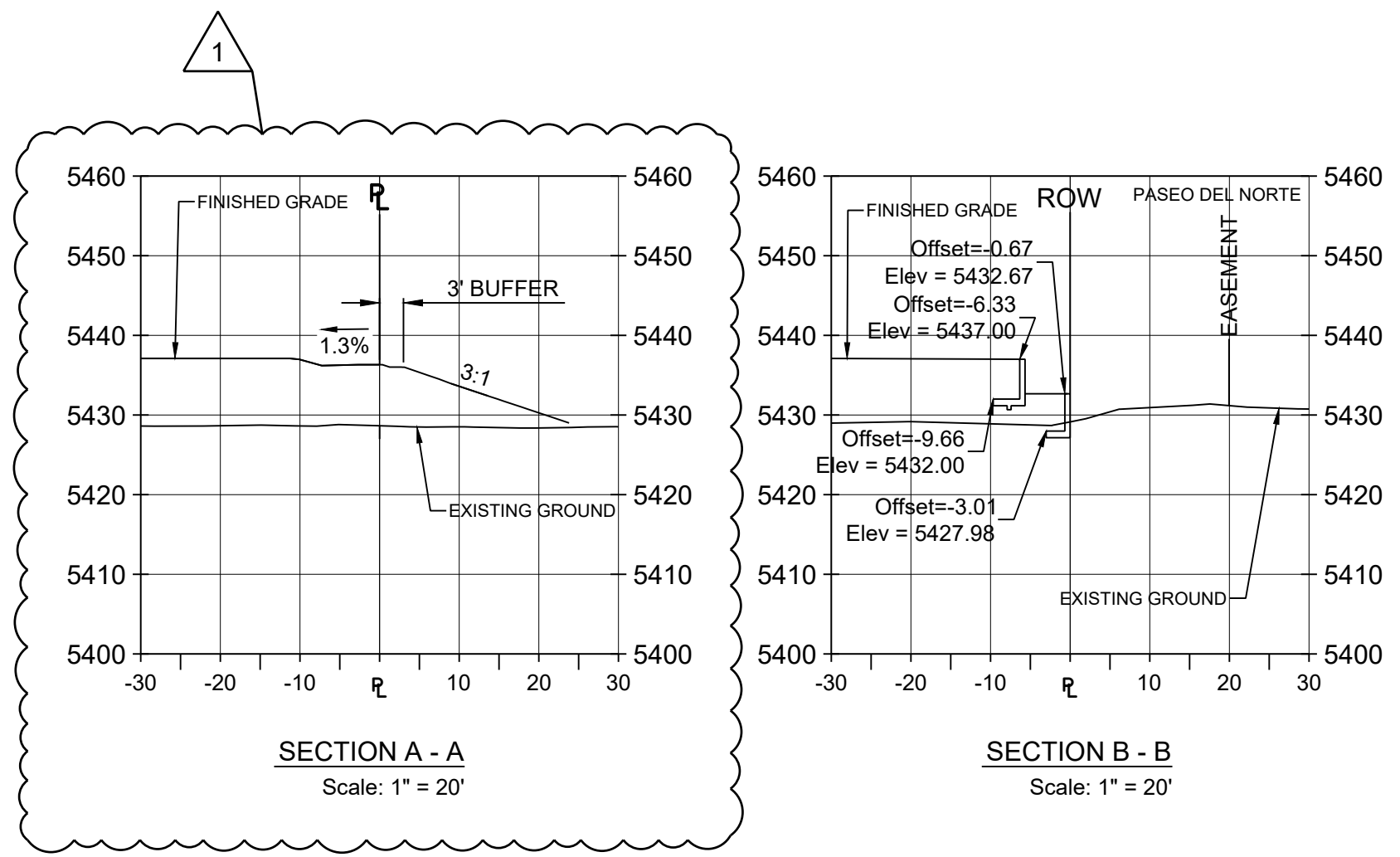
SURVEY INFORMATION		ENGINEER'S SEAL	
NO.	FIELD NOTES	NO.	DATE
	BY		
	DATE		
AS BUILT INFORMATION		BENCH MARKS	
CONTRACTOR	ALBUQUERQUE CONTROL SURVEY	MONUMENT	UNION NEW MEXICO
STAKED BY	INSPECTORS	STATE PLANE COORDINATES	CENTRAL
FIELD CHANGE BY	DATE	ZONE	NAD 83
DATE	DATE	NORTHING	1,523,503.475 FEET
DATE	DATE	EASTING	1,493,655.03 FEET
DATE	DATE	MAPPING ANGLE	00°16'58.96"
DATE	DATE	GROUND TO GRID FACTOR	0.9966436
DATE	DATE	ELEVATION	5524.95 FEET



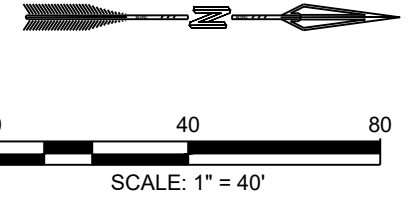
NO.	DATE	REVISIONS	BY
05.25.22		REMOVED RETAINING WALL, ADD SLOPE	
		GRADING TO EAST, REVISE CROSS SECTION A-A & INSERT SLOPE AGREEMENT	
		REVISIONS	
		RESPEC DESIGN	
DESIGNED BY:	IS	DATE:	10/26/2022
DRAWN BY:	RESPEC	DATE:	10/26/2022
CHECKED BY:	SEG	DATE:	10/26/2022



RETAINING WALL TABLE				
WALL POINT	TOP OF WALL	TOP OF FOOTING ELEVATION	WALL HEIGHT (FT)	APPROX. DISTANCE
1-1	32.67	31.33		
		STEP FOOTING	VARIABLES	17.2
1-2	32.67	27.33		
1-3	32.67	27.33/28.00	5.33	39.0
1-4	32.67	28.00/28.67	4.67	99.0
1-5	32.67	28.67/29.33	4.00	47.0
1-6	32.67	29.33/30.00	3.33	19.0
1-7	32.67	30.00/30.67	2.67	44.0
1-8	32.67	30.67/31.33	1.33	66.1
1-9	32.67	31.33	1.33	62.0
2-1	37.33	36.00		
		STEP FOOTING	VARIABLES	12.5
2-2	37.33	32.00		
2-3	37.33	32.00	5.33	12.6
2-4	37.33/36.67	32.00	5.33	200.0
2-5	36.67/36.00	32.00	4.67	120.0
2-6	36.00	32.00	4.00	52.0
2-7	36.00	32.00/31.33	4.00	6.0
2-8	36.00	31.33/32.00	4.67	28.0
2-9	36.00	32.00	4.00	18.5
2-10	36.00	32.00/32.67	3.33	28.0
2-11	36.00	32.67/33.33	3.33	28.0
2-12	36.00	33.33/34.00	2.67	28.0
2-13	36.00	34.00/34.67	2.00	28.0
2-14	36.00	34.67	1.33	21.0



- NOTES:**
- CURB AND GUTTER, SIDEWALKS, AND DRIVE PADS SHALL MATCH THE ELEVATIONS OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.
 - THE SUBGRADE PREP SHALL EXTEND ONE FOOT BEYOND THE FREE EDGE OF NEW CURB AND GUTTER.
 - CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE 2 FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50 OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.



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CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 ENGINEERING DIVISION
 VOLCANO MESA AT THE TRAILS
 GRADING PLAN

Design Review Committee	City Engineer Approval	Mo./Day.Yr.	Mo./Day.Yr.
Project No. 738489	Zone Map No. C-9-Z	Sheet 7 of 29	

SURVEY INFORMATION		ENGINEER'S SEAL	
ALBUQUERQUE CONTROL SURVEY	ALBUQUERQUE CONTROL SURVEY	NO.	DATE
MONUMENT "UNION" NEW MEXICO	MONUMENT "UNION" NEW MEXICO	BY	DATE
STATE PLANE COORDINATES (CENTRAL	STATE PLANE COORDINATES (CENTRAL	REVISIONS	BY
ZONE - NAD 83)	ZONE - NAD 83)	NO.	DATE
NORTH= 1,523,503.475 FEET	NORTH= 1,523,503.475 FEET	RESPEC DESIGN	BY
EAST= 1,493,655.03 FEET	EAST= 1,493,655.03 FEET	DESIGNED BY: JS	DATE: 10.26.2022
MAPPING ANGLE= 00°16'58.96"	MAPPING ANGLE= 00°16'58.96"	DRAWN BY: RESPEC	DATE: 10.26.2022
GROUND TO GRID FACTOR= 0.9966436	GROUND TO GRID FACTOR= 0.9966436	CHECKED BY: SEG	DATE: 10.26.2022
ELEVATION= 5524.95 FEET	ELEVATION= 5524.95 FEET		

N:\Projects\W0021 DR Horton\Tract 2\Trails3_DWG\Sheets\W0021.01 Overall Grading Plan.dwg Wed, 10/26/22 - 10:29 AM Sid.Gainis
 N:\Projects\W0021 DR Horton\Tract 3\DWG\Sheets\W0021.01 Overall Grading Plan.dwg Wed, 10/26/22 - 10:29 AM Sid.Gainis

WORK SHOWN ON TRACT 3 HAS BEEN AUTHORIZED BY SEPARATE AGREEMENT WITH THE OWNER. THE AREA OF DISTURBANCE SHALL BE LIMITED TO THE EXTENTS SHOWN. THE BUFFER AND THE SLOPE SHALL BE RESEDED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE REQUIREMENTS. NO ENCROACHMENT BEYOND THE LIMITS OF DISTURBANCE SHALL TAKE PLACE ON SAID TRACT 3.

EASTERLY LIMITS OF DISTURBANCE. NORTH, WEST, AND SOUTH LIMITS OF DISTURBANCE SHALL BE AT THE EXISTING PROPERTY BOUNDARIES

DR Horton is developing a tract of land known as Tract 2, Bulk Land Plat of the Trails Unit 2, consisting of approximately 10.39 acres into a single-family housing neighborhood to be named Volcano Mesa.

The development of Volcano Mesa necessitates the import of fill material to minimize the removal of basalt rock material from the site. The import of this fill material is typical of site developments in the area. The fill material to be placed within Tract 2 extends to the boundary of the property and will require a "fill" slope to the existing ground surface along the eastern boundary of Tract 2. The fill slope will extend into a tract of land known as Tract 3, Bulk Land Plat of the Trails Unit 2 (UPC 10090606450248510106), consisting of approximately 10.57 acres. This tract of land is owned by Presbyterian Healthcare Services and written permission is required to allow DR Horton to place this fill slope on the adjacent property.

The grading of Tract 2 and the corresponding fill slope on Tract 3 will be completed in accordance with the attached Grading Plan dated October 6, 2022.

The authorized signature below acknowledges the placement of fill dirt on Tract 3, to be placed as shown on the attached Grading and Drainage Plan for Volcano Mesa. All fill placed will be in accordance with the project geotechnical recommendation and compacted to 95% of Standard Proctor.

ERIC CORNISH as VP REAL ESTATE of
PRESBYTERIAN HEALTHCARE SERVICES
[Signature] 10/27/2022
Signature Date

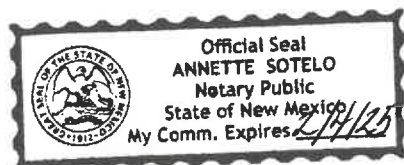
Acknowledgement

State of New Mexico

County of Bernalillo County

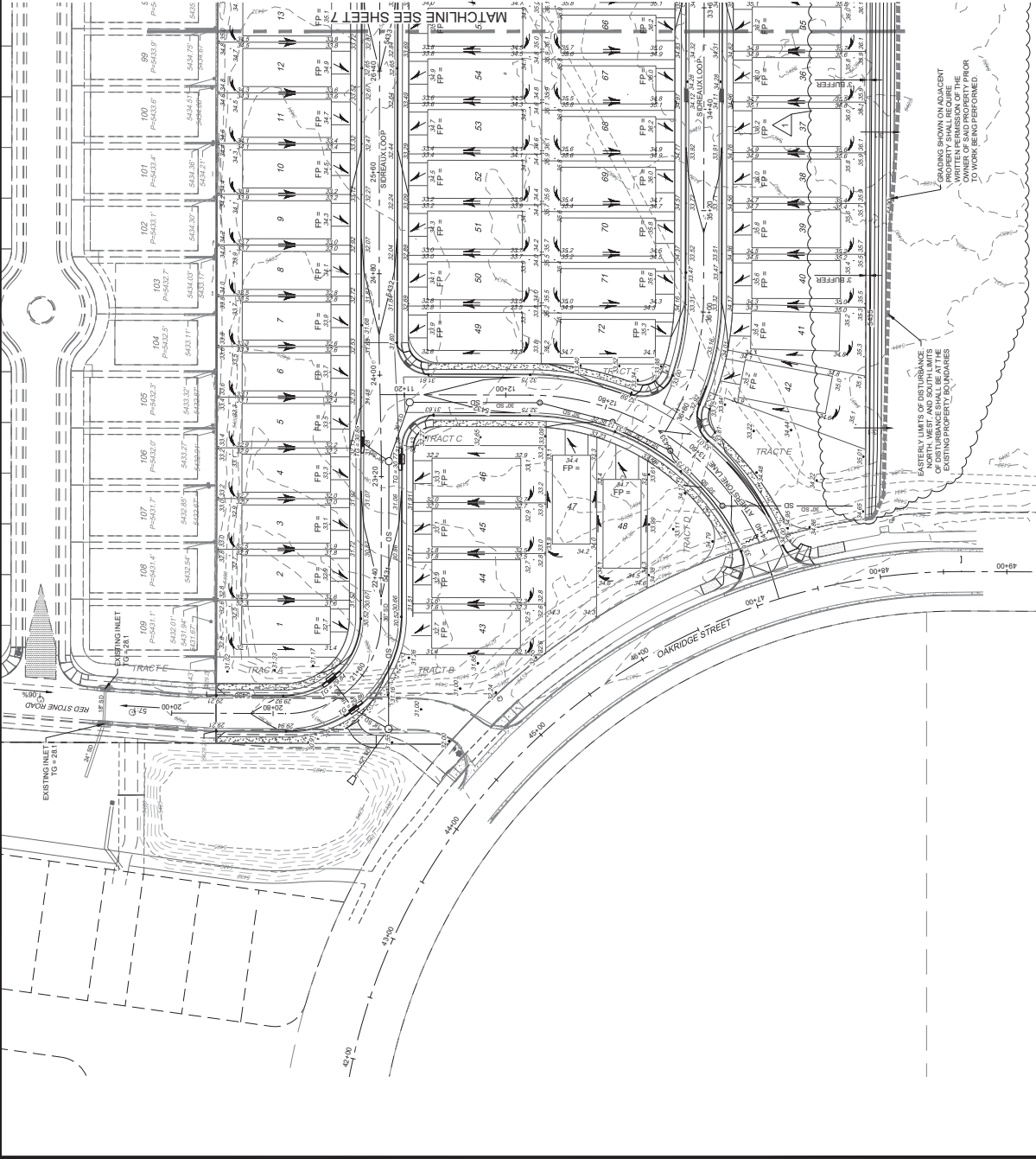
This instrument was acknowledged before me on this 9 day of November, 2022, by
Eric Cornish as Vice President of
Presbyterian Healthcare Services

Annette Sotelo
Annette Sotelo



Notary Public

Commission expires: 2/4/25



		CHECKED BY: SEG DATE: 10.06.2022 DESIGNED BY: RESPEC DATE: 10.06.2022
REVISIONS NO. DATE BY 05.25.22 REMOVED RETAINING WALL, ADD SLOPE 05.25.22 GRADING TO EAST, REVERSE CROSS SECTION V-A 05.25.22 INSERT SLOPE AGREEMENT		RESPEC DESIGN DATE: 10.06.2022
ENGINEER'S SEAL NO. BY DATE _____		NOTES: 1. CURB AND GUTTER, SIDEWALKS AND DRIVE PADS SHALL MATCH THE ELEVATIONS OF ADJUTING EXISTING AREAS PROJECT BOUNDARIES SHALL BE AS DIRECTED BY THE ARCHITECT. 2. BEYOND THE FREE EDGE OF NEW CURB AND GUTTER, EXISTING DRIVE PADS SHALL BE AS DIRECTED BY THE ARCHITECT. IN THE EVENT THEIR VALUE IS LESS THAN 5% REMOVE 2 FEET OF SUBGRADE MATERIAL AND REPLACE WITH ASPHALT PAVEMENT. CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.
AS BUILT INFORMATION BENCH MARKS ALBUQUERQUE CONTROL SURVEY STATION NO. DATE _____		AS BUILT INFORMATION SURVEY INFORMATION FIELD NOTES NO. BY DATE _____
MICRO-FILM INFORMATION MICROFILM NO. DATE _____		ELEVATION = 5524.95 FEET GROUND TO GRID FACTOR = 0.99999436 HORIZONTAL SCALE = 1" = 40.00 FEET VERTICAL SCALE = 1" = 4.00 FEET NORTH = 1.523.502 419.5 FEET ZONE = NAD 83 STATE PLANE COORDINATES (CENTRAL) MONUMENT TUNON NEW MEXICO CONTRACTOR DATE

AS BUILT INFORMATION	
CONTRACTOR	
DATE	
STATE PLANE COORDINATES CENTRAL	
NONUMENT TUNION NWM EXHIBO	
STABERS	
DATE	
RECORDING BY	
DATE	
RECORDING NO.	

BENCH MARKS	
ALBUQUERQUE CONTROL SURVEY	
DATE	
BY	
NO.	
ENGINEER'S SEAL	

SURVEY INFORMATION	
DATE	
BY	
NO.	
ENGINEER'S SEAL	

FIELD NOTES	
DATE	
BY	
NO.	
REVISIONS	
NO.	
DATE	
REMARKS	

DESIGNED BY	RESPEC
DATE	10/06/2022
CHECKED BY	SEG
DATE	10/06/2022

WALL	TOP OF FOOTING	WALL HEIGHT (FT)	APPROX. DISTANCE
1-1	32.07	31.33	17.2
1-2	32.07	27.30	5.33
1-3	32.07	27.33/28.09	4.67
1-4	32.07	28.00/28.67	4.00
1-5	32.07	28.67/28.33	4.00
1-6	32.07	29.33/30.00	3.33
1-7	32.07	30.00/30.67	2.67
1-8	32.07	30.67/31.33	1.33
1-9	32.07	31.33	6.1
2-1	37.33	\$187.00 (VARIES)	12.5
2-2	37.33	32.00	3.33
2-3	37.33	32.00	3.33
2-4	37.33/38.07	32.00	4.67
2-5	38.07/38.00	32.00	4.00
2-6	38.00	32.00	4.00
2-7	38.00	32.00/31.33	4.67
2-8	38.00	31.33/30.67	4.00
2-9	38.00	30.67/30.00	4.00
2-10	38.00	30.00/29.33	4.67
2-11	38.00	29.33/28.67	4.00
2-12	38.00	28.67/28.00	4.67
2-13	38.00	28.00/27.33	4.00
2-14	38.00	27.33	21.0

WALL	TOP OF FOOTING	WALL HEIGHT (FT)	APPROX. DISTANCE
1-1	32.07	31.33	17.2
1-2	32.07	27.30	5.33
1-3	32.07	27.33/28.09	4.67
1-4	32.07	28.00/28.67	4.00
1-5	32.07	28.67/28.33	4.00
1-6	32.07	29.33/30.00	3.33
1-7	32.07	30.00/30.67	2.67
1-8	32.07	30.67/31.33	1.33
1-9	32.07	31.33	6.1
2-1	37.33	\$187.00 (VARIES)	12.5
2-2	37.33	32.00	3.33
2-3	37.33	32.00	3.33
2-4	37.33/38.07	32.00	4.67
2-5	38.07/38.00	32.00	4.00
2-6	38.00	32.00	4.00
2-7	38.00	32.00/31.33	4.67
2-8	38.00	31.33/30.67	4.00
2-9	38.00	30.67/30.00	4.00
2-10	38.00	30.00/29.33	4.67
2-11	38.00	29.33/28.67	4.00
2-12	38.00	28.67/28.00	4.67
2-13	38.00	28.00/27.33	4.00
2-14	38.00	27.33	21.0

WALL	TOP OF FOOTING	WALL HEIGHT (FT)	APPROX. DISTANCE
1-1	32.07	31.33	17.2
1-2	32.07	27.30	5.33
1-3	32.07	27.33/28.09	4.67
1-4	32.07	28.00/28.67	4.00
1-5	32.07	28.67/28.33	4.00
1-6	32.07	29.33/30.00	3.33
1-7	32.07	30.00/30.67	2.67
1-8	32.07	30.67/31.33	1.33
1-9	32.07	31.33	6.1
2-1	37.33	\$187.00 (VARIES)	12.5
2-2	37.33	32.00	3.33
2-3	37.33	32.00	3.33
2-4	37.33/38.07	32.00	4.67
2-5	38.07/38.00	32.00	4.00
2-6	38.00	32.00	4.00
2-7	38.00	32.00/31.33	4.67
2-8	38.00	31.33/30.67	4.00
2-9	38.00	30.67/30.00	4.00
2-10	38.00	30.00/29.33	4.67
2-11	38.00	29.33/28.67	4.00
2-12	38.00	28.67/28.00	4.67
2-13	38.00	28.00/27.33	4.00
2-14	38.00	27.33	21.0

NOTES:

- CURB AND GUTTER, SIDEWALKS, AND DRIVE PADS SHALL MATCH THE ELEVATIONS OF ADJUTING EXISTING AREAS. PROJECT ENGINEER SHALL VERIFY ALL ELEVATIONS.
- BEYOND THE FREE EDGE OF NEW CURB AND GUTTER, CONCRETE SHALL BE REINFORCED WITH #4 BARS TO CONSTRUCTION AT THE EVENT THEIR VALUE IS LESS THAN 50 PERCENT OF THE VALUE OF THE EXISTING PAVEMENT. CONTACT THE ENGINEER IMMEDIATELY IF THE PAVEMENT SECTION CAN BE MODIFIED.
- CONCRETE SHALL BE REINFORCED WITH #4 BARS TO CONSTRUCTION AT THE EVENT THEIR VALUE IS LESS THAN 50 PERCENT OF THE VALUE OF THE EXISTING PAVEMENT. CONTACT THE ENGINEER IMMEDIATELY IF THE PAVEMENT SECTION CAN BE MODIFIED.

RESPEC
COMMUNITY DESIGN SOLUTIONS
1774 ALBUQUERQUE TRAIL, SUITE 200
ALBUQUERQUE, NM 87106
WWW.RESPEC.COM | PHONE: 505.833.9718

RESPEC

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION
VOLCANO MESA AT THE TRAILS
GRADING PLAN

City Engineer Approval
Design Review Committee

Project No. 738489
Zone No. 20
C9-2

Sheet 7 of 29

WALL	TOP OF FOOTING	WALL HEIGHT (FT)	APPROX. DISTANCE
1-1	32.07	31.33	17.2
1-2	32.07	27.30	5.33
1-3	32.07	27.33/28.09	4.67
1-4	32.07	28.00/28.67	4.00
1-5	32.07	28.67/28.33	4.00
1-6	32.07	29.33/30.00	3.33
1-7	32.07	30.00/30.67	2.67
1-8	32.07	30.67/31.33	1.33
1-9	32.07	31.33	6.1
2-1	37.33	\$187.00 (VARIES)	12.5
2-2	37.33	32.00	3.33
2-3	37.33	32.00	3.33
2-4	37.33/38.07	32.00	4.67
2-5	38.07/38.00	32.00	4.00
2-6	38.00	32.00	4.00
2-7	38.00	32.00/31.33	4.67
2-8	38.00	31.33/30.67	4.00
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2-11	38.00	29.33/28.67	4.00
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2-5	38.07/38.00	32.00	4.00
2-6	38.00	32.00	4.00
2-7	38.00	32.00/31.33	4.67
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2-9	38.00	30.67/30.00	4.00
2-10	38.00	30.00/29.33	4.67
2-11	38.00	29.33/28.67	4.00
2-12	38.00	28.67/28.00	4.67
2-13	38.00	28.00/27.33	4.00
2-14	38.00	27.33	21.0

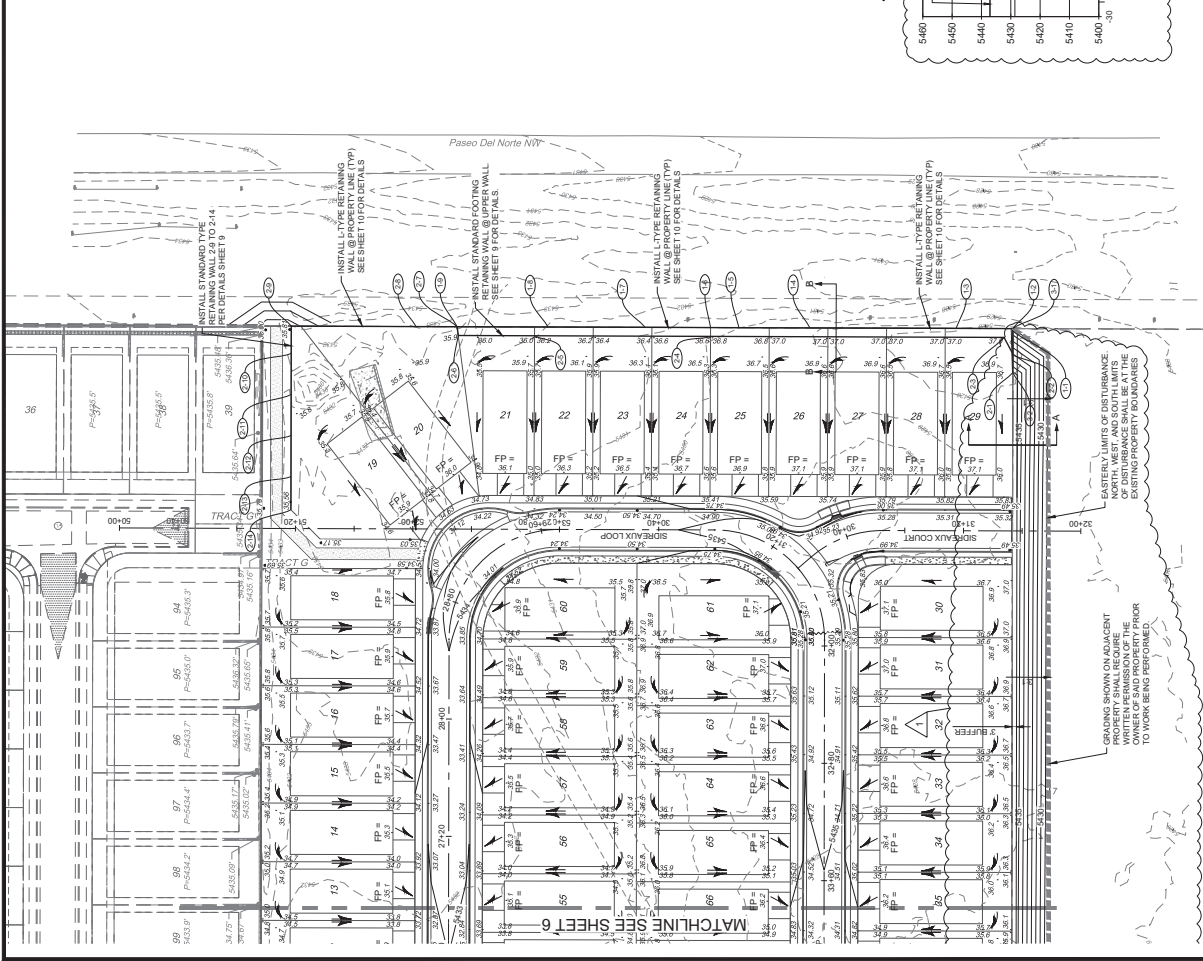
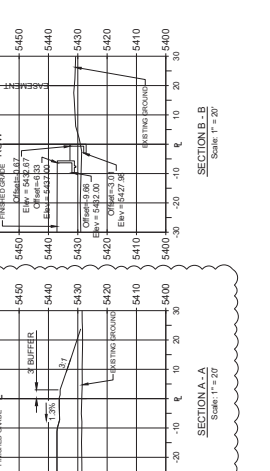
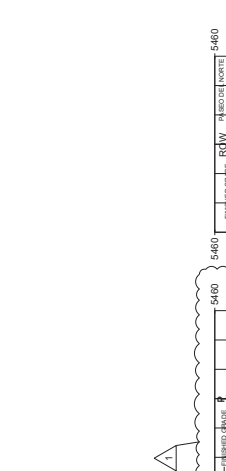
WALL	TOP OF FOOTING	WALL HEIGHT (FT)	APPROX. DISTANCE
1-1	32.07	31.33	17.2
1-2	32.07	27.30	5.33
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1-6	32.07	29.33/30.00	3.33
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2-7	38.00	32.00/31.33	4.67
2-8	38.00	31.33/30.67	4.00
2-9	38.00	30.67/30.00	4.00
2-10	38.00	30.00/29.33	4.67
2-11	38.00	29.33/28.67	4.00
2-12	38.00	28.67/28.00	4.67
2-13	38.00	28.00/27.33	4.00
2-14	38.00	27.33	21.0

INSTALL LTYE RETAINING WALL @ PROPERTY LINE (TYP) SEE SHEET 10 FOR DETAILS

INSTALL STANDARD FOOTING RETAINING WALL @ UPPER WALL SEE SHEET 10 FOR DETAILS

INSTALL LTYE RETAINING WALL @ PROPERTY LINE (TYP) SEE SHEET 10 FOR DETAILS

INSTALL LTYE RETAINING WALL @ PROPERTY LINE (TYP) SEE SHEET 10 FOR DETAILS



INSTALL LTYE RETAINING WALL @ PROPERTY LINE (TYP) SEE SHEET 10 FOR DETAILS

INSTALL STANDARD FOOTING RETAINING WALL @ UPPER WALL SEE SHEET 10 FOR DETAILS

INSTALL LTYE RETAINING WALL @ PROPERTY LINE (TYP) SEE SHEET 10 FOR DETAILS

INSTALL LTYE RETAINING WALL @ PROPERTY LINE (TYP) SEE SHEET 10 FOR DETAILS

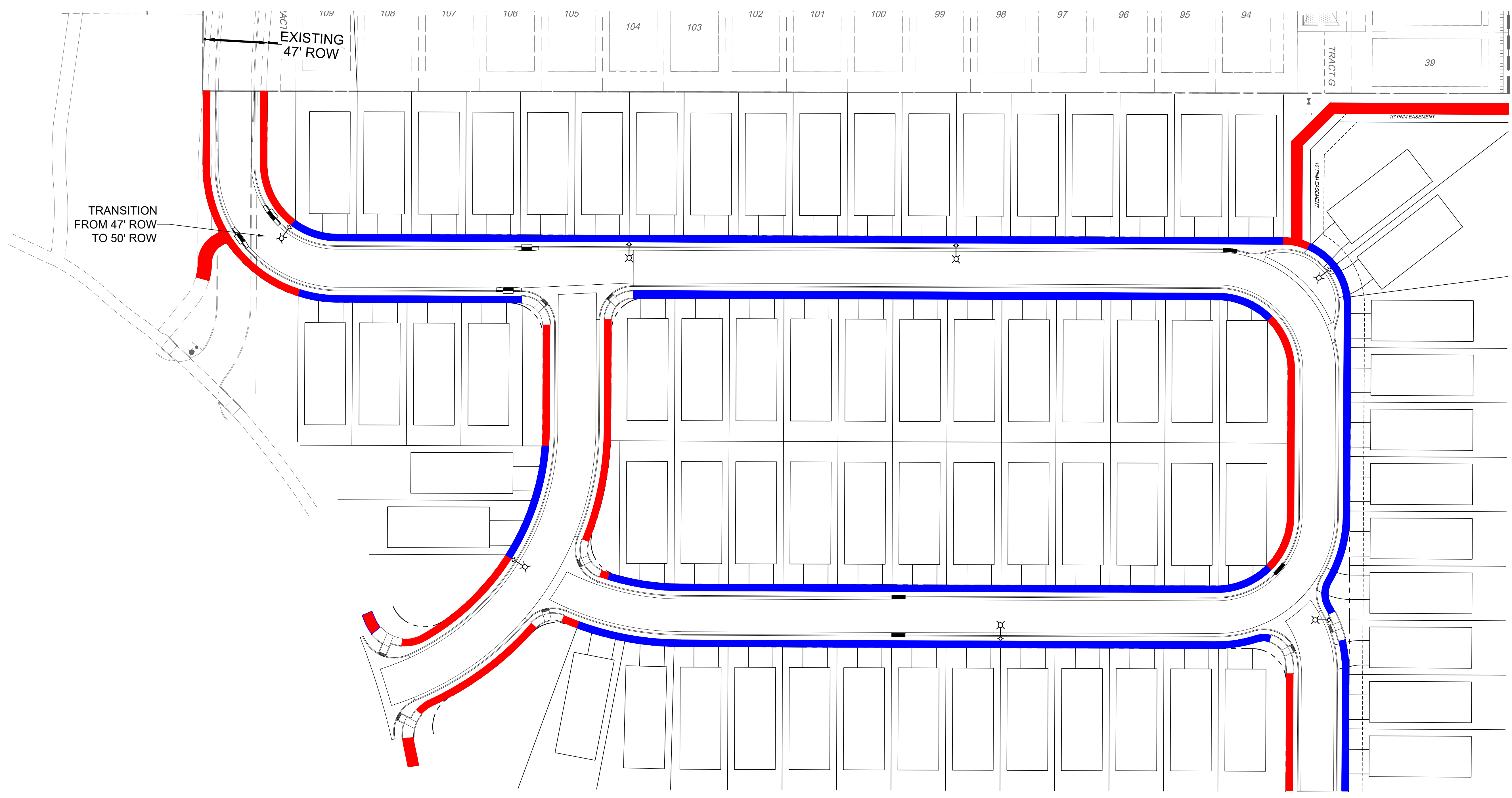
SAFETY LIMITS OF DISTURBANCE NORTH, WEST, AND SOUTH LIMITS OF DISTURBANCE SHALL BE AT THE PROPERTY LINE (TYP) SEE SHEET 10 FOR DETAILS

WORKING DRAWINGS AND AS-BUILT DRAWINGS SHALL REQUIRE WRITER PERMISSION OF THE ENGINEER TO BE MADE BEFORE ANY WORK TO BE PERFORMED.

DATE: 10/06/2022
 TIME: 10:00 AM
 PROJECT: VOLCANO MESA AT THE TRAILS
 SHEET: 7 OF 29

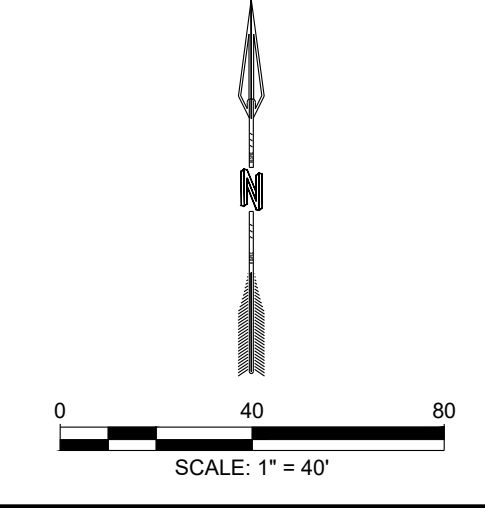
DEFERRED SIDEWALK

NON-DEFERRED SIDEWALK



TRACT 2 TRAILS
 DEFERRED SIDEWALK EXHIBIT
 July 11, 2023

REVISED
 PLANS



RESPEC

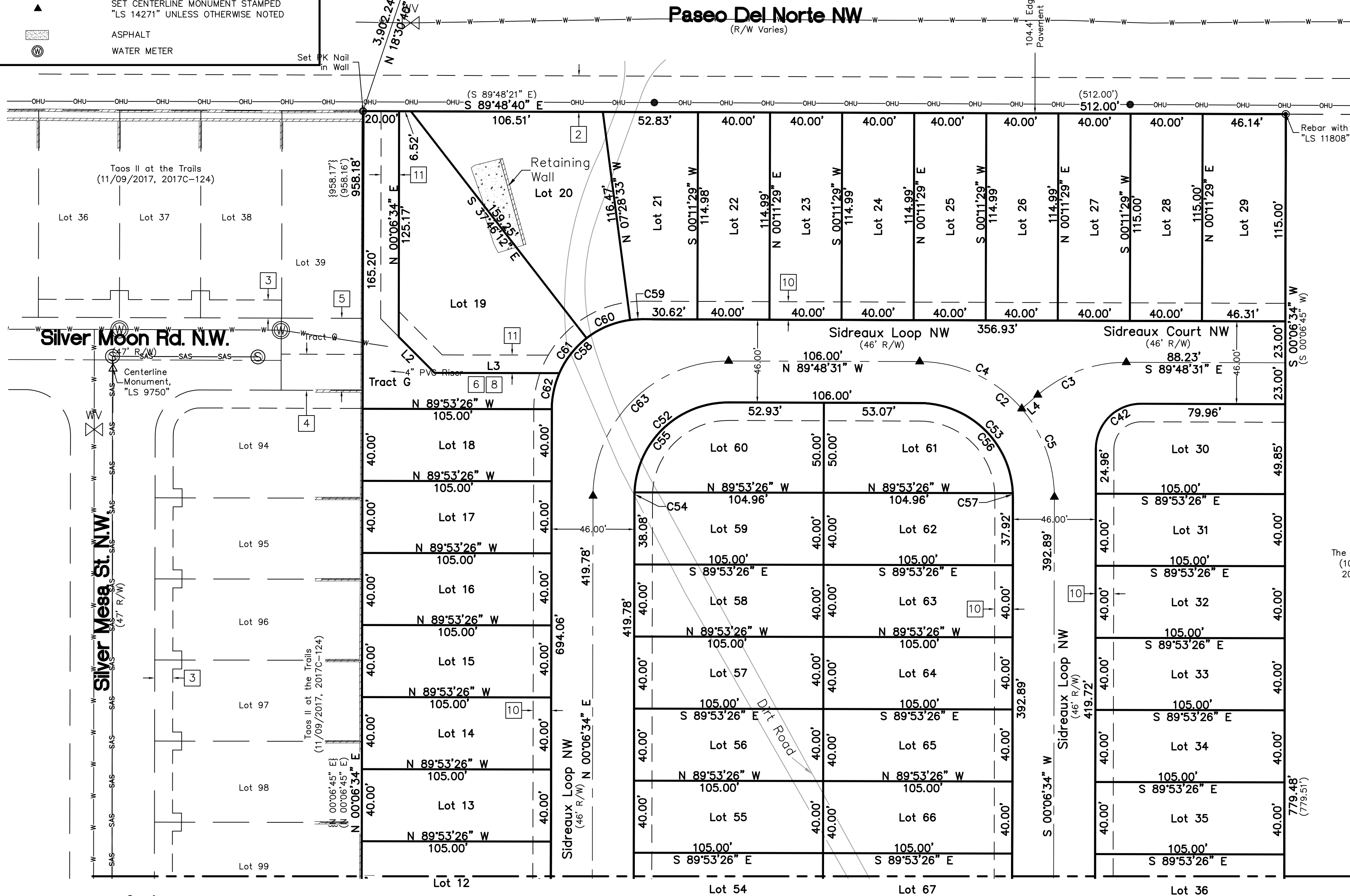
COMMUNITY DESIGN SOLUTIONS
 7770 JEFFERSON STREET NE, SUITE 200
 ALBUQUERQUE, NEW MEXICO 87109
 WWW.RESPEC.COM PHONE: (505)253-9718

Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (10/18/2004, 2004C-332)
{N 90°00'00" E}	RECORD BEARINGS AND DISTANCES PER PLAT (11/9/2007, 2007C-124)
●	FOUND MONUMENT AS INDICATED
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
△	FOUND CENTERLINE MONUMENT AS INDICATED
▲	SET CENTERLINE MONUMENT STAMPED "LS 14271" UNLESS OTHERWISE NOTED
▨	ASPHALT
⊙	WATER METER

ACS Monument " 2-B10 " NAD 1983 CENTRAL ZONE
 X=1497789.568*
 Y=1528038.78 *
 Z=5432.168 * (NAVD 1988)
 G-G=0.999667416
 Mapping Angle=-0°16'30.71"
 *U.S. SURVEY FEET

**Site Sketch for
 Volcano Mesa
 Being Comprised of
 Tract 2
 The Trails, Unit 2
 City of Albuquerque
 Bernalillo County, New Mexico
 June 2023**



Purpose of Plat

1. SUBDIVIDE AS SHOWN HEREON.
2. GRANT EASEMENTS AS SHOWN HEREON.
3. DEDICATE RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE AS SHOWN HEREON.
4. VACATE EASEMENT(S) AS SHOWN HEREON.

Matchline - See Sheet 2 of 2

CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244
 cartesianbrian@gmail.com

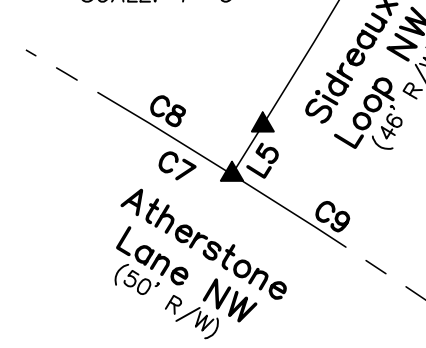
Matchline - See Sheet 1 of 2

Site Sketch for
Volcano Mesa
Being Comprised of
Tract 2
The Trails, Unit 2
City of Albuquerque
Bernalillo County, New Mexico
June 2023

Tract 3
The Trails Unit 2
(10/18/2004,
2004C-332)

Detail "A"

SCALE: 1"=5'



Right-of-Way
Dedicated to the
City of Albuquerque
in Fee Simple with
the filing of this Plat
101,990 Sq. Ft.
2.3414 Acres

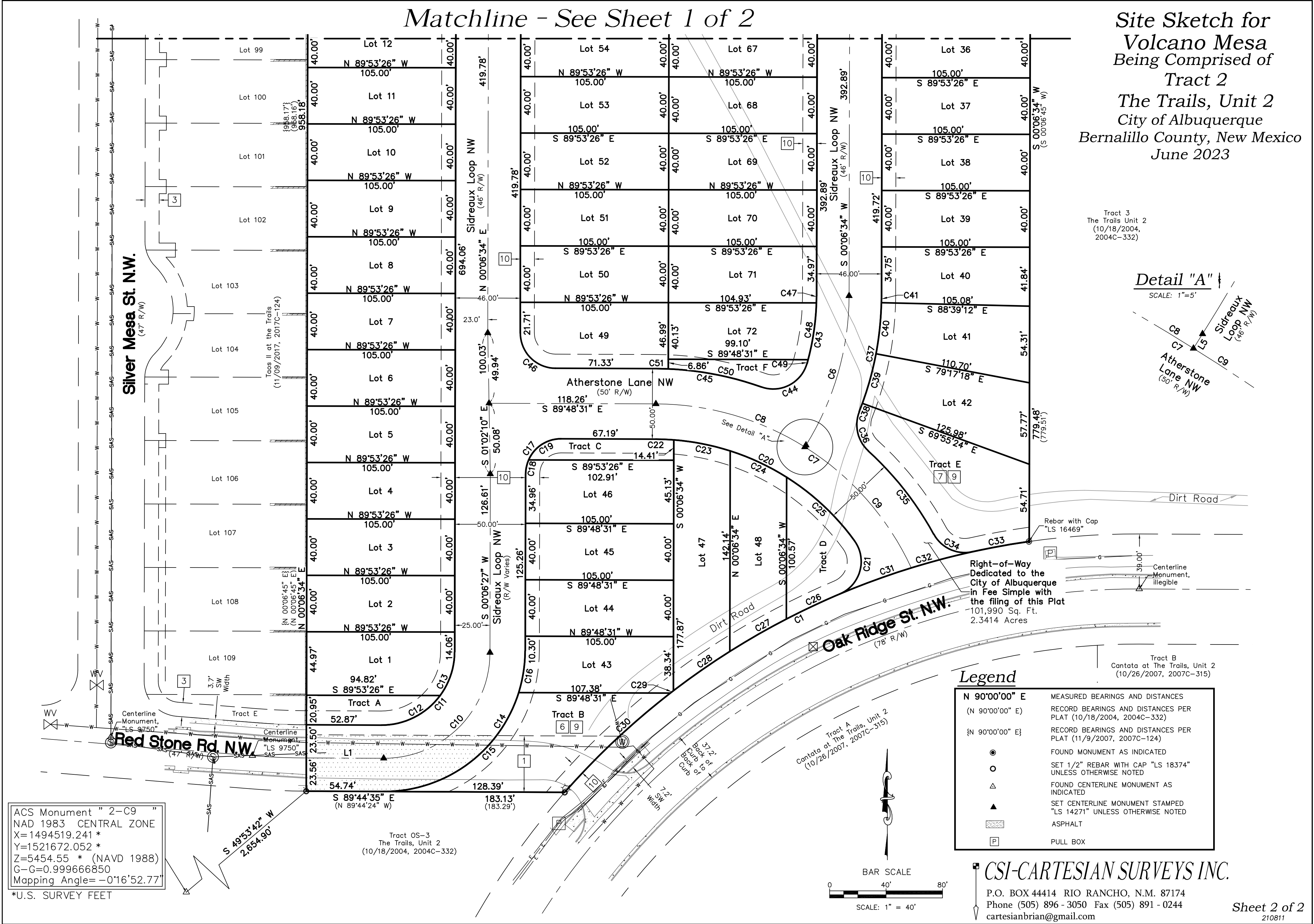
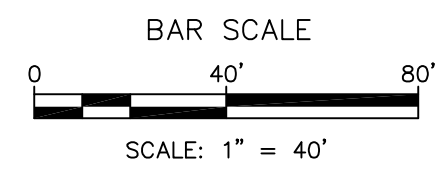
Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (10/18/2004, 2004C-332)
{N 90°00'00" E}	RECORD BEARINGS AND DISTANCES PER PLAT (11/9/2007, 2007C-124)
●	FOUND MONUMENT AS INDICATED
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
△	FOUND CENTERLINE MONUMENT AS INDICATED
▲	SET CENTERLINE MONUMENT STAMPED "LS 14271" UNLESS OTHERWISE NOTED
▨	ASPHALT
P	PULL BOX

CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
cartesianbrian@gmail.com

ACS Monument "2-C9"
NAD 1983 CENTRAL ZONE
X=1494519.241 *
Y=1521672.052 *
Z=5454.55 * (NAVD 1988)
G-G=0.999666850
Mapping Angle=-0°16'52.77"
*U.S. SURVEY FEET



Current DRC
Project Number: _____

FIGURE 12

Date Submitted: July 25, 2023

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

Volcano Mesa at The Trails

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract 2, Unit 2, The Trails

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>	PUBLIC ROADWAY IMPROVEMENTS									
<input type="text"/>	<input type="text"/>	32' F-F	RESIDENTIAL PAVING W/PCC CURB & GUTTER, PCC 5' WIDE SIDEWALK ON BOTH SIDES*	ATHERSTONE LANE	OAKRIDGE STREET	SIDREAUX LOOP (N)	/	/	/		
<input type="text"/>	<input type="text"/>	28' F-F	RESIDENTIAL PAVING W/PCC CURB & GUTTER, PCC 5' WIDE SIDEWALK ON BOTH SIDES*	SIDREAUX LOOP	ATHERSTONE LANE (S)	ATHERSTONE LANE (N)	/	/	/		
<input type="text"/>	<input type="text"/>	28/32' F-F	RESIDENTIAL PAVING W/PCC CURB & GUTTER, PCC 5' WIDE SIDEWALK ON BOTH SIDES*	SIDREAUX LOOP	ATHERSTONE LANE (N)	CONNECTION W/RED STONE ROAD	/	/	/		
<input type="text"/>	<input type="text"/>	5'	PCC SIDEWALK PEDESTRIAN CONNECTION	TRACT G	SIDREAUX LOOP	PASEO DEL NORTE	/	/	/		
<input type="text"/>	<input type="text"/>	PUBLIC STORM DRAIN IMPROVEMENTS									
<input type="text"/>	<input type="text"/>	30" DIA.	RCP W/MH & INLETS	TRACT E	EAST SUBDIVISION BOUNDARY	ATHERSTONE LANE	/	/	/		
<input type="text"/>	<input type="text"/>	30" DIA.	RCP W/MH & INLETS	ATHERSTONE LANE	TRACT E	SIDREAUX LOOP (N)	/	/	/		
<input type="text"/>	<input type="text"/>	36" DIA.	RCP W/MH & INLETS	SIDREAUX LOOP	ATHERSTONE LANE	TRACT B	/	/	/		
<input type="text"/>	<input type="text"/>	42" DIA.	RCP W/MH & INLETS	TRACT B	SIDREAUX LOOP	POND F5	/	/	/		
<input type="text"/>	<input type="text"/>	PUBLIC WATERLINE IMPROVEMENTS									
<input type="text"/>	<input type="text"/>	8" DIA.	WATERLINE W/VALVES AND HYDRANTS	OAK RIDGE STREET	RED STONE ROAD	EAST SUBDIVISION BOUNDARY	/	/	/		

* SIDEWALKS TO BE BUILT/DEFERRED IN ACCORDANCE W/APPROVED SIDEWALK EXHIBIT

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	8" DIA.	WATERLINE W/VALVES AND HYDRANTS	ATHERSTONE LANE	OAK RIDGE STREET	SIDREAUX LOOP (N)	/	/	/
<input type="text"/>	<input type="text"/>	8" DIA.	WATERLINE W/VALVES AND HYDRANTS	SIDREAUX LOOP	ATHERSTONE LANE (S)	RED STONE ROAD	/	/	/
<input type="text"/>	<input type="text"/>	8" DIA.	WATERLINE W/VALVES AND HYDRANTS	TRACT G	SIDREAUX LOOP	WEST SUBDIVISION BOUNDARY	/	/	/
<input type="text"/>	<input type="text"/>	8" DIA.	WATERLINE STUB	STUB STREET AT NE CORNER OF SUBDIVISION			/	/	/
<u>PUBLIC SANITARY SEWER IMPROVEMENTS</u>									
<input type="text"/>	<input type="text"/>	8" DIA.	SANITARY SEWER W/MH'S AND SERVICES	ATHERSTONE LANE	SIDREAUX LOOP (S)	SIDREAUX LOOP (N)	/	/	/
<input type="text"/>	<input type="text"/>	8" DIA.	SANITARY SEWER W/MH'S AND SERVICES	SIDREAUX LOOP	ATHERSTONE LANE (S)	CONNECTION W/RED STONE ROAD	/	/	/
<input type="text"/>	<input type="text"/>	8" DIA.	SANITARY SEWER STUB		CANTATA APARTMENTS	CL OF OA RIDGE	/	/	/
<u>PUBLIC STREETLIGHT IMPROVEMENTS</u>									
<input type="text"/>	<input type="text"/>		LED STREETLIGHTS, PULL BOXES, PNM CONNECTION, TRANSFORMER, AND WIRING	AS SHOWN ON STREETLIGHT EXHIBIT			/	/	/
<u>REMOVALS</u>									
<input type="text"/>	<input type="text"/>		EXISTING DRIVEWAY REMOVAL	TEMPORARY ACCESS	OAK RIDGE STREET	RED STONE ROAD	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature							City User Dept. Signature		
Date							Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
----------------------	--

Sheldon Greer	DRB CHAIR - date	PARKS & RECREATION - date
NAME (print)		
RESPEC	TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
FIRM		
SIGNATURE - date	UTILITY DEVELOPMENT - date	CODE ENFORCEMENT - date
	CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS
--

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: July 25, 2023

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____
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Date Preliminary Plat Expires: _____
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Volcano Mesa at The Trails

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract 2, Unit 2, The Trails

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

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Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		31' F-EOA*	ARTERIAL PAVING FOR ADDITIONAL 23' EASTBOUND LANES, PCC CURB & GUTTER, 8' BIKE LANE W/4' BUFFER, 10' ASPHALT TRAIL ON SOUTH SIDE	PASEO DEL NORTE	WEST SUBDIVISION BOUNDARY	EAST SUBDIVISION BOUNDARY	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

* PROCEDURE C AGREEMENT

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____

- 2 _____

- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Sheldon Greer

NAME (print)

RESPEC

FIRM

SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION - date

AMAFCA - date

CODE ENFORCEMENT - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



SENSITIVE LANDS ANALYSIS FORM

The following administrative instructions outline submittal requirements that must accompany an application for subdivision of land or site design, as applicable, for sensitive lands (ref. §14-16-5-2 of the IDO). The analysis should be conducted and signed by the professional(s) skilled in that landform, i.e., civil engineer, landscape architect, or geotechnical engineer.

Applications must include:

1. An inventory of each sensitive land feature, including:
 - a. Location of features on a scaled map overlaid on an aerial photo;
 - b. Photographs to capture all angles of the feature(s);
 - c. Pertinent dimensional descriptions (see detail in table); and
 - d. Other details (see table).

2. For each sensitive land featured, identify those features that will be saved. Identify how the feature will be protected during construction. For any features that will not be saved, provide justification as to why it is not practicable to save this feature.

Sensitive Lands Table

FEATURE	MAP LOCATION	PHOTOS	DIMENSIONS	OTHER DETAILS
Floodplains and flood hazard areas	X			FEMA map, LOMR
Steep slopes	X	X	Percentage or vertical to horizontal rise	Description of erosive forces
Unstable soils	X	X	Geotechnical report ref. existence of clay, blowing sand, and/or high-water table	Description of soil characteristics
Wetlands (constant supply of water)	X	X		Description of animal and plant species in ecosystem
Arroyos	X	X	Historical CFS Side slopes Width and depth	Identify the arroyo in the natural drainage system
Irrigation facilities (acequias)	X	X	Height and width of levee Location of tope of slope Is it a community or MRGCD facility?	Identify the acequia in the irrigation system
Escarpment	X	X	Slope Length	Existence of petroglyphs; description of escarpment face
Rock outcroppings	X	X	Height, length and width	Describe co-existence of trees and shrubs
Large stands of mature trees	X	X	Trunk caliper by species Number in each cluster Native species and non-native species?	Identify tree species and health <i>*Evaluation of City Forrester required</i>
Archeological sites	X			>5 acres, archeological certificate

The Sensitive Lands Analysis is based on these Comprehensive Plan Goals:

POLICY 11.3.1

Natural and Cultural Features:

Preserve and enhance the natural and cultural characteristics and features that contribute to the distinct identity of communities, neighborhoods, and cultural landscapes. [ABC]

- a) Minimize negative impacts and maximize enhancements and design that complement the natural environment, particularly features unique to Albuquerque, in development and redevelopment in light of the relationship to and effect upon the following:
 - i. Indigenous vegetation and other materials appropriate to landscapes;
 - ii. Topography and landscape features such as arroyos, the Rio Grande and Bosque, the foothills, and escarpments;
 - iii. Soils and erosion potential;
 - iv. Colors and textures of the natural environment; and
 - v. Scenic views from the public right-of-way
- b) Minimize the visibility of structures in highly scenic areas and on the western horizon as seen throughout the city through building design and materials that blend with the natural colors of the landscape and limit reflectivity.
- c) Protect important views from public rights-of-way through regulations on street orientation, site layout, building height, and signs.
- d) Encourage site design that enhances and leverages views to cultural landscapes.
- e) Encourage appropriate edge treatments, transitions, and buffers through site design and development standards for development adjacent to Open Space.
- f) Plat single-loaded streets to maintain scenic edges next to Open Space.
- g) Encourage reconstruction and revegetation to a natural setting.

11.3.1.1 Adopt site development standards and/or view protection overlays for orientation of new streets, building and wall height and placement, massing, frontage, color, signs, utilities, and/or tree preservation as needed to protect cultural landscapes and significant views from the public right-of-way along key corridors. [ABC]

POLICY 11.3.3

Bosque: Regulate development on adjacent lands to preserve and enhance the Bosque as an important cultural landscape that contributes to the history and distinct identity of the region, as well as nearby neighborhoods. [ABC]

- a) Minimize grading, changes to natural topography, and land disturbance to preserve natural features.
- b) Encourage reconstruction and revegetation to a natural setting on lands adjacent to the Bosque.

POLICY 11.3.6

Volcano Mesa: Preserve open space, natural and cultural landscapes, and other features of the natural environment within Volcano Mesa. [A]

- a) Respect Albuquerque's culture and history, including Hispanic and Native American, through context-sensitive development.
- b) Encourage development that is sensitive to the open, natural character of the area and geological and cultural conditions.
- c) Protect important views, vistas, and view corridors from within Volcano Mesa to the Rio Grande basin, across the city of Albuquerque, and to the Sandia Mountains.
- d) Protect the area's natural and archaeological resources, including the Monument and significant rock outcroppings, while encouraging urban development in the Volcano Heights Urban Center to create a vibrant, walkable district with an identity, character, and sense of place inextricably linked to the volcanic landscape.

To: Jolene Wolfley, Chair and DRB Members, City of Albuquerque

From: Jim Strozier, Consensus Planning, Inc.

Date: August 10, 2021

Re: Sensitive Lands Analysis for Tract 2, Unit 2, The Trails Preliminary Plat Application

This memo responds to the Sensitive Lands criteria in IDO Section 14-16-5-2. We have analyzed the project site for the presence of sensitive lands and the constraints related to such lands. As outlined below, none of the features identified as sensitive lands by the IDO are present on the subject property for the proposed Volcano Mesa at the Trails Tract 2 single-family residential development.

1. Arroyos: Utilizing the AMAFCA interactive facilities map, the closest arroyo/floodplain is identified as the North Branch Piedras Marcadas Channel. This is a concrete lined channel within the Ventana Ranch community to the north of the subject property. The North Fork of the Boca Negra Arroyo is the next closest arroyo and is located farther away from this site to the south within the Petroglyph National Monument. There is no identified arroyo on the subject property.



Figure 1: AMAFCA Facilities Map of Site and Vicinity.

2. Floodplains and Special Flood Hazard Areas: According to the FEMA Floodplain layer on AGIS, the subject property is in an area with a FEMA Flood Zone Designation X, which is an area of minimal flood hazard. The nearest floodplain is associated with the Piedras Marcadas Arroyo to the north. There are no special flood hazard areas on the subject property.
3. Irrigation Facilities (Acequias): The subject property is not located in the valley and is not near or have any irrigation facilities.
4. Large Stands of Mature Trees: There are no trees on the subject property.
5. Rock Outcroppings: These outcroppings are defined in the IDO as being at least 6 feet high and over 500 square feet in size. Previous planning efforts by the City of Albuquerque in the Volcano Trails Sector Development Plan identified the significant rock outcroppings in the vicinity that were to be preserved, none of which were for this site (see Figure 2).

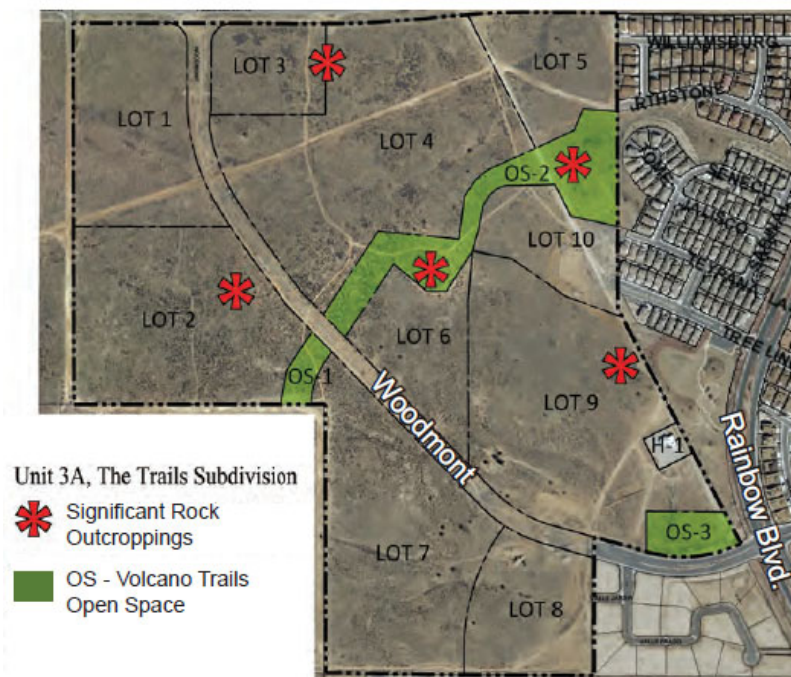


Figure 2: Significant rock outcroppings Exhibit 15 from the Volcano Trails Sector Development Plan (subject property is located to the east of the area shown above. See Figure 3).

Analyzing the 2-foot contours available in the Advanced Map Viewer and the topographic information used in planning this project, it is apparent there are no rock outcroppings of this size on the subject property (see Figure 3).

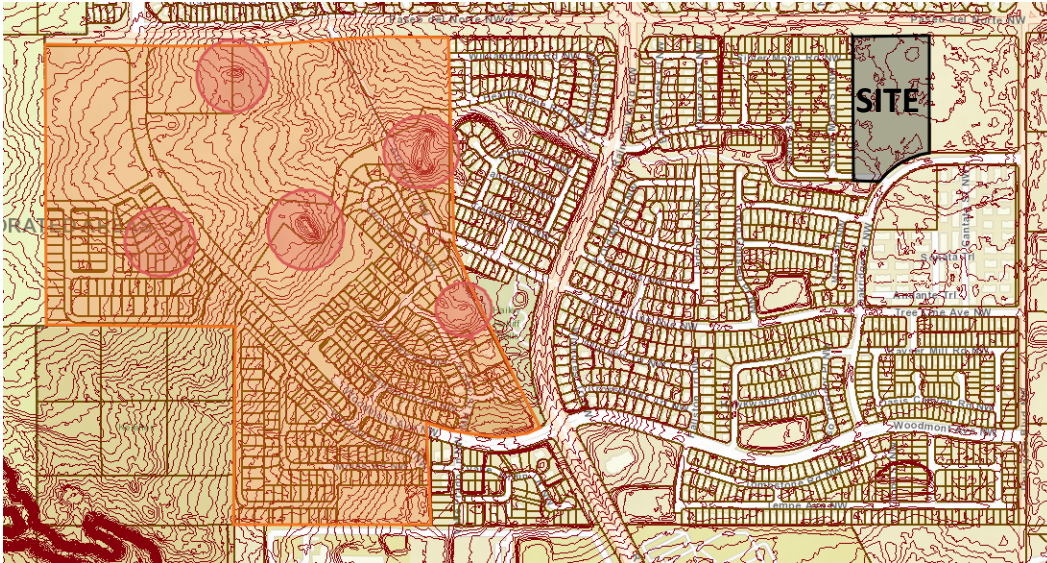


Figure 3: Location of significant rock outcroppings shown to the west of the subject property.

6. Significant Archaeological Sites: An Archaeological Certificate of No Effect was completed in 2007 and is provided with the application for this project. Previous studies have been completed for the area. There are no significant archeological sites on the subject property.
7. Steep Slopes and Escarpments: This property has virtually no grade changes across the 10.4 acres. In reviewing the available topographic information, including the 2-foot contours available in the Advanced Map Viewer, the site does not include any slopes that meet the IDO definition of a steep slope or escarpment, which is a minimum slope of 9 percent or more. This site is significantly below that threshold and therefore has no steep slopes or escarpments on the subject property.



Figure 4: Two-Foot Contour Map of the Subject Site virtually no slope.

8. Wetlands: Utilizing the U.S. Fish & Wildlife Service Wetlands Mapper, it was determined that no wetlands exist on this property. The mapper identifies the two arroyos, previously discussed, as riverine wetlands systems but no other wetlands exist in the vicinity of the subject site or on the property.







AGENT LETTER

Owner: DR Horton
Aaron Mark Cooke / Director of Land Development

Agent: RESPEC, Inc
Sheldon Greer, PE
7770 Jefferson Street NE
Suite 200 2nd Floor
Albuquerque NM, 87109
505.264.0472
sheldon.greer@respec.com

Property Description: Tract 2, Unit 2, The Trails

I, Aaron Mark Cooke, Director of Land Development of DR Horton, hereby authorize RESPEC as agent.

Aaron Mark Cooke
DR Horton

7-25-23

Date

7770 JEFFERSON STREET NE
SUITE 200
ALBUQUERQUE, NM 87109
505.268.2661



July 27, 2023

Development Hearing Officer
City of Albuquerque, Planning

RE: Volcano Mesa at The Trails / Tract 2, Unit 2, The Trails

RESPEC, agent for DR Horton, is requesting approval from Development Hearing Officer on the enclosed Preliminary Plat and Temporary Deferral of Sidewalk application submitted for your consideration.

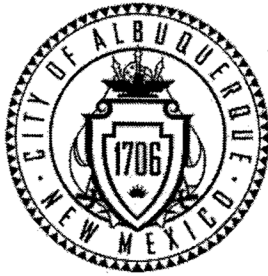
Tract 2, Unit 2, The Trails is located north of Oak Ridge Street between Universe Boulevard and Tijeras Creek Road within the City of Albuquerque. The subject property contains 10.4 acres. The proposed development consists of creating 72 new residential lots and 7 HOA tracts from the existing parcel. The properties are currently zoned R-ML for Multi-Family – Low Density.

To the best of our knowledge the site plan complies with all the applicable provisions of the City of Albuquerque's Integrated Development Ordinance and Development Process Manual. No deviations are requested at this time. We appreciate your consideration in this matter.

Sincerely,

Sheldon Greer, PE
RESPEC, Engineer
Community Design Solutions
505.264.0472
sheldon.greer@respec.com

7770 JEFFERSON ST., NE
SUITE 200
ALBUQUERQUE, NM 87109
505.268.2661



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

Interoffice Memorandum

November 8, 2007

Subject: Albuquerque Archaeological Ordinance—Compliance Documentation

Project Number(s):

Case Number(s):

Agent:

Applicant: Longford Homes, Inc.

Legal Description: The Trails Unit 3

Acreage: 165.59 acres

Zone Atlas Page: C-9

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

NIAF submitted by TRC Solutions dated February 2007 (NMCRI# 103624)

Note: LA 49629 "ikely destroyed by recent construction activity."

SITE VISIT: n/a

RECOMMENDATION(S):

- **CERTIFICATE OF NO EFFECT IS ISSUED** (ref O-07-72 Section 72 Section 4B(1)-- no significant sites in project area; 4B(2)— land disturbance; and 4B(3), information potential exhausted for LA 49629).

SUBMITTED:

Matthew Schmader, PhD

Superintendent, Open Space Division

Acting City Archaeologist



Development Review Board

Planning Dept. - Sketch Plat Comments

Project #:PR-2021-005717 Application #PS: -2021-00085

Meeting Date/Item Number: 18

Standard comments:

- This PR# has been assigned to this subject site. Any applications (vacations, platting, site plans, etc..) for this subject site MUST reference this PR#. It must be noted on the application with the submittal for future actions.
 - Must submit any DRB signed off site plans, variances and/or NOD with submittal for building permit.
 - Note that the document titles listed in the submitted PDF must not include symbols (+, &, etc....) and title should be a short and abbreviated as possible.
-

Final plat must have City surveyor, Surveyor and all property owners' signature

Final plat must all utility signatures, we recommend that you obtain signatures prior to submittal

The project number and application number must be on the plat

The subject is within the boundaries of Character Protection Overlay zone 13, Volcano Mesa. Please see this zone for specific requirements regarding setbacks, building height, façade design and garage access.

The subject site is also within the boundaries of View Protection Overlay Zone 2, Northwest Mesa Escarpment. Please see this section of for structure height and view protection, color, reflectivity and roof mounted equipment.

The North arrow on the proposed lot layout is actually point to the west.

Please dimension the lots.

This subdivision is abutting Paseo del Norte which is identified on the Long Range Roadway System as a Principal Regional Arterial. IDO Section 5-4 calls for the avoidance of residential rear lot lines adjacent to collector or arterial streets. Please consider a layout that would avoid placing homes in close proximity to Paseo del Norte or demonstrated that there is some landscape/trail buffer area between the future buildout road lanes and the private property line.

See section 5-4(F)(2)(b) Residential lots shall avoid layouts where the rear lot line is adjacent to a collector or arterial street. Local frontage roads may be used within a subdivision to avoid locating residential rear yard walls along collector and arterial streets.



This land for this subdivision appears to not have been graded and must meet the requirements of Section 5-2(C) with the associated submittal requirements found on the DRB website. A Sensitive Lands Analysis will be required.

Land in this area has areas where the basalt is close to the surface. Please be aware of requirements in 5-4 (J) that regulate grade changes and extensive fill.

5-4(J)(1)(b) New subdivisions shall blend development into the adjacent environment with a minimum of grade change. Extensive fill that raises the grade for proposed lots at the edge of a proposed subdivision above the grade of nearby property shall be avoided. Significant cuts near the edges of a proposed subdivision to lower the grade within the development shall be avoided.

Block lengths are regulated by IDO 5-4(E)(3). It appears that Sidreaux Loop on the west side is a block length longer than 600 feet.

Table 5-4-1: Summary of Block Lengths in the DPM			
Location	Block Length (ft.)	Signalized Pedestrian Crossing (ft.)	Designated Pedestrian Crossing (ft.)
Streets in Center & Corridor Areas			
Downtown	200-400	≤660	≤400
Urban Center	300-400	≤660	≤400
Main Street Area	300-400	≤660	≤400
Activity Center	400-600	≤1,320	≤600
Employment Center	≤800	≤2,640	As appropriate
Village Center	400-600	≤1,320	≤600
Streets in Other Areas			
Collector, Arterial, or Interstate Highway	Per DPM	Per DPM	Per DPM
Local Street	≤600	≤2,640	As appropriate

5-3(C)(3)(b) For all low-density residential development, driveways accessed from the front or street side of the property shall be at least 20 feet long.

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.


4. TIME

Signs must be posted from August 8, 2023 To September 7, 2023

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



RESPEC / Sheldon Greer (Applicant or Agent)

07/27/2023

(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____




**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type:	
Decision-making Body:	
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Neighborhood meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is this a Site Plan Application:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application: Volcano Mesa at the Trails / Tract 2 the Trails, Unit 2	
Name of property owner: DR Horton, Inc., a Delaware Corporation	
Name of applicant: RESPEC (Agent)	
Date, time, and place of public meeting or hearing, if applicable:	
Anticipated hearing date: August 23, 2023 via Zoom	
Address, phone number, or website for additional information:	
Please contact Renee Regal at (505) 253-9718 or renee.regal@respec.com	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 _____ (Applicant signature) July 28, 2023 _____ (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Renee Regal

From: webmaster@cabq.gov
Sent: Wednesday, July 26, 2023 12:04 PM
To: Renee Regal
Cc: onc@cabq.gov
Subject: Neighborhood Meeting Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_C-09-Z.pdf

This Message Is From an External Sender

This message came from outside your organization.

[Report Suspicious](#)

Neighborhood Meeting Inquiry For:

Development Hearing Officer

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Renee Regal

Telephone Number

505-253-9718

Email Address

renee.regal@respec.com

Company Name

RESPEC

Company Address

7770 Jefferson Street NE

City

Albuquerque

State

NM

ZIP

87120

Legal description of the subject site for this project:

TR 2 BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLATOF TRACTS G & J THE TRAILS AND UNPLATTED DEED PARCELS)CONT 10.3965 AC. UPC: 100906444647910105

Physical address of subject site:

Subject site cross streets:

Paseo Del Norte NW and University Blvd NW

Other subject site identifiers:

Abuts Oak Ridge Street NW

This site is located on the following zone atlas page:

C-09-Z

Captcha

x

Renee Regal

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Wednesday, July 26, 2023 2:17 PM
To: Renee Regal
Subject: Paseo Del Norte NW and Universe Blvd NW Neighborhood Meeting Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_C-09-Z.pdf

This Message Is From an External Sender

This message came from outside your organization.

Report Suspicious

PLEASE NOTE:

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

As of Wednesday, July 26, 2023, there are **NO** neighborhood associations/coalitions to notify.

Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to attach a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

Thank you.



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102

505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Wednesday, July 26, 2023 12:04 PM

To: Office of Neighborhood Coordination <renee.regal@respec.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Development Hearing Officer

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Renee Regal

Telephone Number

505-253-9718

Email Address

renee.regal@respec.com

Company Name

RESPEC

Company Address

7770 Jefferson Street NE

City

Albuquerque

State

NM

ZIP

87120

Legal description of the subject site for this project:

TR 2 BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS G & J THE TRAILS AND UNPLATTED DEED PARCELS) CONT 10.3965 AC. UPC: 100906444647910105

Physical address of subject site:

Subject site cross streets:

Paseo Del Norte NW and University Blvd NW

Other subject site identifiers:

Abuts Oak Ridge Street NW

This site is located on the following zone atlas page:

C-09-Z

Captcha

x

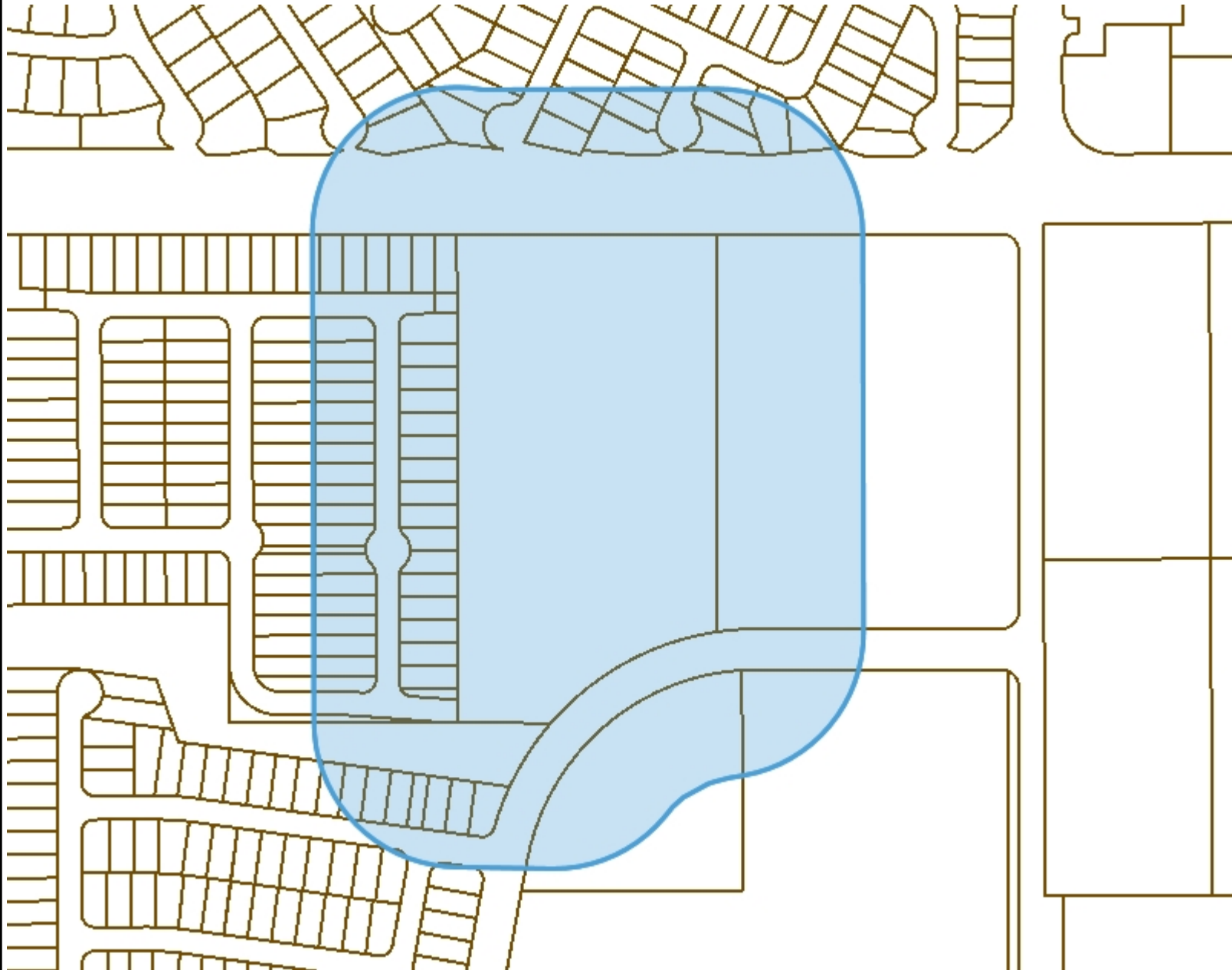


Volcano Mesa at the Trails



Legend

□ Bernalillo County Parcels



Notes

Buffer: 285 Ft.
Row: Paseo Del Norte NW; 185 Ft.

580 0 290 580 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
7/27/2023 © City of Albuquerque

1: 3,480

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Owner	Owner Address	Owner Address 2	SITUS Address	SITUS Address 2
RAMIREZ MARIA C	9401 CORSICO PL NW	ALBUQUERQUE NM 87114-3442	9401 CORSICO PL NW	ALBUQUERQUE NM 87114
MARTINEZ JOHN R	9404 TALARA PL NW	ALBUQUERQUE NM 87114	9404 TALARA PL NW	ALBUQUERQUE NM 87114
THORNTON HELENE B	9400 TERESINA CT NW	ALBUQUERQUE NM 87114	9400 TERESINA CT NW	ALBUQUERQUE NM 87114
WEINHEIMER ROBERT ELI	9409 TERESINA CT NW	ALBUQUERQUE NM 87114	9409 TERESINA CT NE	ALBUQUERQUE NM 87114
GAYLOR SUSAN C	6901 TIJERAS CREEK RD NW	ALBUQUERQUE NM 87114-6143	6901 TIJERAS CREEK RD NW	ALBUQUERQUE 87114
HERMAN KYLE	6915 TIJERAS CREEK RD NW	ALBUQUERQUE NM 87114-6143	6915 TIJERAS CREEK RD NW	ALBUQUERQUE 87114
PEREA VICTOR & GLORIA A	6931 TIJERAS CREEK RD NW	ALBUQUERQUE NM 87114-6143	6931 TIJERAS CREEK RD NW	ALBUQUERQUE 87114
LEVIN DANIEL E & EVELYN O TRUSTEES LEVIN FAMILY TRUST	1861 CASTLE OAKS CT	WALNUT CREEK CA 94595-2359	9116 MESA PL NW	ALBUQUERQUE 87114
FOX DENNIS R & SANDRA J TRUSTEES FOX RVT	6415 SANTO DOMINGO ST NW	ALBUQUERQUE NM 87120	9408 TERESINA CT NW	ALBUQUERQUE NM 87114
BROOKS NATHAN	6905 TIJERAS CREEK RD NW	ALBUQUERQUE NM 87114-6143	6905 TIJERAS CREEK RD NW	ALBUQUERQUE 87114
ORNELAS JONATHAN & ESLI ELISABET	9404 TERESINA CT NW	ALBUQUERQUE NM 87114-3637	9404 TERESINA CT NW	ALBUQUERQUE NM 87114
KANG GEOFFREY A & CECILIA	6704 PIEDRA QUEMADA RD NW	ALBUQUERQUE NM 87114	6704 PIEDRA QUEMADA RD NW	ALBUQUERQUE NM 87114
SONATA GREEN OWNER LLC ATTN: MULTIGREEN PROPERTIES LLC	170 S GREEN VALLEY PKWY NW SUITE 300	HENDERSON NV 89012-3111		ALBUQUERQUE 87114
FINO ERIC & ANGELICA	PSC 80 BOX 22497	APO AP 96367-2497	9400 CORSICO PL NW	ALBUQUERQUE NM 87114
MAHBOUB JAMIL	9401 TALARA PL NW	ALBUQUERQUE NM 87114-3607	9401 TALARA PL NW	ALBUQUERQUE NM 87114
TRAILS COMMUNITY ASSOCIATION	7023 TREE LINE AVE NW	ALBUQUERQUE NM 87114-5971		ALBUQUERQUE 87114
BACA DAVID R & ROSEMARY T	6919 TIJERAS CREEK RD NW	ALBUQUERQUE NM 87120	6919 TIJERAS CREEK RD NW	ALBUQUERQUE 87114
KW CANTATA TRAILS LLC ATTN: PHILLIP WINTNER	151 S EL CAMINO DR	BEVERLY HILLS CA 90212-2704	6700 CANTATA ST NW	ALBUQUERQUE 87114
TRAILS LLC	2219 CHATSWORTH CT	LAS VEGAS NV 89074-5310		ALBUQUERQUE NM 87114
BLEA AMANDA J	9400 TALARA PL NW	ALBUQUERQUE NM 87114-3606	9400 TALARA PL NW	ALBUQUERQUE NM 87114
DOMINGUEZ BENNY R & DONNA L	6916 TIJERAS CREEK RD NW	ALBUQUERQUE NM 87114	6916 TIJERAS CREEK RD NW	ALBUQUERQUE 87114
WALKER TRISHA A & ROBERT E	6700 PIEDRA QUEMADA RD NW	ALBUQUERQUE NM 87114-3493	6700 PIEDRA QUEMADA RD NW	ALBUQUERQUE NM 87114
LOPEZ RANDY J	6923 TIJERAS CREEK RD NW	ALBUQUERQUE NM 87114-6143	6923 TIJERAS CREEK RD NW	ALBUQUERQUE 87114
MANZANILLA JORGE & LILLY F TRUSTEES MANZANILLA FAMILY TRUST	8808 TWEEDY LN	DOWNEY CA 90240	9401 TERESINA CT NW	ALBUQUERQUE NM 87114
SHOEMAKER CHRISTOPHER CHARLES	9411 TERESINA CT NW	ALBUQUERQUE NM 87114-3637	9411 TERESINA CT NW	ALBUQUERQUE NM 87114
MCKENZIE CARI RAE & JON MALCOLM II	9405 TALARA PL NW	ALBUQUERQUE NM 87114-3607	9405 TALARA PL NW	ALBUQUERQUE NM 87114
TREVINO BENNY E	6927 TIJERAS CREEK RD NW	ALBUQUERQUE NM 87114	6927 TIJERAS CREEK RD NW	ALBUQUERQUE 87114
PRESBYTERIAN HEALTHCARE SERVICES ATTN: REAL ESTATE DEPT	PO BOX 26666	ALBUQUERQUE NM 87125-6666		ALBUQUERQUE NM 87114
RAINS CHRISTOPHER & KRISTA	9409 TALARA PL NW	ALBUQUERQUE NM 87114	9409 TALARA PL NW	ALBUQUERQUE NM 87114
JOJOLA JOSHUA N & ALIYAH F	9408 TALARA PL NW	ALBUQUERQUE NM 87114-3606	9408 TALARA PL NW	ALBUQUERQUE NM 87114
CANALES SHEANA & EDDIE	6909 TIJERAS CREEK RD NW	ALBUQUERQUE NM 87114-6143	6909 TIJERAS CREEK RD NW	ALBUQUERQUE 87114
LEE DANIEL W	9405 TERESINA CT NW	ALBUQUERQUE NM 87114-3637	9405 TERESINA CT NW	ALBUQUERQUE NM 87114
SISNEROS JODI L	9404 CORSICO PL NW	ALBUQUERQUE NM 87114-3445	9404 CORSICO PL NW	ALBUQUERQUE NM 87114
D R HORTON INC	8440 WYOMING BLVD NE SUITE A	ALBUQUERQUE NM 87113		ALBUQUERQUE NM 87114
TRAILS COMMUNITY ASSOCIATION INC	PO BOX 67590	ALBUQUERQUE NM 87193-7590	SILVER MESA ST NW	ALBUQUERQUE NM 87114
TRAILS COMMUNITY ASSOCIATION INC	PO BOX 67590	ALBUQUERQUE NM 87193-7590	RED STONE RD NW	ALBUQUERQUE NM 87114
COLE TAMMY LEE	9200 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6610	9200 SILVER MESA ST NW	ALBUQUERQUE NM 87114
TRAILS COMMUNITY ASSOCIATION INC	PO BOX 67590	ALBUQUERQUE NM 87193-7590	RED STONE RD NW	ALBUQUERQUE NM 87114
FRASER KENNETH PAUL & KAMANN RONALD JOEL	9201 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6609	9201 SILVER MESA ST NW	ALBUQUERQUE NM 87114

WILLSON ANNE C	9200 WARM STONE ST NW	ALBUQUERQUE NM 87114-6606	9200 WARM STONE ST NW	ALBUQUERQUE NM 87114
BAYER CHRISTOPHER L	9204 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6610	9204 SILVER MESA ST NW	ALBUQUERQUE NM 87114
DUBROFF MELISSA L	9205 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6609	9205 SILVER MESA ST NW	ALBUQUERQUE NM 87114
ONAVA MONICA & MARTINEZ ANTHONY	9204 WARM STONE ST NW	ALBUQUERQUE NM 87114-6606	9204 WARM STONE ST NW	ALBUQUERQUE NM 87114
LOPEZ HANNAH JANE	9208 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6610	9208 SILVER MESA ST NW	ALBUQUERQUE NM 87114
HOOD SABRINA U	9209 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6609	9209 SILVER MESA ST NW	ALBUQUERQUE NM 87114
KORIN EQUITIES LLC	7415 SW 32ND AVE	PORTLAND OR 97219-8546	9208 WARM STONE ST NW	ALBUQUERQUE NM 87114
VIGIL ANGIE B	9212 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6610	9212 SILVER MESA ST NW	ALBUQUERQUE NM 87114
TRAN HIEN THI	7435 TWISTED BRANCH ST NE	ALBUQUERQUE NM 87113-0004	9211 SILVER MESA ST NW	ALBUQUERQUE NM 87114
CHAVEZ GAVIN MICHAEL	9212 WARM STONE ST NW	ALBUQUERQUE NM 87114-6006	9212 WARM STONE ST NW	ALBUQUERQUE NM 87114
SPIVEY MAURICE MARTELLE & SANTANA MARTINEZ	9215 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6609	9215 SILVER MESA ST NW	ALBUQUERQUE NM 87114
MALIBIRAN KIMBERLY RAE CABILAO	9216 WARM STONE ST NW	ALBUQUERQUE NM 87114-6606	9216 WARM STONE ST NW	ALBUQUERQUE NM 87114
LUCERO PAUL A & MARSHA JEAN	9216 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6610	9216 SILVER MESA ST NW	ALBUQUERQUE NM 87114
CALABAZA DELFRED S & CASTILLO LANETTA J	9219 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6609	9219 SILVER MESA ST NW	ALBUQUERQUE NM 87114
PADILLA REYES A & MIERA BERNADETTE DOLORES	9220 WARM STONE ST NW	ALBUQUERQUE NM 87114-6606	9220 WARM STONE ST NW	ALBUQUERQUE NM 87114
GRIEGO JOHN	9220 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6610	9220 SILVER MESA ST NW	ALBUQUERQUE NM 87114
TRAILS COMMUNITY ASSOCIATION INC	PO BOX 67590	ALBUQUERQUE NM 87193-7590	SILVER MESA ST NW	ALBUQUERQUE NM 87114
NIEDER CALE A & WILLIAMS ASHLEY A	9224 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6610	9224 SILVER MESA ST NW	ALBUQUERQUE NM 87114
HANCOCK KEVIN G & TAMARA V	9223 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6609	9223 SILVER MESA ST NW	ALBUQUERQUE NM 87114
ORTIZ JAYE D & SHIRLYNNE T	9224 WARM STONE ST SW	ALBUQUERQUE NM 87114-6606	9224 WARM STONE ST NW	ALBUQUERQUE NM 87114
MEZA BLAS ANTHONY & FRANIA JASMINE	9300 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6612	9300 SILVER MESA ST NW	ALBUQUERQUE NM 87114
MARSHALL KAYLA A & JUSTIN R	9301 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6611	9301 SILVER MESA ST NW	ALBUQUERQUE NM 87114
MALLARD ADAM S & ERIKA L	9300 WARM STONE ST NW	ALBUQUERQUE NM 87114-6608	9300 WARM STONE ST NW	ALBUQUERQUE NM 87114
JONES TREVOR C & JESSICA A	9305 SILVER MESA ST NW	ALBUQUERQUE NM 87113-6611	9305 SILVER MESA ST NW	ALBUQUERQUE NM 87114
FUNICELLI ROBERT C & MELISSA A	9304 WARM STONE ST NW	ALBUQUERQUE NM 87114-6608	9304 WARM STONE ST NW	ALBUQUERQUE NM 87114
CLARK TRACIE A & TRAVIS A	9304 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6612	9304 SILVER MESA ST NW	ALBUQUERQUE NM 87114
GIOVANNETTI LORRAINE PATRICIA	9309 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6611	9309 SILVER MESA ST NW	ALBUQUERQUE NM 87114
RODRIGUEZ PETE	9308 WARM STONE ST NW	ALBUQUERQUE NM 87114-6608	9308 WARM STONE ST NW	ALBUQUERQUE NM 87114
PACHECO CHRISTOPHER M & AUDRA L	9308 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6612	9308 SILVER MESA ST NW	ALBUQUERQUE NM 87114
TORTUGA PROPERTIES LLC	13208 PINO RIDGE PL NE	ALBUQUERQUE NM 87111-8277	9311 SILVER MESA ST NW	ALBUQUERQUE NM 87114
CHAVEZ MARIA DEL ROSARIO	9312 WARM STONE ST NW	ALBUQUERQUE NM 87114-6608	9312 WARM STONE ST NW	ALBUQUERQUE NM 87114
VELAZQUEZ DANIELLE M & VELASQUEZ-JIMENEZ BRYAN A	9312 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6612	9312 SILVER MESA ST NW	ALBUQUERQUE NM 87114
BLANCO RACHAEL V	9315 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6611	9315 SILVER MESA ST NW	ALBUQUERQUE NM 87114
ELMAZIS MELISSA	9316 WARM STONE ST NW	ALBUQUERQUE NM 87114-6608	9316 WARM STONE ST NW	ALBUQUERQUE NM 87114
ROCCO VANESSA	9316 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6612	9316 SILVER MESA ST NW	ALBUQUERQUE NM 87114
GONSKI RVT	4804 SAN TIMOTEO AVE NW	ALBUQUERQUE NM 87114-3833	9319 SILVER MESA ST NW	ALBUQUERQUE NM 87114
KEELEY JORDAN D & ANGELINA M	9320 WARM STONE ST NW	ALBUQUERQUE NM 87114-6608	9320 WARM STONE ST NW	ALBUQUERQUE NM 87114
MORROW CHARLES D & ANGIE K & MORROW LORITA L	9320 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6612	9320 SILVER MESA ST NW	ALBUQUERQUE NM 87114
MARSH AMBER N	9323 SILVER MESA ST NW	ALBUQUERQUE NM 87114-6611	9323 SILVER MESA ST NW	ALBUQUERQUE NM 87114
MARTINEZ ESTEVAN & HUGHES KATHERINE	9324 WARM STONE ST NW	ALBUQUERQUE NM 87114-6608	9324 WARM STONE ST NW	ALBUQUERQUE NM 87114



July 27, 2023

RE: Preliminary Plat Review – Major Subdivision Development
Volcano Mesa at The Trails / Tract 2, Unit 2, The Trails

Dear Property Owner:

NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Development Hearing Officer (DHO) will hold a Public Hearing on **Wednesday, August 23, 2023, at 9:00 AM** for the request below.

The DHO hearing will be held via Zoom using the following link:

<https://cabq.zoom.us/j/84123463458>

(Place mouse cursor over hyperlink, right-click, choose “open hyperlink”)

Meeting ID: 817 1191 9604

Find your local number: <https://cabq.zoom.us/u/keAhB7nKeT>

REQUEST

RESPEC, Agents for D.R. Horton, Inc., is submitting an application for a Preliminary Subdivision Plat for a single-family residential development that will include a Waiver-DHO request for the temporary deferral of sidewalk installation until construction is completed. The property is known as Volcano Mesa at The Trails, Tract 2, Unit 2. It is located south of Paseo del Norte Boulevard and west of Universe Boulevard (see enclosed Zone Atlas C-9-Z). Included in this mailing is an exhibit showing the Preliminary Subdivision Plat and location of the location of the requested deferred sidewalks. This is a resubmission of a previously approved preliminary plat that had expired. As such, we are required to resubmit the plat for approval.

As part of the IDO regulations, we are required to formally notify you of our application submittal. If you have any questions or would like more information, contact Renee Regal at (505) 253-9718 or at renee.regal@respec.com.

Should you desire to attend the DHO Hearing, it will be held on August 23rd, 2023, 9:00 A.M. [online](#) via a Zoom meeting. Our application will be submitted under the Project Number PR-2021-005717.

For access to the online meeting, visit CABQ website and click on the hyperlink attached to the agenda as found on the following website:

[Development Hearing Officer Agendas & Archives — City of Albuquerque \(cabq.gov\)](#)

Sincerely,

RESPEC

Attached: Required Neighborhood Notification Packet.

7770 JEFFERSON ST., NE
SUITE 200
ALBUQUERQUE, NM 87109
505.268.2661

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: _____

Mailing Address*: _____

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Applicant* [if applicable] _____
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*: _____

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Hearing Officer (DHO)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: _____

Location*²: _____

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ _____

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] _____
 2. IDO Zone District _____
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] _____
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

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Albuquerque, NM 87109



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Albuquerque, NM 87109



WILLIAMS SHAWN
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ALBUQUERQUE NM 87114-6601

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Albuquerque, NM 87109



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PATRICK D
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FOX RVT
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ALBUQUERQUE NM 87114-6608



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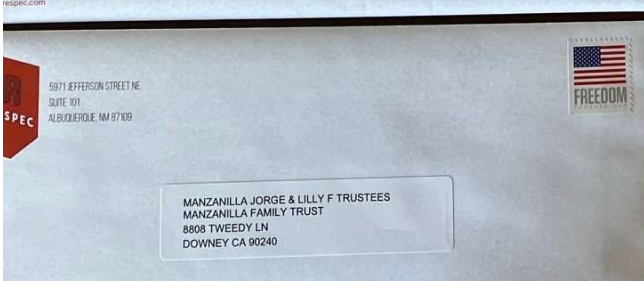
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