



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Jefferson 25 XRAY QOZB, LLC		Phone: (505) 259-0991
Address: 303 Roma NW # 200		Email: scott@argusinvestment.com
City: Albuquerque	State: NM	Zip: 87102
Professional/Agent (if any): STUDIO SOUTHWEST (Saige Cox / Robert Heiser)		Phone: (505) 843-9639
Address: 2101 Mountain rd., NW		Email: scox@studioswarch.com
City: Albuquerque	State: NM	Zip: 87104
Proprietary Interest in Site: Represent & manage		List all owners: Argus Investment Realty

BRIEF DESCRIPTION OF REQUEST

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SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: LOT 1-B PLAT OF LOTS 1-A, 1-B, 2-A, & 2-B, FOP ADD.	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code: 101706232011740105 10170623311484010
Zone Atlas Page(s): E-17-Z	Existing Zoning: NR-BP	Proposed Zoning: NR-BP
# of Existing Lots: 2	# of Proposed Lots: 2	Total Area of Site (acres): 4.6 acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 5900 Jefferson St., NE	Between: The Lane at 25 NE	and: Jefferson Plz, NE
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1004801 / UPC #101706232011740105 & 101706233114840107

Signature:	Date: Sept. 15, 2021
Printed Name: C. Saige Cox	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and label

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

Jefferson 25 Xray QOZB, LLC
500 4th Street NW Suite 275
Albuquerque, NM 87102
(505) 259-0991
Jeff@amcdevelopment.net

September 6, 2021

City of Albuquerque
Planning Department
Plaza del Sol Building
600 2nd NW
Albuquerque, NM 87102

Subject: 5800/5900 Jefferson St. NE, Albuquerque, NM

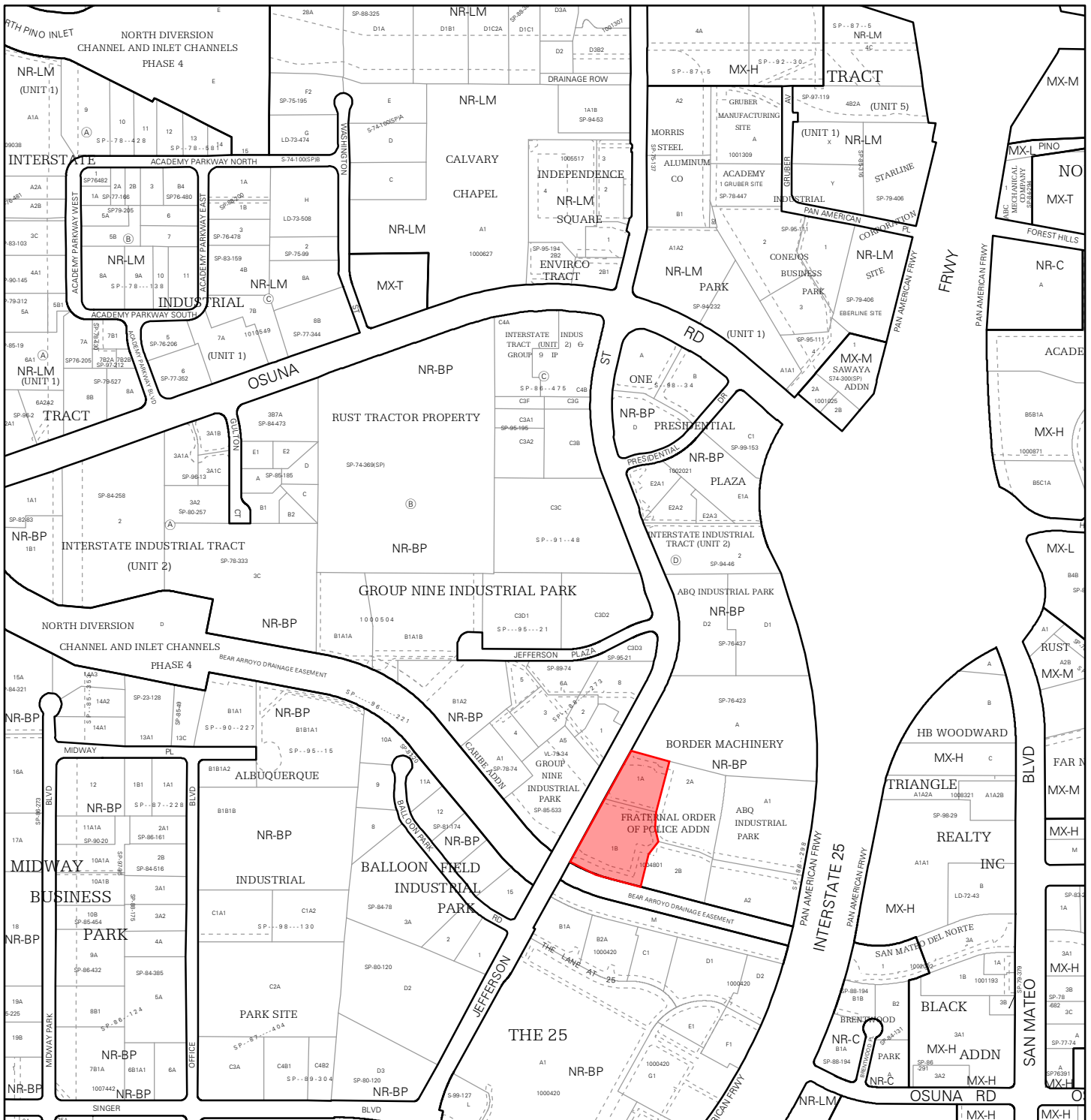
To Whom It May Concern:

Please be advised that Jefferson 25 Xray QOZB, LLC is the contract purchaser of the property located at 5800/5900 Jefferson, NE, Albuquerque, NM and hereby authorizes Robert Heiser and Saige Cox of Studio Southwest Architects to act as our agent for all matters relating to applying for and processing the development plan/plat before the City of Albuquerque. I am available at the above contact information should you have any further questions or requests.

Sincerely,



Jeffrey Jesionowski
Managing Member



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
E-17-Z

- Easement
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone
- Escarpment
- Petroglyph National Monument

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

Administrative Amendment Justification Letter
Minor Site plan amendment request
PR-2021-005746_SI-2021-01661
BP-2022-01598

May 09,2022

To whom it may concern:

We are requesting an Administrative Amendment for minor changes to our DRB site plan approved November 17, 2021.

Notable changes:

- 2(Two) Parking islands shifted 6'-0"
 - This change is the result of unavoidable/unforeseen utility complications
 - Number of parking spaces remains unchanged
 - Number of small car spaces changed from 27 to 42
 - Number of small car spaces permitted = 25% of total off street spaces provided = 173 x 25% = 43 spaces permitted
- Equipment Yard wall height has been lowered from 12'-4" to 8'-4" high
 - This change is the result of equipment being eliminated from the project
 - All of the screening criteria is still being met

6-4(Y)(2) Minor Amendments

6-4(Y)(2)(a) A minor amendment must meet all of the following criteria:

1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.

Response: True. Utilities were not in the location indicated on the survey.

2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments).

Response: True.

3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.

Response: True. No Open Space has been impacted.

4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.

Response: True. No setbacks have been adjusted or revised.

5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.

Response: True- N/A. Project does not contain any dwelling units.

6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.

Response: True. The building design has not been changed.

7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that Part 14-16-6: Administration and Enforcement 6-4(Y): Amendments of Approvals 6-4: General Procedures 6-4(Y)(2): Minor Amendments Integrated Development Ordinance 2020 IDO ANNUAL UPDATE – EFFECTIVE DRAFT JULY 2021 City of Albuquerque, New Mexico Page 429 alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.

Response: True. The landscape screening & buffering have not been changed.

8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.

Response: True. No change has been made to the traffic access.

9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.

Response: True. Major public infrastructure has not been changed.

10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.

Response: True. No specific conditions have been changed.

11. The amendment does not affect a property in an Overlay zone as regulated pursuant to O, in which case amendments may be granted per the original approval process for the Site Plan governing the site.

Response: True. The amendment request does not affect a property in an overlay zone.

12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.

Response: True. There is no change to the land use.

13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).

Response: True. The amendment does not expand/impact nonconformities.

6-4(Y)(2)(b) If the Planning Director determines that an amendment warrants review by the decision-making body that issued the permit or approval being amended, the amendment shall be reviewed and approved pursuant to Subsection 14-16-6-4(Y)(3) (Major Amendments).

6-4(Y)(2)(c) Requests to amend approvals shall be reviewed according to 1 of the following procedures:

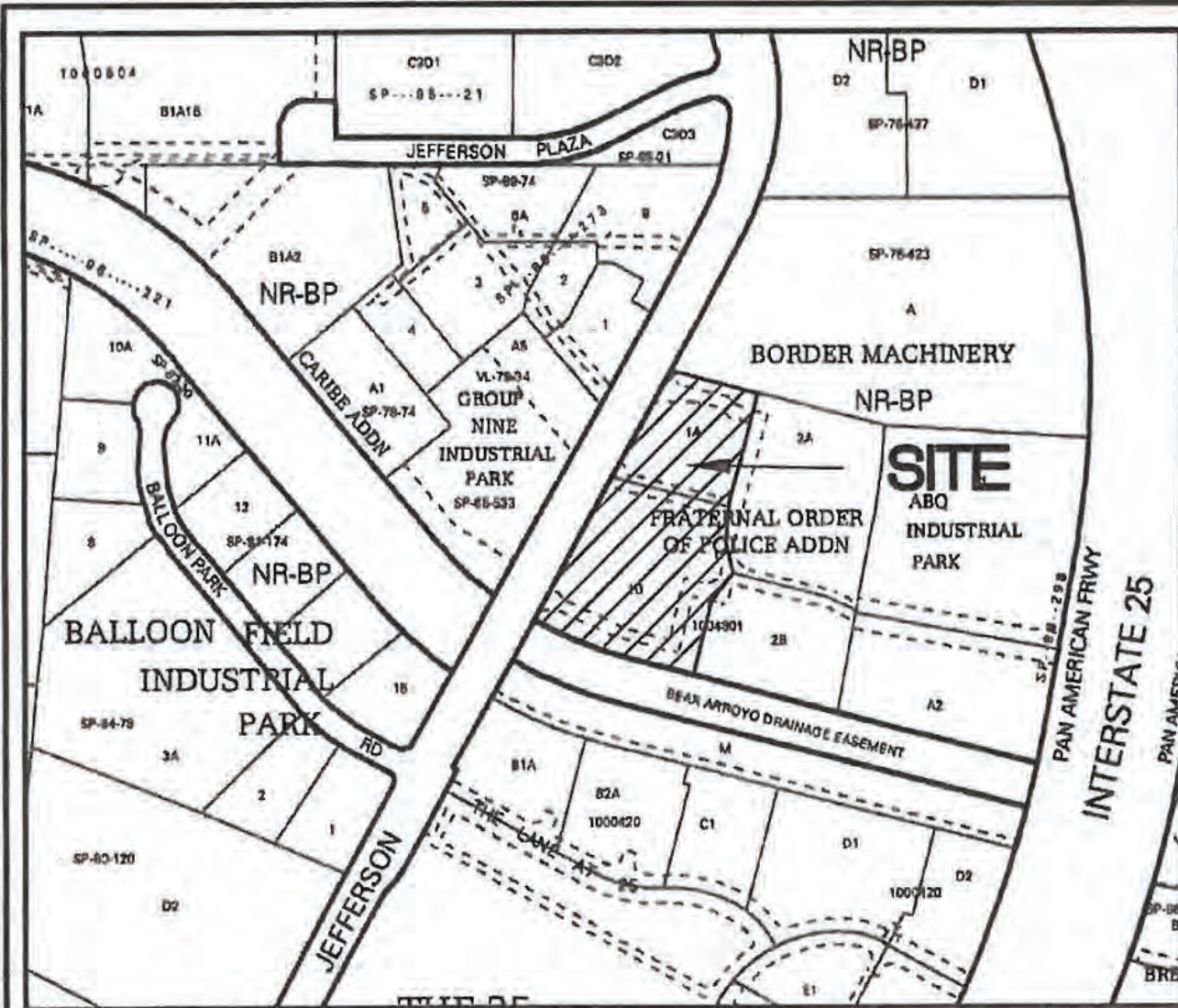
1. Applications to amend an Administrative Decision (as listed in Table 6-1-1) may be approved by the same administrative body that made the decision being modified, provided that the administrative body determines that all of the criteria in Subsection 14-16-6-4(X)(2)(a) have been met.
2. Applications to amend a Decision Requiring a Public Meeting or Hearing (as listed in Table 6-1-1) may be approved by the ZEO provided that the ZEO determines that all of the criteria in Subsection 14-16-6-4(X)(2)(a) have been met.

Table 6-4-4: Allowable Minor Amendments		
Standard	Maximum Threshold (Cumulative of Earlier Approved Deviations and/or Amendments)	
	General	Lot ≤10,000 sq. ft. in any Mixed-use or Non-residential zone district in an Area of Change
Building gross floor area	10%	
Front setback, minimum	15%	
Side setback, minimum	15%	50%
Rear setback, minimum	10%	50%
Building height, maximum	Increase: 10% Decrease: any amount	
Wall and fence height	6 in.	
Any other numerical standard	10%	
Any other addition or revision that would otherwise be decided as a Permit – Sign, Permit – Wall or Fence – Minor, or Site Plan – Administrative	Any amount that meets requirements specified in the approved Permit or Site Plan or, if the Permit or Site Plan is silent, the IDO	
All rooftop installations and ground-mounted installations of solar or wind energy generation on premises less than 5 acres	Any amount to accommodate the installation that does not affect the ability to meet requirements specified in the approved Site Plan or, if the Site Plan is silent, the IDO	
All additions or modifications of battery storage on premises less than 5 acres	Any amount to accommodate the addition that does not affect the ability to meet requirements specified in the approved Site Plan or, if the Site Plan is silent, the IDO	
Changing the site layout of an electric facility other than an electric generation facility	Any amount to accommodate the change that does not affect the ability to meet requirements specified in the approved Site Plan or, if the Site Plan is silent, the IDO	
Any standard cited in an application for “reasonable accommodation” or “reasonable modification” under the federal Fair Housing Act Amendments of 1998 (or as amended)	The minimum deviation necessary to comply with the federal Fair Housing Act Amendments	

Thank you for your consideration,

Regards,

Saige Cox



Vicinity Map - Zone Atlas E-17-Z

Indexing Information

Section 26, Township 11 North, Range 3 East, N.M.P.M. as Projected onto the Elena Callegos Grant
 Subdivision: Fraternal Order of the Police Addition
 Owner: Osuna Development Co LLC
 UPC #: 101706233114840107 (Lot 1-A)
 101706232011740105 (Lot 1-B)

Treasurer's Certificate

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND
 PAID ON UPC #: 101706233114840107
101706232011740105

PROPERTY OWNER OF RECORD
 BERNALILLO COUNTY TREASURER'S OFFICE

Purpose of Plat

1. SUBDIVIDE AS SHOWN HEREON.
2. VACATE EASEMENTS AS SHOWN HEREON.
3. GRANT EASEMENTS AS SHOWN HEREON.
4. DEDICATE RIGHT-OF-WAY AS SHOWN HEREON.

Subdivision Data

GROSS ACREAGE..... 4.6540 ACRES
 ZONE ATLAS PAGE NO..... E-17-Z
 NUMBER OF EXISTING LOTS..... 2
 NUMBER OF LOTS CREATED..... 2
 MILES OF FULL-WIDTH STREETS..... 0.0000 MILES
 MILES OF HALF-WIDTH STREETS..... 0.0000 MILES
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE..... 0.2170 ACRES
 DATE OF SURVEY..... JUNE 2021

Notes

1. FIELD SURVEY PERFORMED IN JUNE 2021
2. ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).

Plat for
 Lots 1-A-1 and 1-B-1
 Fraternal Order of
 Police Addition
 Being Comprised of
 Lots 1-A and 1-B
 Fraternal Order of Police Addition
 City of Albuquerque
 Bernalillo County, New Mexico
 August 2021

Project Number: PR-2021-005746

Application Number: SD-2021-00202

Plat Approvals:

<i>[Signature]</i>	Nov 3, 2021
PNM Electric Services <i>Natalia Antonio</i>	Nov 4, 2021
Qwest Corp. d/b/a CenturyLink QC <i>Deanna C. Evans</i>	Nov 5, 2021
New Mexico Gas Company <i>Mika Morhus</i>	Nov 3, 2021
Comcast	

City Approvals:

<i>Lucia M. Bascoban P.S.</i>	11/3/2021
City Surveyor <i>Jeanne Wolfenbarger</i>	Nov 17, 2021
Traffic Engineer <i>Theresa Cadon</i>	Nov 17, 2021
ABCWA <i>Cheryl Hamilton</i>	Nov 17, 2021
Parks and Recreation Department <i>Robert Webb</i>	Nov 17, 2021
Code Enforcement <i>Madeline Juedt</i>	
AMAFA Ernest Armijo	Nov 17, 2021
City Engineer <i>Maggie Gould</i>	Nov 24, 2021
DRB Chairperson, Planning Department	

Surveyor's Certificate

I, WILL PLOTNER JR., A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS FOR THE CITY OF ALBUQUERQUE AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Will Plotner Jr. 11/5/2021
 Will Plotner Jr. Date
 N.M.R.P.S. No. 14271



CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244
 wplotnerjr@gmail.com

Documents

1. TITLE COMMITMENT PROVIDED BY STEWART TITLE, HAVING FILE NO. 1252312 AND AN EFFECTIVE DATE OF MAY 27, 2021.
2. PLAT OF FRATERNAL ORDER OF POLICE ADDITION FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 1, 2007, IN BOOK 2007C, PAGE 50.
3. SPECIAL WARRANTY DEED FOR SUBJECT PROPERTY FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON OCTOBER 22, 2014, AS DOCUMENT NO. 2014084825.

Solar Collection Note

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Legal Description

LOTS NUMBERED ONE-A (1-A) AND ONE-B (1-B) OF FRATERNAL ORDER OF POLICE ADDITION, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT OF LOTS 1-A, 1-B, 2-A, AND 2-B, FRATERNAL ORDER OF POLICE ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO," FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, MARCH 1, 2007, IN PLAT BOOK 2007C, PAGE 50.

Easement Notes

- 1 THRU 3 INTENTIONALLY OMITTED ON THIS SHEET
- 4 EXISTING 20' PUBLIC SANITARY SEWER EASEMENT (03/01/2007, 2007C-50) VACATED WITH THE FILING OF THIS PLAT
- 5 EXISTING PRIVATE SIGN EASEMENT, BENEFITING AND MAINTAINED BY THE OWNER(S) OF LOTS 1-A, 1-B, 2-A & 2-B (03/01/2007, 2007C-50) VACATED WITH THE FILING OF THIS PLAT *
- 6 EXISTING 30' PRIVATE PEDESTRIAN ACCESS AND PRIVATE WATERLINE EASEMENT, BENEFITING AND MAINTAINED BY THE OWNER(S) OF LOTS 1-A, 1-B, 2-A & 2-B (03/01/2007, 2007C-50) PRIVATE PEDESTRIAN ACCESS EASEMENT PORTION VACATED WITH THE FILING OF THIS PLAT SHOWN HEREON AS [] *
- 7 INTENTIONALLY OMITTED
- 8 EXISTING PRIVATE ACCESS AND PRIVATE UTILITY EASEMENT, BENEFITING AND MAINTAINED BY THE OWNER(S) OF LOTS 1-A, 1-B, 2-A & 2-B (03/01/2007, 2007C-50)* PORTION VACATED BY THIS PLAT, SHOWN HEREON AS []
- 9 INTENTIONALLY OMITTED
- 10 THRU 11 INTENTIONALLY OMITTED
- 12 EXISTING 20' PRIVATE DRAINAGE, WATER, SEWER AND PUBLIC UTILITY EASEMENT, BENEFITING AND MAINTAINED BY THE OWNER(S) OF LOTS 1-A, 1-B, 2-A & 2-B (3/17/1981, BK. MISC. 837, PG. 782-786, DOC. NO. 8113897) AMENDED BY (07/13/1981, BK. MISC. 864, PG. 281) VACATED BY THIS PLAT *
- 13 INTENTIONALLY OMITTED ON THIS SHEET
- 14 INTENTIONALLY OMITTED ON THIS SHEET
- 15 EXISTING PRIVATE CROSS LOT DRAINAGE AND PARKING EASEMENT, BENEFITING AND MAINTAINED BY THE OWNER(S) OF LOTS 1-A, 1-B, 2-A & 2-B (3/1/2007, 2007C-50) PORTIONS LOCATED WITHIN LOTS 1-A-1 AND 1-B-1 VACATED BY THIS PLAT *

PURSUANT TO DOCUMENT NO. 201911143 FILED AS RECORDED IN THE OFFICE OF THE COUNTY CLERK FOR BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 30, 2019, THE OWNER OF LOT 1-A AND 1-B AND THE OWNER OF LOT 2-A AND 2-B AGREED TO TERMINATE CERTAIN SPECIFIC EASEMENTS INCLUDING THOSE MARKED BY *

NOTE: THE PROPERTY WAS SUBJECT TO A PUBLIC ACCESS EASEMENT AND PUBLIC SIDEWALK EASEMENT AS REFLECTED ON THE PLAT FILED MARCH 1, 2007 IN BOOK 2007C, PAGE 50. BECAUSE THE EASEMENTS WERE FULLY ENCOMPASSED BY THE ADDITIONAL RIGHT-OF-WAY THAT IS BEING DEDICATED BY THIS PLAT, THE EASEMENTS WERE NOT SHOWN HEREON.

**Plat for
Lots 1-A-1 and 1-B-1
Fraternal Order of
Police Addition
Being Comprised of
Lots 1-A and 1-B, Fraternal
Order of Police Addition
City of Albuquerque
Bernalillo County, New Mexico
August 2021**

Legend

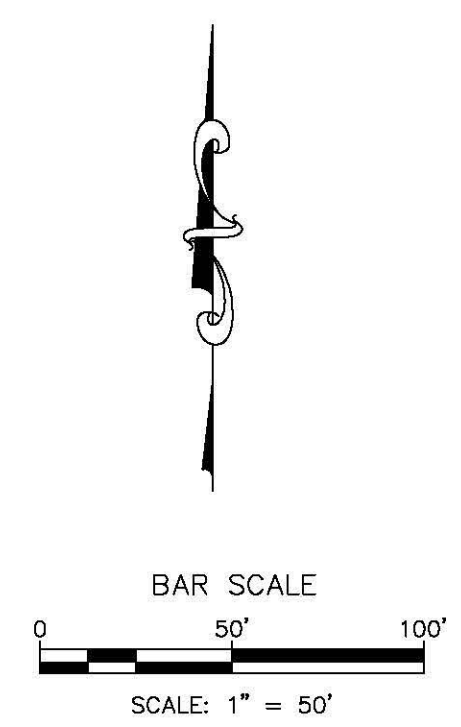
N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES (03/01/2007, 2007C-50)
●	FOUND REBAR WITH CAP "LS 8686" UNLESS OTHERWISE NOTED
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED

ACS Monument "SMW_12"
NAD 1983 CENTRAL ZONE
X=1541924.324 *
Y=1510982.798 *
Z=5242.356 * (NAVD 1988)
G-G=0.999664227
Mapping Angle=-0°11'22.97"
*U.S. SURVEY FEET

THIS SHEET SHOWS EXISTING EASEMENTS BEING VACATED.



ACS Monument "SC_27_26_34_35_1965"
NAD 1983 CENTRAL ZONE
X=1534561.674*
Y=1508397.94 *
Z=5113.117 * (NAVD 1988)
G-G=0.999672139
Mapping Angle=-0°12'13.83"
*U.S. SURVEY FEET



CSI-CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
wplotnerjr@gmail.com

Easement Notes

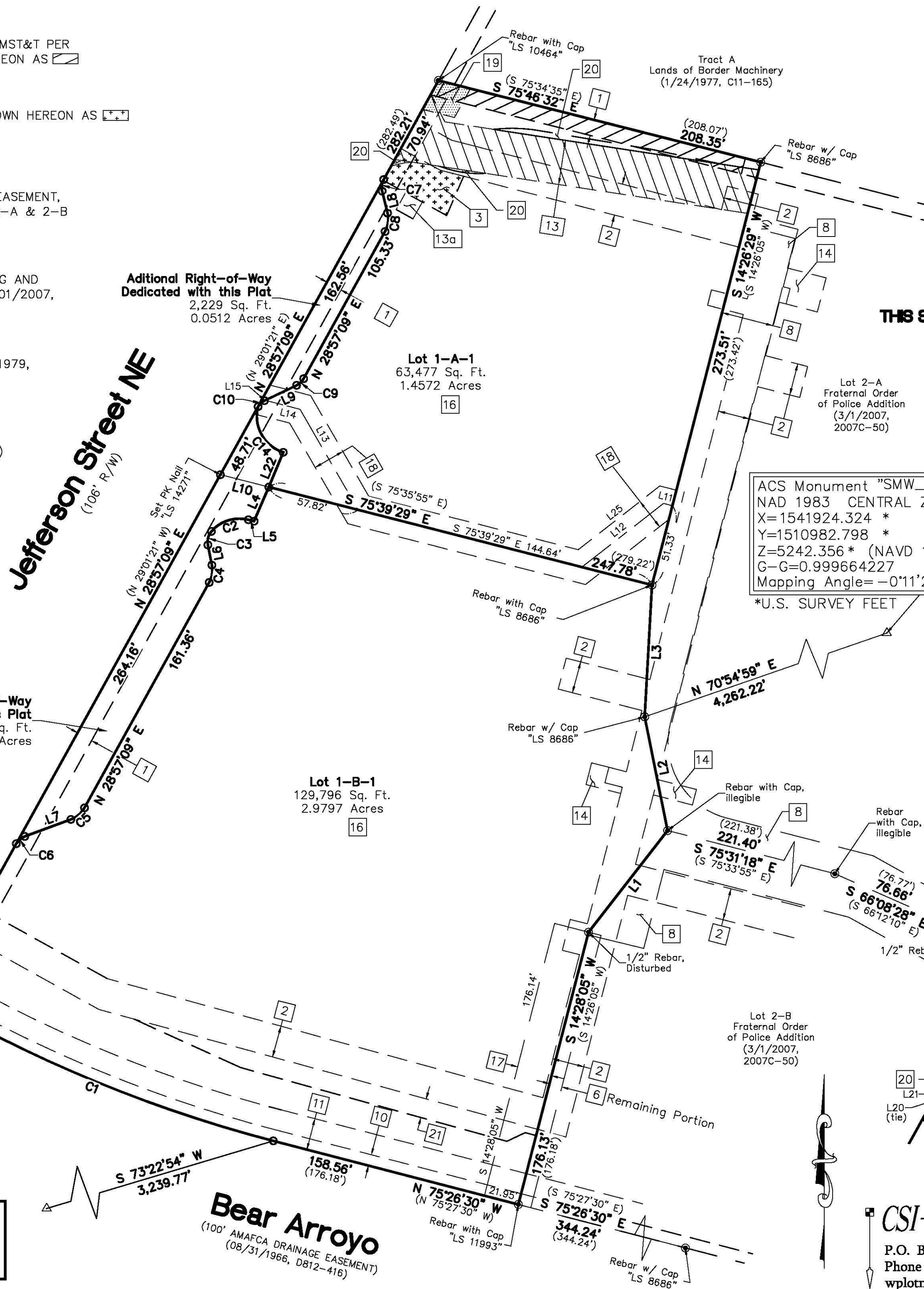
- 1 EXISTING 10' P.U.E. (02/11/1977, C11-173) PARTIALLY RELEASED BY MST&T PER (3/19/1979, BK. D87-A, PG. 63-64, DOC. NO. 7919492) SHOWN HEREON AS
- 2 EXISTING 20' PUBLIC WATERLINE EASEMENT (03/01/2007, 2007C-50)
- 3 EXISTING PUBLIC WATERLINE EASEMENT (03/01/2007, 2007C-50) SHOWN HEREON AS
- 4 INTENTIONALLY OMITTED
- 5 INTENTIONALLY OMITTED FROM THIS SHEET
- 6 EXISTING 30' PRIVATE PEDESTRIAN ACCESS AND PRIVATE WATERLINE EASEMENT, BENEFITING AND MAINTAINED BY THE OWNER(S) OF LOTS 1-A, 1-B, 2-A & 2-B (03/01/2007, 2007C-50) *
- 7 INTENTIONALLY OMITTED FROM THIS SHEET
- 8 EXISTING PRIVATE ACCESS AND PRIVATE UTILITY EASEMENT, BENEFITING AND MAINTAINED BY THE OWNER(S) OF LOTS 1-A, 1-B, 2-A & 2-B (03/01/2007, 2007C-50) *
- 9 INTENTIONALLY OMITTED FROM THIS SHEET
- 10 EXISTING 7' MST&T UNDERGROUND RIGHT OF WAY EASEMENT (03/19/1979, BK. MISC. 676, PG. 792, DOC. NO. 7919503)
- 11 EXISTING 20' CITY OF ALBUQUERQUE DRAINAGE, WATER, SEWER, AND PUBLIC UTILITY EASEMENT (12/8/1977, BK. MISC. 575, PG. 169-172, DOC. NO. 7776389)(12/8/1977, BK. MISC. 575, PG. 203-205, DOC. NO. 7776433)(1/2/1980, BK. MISC. 743, PG. 193-196, DOC. NO. 086)
- 12 INTENTIONALLY OMITTED FROM THIS SHEET
- 13 EXISTING PRIVATE ACCESS AND UTILITY EASEMENT, BENEFITING AND MAINTAINED BY THE OWNERS OF LOTS 1-A, 1-B (NOW BEING LOT 1-A-1 AND 1-B-1), 2-A & 2-B AS PROVIDED IN DOC. NO. 2019111143 RECORDED 12/30/19, SHOWN HEREON AS
- 13a EXISTING 12'X12' SIGN EASEMENT, BENEFITING AND MAINTAINED BY THE OWNERS OF LOTS 2-A AND 2-B, UNDER THE TERMS PROVIDED IN DOC. NO. 2019111143, RECORDED 12/30/2019
- 14 EXISTING PUBLIC WATERLINE EASEMENT (3/5/2010, DOC. NO. 2010018763) (3/5/2010, DOC. NO. 2010018764)
- 15 INTENTIONALLY OMITTED FROM THIS SHEET
- 16 PRIVATE CROSS LOT ACCESS, PRIVATE DRAINAGE, AND PRIVATE PARKING EASEMENT BENEFITING AND MAINTAINED BY LOTS 1-A-1 AND 1-B-1, GRANTED WITH THIS PLAT.
- 17 PRIVATE WATERLINE EASEMENT BENEFITING AND MAINTAINED BY THE OWNERS OF LOTS 1-A-1, 1-B-1, 2-A, AND 2-B, GRANTED WITH THE FILING OF THIS PLAT.
- 18 20' PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THE FILING OF THIS PLAT.
- 19 20'x20' COMMUNICATION EASEMENT GRANTED TO LUMEN WITH THE FILING OF THIS PLAT. SHOWN HEREON AS
- 20 ADDITIONAL PRIVATE ACCESS AND UTILITY EASEMENT, BENEFITING AND MAINTAINED BY THE OWNERS OF LOTS 1-A-1 AND 1-B-1, COINCIDENT TO EASEMENT 13, GRANTED WITH THE FILING OF THIS PLAT.
- 21 ADDITIONAL PUBLIC WATERLINE EASEMENT GRANTED WITH THE FILING OF THIS PLAT.

PURSUANT TO DOCUMENT NO. 2019111143 FILED AS RECORDED IN THE OFFICE OF THE COUNTY CLERK FOR BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 30, 2019, THE OWNER OF LOT 1-A AND 1-B AND THE OWNER OF LOT 2-A AND 2-B AGREED TO TERMINATE CERTAIN SPECIFIC EASEMENTS INCLUDING THOSE MARKED BY *

THE PROPERTY IS SUBJECT TO THE "AGREEMENT CONCERNING EXISTING PLAT, DECLARATION OF RECIPROCAL EASEMENTS AND RECIPROCAL COVENANTS, LAND USE AGREEMENT AND RELATED MATTERS" FILED ON DECEMBER 30, 2019 AS DOC. NO. 2019111143.

**Plat for
Lots 1-A-1 and 1-B-1
Fraternal Order of
Police Addition
Being Comprised of
Lots 1-A and 1-B, Fraternal
Order of Police Addition
City of Albuquerque
Bernalillo County, New Mexico
August 2021**

THIS SHEET SHOWS REMAINING AND GRANTED EASEMENTS.

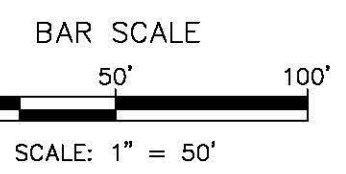
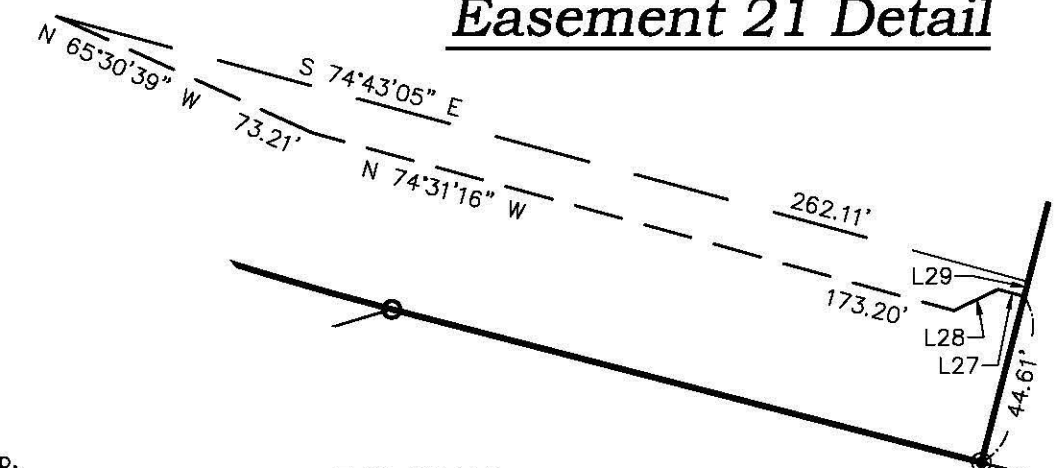


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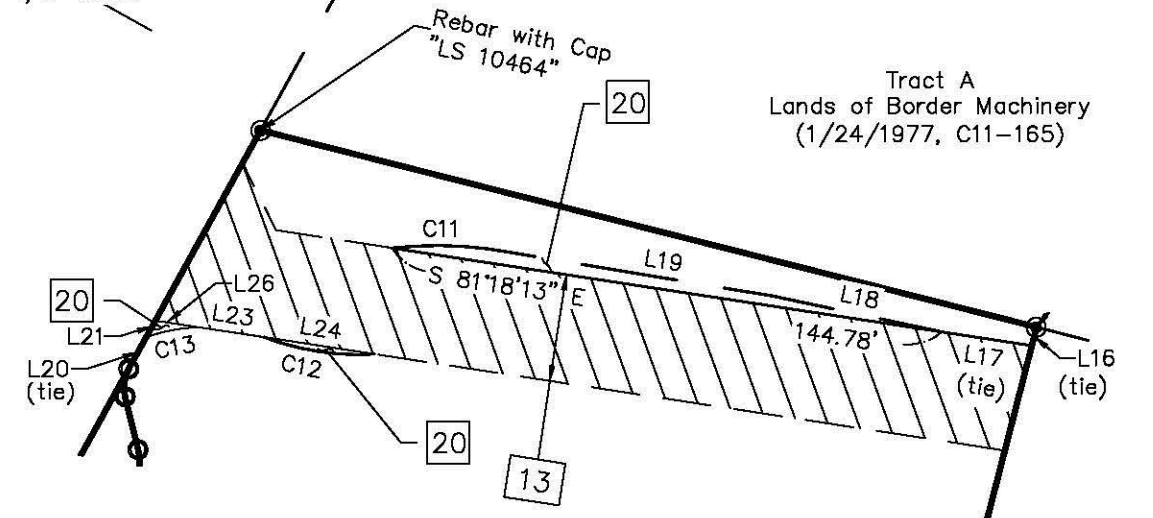
N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES (03/01/2007, 2007C-50)
●	FOUND REBAR WITH CAP "LS 8686" UNLESS OTHERWISE NOTED
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED

ACS Monument "SMW_12"
NAD 1983 CENTRAL ZONE
X=1541924.324 *
Y=1510982.798 *
Z=5242.356 * (NAVD 1988)
G-G=0.999664227
Mapping Angle=-0°11'22.97"
*U.S. SURVEY FEET

Easement 21 Detail



Easement 20 Detail



Bear Arroyo
(100' AMAFCA DRAINAGE EASEMENT)
(08/31/1966, D812-416)

CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
wplotnerjr@gmail.com

Plat for
 Lots 1-A-1 and 1-B-1
 Fraternal Order of the
 Police Addition
 Being Comprised of
 Lots 1-A and 1-B
 Fraternal Order of Police Addition
 City of Albuquerque
 Bernalillo County, New Mexico
 August 2021

Line Table		
Line #	Direction	Length (ft)
L1	S 37°52'02" W (S 37°48'25" W)	80.71' (80.61')
L2	S 11°24'05" E (S 11°20'47" E)	72.66' (72.63')
L3	S 03°09'35" W (S 03°00'11" W)	82.68' (82.70')
L4	N 23°20'13" E	23.29'
L5	N 75°38'04" W	3.69'
L6	S 11°14'19" E	12.88'
L7	N 69°47'46" E	30.76'
L8	S 13°42'19" E	14.20'
L9	N 64°29'37" E	22.30'
L10	S 75°39'29" E (S 75°33'55" E)	31.29'
L11	S 75°33'31" E	5.75'
L12	N 52°01'12" E	64.87'
L13	S 30°02'10" E	72.84'
L14	N 75°33'55" W	22.56'
L15	N 64°29'37" E	0.50'
L16	S 14°26'29" W	5.00'
L17	N 81°18'13" W	23.69'
L18	N 78°00'00" W	45.32'
L19	N 80°34'29" W	75.02'
L20	N 28°57'09" E	9.61'

Line Table		
Line #	Direction	Length (ft)
L21	S 28°57'09" W	4.78'
L22	N 22°30'58" E	23.57'
L23	S 81°18'13" E	17.40'
L24	N 81°18'13" W	29.12'
L25	N 52°01'12" E	64.88'
L26	N 81°18'13" W	11.10'
L27	N 74°51'39" W	7.05'
L28	S 64°33'21" W	12.74'
L29	S 14°28'05" W	3.98'

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	233.30' (234.40')	861.13' (861.13')	15°31'21"	232.58'	S 67°40'50" E
C2	25.58'	23.00'	63°43'32"	24.28'	S 72°30'11" W
C3	9.05'	10.00'	51°52'44"	8.75'	S 14°42'03" W
C4	11.22'	16.00'	40°11'28"	10.99'	N 08°51'25" E
C5	11.48'	16.00'	41°07'03"	11.24'	N 49°30'41" E
C6	7.13'	10.00'	40°50'37"	6.98'	S 49°22'28" W
C7	7.43'	9.97'	42°41'07"	7.26'	S 07°36'25" W
C8	11.91'	16.00'	42°39'28"	11.64'	N 07°37'25" E
C9	6.20'	10.00'	35°32'28"	6.10'	N 46°43'23" E
C10	5.58'	9.00'	35°32'28"	5.49'	S 46°43'23" W
C11	24.84'	111.08'	12°48'39"	24.78'	N 89°34'32" W
C12	29.33'	69.45'	24°12'08"	29.12'	S 81°18'13" E
C13	13.56'	47.41'	16°23'15"	13.51'	S 79°19'37" W
C14	36.04'	23.64'	87°21'25"	32.65'	N 28°51'47" W

Public Utility Easements

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Free Consent and Dedication

THE SUBDIVISION SHOWN AND DESCRIBED HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) THEREOF. EXISTING AND/OR GRANTED PUBLIC UTILITY EASEMENTS (P.U.E) AS SHOWN HEREON, UNLESS NOTED OTHERWISE, ARE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUIT AND PIPES FOR UNDERGROUND UTILITIES. SAID UTILITY COMPANIES HAVE THE RIGHT OF INGRESS/EGRESS FOR CONSTRUCTION OF, MAINTENANCE OF AND REPLACEMENT OF SAID UTILITIES INCLUDING THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS WITHIN SAID P.U.E.. SAID OWNERS CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

SAID OWNERS DO HEREBY DEDICATE ADDITIONAL PUBLIC RIGHT OF WAY AS SHOWN HEREON IN JEFFERSON STREET N.E. TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

 ARTHUR G. (SONNY) LEEPER, MANAGER
 OSUNA DEVELOPMENT CO, LLC

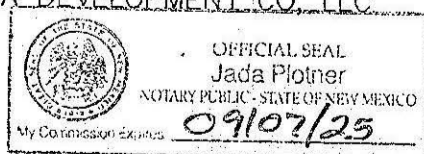
10-15-21

 DATE

STATE OF NEW MEXICO }
 COUNTY OF } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON Oct 15th, 2021
 BY: ARTHUR G. (SONNY) LEEPER, MANAGER, OSUNA DEVELOPMENT CO, LLC

By: _____
 NOTARY PUBLIC



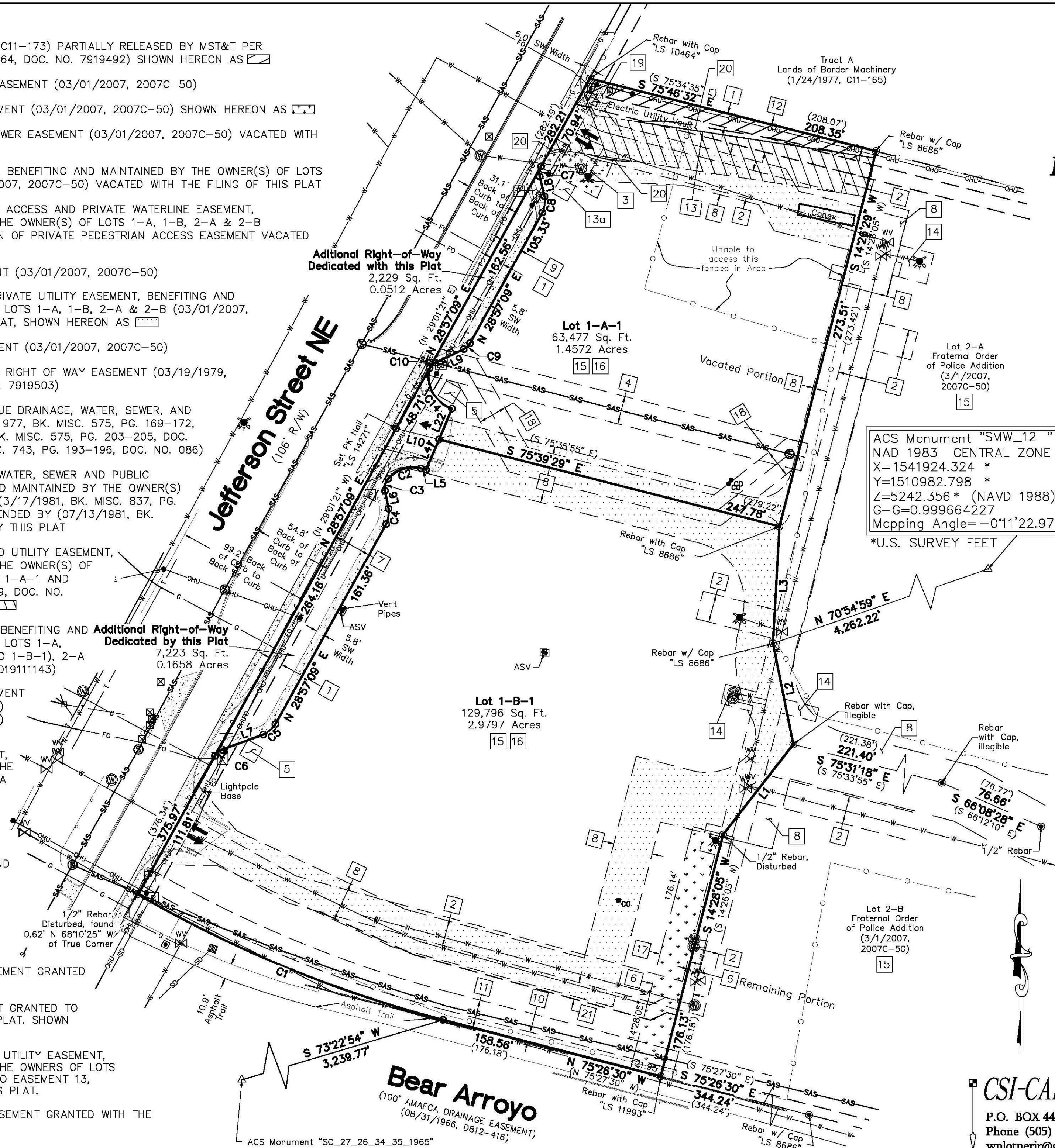
MY COMMISSION EXPIRES 09/10/25

CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244
 wplotnerjr@gmail.com

Easement Notes

- 1 EXISTING 10' P.U.E. (02/11/1977, C11-173) PARTIALLY RELEASED BY MST&T PER (3/19/1979, BK. D87-A, PG. 63-64, DOC. NO. 7919492) SHOWN HEREON AS
- 2 EXISTING 20' PUBLIC WATERLINE EASEMENT (03/01/2007, 2007C-50)
- 3 EXISTING PUBLIC WATERLINE EASEMENT (03/01/2007, 2007C-50) SHOWN HEREON AS
- 4 EXISTING 20' PUBLIC SANITARY SEWER EASEMENT (03/01/2007, 2007C-50) VACATED WITH THE FILING OF THIS PLAT.
- 5 EXISTING PRIVATE SIGN EASEMENT, BENEFITING AND MAINTAINED BY THE OWNER(S) OF LOTS 1-A, 1-B, 2-A & 2-B (03/01/2007, 2007C-50) VACATED WITH THE FILING OF THIS PLAT
- 6 EXISTING 30' PRIVATE PEDESTRIAN ACCESS AND PRIVATE WATERLINE EASEMENT, BENEFITING AND MAINTAINED BY THE OWNER(S) OF LOTS 1-A, 1-B, 2-A & 2-B (03/01/2007, 2007C-50) PORTION OF PRIVATE PEDESTRIAN ACCESS EASEMENT VACATED SHOWN HEREON AS
- 7 EXISTING PUBLIC ACCESS EASEMENT (03/01/2007, 2007C-50)
- 8 EXISTING PRIVATE ACCESS AND PRIVATE UTILITY EASEMENT, BENEFITING AND MAINTAINED BY THE OWNER(S) OF LOTS 1-A, 1-B, 2-A & 2-B (03/01/2007, 2007C-50)* VACATED BY THIS PLAT, SHOWN HEREON AS
- 9 EXISTING PUBLIC SIDEWALK EASEMENT (03/01/2007, 2007C-50)
- 10 EXISTING 7' MST&T UNDERGROUND RIGHT OF WAY EASEMENT (03/19/1979, BK. MISC. 676, PG. 792, DOC. NO. 7919503)
- 11 EXISTING 20' CITY OF ALBUQUERQUE DRAINAGE, WATER, SEWER, AND PUBLIC UTILITY EASEMENT (12/8/1977, BK. MISC. 575, PG. 169-172, DOC. NO. 7776389)(12/8/1977, BK. MISC. 575, PG. 203-205, DOC. NO. 7776433)(1/2/1980, BK. MISC. 743, PG. 193-196, DOC. NO. 086)
- 12 EXISTING 20' PRIVATE DRAINAGE, WATER, SEWER AND PUBLIC UTILITY EASEMENT, BENEFITING AND MAINTAINED BY THE OWNER(S) OF LOTS 1-A, 1-B, 2-A & 2-B (3/17/1981, BK. MISC. 837, PG. 782-786, DOC. NO. 8113897) AMENDED BY (07/13/1981, BK. MISC. 864, PG. 281) VACATED BY THIS PLAT
- 13 EXISTING 28' PRIVATE ACCESS AND UTILITY EASEMENT, BENEFITING AND MAINTAINED BY THE OWNER(S) OF LOTS 1-A, 1-B (NOW BEING LOTS 1-A-1 AND 1-B-1), 2-A & 2-B (12/30/2019, DOC. NO. 2019111143) SHOWN HEREON AS
- 13a EXISTING 12'x12' SIGN EASEMENT, BENEFITING AND MAINTAINED BY THE OWNER(S) OF LOTS 1-A, 1-B (NOW BEING LOTS 1-A-1 AND 1-B-1), 2-A & 2-B (12/30/2019, DOC. NO. 2019111143)
- 14 EXISTING PUBLIC WATERLINE EASEMENT (3/5/2010, DOC. NO. 2010018763) (3/5/2010, DOC. NO. 2010018764)
- 15 EXISTING PRIVATE CROSS LOT DRAINAGE AND PARKING EASEMENT, BENEFITING AND MAINTAINED BY THE OWNER(S) OF LOTS 1-A, 1-B, 2-A & 2-B (3/1/2007, 2007C-50) VACATED BY THIS PLAT
- 16 PRIVATE CROSS LOT ACCESS, PRIVATE DRAINAGE, AND PRIVATE PARKING EASEMENT BENEFITING AND MAINTAINED BY LOTS 1-A AND 1-B, GRANTED WITH THIS PLAT.
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**Site Sketch for
Lot 1-A-1 and 1-B-1
Fraternal Order of the
Police Addition
Being Comprised of
Lot 1-A and 1-B, Fraternal
Order of Police Addition
City of Albuquerque
Bernalillo County, New Mexico
November 2021**

Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES (03/01/2007, 2007C-50)
	FOUND REBAR WITH CAP "LS 8686" UNLESS OTHERWISE NOTED
	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
	COVERED AREA
	CONCRETE
	UTILITY PEDESTAL
	GUARD RAIL
	BLOCK WALL
	CHAINLINK FENCE
	BOLLARD
	OVERHEAD UTILITY LINE
	UTILITY POLE
	ANCHOR
	PULL BOX
	ELECTRIC CABINET
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	ANTI-SIPHON VALVE
	SANITARY SEWER MANHOLE
	SAS CLEANOUT
	IRRIGATION BOX
	STORM DRAIN INLET
	SIGN
	CURB CUT/INDICATION OF ACCESS TO ROADWAY
	UNDERGROUND WATER UTILITY LINE
	UNDERGROUND SANITARY SEWER LINE
	UNDERGROUND ELECTRIC UTILITY LINE
	UNDERGROUND TELEPHONE UTILITY LINE
	UNDERGROUND FIBER OPTIC UTILITY LINE
	UNDERGROUND STORM DRAIN UTILITY LINE

ACS Monument "SMW_12"
NAD 1983 CENTRAL ZONE
X=1541924.324 *
Y=1510982.798 *
Z=5242.356 * (NAVD 1988)
G-G=0.999664227
Mapping Angle=-0°11'22.97"
*U.S. SURVEY FEET

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PR-2021-005746_SD-2021-00202_P-F Plat_Aproved_11-17-21_Revised

Final Audit Report

2021-11-24

Created:	2021-11-24
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAA3N80SLdn0MlwIhoGUrh7UAZNRfEEJ_mp

"PR-2021-005746_SD-2021-00202_P-F Plat_Aproved_11-17-21_Revised" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
2021-11-24 - 7:41:50 PM GMT - IP address: 143.120.132.106
-  Document emailed to Maggie Gould (mgould@cabq.gov) for signature
2021-11-24 - 7:42:37 PM GMT
-  Email viewed by Maggie Gould (mgould@cabq.gov)
2021-11-24 - 7:42:50 PM GMT - IP address: 143.120.132.84
-  Document e-signed by Maggie Gould (mgould@cabq.gov)
Signature Date: 2021-11-24 - 7:43:02 PM GMT - Time Source: server- IP address: 143.120.132.84
-  Agreement completed.
2021-11-24 - 7:43:02 PM GMT

11/23/2021 3:54:05 PM

C:\Users\Documents\2105\XRAM_ARCH_Central_asegson.rvt

LEGEND - SITE PLAN

- BUILDING
- ASPHALT
- LANDSCAPED AREA
- CONCRETE SIDEWALK OR PAVING
- EXISTING CONCRETE SIDEWALK OR PAVING
- FUTURE PHASE OF DEVELOPMENT
- CLEAR SIGHT TRIANGLE
- FIRE ACCESS LANE
- EXISTING PROPERTY LINE
- NEW PROPERTY LINE (PER PLAT)
- CURB

GENERAL NOTES

- A) SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- B) SEE SHEETS AS-105 & AS-106 FOR SITE DETAILS.
- C) ALL SITE LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS REFER TO CSAS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. REFER TO SHEETS E-101 AND E-102.
- D) UNLESS NOTED OTHERWISE, ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE. REFER TO PLAN FOR WIDTHS.
- E) UNLESS NOTED OTHERWISE, ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING.
- F) IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON PAVEMENT.
- G) ALL WHEELCHAIR RAMPS LOCATED WITH THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. REFER TO A1-ASAS-105.

PROJECT NUMBER: PR-2021-005746
Application Number: SI-2021-01961

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Jeanne Wolfenbarger	Dec 16, 2021
Blaine Carter	Dec 16, 2021
Robert Wood	Dec 16, 2021
Code Enforcement	Dec 16, 2021
Environmental Health Department (conditional)	
Solid Waste Management	Jan 19, 2022
DRB Chairperson, Planning Department	



2101 Mountain Road NW Suite B | Albuquerque NM 87104
505-843-9639 | www.studioswarch.com

CONSULTANTS

Architect	Engineer
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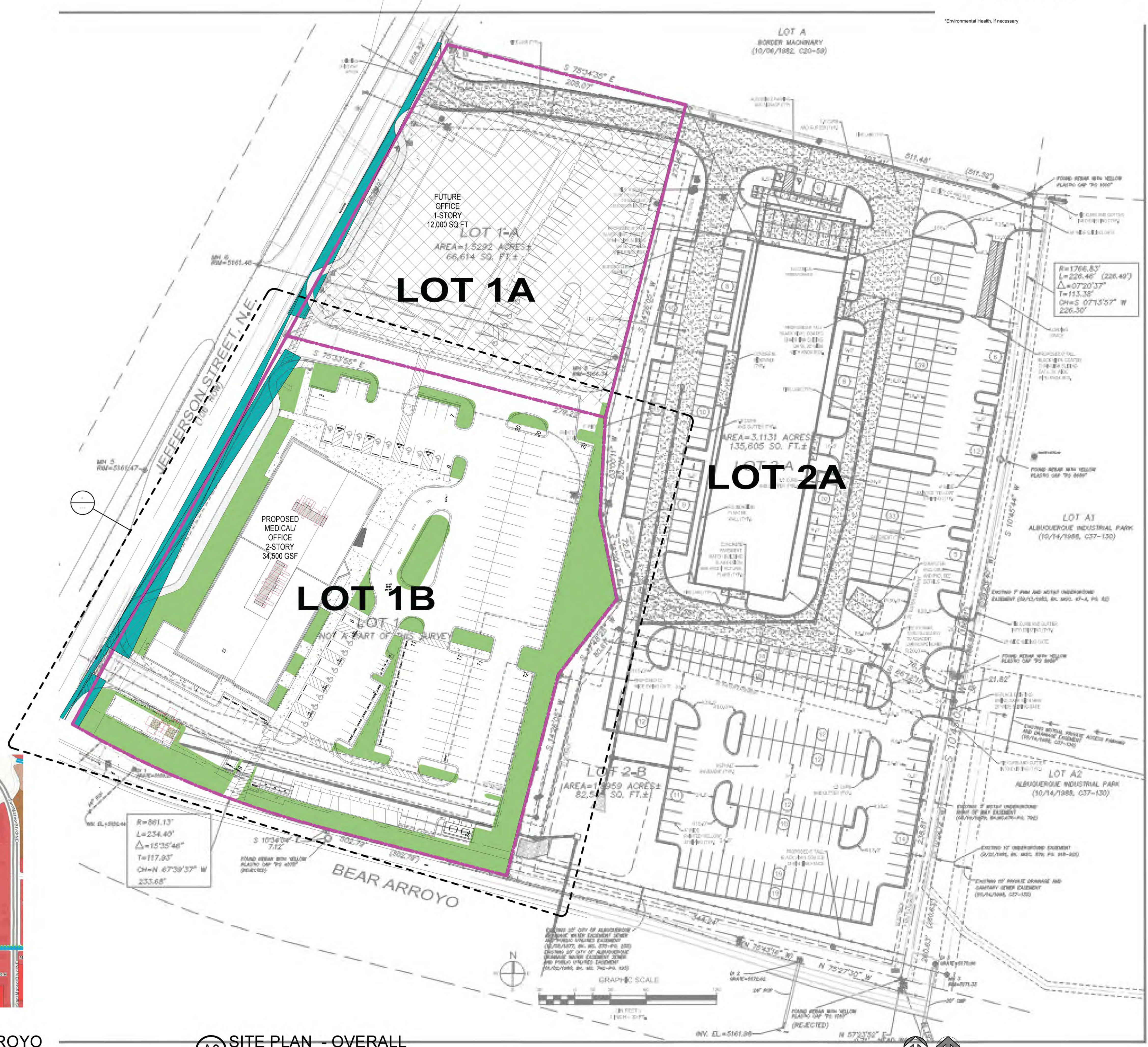


XRANM JEFFERSON OFFICE
5800 JEFFERSON ST., NE
ALBUQUERQUE, NM
87109

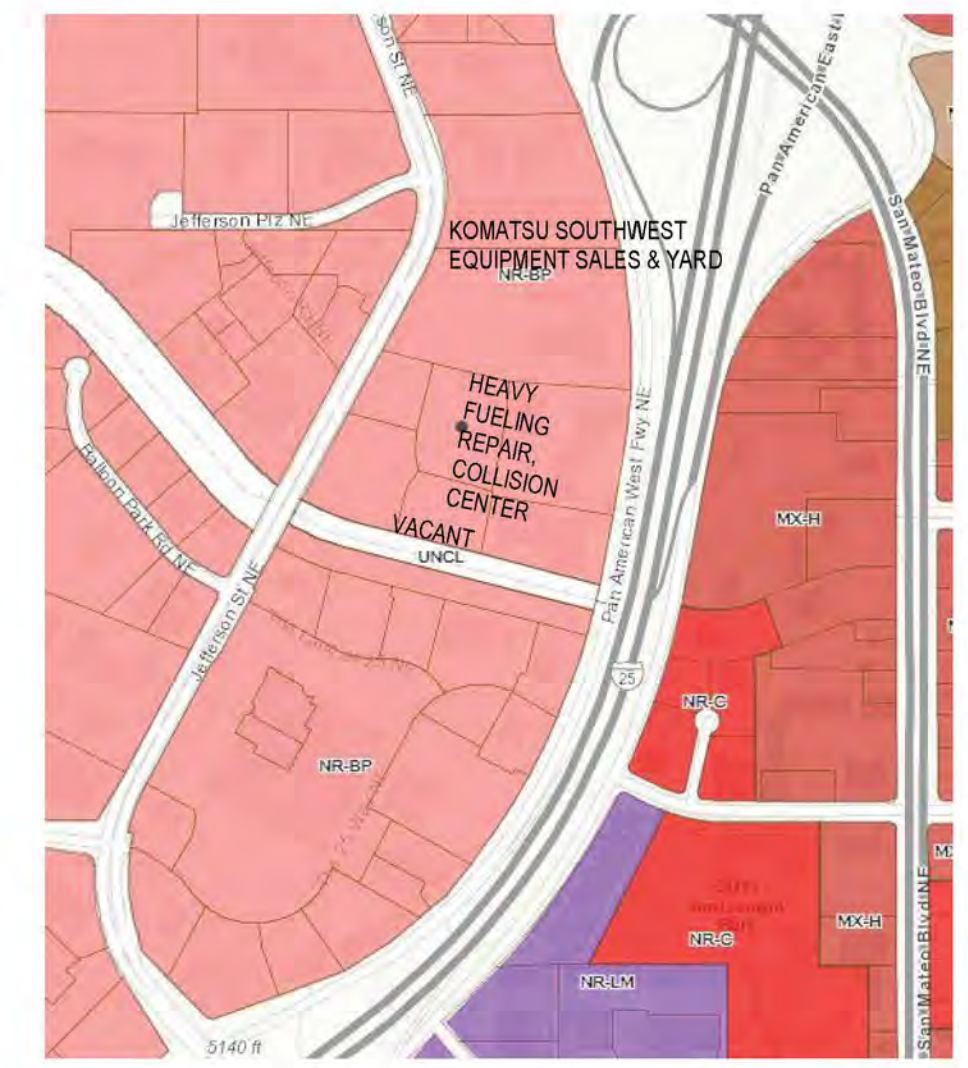
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Revision Schedule		
ISSUE:	DRB RESUBMITTAL	
PROJECT NUMBER:	2120	
FILE:	2120 XRANM_ARCH_Central.rvt	
DRAWN BY:	CSC	
CHECKED BY:	Checker	
DATE:	NOV. 17, 2021	

SHEET TITLE
SITE PLAN - OVERALL
LOTS

AS101



B1 TRAFFIC LIGHTS & ADJACENT DRIVES
1/2" = 1'-0"



A3 SITE PLAN - OVERALL
1" = 40'-0"

KEYED NOTES - SITE PLAN

1. KNOX BOX, RECESS MOUNT, SERIES 3200, BLACK, COORDINATE FINAL LOCATION WITH FIRE MARSHAL.
2. NEW CONCRETE PAVING, REFER TO CIVIL PAVING PLAN.
3. ASPHALT PAVING, REFER TO CIVIL PAVING PLAN.
4. PAINTED CROSSWALK, REFER TO CIVIL PAVING PLAN.
5. CONCRETE ACCESSIBLE CURB RAMP, REFER TO CIVIL PAVING PLAN.
6. 6" HIGH PERFORATED METAL GARDEN WALL.
7. EXISTING DECELERATION LANE.
8. EXISTING CONCRETE SIDEWALK.
9. SITE LIGHTING, REFER TO ES-101.
10. ADA ASSIST DOOR OPENER BUTTON, REFER TO ELECTRICAL & SPECIAL SYSTEMS.
11. MANHOLE COVER, REFER TO CIVIL.
12. FIRE HYDRANT, REFER TO CIVIL.
13. CONCRETE PAD AT ELECTRICAL TRANSFORMER LOCATION, REFER TO ES-101.
14. WATER METER, REFER TO CIVIL.
15. GAS METER, REFER TO PLUMBING.
16. LANDSCAPE NOTEBOOK, REFER TO LANDSCAPE.
17. SPLIT-FACED, INTEGRALLY COLORED CMU, REFUSE CONTAINER AND ENCLOSURE, REFER TO B1AS12.
18. LANDSCAPESWALE, REFER TO CIVIL.
19. DOOR ACCESS CARD READER.
20. DRAINAGE INLET, REFER TO CIVIL.

KEYED NOTES - SITE PLAN

21. VESTIBULE.
22. SITE SIGNAGE, REFER TO A3AS111 FOR SIGN TYPES.
23. POST INDICATOR VALVE.
24. ADA FLUSH ACCESS WALK, REFER TO CIVIL PAVING PLAN.
25. 6" HIGH WROUGHT IRON GATE WITH CIPHER LOCK, REFER TO A6 & B6AS112.
26. SAMSSE CONNECTION.
27. DUAL VEHICLE CHARGING STATION, REFER TO ELECTRICAL.
28. BICYCLE RACK, REFER TO A4AS111.
29. NEW 8" HIGH TURN DOWN CURB AND CONCRETE WALKWAY, REFER TO PLAN FOR WALKWAY WIDTH.
30. 8" HIGH CURB & GUTTER, REFER TO CIVIL PAVING PLAN.
31. HEADERS CURB, REFER TO CIVIL PAVING PLAN.
32. PATIENT DROP-OFF CANOPY.
33. GENERATOR, REFER TO MECHANICAL.
34. GROUND MOUNTED MECHANICAL UNITS, REFER TO MECHANICAL.
35. EXISTING EDGE OF CURB.
36. MONUMENT SIGN.
37. NOT USED.
38. FLUSH CURB, REFER TO CIVIL PAVING PLAN.
39. BOLLARD, REFER TO CIVIL PAVING PLAN.

KEYED NOTES - SITE PLAN

40. CLEAR SIGHT TRIANGLE - LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENT. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
41. PROPERTY LINE.
42. NEW, 2-STORY, 34,900 SF MEDICAL/OFFICE BUILDING.
43. FUTURE, 1-STORY, 12,000 SF OFFICE BUILDING.
44. 6' HIGH SPLIT-FACED, INTEGRALLY COLORED (STARLIGHT) CMU SCREEN WALL, REFER TO B6AS112.
45. 12" HIGH SPLIT-FACED INTEGRALLY COLORED (STARLIGHT) CMU & PERFORATED METAL SCREEN MECHANICAL YARD, REFER TO A1AS113.
46. ELECTRICAL TRANSFORMER, REFER TO MECHANICAL.
47. PREFABRICATED, COVERED PARKING CANOPY WITH INTEGRAL SOLAR PANELS.
48. EXISTING MEDIAN CUT.
49. BEAR ARROYO BIKE TRAIL & ACCESS.
50. ROOF TOP MECHANICAL UNITS.

KEYED NOTES - SITE PLAN

51. EXISTING PROPERTY LINE.
52. BENCH SEATING.
53. 6" HIGH METAL FENCE, REFER TO A6 & B6AS112.
54. NEW PROPERTY LINE PER ROW DEDICATION PLAT # PR-2021-005746SD-2021-00202.
55. EXISTING LANDSCAPE BUFFER.

GENERAL NOTES

- A) SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- B) SEE SHEETS AS-103 & AS-108 FOR SITE DETAILS.
- C) ALL SITE LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS REFER TO C3AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. REFER TO SHEETS E-101 AND E-102.
- D) UNLESS NOTED OTHERWISE, ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE. REFER TO PLAN FOR WIDTHS.
- E) UNLESS NOTED OTHERWISE, ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING.
- F) IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON PAVEMENT.
- G) ALL WHEELCHAIR RAMPS LOCATED WITH THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. REFER TO A1-A3AS-105.

PROJECT NUMBER: PR-2021-005746
 Application Number: SI-2021-01661

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABC/WUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary

STUDIO SW ARCHITECTS

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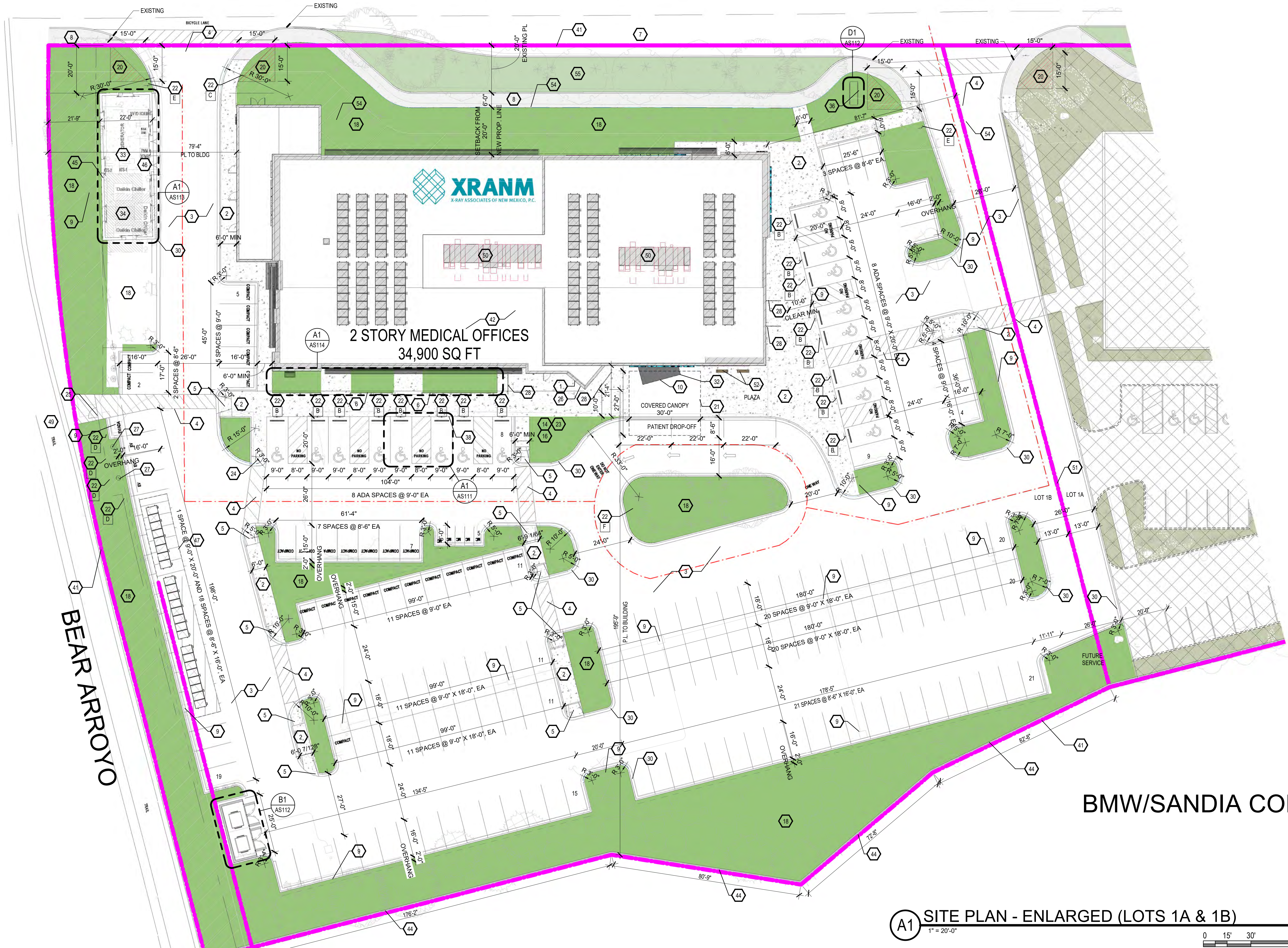
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CONSULTANTS

Architect: **ROBERT CERARD HESER**
 No. 2370
 REGISTERED ARCHITECT

Engineer

JEFFERSON NE



LEGEND - SITE PLAN

BUILDING	REFER TO LANDSCAPE & CIVIL PLANS FOR ADDITIONAL LEGEND ITEMS
ASPHALT	EXISTING CONCRETE SIDEWALK OR PAVING
LANDSCAPED AREA	FUTURE PHASE OF DEVELOPMENT
CONCRETE SIDEWALK OR PAVING	EASEMENT
FIRE ACCESS LANE	CURB
EXISTING PROPERTY LINE	
NEW PROPERTY LINE, PER ROW DEDICATION PLAT #	

PARKING SPACE TABULATIONS

PROPOSED TOTAL	GSP: 34,500	FUTURE TOTAL	GSP: 12,000 (MAXIMUM)
5/1000 FOR MEDICAL OFFICE			
TOTAL SPACES REQUIRED = 173			
TOTAL SPACES PROVIDED = 169 + 4 (EV credit) = 173			

OFF-STREET PARKING
 NO ON-STREET PARKING PROVIDED

TYPICAL PARKING SIZES

17	9'-0" X 20'-0" - ACCESSIBLE SPACES
1	9'-0" X 20'-0" - STANDARD
62	9'-0" X 18'-0" - STANDARD
15	9'-0" X 16'-0" (+ 2'-0" OVERHANG) - STANDARD
47	8'-6" X 16'-0" (+ 2'-0" OVERHANG) - STANDARD
5	9'-0" X 18'-0" - COMPACT
18	8'-6" X 15'-0" (+ 2'-0" OVERHANG) - COMPACT
169 + 4 (EV credit) = 173	

ACCESSIBLE SPACES
 IBC TABLE 1106.1

ACCESSIBLE SPACES REQUIRED = 6
 ACCESSIBLE SPACES PROVIDED = 17

COMPACT SPACES
 25% OF TOTAL OFF STREET SPACES PROVIDED = 173 X 25% = 43
 COMPACT SPACES PERMITTED = 43
 COMPACT SPACES PROVIDED = 35

ELECTRIC VEHICLE SPACE REQUIREMENTS
 LESS THAN 200 SPACES = NO REQUIREMENT

REQUIRED = 0
 PROVIDED = 4
 EV CREDIT = EACH EV SPACE = TWO PARKING SPACES
 4 X 2 = 8

MOTORCYCLE SPACES
 IDO TABLE 5-5.4

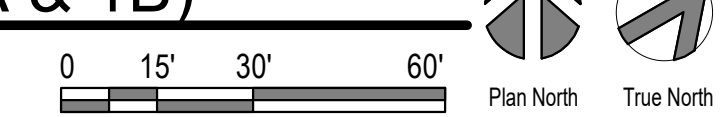
MOTORCYCLE SPACES REQUIRED = 5
 MOTORCYCLE SPACES PROVIDED = 5

BICYCLE SPACES
 10% OF TOTAL OFF STREET SPACES PROVIDED = 173 X 10% = 18
 BICYCLE SPACES REQUIRED = 18
 BICYCLE SPACES PROVIDED = 20

XRANM JEFFERSON OFFICE

5800 JEFFERSON ST., NE
 ALBUQUERQUE, NM
 87109

A1 SITE PLAN - ENLARGED (LOTS 1A & 1B)
 1" = 20'-0"



Approved for access by the Solid Waste Department
 Herman Gallegos 11-12-21
Herman Gallegos

No	Date	Description
Revision Schedule		
ISSUE:	DRB RESUBMITTAL	
PROJECT NUMBER:	Z120	
FILE:	2120 XRANM_ARCH_Central.rvt	
DRAWN BY:	CSC	
CHECKED BY:	Checker	
DATE:	NOV. 17, 2021	

SHEET TITLE
 SITE PLAN - ENLARGED (LOT 1B)

AS102

PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946

OFFICIAL NOTIFICATION OF DECISION

Jefferson 25 QOZB, LLC
303 Roma NW #2
ABQ, NM 87102

Project# PR-2021-005746
Application#
SI-2021-001661 SITE PLAN

LEGAL DESCRIPTION:

For all or a portion of:
LOT 1-B PLAT OF LOTS 1-A, 1-B, 2-A, & 2-B,
FOP ADDITION zoned NR-BP, located on **5800**
JEFFERSON ST NE between THE LANE AT 25
NE and THE BEAR ARROYO DRAINAGE
EASEMENT containing approximately 4.6
acre(s). (E-17)

On November 17, 2021, the Development Review Board (DRB) held a public meeting concerning the above referenced application and approved the request, with delegation to ABCWUA and Planning, based on the following Findings:

1. This is a request to develop a medical office to house X-Ray Associates of NM and an additional office building.
 1. Pursuant to 6-6(l)(3) Review and Decision Criteria An application for a Site Plan – DRB shall be approved if it meets all of the following criteria:
 - a. 6-6(l)(3)(a) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The dimensions, parking, landscaping/screening, and façade design meet/exceed the IDO requirements. The proposed development is set back in accordance with the requirements of the NR-BP zone district.

The 45-foot maximum height of the proposed building is less than the 65-foot maximum permitted building height. The Site Plan includes 30,730 square feet of landscaping where 15,295 feet is required.

- b. 6-6(l)(3)(b) *The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.*

The site has access to a full range of urban services including utilities, roads and emergency services. A Traffic Study was required for this request. The driveways were designed to meet the TIS recommendations.

- c. 6-6(l)(3)(c) *If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.*

The site is not within a Master Plan area.

2. The applicant provided notice as required by 6-1-1 of the IDO.

Conditions:

1. This Site Plan is valid 7 years from DRB approval (11/17/2021). An extension may be requested prior to the expiration date.
2. Final sign off is delegated to ABCWUA for updates to the utility plan and the landscaping plan indicating that no trees are or obstructions shall be located within the easement as discussed.
3. Final sign off is delegated to Planning to check for adjustment of clear site triangles and bike rack detail and to check on updates to the site plan regarding parking space requirements , minor signage, ramps and clarification of the landscape island curb radii, for the redesign of plant material along the sewer easement and alternative landscaping plan if needed, stabilization for the storm water quality pond, and the recorded infrastructure improvements agreement.
4. The applicant will obtain final sign off from Transportation and Planning by January 27, 2021 or the case may be scheduled for the next DRB hearing and could be denied her the DRB Rules of Procedure.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the DRB's decision or by **DECEMBER 2, 2021**. The date of the DRB's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

Official Notice of Decision

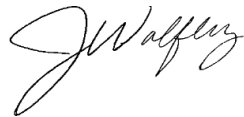
Project # PR-2021-005747 Application# SI-2021-001661

Page 3 of 3

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to PLNDRS@CABQ.GOV (if files are less than 9MB in size). For files larger than 9 MB in size, please send an email to PLNDRS@cabq.gov and request that staff send you a link via Smartfile to upload the files to. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Wolfley', written in a cursive style.

Jolene Wolfley
DRB Chair

JW/mg Studio Southwest 2101 Mountain RD ABQ. NM 87104

10/6/2021 12:09:47 PM

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PARKING SPACE TABULATIONS

PROPOSED	GSF: 34,500	FUTURE	GSF: 12,000 (MAXIMUM)
TOTAL	GSF: 34,500	TOTAL	GSF: 12,000

5/1000 FOR MEDICAL OFFICE

TOTAL SPACES REQUIRED = 173
TOTAL SPACES PROVIDED = 172 + 4 (EV credit) = 177

16 ACCESSIBLE SPACES @ 20'-0" X 9'-0"
1 ACCESSIBLE EV SPACE @ 20'-0" X 9'-0"
3 EV SPACES @ 18'-0" X 9'-0" (2'-0" OVERHANG)
65 SPACES @ 20'-0" X 9'-0"
60 SPACES @ 18'-0" X 9'-0" (2'-0" OVERHANG)
27 COMPACT SPACES @ 18'-0" X 9'-0" (2'-0" OVERHANG)
172 + 4 (EV credit) = 177

NO ON STREET PARKING PROVIDED

ACCESSIBLE SPACES

IBC TABLE 1106.1

ACCESSIBLE SPACES REQUIRED = 6
ACCESSIBLE SPACES PROVIDED = 16

ELECTRIC VEHICLE SPACE REQUIREMENTS

LESS THAN 200 SPACES = NO REQUIREMENT

REQUIRED = 0
PROVIDED = 4
EV CREDIT = EACH EV SPACE = TWO PARKING SPACES
4 X 2 = 8

MOTORCYCLE SPACES

IDO TABLE 5-5-4

MOTORCYCLE SPACES REQUIRED = 5
MOTORCYCLE SPACES PROVIDED = 5

BICYCLE SPACES

10% OF TOTAL OFF STREET SPACES PROVIDED = 173 X 10% = 18

BICYCLE SPACES REQUIRED = 18
BICYCLE SPACES PROVIDED = 20

LEGEND - SITE PLAN

- BUILDING
- EXISTING CONCRETE SIDEWALK OR PAVING
- ASPHALT
- FUTURE PHASE OF DEVELOPMENT
- LANDSCAPED AREA
- CONCRETE SIDEWALK OR PAVING
- FIRE ACCESS LANE
- CURB
- PROPERTY LINE

REFER TO LANDSCAPE & CIVIL PLANS FOR ADDITIONAL LEGEND ITEMS

GENERAL NOTES

- A) SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- B) SEE SHEETS AS-105 & AS-106 FOR SITE DETAILS.
- C) ALL SITE LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9. AREA LIGHTING REGULATIONS REFER TO C3/AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. REFER TO SHEETS E-101 AND E-102 FOR WIDTHS.
- D) UNLESS NOTED OTHERWISE, ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE. REFER TO PLAN FOR WIDTHS.
- E) UNLESS NOTED OTHERWISE, ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING.
- F) IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON PAVEMENT.
- G) ALL WHEELCHAIR RAMPS LOCATED WITH THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. REFER TO A1-AS/AS-105.

PROJECT NUMBER: 211XX

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
City Engineer/Hydrology	Date _____
Code Enforcement	Date _____
* Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
DRB Chairperson, Planning Department	Date _____

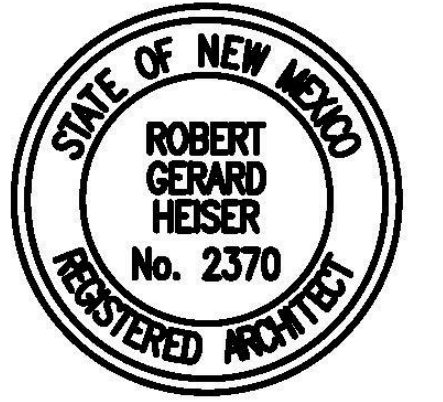


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CONSULTANTS

Architect _____ Engineer _____



XRANM JEFFERSON OFFICE

5900 JEFFERSON ST., NE
ALBUQUERQUE, NM
87109

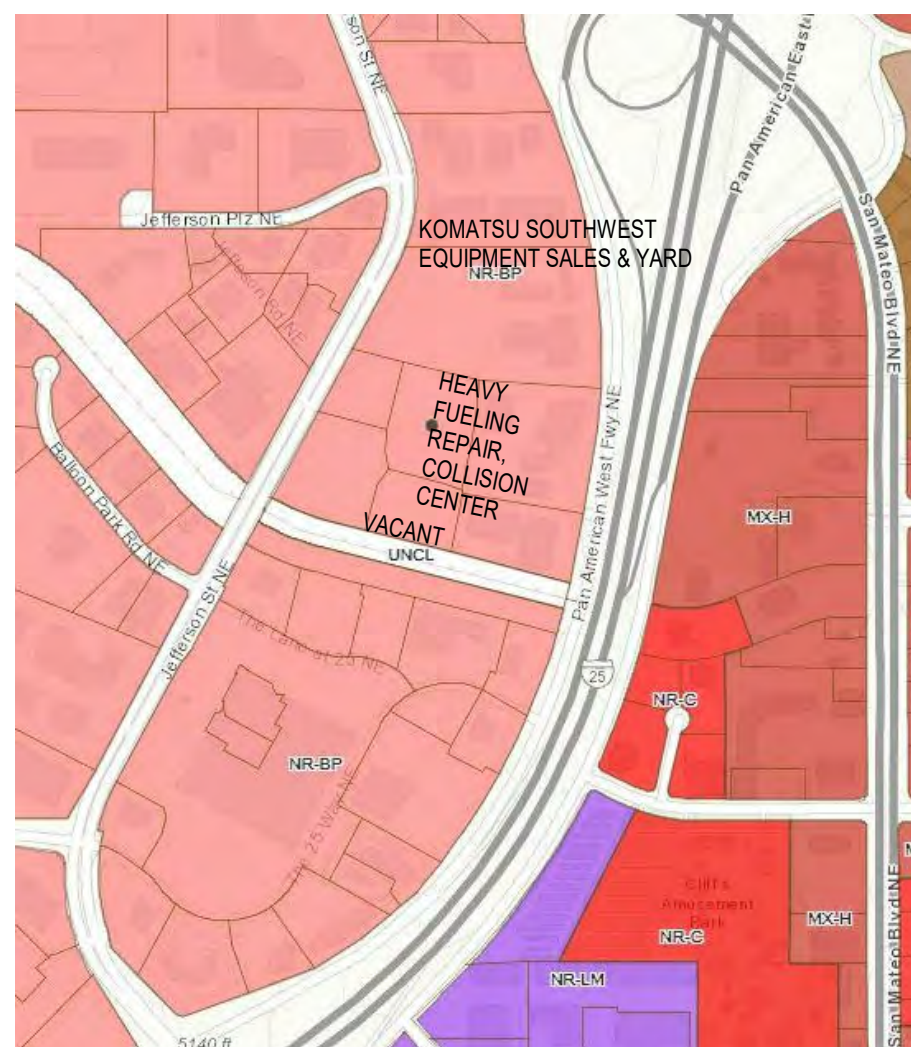
No	Date	Description
Revision Schedule		
ISSUE:	DRB SUBMITTAL	
PROJECT NUMBER:	211XX	
FILE:	2120 XRANM_ARCH_Central.rvt	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	OCT. 06, 2021	

SHEET TITLE AS101_OVERALL SITE PLAN

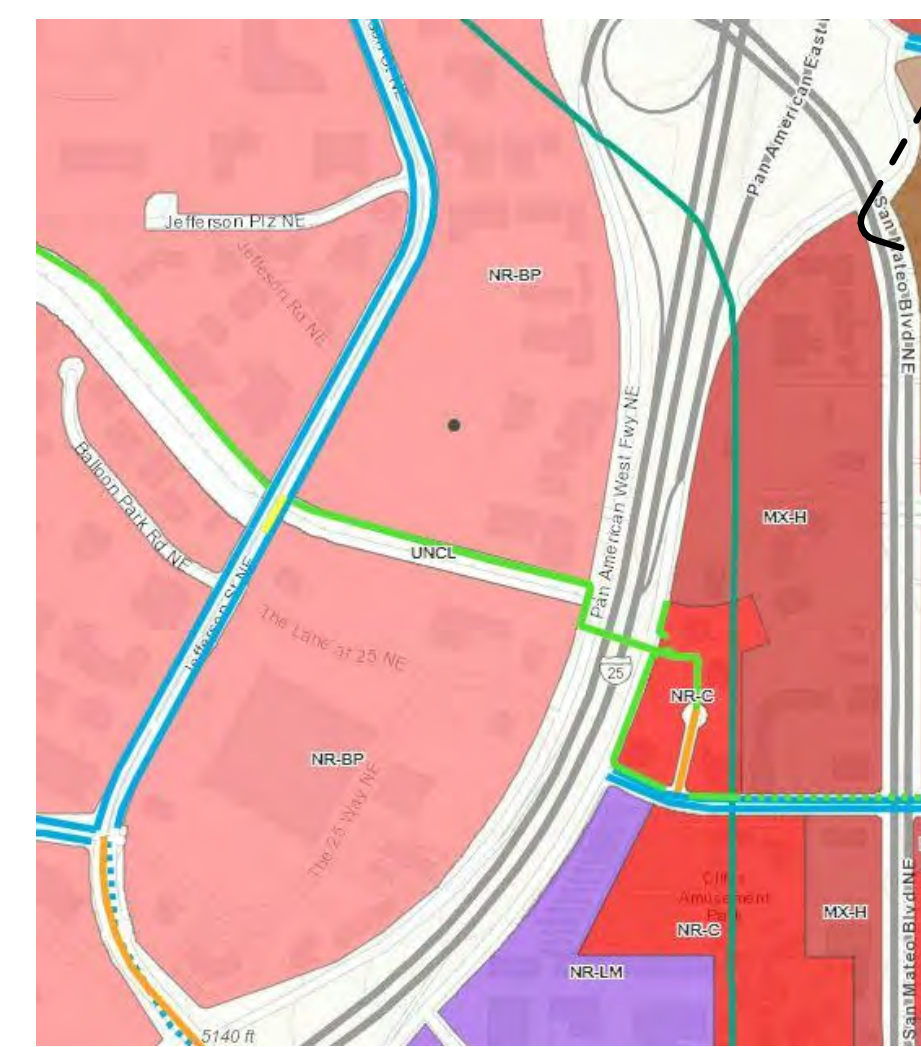
SP_007



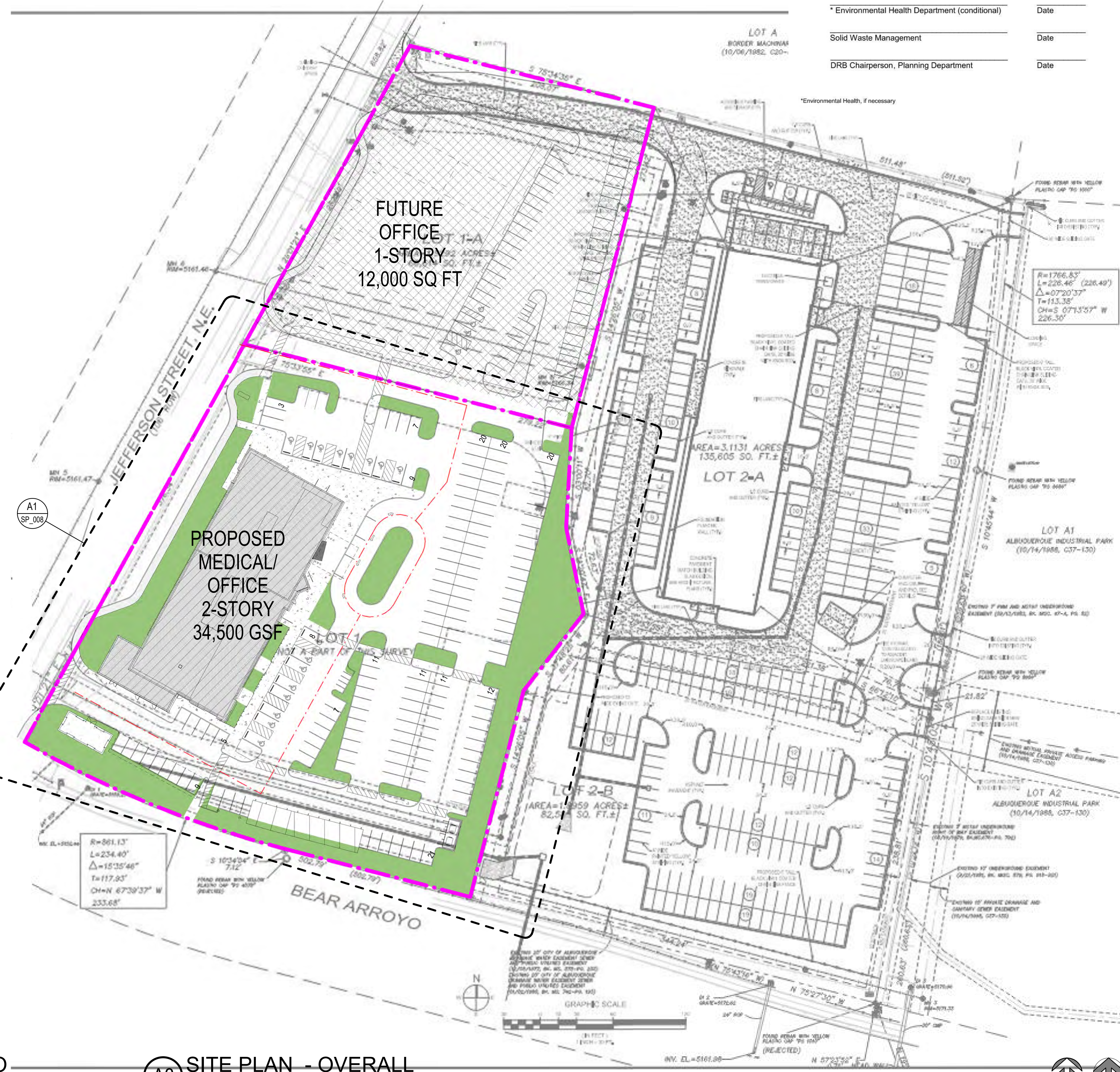
B1 TRAFFIC LIGHTS & ADJACENT DRIVES
1/2" = 1'-0"



A1 EXISTING ZONE/LAND USE
1/2" = 1'-0"



A2 BIKEWAY-TRANSIT-ARROYO
1/2" = 1'-0"



A3 SITE PLAN - OVERALL
1" = 50'-0"



KEYED NOTES - SITE PLAN

- 1. KNOX BOX, RECESS MOUNT, SERIES 3200, BLACK COORDINATE FINAL LOCATION WITH FIRE MARSHAL.
2. NEW CONCRETE PAVING. REFER TO CIVIL PAVING PLAN.
3. ASPHALT PAVING. REFER TO CIVIL PAVING PLAN.
4. PAINTED CROSSWALK. REFER TO CIVIL PAVING PLAN.
5. CONCRETE ACCESSIBLE CURB RAMP. REFER TO CIVIL PAVING PLAN.
6. 6" HIGH PERFORATED METAL GARDEN WALL.
7. EXISTING ACCELERATION LANE.
8. EXISTING CONCRETE SIDEWALK.
9. SITE LIGHTING. REFER TO ES-101.
10. ADA ASSIST DOOR OPERATOR BUTTON. REFER TO ELECTRICAL & SPECIAL SYSTEMS.
11. MANHOLE COVER. REFER TO CIVIL.
12. FIRE HYDRANT. REFER TO ES-101.
13. ELECTRICAL TRANSFORMER LOCATION. REFER TO ES-101.
14. WATER METER. REFER TO CIVIL.
15. GAS METER. REFER TO PLUMBING.
16. LANDSCAPE HOTBOX. REFER TO LANDSCAPE.
17. SPLIT-FACED, INTEGRALLY COLORED CMU, REFUSE CONTAINER AND ENCLOSURE. REFER TO B1A/S112.
18. LANDSCAPE/SWALE. REFER TO CIVIL.
19. DOOR ACCESS CARD READER.
20. DRAINAGE INLET. REFER TO CIVIL.

KEYED NOTES - SITE PLAN

- 21. VESTIBULE.
22. SITE SIGNAGE. REFER TO A3/A5/S111 FOR SPECIFIC SIGN TYPES.
23. POST INDICATOR VALVE.
24. ADA FLUSH ACCESS WALK. REFER TO CIVIL PAVING PLAN.
25. 6" HIGH METAL MESH GATE WITH CYPER LOCK. REFER TO A6 & B6/S112.
26. FIDUCIARY CONNECTION.
27. DUAL VEHICLE CHARGING STATION. REFER TO ELECTRICAL.
28. BICYCLE RACK. REFER TO A4/S111.
29. PAINT CURB RED.
30. 6" HIGH CURB & GUTTER. REFER TO CIVIL PAVING PLAN.
31. 6" HIGH CURB WITH CONCRETE INLET FOR LIGHT STANDARD.
32. PATIENT DROP-OFF PORTE COCHERE.
33. GENERATOR. REFER TO ELECTRICAL.
34. GROUND MOUNTED MECHANICAL UNIT. REFER TO MECHANICAL.
35. 5 1/2" DIAMETER, 10 MPH, REMOVABLE BOLLARD, BOD TRAFFIC GUARD 304 STAINLESS.
36. 4" RECESSED FINISH FLOOR (210 S).
37. 8" HIGH X 3'-0" WIDE, DECORATIVE METAL GATE WITH CYPER LOCK.
38. NOT USED.

KEYED NOTES - SITE PLAN

- 40. CLEAR SIGHT TRIANGLE - LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENT. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
41. EXISTING PROPERTY LINE.
42. NEW, 2-STORY, 34,900 SF MEDICAL OFFICE BUILDING.
43. SUBTYPICAL PLANTINGS.
44. 8'-0" HIGH, INTEGRALLY COLORED (STARLIGHT) CMU SCREEN WALL. REFER TO C3/A5/S112.
45. 8'-0" HIGH, INTEGRALLY COLORED (STARLIGHT) CMU & PERFORATED METAL SCREENED EQUIPMENT YARD. REFER TO A1/A5/S112.
46. ELECTRICAL TRANSFORMER. REFER TO ELECTRICAL.
47. NOT USED.
48. EXISTING MEDIAN CUT.
49. BEAR ARROYO BIKE TRAIL & ACCESS.
50. ROOF TOP MECHANICAL UNITS.

KEYED NOTES - SITE PLAN

- 51. NOT USED.
52. BENCH SEATING.
53. 6'-0" HIGH METAL FENCE. REFER TO A6 & B6/S112.
54. NEW PROPERTY LINE PER ROW DEDICATION PLAT # PR-2021-005746/SO-2021-00202.
55. EXISTING LANDSCAPE BUFFER.

GENERAL NOTES

- A) SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
B) SEE SHEETS A5/S111, A5/S112, A5/S113 & A5/S114 FOR SITE DETAILS.
C) ALL SITE LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS REFER TO C3/A5-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. REFER TO SHEETS E-101 AND E-102.
D) UNLESS NOTED OTHERWISE, ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE. REFER TO PLAN FOR WIDTHS.
E) UNLESS NOTED OTHERWISE, ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING.
F) IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON PAVEMENT.
G) ALL WHEEL CHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. REFER TO A8/A5/S111.

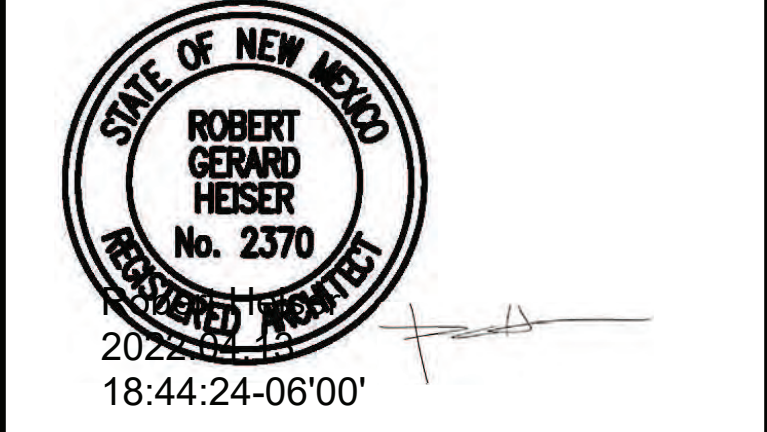


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CONSULTANTS

Architect Engineer



XRANM JEFFERSON OFFICE

5800 JEFFERSON ST., NE ALBUQUERQUE, NM 87109

NOTE: THE INFORMATION ON THE MOST CURRENTLY DATED SHEET PRESIDES

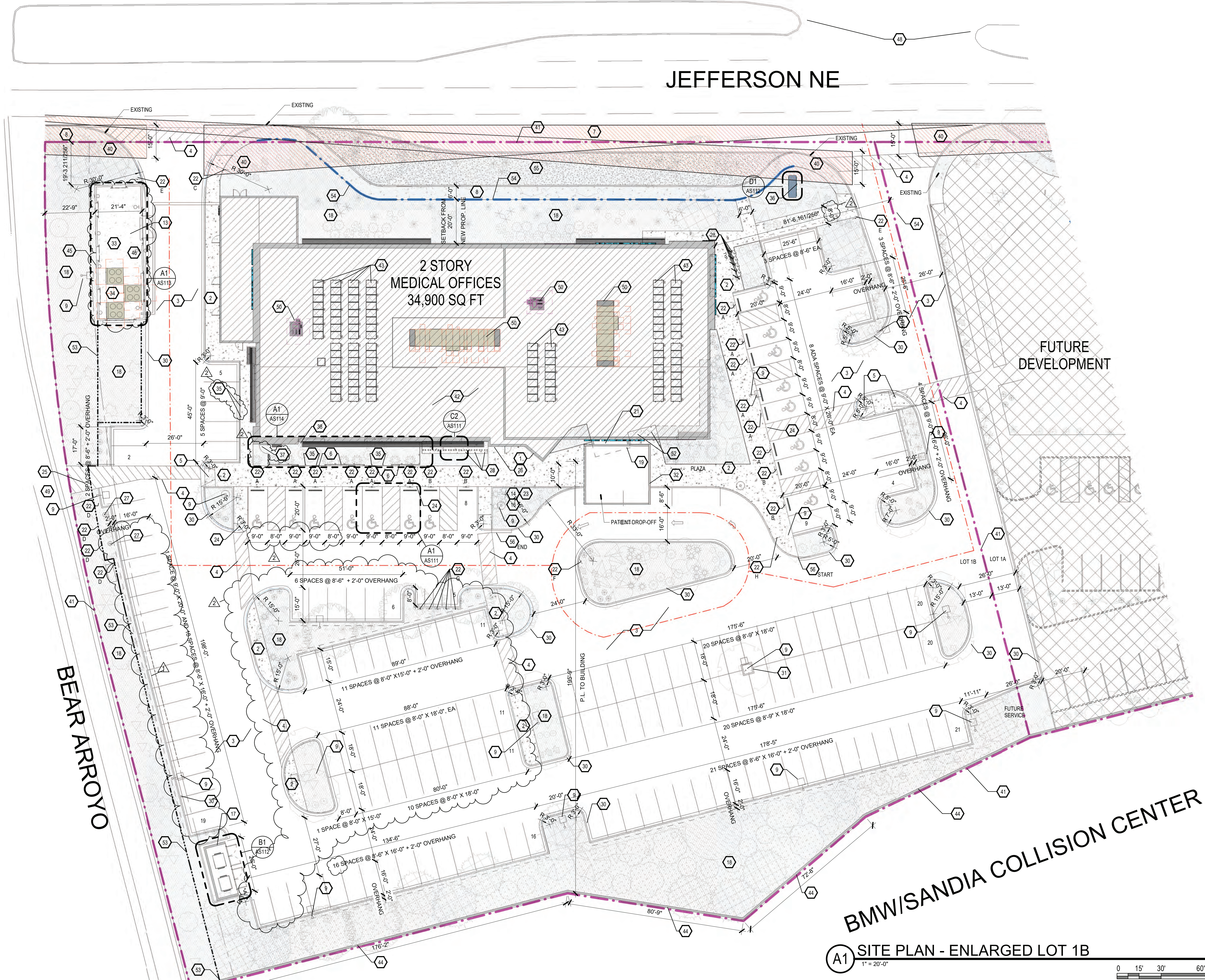
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Revision Schedule table with columns: ISSUE, SHELL PERMIT; PROJECT NUMBER: 2120; FILE: 2120 XRANM_ARCH_Central.rvt; DRAWN BY: CSC; CHECKED BY: Checker; DATE: JAN. 14, 2022.

SHEET TITLE: SITE PLAN - ENLARGED (LOT 1B)

AS102

JEFFERSON NE



LEGEND - SITE PLAN. Includes symbols for Building Footprint, Clear Sight Triangle, Concrete Sidewalk or Paving, Landscaped Area, Future Phase of Development, Existing Concrete Sidewalk or Paving, Existing Landscape, Fire Access Lane, Existing Property Line, and New Property Line.

PARKING SPACE TABULATIONS table showing Proposed and Future GSF, Total GSF, and Total Spaces Required/Provided for 91000 Medical Office.

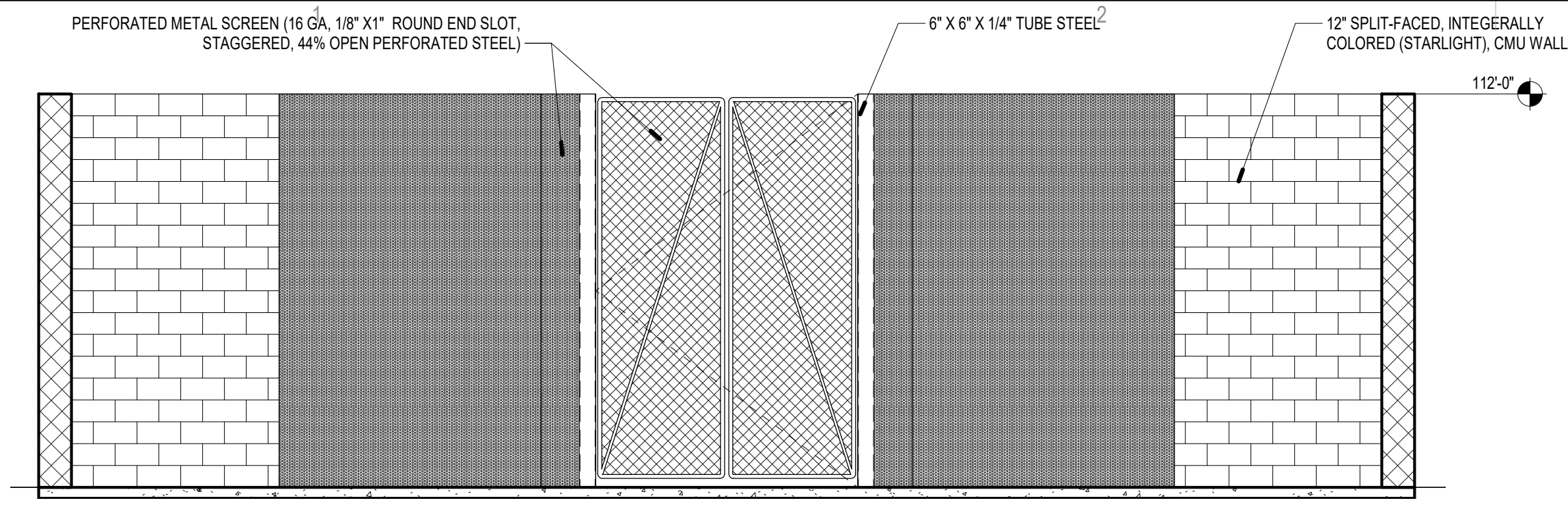
OFF-STREET PARKING and ACCESSIBLE SPACES requirements. Includes typical parking sizes (e.g., 3-9'0" x 20'0" - STANDARD), accessible spaces required/provided, compact spaces, electric vehicle requirements, motorcycle spaces, and bicycle spaces.

A1 SITE PLAN - ENLARGED LOT 1B. Scale: 1" = 20'-0". Includes North arrow and graphic scale.

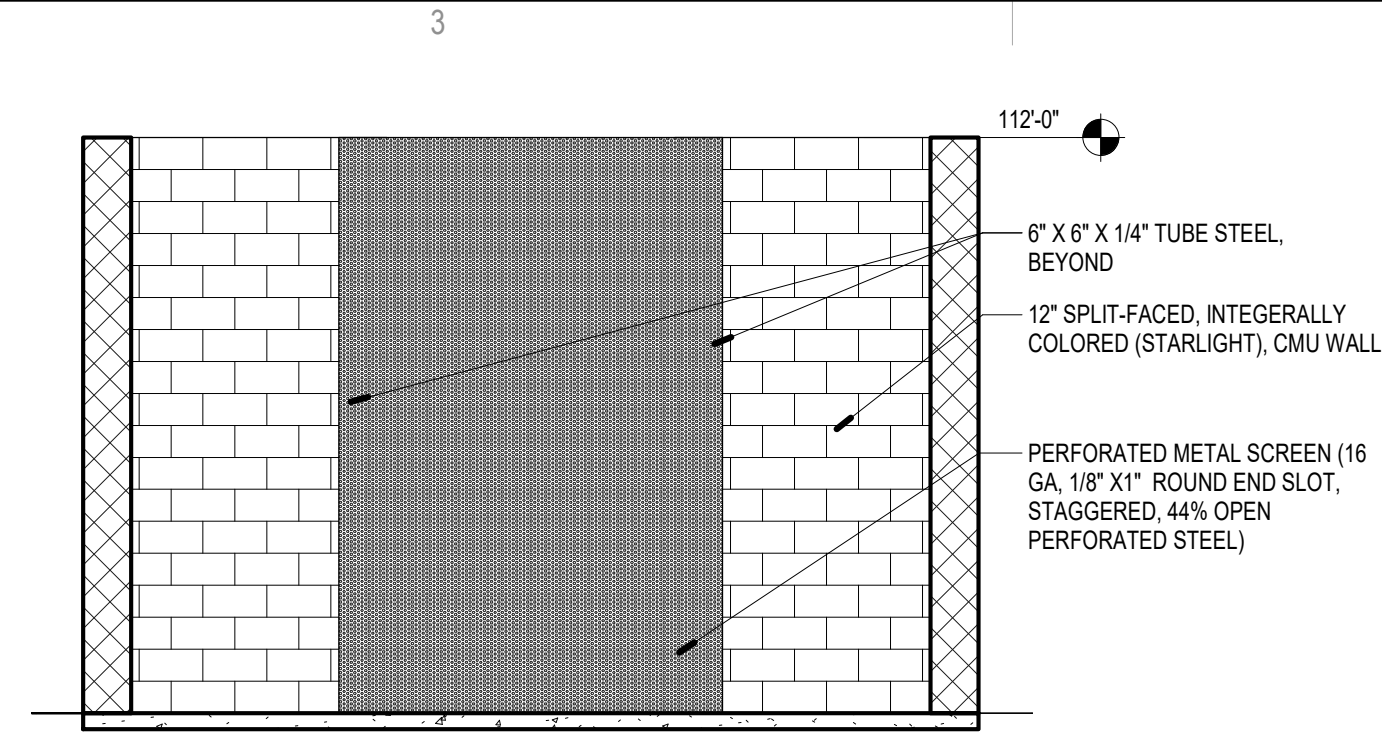
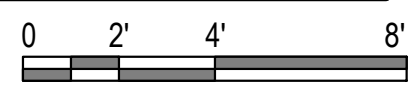
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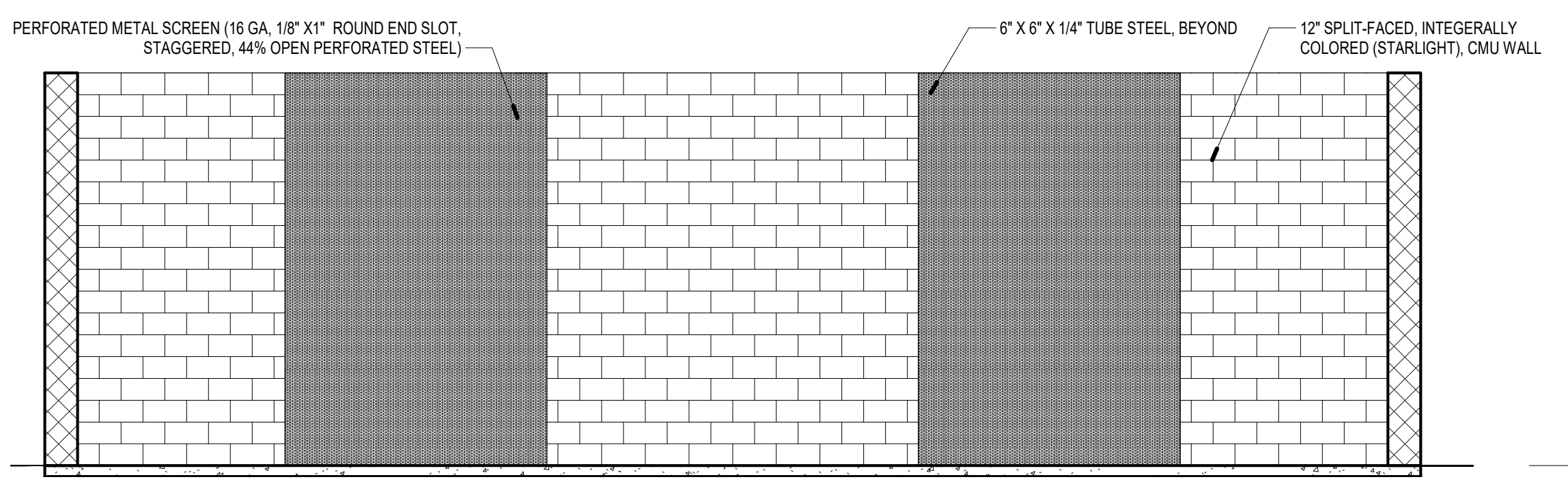
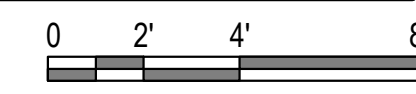
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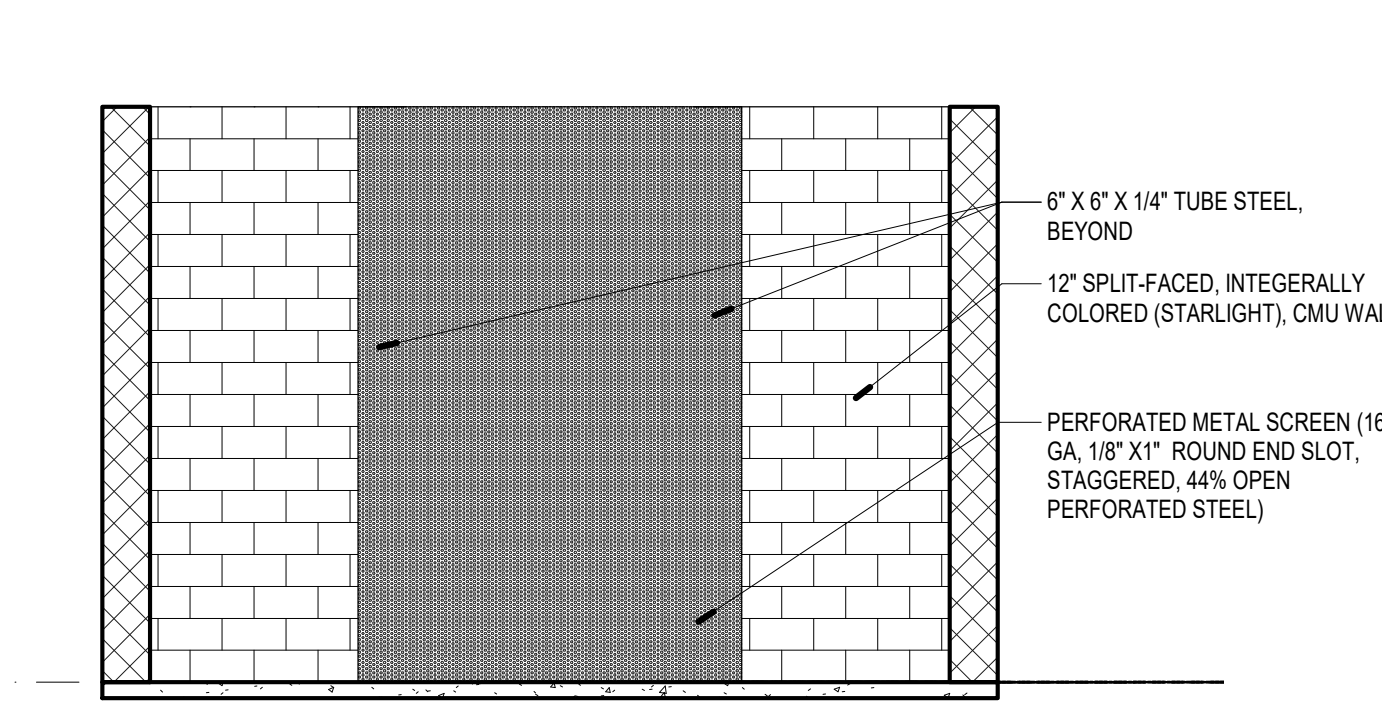
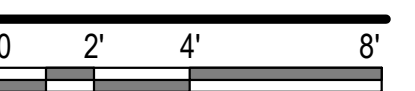
D1 EQP YD ELEV - NORTH
1/4" = 1'-0"



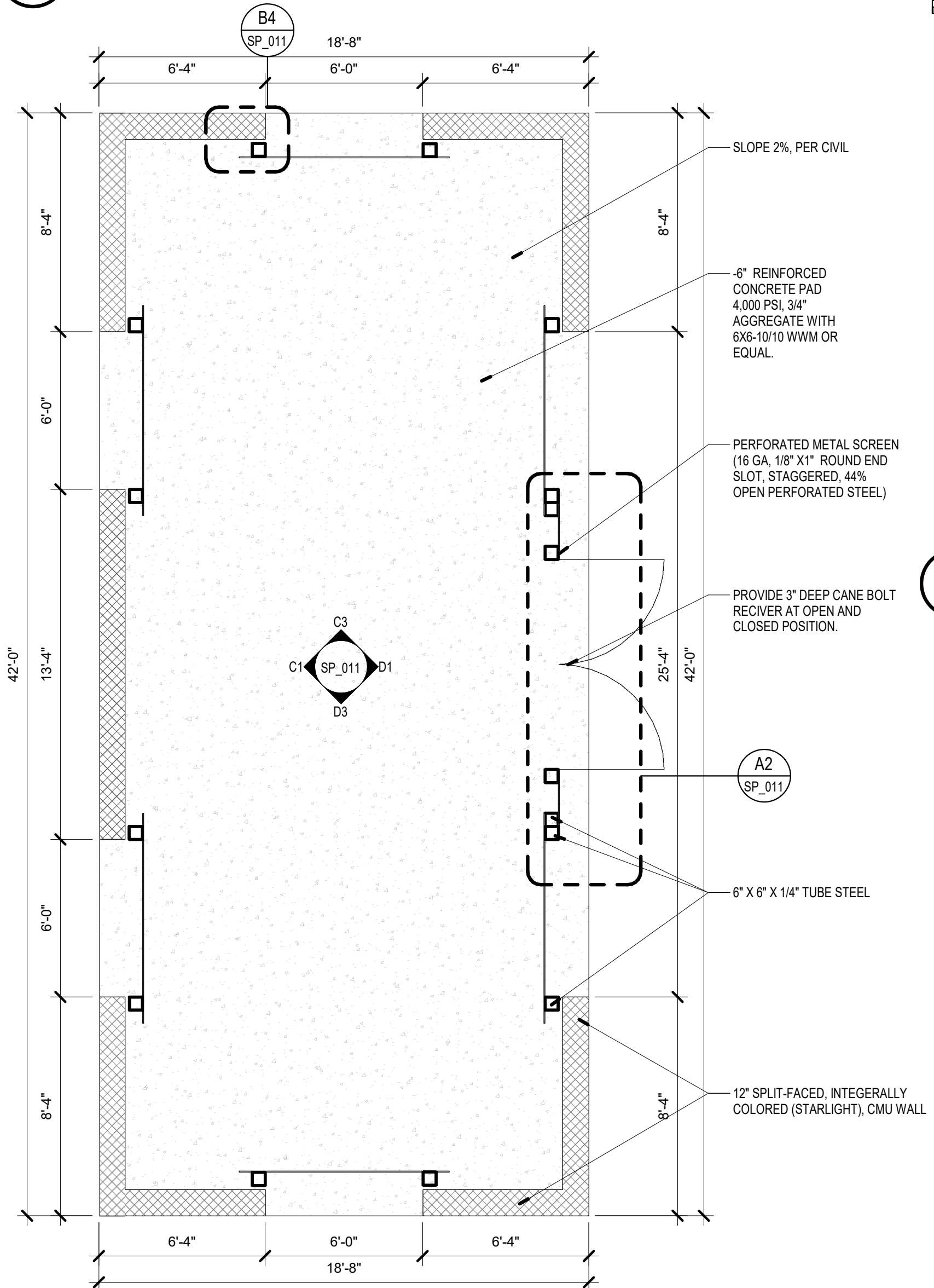
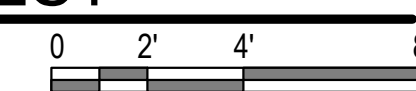
D3 EQP YD ELEV - EAST
1/4" = 1'-0"



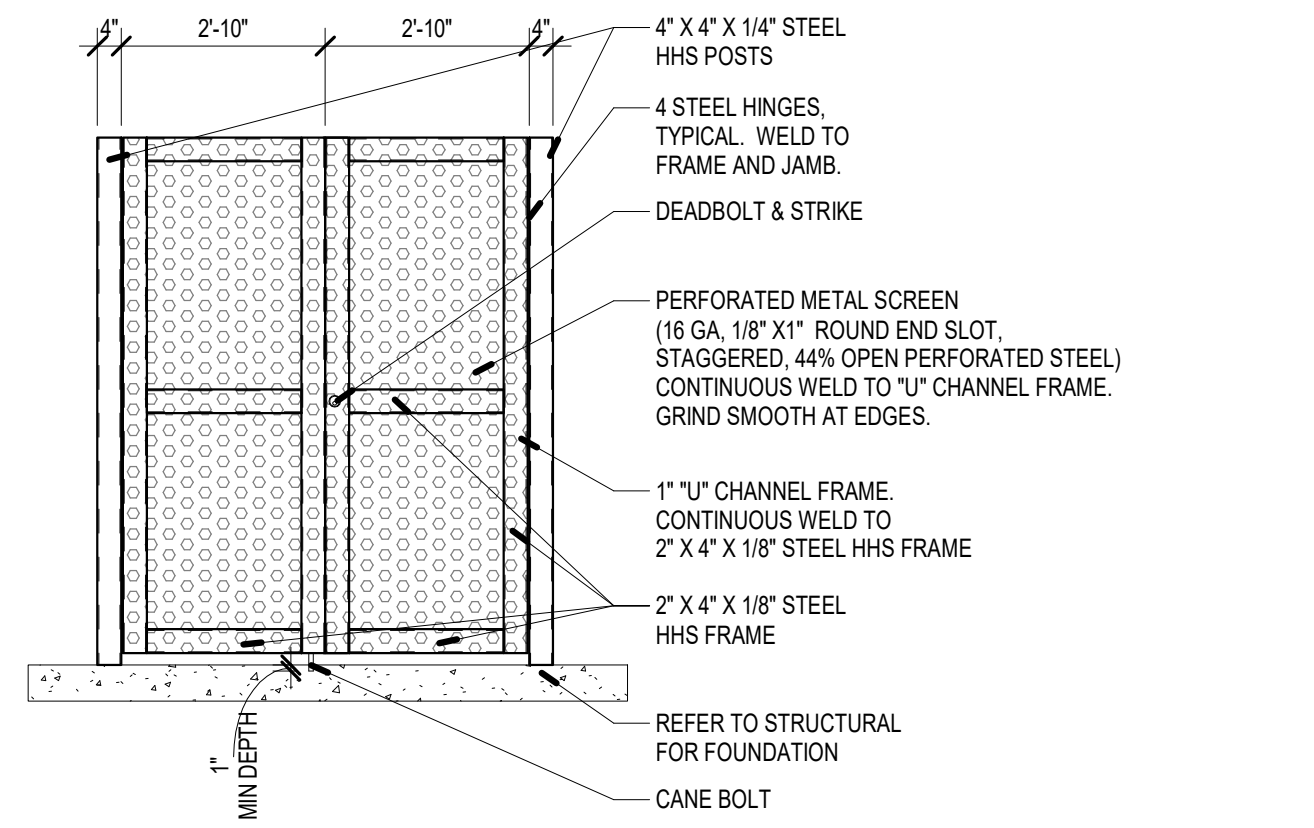
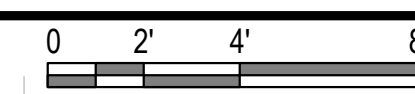
C1 EQP YD ELEV - SOUTH
1/4" = 1'-0"



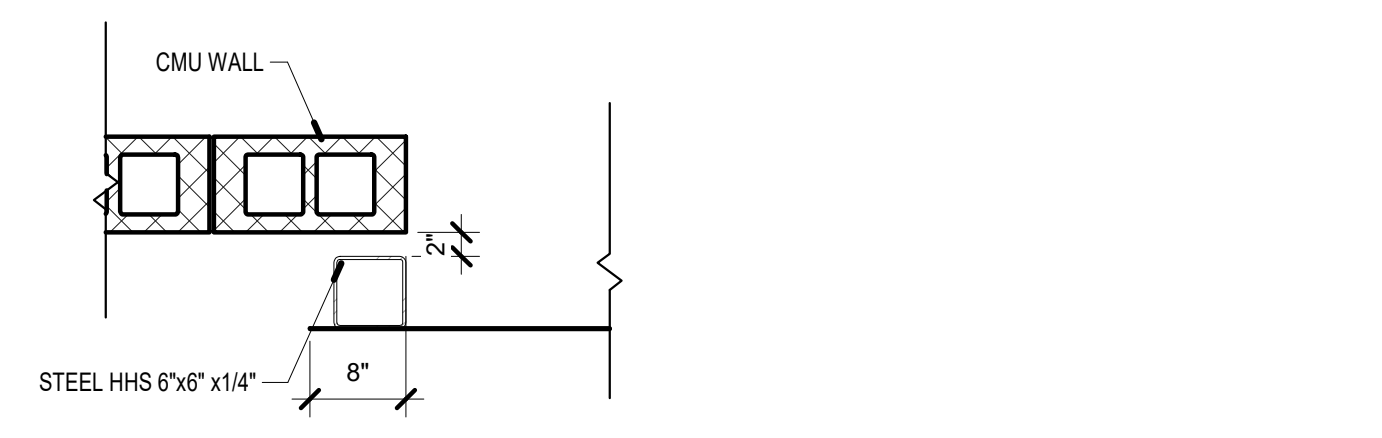
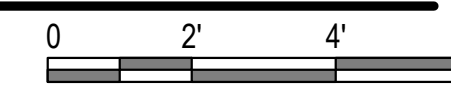
C3 EQP YD ELEV - WEST
1/4" = 1'-0"



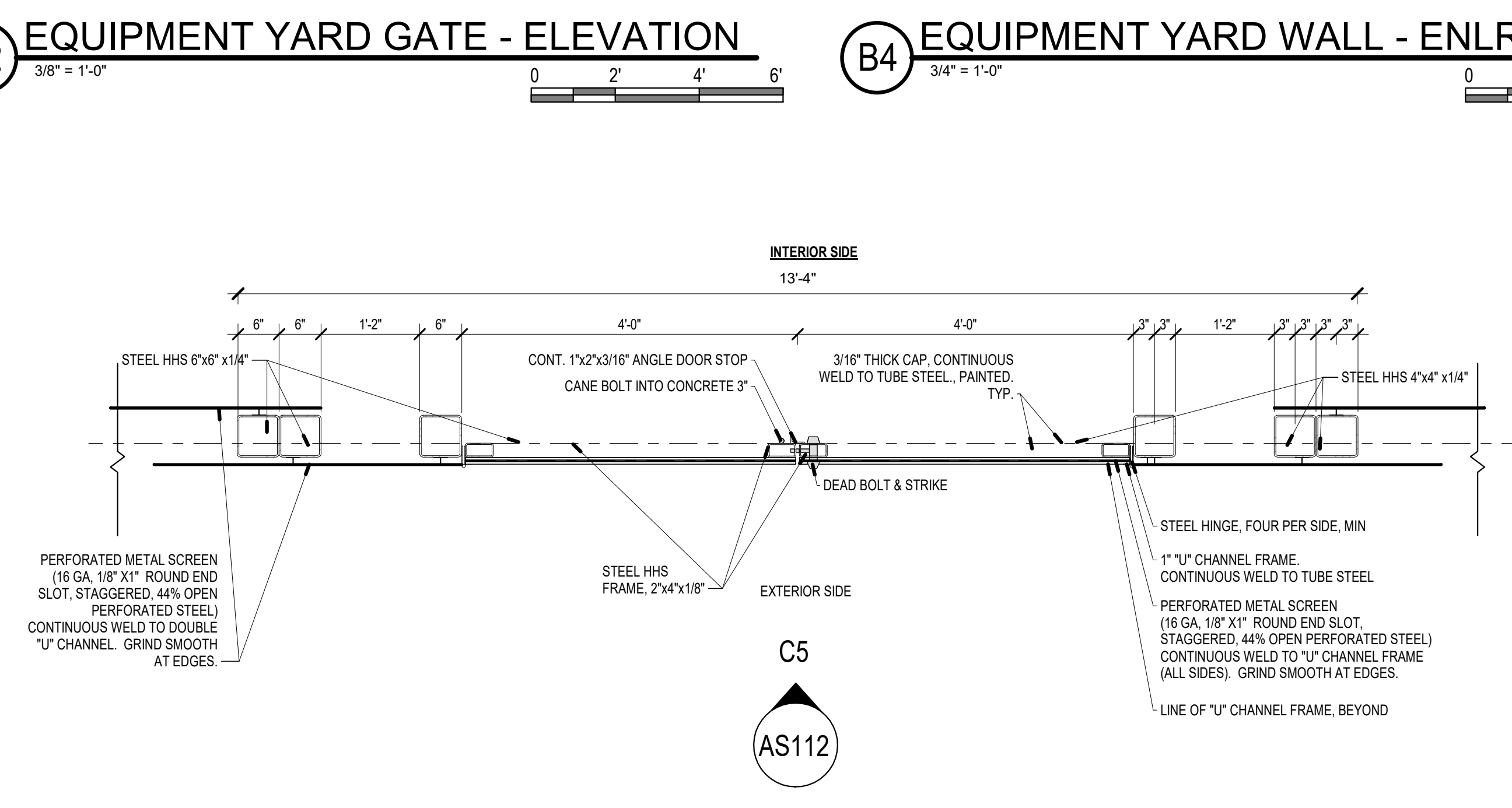
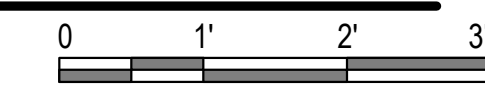
A1 EQUIPMENT YARD PLAN
1/4" = 1'-0"



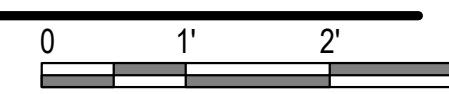
B2 EQUIPMENT YARD GATE - ELEVATION
3/8" = 1'-0"



B4 EQUIPMENT YARD WALL - ENLRGD PLAN
3/4" = 1'-0"



A2 EQUIPMENT YARD GATE - PLAN
3/4" = 1'-0"



PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division _____ Date _____

ABCWUA _____ Date _____

Parks and Recreation Department _____ Date _____

City Engineer/Hydrology _____ Date _____

Code Enforcement _____ Date _____

* Environmental Health Department (conditional) _____ Date _____

Solid Waste Management _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

*Environmental Health, if necessary

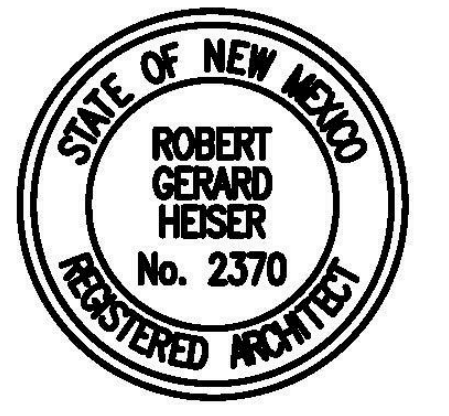


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CONSULTANTS

Architect _____ Engineer _____



XRANM JEFFERSON OFFICE

5900 JEFFERSON ST., NE
ALBUQUERQUE, NM
87109

No	Date	Description
Revision Schedule		
ISSUE:	DRB SUBMITTAL	
PROJECT NUMBER:	21XX	
FILE:	2120 XRANM_ARCH_Central.rte	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	OCT. 06, 2021	

SHEET TITLE
AS113_SITE DETAILS -
EQUIPMENT YARD

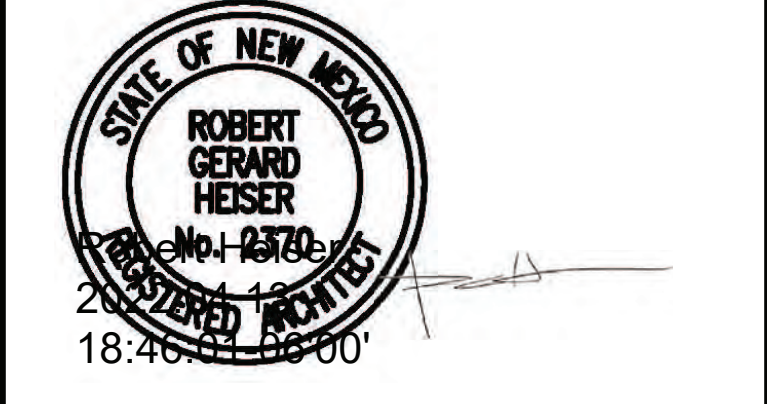
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4/13/2022 6:16:46 PM

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CONSULTANTS

Architect Engineer



XRANM JEFFERSON OFFICE

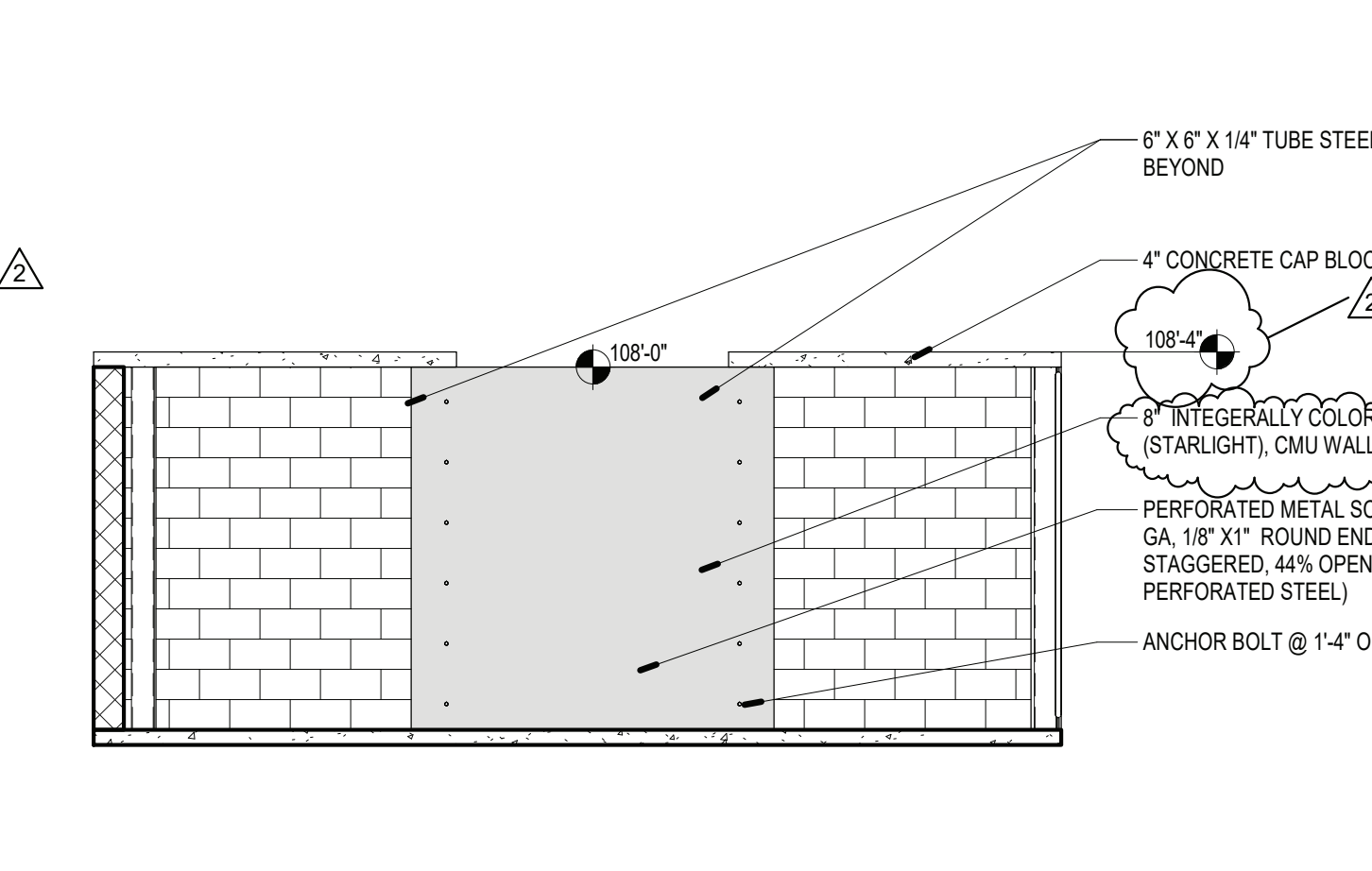
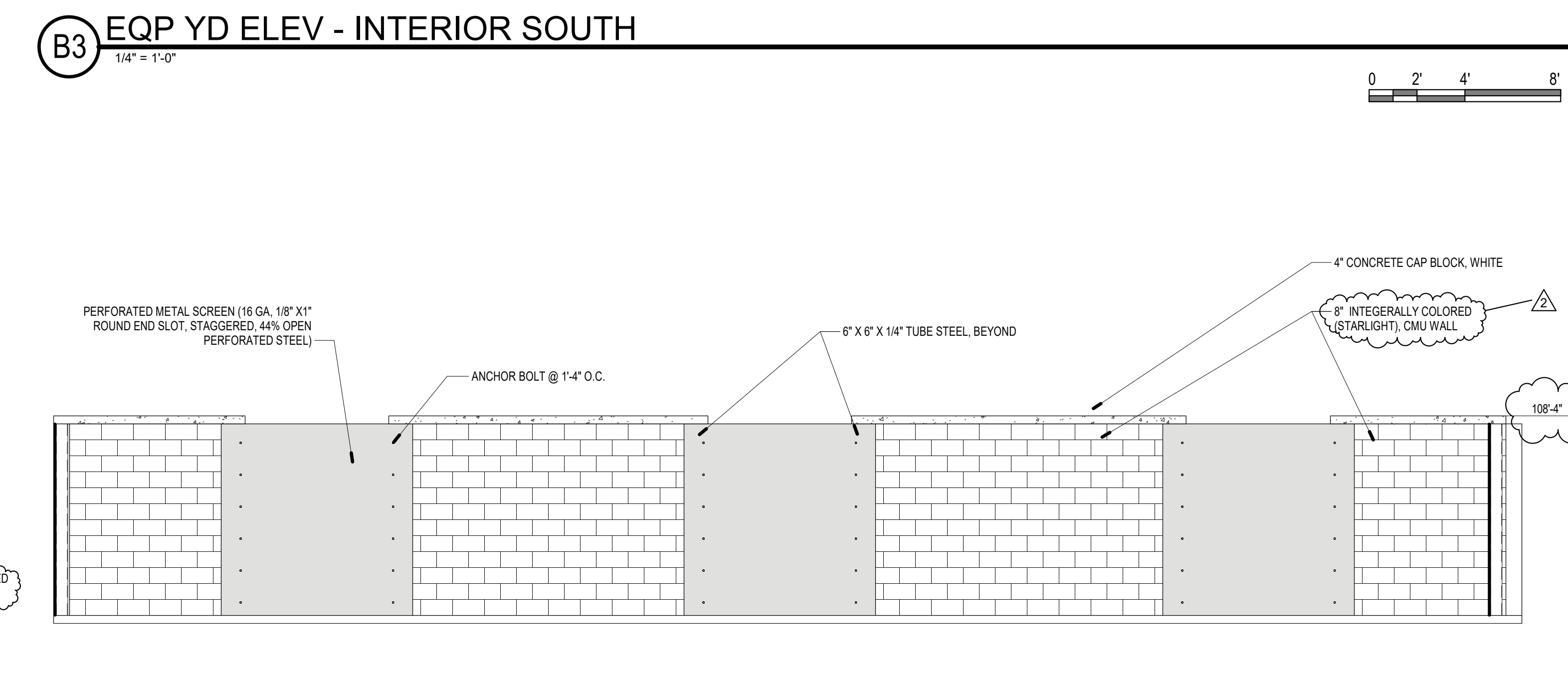
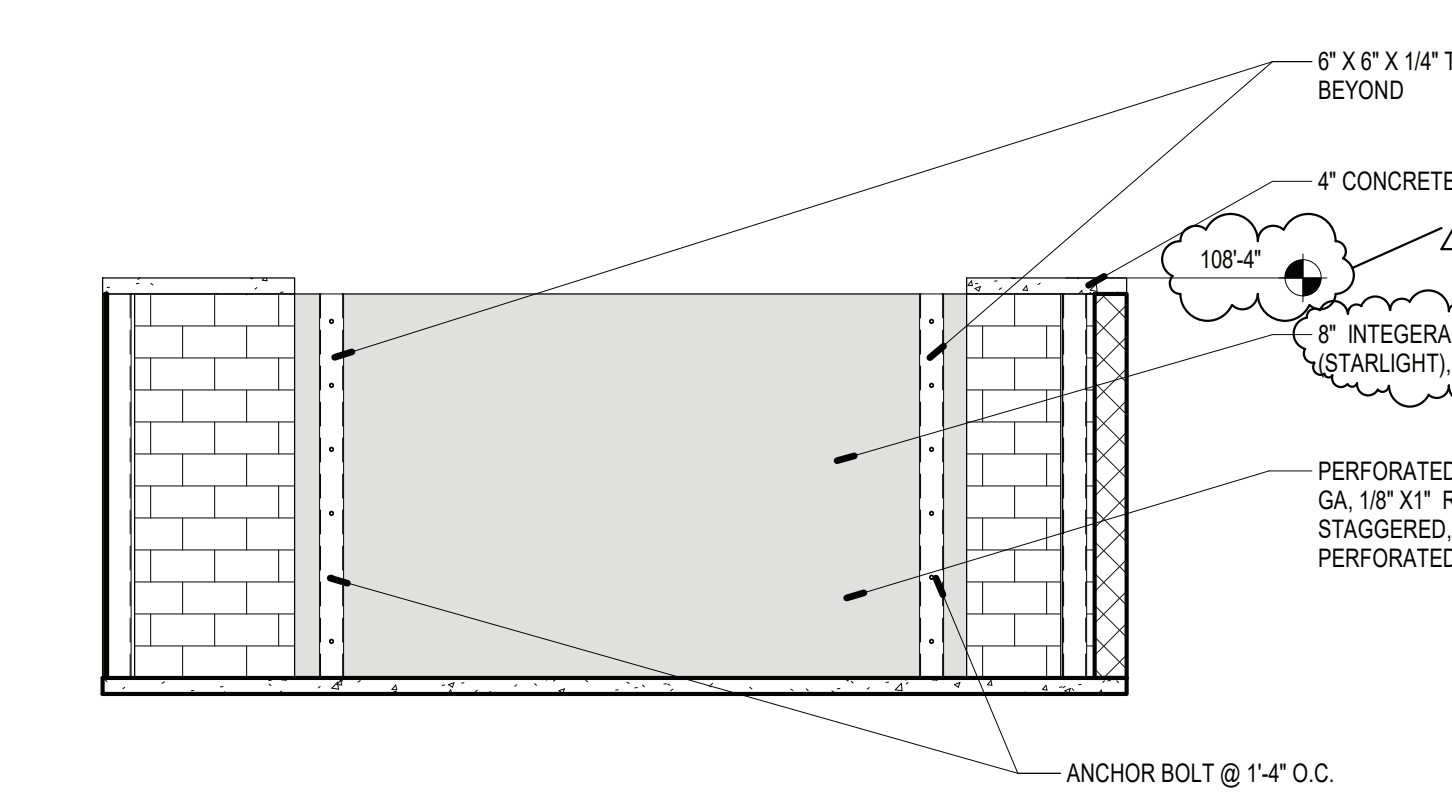
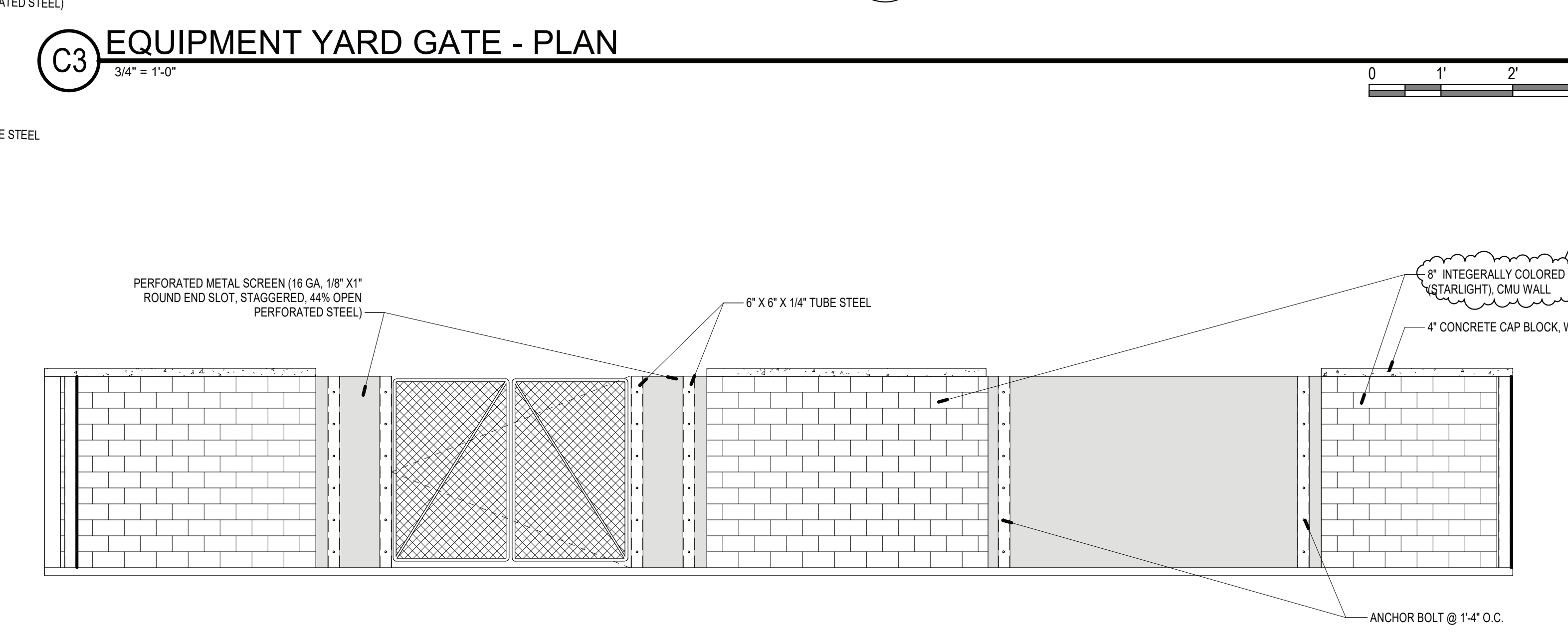
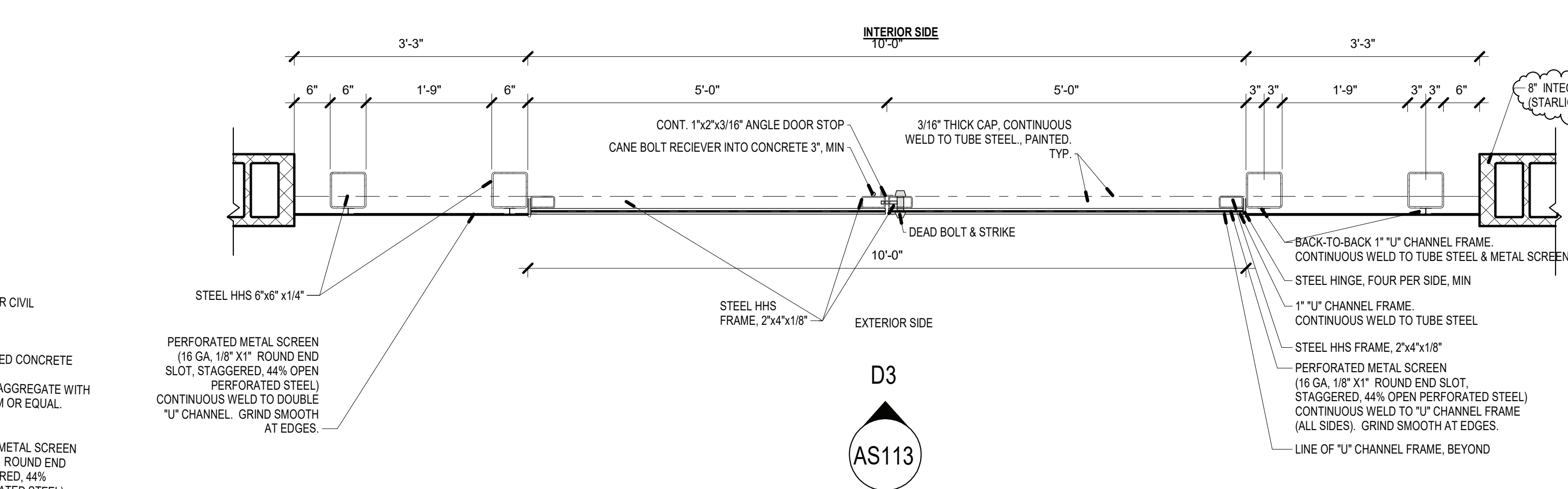
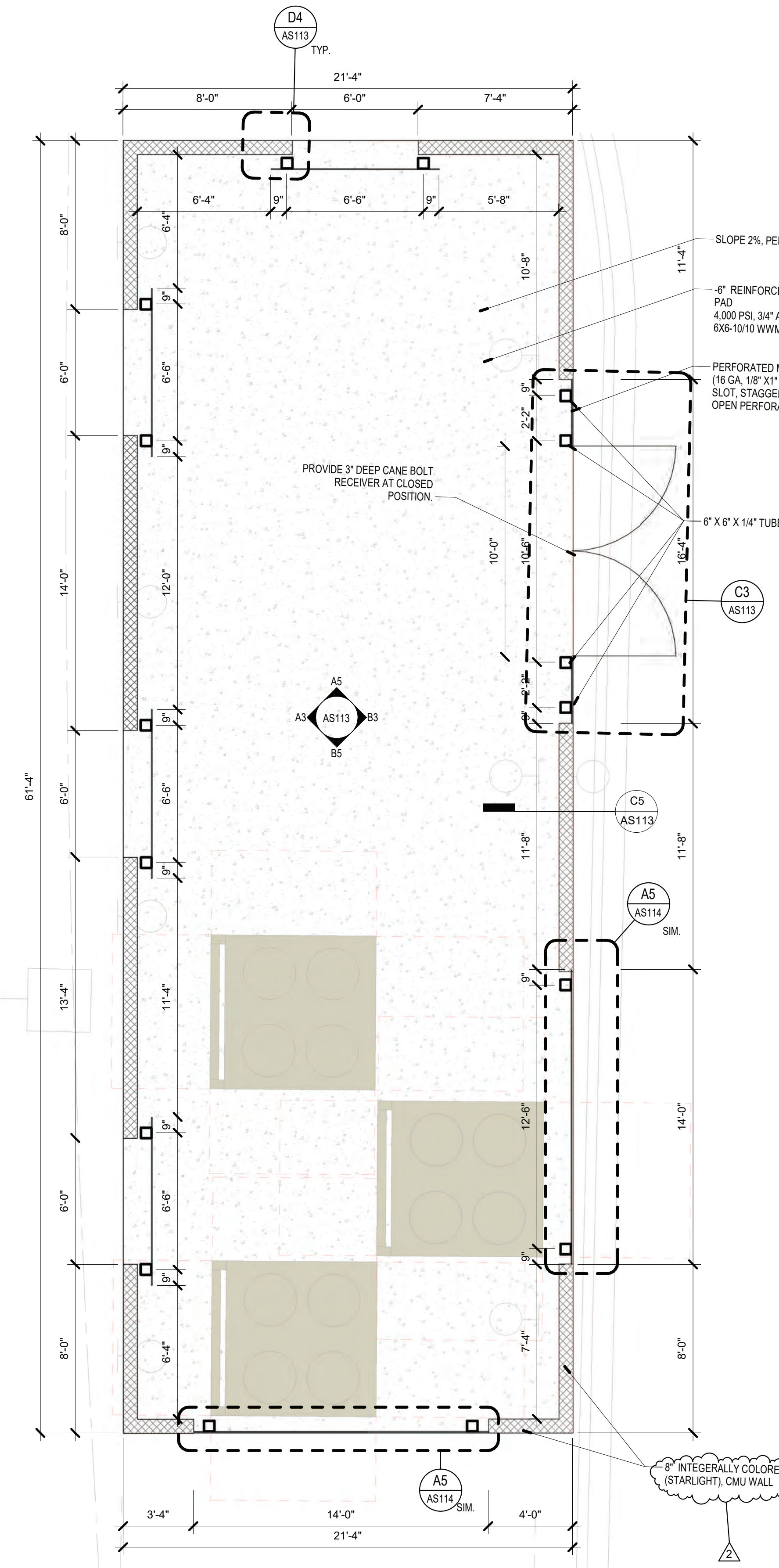
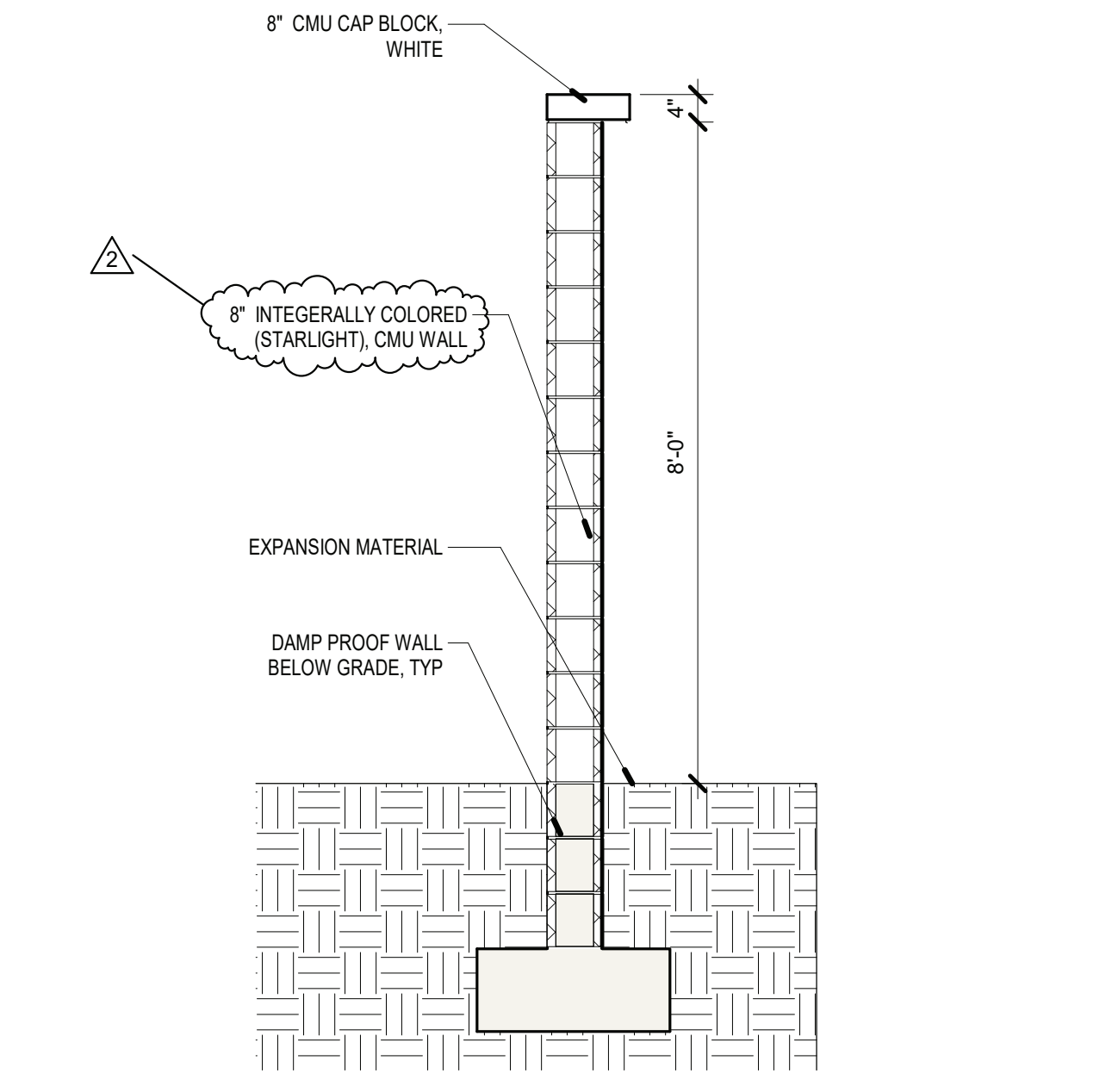
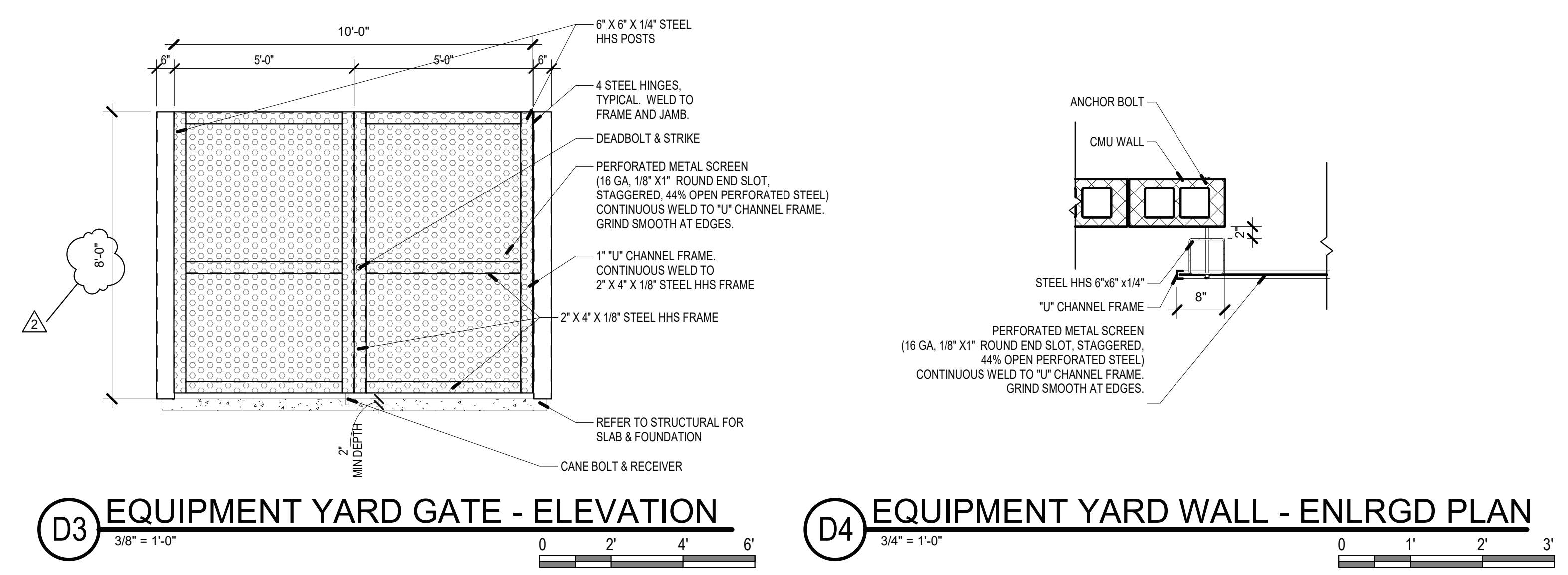
5800 JEFFERSON ST., NE
ALBUQUERQUE, NM
87109

NOTE:
THE INFORMATION ON THE MOST CURRENTLY DATED SHEET PRESIDES

No	Date	Description
2	04/15/2022	ASI 002
Revision Schedule		
ISSUE: SHELL PERMIT		
PROJECT NUMBER: 2120		
FILE: 2120 XRANM_ARCH_Central.rvt		
DRAWN BY: CSC		
CHECKED BY: Checker		
DATE: JAN. 14, 2022		

SHEET TITLE
SITE DETAILS - EQUIPMENT YARD

AS113



Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. *The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).*

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.

Section A.

General Site Arrangement and Building Orientation:

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.

Achieved Achieved in Part Evaluated Only

2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.

Achieved Achieved in Part Evaluated Only

3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.

Achieved Achieved in Part Evaluated Only

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Achieved Achieved in Part Evaluated Only

5. Design should allow for natural ventilation as much as possible.

Achieved Achieved in Part Evaluated Only

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Achieved Achieved in Part Evaluated Only

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved Achieved in Part Evaluated Only

8. North facing windows are encouraged as they require little to no shading.

Achieved Achieved in Part Evaluated Only

9. Any west facing building entries and windows should mitigate solar effects.

Achieved Achieved in Part Evaluated Only

Outdoor Elements (Integration):

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved Achieved in Part Evaluated Only

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Achieved Achieved in Part Evaluated Only

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved Achieved in Part Evaluated Only

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Achieved Achieved in Part Evaluated Only

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Achieved Achieved in Part Evaluated Only

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved Achieved in Part Evaluated Only

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved Achieved in Part Evaluated Only N/A

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved Achieved in Part Evaluated Only

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved Achieved in Part Evaluated Only

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project XRANM and Application No _____.

Signature of Project Architect/License No.

Signature of Project Landscape Architect/License No.

Section B.

Sun and Shade Analysis requirements in compliance with 5-2(D)(1):

A solar shading analysis shall be submitted with all site plan submittals, except for industrial development and multi-family residential development containing less than 25 units.

The desired outcome is that **summer sun** be shaded at least 50% or more on transparent windows and doors at three peak times on each facade.

The desired outcome is that 75% of **winter sun** should reach transparent windows and doors at noon on each facade.

The submittal shall include sun and shade analysis on elevations of all primary facades with a minimum of four elevations. Screen shots from a program like SketchUp are acceptable.

Summer Sun Analysis

1. Show the effects of summer sun on windows on the following date and times:
 - a. May 21st analysis:
 - 9:00 AM
 - Noon
 - 4:00 PM
 - b. The shading study for May should show the percentage of shading of transparent windows and doors at 9 am and 4 pm. **The desired outcome is that 50% or more of the transparent windows and doors be shaded at 9 am and 4 pm on each façade.**
 - c. The shading study for May should show the percentage of shading of transparent windows and doors at noon. **The desired outcome is for 90% or more of transparent windows and doors be shaded at noon on each façade.**
 - d. Plantings may be modeled and included in the shading analysis. Use the mature size of trees and large shrubs according to the Albuquerque Plant List.
 - e. If no sun is influencing a façade at any of the above times, the graphic should simple state “no solar effect.”

Winter Sun Analysis

2. Show the effects of winter sun on windows on the following date and time:
 - a. November 21st analysis:
 - Noon
 - b. The shading study for November will show the amount of sun reaching the transparent windows or doors and not shaded. **The desired outcome is for 75% of available sun to reach the windows or doors on each facade.**

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved Achieved in Part Evaluated Only

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved Achieved in Part Evaluated Only N/A

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved Achieved in Part Evaluated Only

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved Achieved in Part Evaluated Only

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project XRANM and Application No

Signature of Project Architect/License No.

#2370 NM

Signature of Project Landscape Architect/License No.

NM 67

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CONSULTANTS

Architect Engineer

XRANM JEFFERSON OFFICE

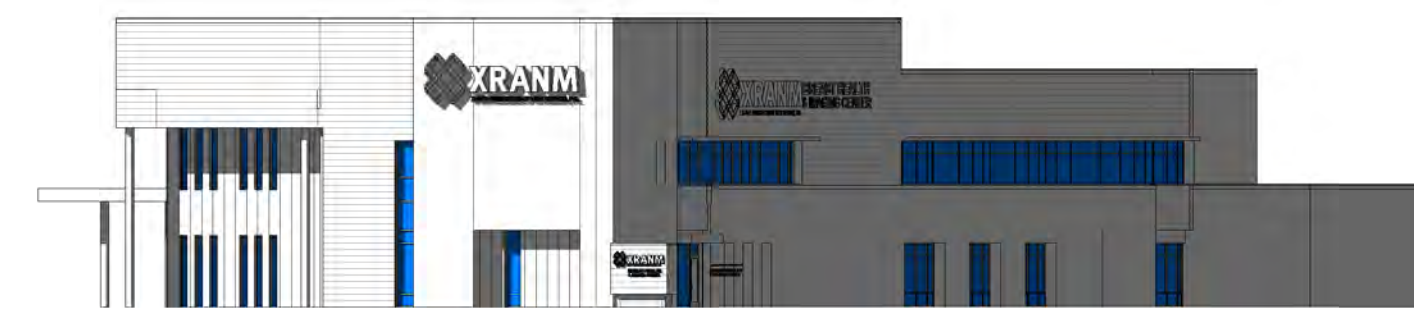
5900 JEFFERSON ST., NE
ALBUQUERQUE, NM
87109

No	Date	Description
Revision Schedule		

ISSUE:	DRB SUBMITTAL
PROJECT NUMBER:	21XX
FILE:	2120 XRANM_ARCH_Central.rvt
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	SEPT. 24, 2021


SHEET TITLE
SITE & BUILDING DESIGN CONSIDERATIONS

MAY 21 9AM - GOAL: 50% SHADING OF TRANSPARENT WINDOWS AND DOORS



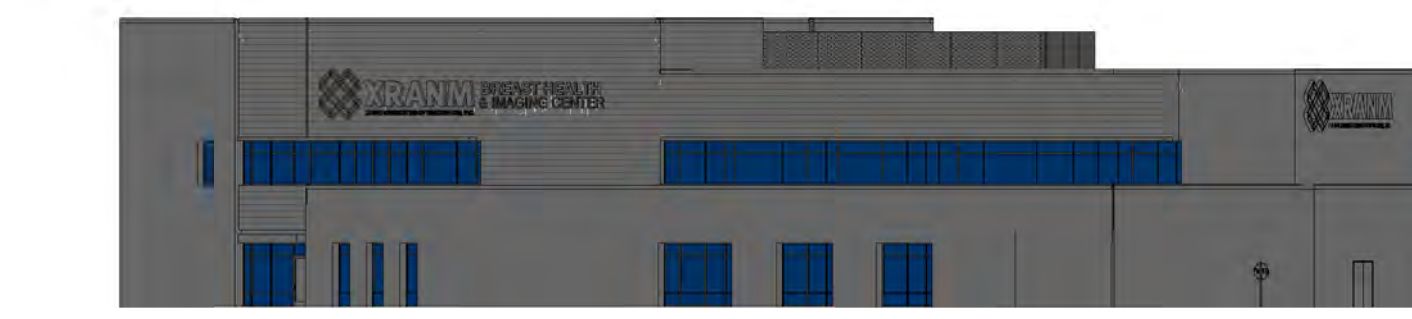
D1 North Elevation - May 21 9am
1" = 30'-0"

VISUAL INSPECTION RESULT: **PASS**




D2 South Elevation - May 21 9am
1" = 30'-0"

GLAZING AREA IN VIEW: 1323 SF
SUN EXPOSURE: 483 SF
483 / 1323 = 37% EXPOSURE, 63% SHADING
RESULT: **PASS**



D3 West Elevation - May 21 9am
1" = 30'-0"


VISUAL INSPECTION RESULT: **PASS**



D4 East Elevation - May 21 9am
1" = 30'-0"


GLAZING AREA IN VIEW: 2001 SF
SUN EXPOSURE: 1203 SF
1203 / 2001 = 60% EXPOSURE, 40% SHADING
RESULT: **FAIL**

MAY 21 NOON - GOAL: 90% SHADING OF TRANSPARENT WINDOWS AND DOORS




C1 North Elevation - May 21 Noon
1" = 30'-0"

VISUAL INSPECTION RESULT: **PASS**




C2 South Elevation - May 21 Noon
1" = 30'-0"

GLAZING AREA IN VIEW: 1323 SF
SUN EXPOSURE AREA: 76 SF
76 / 1323 = 6% EXPOSURE, 94% SHADING
RESULT: **PASS**



C3 West Elevation - May 21 Noon
1" = 30'-0"


VISUAL INSPECTION RESULT: **PASS**



C4 East Elevation - May 21 Noon
1" = 30'-0"


GLAZING AREA IN VIEW: 2001 SF
SUN EXPOSURE AREA: 416 SF
416 / 2001 = 21% EXPOSURE, 79% SHADING
RESULT: **FAIL**

MAY 21 4PM - GOAL: 50% SHADING OF TRANSPARENT WINDOWS AND DOORS




B1 North Elevation - May 21 4pm
1" = 30'-0"

VISUAL INSPECTION RESULT: **PASS**




B2 South Elevation - May 21 4pm
1" = 30'-0"

VISUAL INSPECTION RESULT: **PASS**



B3 West Elevation - May 21 4pm
1" = 30'-0"


GLAZING AREA IN VIEW: 1301 SF
SUN EXPOSURE AREA: 357 SF
357 / 1301 = 27% EXPOSURE, 73% SHADING
RESULT: **PASS**



B4 East Elevation - May 21 4pm
1" = 30'-0"


VISUAL INSPECTION RESULT: **PASS**

NOV 21 NOON - GOAL: 75% OF TRANSPARENT WINDOWS AND DOORS TO RECEIVE SUN




A1 North Elevation - Nov 21 Noon
1" = 30'-0"

VISUAL INSPECTION RESULT: **FAIL**




A2 South Elevation - Nov 21 Noon
1" = 30'-0"

GLAZING AREA IN VIEW: 1323 SF
SUN EXPOSURE AREA: 763 SF
763 / 1323 = 58% EXPOSURE, 42% SHADING
RESULT: **FAIL**



A3 West Elevation - Nov 21 Noon
1" = 30'-0"

VISUAL INSPECTION RESULT: **FAIL**



A4 East Elevation - Nov 21 Noon
1" = 30'-0"

GLAZING AREA IN VIEW: 1995 SF
SUN EXPOSURE AREA: 1067 SF
1067 / 1995 = 53% EXPOSURE, 47% SHADING
RESULT: **FAIL**