

City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
David S. Campbell, Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: August 18, 2023

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2021-005745
Agent: Hult-Zollars, Inc. (Scott Eddings)
Applicant: MDS Investments, LLC
Legal Description: Tract(s) A-1-A-2 Montage 5
Zoning: PC
Acreage: 31.8
Zone Atlas Page(s): R-15-Z and S-15-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Historic Google Earth Images, NMCRIS records

SITE VISIT: N/A

RECOMMENDATIONS:

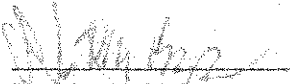
The eastern edge of the property has been disturbed by recent construction and the remainder has been surveyed under NMCRIS 148501 with no finds. Therefore:

CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 1 "an archaeological investigation has been conducted..." and criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

SUBMITTED TO:

Russell Brito, Planning Manager
City of Albuquerque Planning Department


8/18/2023
Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application. Please note that these applications are not reviewed in a public meeting.

SUBDIVISIONS	MISCELLANEOUS APPLICATIONS
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Sidewalk Waiver (Form V2)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	<input type="checkbox"/> Waiver to IDO (Form V2)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Waiver to DPM (Form V2)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Vacation of Public Easement(s) DHO (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
	APPEAL
	<input type="checkbox"/> Decision of DHO (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION

Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: <i>Scott Eddings</i>	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.

_ MAJOR SUBDIVISION FINAL PLAT APPROVAL

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the two documentation sections in **bold** below.

PLAT DOCUMENTATION

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form S2 with all the submittal items checked/marked
- ___ 3) Form PLT with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Proposed Final Plat with the surveyor's, property owner's, City Surveyor's, utility, and AMAFCA signatures on the Plat.
- ___ 6) Design elevations & cross sections of perimeter walls **Project will not construct a perimeter wall.**
- ___ 7) Recorded Infrastructure Improvements Agreement

SUPPORTIVE DOCUMENTATION

- ___ 8) Letter of authorization from the property owner if application is submitted by an agent
- ___ 9) Letter describing and explaining the request
- ___ 10) Landfill disclosure and EHD signature line on the Plat if property is within a landfill buffer
- ___ 11) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

_ SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

PLAT DOCUMENTATION

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form S2 with all the submittal items checked/marked
- ___ 3) Form PLT with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Proposed Preliminary/Final Plat with the surveyor's, property owner's, City Surveyor's, utility, and AMAFCA signatures on the Plat
- ___ 6) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use
- ___ 7) Sidewalk Exhibit and/or cross sections of proposed streets
- ___ 8) Proposed Infrastructure List, if applicable

SUPPORTIVE DOCUMENTATION

- ___ 9) Letter of authorization from the property owner if application is submitted by an agent
- ___ 10) Letter describing, explaining, and justifying the request per the criteria in IDO 14-16-6-6(K)(3)
- ___ 11) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ___ 12) Landfill disclosure and EHD signature line on the Plat if property is within a landfill buffer

PUBLIC NOTICE DOCUMENTATION

- ___ 13) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives
- ___ 14) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

_ MINOR AMENDMENT TO PRELIMINARY PLAT

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form S2 with all the submittal items checked/marked
- ___ 3) Form PLT with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Letter of authorization from the property owner if application is submitted by an agent
- ___ 6) Proposed Amended Preliminary Plat and/or Grading and Drainage Plan
- ___ 7) Original Preliminary Plat and/or Grading and Drainage Plan
- ___ 8) Infrastructure List, if applicable
- ___ 9) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

FORM S: PRE-APPROVALS/SIGNATURES

Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.

Legal Description & Location: Tract A-1-A-2 Mesa Del Sol Innovation Park - Mesa Del Sol East of Montage Unit 5

Job Description: Approximately 156 single family residential lots

Hydrology:

- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Reggie Cho 4/14/2023
 Hydrology Department Date

Transportation:

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA

Ernest Armijo _____
 Transportation Department Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Availability Statement/Serviceability Letter Approved NA
- ABCWUA Development Agreement Approved NA
- ABCWUA Service Connection Agreement Approved NA

Sarah Luckie 7/13/2023
 ABCWUA Date

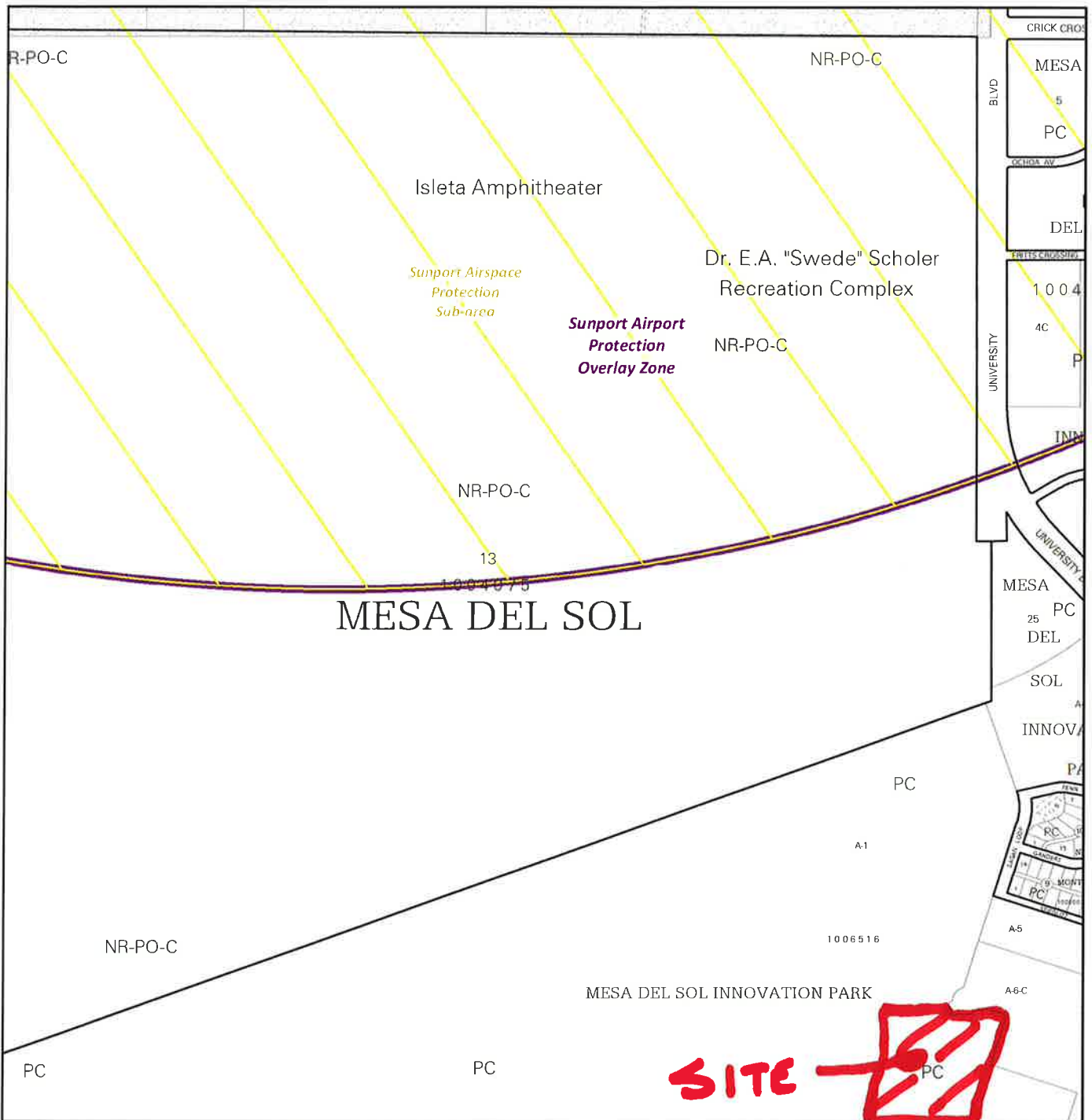
- Infrastructure Improvements Agreement (IIA*) Approved
- AGIS (DXF File) Approved
- Fire Marshall Signature on the plan Approved

Signatures on Plat

- Owner(s) Yes
- City Surveyor Yes
- AMAFCA** Yes NA
- NM Gas** Yes
- PNM** Yes
- COMCAST** Yes
- MRGCD** Yes NA

* Prior to Final Plat submittals and/or Final Site Plan approval submittals (include a copy of the recorded IIA)

** Signatures required for **Final Plat** application and not required for **Preliminary Plat** application



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

Abuquerque Geographic Information System

IDO Zoning information as of May 17, 2018

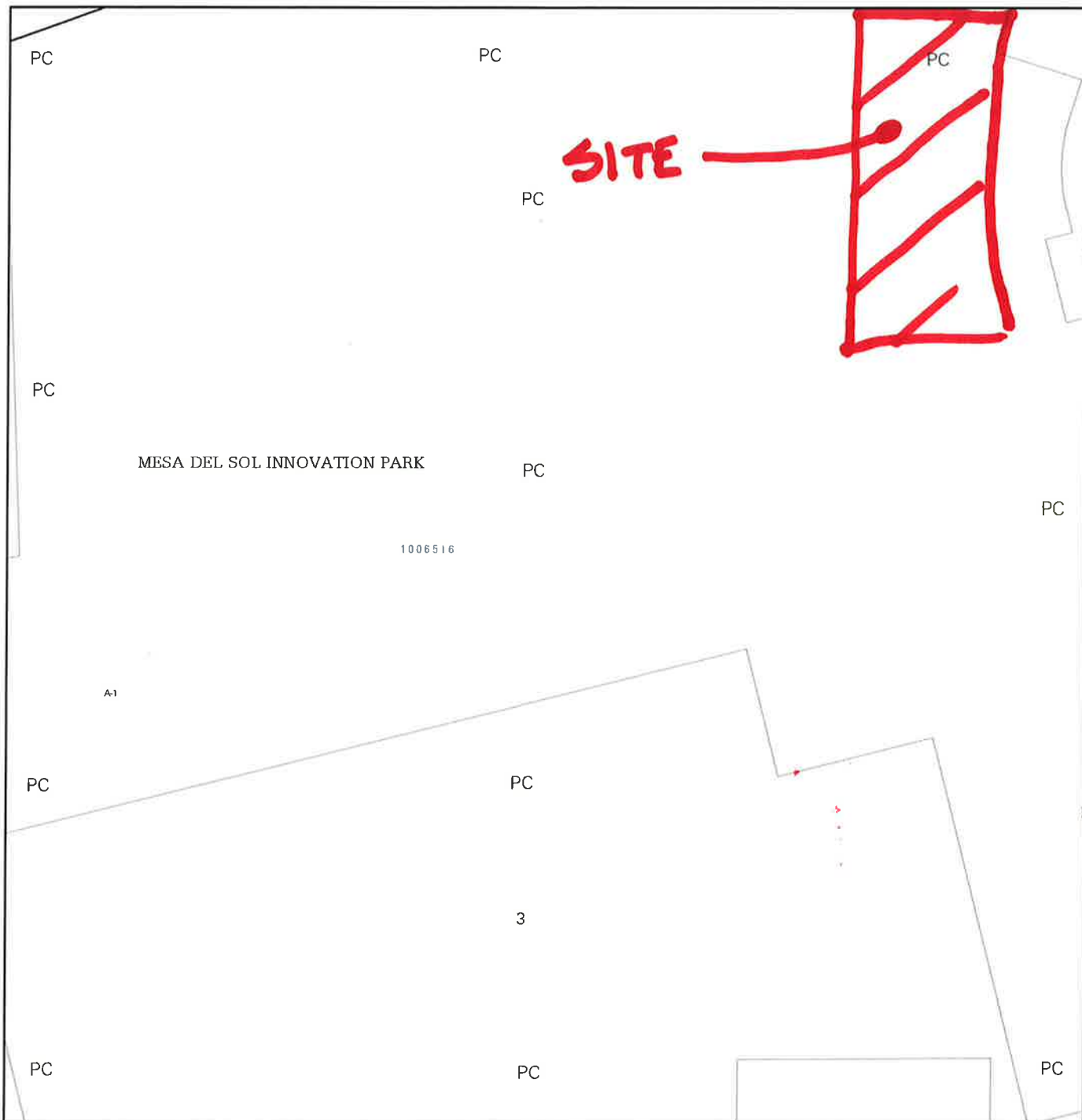
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:
R-15-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone


Feet
0 250 500 1,000



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas


May 2018



Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018


The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



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Zone Atlas Page:
S-15-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



0 250 500 1,000 Feet

From: [Muzzey, Devin P.](#)
To: [Eddings, Scott](#)
Subject: FW: PR-2020-004138 Montage Unit 6 Tracts A-1-A-4 & A-1-A-3 Mesa Del Sol Innovation Park
Date: Monday, September 9, 2024 9:19:43 AM



Devin Muzzey
gis specialist
e dmuzzey@cabq.gov
cabq.gov/planning

From: Muzzey, Devin P. <dmuzzey@cabq.gov>
Sent: Wednesday, September 4, 2024 3:57 PM
To: Tafoya, Linda <ltafoya@Huitt-Zollars.com>; Planning Plat Approval <platgisreview@cabq.gov>
Cc: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Subject: RE: PR-2020-004138 Montage Unit 6 Tracts A-1-A-4 & A-1-A-3 Mesa Del Sol Innovation Park

Good Afternoon Linda,

The DXF for PR-2020-004138 – Mesa Del Sol Innovation Park, Montage Unit 6 – has been approved. This email will notify the DHO office.

This is a replat of PR-2020-004138 from the last submittal in December, 2023

Thank you,
Devin Muzzey



Devin Muzzey
gis specialist
e dmuzzey@cabq.gov
cabq.gov/planning

From: Tafoya, Linda <ltafoya@Huitt-Zollars.com>
Sent: Monday, September 2, 2024 12:15 PM
To: Muzzey, Devin P. <dmuzzey@cabq.gov>
Cc: Eddings, Scott <seddings@Huitt-Zollars.com>
Subject: PR-2020-004138 Montage Unit 6 Tracts A-1-A-4 & A-1-A-3 Mesa Del Sol Innovation Park



[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hi Devon
Let me know if I missed anything
Thanks

Linda Tafoya | Huitt-Zollars, Inc.

O: 505.892.5141 x 10910 | D: 505.396.9665 | M: 505.453.2388

	333 Rio Rancho Drive NE Suite 101 Rio Rancho, NM 87124	<input type="checkbox"/> ltafoya@Huitt-Zollars.com
		<input type="checkbox"/> www.huitt-zollars.com
		<input type="checkbox"/> 505.892.5141

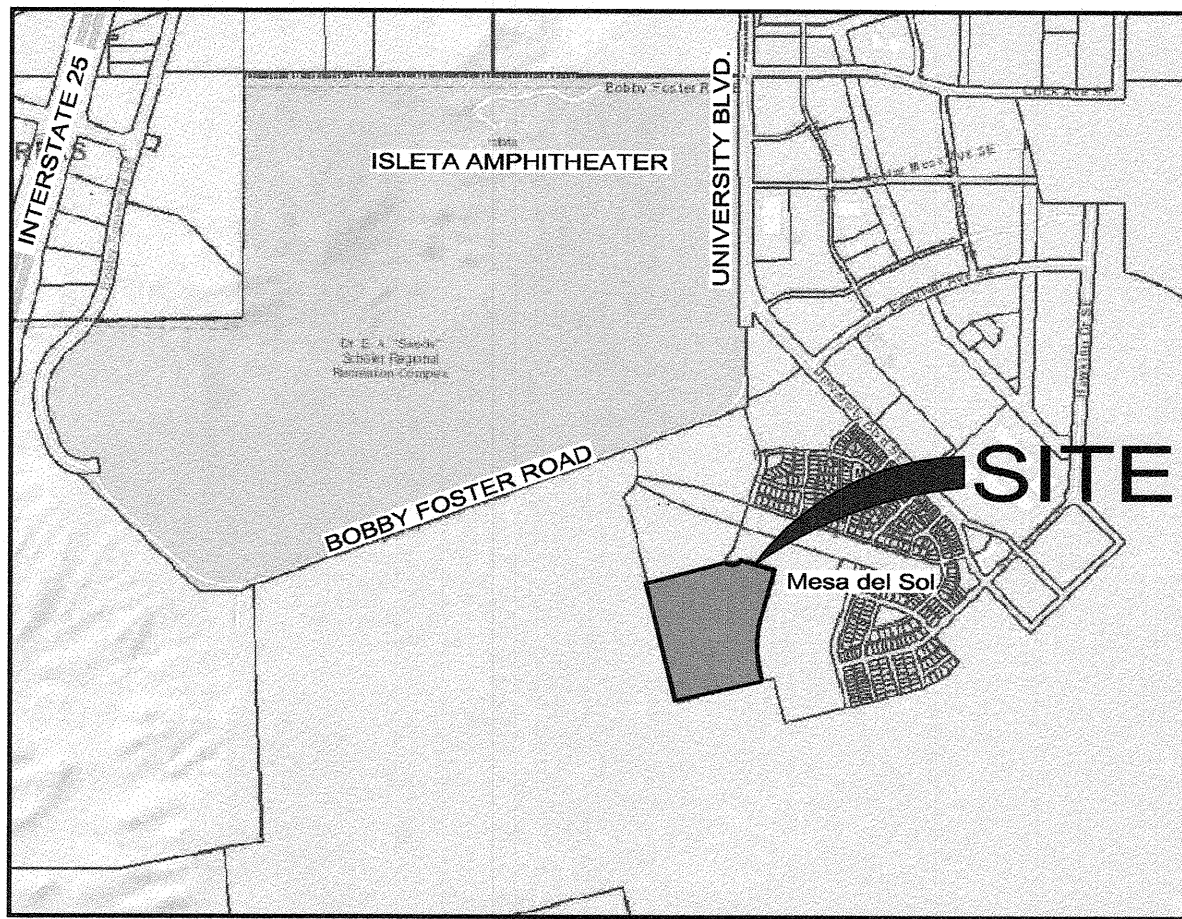
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CAUTION: This email originated from outside Huitt-Zollars. Treat all links and attachments with appropriate caution. Verify with sender if unexpected.



ZONE ATLAS R-15-Z & S-15-Z
N.T.S.

EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST d/b/a CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE CABLE TV SERVICE.
5. ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE WATER SERVICE.

PNM, NEW MEXICO GAS COMPANY, COMCAST, QWEST d/b/a CENTURYLINK QC COMMUNICATIONS AND THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DO NOT RELEASE ANY PREVIOUS EASEMENT RIGHT WHICH WAS GRANTED BY PRIOR PLATTING OR RECORD DOCUMENT UNLESS SPECIFICALLY NOTED HEREON.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE. TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS. WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON, PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

SOLAR NOTE

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON:
TRACT A-1-A-2, MONTAGE 5 UPC #101505049550310201

BERNALILLO COUNTY TREASURERS OFFICE:

BY: _____ DATE: _____

MONUMENTS

1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED.
2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT DESIGNATED CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (○) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 7482".

EASEMENT (RECIPROCAL ACCESS, DRAINAGE AND UTILITY)

NON-EXCLUSIVE PUBLIC ACCESS, DRAINAGE AND UTILITY EASEMENTS ARE GRANTED BY THIS PLAT. OVER AND UPON, ALLEY PARCELS; BULTMAN ALLEY, CASSATT ALLEY, DOWNING ALLEY, ESTES ALLEY, GATCH ALLEY, FERBER ALLEY, HOMER ALLEY, JAFFEE ALLEY & KATZEN ALLEY FOR THE BENEFIT OF RESIDENCES, CITY AND UTILITY PROVIDERS. BLOCK 2 LOTS 1-20, BLOCK 3 LOTS 1-42, BLOCK 6 LOTS 1-22 & BLOCK 7 LOTS 1-30 GRANTED BY THIS PLAT. EASEMENTS SHALL BE MAINTAINED BY THE OWNER OF SAID LOTS, PARCELS.

NOTES


1. ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983. NO BEARINGS AND DISTANCES HAVE CHANGED FROM THE RECORDED FINAL PLAT OF MESA DEL SOL INNOVATION PARK AS FILED DECEMBER 22, 2021 IN BOOK 2021C, PAGE 0153.
2. RECORD BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIZE (S65°04'00"W, 365.00).
3. ALL PROPERTY CORNERS ARE AS SHOWN ON SHEETS 2 - 6 OF THIS PLAT.
4. EXISTING UTILITY EASEMENTS (PRIVATE AND PUBLIC) REMAIN AS SHOWN ON THE EXISTING SUBDIVISION PLATS.
5. THE PROJECT GROUND TO GRID FACTOR: 1.000335812732

PURPOSE OF THIS PLAT

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE EXISTING TRACT A-1-A-2 INTO ONE HUNDRED SIXTY-SEVEN (167) SINGLE FAMILY RESIDENTIAL LOTS, ONE (1) TRACT, TWENTY-ONE (21) PARCELS AND SIX (6) ALLEY PARCELS. PARCELS 'A' THROUGH 'W' ARE LANDSCAPE AREAS AND/OR PARKS AND/OR OPEN SPACE. PARCEL 'AA' THROUGH PARCEL 'FF' WILL BE PRIVATE ALLEYS. TRACT A WILL BE RIGHT-OF-WAY DEDICATION.

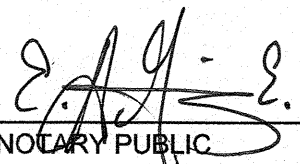
FREE CONSENT AND DEDICATION

THE PROPERTY SHOWN HEREON IS PLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) GRANT: ALL PUBLIC ROADWAY, UTILITY, AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED.


CHRIS PACHECO, CEO
TITAN MONTAGE 5, LLC
9/6/2024
DATE

(STATE OF NEW MEXICO) SS
(COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON SEPTEMBER 6, 2024
BY CHRIS PACHECO, CEO OF TITAN MONTAGE 5, LLC ON BEHALF OF SAID COMPANY.

BY: 
NOTARY PUBLIC

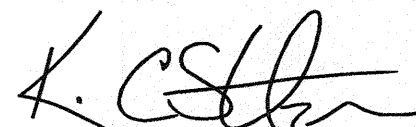
MY COMMISSION EXPIRES: 12/19/2024

UTILITY DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), NEW MEXICO GAS COMPANY (NMGC) AND QWEST CORPORATION D/B/A CENTURYLINK (QWEST) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, NMGC AND QWEST DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

SURVEYOR'S CERTIFICATION

I, KIM C. STELZER, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 7482, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.


Kim C. Stelzer, N.M.P.L.S. NO. 7482
8/29/24
DATE



**FINAL PLAT OF
MONTAGE UNIT 5
TRACT A-1-A-2
OF
MESA DEL SOL
INNOVATION PARK**

WITHIN SECTIONS 21 & 22 T. 9 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2024
Sheet 1 of 13

LEGAL DESCRIPTION

CERTAIN TRACT OF LAND LOCATED WITHIN SECTION 21 AND 22, TOWNSHIP 9 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING AND COMPRISING ALL OF TRACT A-1-A-2 BULK LAND OF MESA DEL SOL INNOVATION PARK.
PLAT FILED: DECEMBER 31, 2019 IN PLAT BOOK 2019C, PAGE 146 AS DOCUMENT NO. 2019111900.

CONTAINING 31.8578 ACRES MORE OR LESS.

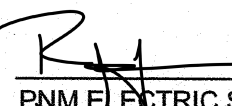
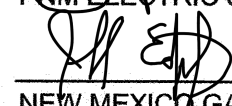
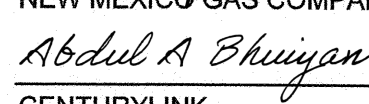
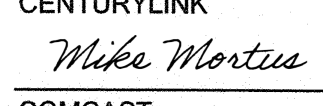
PROJECT NO. PR-2021-005745

APPLICATION NO. _____

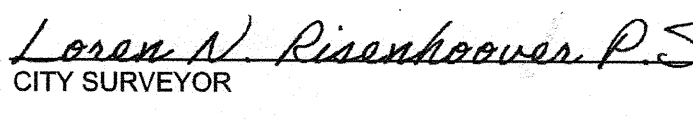

DHO APPROVAL: _____

PLAT APPROVALS

UTILITY APPROVALS:

	09/09/2024
PNM ELECTRIC SERVICES	DATE
	9/9/2024
NEW MEXICO GAS COMPANY	DATE
	09/09/2024
CENTURYLINK	DATE
	09/09/2024
COMCAST	DATE

CITY APPROVALS:

	8/30/2024
CITY SURVEYOR	DATE
_____	DATE
REAL PROPERTY DIVISION (CONDITIONAL)	DATE
_____	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
_____	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
_____	DATE
A.B.C.W.U.A.	DATE
_____	DATE
PARKS & RECREATION DEPARTMENT	DATE
	9/9/2024
AM/FCA	DATE
_____	DATE
HYDROLOGY	DATE
_____	DATE
CODE ENFORCEMENT	DATE
_____	DATE
PLANNING DEPARTMENT	DATE
_____	DATE
CITY ENGINEER	DATE

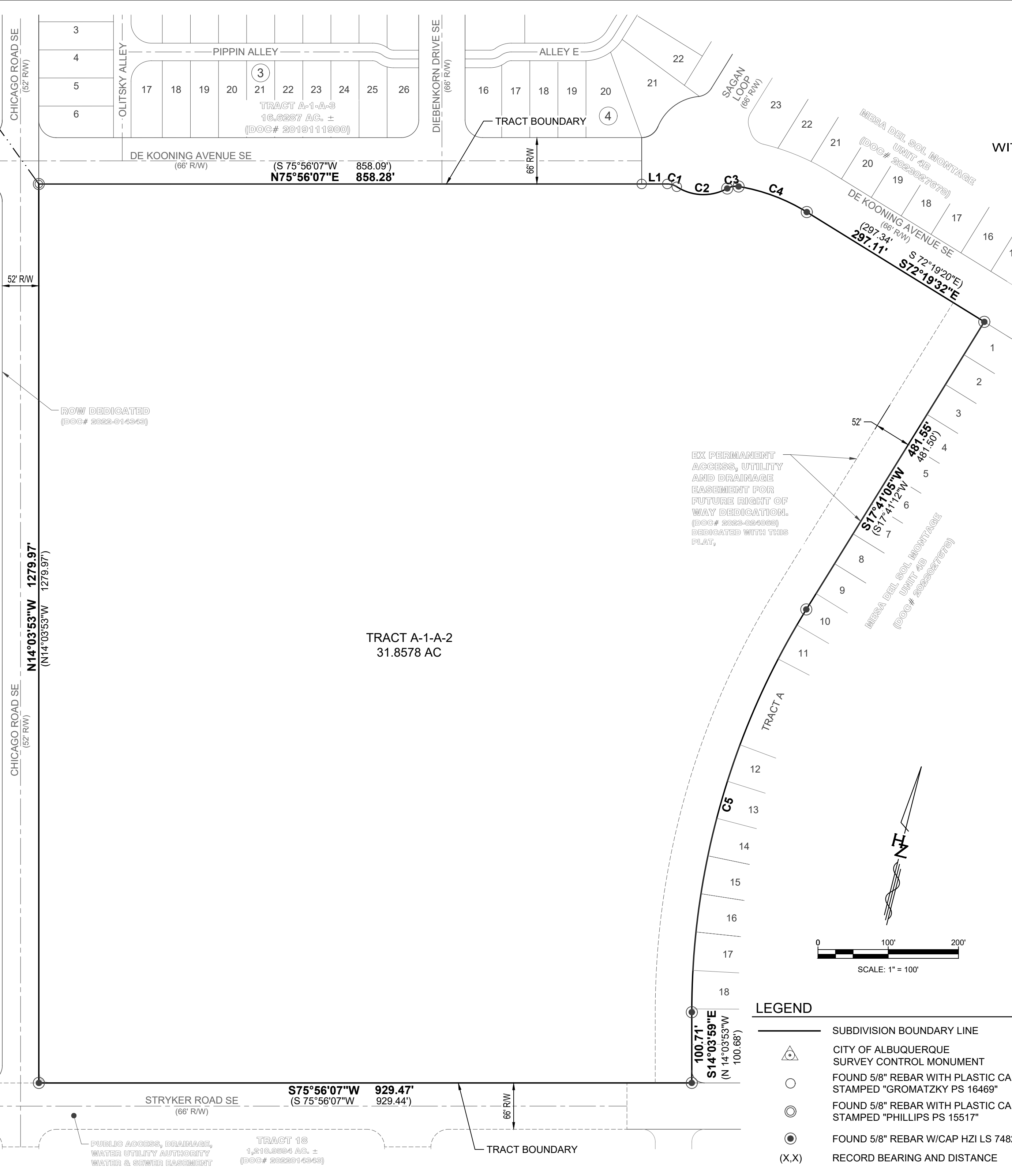
HUITT-ZOLIARS
333 RIO RANCHO DR. N.E., STE. 101
RIO RANCHO, N.M., 87124
(505) 892-5141

FINAL PLAT OF
MONTAGE UNIT 5
 TRACT A-1-A-2
 OF
**MESA DEL SOL
 INNOVATION PARK**

WITHIN SECTIONS 21 & 22 T. 9 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2024
 Sheet 2 of 13

"3-R15, 2006"
 N.M. STATE PLANE COORDINATES
 N=1,452,945.288 (U.S. SURVEY FEET)
 E=1,524,958.785 (U.S. SURVEY FEET)
 CENTRAL ZONE NAD 1983
 MAPPING ANGLE = -00°13'15.89"
 GRID TO GROUND = 0.999665170
 ELEV. = 5310.916 (U.S. SURVEY FEET)
 (NAVD 1988)

"4-R15, 2006"
 N.M. STATE PLANE COORDINATES
 N=1,451,193.721 (U.S. SURVEY FEET)
 E=1,526,090.858 (U.S. SURVEY FEET)
 CENTRAL ZONE NAD 1983
 MAPPING ANGLE = -00°13'07.94"
 GRID TO GROUND = 0.999664595
 ELEV. = 5316.68 (U.S. SURVEY FEET)
 (NAVD 1988)



DRAINAGE FACILITIES MAINTENANCE NOTES:

AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ["DETENTION AREAS"] ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES [STORM WATER DETENTION FACILITIES] IN ACCORDANCE WITH STANDARD PRESCRIBED BY THE CITY OF ALBUQUERQUE. NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT [DETENTION AREA] AND FACILITIES AT THEIR COST IN ACCORDANCE WITH THE STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT [DETENTION AREA] AND FACILITIES, AT ANY TIME FOLLOWING (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF THE MAINTENANCE WITHIN (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION.

THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

- PARKING REQUIREMENTS**
- OFFSTREET: A MINIMUM OF TWO COVERED PARKING SPACES PER LOT SHALL BE PROVIDED.
 - ONSTREET: GUEST PARKING WILL BE ACCOMMODATED BY ON STREET PARKING.

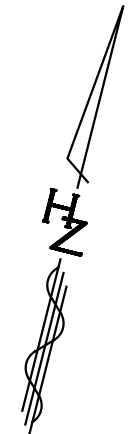
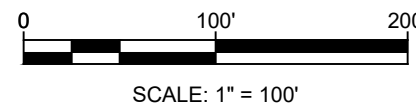
SOLAR COLLECTION NOTE

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANYTIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

FLOOD ZONE INFORMATIONAL NOTE

FLOOD INSURANCE RATE MAP NUMBER 3500160555H
 MAP DATED 8/16/2012
 PROPERTY LIES WITHIN FLOOD ZONE 'X'

EX PERMANENT ACCESS, UTILITY AND DRAINAGE EASEMENT FOR FUTURE RIGHT OF WAY DEDICATION. (DOC# 2022-025000) DEDICATED WITH THIS PLAT,



- LEGEND**
- SUBDIVISION BOUNDARY LINE
 - △ CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
 - FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "GROMATZKY PS 16469"
 - ⊙ FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "PHILLIPS PS 15517"
 - FOUND 5/8" REBAR W/CAP HZI LS 7482
 - (X.X) RECORD BEARING AND DISTANCE

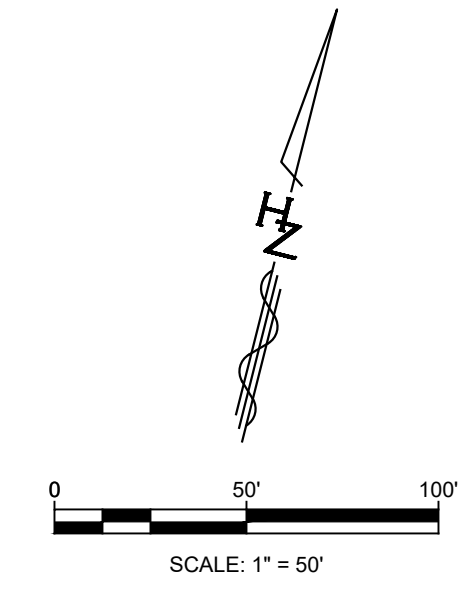


HUITT-ZOLLARS
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FINAL PLAT OF
MONTAGE UNIT 5
 TRACT A-1-A-2
 OF
**MESA DEL SOL
 INNOVATION PARK**

WITHIN SECTIONS 21 & 22 T. 9 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2024
 Sheet 3 of 13



LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW RIGHT OF WAY LINE
- NEW PARCEL PROPERTY LINE
- NEW LOT LINE
- EXIST RIGHT OF WAY LINE
- NEW (P.A.E.) PUBLIC ACCESS EASEMENT
- NEW (P.D.E.) PUBLIC DRAINAGE EASEMENT
- STREET CENTERLINE MONUMENTATION
- R/W LINE
- FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "GROMATZKY PS 16469"
- FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "PHILLIPS PS 15517"
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ABBREVIATIONS

- P.A.E - PUBLIC ACCESS EASEMENT
- P.D.E. - PUBLIC DRAINAGE EASEMENT
- P.U.E. - PUBLIC UTILITY EASEMENT
- PNM - PUBLIC SERVICE COMPANY OF NEW MEXICO
- RAD - RADIAL BEARING
- AC - ACRES
- R/W - RIGHT-OF-WAY
- P.L. - PROPERTY LINE



8/29/24
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SEE SHEET 5

SEE SHEET 4

TRACTS 10
 6.2664 AC. ±
 (DOC# 2022014348)

TRACT A-1-A-3
 16.6287 AC. ±
 (DOC# 2019111900)

PARCEL A
 0.0996 AC.

PARCEL B
 0.0439 AC.

PARCEL C
 0.0439 AC.

PARCEL D
 0.0980 AC.

PARCEL E
 0.0439 AC.

PARCEL F
 0.0448 AC.

PARCEL N
 0.1607 AC.

PARCEL M
 0.0801 AC.

NEW 29' PUBLIC ACCESS EASEMENT &
 PUBLIC DRAINAGE EASEMENT (TYP)

PARCEL AA
 0.2520 AC.

FINAL PLAT OF
MONTAGE UNIT 5
 TRACT A-1-A-2
 OF
**MESA DEL SOL
 INNOVATION PARK**

WITHIN SECTIONS 21 & 22 T. 9 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2024
 Sheet 4 of 13



- LEGEND**
- SUBDIVISION BOUNDARY LINE
 - NEW RIGHT OF WAY LINE
 - NEW PARCEL PROPERTY LINE
 - NEW LOT LINE
 - EXIST RIGHT OF WAY LINE
 - - - NEW (P.A.E.) PUBLIC ACCESS EASEMENT
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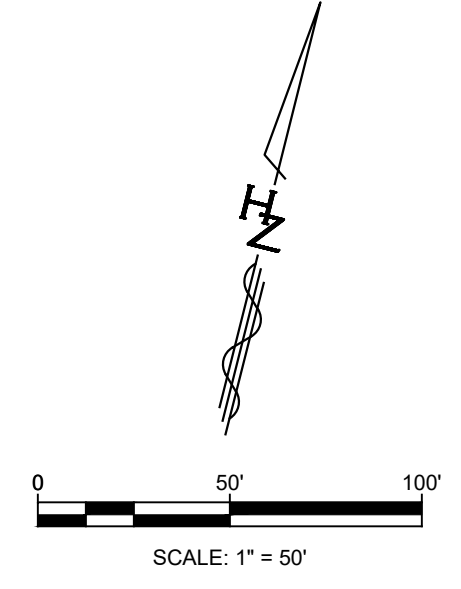
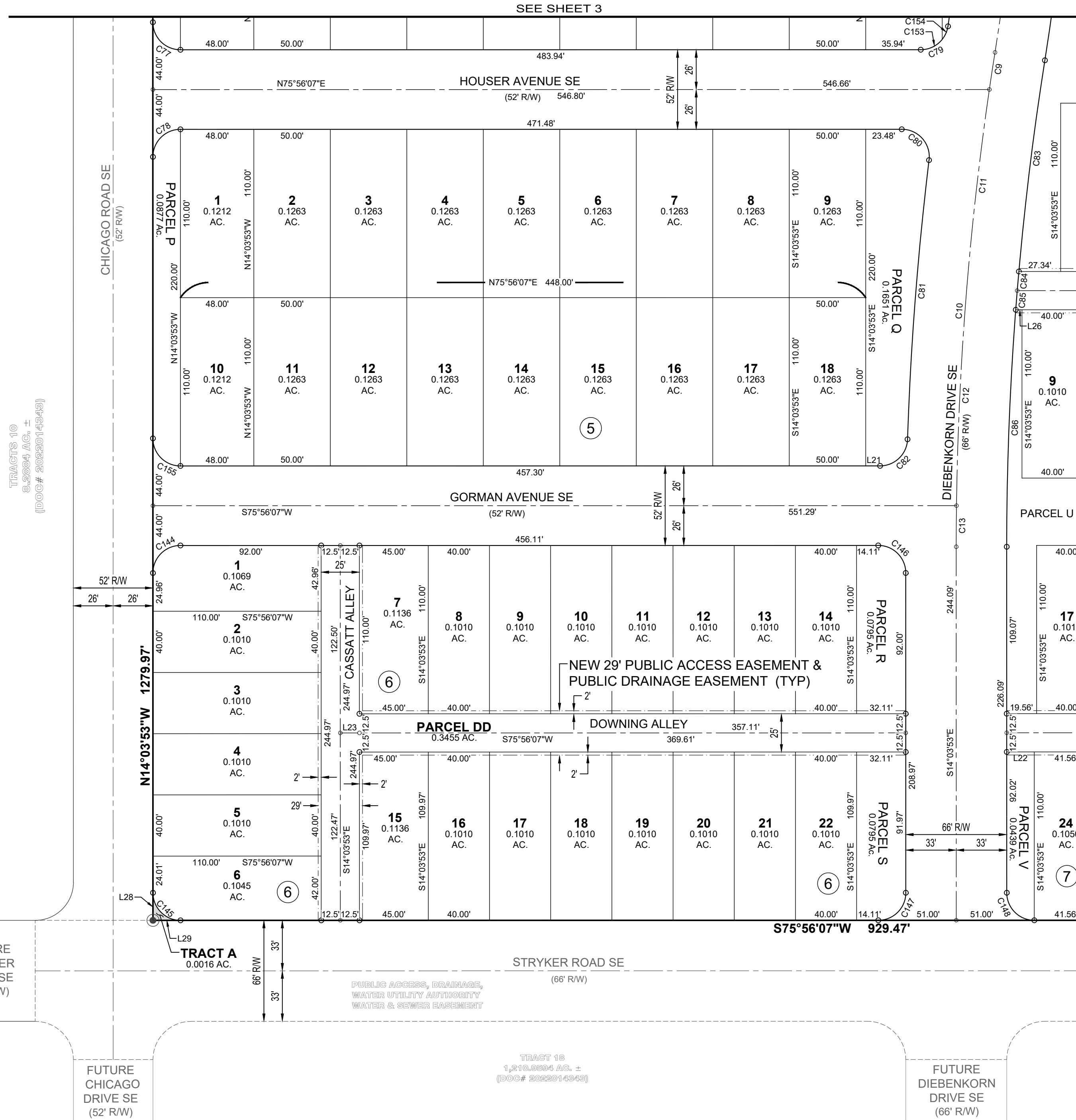
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SEE SHEET 3

SEE SHEET 6

FINAL PLAT OF
MONTAGE UNIT 5
 TRACT A-1-A-2
 OF
**MESA DEL SOL
 INNOVATION PARK**

WITHIN SECTIONS 21 & 22 T. 9 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2024
 Sheet 5 of 13



LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW RIGHT OF WAY LINE
- NEW PARCEL PROPERTY LINE
- NEW LOT LINE
- EXIST RIGHT OF WAY LINE
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- FOUND 5/8" REBAR WITH CAP HZI LS 7482
- ▭ NEW R/W DEDICATION

ABBREVIATIONS

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- P.D.E. - PUBLIC DRAINAGE EASEMENT
- P.U.E. - PUBLIC UTILITY EASEMENT
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8/29/24
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 RIO RANCHO, N.M., 87124
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TRACT 18
 1,210.8894 AC. ±
 (DOG# 2022014343)

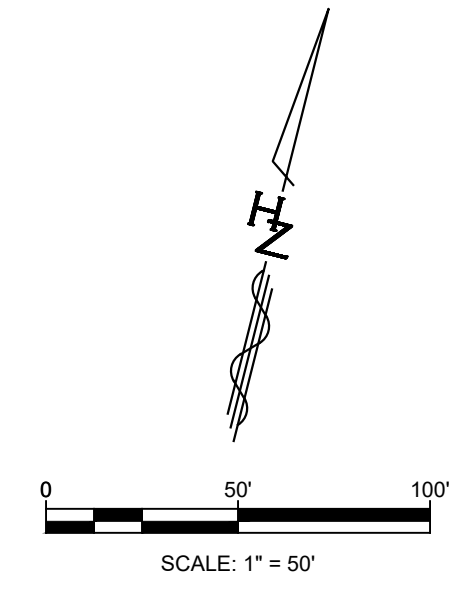
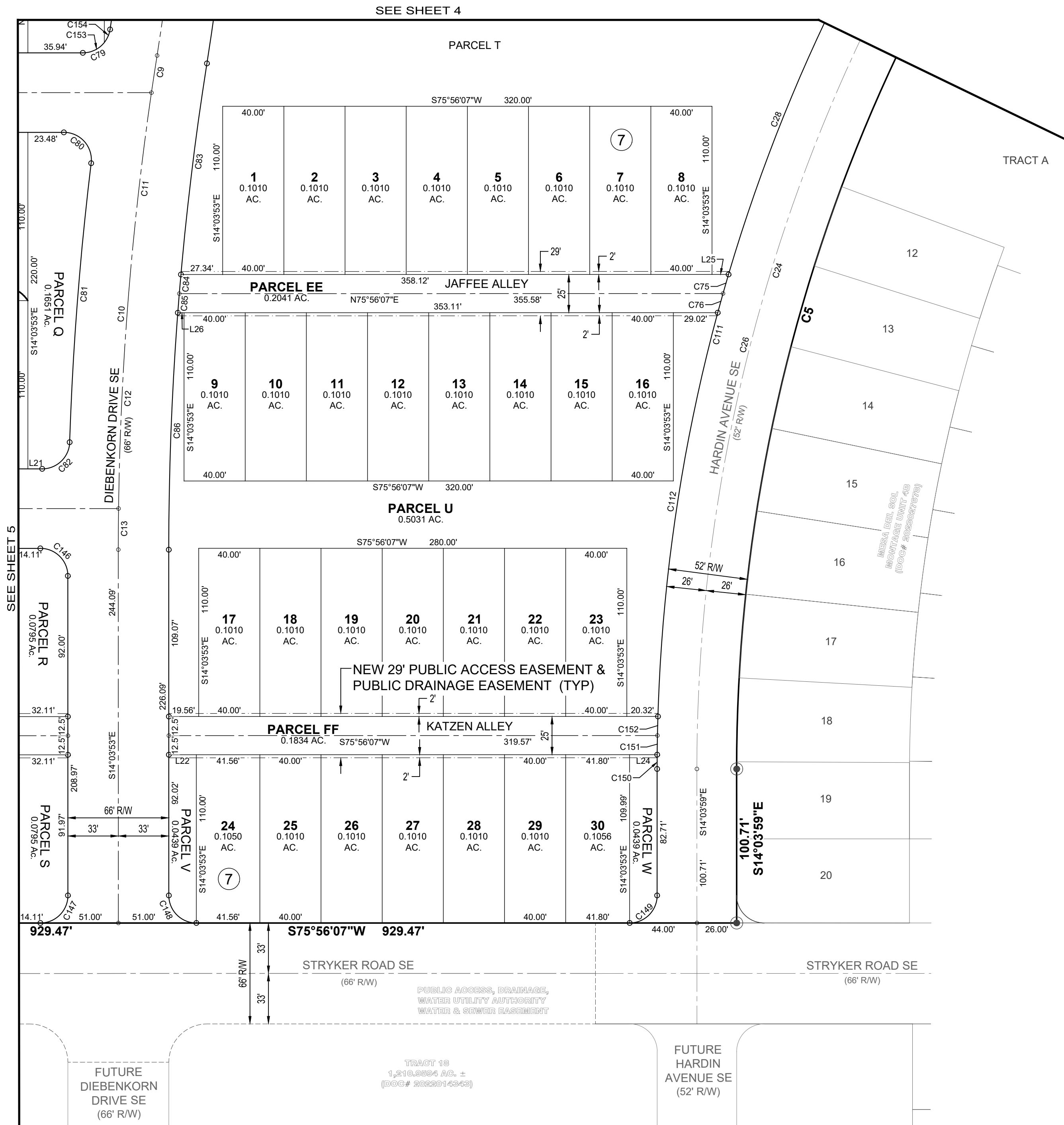
TRACTS 10
 8,288.4 AC. ±
 (DOG# 2022014343)

SEE SHEET 3

SEE SHEET 6

FINAL PLAT OF
MONTAGE UNIT 5
 TRACT A-1-A-2
 OF
**MESA DEL SOL
 INNOVATION PARK**

WITHIN SECTIONS 21 & 22 T. 9 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2024
 Sheet 6 of 13



LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW RIGHT OF WAY LINE
- NEW PARCEL PROPERTY LINE
- NEW LOT LINE
- EXIST RIGHT OF WAY LINE
- - - NEW (P.A.E.) PUBLIC ACCESS EASEMENT
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**FINAL PLAT OF
MONTAGE UNIT 5**
TRACT A-1-A-2
OF
**MESA DEL SOL
INNOVATION PARK**

WITHIN SECTIONS 21 & 22 T. 9 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2024
Sheet 7 of 13

CURVE TABLE					
CURVE NO.	DELTA	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C1	32°48'20"	25.00'	S87°39'43"E	14.12'	14.31'
C2	61°45'26"	70.00'	N77°51'44"E	71.85'	75.45'
C3	38°18'00"	25.00'	N66°08'01"E	16.40'	16.71'
C4	22°23'27"	267.00'	S83°31'16"E	103.68'	104.34'
C5	31°45'04"	1089.78'	S1°48'33"W	596.22'	603.91'
C6	8°58'48"	2000.00'	N9°34'29"W	313.14'	313.46'
C7	2°31'44"	2000.00'	N12°48'01"W	88.27'	88.28'
C8	6°27'04"	2000.00'	N8°18'37"W	225.07'	225.18'
C9	0°40'44"	2070.00'	S5°25'27"E	24.53'	24.53'
C10	8°58'48"	2070.00'	S9°34'29"E	324.10'	324.44'
C11	3°40'04"	2070.00'	S7°35'51"E	132.49'	132.51'
C12	3°53'22"	2070.00'	S11°22'34"E	140.49'	140.52'
C13	0°44'38"	2070.00'	S13°41'34"E	26.88'	26.88'
C14	31°44'21"	788.00'	N88°11'42"W	430.95'	436.51'
C15	15°55'13"	100.00'	N6°06'16"W	27.70'	27.79'
C16	26°21'18"	505.50'	S89°06'46"W	230.48'	232.52'
C17	1°56'57"	1243.15'	S16°42'33"W	42.29'	42.29'
C18	1°59'04"	1254.28'	S16°41'33"W	43.44'	43.44'
C19	15°55'13"	300.00'	S83°53'44"W	83.09'	83.36'
C20	9°38'48"	500.00'	N87°01'56"E	84.08'	84.18'
C21	22°19'49"	295.00'	N86°37'33"W	114.25'	114.97'
C22	0°38'37"	1141.78'	S17°21'46"W	12.82'	12.82'
C23	87°29'54"	25.00'	N60°47'25"E	34.58'	38.18'
C24	31°45'04"	1115.78'	S1°48'33"W	610.44'	618.32'
C25	3°08'56"	1115.78'	S16°06'37"W	61.31'	61.32'
C26	28°36'08"	1115.78'	S0°14'05"W	551.24'	557.00'
C27	87°29'29"	25.00'	N31°42'54"W	34.57'	38.18'
C28	9°38'51"	1141.78'	N7°12'25"E	192.03'	192.25'
C29	14°07'27"	70.00'	S78°19'16"E	17.21'	17.26'
C30	22°38'33"	70.00'	N83°17'44"E	27.48'	27.66'
C31	24°59'26"	70.00'	N59°28'44"E	30.29'	30.53'
C32	90°00'00"	18.00'	N59°03'53"W	25.46'	28.27'
C33	90°00'00"	18.00'	S30°56'07"W	25.46'	28.27'
C34	90°00'00"	18.00'	N59°03'53"W	25.46'	28.27'
C35	90°00'00"	18.00'	S30°56'07"W	25.46'	28.27'
C36	90°00'00"	18.00'	S59°03'53"E	25.46'	28.27'
C37	90°00'00"	18.00'	S30°56'07"W	25.46'	28.27'
C38	90°00'00"	18.00'	N30°56'07"E	25.46'	28.27'
C39	90°00'00"	18.00'	S59°03'53"E	25.46'	28.27'
C40	10°09'48"	326.00'	S81°01'01"W	57.75'	57.83'
C41	56°14'03"	18.00'	N57°58'54"E	16.97'	17.67'
C42	13°00'45"	72.00'	S36°22'15"W	16.32'	16.35'
C43	56°33'54"	18.00'	N14°35'41"E	17.06'	17.77'
C44	31°59'27"	18.00'	N26°52'54"E	9.92'	10.05'
C45	24°34'26"	18.00'	N1°24'03"W	7.66'	7.72'
C46	0°22'37"	1967.00'	N13°52'34"W	12.94'	12.94'
C47	0°25'52"	2033.00'	N13°50'57"W	15.30'	15.30'
C48	54°26'22"	18.00'	S40°51'12"E	16.47'	17.10'
C49	40°39'40"	72.00'	N47°44'33"W	50.03'	51.10'
C50	60°43'57"	18.00'	S57°46'41"E	18.20'	19.08'
C51	8°39'21"	274.00'	S80°15'48"W	41.36'	41.39'

CURVE TABLE					
CURVE NO.	DELTA	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C52	3°51'52"	274.00'	S77°52'03"W	18.48'	18.48'
C53	4°47'29"	274.00'	S82°11'44"W	22.91'	22.91'
C54	66°29'09"	18.00'	N62°09'57"W	19.73'	20.89'
C55	37°01'32"	72.00'	S47°26'08"E	45.72'	46.53'
C56	56°33'54"	18.00'	N37°39'58"W	17.06'	17.77'
C57	3°56'52"	1967.00'	N7°24'35"W	135.50'	135.53'
C58	4°21'11"	2033.00'	S7°15'40"E	154.42'	154.46'
C59	54°26'22"	18.00'	S17°46'55"W	16.47'	17.10'
C60	13°52'43"	72.00'	S38°03'45"W	17.40'	17.44'
C61	60°43'57"	18.00'	S61°29'22"W	18.20'	19.08'
C62	9°38'48"	526.00'	S87°01'56"W	88.46'	88.56'
C63	22°19'49"	269.00'	N86°37'33"W	104.18'	104.84'
C64	9°38'48"	474.00'	N87°01'56"E	79.71'	79.81'
C65	2°14'18"	474.00'	S89°15'49"E	18.52'	18.52'
C66	6°04'21"	474.00'	N86°34'52"E	50.21'	50.24'
C67	1°20'09"	474.00'	N82°52'37"E	11.05'	11.05'
C68	22°19'49"	321.00'	N86°37'33"W	124.32'	125.11'
C69	7°01'15"	321.00'	N85°43'10"E	39.31'	39.33'
C70	1°57'37"	321.00'	N89°47'24"W	10.98'	10.98'
C71	7°50'28"	321.00'	N84°53'21"W	43.90'	43.93'
C72	2°14'30"	321.00'	N79°50'52"W	12.56'	12.56'
C73	2°14'06"	321.00'	N77°36'34"W	12.52'	12.52'
C74	1°01'53"	321.00'	N75°58'35"W	5.78'	5.78'
C75	0°39'11"	1141.78'	S2°03'24"W	13.01'	13.01'
C76	0°39'03"	1141.78'	S1°24'17"W	12.97'	12.97'
C77	90°00'00"	18.00'	S59°03'53"E	25.46'	28.27'
C78	90°00'00"	18.00'	S30°56'07"W	25.46'	28.27'
C79	81°22'16"	18.00'	N35°14'59"E	23.47'	25.56'
C80	96°54'07"	18.00'	N55°36'50"W	26.94'	30.44'
C81	4°59'13"	2103.00'	S9°39'23"E	182.98'	183.04'
C82	88°05'06"	18.00'	N31°53'34"E	25.03'	27.67'
C83	3°54'45"	2037.00'	S7°02'27"E	139.07'	139.09'
C84	0°21'10"	2037.00'	S9°10'24"E	12.55'	12.55'
C85	0°21'10"	2037.00'	S9°31'34"E	12.54'	12.54'
C86	4°21'44"	2037.00'	S11°53'01"E	155.05'	155.08'
C87	2°53'26"	800.50'	N77°22'50"E	40.38'	40.39'
C88	3°34'43"	800.50'	N80°36'55"E	49.99'	50.00'
C89	3°34'43"	800.50'	N84°11'39"E	49.99'	50.00'
C90	0°55'50"	800.50'	N86°26'55"E	13.00'	13.00'
C91	3°35'33"	800.50'	N88°42'36"E	50.18'	50.19'
C92	3°34'43"	800.50'	N87°42'15"W	49.99'	50.00'
C93	3°34'43"	800.50'	N84°07'32"W	49.99'	50.00'
C94	3°34'43"	800.50'	N80°32'48"W	49.99'	50.00'
C95	3°34'43"	800.50'	N76°58'05"W	49.99'	50.00'
C96	2°51'11"	800.50'	N73°45'08"W	39.86'	39.86'
C97	31°44'21"	800.50'	N88°11'42"W	437.79'	443.44'
C98	31°44'18"	775.50'	N88°11'44"W	424.11'	429.58'
C99	4°57'08"	775.50'	N78°24'41"E	67.01'	67.03'
C100	4°44'43"	775.50'	N83°15'37"E	64.21'	64.23'
C101	1°41'47"	775.50'	N86°28'52"E	22.96'	22.96'
C102	4°14'28"	775.50'	N89°27'00"E	57.39'	57.40'

CURVE TABLE					
CURVE NO.	DELTA	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C103	4°14'28"	775.50'	N86°18'33"W	57.39'	57.40'
C104	4°14'28"	775.50'	N82°04'05"W	57.39'	57.40'
C105	4°14'28"	775.50'	N77°49'38"W	57.39'	57.40'
C106	3°22'52"	775.50'	N74°00'58"W	45.76'	45.76'
C107	10°20'24"	903.30'	N87°30'24"W	162.79'	163.02'
C108	3°11'37"	900.30'	S88°54'53"W	50.18'	50.18'
C109	3°34'43"	903.30'	N87°42'15"W	56.41'	56.42'
C110	3°34'43"	903.30'	N84°07'32"W	56.41'	56.42'
C111	26°05'50"	1141.78'	S1°01'04"E	515.58'	520.06'
C112	13°25'25"	1141.78'	N5°37'57"W	266.89'	267.50'
C113	9°41'52"	675.50'	S80°47'03"W	114.20'	114.33'
C114	4°57'08"	675.50'	N78°24'41"E	58.37'	58.39'
C115	4°44'43"	675.50'	N83°15'37"E	55.93'	55.95'
C116	20°20'42"	675.50'	N82°29'53"W	238.60'	239.86'
C117	4°14'28"	675.50'	N89°27'00"E	49.99'	50.00'
C118	4°14'28"	675.50'	S86°18'33"E	49.99'	50.00'
C119	4°14'28"	675.50'	S82°04'05"E	49.99'	50.00'
C120	4°14'28"	675.50'	S77°49'38"E	49.99'	50.00'
C121	3°22'52"	675.50'	S74°00'58"E	39.86'	39.86'
C122	15°42'25"	628.00'	S81°05'09"W	171.62'	172.16'
C123	11°26'09"	628.00'	N83°31'04"W	125.14'	125.35'
C124	4°52'02"	628.00'	S75°39'58"W	53.33'	53.35'
C125	5°31'50"	628.00'	S80°51'53"W	60.59'	60.62'
C126	5°18'34"	628.00'	S86°17'05"W	58.17'	58.19'
C127	5°14'06"	628.00'	N86°37'06"W	57.36'	57.38'
C128	6°12'03"	628.00'	N80°54'01"W	67.93'	67.97'
C129	15°55'13"	87.50'	N6°06'16"W	24.23'	24.31'
C130	15°10'31"	112.50'	N5°43'55"W	29.71'	29.80'
C131	25°05'43"	518.00'	S88°28'59"W	225.07'	226.88'
C132	2°09'51"	518.00'	N77°01'03"E	19.57'	19.57'
C133	5°31'50"	518.00'	N80°51'53"E	49.98'	50.00'
C134	5°37'19"	518.00'	N86°26'28"E	50.81'	50.83'
C135	1°13'00"	518.00'	N89°51'37"E	11.00'	11.00'
C136	5°31'50"	518.00'	S86°45'58"E	49.98'	50.00'
C137	5°01'53"	518.00'	S81°29'06"E	45.47'	45.49'
C138	24°45'22"	493.00'	S88°18'48"W	211.36'	213.01'
C139	3°03'08"	493.00'	S77°27'41"W	26.26'	26.26'
C140	5°54'06"	493.00'	S81°56'18"W	50.76'	50.78'
C141	5°49'41"	493.00'	S87°48'12"W	50.13'	50.15'
C142	1°54'59"	493.00'	N88°19'28"W	16.49'	16.49'
C143	8°03'28"	493.00'	N83°20'14"W	69.28'	69.33'
C144	90°00'00"	18.00'	S30°56'07"W	25.46'	28.27'
C145	90°00'00"	18.00'	S59°03'53"E	25.46'	28.27'
C146	90°00'00"	18.00'	N59°03'53"W	25.46'	28.27'
C147	90°00'00"	18.00'	N30°56'07"E	25.46'	28.27'
C148	90°00'00"	18.00'	S59°03'53"E	25.46'	28.27'
C149	90°00'06"	18.00'	N30°56'04"E	25.46'	28.27'
C150	0°28'03"	1141.78'	N13°49'58"W	9.32'	9.32'
C151	0°37'38"	1141.78'	S13°17'07"E	12.50'	12.50'
C152	0°37'39"	1141.78'	S12°39'28"E	12.50'	12.50'
C153	51°21'54"	18.00'	N50°15'10"E	15.60'	16.14'

CURVE TABLE					
CURVE NO.	DELTA	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C154	29°58'28"	18.00'	N9°34'59"E	9.31'	9.42'
C155	90°00'00"	18.00'	S59°03'53"E	25.46'	28.27'
C156	2°02'22"	1266.78'	S16°39'54"W	45.09'	45.09'

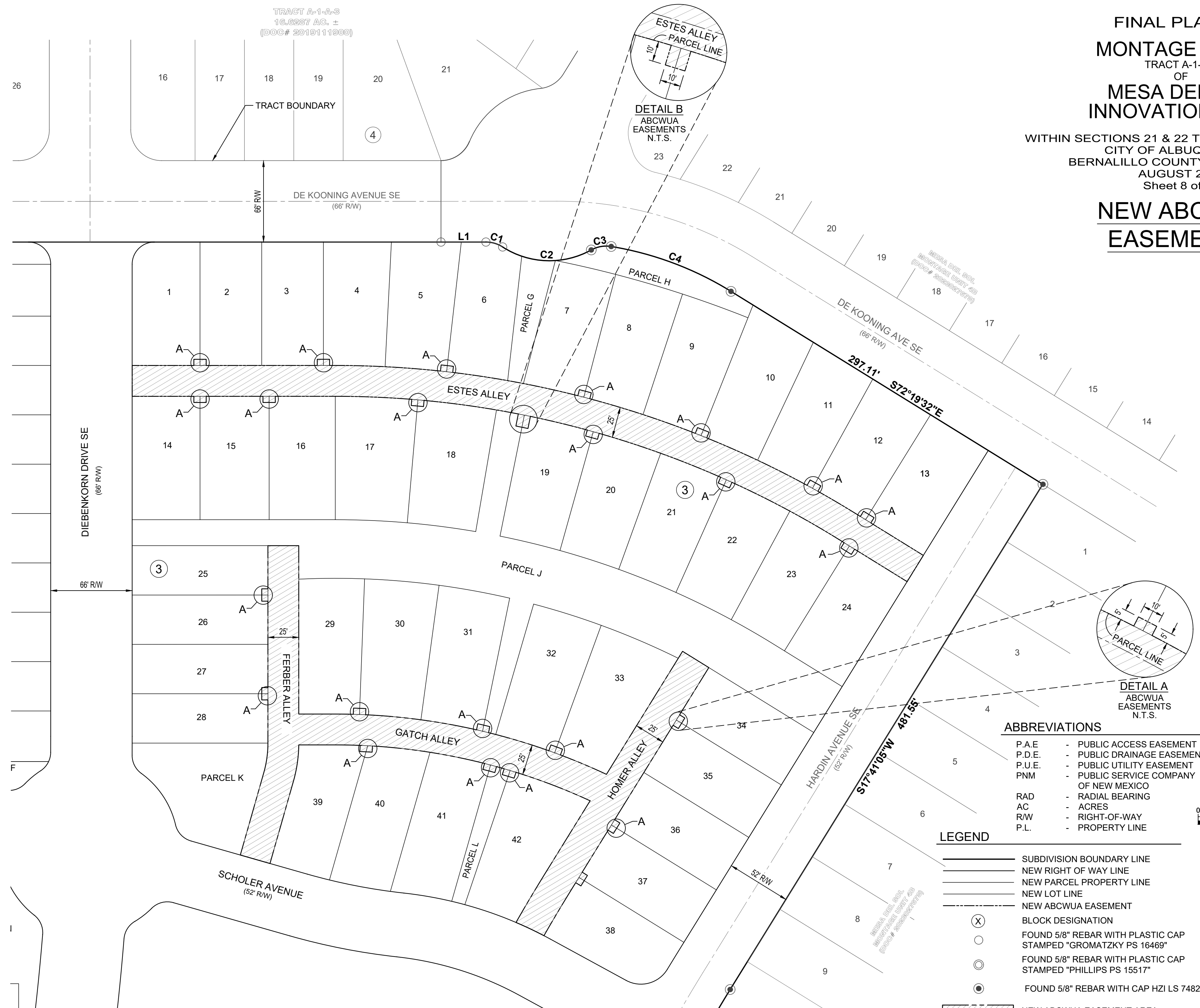
LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	N75°56'07"E	36.38'
L2	N14°03'53"W	11.04'
L3	S75°56'07"W	42.11'
L4	S75°56'07"W	16.44'
L5	S75°56'07"W	19.88'
L6	S72°19'32"E	21.02'
L7	N14°03'53"W	18.00'
L8	N14°03'53"W	18.00'
L9	N14°03'53"W	18.00'
L10	S14°03'53"E	18.00'
L11	S14°03'53"E	18.00'
L12	N75°56'10"E	15.53'
L13	N75°56'07"E	9.61'
L14	N07°39'50"E	11.12'

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L15	S72°19'32"E	10.12'
L16	N72°19'32"W	10.12'

FINAL PLAT OF
MONTAGE UNIT 5
 TRACT A-1-A-2
 OF
**MESA DEL SOL
 INNOVATION PARK**

WITHIN SECTIONS 21 & 22 T. 9 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2024
 Sheet 8 of 13

**NEW ABCWUA
 EASEMENTS**

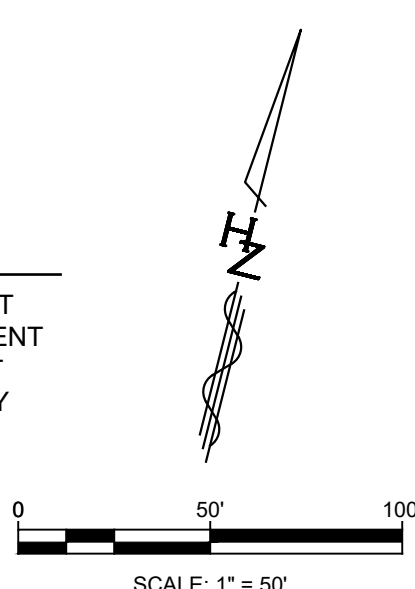
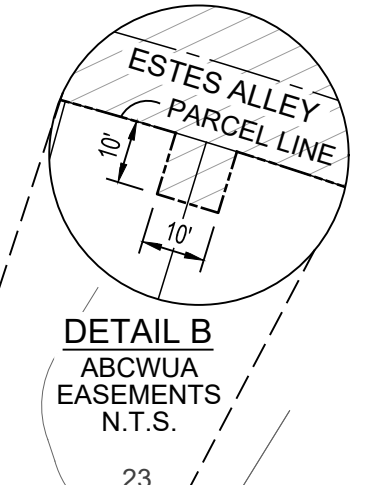
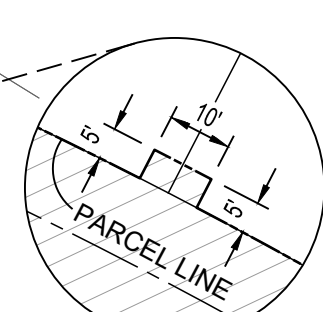


ABBREVIATIONS

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- P.L. - PROPERTY LINE

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW RIGHT OF WAY LINE
- NEW PARCEL PROPERTY LINE
- NEW LOT LINE
- NEW ABCWUA EASEMENT
- BLOCK DESIGNATION
- FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "GROMATZKY PS 16469"
- FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "PHILLIPS PS 15517"
- FOUND 5/8" REBAR WITH CAP HZI LS 7482
- NEW ABCWUA EASEMENT AREA



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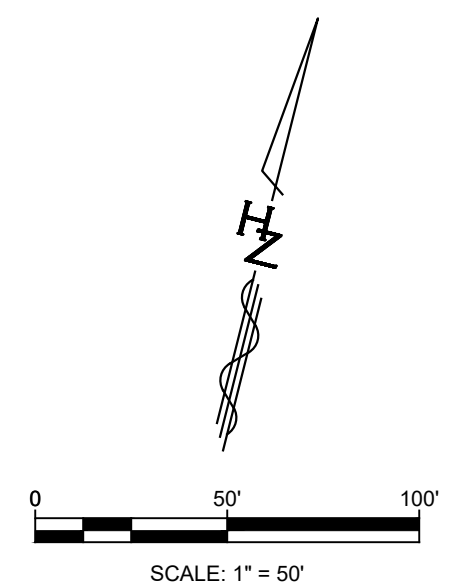
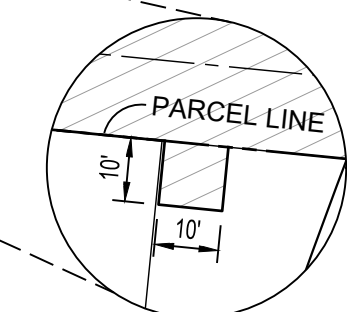
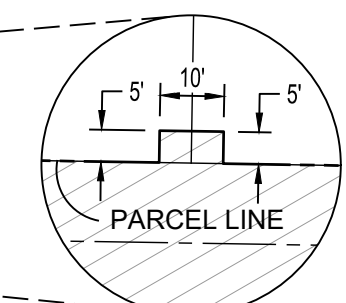
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SEE SHEET 9

FINAL PLAT OF
MONTAGE UNIT 5
 TRACT A-1-A-2
 OF
**MESA DEL SOL
 INNOVATION PARK**

WITHIN SECTIONS 21 & 22 T. 9 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2024
 Sheet 9 of 13

**NEW ABCWUA
 EASEMENTS**



- LEGEND**
- SUBDIVISION BOUNDARY LINE
 - NEW RIGHT OF WAY LINE
 - NEW PARCEL PROPERTY LINE
 - NEW LOT LINE
 - - - - - NEW ABCWUA EASEMENT
 - (X) BLOCK DESIGNATION
 - FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "GROMATZKY PS 16469"
 - ⊙ FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "PHILLIPS PS 15517"
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 - ▨ NEW ABCWUA EASEMENT AREA

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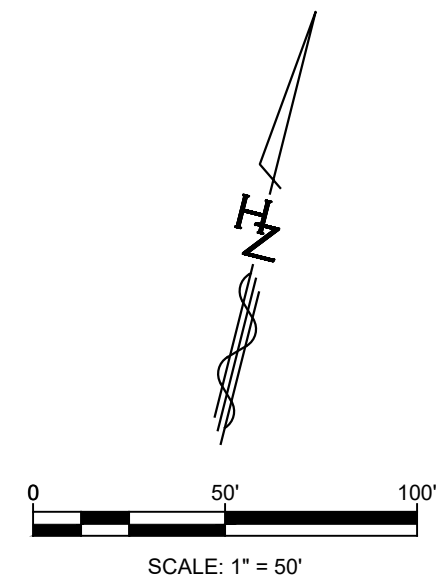
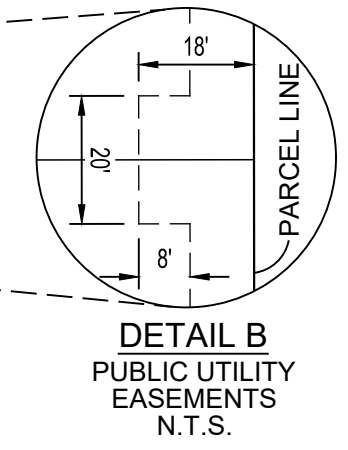
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FINAL PLAT OF
MONTAGE UNIT 5
 TRACT A-1-A-2
 OF
**MESA DEL SOL
 INNOVATION PARK**

WITHIN SECTIONS 21 & 22 T. 9 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2024
 Sheet 10 of 13

**NEW PUBLIC UTILITY
 EASEMENTS**



LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW RIGHT OF WAY LINE
- NEW PARCEL PROPERTY LINE
- NEW LOT LINE
- - - NEW PNM / PUBLIC UTILITY EASEMENT
- - - NEW PUBLIC UTILITY EASEMENT
- (X) BLOCK DESIGNATION
- (O) FOUND 5/8" REBAR WITH PLASTIC CAP
STAMPED "GROMATZKY PS 16469"
- (O) FOUND 5/8" REBAR WITH PLASTIC CAP
STAMPED "PHILLIPS PS 15517"
- (O) FOUND 5/8" REBAR WITH CAP HZI LS 7482

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TRACTS 10
 8,288.4 AC. ±
 (DOC# 2022014343)

N14°03'53"W 1279.97'
 PARCEL M

SEE SHEET 11

SEE SHEET 12

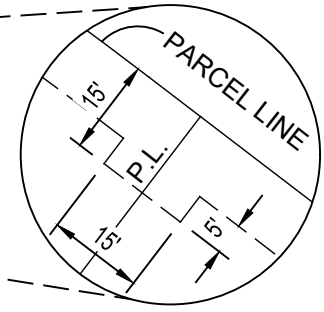
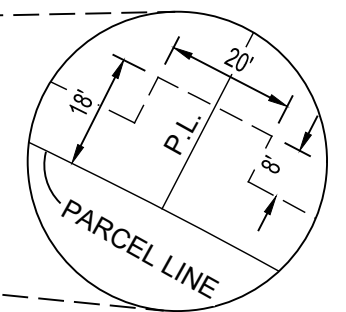
FINAL PLAT OF
MONTAGE UNIT 5
 TRACT A-1-A-2
 OF
**MESA DEL SOL
 INNOVATION PARK**

WITHIN SECTIONS 21 & 22 T. 9 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2024
 Sheet 11 of 13

**NEW PUBLIC UTILITY
 EASEMENTS**

SEE SHEET 10

SEE SHEET 13



LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW RIGHT OF WAY LINE
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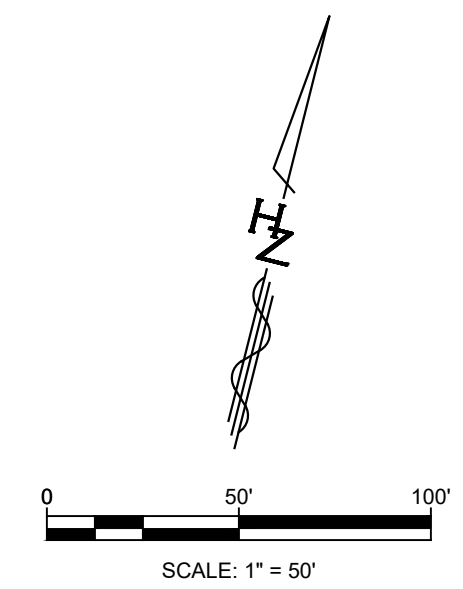
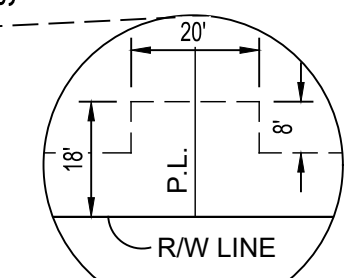
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FINAL PLAT OF
MONTAGE UNIT 5
 TRACT A-1-A-2
 OF
**MESA DEL SOL
 INNOVATION PARK**

WITHIN SECTIONS 21 & 22 T. 9 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2024
 Sheet 12 of 13

**NEW PUBLIC UTILITY
 EASEMENTS**



- LEGEND**
- SUBDIVISION BOUNDARY LINE
 - NEW RIGHT OF WAY LINE
 - NEW PARCEL PROPERTY LINE
 - NEW LOT LINE
 - - - NEW PNM / PUBLIC UTILITY EASEMENT
 - - - NEW PUBLIC UTILITY EASEMENT
 - (X) BLOCK DESIGNATION
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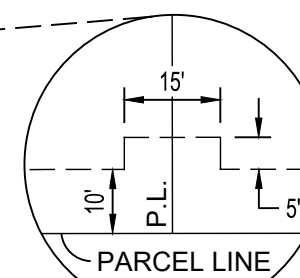
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SEE SHEET 11

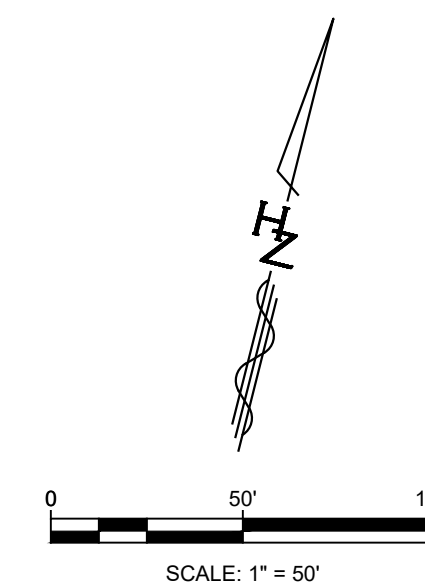
FINAL PLAT OF MONTAGE UNIT 5 OF MESA DEL SOL INNOVATION PARK

TRACT A-1-A-2
WITHIN SECTIONS 21 & 22 T. 9 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2024
Sheet 13 of 13

NEW PUBLIC UTILITY EASEMENTS



DETAIL A
PUBLIC UTILITY
EASEMENTS
N.T.S.



LEGEND

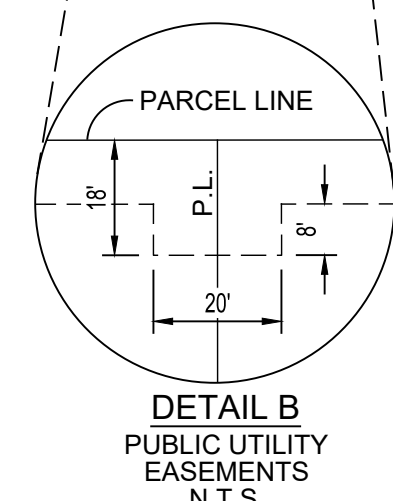
- SUBDIVISION BOUNDARY LINE
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HUITT-ZOLLARS
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DETAIL B
PUBLIC UTILITY
EASEMENTS
N.T.S.

SEE SHEET 12

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TRACT 18
1,210.8994 AC. ±
(DOC# 2022014945)

FUTURE
HARDIN
AVENUE SE
(52' R/W)

S75°56'07"W 929.47'

STRYKER ROAD SE
(66' R/W)

STRYKER ROAD SE
(66' R/W)

FUTURE
DIEBENKORN
DRIVE SE
(66' R/W)

PUBLIC ACCESS, DRAINAGE,
WATER UTILITY AUTHORITY
WATER & SEWER EASEMENT

100.71'
S14°03'59"E

MESA DEL SOL
MONTAGE UNIT 4B
(DOC# 202302777)

HARDIN AVENUE SE
(52' R/W)

DIEBENKORN DRIVE SE
(66' R/W)

PARCEL U

KATZEN ALLEY

JAFFEE ALLEY

TRACT A

10' TYP

10'

10'

10'

10'

52' R/W

10'

10'

10'

66' R/W

66' R/W

10' TYP

66' R/W



September 11, 2024

DHO Chairman
City of Albuquerque
Planning Department
600 Second Street NW
Albuquerque, NM 87102

RE: Final Plat Submittal
Item 6 Perimeter Wall

Dear DHO Chairman,

Design elevations & cross sections of perimeter walls are not included with the Final Plat Submittal because a perimeter wall will not be constructed.

If you have any questions feel free to call me at 505-235-7211.

Sincerely,
Huitt-Zollars, Inc.

A handwritten signature in blue ink that reads 'Scott Eddings'.

Scott Eddings, PE
Vice President



INFRASTRUCTURE IMPROVEMENTS AGREEMENT
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE INFRASTRUCTURE IMPROVEMENTS

Project Name: Montage 5
Project Number: 775444

THIS AGREEMENT is made upon the date of the latest signature below, by and between the City of Albuquerque, New Mexico ("City"), whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and **Titan Montage 5, LLC** ("Developer"), a **New Mexico company**, whose email address is **bpatterson@titan-development.com**, whose address is **6300 Riverside Plaza Ln NW, Suite 200 Albuquerque, NM** (City, State), **87120** (Zip Code) and whose telephone number is **(505) 998-0163**, in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. **Recital**. The Developer is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as **Tract A-One-A-Two (A-1-A-2), of MESA DEL SOL INNOVATION PARK, of the Bulk Land Plat, Tracts A-6-C-1, A-1-A-1, A-1-A-2, A-1-A-3, A-1-A-4 and A-1-A-5, (A Replat of Tract A-6-C Per Plat of Tracts A-6-A, A-6-B and A-6-C Mesa Del Sol Innovation Park, Being a Replat of Tract A-6, Mesa Del Sol Innovation Park, and Tract A-1-A, Bulk Land Plat Tracts 28 and A-1-A, Mesa del Sol Innovation Park)**, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on **December 31, 2019** in Plat Book **2019C**, Page **146** as **Document No. 2019111900** in the records of the Bernalillo County Clerk, State of New Mexico (the "Developer's Property"). The Developer certifies that the Developer's Property is owned by **Titan Montage 5, LLC** ("Owner").

The Developer has submitted and the City has approved a Site Plan identified as **Montage 5** describing Developer's Property ("Developer's Property"). If this Agreement is for a "Phase" as identified on the Infrastructure List, then the Phase shall be added to the Preliminary Plat or Site Plan identified above.

As a result of the development of the Developer's Property, the Integrated Development Ordinance ("I.D.O.") requires the Developer, at no cost to the City, to install certain public and/or private improvements, which are reasonably related to the development of the Developer's Property, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the Final Plat, Building Permit or the Site Plan.

2. **Improvements and Construction Deadline**. The Developer agrees to install and complete the public and/or private improvements described in **Exhibit A**, the required Infrastructure List ("Improvements"), to the satisfaction of the City, on or before the Construction Completion Deadline as shown in paragraph 6, at no cost to the City. All of the improvements on Exhibit A are to be included in this Agreement, unless the Development

Review Board (DRB) has approved phasing of the improvements, or the DRB has approved them as “Deferred” and they are shown in greater detail on the Developer's proposed and approved plans, which have been filed with the City Engineer.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Developer meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See DPM, Chapter 5.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the City's Development Review Board (“DRB”), unless the DRB grants an extension, not to exceed one additional year per extension, and the Developer processes an amendment to the Agreement. If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Developer may obtain an extension of the Construction Completion Deadline if the Developer shows adequate reason for the extension.

3. Albuquerque Bernalillo County Water Utility Authority (“ABCWUA”) and Albuquerque Metropolitan Arroyo Flood Control Authority (“AMAFCA”). Pursuant to the Memorandum of Understanding between the City of Albuquerque and ABCWUA dated March 21, 2007, and the Memorandum of Understanding with AMAFCA dated February 6, 2013, the City is authorized to act on behalf of the ABCWUA and AMAFCA with respect to improvements that involve water and sewer infrastructure.

4. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Developer causes to be submitted all documents, and meets all requirements listed in Development Process Manual (“DPM”), Chapter 2, Work Order Process.

B. The Developer complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

Type of Fee	Amount
Engineering Fee	3.6%
Street Excavation and Barricading Ordinance and street restoration fees	As required per City-approved estimate (Figure 4)

Note: The Developer must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

C. The Developer must procure a New Mexico licensed Contractor to construct the

improvements per the specifications contained in the City-approved construction drawings. The Contractor shall provide proof of proper licensure to complete the improvements. If the Contractor that has been identified by the Developer does not possess all of the proper licenses for the improvements then proof of proper licensure of the subcontractors must be provided. The Developer's Contractor shall obtain a Performance & Warranty bond and a Labor & Materials bond utilizing the bond templates provided and approved by the City. The mandatory bonds obtained by the Contractor are independent of, and in addition to, the Financial Guaranty provided by the Developer. If the Developer or the City determines that the Contractor failed to faithfully construct or maintain the specified and warranted work, the Developer and the City shall each have standing to make claim on the applicable bonds.

5. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the Improvements shall be performed by New Mexico Registered Surveyor. The City may monitor the construction surveying and the Developer shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey.

B. Construction Inspection Methods. Inspection of the construction of the Improvements shall be performed by a New Mexico Registered Professional Engineer with the ability to make in-person observations of the improvements. The City may monitor the inspection and the Developer shall ensure that the inspecting entity provides all inspection results, reports and related data as required for project close out, and a Certification of Substantial Compliance for the project to the City, which the City requires for review and approval. The City retains the right to perform its own general overall inspection of the construction project at any time prior to/and including final acceptance of the Improvements.

C. Field Testing. Field testing of the construction of the Improvements shall be performed by a certified testing laboratory under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. The City may monitor the field testing and the Developer shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review.

D. Additional Testing. The City retains the right to request additional testing which the City Engineer deems is necessary or advisable, and the Developer shall pay the cost for the additional testing.

6. Financial Guaranty. If final plat approval is not requested prior to construction of the Developer's Property, a financial guaranty is not required. If final plat approval is requested, the Developer must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The

financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit, or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the City's I.D.O. requirements, the Developer has acquired, or is able to acquire, the following Financial Guaranty:

Type of Financial Guaranty: **Letter of Credit**

Amount: **\$9,792,211.93**

Name of Financial Institution or Surety providing Guaranty: **Enterprise Bank and Trust**

Date City first able to call Guaranty (Construction Completion Deadline): **November 7, 2025**

If Guaranty is a Letter of Credit or Loan Reserve, then last day City able to call Guaranty is: **January 7, 2026**

Additional information: _____

7. Notice of Start of Construction. Before construction begins, the Developer shall arrange for a preconstruction conference and all required inspections.

8. Completion, Acceptance and Termination. When the City receives Developer's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Chapter 2). If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the Public Improvements and a Certificate of Completion for the Private Improvements. Thereafter, the Developer's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Developer has provided to assure the materials and workmanship, as required by the I.D.O. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

9. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon, or in which, the public Improvements are constructed, the Developer will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat.

10. Reduction of Financial Guaranty Upon Partial Completion. The Developer shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Developer must follow the procedures and meet the requirements

detailed in the DPM, Chapter 2.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guaranty other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed, and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the Developer must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the I.D.O.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

11. Indemnification. Until the Improvements are accepted by the City, the Developer shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Developer agrees to indemnify and hold harmless the City and its officials, agents and employees and, if the Improvements include water and wastewater infrastructure, the ABCWUA, its employees, officers and agents, from any claims, actions, suits or other proceedings arising from or out of the acts or omissions of the Developer, its agents, representatives, contractors or subcontractors or arising from the failure of the Developer, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer herein. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

12. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Developer and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

13. Release. If the Developer's Property or any part thereof is sold, conveyed or assigned, the City will not release the Developer from its obligations under this Agreement and will continue to hold the Developer responsible for all Improvements until a successor in interest

to the Developer has entered into an Infrastructure Improvement Agreement with the City. Thereafter, if the Developer's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

14. Payment for Incomplete Improvements. If the Developer fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Developer shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to, engineering, legal, and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Developer's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Developer shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

15. Binding on Developer's Property. The provisions of this Agreement constitute covenants running with Developer's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Developer and the Owner and their heirs, successors and assigns.

16. Notice. For purposes of giving formal written notice, including notice of change of address, the Developer's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six (6) days after the notice is mailed if there is no actual evidence of receipt.

17. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

18. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

19. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

20. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

21. Form Not Changed. Developer agrees that changes to this form are not binding unless initialed by the Developer and signed by the City Legal Department on this form.

22. Authority to Execute. If the Developer signing below is not the Owner of the Developer's Property, the Owner must execute the Power of Attorney below.

CITY OF ALBUQUERQUE:

DS
KV DS
jmw

DocuSigned by:
By: Shahab Biazar
C7E1CB5481E9486
Shahab Biazar, P.E., City Engineer

Agreement is effective as of (Date): 4/1/2024 | 1:02 PM MDT

CITY'S NOTARY

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this 1st day of April, 2024, by Shahab Biazar, P.E., City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

Rachael Miranda
Notary Public

(SEAL
STATE OF NEW MEXICO
NOTARY PUBLIC
Rachael Miranda
Commission No. 1119740
November 09, 2025

My Commission Expires: 11-9-2025

[EXHIBIT A ATTACHED]

INFRASTRUCTURE LIST

EXHIBIT "B"

Montage Unit 5

PROPOSED NAME OF SITE DEVELOPMENT PLAN

Tract A-1-A-2

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SA Sequence #	COA BLDG PERMIT #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Chair Engineer
		66' ROW	Pavement Section: (2) 14' Shared Lane (2) 9' Parking Lane (2) Standard Curb and Gutter (2) Landscape Buffer (2) 6' Sidewalk	Deberkorn Drive SE	de Kooring Loop SE	Slyker Road SE	/	/	/
		52' ROW	Pavement Section: (2) 14' Shared Lane (2) Standard Curb and Gutter (2) 6' Landscape Buffer (2) 6' Sidewalk	Chicago Road SE	de Kooring Loop SE	Slyker Road SE	/	/	/
		45' ROW	Pavement Section: (2) 14' Shared Lane (2) Standard Curb and Gutter (2) 2.5' Landscape Buffer (2) 6' Sidewalk	Clifton Drive SE	de Kooring Loop SE	Scholar Avenue SE	/	/	/
		52' ROW	Pavement Section: (2) 14' Shared Lane (2) Standard Curb and Gutter (2) 6' Landscape Buffer (2) 6' Sidewalk	Scholar Avenue SE	Chicago Road SE	Hardin Drive SE	/	/	/

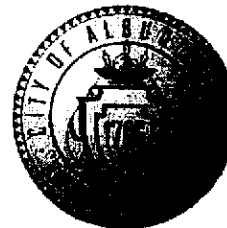
COA BLDG PERMIT #	SEA Sequence #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
		52' ROW	*****ROADWAY***** Pavement Section: (2) 14' Shared Lane (2) Standard Curb and Gutter (2) 6' Landscape Buffer (2) 6' Sidewalk	Houser Avenue SE	Chicago Road SE	Diablenkom Drive SE	/	/	/
		52' ROW	Pavement Section: (2) 14' Shared Lane (2) Standard Curb and Gutter (2) 6' Landscape Buffer (2) 6' Sidewalk	Gorman Avenue SE	Chicago Road SE	Diablenkom Drive SE	/	/	/
		66' ROW	Pavement Section: (2) 14' Shared Lane (2) 9' Parking Lane (2) Standard Curb and Gutter (2) Landscape Buffer (2) 6' Sidewalk	Stryker Road SE	Chicago Road SE	Hardin Drive SE	/	/	/
		8"	*****WATER***** Waterline w/Appurtenances	Chicago Road SE	de Kooning Loop SE	Stryker Road SE	/	/	/
		8"	Waterline w/Appurtenances	Galpin Drive SE	de Kooning Loop SE	Scholar Avenue SE	/	/	/
		10"	Waterline w/Appurtenances	Diablenkom Drive SE	Stiegilz Ave SE	Stryker Road SE	/	/	/
		8"	Waterline w/Appurtenances	Scholar Avenue SE	Chicago Road SE	Hardin Drive SE	/	/	/
		8"	Waterline w/Appurtenances	Houser Avenue SE	Chicago Road SE	Diablenkom Drive SE	/	/	/
		8"	Waterline w/Appurtenances	Gorman Avenue SE	Chicago Road SE	Diablenkom Drive SE	/	/	/
		12"	Waterline w/Appurtenances	Stryker Road SE	Chicago Road SE	Hardin Drive SE	/	/	/
		8"	Waterline w/Appurtenances	Alley E	Diablenkom Drive SE	Hardin Drive SE	/	/	/
		8"	Waterline w/Appurtenances	Alley F	Alley G	Scholar Avenue SE	/	/	/
		8"	Waterline w/Appurtenances	Alley G	Alley F	Alley H	/	/	/

COA BLDG PERMIT #	SIA Sequence #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
		8"	Waterline w/Appurtenances *****WATER*****	Alley H	Lot 34	Scholar Avenue SE	/	/	/
		8"	Waterline w/Appurtenances	Alley J	Diebenkom Drive SE	Hardin Drive SE	/	/	/
		8"	Waterline w/Appurtenances	Alley K	Diebenkom Drive SE	Hardin Drive SE	/	/	/
		8"	Sanitary Sewer Line and Manholes *****SEWER*****	Chicago Road SE	da Kooning Loop SE	Stryker Road SE	/	/	/
		8"	Sanitary Sewer Line and Manholes	Gilpin Drive SE	da Kooning Loop SE	Scholar Avenue SE	/	/	/
		10"	Sanitary Sewer Line and Manholes	Diebenkom Drive SE (Note 2)	Sitegitz Ave SE	Stryker Road SE	/	/	/
		8"	Sanitary Sewer Line and Manholes	Scholar Avenue SE	Chicago Road SE	Diebenkom Drive SE	/	/	/
		8"	Sanitary Sewer Line and Manholes	Scholar Avenue SE	Alley H	Hardin Drive	/	/	/
		8"	Sanitary Sewer Line and Manholes	House Avenue SE	Chicago Road SE	Diebenkom Drive SE	/	/	/
		8"	Sanitary Sewer Line and Manholes	Gorman Avenue SE	Chicago Road SE	Diebenkom Drive SE	/	/	/
		8"	Sanitary Sewer Line and Manholes	Stryker Road SE	Chicago Road SE	Hardin Drive SE	/	/	/
		8"	Sanitary Sewer Line and Manholes	Alley E	Diebenkom Drive SE	Lot 20 Block 3	/	/	/
		8"	Sanitary Sewer Line and Manholes	Alley E	Lot 21 Block 3	Hardin Drive	/	/	/
		8"	Sanitary Sewer Line and Manholes	Alley F	Lot 25	Alley G	/	/	/
		8"	Sanitary Sewer Line and Manholes	Alley G	Alley F	Alley H	/	/	/
		8"	Sanitary Sewer Line and Manholes	Alley H	Lot 34	Scholar Avenue SE	/	/	/

COA BLDG PERMIT #	SIA Sequence #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Crest Engineer
		8"	Sanitary Sewer Line and Manholes *****SEWER*****	Alley J	Diabentorn Drive SE	Hardin Drive SE	/	/	/
		6"	Reuse Water Line w/Appurtenances *****REUSE WATER LINE*****	Diabentorn Drive SE (serves Park and Open Spaces)	de Koonting Loop SE	Stryker Road SE	/	/	/
		16"	Reuse Water Line w/Appurtenances *****INTERSECTION LIGHTING*****	Chicago Road SE	Chicago Road SE	Stryker Road SE	/	/	/
			Intersection Street Lighting with all appurtenances (pulleboxes, conduits, transformer, etc)	Chicago Road SE	Chicago Road SE	Scholar Avenue SE	/	/	/
			Street Lighting with all appurtenances (pulleboxes, conduits, transformer, etc)	Chicago Road SE - Midblock	Houser Avenue SE	Gorman Avenue SE	/	/	/
			Intersection Street Lighting with all appurtenances (pulleboxes, conduits, transformer, etc)	Chicago Road SE	Chicago Road SE	Stryker Road SE	/	/	/
			Intersection Street Lighting with all appurtenances (pulleboxes, conduits, transformer, etc)	Diabentorn Drive SE	Diabentorn Drive SE	Scholar Avenue SE	/	/	/
			Intersection Street Lighting with all appurtenances (pulleboxes, conduits, transformer, etc)	Diabentorn Drive SE	Diabentorn Drive SE	Gorman Avenue SE	/	/	/
			Intersection Street Lighting with all appurtenances (pulleboxes, conduits, transformer, etc)	Chicago Road SE	Chicago Road SE	Janson Street SE	/	/	/
			Intersection Street Lighting with all appurtenances (pulleboxes, conduits, transformer, etc)	Scholar Avenue SE	Scholar Avenue SE	Gilpin Drive SE	/	/	/
			Street Lighting with all appurtenances (pulleboxes, conduits, transformer, etc)	Houser Avenue SE - Midblock	Chicago Road SE	Diabentorn Drive SE	/	/	/
			Street Lighting with all appurtenances (pulleboxes, conduits, transformer, etc)	Gorman Avenue SE - Midblock	Chicago Road SE	Diabentorn Drive SE	/	/	/
			Street Lighting with all appurtenances (pulleboxes, conduits, transformer, etc)	Stryker Road SE - Midblock	Chicago Road SE	Diabentorn Drive SE	/	/	/
			Intersection Street Lighting with all appurtenances (pulleboxes, conduits, transformer, etc)	Stryker Road SE	Stryker Road SE	Diabentorn Drive SE	/	/	/

COA BLDG PERMIT #	SIA Sequence #	Size	Type of Improvement *****DRAINAGE*****	Location	From	To	Private Inspector	City Inspector	City Civil Engineer
			Pond B Grading	Chicago Road SE	North of Styker Road		/	/	/
			Pond B Stabilization	Chicago Road SE	North of Styker Road		/	/	/
			Pond B Grading	Chicago Road SE	North of Styker Road		/	/	/
			Pond C Stabilization	Chicago Road SE	North of Styker Road		/	/	/
		36"	Storm Drain 1	Scholer Ave	Pond B	Lot 40 Block 3	/	/	/
		18"	Storm Drain 2	Chicago Road SE	Houser Ave SE	Pond C	/	/	/
		36"	Storm Drain 3	Corman Ave	Pond C	Chicago Inlets	/	/	/
		36"	Connector Pipe	Pond B/C	Pond B	Pond C	/	/	/

CITY OF ALBUQUERQUE



FINANCIAL GUARANTY AMOUNT

December 21, 2023

Type of Estimate: I.I.A. Procedure B with FG

Project Description:

Project ID #: 775444 Montage Unit 5

Requested By: Scott Eddings

Approved Estimate Amount: \$ 6,093,055.25

Contingency Amount: 10.00% \$ 609,305.53

Subtotal: \$ 6,702,360.78

PO Box 1293

NMGRT: 7.625% \$ 511,055.01

Subtotal: \$ 7,213,415.78

Albuquerque

Engineering Fee: 6.60% \$ 476,085.44

New Mexico 87103

Testing Fee: 2.00% \$ 144,268.32

Subtotal: \$ 7,833,769.54

www.cabq.gov

FINANCIAL GUARANTY RATE: 1.25

TOTAL FINANCIAL GUARANTY REQUIRED: \$ 9,792,211.93

APPROVAL:

A handwritten signature in black ink, appearing to be "Scott Eddings", written over a horizontal line.

DATE:

Dec. 21, 2023

Notes: Plans not yet approved.



CONFIDENTIAL

IRREVOCABLE STANDBY LETTER OF CREDIT NO.: 200-2147

DATE: February 28, 2024

BENEFICIARY:

City of Albuquerque
Attn: Shahab Biazar, City Engineer
(or other authorized City designee)
600 2nd Street NW
Albuquerque, NM 87102

APPLICANT:

Titan Montage 5, LLC
6300 Riverside Plaza Ln NW
Suite 200
Albuquerque, NM 87120

AMOUNT: USD9,792,211.93 (Nine Million Seven Hundred Ninety Two Thousand Two Hundred Eleven and 93/100 United States Dollars)

EXPIRATION DATE: January 7, 2026

PLACE OF EXPIRY: our counters at Enterprise Bank & Trust, 7445 Pan American Fwy NE, Albuquerque, NM 87109, Attn: International Banking Department

Re: Letter of Credit for Titan Montage 5, LLC [Developer's name as stated in Infrastructure Improvements Agreement:]
City of Albuquerque Project No.: 775444
Project Name: Montage Unit 5

To Whom it May Concern:

This letter is to advise the City of Albuquerque, a New Mexico municipal corporation ("City") that, at the request of Titan Montage 5, LLC ("Developer"), Enterprise Bank & Trust, ("Bank") has established an Irrevocable Letter of Credit in the sum of Nine Million Seven Hundred Ninety Two Thousand Two Hundred Eleven and 93/100 United States Dollars (USD9,792,211.93) ("Letter of Credit") for the exclusive purpose of providing the financial guarantee, which the City requires Titan Montage 5, LLC to provide for the installation of the improvements, which must be constructed at Montage Unit 5, Tract A-1-A-2, City Project no. 775444 ("Project"). The amount of the Letter of Credit is 125% of the City's estimated cost of construction of improvements as required by the City's Integrated Development Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Developer, which was recorded on [date, leave blank] __, _____ in the records of the Clerk of Bernalillo County, New Mexico in Book Misc. [leave blank] _____, at pages [leave blank] __ to [leave blank] __, as amended ("Agreement").

A payment request (hereinafter, "draft" or "drafts") for any amount up to, but not in excess of Nine Million Seven Hundred Ninety Two Thousand Two Hundred Eleven and 93/100 United States Dollars (USD9,792,211.93) shall be honored at sight at Enterprise Bank & Trust, 7445 Pan American Fwy NE, Albuquerque, NM 87109, Attn: International Banking Department, between November 7, 2025 [Construction Completion Deadline date established in Agreement] and January 7, 2026.

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IRREVOCABLE STANDBY LETTER OF CREDIT NO.: 200-2147

When presented to Bank for negotiation, the draft(s) is/are to be accompanied by the City's notarized certification stating: "1) Titan Montage 5, LLC [Developer] has failed to comply with the terms of the Agreement; 2) the undersigned is the Chief Administrative Officer of the City of Albuquerque and is authorized to sign this certification; and 3) the amount of the draft does not exceed 125% of the City's estimated cost of completing the improvements specified in the Agreement."

We hereby agree with the City that draft(s) drawn under and in compliance with the terms of this credit that such draft(s) will be duly honored upon presentation to the Bank if negotiated between November 7, 2025 [Construction Completion Deadline date established in Agreement] and January 7, 2026.

The draft(s) drawn under this credit must contain the clause: "Drawn under Letter of Credit No. 200-2147 of Enterprise Bank & Trust, Kansas City, MO, dated February 28, 2024" and the original Letter of Credit must be endorsed on the reverse side with the amount of each draft. This Letter of Credit must accompany each draft and be attached to the final draft which exhausts this credit.

This Letter of Credit for the benefit of the City of Albuquerque shall be irrevocable until:

1. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
2. City notification of [Developer] Titan Montage 5, LLC's failure to comply with the terms of the Agreement, and payment by Certified Check from Enterprise Bank & Trust to the City of Albuquerque of 125% of the City's estimated costs of completing the improvements specified in the Agreement; or
3. Expiration of the date January 7, 2026; or
4. Written termination of this Letter of Credit by the City of Albuquerque, signed by its Chief Administrative Officer.

This Letter of Credit will terminate at 3:00 o'clock p.m., New Mexico time, January 7, 2026.

This credit is subject to the Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600.



ORIGINAL FILE

PAGE 3

IRREVOCABLE STANDBY LETTER OF CREDIT NO.: 200-2147

Enterprise Bank & Trust

By: [Signature]
Print Name: Angelina Grado Juarez, CDCS
Title: Vice President
Date: February 28, 2024

Contact information:
International Banking Department
1737 Main Street
Kansas City, MO 64108
Tel: 816-714-1850
Fax: 816-756-5314
SWIFT: ENTRUS44

ACCEPTED:
CITY OF ALBUQUERQUE

By: _____
Shahab Biazar,
City Engineer

Date: _____

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PAGE 3

IRREVOCABLE STANDBY LETTER OF CREDIT NO.: 200-2147

Enterprise Bank & Trust

By: *[Signature]*
Print Name: Angelina Grado Juarez, CDCS
Title: Vice President
Date: February 28, 2024

Contact information:
International Banking Department
1737 Main Street
Kansas City, MO 64108
Tel: 816-714-1850
Fax: 816-756-5314
SWIFT: ENTRUS44

ACCEPTED:
CITY OF ALBUQUERQUE

DocuSigned by:

Shahab Biazar

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By: _____
Shahab Biazar,
City Engineer



4/1/2024 | 1:02 PM MDT

Date: _____

This document consists of 3 page(s)



**REAL ESTATE INVESTING
+ DEVELOPMENT EXPERTISE**

September 11, 2024

City of Albuquerque
Planning Department
415 Silver Ave SW
Albuquerque, NM 87102

Re: Agent Authorization Letter – Montage Unit 5 (Tracts A-1-A-2 of Mesa Del Sol Innovation Park)
within Sections 21 & 22 T. 9 N., R. 3 E., N.M.P.M, Albuquerque, Bernalillo County, New Mexico

To Whom It May Concern,

Titan Montage 5, LLC hereby appoints Huitt-Zollars, Inc. (HZ) as agent to act on its behalf in the application process, of the above-mentioned property, in order to obtain information, submit entitlements, permit applications, surveys, plats, and any other necessary approvals to the City, its DHO/DFT, and/or Bernalillo County.

Sincerely,

A handwritten signature in black ink, appearing to read "BP", with a long horizontal line extending to the right.

Brian Patterson, Partner, on behalf of
Titan Property Management, LLC, as Manager of
TITAN MONTAGE 5, LLC (Owner)

NEW MEXICO
6300 Riverside Plaza, Ste. 200
Albuquerque, NM 87120

TEXAS
4903 Woodrow Ave, Bldg A
Austin, TX 78756

TITAN DEVELOPMENT

www.titan-development.com

September 10, 2024

DHO Chairman
City of Albuquerque
Planning Department
600 Second Street NW
Albuquerque, NM 87102

RE: Final Plat Submittal
PR-2021-005745
Preliminary Plat Application # SD-2023-00143

Dear DHO Chairman,
Huitt-Zollars, Inc. on behalf of Titan Montage 5, LLC requests approval of Montage 5 Final Plat. Construction is in progress with an anticipated work order completion date in mid-December. Below is an excerpt from the Official DHO Notice of Decision and response.

On September 13, 2023, the Development Hearing Officer (DHO) held a public hearing concerning the above referenced application and approved the request, based on the following Findings:

1. This Preliminary Plat request is to subdivide existing tract (Tract A-1-A-2 Mesa del Sol Innovation Park) into 186 lots, 23 parcels, and 12 alley tracts, and grant easements as depicted on the Plat.
Final Plat Comment
The Final Plat subdivides Tract A-1-A-2 into 167 lots, 1 Tract, 21 parcels and 6 alley parcels. The Final Plat and Preliminary Plat layout are consistent but we found inconsistency in the Preliminary Plat texts.
2. The property is zoned PC. Future development must be consistent with the Mesa del Sol Master Plan/Framework Plan.
Final Plat Comment
Future residential house plans require submission to Mesa Del Sol Architectural Control Committee for approval prior to submission for building permit.
3. An Infrastructure List was approved with this Plat. A recorded Infrastructure Improvements Agreement (IIA) based on the DFT-approved Infrastructure List must be submitted prior to the acceptance of the Final Plat and placement on a DHO agenda.
Final Plat Comment
The Infrastructure Improvements Agreement for this project as recorded at the Office of Bernalillo County Clerk is included with this Final Plat Submittal.
4. The applicant provided the required notice as outlined in the IDO Table 6-1-1.
Final Plat Comment
No Comment.

5. Per Table 6-4-3 of the IDO, the Preliminary Plat will expire if a Final Plat is not submitted within 1-year of this DHO approval.

Final Plat Comment

This Final Plat submittal on September 11, 2024 is prior to the one-year expiration of the Preliminary Plat DHO approval on September 13, 2023.

6. The review and decision criteria for a Preliminary Plat were met per 6-6(L)(3) of the IDO.

Conditions:

The Plat is conditioned by DFT staff as follows:

- a. The correct application number must be added to the Infrastructure List.

Final Plat Comment

The correct application number is on the Infrastructure List.

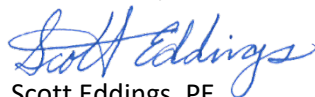
- b. Existing/proposed easements must be added to the Plat.

Final Plat Comment

Existing and proposed easements are shown on the Final Plat.

If you have any questions feel free to call me at 505-235-7211.

Sincerely,
Huitt-Zollars, Inc.



Scott Eddings, PE
Vice President

August 25, 2023

DHO
City of Albuquerque
600 2nd St NW
Albuquerque, Nm 87102

**RE: Sensitive Lands Site Analysis
Mesa Del Sol Montage Unit 5**

Dear Chairman,

Montage Unit 5 within Mesa Del Sol does not have any sensitive land features.

IDO 5-2(C) SITE DESIGN TO AVOID SENSITIVE LANDS

5-2(C)(1) Both the subdivision and site design processes shall begin with an analysis of site constraints related to sensitive lands. The site analysis shall be included with applications for Subdivision or Site Plan. The site analysis shall be reviewed by relevant staff from Hydrology, Parks and Recreation, Historic Preservation, the City Forrester, and/or the City Archaeologist, depending on the type(s) of sensitive lands identified on the site. 5-2(C)(2) New subdivisions of land and site design shall avoid locating development, except for open spaces and areas that will not be disturbed during the development process, in the following types of sensitive lands:

5-2(C)(2)(a) Arroyos.

There are not any arroyos within the project boundary. See attached Sensitive Lands Analysis Exhibit.

5-2(C)(2)(b) Floodplains and Special Flood Hazard Areas.

The project is not within a floodplain or special flood hazard area.

5-2(C)(2)(c) Irrigation facilities (acequias).

There are not any irrigation facilities thru or adjacent to the project boundary.

5-2(C)(2)(d) Large stands of mature trees.

There are not any strands of mature trees within or adjacent to the project boundary. See attached Sensitive Lands Analysis Exhibit.

5-2(C)(2)(e) Riparian areas.

There are no riparian areas within or adjacent to the project boundary.

5-2(C)(2)(f) Rock outcroppings.

There are no rock outcroppings within or adjacent to the project boundary.

5-2(C)(2)(g) Significant archaeological sites.

There are no significant archaeological sites within or adjacent to the project boundary. The City's Archeological consultant, Lone Mountain has examined the site.

5-2(C)(2)(h) Steep slopes and escarpments.

There are no steep slopes or escarpments within or adjacent to the project boundary.

5-2(C)(2)(i) Wetlands.

There are no wetlands within or adjacent to the project boundary.

We greatly appreciate your time and consideration. Please contact me if you have any questions.

Sincerely,



Scott Eddings, PE
Project Manager

Attachments: Sensitive Lands Analysis Exhibit

MDS SKETCH
MONTAGE 5 & 6
SENSITIVE LANDS ANALYSIS EXHIBIT

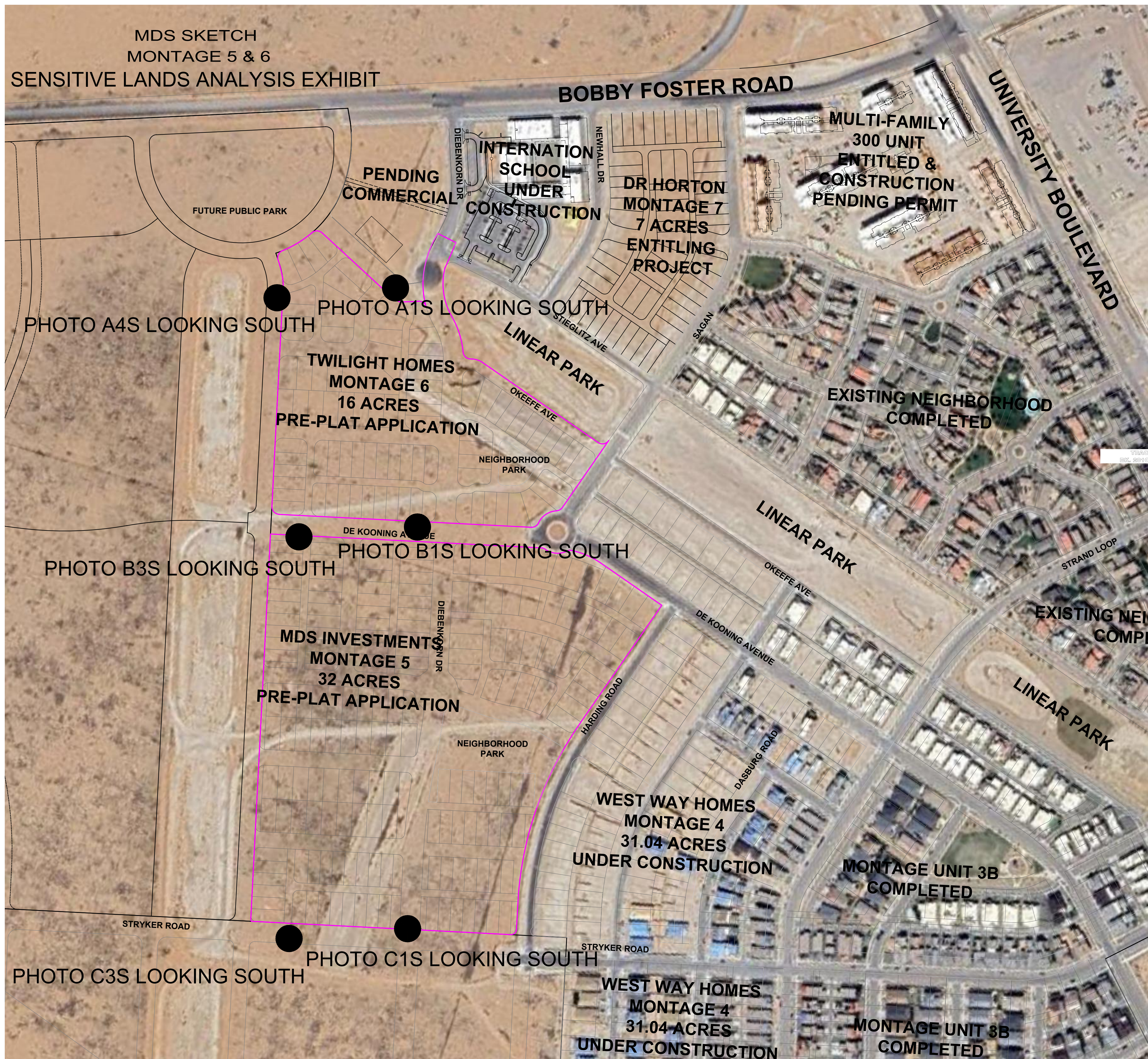


PHOTO A4S
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PHOTO A1S
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PHOTO B3S
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