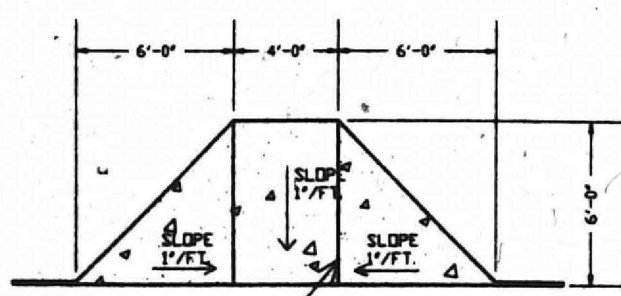
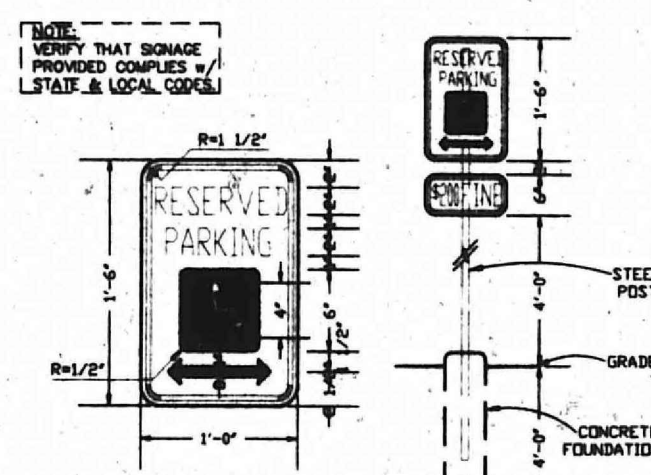


GART SPORTS

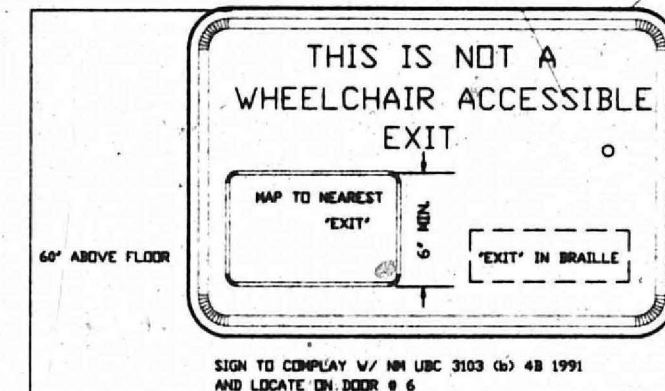
BUILDING AREA 45,968sf (232' X 194')
 NET LEASABLE AREA 43,200SF
 TOTAL PARKING ON SITE 216 SPACES
 TOTAL PARKING REQUIRED AT 5/1000sf 216 SPACES
 HCDP PARKING REQD. 8 SPACES
 HCDP PARKING PROVIDED 8 SPACES
 BUILDING USE RETAIL SALES



2 TYPICAL HANDICAP RAMP
 NTS



3 HANDICAP SIGN
 NTS

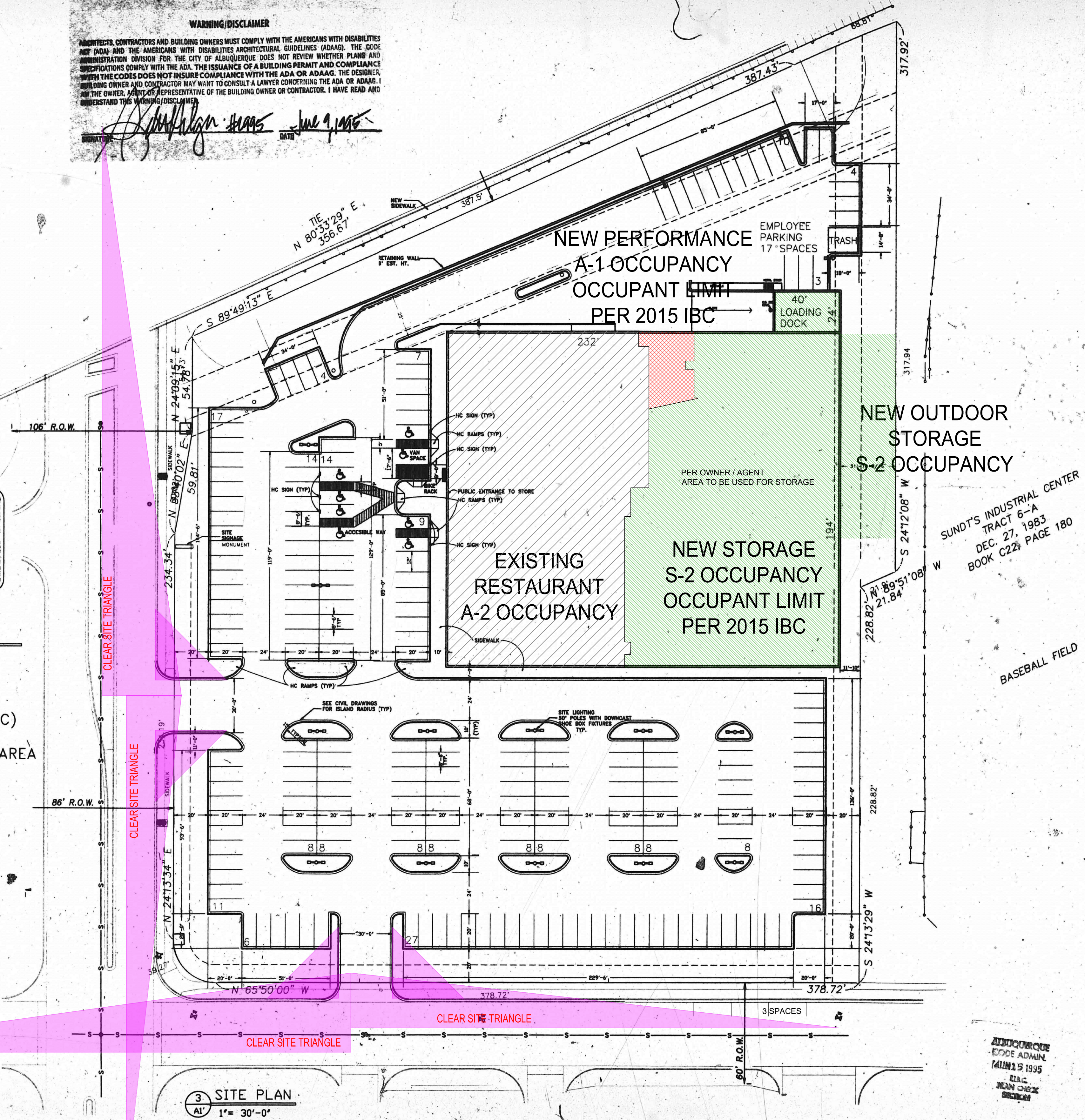


4 SIGN
 NTS

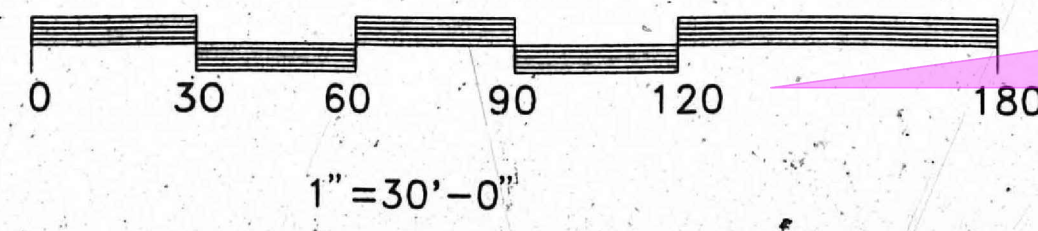
CODE DESIGN DATA

OCCUPANCY GROUP	B2 (91 UBC) M (94 UBC)
TYPE OF CONSTRUCTION	TYPE IIN (SPRINKLERED)
FLOOR AREA	45,968 SF GROSS FLOOR AREA
OCCUPANT LOAD	1,219.5
SEISMIC ZONE	2B
CONCRETE STRENGTH	4000 PSI, 3000 PSI
STRESS VALUES:	
LUMBER	NA
STEEL	SEE SHEET S1
WIND DESIGN LOAD	75 MPH
ROOF DESIGN LOAD	LIVE = 20 PSF
FLOOR DESIGN LOAD	NA
CORRIDOR DESIGN LOAD	NA

WARNING/DISCLAIMER
 ARCHITECTS, CONTRACTORS AND BUILDING OWNERS MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE AMERICANS WITH DISABILITIES ARCHITECTURAL GUIDELINES (ADAAG). THE CODE ADMINISTRATION DIVISION FOR THE CITY OF ALBUQUERQUE DOES NOT REVIEW WHETHER PLANS AND SPECIFICATIONS COMPLY WITH THE ADA. THE ISSUANCE OF A BUILDING PERMIT AND COMPLIANCE WITH THE CODES DOES NOT INSURE COMPLIANCE WITH THE ADA OR ADAAG. THE DESIGNER, BUILDING OWNER AND CONTRACTOR MAY WANT TO CONSULT A LAWYER CONCERNING THE ADA OR ADAAG. I, THE OWNER, AS REPRESENTATIVE OF THE BUILDING OWNER OR CONTRACTOR, I HAVE READ AND UNDERSTAND THE WARNING/DISCLAIMER.
 [Signature] DATE: June 9, 2021



3 SITE PLAN
 1" = 30'-0"



PORTFOLIO
 DESIGN SERVICES INC.
 ARCHITECTS
 208 E. ROSELAWN, 4th FL. SUITE 400, ALBUQUERQUE, NM 87102
 (505) 488-8100 FAX (505) 488-0202

GART SPORTS
 ALBUQUERQUE, NEW MEXICO

DATE: 12/3/21
 SCALE: 1" = 30'-0"
SITE PLAN

REGISTERED ARCHITECT
 A. PETER HILGER #2995

DATE	BY	REVISION
12/3	PLAN REVISION / PLOT TO SUBMIT	
6/14/22	UMC REVIEW	

SHEET: **A1**

PROJECT NUMBER: PR-2021-005740
 APPLICATION NUMBER: SI-2021-01051

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is and Infrastructure List required () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Jeanne Wolfenbarger</i> Traffic Engineer, Transportation Division	Nov 23, 2021
<i>Blaine Carter</i> Water Utility Department	Nov 24, 2021
<i>Clark Hamblett</i> Parks & Recreation Department	Nov 29, 2021
<i>Ernest Arroyo</i> City Engineer	Nov 23, 2021
N/A	
Environmental Health	
See Sheet 4	
Solid Waste Management	
<i>Robert Webb</i> Code Enforcement	Nov 23, 2021
Albuquerque Metropolitan Flood Control Authority	
<i>Maggie Gueld</i> DRB Chairperson, Planning Department	Nov 23, 2021
Environmental Health, if necessary	

NOTE: ANY INCREASE OR CHANGE IN USE SHALL REQUIRE AN AMENDMENT TO THE SITE PLAN IN ORDER TO CHANGE FROM STORAGE USE TO AUDITORIUM USE

PARKING:
 RESTAURANT & BAR: 21,356 SF X 0.008 = 170 PARKING SPACES
 OUTDOOR PATIO (STORAGE): 3,217 SF X 0 = 0 PARKING SPACES
 AUDITORIUM 15 OCCUPANTS (PER IBC) X 1 SPACE PER 4 OCCUPANTS = 4 PARKING SPACES
 OFFICE 1,900 SF X 0.0035 = 7 PARKING SPACES
 STORAGE = 0 SPACES
 PARKING SPACES REQUIRED = 181 SPACES

PARKING PROVIDED: 224 SP ON SITE + 3 SP AT STREET = 227 SPACES
 HC PARKING = 7 SPACES, 2 VAN ACCESSIBLE
 5 MOTORCYCLE SPACES REQUIRED
 7 BICYCLE SPACES REQUIRED

UPC: 101606117014230120
 LEGAL: 11A1 RENAISSANCE CENTER 2
 ZONING: NR-BP
 ZONE ATLAS PAGE: F16

SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS
 4419 4th St. NW, Ste. B
 ALBUQUERQUE, NM 87110
 505-401-7575

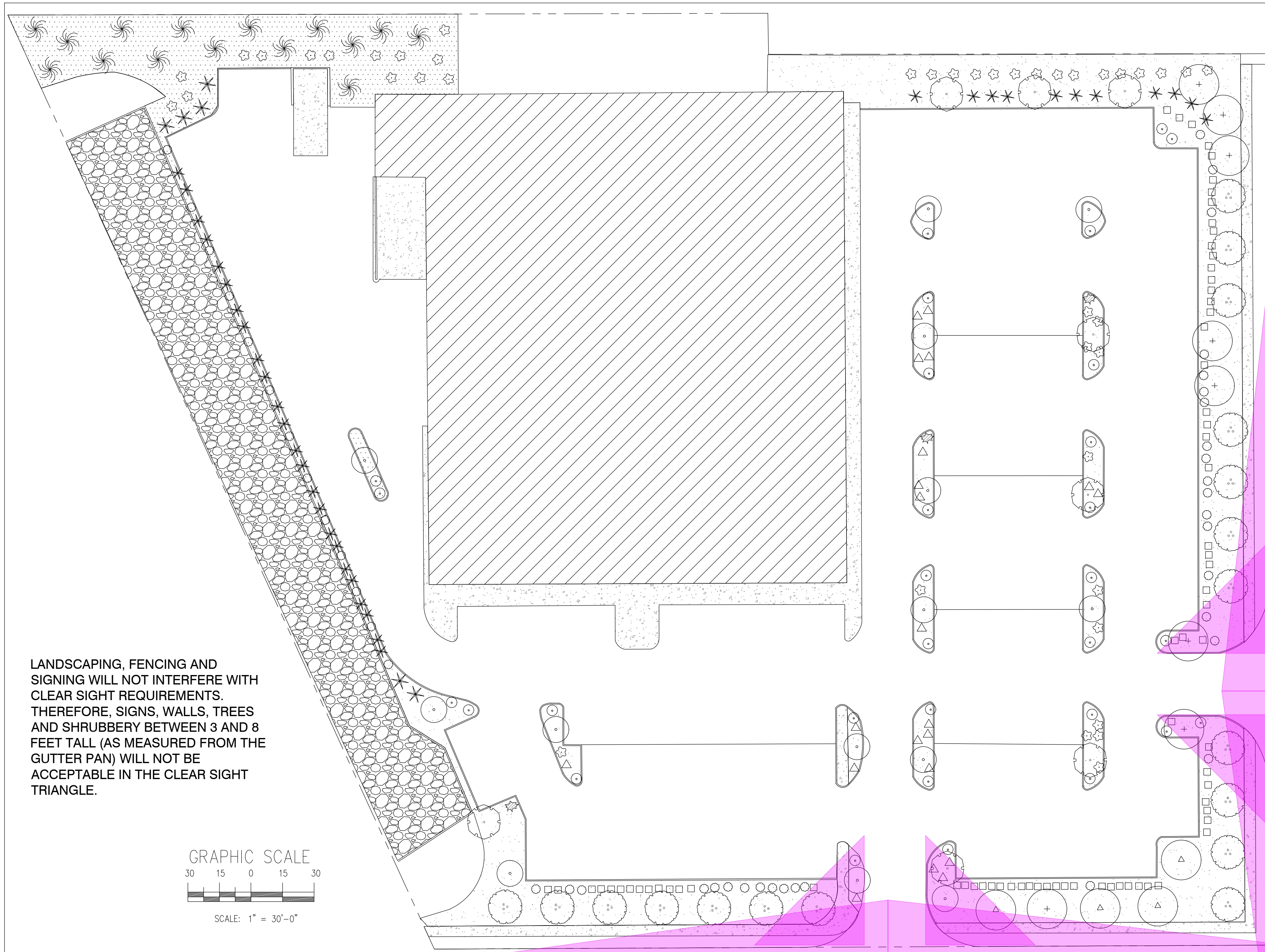
EVENT SPACE & OFFICE BUILD-OUT
 4720 ALEXANDER BLVD NE
 ALBUQUERQUE NM, 87107

DRAWING TITLE: **EXISTING SITE PLAN FOR REFERENCE**

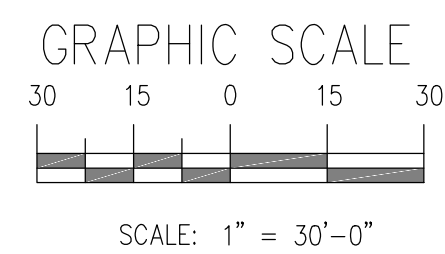
DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	A-100
DATE	11/19/2021

EXISTING SITE PLAN FOR REFERENCE THIS IS A TI, NO SITE WORK AS PART OF THIS PERMIT

SCALE: 1" = 30'-0"



LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



PLANTING NOTES

ALL PLANTS TO CONTAIN BARK MULCH AROUND THE ROOTBALL, TO THE EXTENT TO COVER THE DRIP LINES.

GENERAL NOTES

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF RIO RANCHO ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUNDCOVER AREA. ALL GRAVEL SHALL BE PLACED .5"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNERS RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFIM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, PINNED IN PLACE. NETAFIM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF .6 GPH. SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 1.5 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

LANDSCAPE CALCULATIONS

ZONING PD: PLANNED DEVELOPMENT
APPLICABLE REGULATION(S) IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994

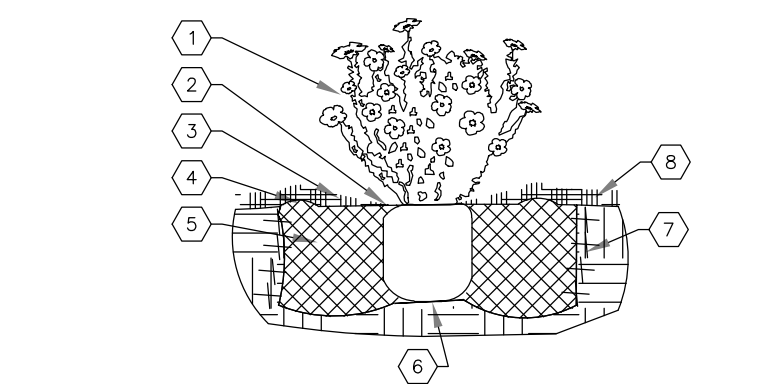
TOTAL LOT AREA (ACRES)	5.04	GROUNDCOVER (% - REQ)	25.00
TOTAL LOT AREA (SF)	219,331	GROUNDCOVER (SF - REQ)	12183
BUILDING AREA (SF)	48,023	GROUNDCOVER (SF - PROV.)	12,219
NET LOT AREA (SF)	171,308		
		PARKING LOT AREA (SF)	8,491
REQUIRED LANDSCAPE (%)	15	REQ. PARKING LANDSCAPE 10% (SF)	8,491
REQUIRED LANDSCAPE (SF)	25,696	PROV. PARKING LANDSCAPE (SF)	28,662
LANDSCAPE PROVIDED (SF)	48,732	REQ. PARKING TREES (1/10 SPOTS)	20
		PROV. PARKING TREES	22
VEGETATIVE COVER (% - REQ)	75.0		
VEGETATIVE COVER (SF - REQ)	365,49	COOL SEASON GRASS (SF)	0
VEGETATIVE COVER (SF - PROV.)	84,350	COOL SEASON GRASS (% OF LANDSCAPE)	0.0

LANDSCAPE LEGEND

SYMB.	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	MATURE HXW	WATER USE	COVER (EA.)	TOTAL
Trees							
	18	2"+ Cal	Chinese Pistache <i>Pistachia chinensis</i>	40' x 30'	M	900	16200
	8	2"+ Cal	Honey Locust <i>Gleditsia triacanthos inermis</i>	50' x 45'	M+	2025	16200
	26						
						Total Tree Coverage:	32400
Shrubs & Groundcovers							
	42	5 Gal	Red Tip Photinia <i>Photinia fraseri</i>	8' x 8'	M	64	2688
	3	5 Gal	Buffalo Juniper <i>Juniperus sabina</i>	1' x 4'	M	16	48
	43	5 Gal	Coral Beauty Cotoneaster <i>Cotoneaster dammeri</i>	4' x 8'	M	24	1032
	41	5 Gal	Bear Grass <i>Nolina macrocarpa</i>	5' x 6'	RW	36	1476
	15	5 Gal	Curly-Leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15' x 15'	Low+	225	3375
	88						
						Total Shrub Coverage:	8619
Existing Vegetation							
Trees:							
	14	2"+ Cal	Honey Locust <i>Gleditsia triacanthos inermis</i>	50' x 45'	M+	2025	28350
	8	2"+ Cal	London Plane <i>Platanus acerifolia</i>	70' x 50'	M+	2500	20000
	4	2"+ Cal	Marshall Ash <i>Platanus acerifolia</i>	40' x 30'	M+	900	3600
	26						
						Total Existing Tree Coverage:	51950
Shrubs:							
	21	5 Gal	Red Tip Photinia <i>Photinia fraseri</i>	8' x 8'	M	64	1344
	30	5 Gal	Buffalo Juniper <i>Juniperus sabina</i>	1' x 4'	M	16	480
	74	5 Gal	Coral Beauty Cotoneaster <i>Cotoneaster dammeri</i>	4' x 8'	M	24	1776
	125						
						Total Existing Shrub Coverage:	3600

Other Materials

SYMB.	QTY	TYPE
	13847	SF Oversize Landscape Gravel / No Filter Fabric 2-4" Angular Cobble/RipRap
	8230	SF Landscape Gravel A with Filter Fabric 3/4" Crushed Grey Gravel
	26652	SF Existing Landscape Gravel 3/4" Grey Gravel
		Existing Concrete

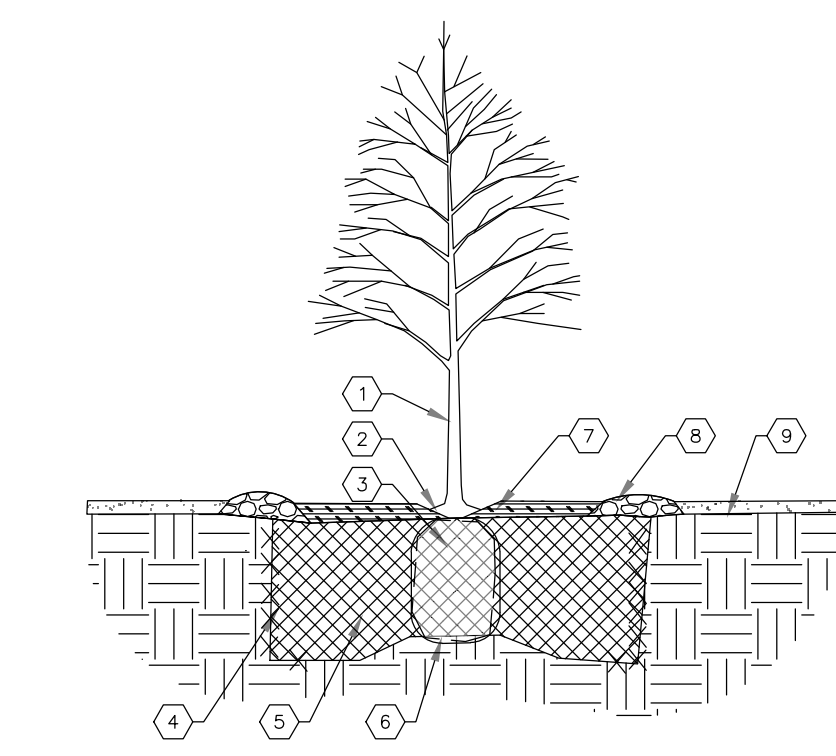


SHRUB PLANTING KEYED NOTES

1. SHRUB LOCATION, SPECIES, AND CONDITION AS PER PLAN.
2. REMOVE EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
3. USE WOOD CHIP MULCH OVER ROOTBALL, FEATHERED TO A 2" DEPTH AND HELD BACK 2" FROM TRUNK AND STEEP AND TO COVER DRIPLINE.
4. 2" HIGH X 8" WIDE BERM.
5. BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
6. UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
7. INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
8. 4" HIGH X 18" WIDE COBBLE BERM AT DRIP LINE.
9. MULCH - SEE PLANTING PLAN.

01 SHRUB PLANTING
NTS

SHRUB PLANTING DETAIL

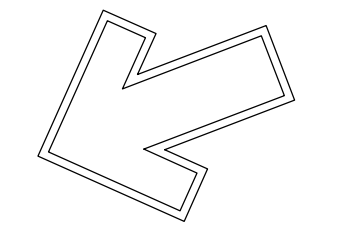


TREE PLANTING KEYED NOTES

1. TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
2. REMOVE EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
3. INSTALL TREE PLUMB. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE SUBFILL EXCEPT FROM BOTTOM OF ROOT BALL.
4. SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
5. BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
6. UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
7. INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
8. 4" HIGH X 18" WIDE COBBLE BERM AT DRIP LINE.
9. MULCH - SEE PLANTING PLAN.

02 TREE PLANTING
NTS

TREE PLANTING DETAIL



The Hilltop
7909 Edith N.E.
Albuquerque, NM 87113
Cont. Lic. #26458
Ph. (505) 898-9690
Fax (505) 898-7737
ted@hilltoplandscaping.com

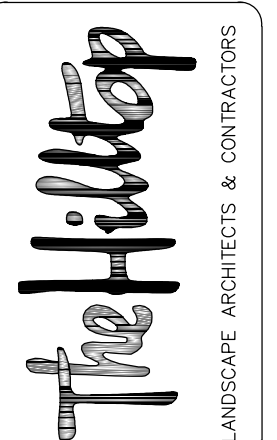


10/22/2021

Revel Entertainment
4720 Alexander Blvd. NE
Albuquerque, NM

Landscape Design Development

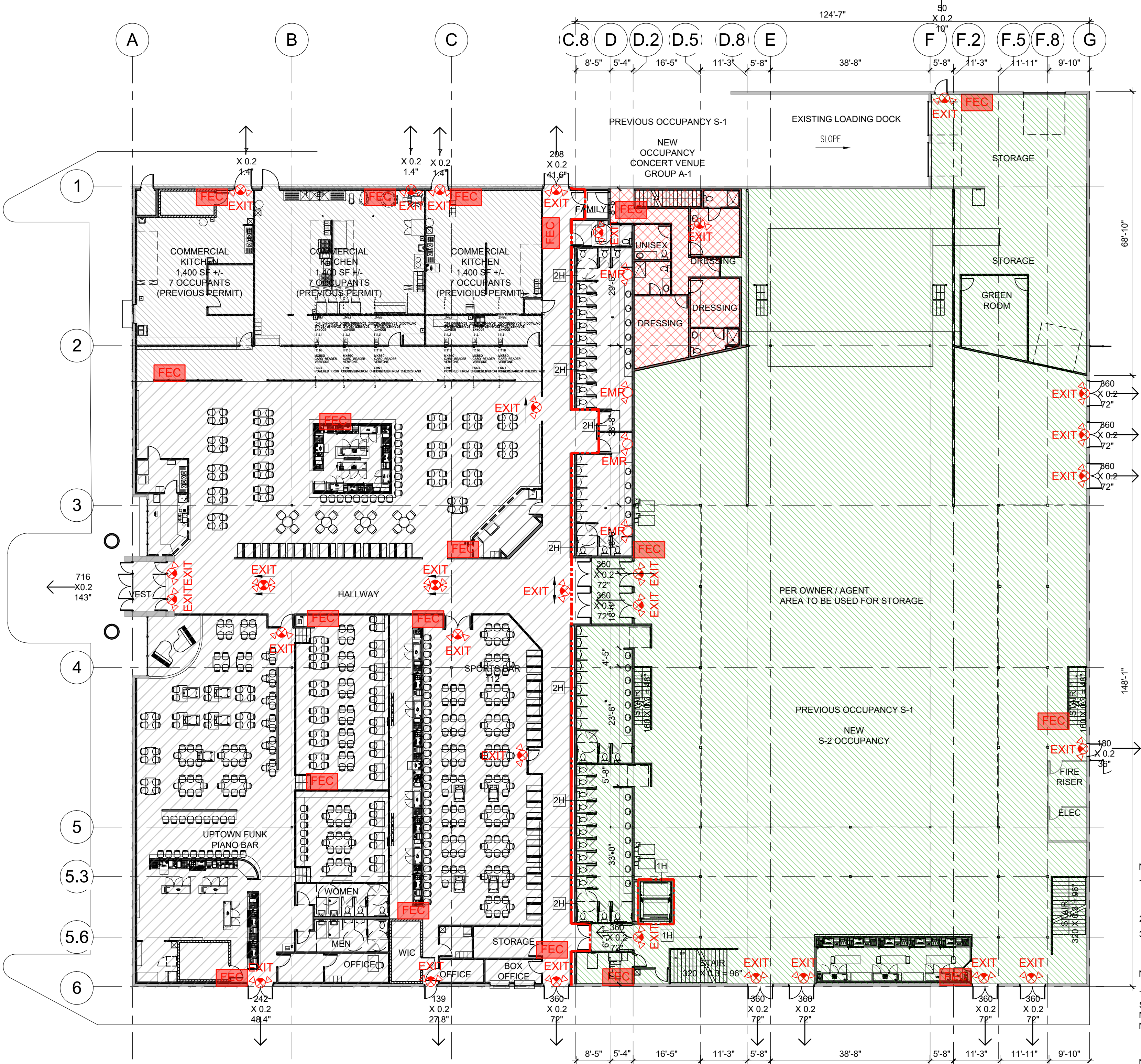
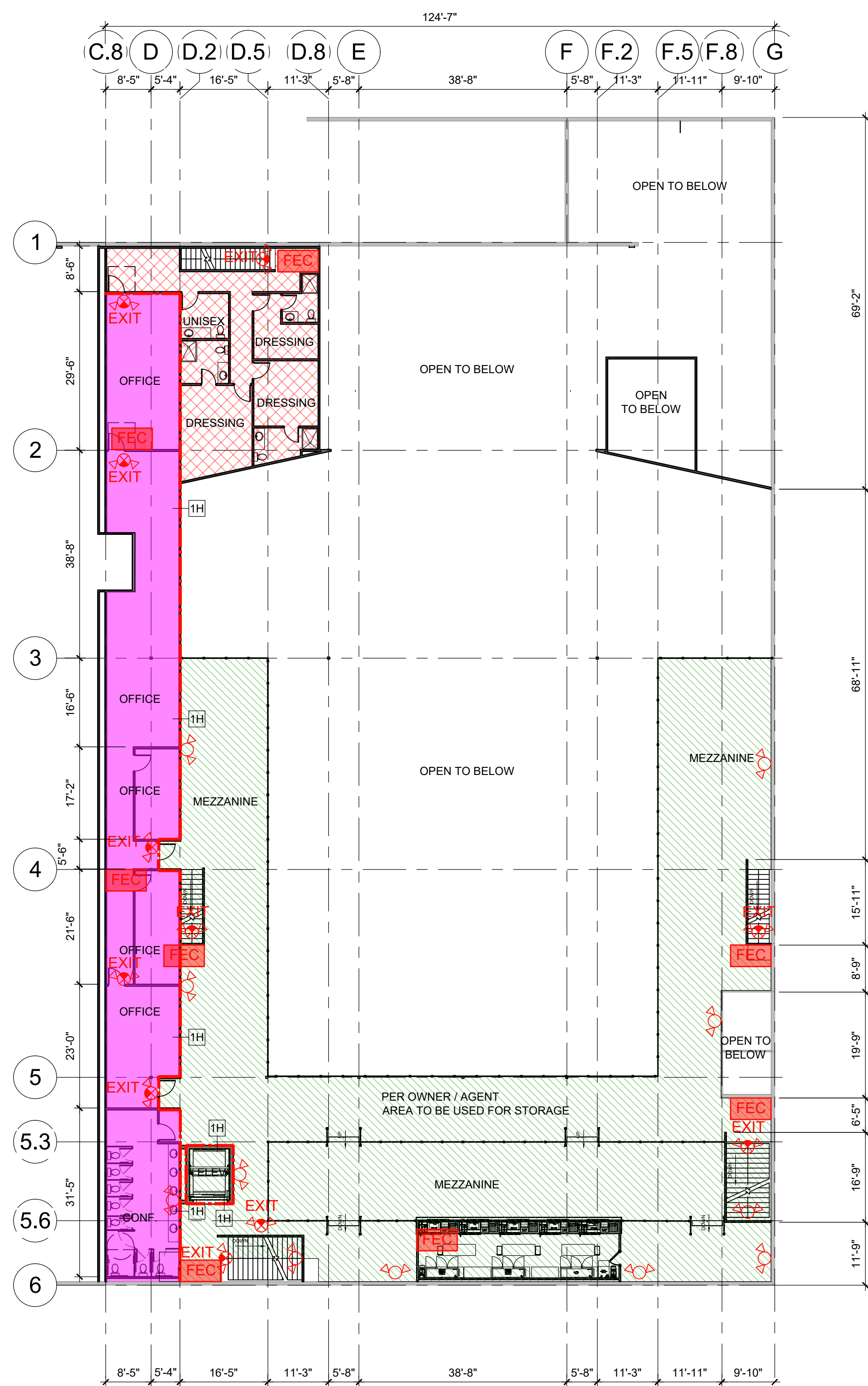
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DRAWN BY: ted
REVISION #:
DATE: 08/24/2021

SHEET #

LP-101



OCCUPANT LOAD				
ROOM#	ROOM NAME	AREA	OLF	OCCUPANTS
EXISTING	99 COFFEE BAR	285	200	1.43
EXISTING	100 BACKFLOW	28	300	0.09
EXISTING	101 VESTIBULE	102	100	1.02
EXISTING	102 HALLWAY	2,417	100	24.17
EXISTING	103 COMMON AREA DINING	3,688	15	245.87
EXISTING	104 CENTER BAR	398	200	1.99
EXISTING	105 FUTURE KITCHEN	1,458	200	7.29
EXISTING	106 FUTURE KITCHEN	1,525	200	7.63
EXISTING	107 FUTURE KITCHEN	1,512	200	7.56
EXISTING	108 DESSERT BAR	183	200	0.92
EXISTING	109 WOMEN	570	100	5.70
EXISTING	110 MEN	375	100	3.75
EXISTING	111 FAMILY	69	100	0.69
EXISTING	112 SPORTS BAR BEHIND THE BAR	678	200	3.39
EXISTING	113 STORAGE	2,040	15	136.00
EXISTING	114 BOX OFFICE	178	300	0.59
EXISTING	115 AV ROOM	79	100	0.79
EXISTING	116 OFFICE	62	100	0.62
EXISTING	117 STORAGE	114	100	1.14
EXISTING	118 MEN	166	300	0.55
EXISTING	119 WOMEN	166	100	1.66
EXISTING	120 PIANO BAR BACK OF BAR	166	100	1.66
EXISTING	121 PIANO BAR PLATFORM	1,174	200	5.87
EXISTING	122 VIP SEATING	171	15	11.40
EXISTING	123 PIANO BAR SEATING	497	15	33.13
EXISTING	124 PIANO BAR ELEVATED SEATING	2,223	15	148.20
EXISTING	125 JANITOR	955	15	63.67
EXISTING	126 WOMEN	102	300	0.34
NEW	127 MEN	504	100	5.04
NEW	128 STORAGE	230	100	2.30
EXISTING	129 ELECTRICAL ROOM	16,562	500	33.12
EXISTING	130 FIRE RISER	73	300	0.24
EXISTING	131 ELEVATOR EQUIP	102	300	0.34
NEW	132 DRESSING ROOM	104	300	0.35
NEW	133 DRESSING ROOM	174	100	1.74
NEW	134 DRESSING ROOM	207	100	2.07
NEW	135 UNISEX	289	100	2.89
NEW	136 PORTABLE STAGE	74	100	0.74
NEW	137 GREEN ROOM	1,334	15	88.93
NEW	138 STORAGE	310	15	20.67
NEW	201 DRESSING ROOM	2,413	300	8.04
NEW	202 DRESSING ROOM	174	100	1.74
NEW	203 DRESSING ROOM	207	100	2.07
NEW	204 UNISEX	289	100	2.89
NEW	205 STAIR	74	100	0.74
NEW	206 OPEN OFFICE	72	100	0.72
NEW	207 OPEN OFFICE	392	100	3.92
NEW	208 OFFICE	686	100	6.86
NEW	209 OFFICE	138	100	1.38
NEW	210 CONFERENCE ROOM	138	100	1.38
NEW	211 WOMEN	282	15	18.80
NEW	212 STORAGE	406	100	4.06
NEW	212 STORAGE	6,492	500	12.98
TOTAL OCCUPANT LOAD		53,107.00		941.13

- NOTE:
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL FOR ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM.
 - THE FIRE SPRINKLER SYSTEM SHALL BE SUPERVISED.
 - ALL DOORS WITH EXIT SIGN SHALL HAVE PANIC HARDWARE.

NOTE:

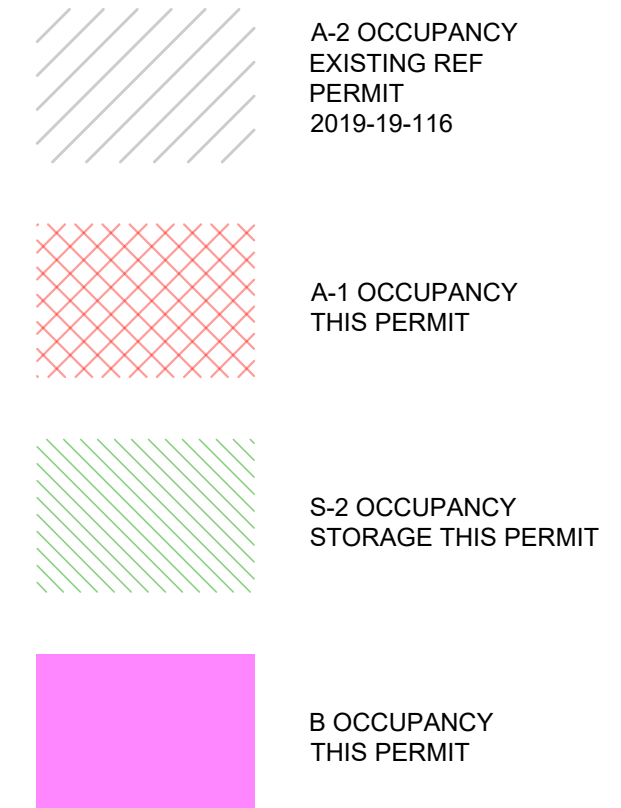
THE KITCHEN HOOD FIRE SUPPRESSION SYSTEM SHALL BE INTERLOCKED WITH THE GAS SYSTEM TO THE COOKING APPLIANCES LOCATED UNDER THE HOOD PER UMC 513.4. THE MAKE-UP AIR UNIT SHALL BE INTERLOCKED WITH THE KITCHEN EXHAUST HOOD FAN PER NMAC 14.9.2.13.

NOTE:

THE 2-HOUR AREA SEPARATION WALL WAS CONSTRUCTED UNDER PERMIT #2019-19116

CODE ANALYSIS PLAN / FIRE 2 PLAN LEVEL 2

SCALE: 1/16" = 1'-0"



CODE ANALYSIS
 OCCUPANCY CLASSIFICATION
 EXISTING GROUP M OCCUPANCY CHANGING TO:
 PERFORMANCE SPACE GROUP A-1
 OFFICE GROUP B

BUILDING TYPE:
 IBC TABLE 601 & SECTION 602.2
 CONSTRUCTION TYPE TYPE II-B-2 STORY SPRINKLED

FIRE-RESISTIVE REQUIREMENTS PER IBC TABLE 601

STRUCTURAL FRAME	0 HR
EXTERIOR BEARING WALLS	0 HR
NON-BEARING WALLS	0 HR
ROOF CONSTRUCTION	0 HR

ALLOWABLE BUILDING AREA:
 IBC TABLE 506.2

TOTAL BUILDING AREA = 53,107 SF

A-2 OCC. / TYPE II-B-S1 = 38,000 SF ALLOWABLE - 21,358 SF ACTUAL
 A-1 OCC. / TYPE II-B-S1 = 34,000 SF ALLOWABLE - 2,184 SF ACTUAL
 S-2 OCC. / TYPE II-B-S1 = 34,000 SF ALLOWABLE - 27,213 SF ACTUAL
 B OCC. / TYPE II-B-S1 = 92,000 SF ALLOWABLE - 2,352 SF ACTUAL

AREA SEPARATION:
 A-1 AND A-2 = 1 HR, IBC TABLE 508.4
 A-1 AND B = 1 HR
 A-2 AND B = 1 HR
 S-2 AND B = 1 HR
 S-2 AND A-1 = NOT REQUIRED
 S-2 AND A-2 = NOT REQUIRED
 FIRE WALL = GROUP A, 2 HR @ TYPE II CONSTRUCTION, IBC TABLE 706.4

OCCUPANT LOAD = 4,212 OCCUPANTS FOR WHOLE BUILDING

PLUMBING:
 IBC 2902.1

EXISTING RESTAURANT GROUP A-2:
 MEN = 384 OCC / 40 = 6 URINAL, 4 WATER CLOSETS
 WOMEN = 384 OCC / 40 = 10 WATER CLOSETS
 LAVATORIES = 787 OCC / 75 = 5 EA MEN / WOMEN
 DRINKING FOUNTAIN NOT REQUIRED PER UPC 415.2
 1 FAMILY RESTROOM PROVIDED PER IBC 1109.2.1

NEW GROUP A-1
 MEN = 9 OCC / 125 = 1 WATER CLOSETS
 WOMEN = 9 OCC / 65 = 1 WATER CLOSETS
 LAVATORIES = 18 OCC / 200 = 1 EA MEN / WOMEN
 DRINKING FOUNTAIN = 9 / 500 = 1

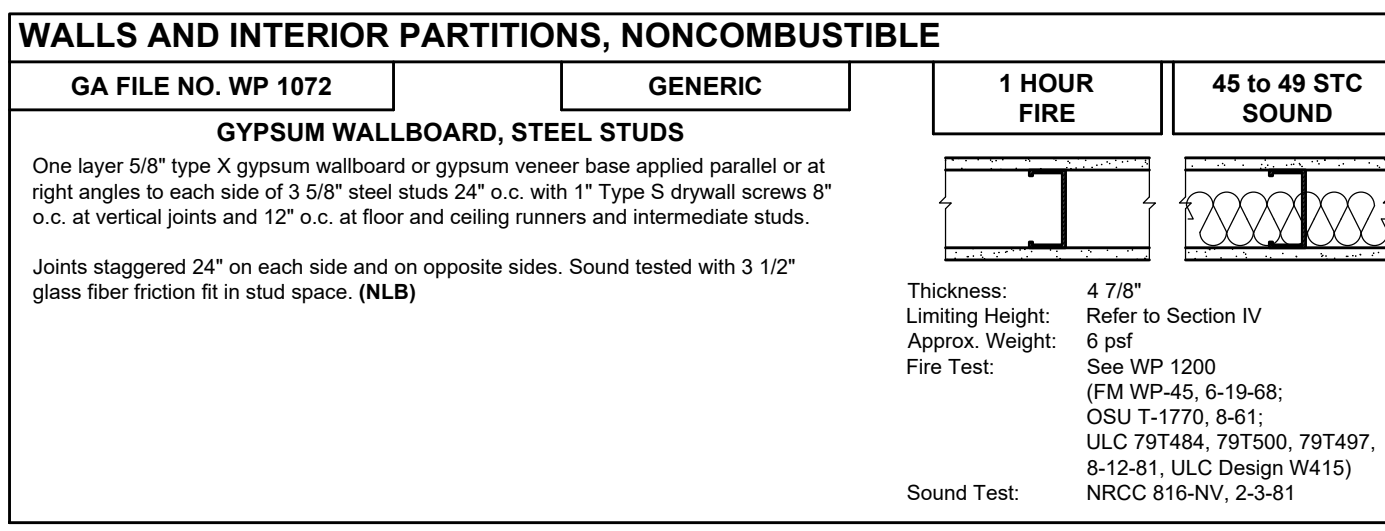
CODE ANALYSIS PLAN / FIRE 2 PLAN LEVEL 1

SCALE: 1/16" = 1'-0"

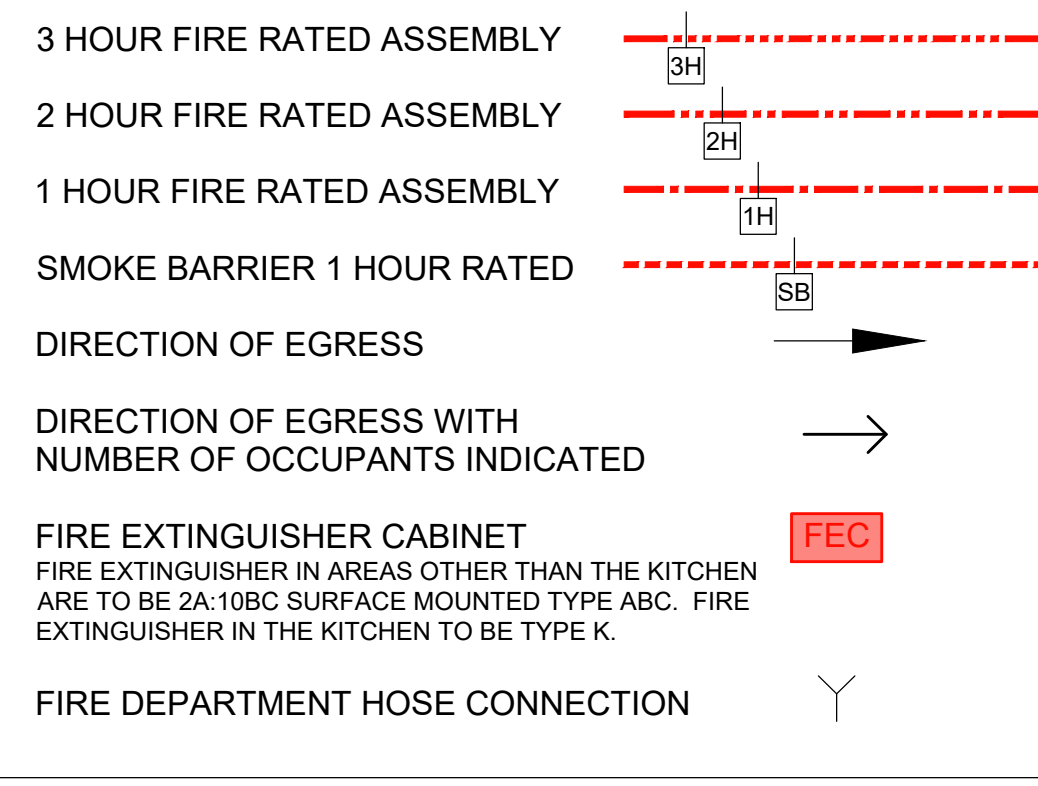
PLUMBING:
 IBC 2902.1

OFFICE GROUP B:
 MEN = 22 OCC / 25 = 1 WATER CLOSETS
 WOMEN = 22 OCC / 25 = 1 WATER CLOSETS
 LAVATORIES = 43 OCC / 40 = 1 EA MEN / WOMEN
 DRINKING FOUNTAIN = 43 OCC / 100 = 1

STORAGE GROUP S:
 MEN = 22 OCC / 100 = 1 WATER CLOSETS
 WOMEN = 22 OCC / 100 = 1 WATER CLOSETS
 LAVATORIES = 44 OCC / 100 = 1 EA MEN / WOMEN
 DRINKING FOUNTAIN = 44 OCC / 1000 = 1



CODE LEGEND



SCOTT C. ANDERSON & associates architects
 4419 4th St. NW, Ste. B
 Albuquerque, NM 87107
 scott@scottcanderson.com 505.491.7575

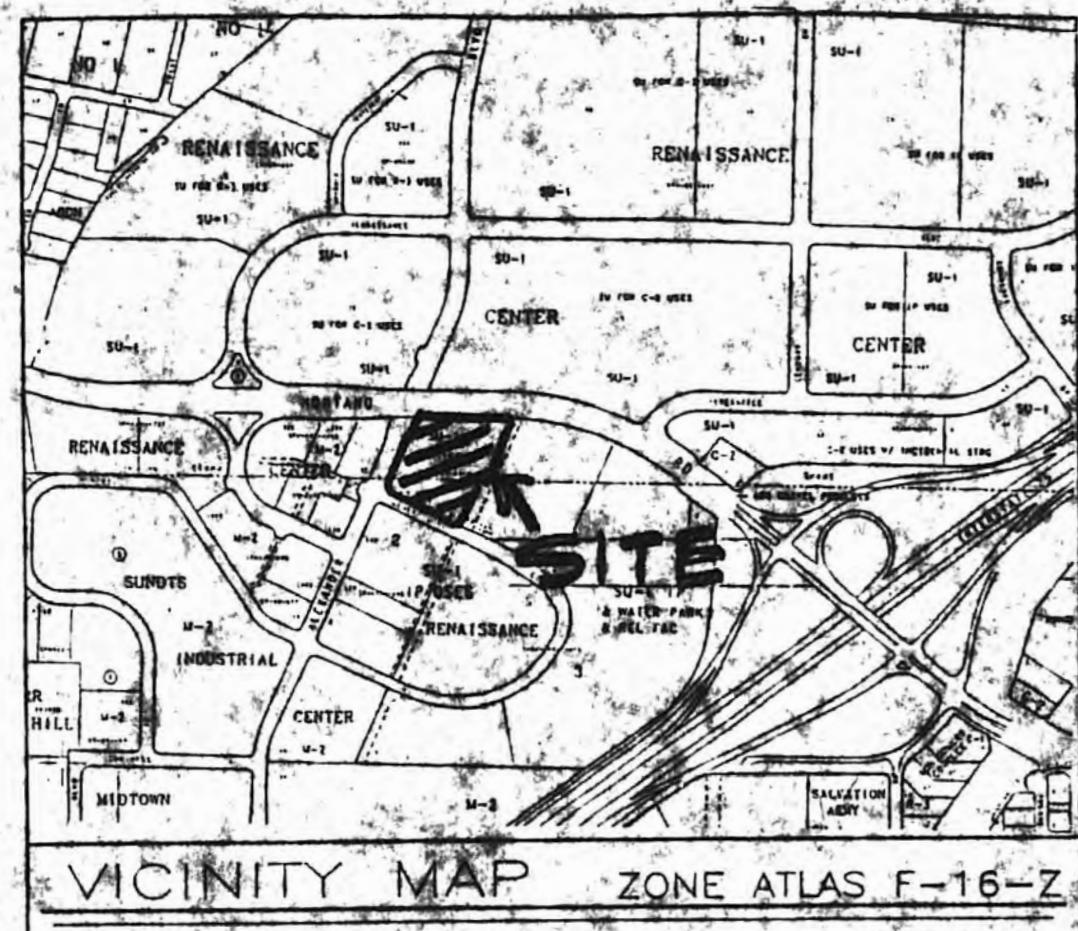
EVENT SPACE & OFFICE BUILD-OUT
 4720 ALEXANDER BLVD NE
 ALBUQUERQUE NM, 87107

DRAWING TITLE
CODE ANALYSIS / FIRE 2 PLAN

	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	G-101
DATE	11/12/2021	OF

GART SPORTS

BUILDING AREA 45,968sf (232' X 194')
 NET LEASABLE AREA 44,800SF
 TOTAL PARKING ON SITE 224 SPACES
 TOTAL PARKING REQUIRED AT 5/1000sf 224 SPACES
 HCDP PARKING REQD. 8 SPACES
 HCDP PARKING PROVIDED 8 SPACES
 BUILDING USE RETAIL SALES



VICINITY MAP ZONE ATLAS F-16-Z

APPROVED AS TO REQUIREMENTS DRB-95-6 SCALE NONE

CITY PLANNING DEPARTMENT	4-5-95
WATER UTILITIES DEPARTMENT	1-17-95
TRANSPORTATION DEPARTMENT	2-15-95
CITY ENGINEERING DEPARTMENT	1-17-95
PARKS & RECREATION DEPARTMENT	1/1/95

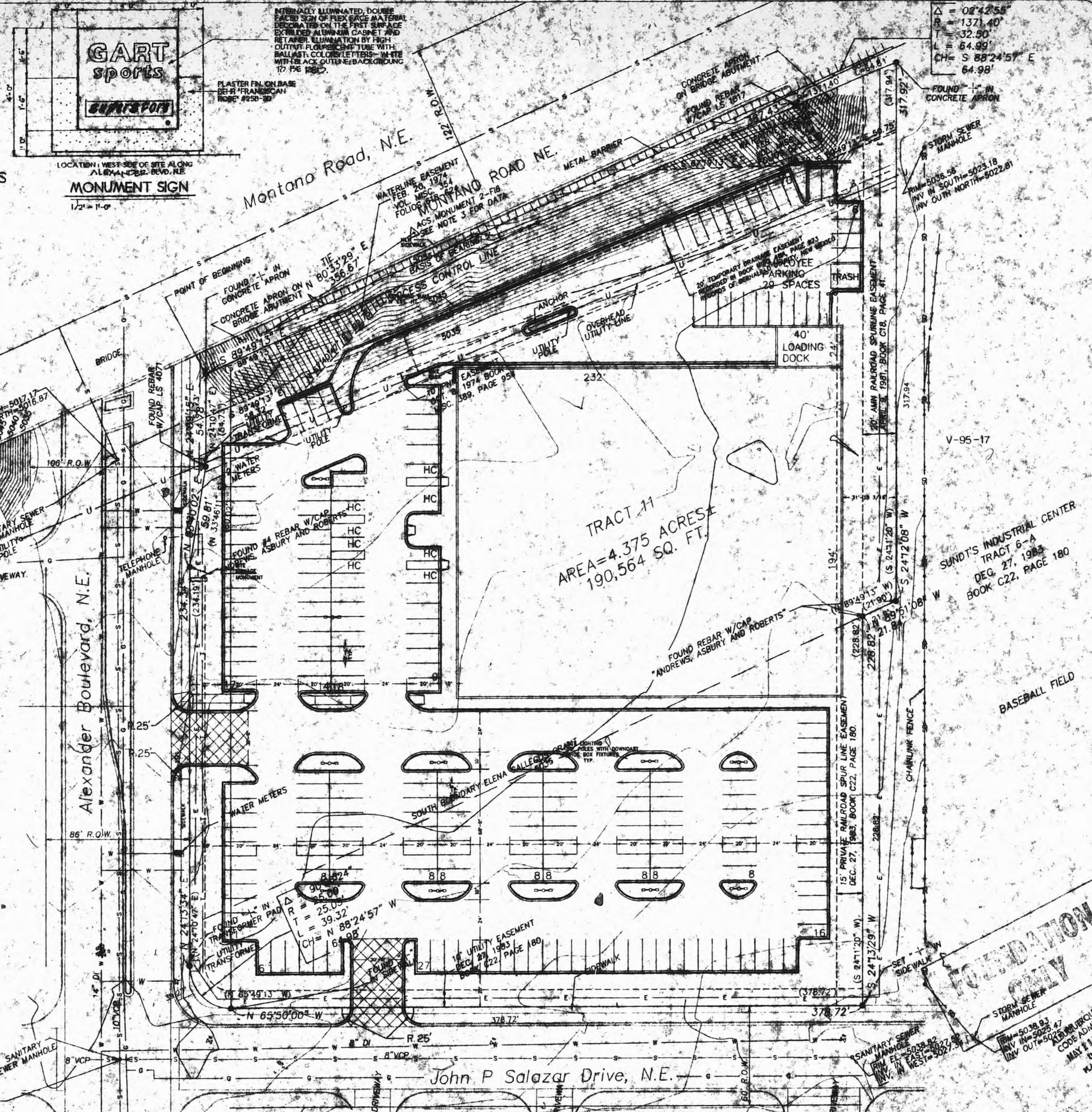
LEGEND

(N 80°00'00" E)	RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
(N 90°00'00" E)	MEASURED BEARING AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊕	FIRE HYDRANT
○	MANHOLE
—	STANDARD 2' CONCRETE CURB & GUTTER
—	CHAINLINK FENCE
—	WATER VALVE
—	WATER METER
—	OVERHEAD UTILITY LINES
+	SET "4" IN CONCRETE

Sheet Index

Sheet 1	Site Plan
Sheet 2	Landscaping Plan
Sheet 3	Elevations
Sheet 4	Grading & Drainage Plan

SITE PLAN



PORTFOLIO
 DESIGN SERVICES INC.
 ARCHITECTS
 2001 UNIVERSITY, 400 ST. PAUL, N.W., ALBUQUERQUE, N.M. 87102
 (505) 496-4189 FAX (505) 496-4886

GART SPORTS
 ALBUQUERQUE, NEW MEXICO

DATE: 12/5/94
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 TITLE: SITE PLAN

I HEREBY CERTIFY THAT THE PLANNING DEPARTMENT HAS REVIEWED THIS MICROFILM COPY OF THE ORIGINAL AS IT APPEARS IN THE FILES OF THE PLANNING DEPARTMENT BUILDING & SAFETY AND WAS CREATED IN THE NORMAL COURSE OF BUSINESS.

REVISIONS
 NO. DATE DESCRIPTION
 12/5/94 [Signature] 7/11/95

104

NOTE:
 EXISTING REFUSE
 ENCLOSURE TO REMAIN

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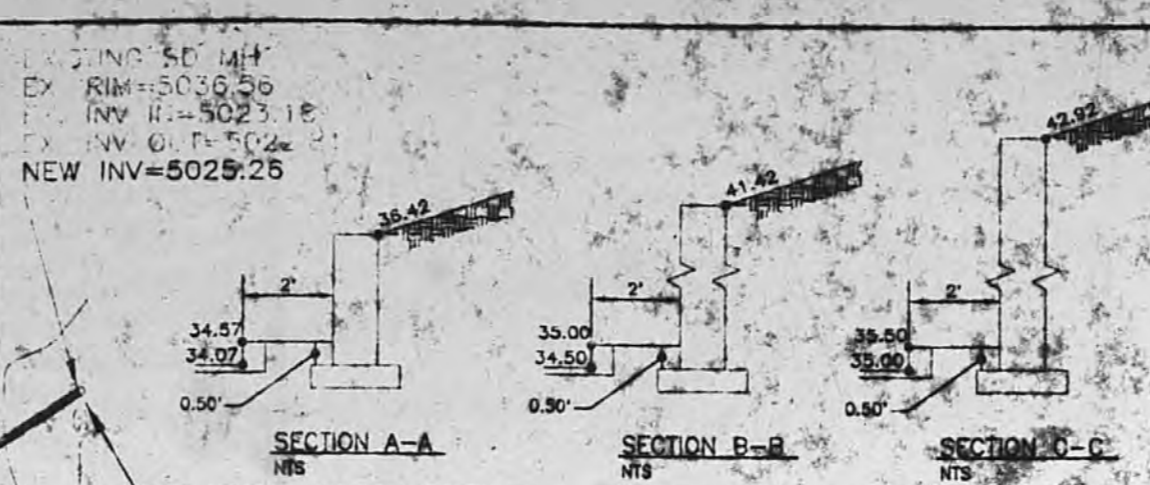
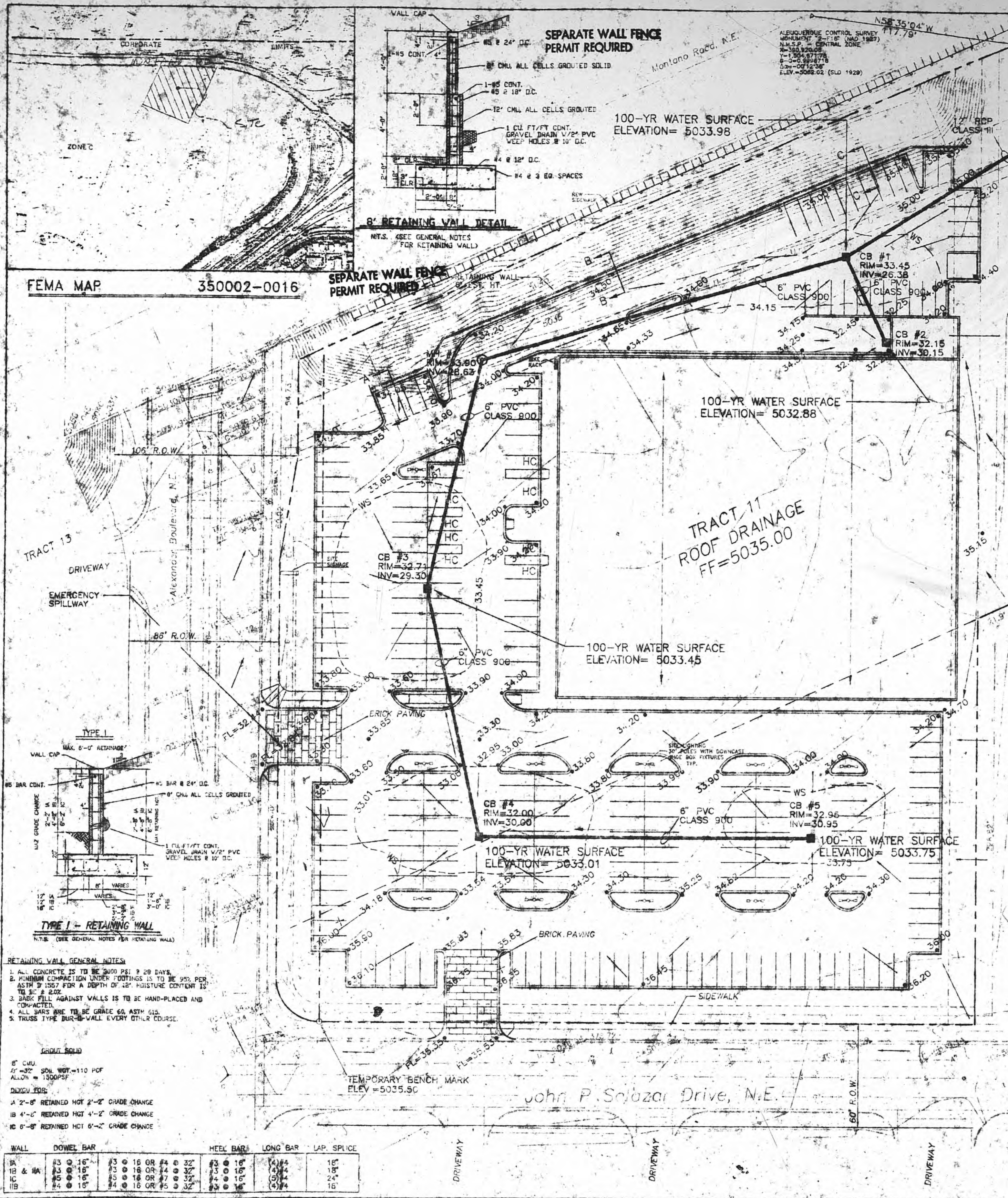
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WILLIAM W. HOLLAND
 CITY CLERK

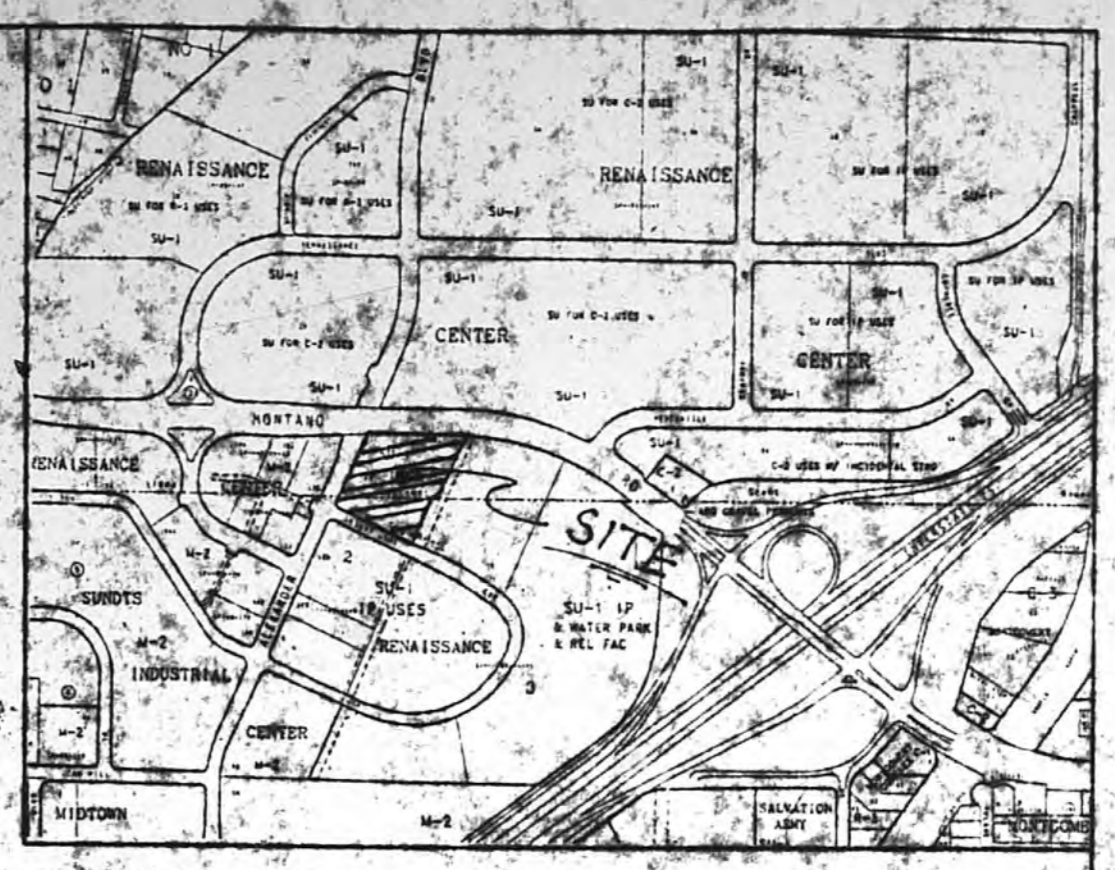
ROBERTA SANCHEZ
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Commission Expires 2-8-99



SEE WORK ORDER 5179.90 DRAWINGS FOR CONNECTION DETAILS.

LEGEND

- TOPO AND USED MOMENT AS DESIGNATED
- FIRE HYDRANT
- EXISTING SAS MH
- STANDARD 6" CONCRETE CURB & GUTTER
- GRAVEL
- WATER VALVE
- WATER METER
- OVERHEAD UTILITY LINES
- SET IN CONCRETE
- EXISTING STORM DRAIN MANHOLE
- NEW SPOT ELEVATION (TOP OF ASPHALT)
- NEW CATCH BASIN
- NEW STORM DRAIN MANHOLE
- NEW STORM DRAIN LINE
- RETAINING WALL
- WATER SURFACE ELEVATION



VICINITY MAP
LEGAL DESCRIPTION: TRACT 11 OF RENAISSANCE CENTER F-16-Z

GART SPORTS
BUILDING AREA: 45,968sf (232' X 194')
NET LEASABLE AREA: 44,800sf
TOTAL PARKING ON SITE: 224 SPACES
TOTAL PARKING REQUIRED AT 5/1000sf: 224 SPACES
MDP PARKING REQ'D: 8 SPACES
MDP PARKING PROVIDED: 8 SPACES
BUILDING USE: RETAIL SALES

- EROSION CONTROL PLAN NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - EROSION CONTROL BERM IS REQUIRED ON THE SOUTH & WEST PROPERTY LINE TO DIVERT RUNOFF TO NEW DESILTING POND ON THE SOUTHWEST SIDE OF THE TRACT.
 - EROSION CONTROL BERM MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION ON SITE.

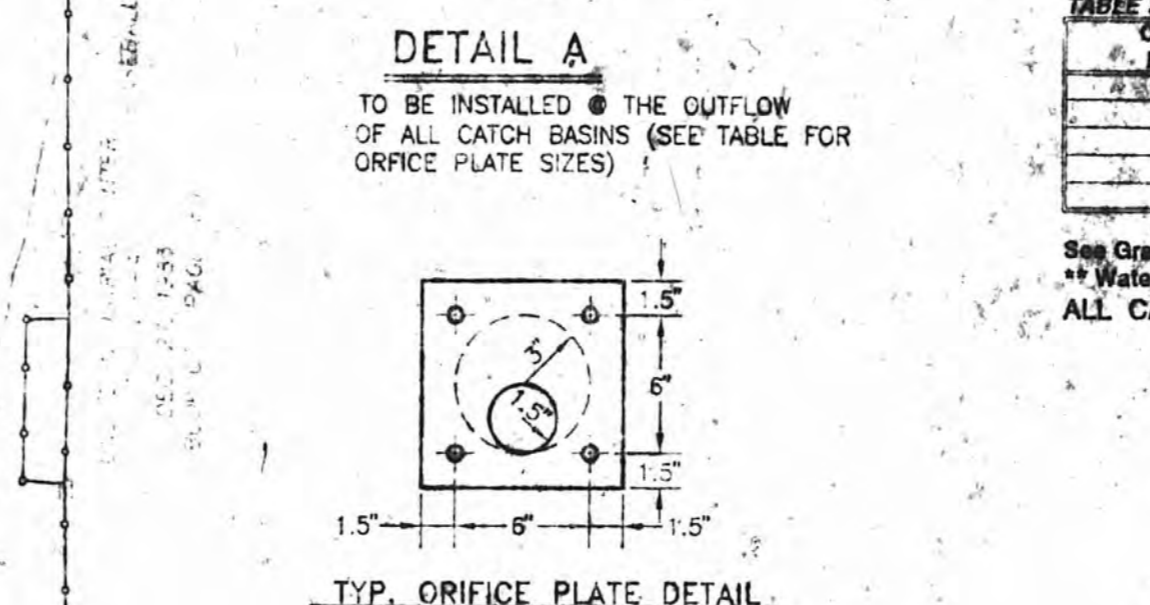
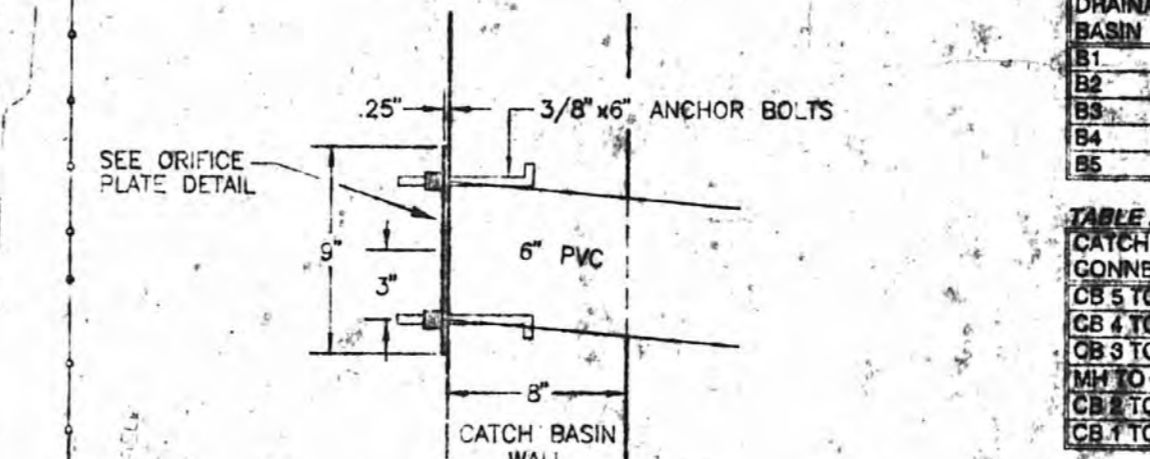
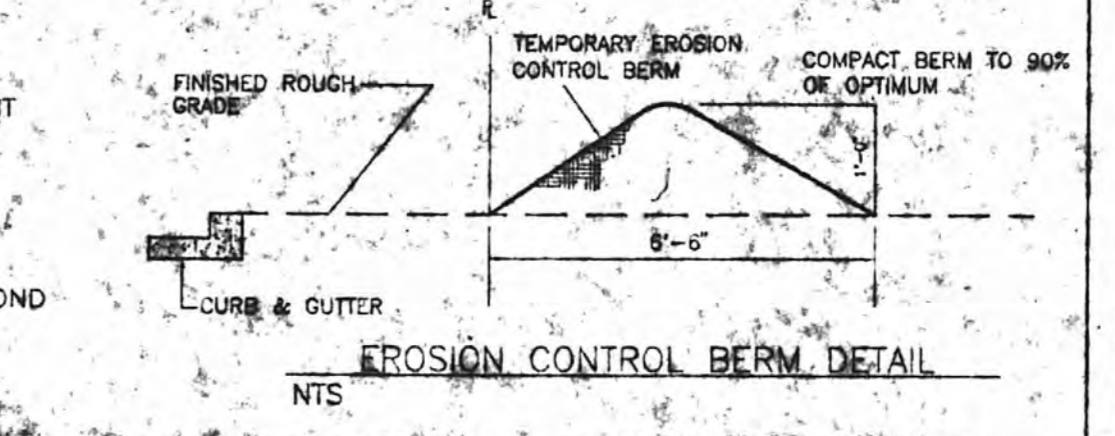


TABLE 1

DRAINAGE BASIN	Qp-10YR (CFS)	V-RUNOFF (AG-FT)	Qp-10YR (AD-FT)	ORIFICE PLATE SIZE ON PIPE COMING OUT OF CB
B1	2.71	0.18	0.18	3"
B2	6.86	0.50	0.48	5"
B3	2.25	0.28	0.28	3"
B4	2.50	0.27	0.27	3"
B5	1.78	0.083	0.083	3"

TABLE 2

CATCH BASIN CONNECTIONS	FLOW W/ PLATE	L.F.	PIPE USED	SLOPE	VELOCITY (FT/S)
CB 1 TO 4	0.28	150.00	6" PVC	0.60%	2.39
CB 4 TO 3	0.32	142.65	6" PVC	0.60%	2.44
CB 3 TO MH	0.27	158.03	6" PVC	0.60%	2.31
MH TO CBT	0.27	218.18	6" PVC	1.04%	3.05
CB 10 TO 1	0.27	161.60	6" PVC	0.60%	2.31
CB 11 TO MH	0.29	148.00	12" TOP	1.17%	3.05

TABLE 3

CATCH BASIN	INV @ CB (FT)	W/ ELEV. (FT)	RIM ELEV. (FT)	HWY. HT. (FT)
B1	5024.88	5035.88	5033.45	0.63
B2	5028.16	5029.88	5027.75	0.74
B3	5027.71	5025.45	5023.71	0.74
B4	5028.47	5023.01	5022.00	1.01
B5	5029.42	5023.75	5022.95	0.80

See Grading and Drainage Plan for drainage patterns and catch basin locations.
* Water height (100-YEAR WATER SURFACE ELEVATION) from the rim of the catchbasin.
ALL CATCH BASINS ARE BUILT TO CITY STD DWG # 2206

RETAINING WALL GENERAL NOTES

- ALL CONCRETE IS TO BE 2800 PSI @ 28 DAYS.
- FINISH CONCRETE UNDER COATING IS TO BE 500 PSI @ 28 DAYS @ 2" DEPTH OF 2" POLYURETHANE CONTENT IS TO BE @ 2" DEPTH.
- DRIVE PILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL SIZES ARE TO BE GRADE 60 ASTM A65.
- TRUSS TYPE BARS SHALL BE USED AT EVERY COURSE.

DRIVE PILL

1A 2'-0" RETAINED HGT 2'-2" CHDGE CHANGE
1B 4'-0" RETAINED HGT 4'-2" CHDGE CHANGE
1C 6'-0" RETAINED HGT 6'-2" CHDGE CHANGE

WALL	DOWN BAR	HEED BAR	LONG BAR	LAP SPLICE
1A	43 @ 16"	23 @ 16 OR 24 @ 32"	43 @ 16"	43 @ 16"
1B	43 @ 16"	43 @ 16 OR 44 @ 32"	43 @ 16"	43 @ 16"
1C	43 @ 16"	43 @ 16 OR 44 @ 32"	43 @ 16"	43 @ 16"
1B	44 @ 16"	44 @ 16 OR 45 @ 32"	44 @ 16"	44 @ 16"

- GENERAL NOTES**
- ALL ELEVATIONS ARE AT FLOWLINE.
 - WE ARE RECOMMENDING TO DRAIN THE ROOF RUN-OFF TO THE CATCH BASINS THROUGH A STORM DRAIN PIPE.
 - ALL ENTRANCES SHALL HAVE A 1" WATER BLOCK.
 - EAST ENTRANCE WILL BE USED AS THE EMERGENCY SPILLWAY.
 - SEE DRAINAGE REPORT FOR SUPPLEMENTARY CALCULATIONS AND DETAILS ON THE DRAINAGE PIPE & ORIFICE PLATE SIZES.
 - SPOT ELEVATIONS ARE TOP OF ASPHALT. CURB ELEVATIONS ARE SPOT ELEVATION PLUS 6".
 - ALL WHEELCHAIR RAMPS WILL BE BUILT TO CITY STANDARD DRAWING #2441 AND 2426.
 - TEMPORARY BENCH MARK LOCATED AT THE SE PROPERTY CORNER. ELEVATION SUPPLIED BY PRECISION SURVEY (5025.50). FIELD VERIFY BENCH MARK PRIOR TO USE.
- 30\84003\1\9431GR.DWG\SD\02-14-95

APPROVAL FOR ROUGH GRADING PLAN _____ DATE _____

GRAPHIC SCALE
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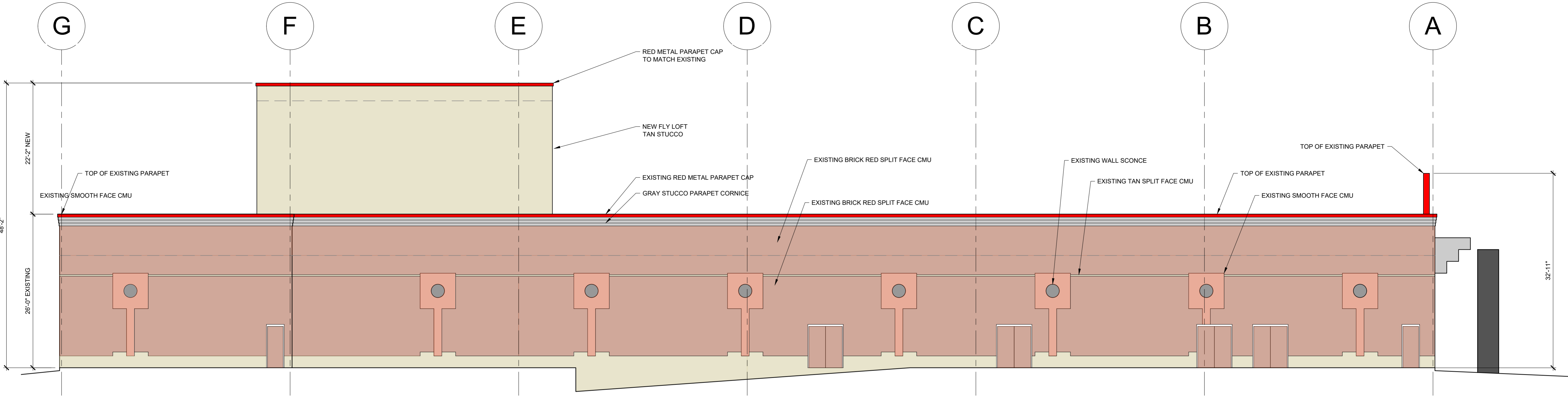
ENGINEER'S SEAL
RONALD R. BOHANNAN
P.E. #7860

ALBUQUERQUE GART SPORTS
GRADING & DRAINAGE PLAN

TERRA WEST DEVELOPMENT MANAGEMENT SERVICES
4600 MONTGOMERY BLVD. N.E., SUITE 3
ALBUQUERQUE, NEW MEXICO 87110
(505) 263-7582 BLDG. DEPT.
MAY 0 1 1995

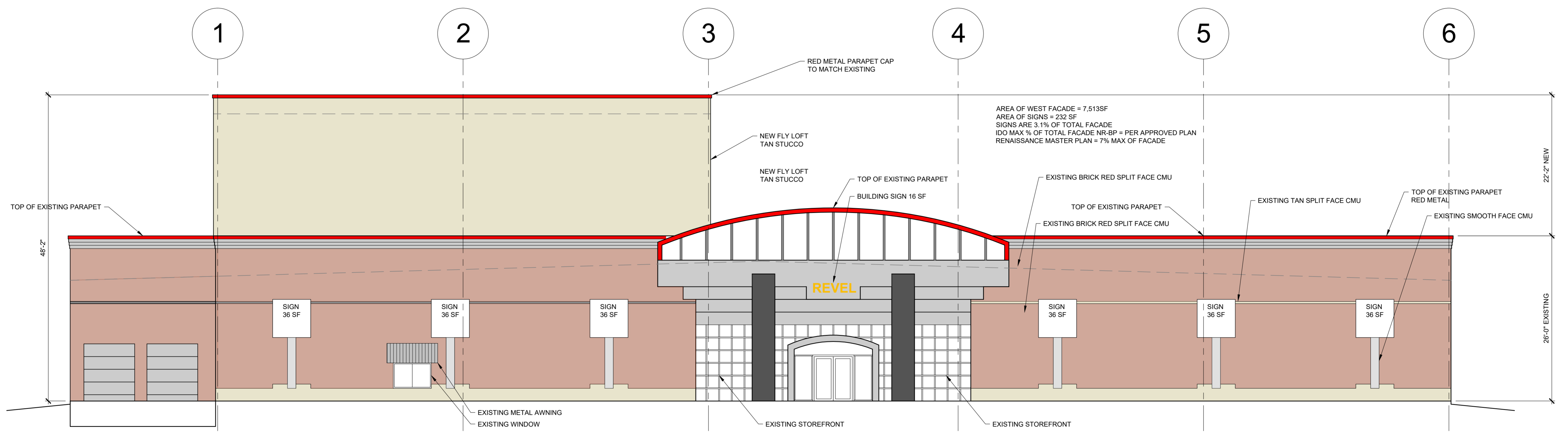
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SHEET # 4 of 4
JOB # 940031

CITY OF ALBUQUERQUE
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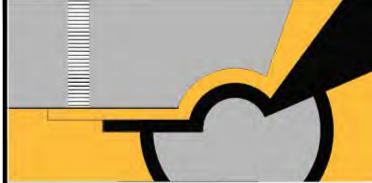
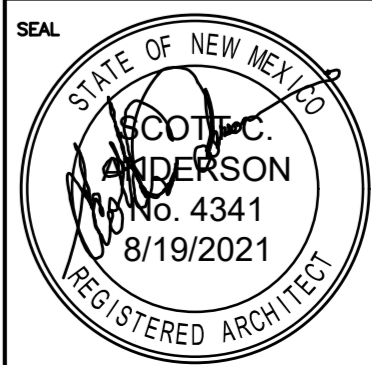
NORTH ELEVATION

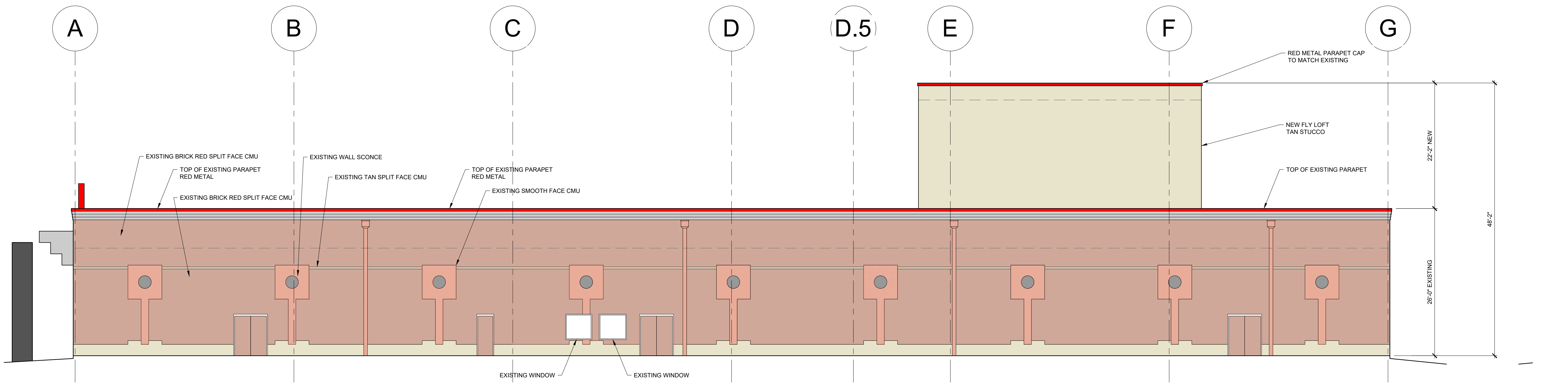
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WEST ELEVATION

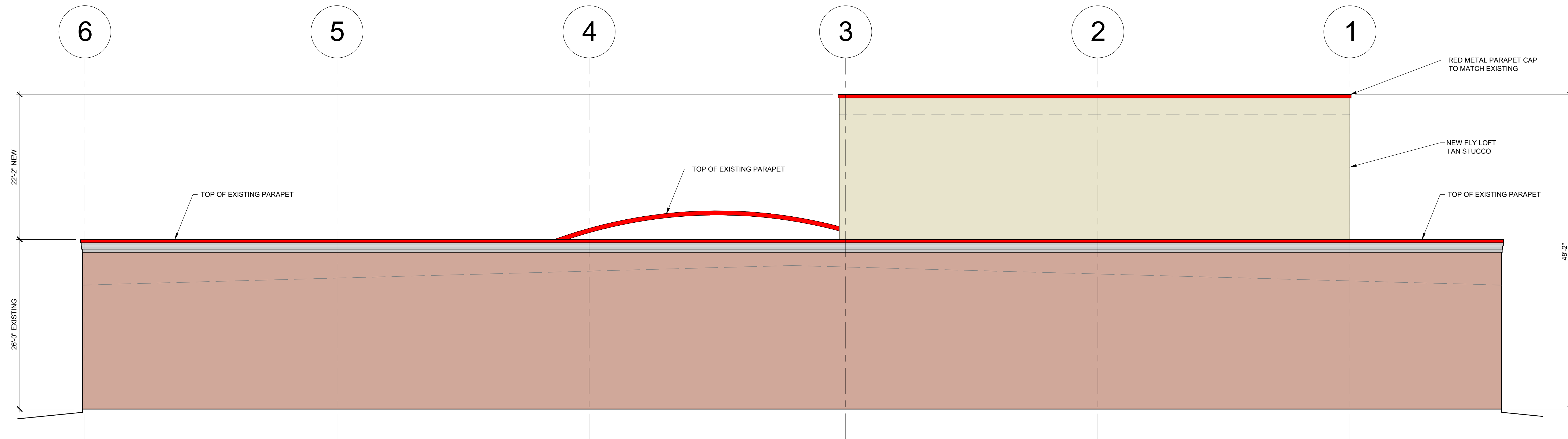
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 SCOTT C. ANDERSON & associates architects <small>4419 4th St NW, Ste. 8 Albuquerque, NM 87107 www.scottcanderson.com 505.401.7375</small>		
EVENT SPACE & OFFICE BUILD-OUT 4720 ALEXANDER BLVD NE ALBUQUERQUE NM, 87107		
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	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-201
DATE	8/19/2021	OF




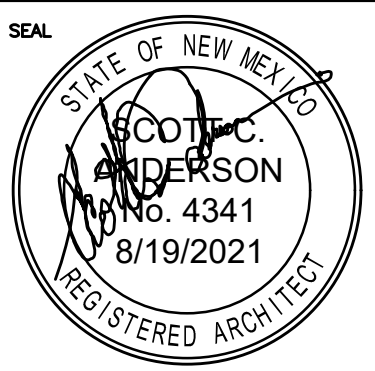
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

 SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS <small>4419 4th St. NW, Ste. B Albuquerque, NM 87107 scott@scottcanderson.com 505-401-7575</small>	
EVENT SPACE & OFFICE BUILD-OUT 4720 ALEXANDER BLVD NE ALBUQUERQUE NM, 87107	
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	CHECKED DRAWING NO.
	REVIEWED DATE 8/19/2021
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PR-2021-005740_SI-2021-001051_Site_Plan_Amendment_Approved_11-17-21











Final Audit Report

2021-11-29

Created:	2021-11-23
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAO5K7vfZ_LPCO-xmFoYfr5Gkedxe3YZyW

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