

KEYED NOTES - SITE PLAN

1. KNOX BOX, RECESS MOUNT, SERIES 3200, BLACK, COORDINATE FINAL LOCATION WITH FIRE MARSHAL.
2. NEW CONCRETE PAVING. REFER TO CIVIL PAVING PLAN.
3. ASPHALT PAVING. REFER TO CIVIL PAVING PLAN.
4. PAINTED CROSSWALK. REFER TO CIVIL PAVING PLAN.
5. CONCRETE ACCESSIBLE CURB RAMP. REFER TO CIVIL PAVING PLAN.
6. 6" HIGH PERFORATED METAL GARDEN WALL.
7. EXISTING ACCELERATION LANE.
8. EXISTING CONCRETE SIDEWALK.
9. SITE LIGHTING. REFER TO ES-101.
10. ADA ASSIST DOOR OPERATOR BUTTON. REFER TO ELECTRICAL & SPECIAL SYSTEMS.
11. MANHOLE COVER. REFER TO CIVIL.
12. FIRE HYDRANT. REFER TO CIVIL.
13. ELECTRICAL TRANSFORMER LOCATION. REFER TO ES-101.
14. WATER METER. REFER TO CIVIL.
15. GAS METER. REFER TO PLUMBING.
16. LANDSCAPE HOTBOX. REFER TO LANDSCAPE.
17. SPLIT-FACED, INTEGRALLY COLORED CMU, REFUSE CONTAINER AND ENCLOSURE. REFER TO B1AS112.
18. LANDSCAPE/SWALE. REFER TO CIVIL.
19. DOOR ACCESS CARD READER.
20. DRAINAGE INLET. REFER TO CIVIL.

KEYED NOTES - SITE PLAN

21. VESTIBULE.
22. SITE SIGNAGE. REFER TO A3AS111 FOR SPECIFIC SIGN TYPES.
23. POST INDICATOR VALVE.
24. ADA FLUSH ACCESS WALK. REFER TO CIVIL PAVING PLAN.
25. 6" HIGH METAL MESH GATE WITH CYBER LOCK. REFER TO A6 & B6AS112.
26. FDC/SMSE CONNECTION.
27. DUAL VEHICLE CHARGING STATION. REFER TO ELECTRICAL.
28. BICYCLE RACK. REFER TO A4AS111.
29. PAINT CURB RED.
30. 6" HIGH CURB & GUTTER. REFER TO CIVIL PAVING PLAN.
31. 6" HIGH CURB WITH CONCRETE WALL FOR LIGHT STANDARD.
32. PATIENT DROP-OFF PORTE COCHERE.
33. GENERATOR. REFER TO ELECTRICAL.
34. GEORGIA MOUNTED MECHANICAL UNITS. REFER TO MECHANICAL.
35. 5 1/2" DIAMETER, 10 MPH, REMOVABLE BOLLARD, BOD TRAFFIC GUARD 304 STAINLESS STEEL (REFER TO B1AS112).
36. 8" HIGH X 3'-0" WIDE, DECORATIVE METAL GATE WITH CYBER LOCK.
37. NOT USED.
38. NOT USED.

KEYED NOTES - SITE PLAN

40. CLEAR SIGHT TRIANGLE - LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENT. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
41. EXISTING PROPERTY LINE.
42. NEW, 2-STORY, 34,900 SF MEDICAL OFFICE BUILDING.
43. SUBTYPICAL WALLS.
44. 8'-0" HIGH, INTEGRALLY COLORED (STARLIGHT) CMU SCREEN WALL. REFER TO C6AS112.
45. 8'-0" HIGH, INTEGRALLY COLORED (STARLIGHT) CMU & PERFORATED METAL SCREENED EQUIPMENT YARD. REFER TO A1AS113.
46. ELECTRICAL TRANSFORMER. REFER TO ELECTRICAL.
47. NOT USED.
48. EXISTING MEDIAN CURB.
49. BEAR ARROYO BIKE TRAIL & ACCESS.
50. ROOF TOP MECHANICAL UNITS.

KEYED NOTES - SITE PLAN

51. NOT USED.
52. BENCH SEATING.
53. 6'-0" HIGH METAL FENCE. REFER TO A6 & B6AS112.
54. NEW PROPERTY LINE PER ROW DEDICATION PLAT # PR-2021-005746/SD-2021-00202.
55. EXISTING LANDSCAPE BUFFER.

GENERAL NOTES

- A) SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- B) SEE SHEETS A5111, A5112, A5113 & A5114 FOR SITE DETAILS.
- C) ALL SITE LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9. AREA LIGHTING REGULATIONS REFER TO C3AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. REFER TO SHEETS E-101 AND E-102.
- D) UNLESS NOTED OTHERWISE, ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE. REFER TO PLAN FOR WIDTHS.
- E) UNLESS NOTED OTHERWISE, ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING.
- F) IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON PAVEMENT.
- G) ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. REFER TO A8AS111.

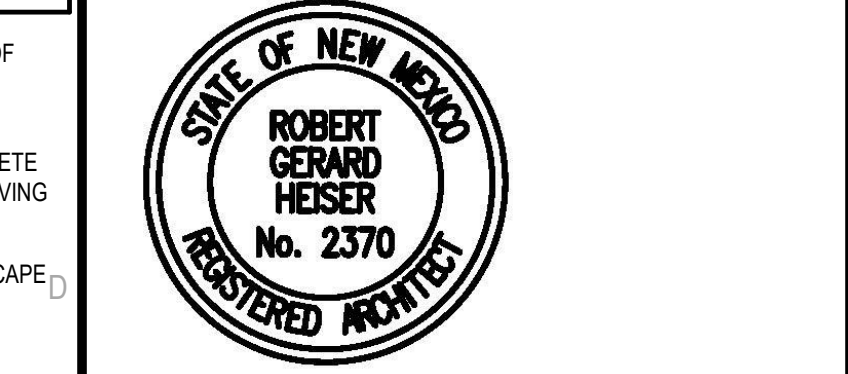


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NOTE:
THE INFORMATION ON THE MOST CURRENTLY DATED SHEET PRESIDES

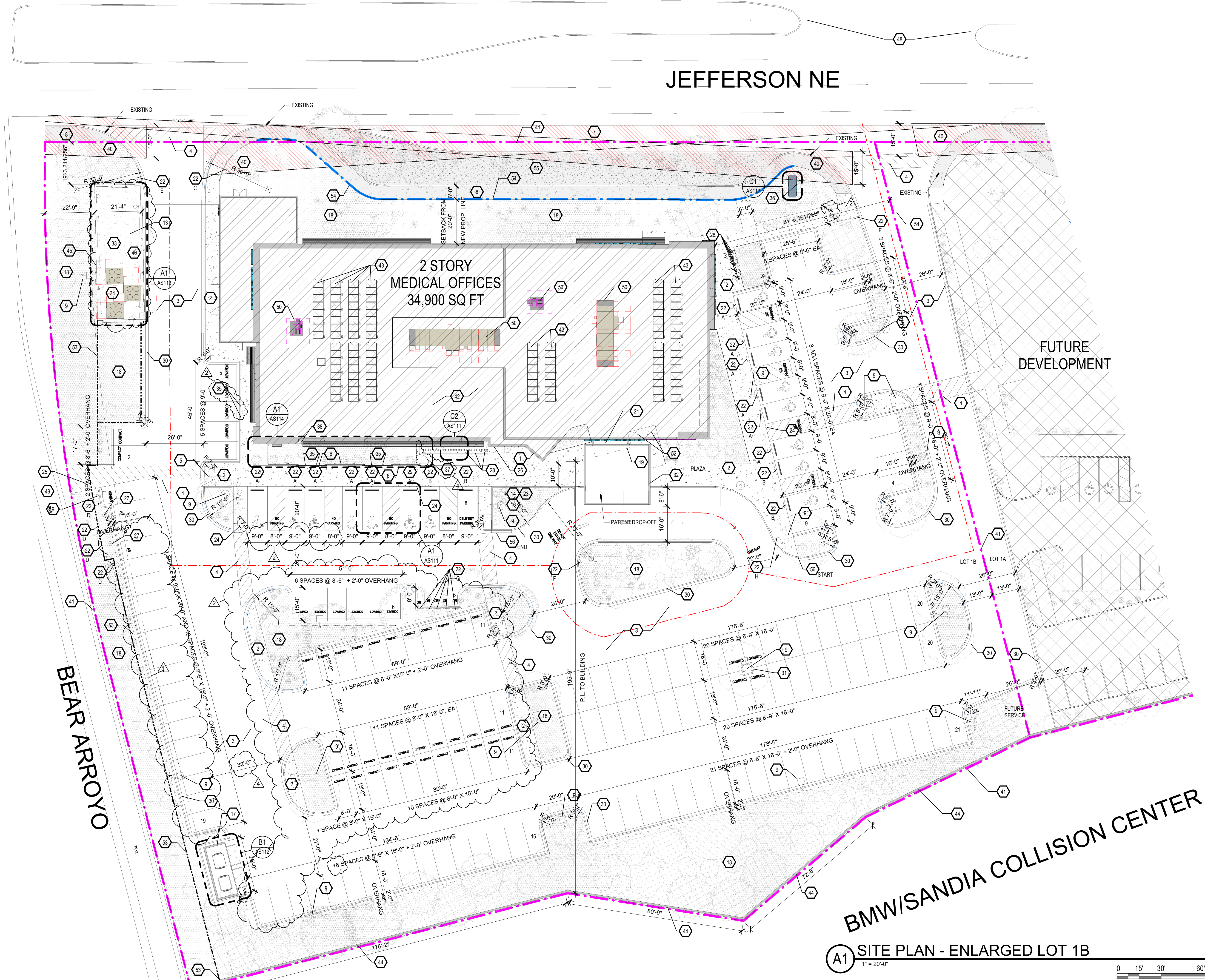
No	Date	Description
1	03/21/2022	ASI 001
2	04/15/2022	ASI 002
4	06/01/2022	ASI 004

Revision Schedule	
ISSUE:	SHELL PERMIT
PROJECT NUMBER:	2120
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SHEET TITLE
SITE PLAN - ENLARGED (LOT 1B)

AS102

JEFFERSON NE



LEGEND - SITE PLAN REFER TO LANDSCAPE & CIVIL PLANS FOR ADDITIONAL LEGEND ITEMS

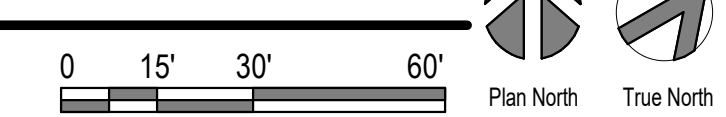
	BUILDING FOOTPRINT		FUTURE PHASE OF DEVELOPMENT
	CLEAR SIGHT TRIANGLE		EXISTING CONCRETE SIDEWALK OR PAVING
	CONCRETE SIDEWALK OR PAVING		EXISTING LANDSCAPE
	LANDSCAPED AREA		CURB
	FIRE ACCESS LANE		EXISTING PROPERTY LINE
	NEW PROPERTY LINE, PER ROW DEDICATION PLAT # SD-2021-00202		

PARKING SPACE TABULATIONS

PROPOSED	GSF: 34,900	FUTURE	GSF: 12,000 (MAXIMUM)
TOTAL	GSF: 34,900	TOTAL	GSF: 12,000
91000 FOR MEDICAL OFFICE			
TOTAL SPACES REQUIRED = 173			
TOTAL SPACES PROVIDED = 169 + 4 (EV credit) = 173			

- OFF-STREET PARKING**
10% OF OFF-STREET PARKING PROVIDED
- TYPICAL PARKING SIZES**
- 15'-0" X 20'-0" - ACCESSIBLE SPACES
 - 3'-0" X 20'-0" - STANDARD
 - 3'-0" X 20'-0" - STANDARD
 - 4'-0" X 18'-0" - STANDARD
 - 4'-0" X 16'-0" (+ 2'-0" OVERHANG) - STANDARD
 - 8'-0" X 16'-0" (+ 2'-0" OVERHANG) - STANDARD
 - 21'-0" X 18'-0" - COMPACT
 - 7'-0" X 15'-0" - COMPACT
 - 11'-0" X 15'-0" (+ 2'-0" OVERHANG) - COMPACT
 - 5'-0" X 14'-0" (+ 2'-0" OVERHANG) - COMPACT
 - 169 = 4 (EV credit) = 173
- ACCESSIBLE SPACES**
IBC TABLE 1106.1
- ACCESSIBLE SPACES REQUIRED = 6
ACCESSIBLE SPACES PROVIDED = 12 + 4 VAN = 16
- COMPACT SPACES**
25% OF TOTAL OFF STREET SPACES PROVIDED = 173 X 25% = 43
- COMPACT SPACES PERMITTED = 43
COMPACT SPACES PROVIDED = 42
- ELECTRIC VEHICLE SPACE REQUIREMENTS**
LESS THAN 200 SPACES = NO REQUIREMENT
- REQUIRED = 0
PROVIDED = 4
EV CREDIT = EACH EV SPACE = TWO PARKING SPACES
4 X 2 = 8
- MOTORCYCLE SPACES**
IDO TABLE 5-4
- MOTORCYCLE SPACES REQUIRED = 5
MOTORCYCLE SPACES PROVIDED = 5
- BICYCLE SPACES**
10% OF TOTAL OFF STREET SPACES PROVIDED = 173 X 10% = 18
- BICYCLE SPACES REQUIRED = 18
BICYCLE SPACES PROVIDED = 20

A1 SITE PLAN - ENLARGED LOT 1B
1" = 20'-0"



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