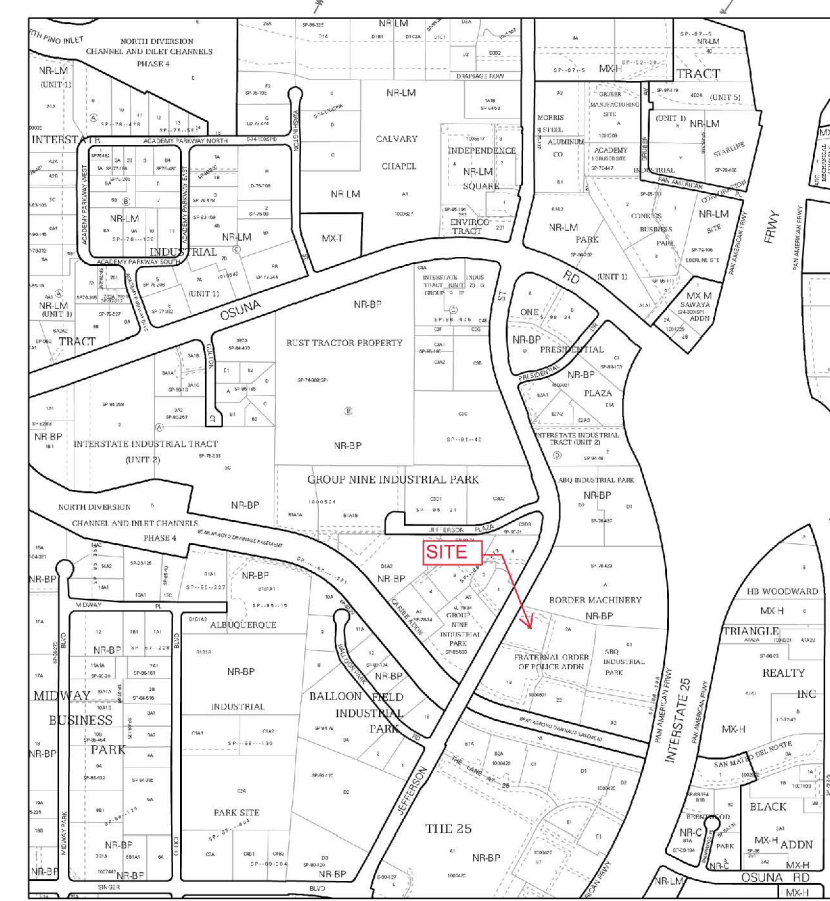


(A1) SITE PLAN
0 10' 20' 40'
SCALE: 1"=20'-0"



PARKING CALCULATIONS	HOTEL
TOTAL GUESTROOMS	103
TOTAL PARKING STALLS REQUIRED	103
TOTAL STALLS PROVIDED ON SITE	54
TOTAL EV CHARGING STALLS	4
TOTAL EV CREDIT	44
TOTAL CREDITED STALLS	58
SHARED PARKING CALCULATIONS	
103 STALLS (HOTEL) + 173 STALLS (MEDICAL OFFICE) = 228 STALLS REQUIRED	
122 PLANNING DEPT. ADMINISTRATION LETTER DATED SEPTEMBER 11, 2023	
TOTAL ADJACENT SITE STALLS:	173 STALLS
TOTAL ON SITE STALLS PROVIDED:	58 STALLS
TOTAL STALLS PROVIDED:	231 STALLS
ADDITIONAL HOTEL PARKING REQUIREMENTS	
TOTAL MOTORCYCLE STALLS REQUIRED	3
TOTAL MOTORCYCLE STALLS PROVIDED	4
TOTAL BICYCLE STALLS REQUIRED	2
TOTAL BICYCLE STALLS PROVIDED	2
TOTAL ADA STALLS REQUIRED	4
TOTAL ADA STALLS PROVIDED (1 VAN ACCESSIBLE)	6

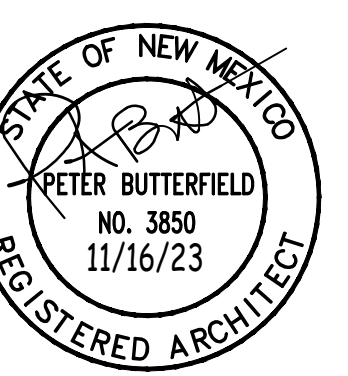
FAÇADE DESIGN DATA	
5-11(E)(2) Façade Design	
5-11(E)(2)(a) General	
(2) Each street-facing façade shall incorporate at least 2 of the following features along at least 30 percent of the length of the façade, distributed along the façade so that at least 1 of the incorporated features occurs every 40 feet.	
d. Portals, arcades, canopies, trellises, awnings over windows or other elements that provide shade or protection from the weather.	TRELLIS LENGTH PROVIDED: 53 LINEAR FEET (31% OF FAÇADE LENGTH)
f. Raised planters between 12 inches and 28 inches above grade with the surface planted to achieve at least 75 percent vegetative cover at maturity.	PLANTER LENGTH PROVIDED: 18 LINEAR FEET (12% OF FAÇADE LENGTH)
TOTAL FAÇADE FEATURE LENGTH PROVIDED: 82 LINEAR FEET (43% OF FAÇADE LENGTH)	

PROJECT DATA	
LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 1-B-1 FRATERNAL ORDER POLICE ADDITION (BEING COMPREHENSIVE OF LOTS 1-A AND 1-BFRATERNAL ORDER OF POLICE ADDITION) CONT 1.4572 AC ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO	
ZONING: NR-BP	
BUILDING COVERAGE: THE PERCENTAGE OF A LOT THAT IS COVERED BY BUILDING FOOTPRINTS: 63.47%	
SITE AREA: 14,402 SF	
PERCENTAGE OF A LOT THAT IS COVERED BY BUILDING FOOTPRINT: 22.7%	

WRITTEN PROJECT SUMMARY	
THE PROPOSED PROJECT IS LIMITED SERVICE FIVE STORY HOTEL BUILDING WITH ON-HUNDRED THREE (103) GUEST SUITES. THE FIRST STORY IS 14,155 S.F. AND EACH UPPER STORY IS APPROXIMATELY 12,640 S.F. FOR A TOTAL BUILDING AREA OF 64,715 SQUARE FEET. THE PROPOSED USE OF THE BUILDING WILL BE A SHORT TERM STAY HOTEL WHICH IS ALLOWED WITHIN NR-BP PERMISSIVE USES.	
DRAWING INDEX	
1 AS-1 SITE PLAN	
2 LS01 LANDSCAPE PLAN	
3 CO01 GRADING AND DRAINAGE PLAN	
4 CO02 UTILITY PLAN	
5 A-1 BUILDING ELEVATIONS	
6 A-2 BUILDING ELEVATIONS	
7 A-3 ARCHITECTURAL DETAILS	

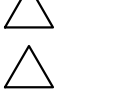
PROJECT NUMBER: PR-2021-005746	
Application Number: SI-2023-01893	
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DFT SITE DEVELOPMENT PLAN APPROVAL:	
Ernest Arroyo 18/07/2024	18/07/2024
Traffic Engineering, Transportation Division	Code Enforcement
19/08/2024	
ABCWUA	* Environmental Health Department (conditional)
17/07/2024	
Parks and Recreation Department	Solid Waste Management
18/07/2024	18/07/2024
Hydrology	Planning Department

DRAWING NAME
REVISIONS

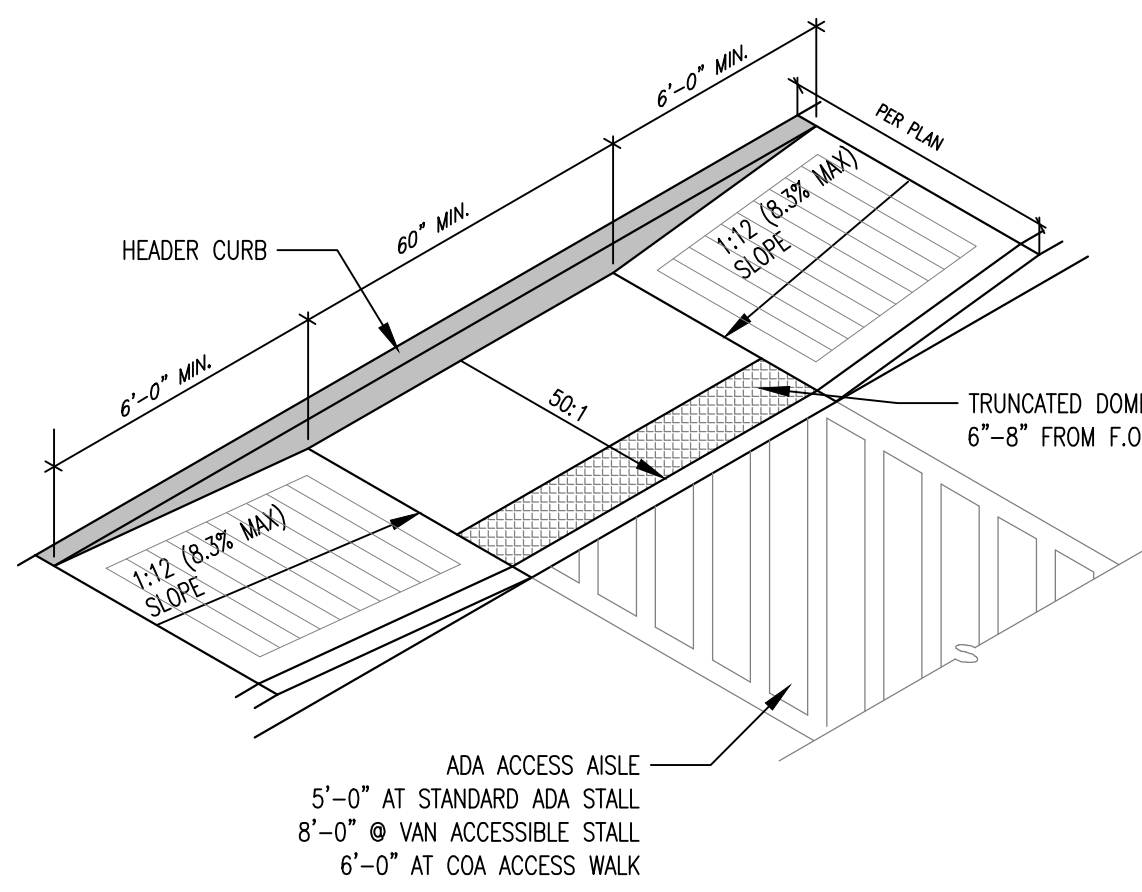


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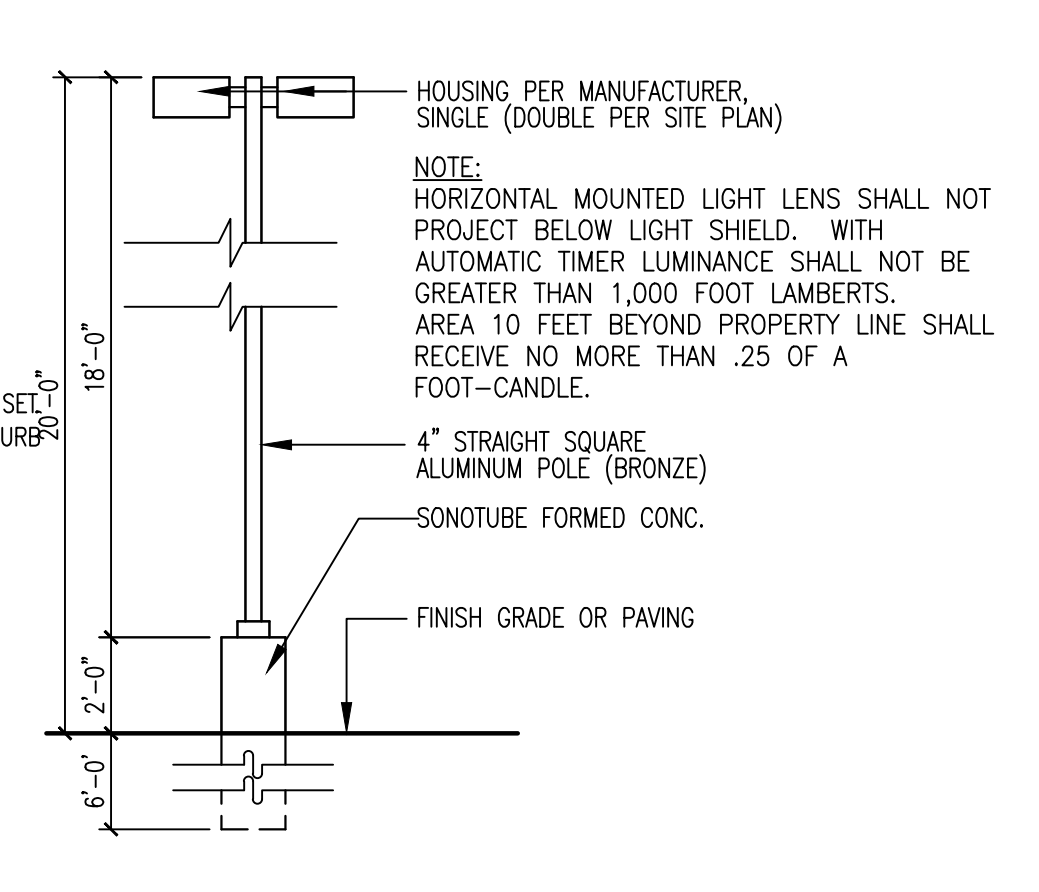
REVISIONS



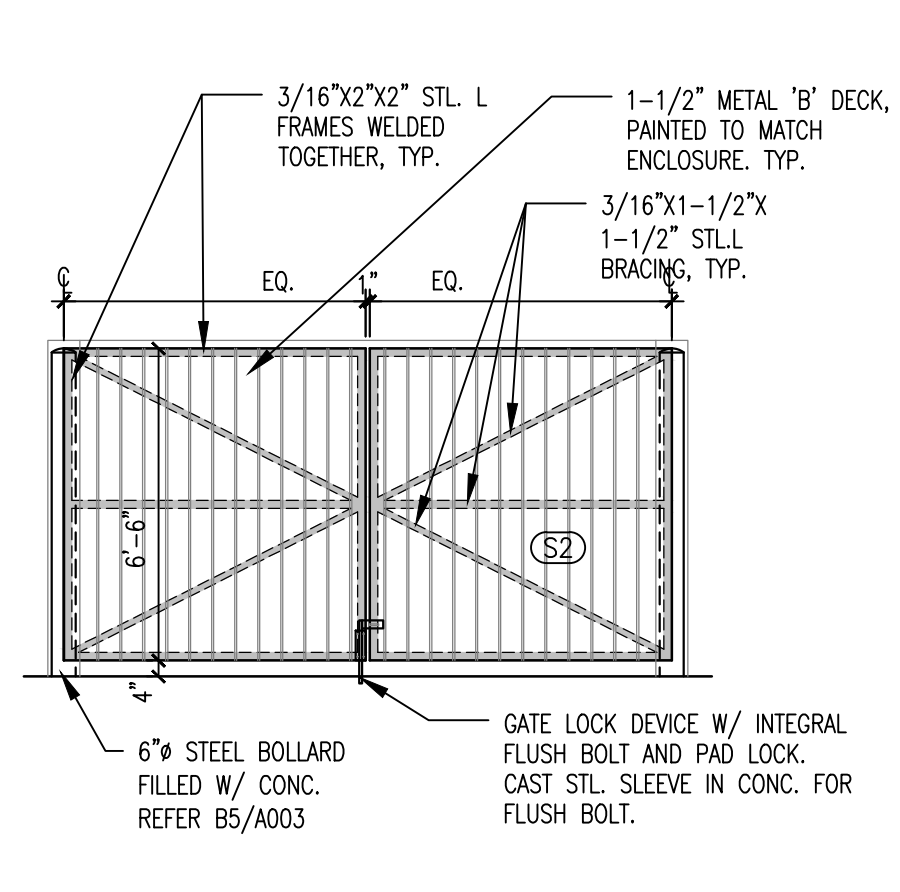
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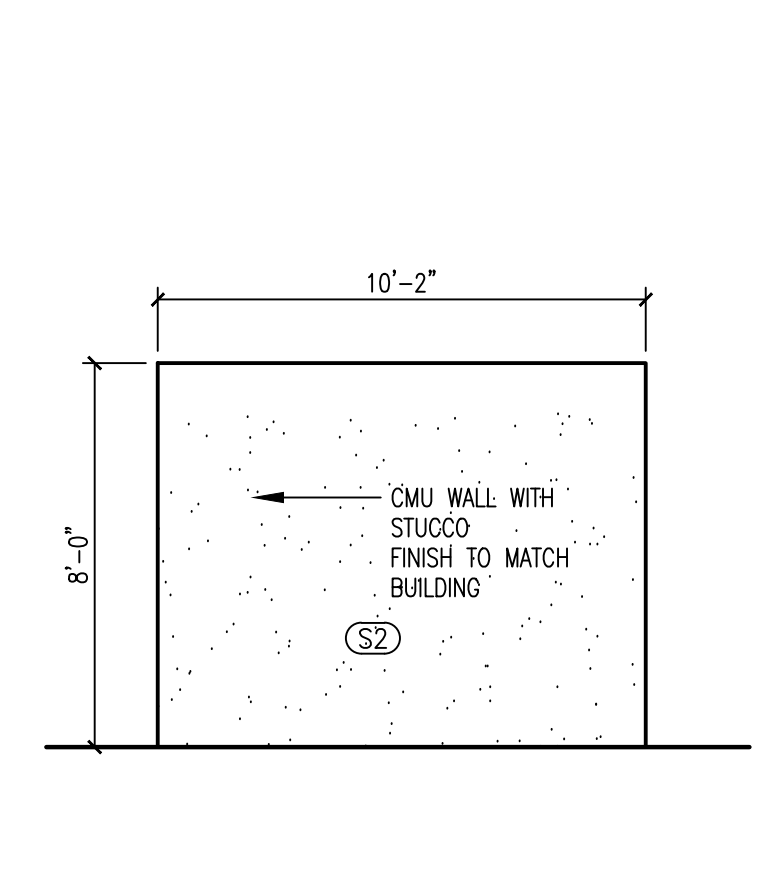
A1 ADA COMPLAINT RAMP
1/2"=1'-0"



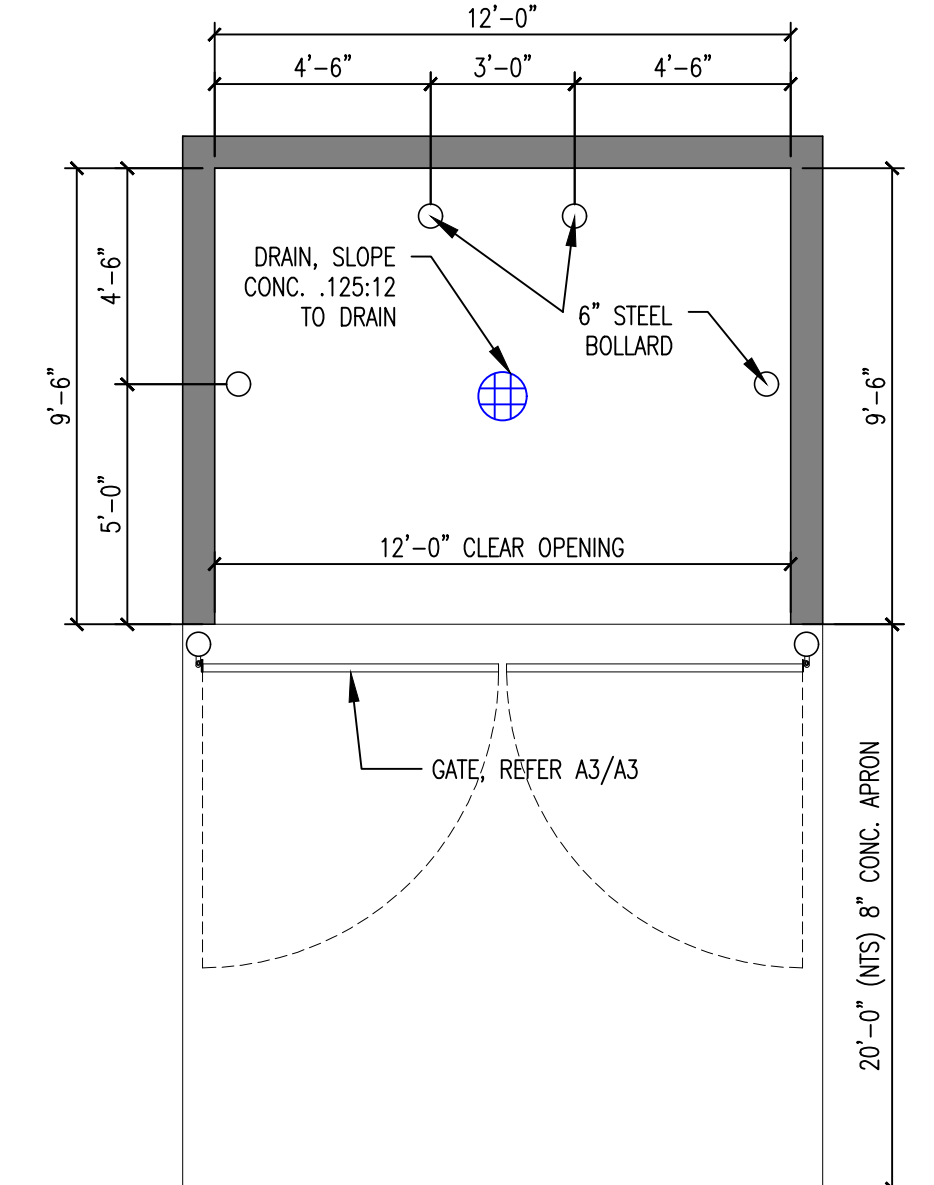
A2 LIGHT POLE DETAIL
1/4"=1'-0"



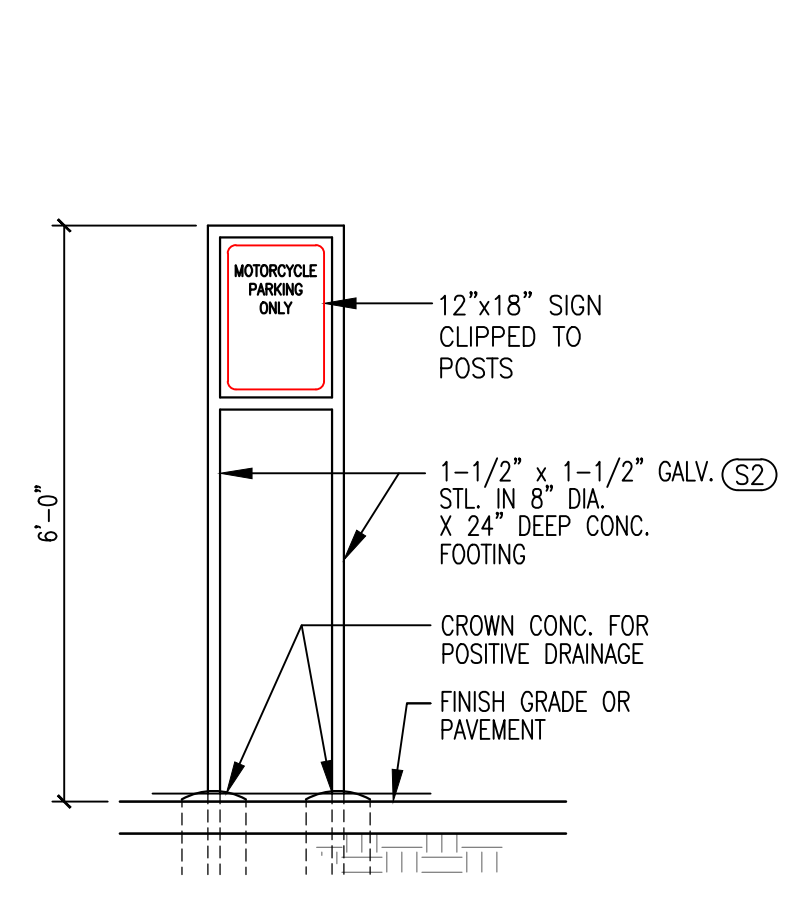
A3 TRASH GATE ELEVATION
1/4"=1'-0"



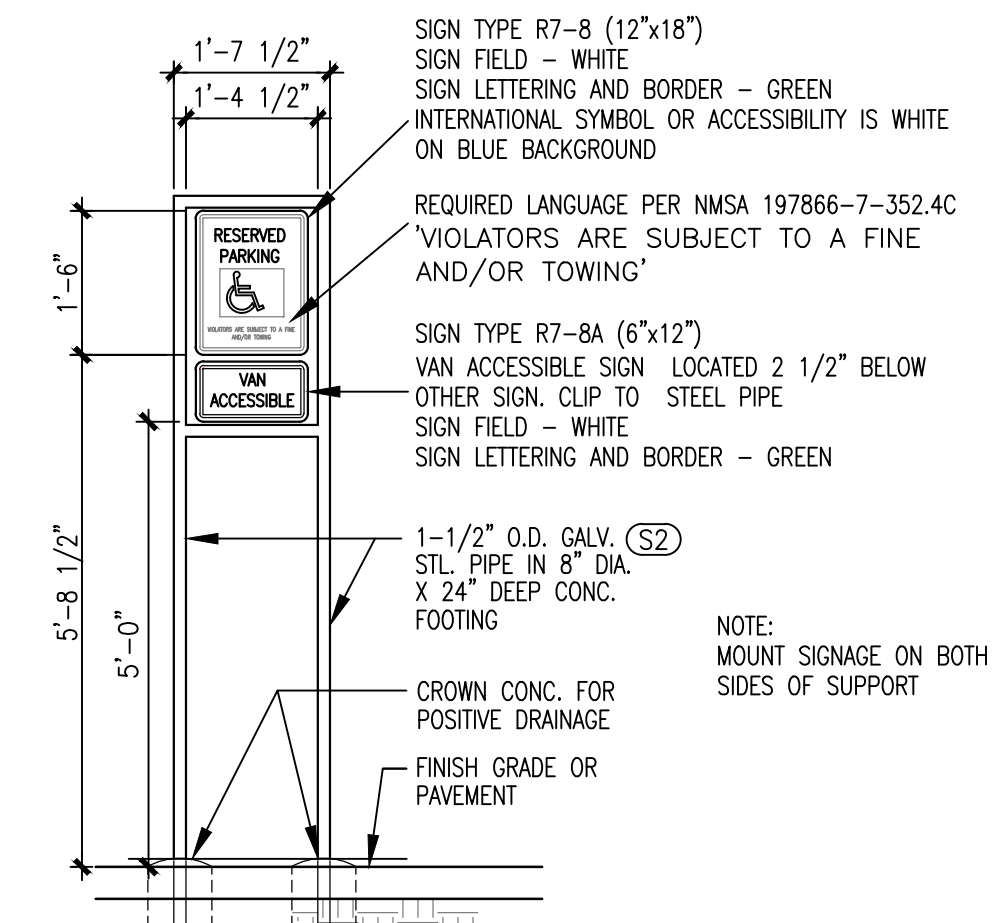
A4 TRASH ENCLOSURE WALL ELEVATION
1/4"=1'-0"



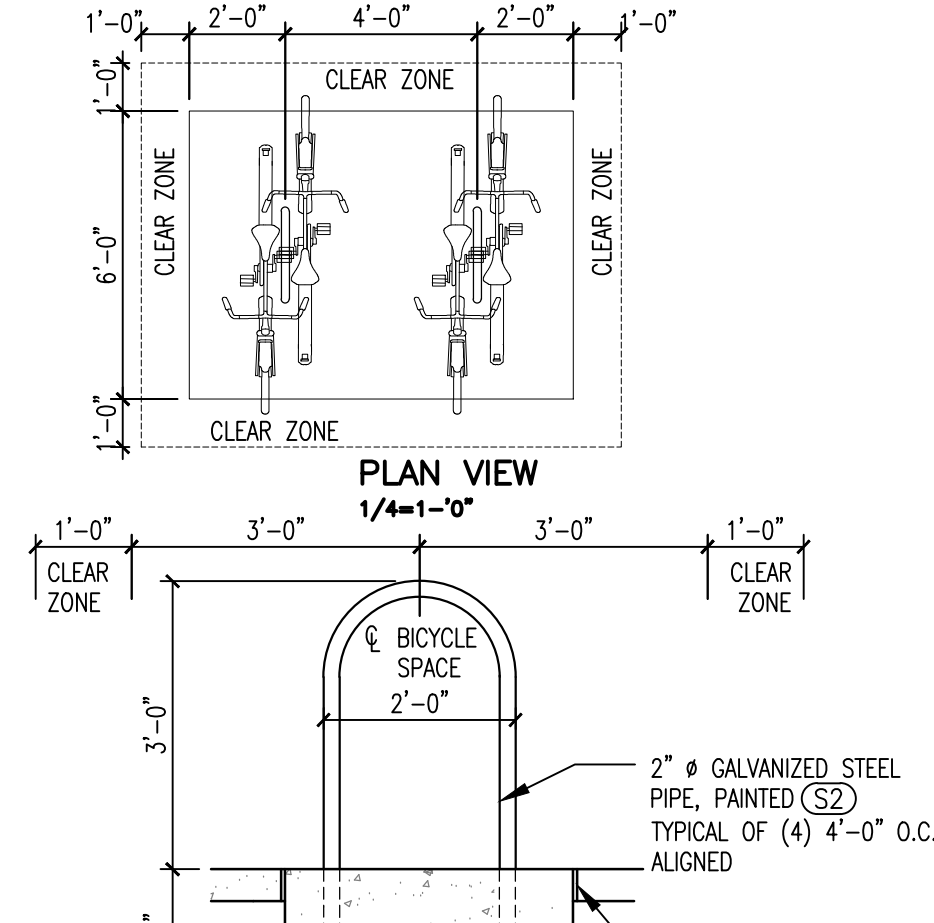
B4 TRASH ENCLOSURE PLAN
1/4"=1'-0"



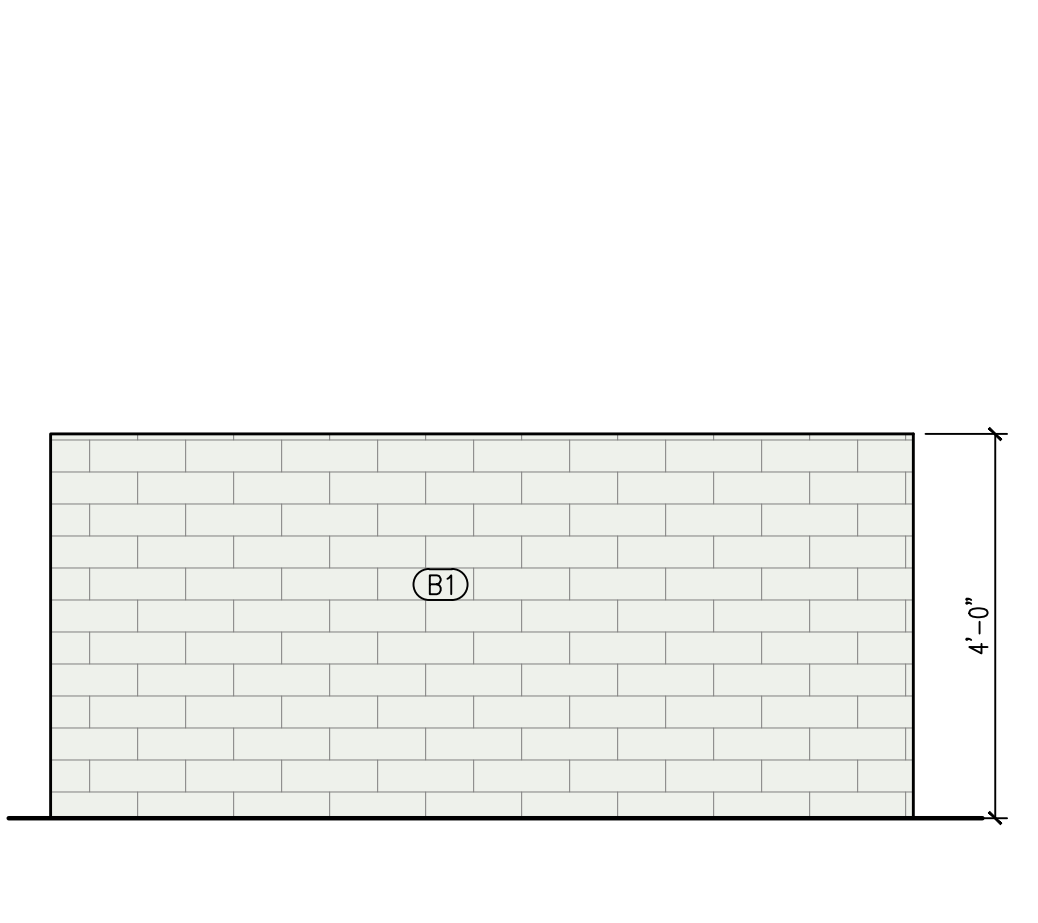
B1 MOTORCYCLE SIGN ELEVATION
1/2"=1'-0"



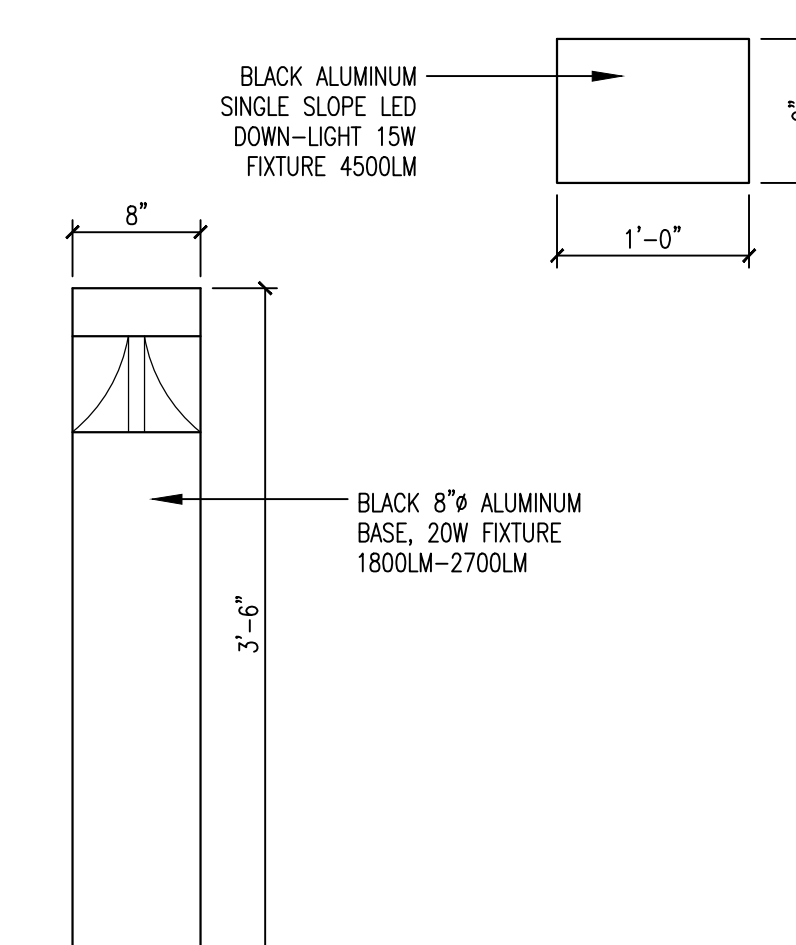
B2 H.C. SIGN ELEVATION
1/2"=1'-0"



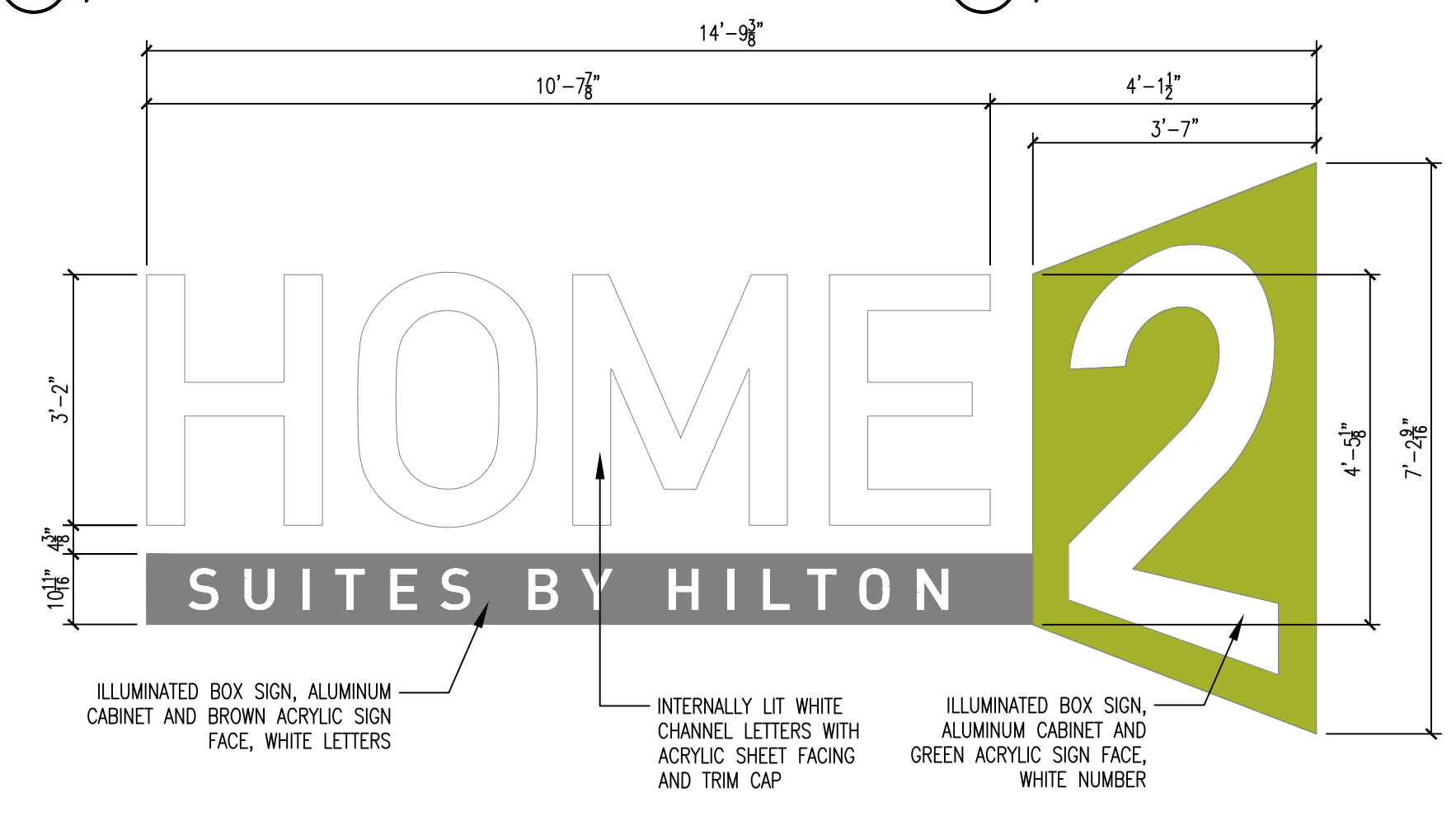
B3 BICYCLE RACK
1/2"=1'-0"



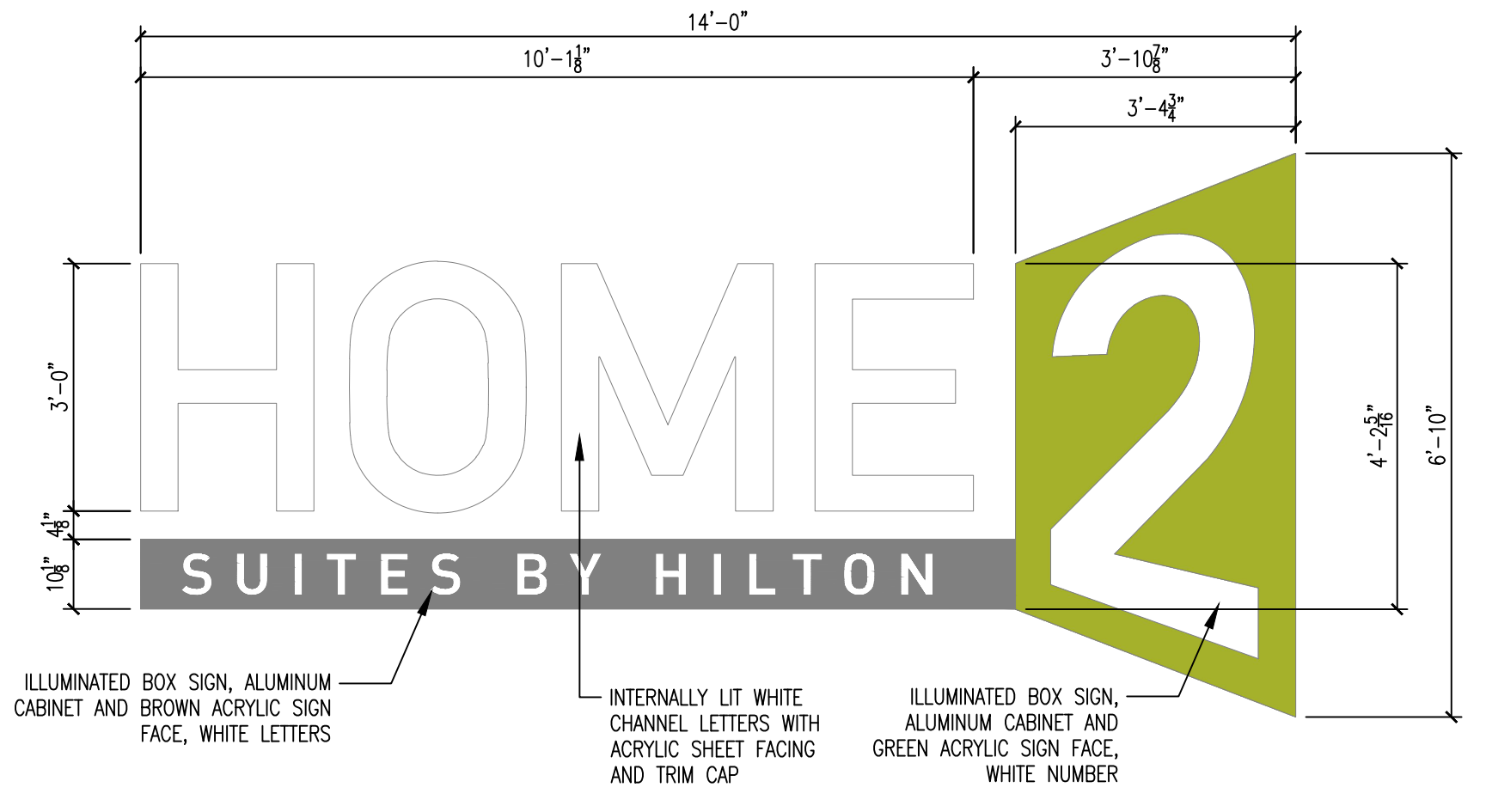
B4 PRIVACY WALL
1/2"=1'-0"



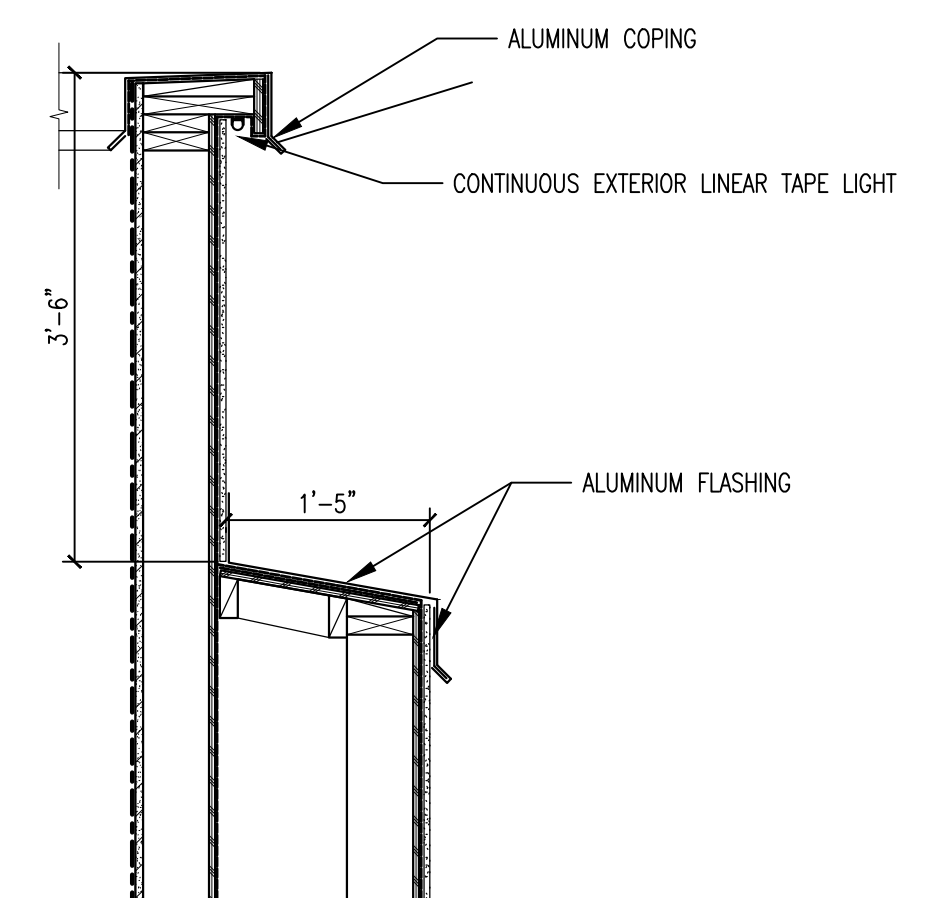
C1 LIGHT BOLLARD & EXTERIOR WALL SCENCE
1"=1'-0"



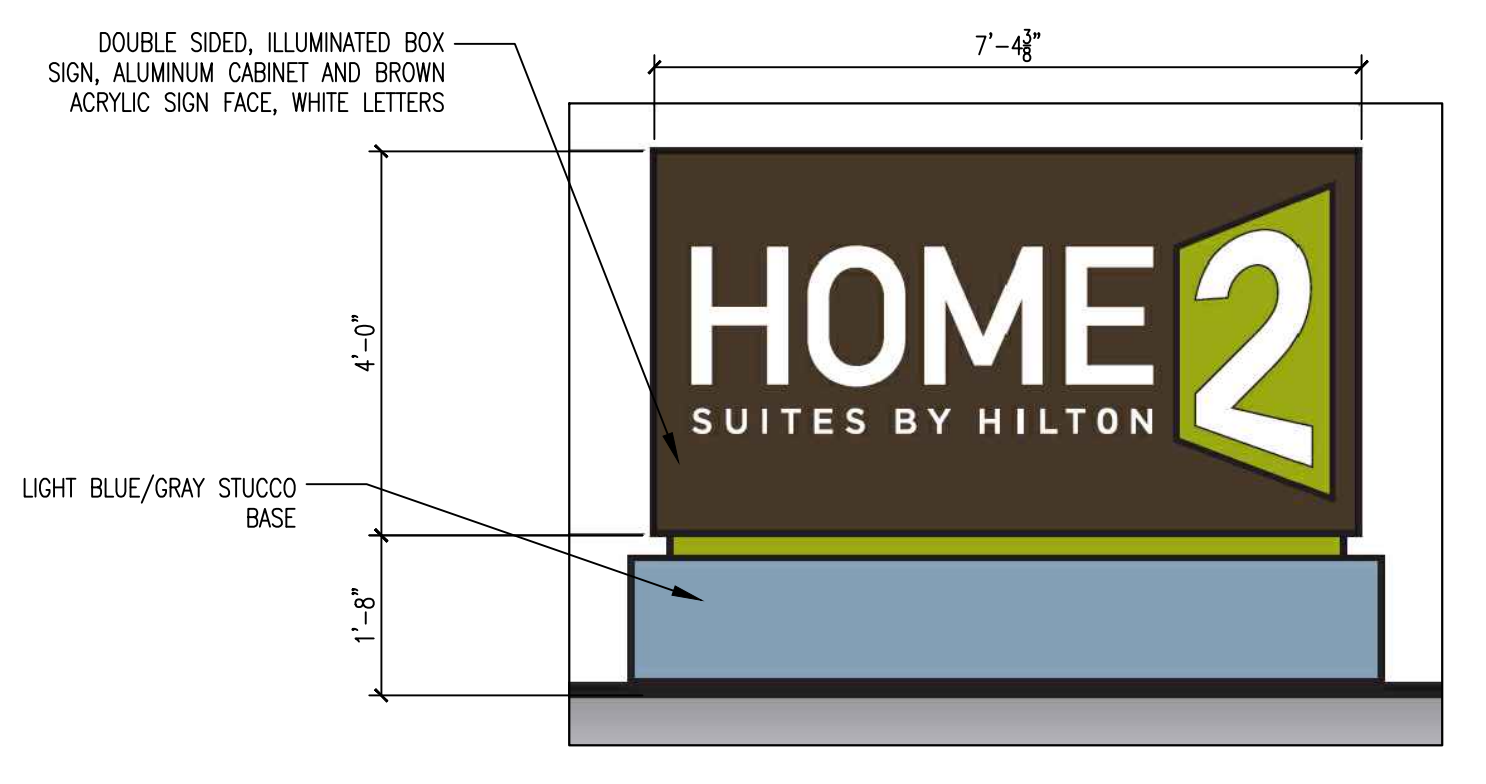
C2 EXTERIOR WALL MOUNTED SIGN (AREA 112 SQ. FT.)
1/2"=1'-0"



C4 EXTERIOR WALL MOUNTED SIGN (AREA 98 SQ. FT.)
1/2"=1'-0"



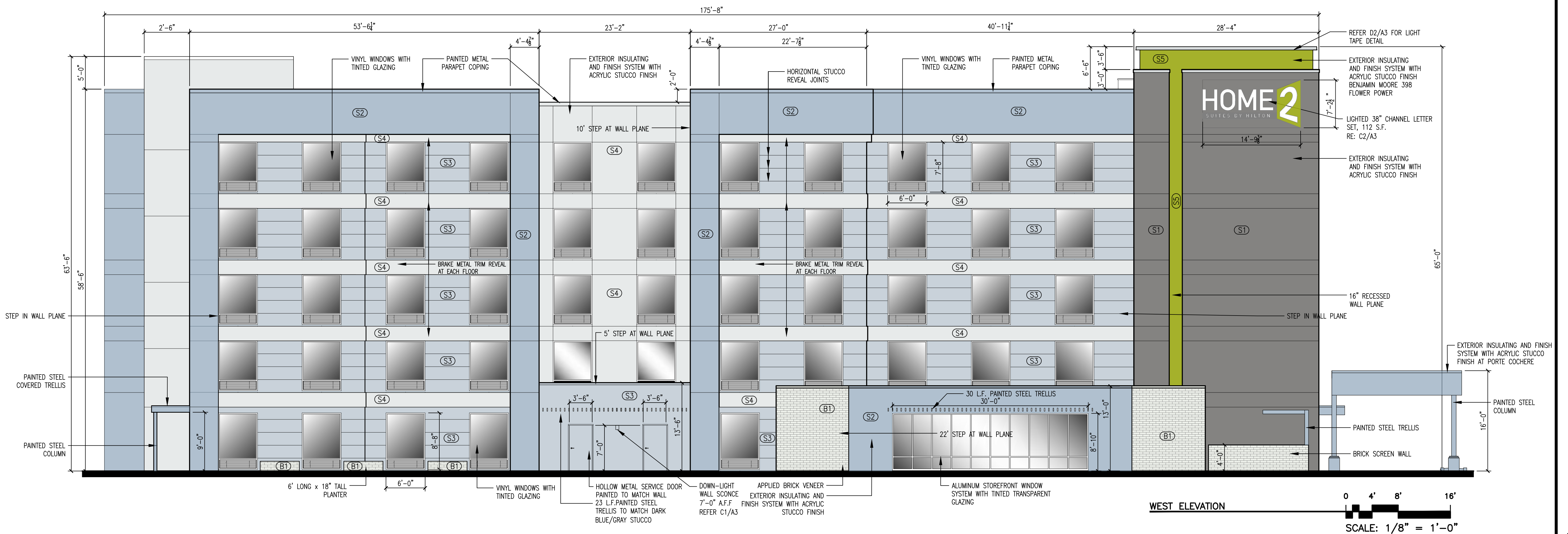
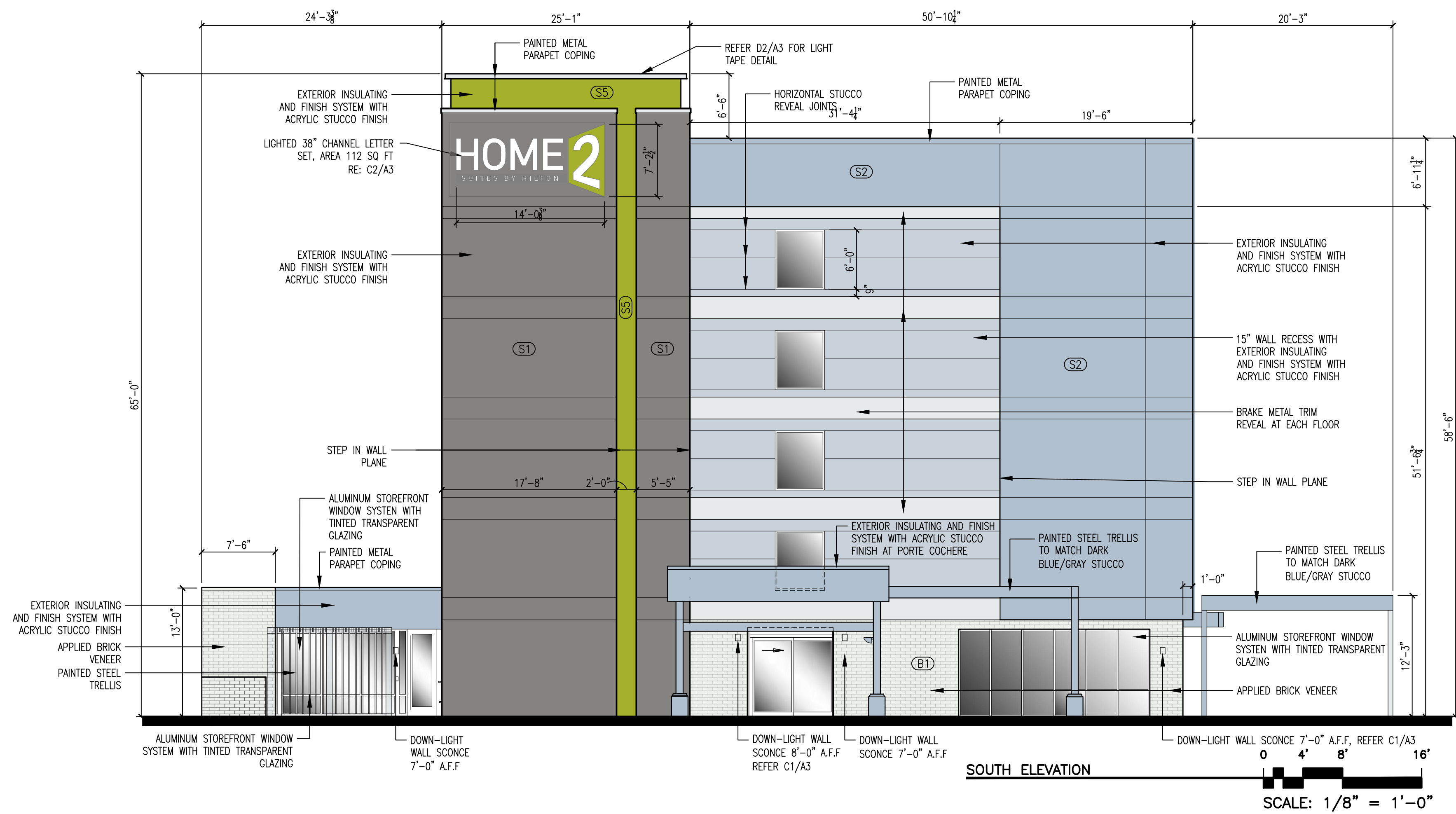
D2 TOWER ACCENT LIGHT
3/4"=1'-0"



C4 EXTERIOR WALL MOUNTED SIGN (AREA 63.2 SQ. FT.)
1/2"=1'-0"

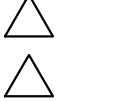
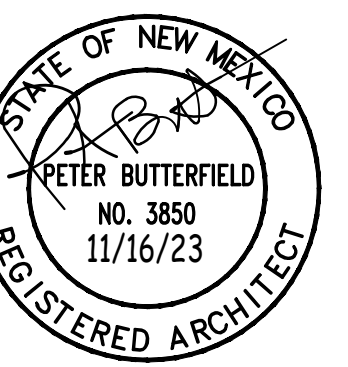
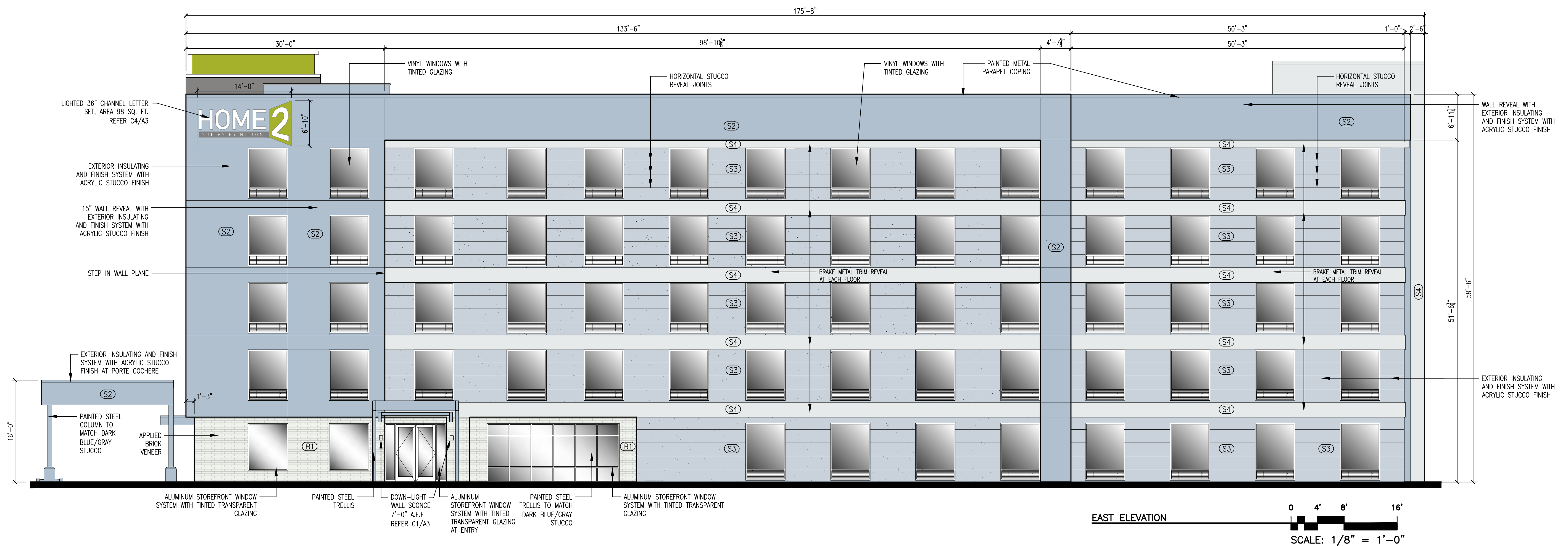
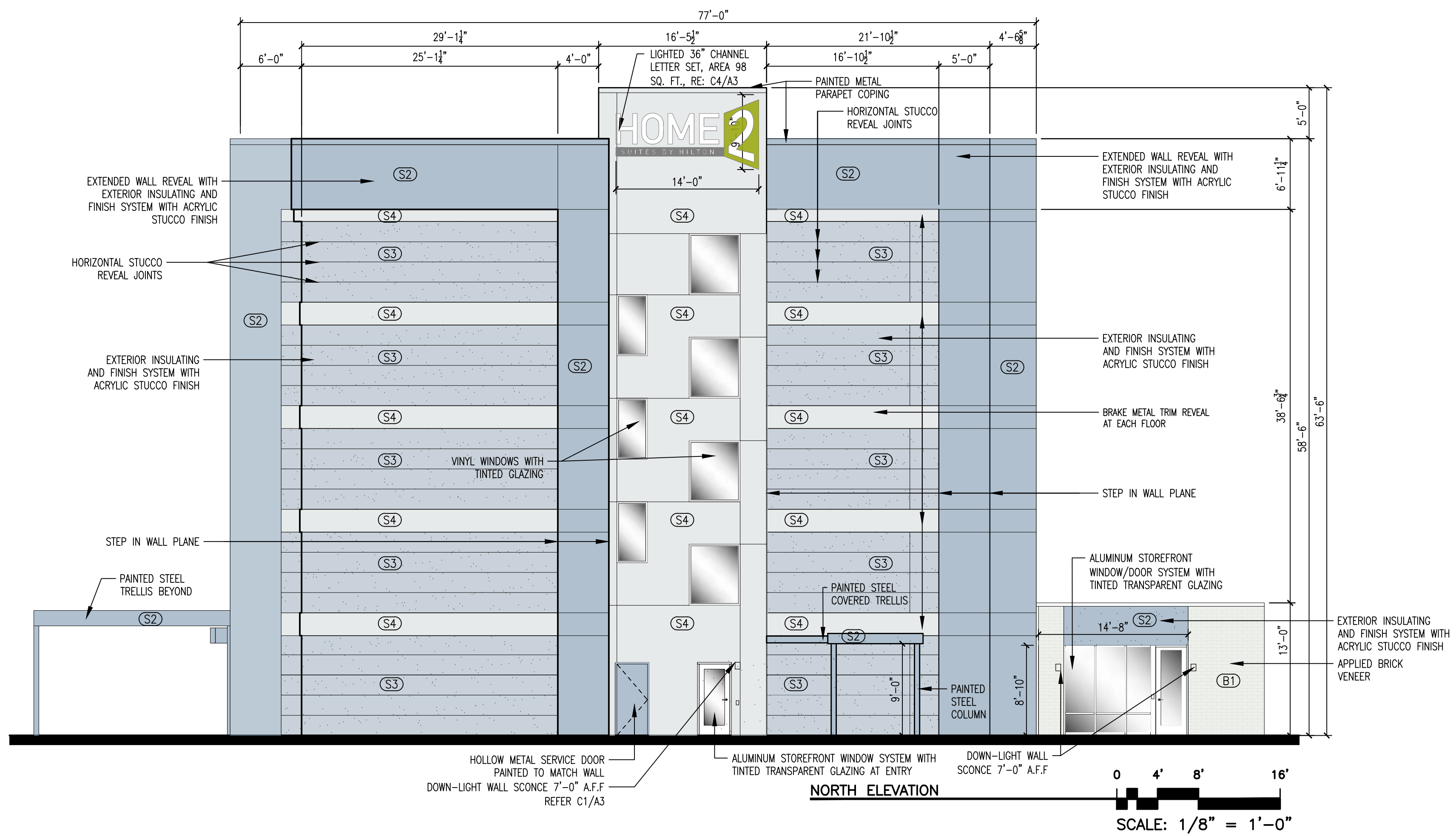
MARK	MATERIAL	COLOR	MANUFACTURER & No.	COLOR NAME	LEGEND
(S1)	STUCCO FINISH	DARK GRAY	BENJAMIN MOORE CC544	OVERCOAT	
NOTES: TOWER					
(S2)	STUCCO FINISH	DARK BLUE/GRAY	BENJAMIN MOORE CC770	DENIM WASH	
NOTES: BIKE RACK, TRELIS, DUMPSTER ENCLOSURE/GATES					
(S3)	STUCCO FINISH	MEDIUM BLUE/GRAY	BENJAMIN MOORE CC938	ICE SCULPTURE	
NOTES: WALL FIELD					
(S4)	STUCCO & PAINT FINISH	LIGHT BLUE/GRAY	BENJAMIN MOORE CC212660	GRAY CLOUD	
NOTES: PAINT METAL TRIM TO MATCH, REAR TOWER					
(S5)	STUCCO FINISH	GREEN	BENJAMIN MOORE 398	FLOWER POWER	
NOTES: TOWER ACCENT					
(B1)	BRICK VENEER	LIGHT GRAY/WHITE			
NOTES: ACCENT AT FIRST FLOOR					

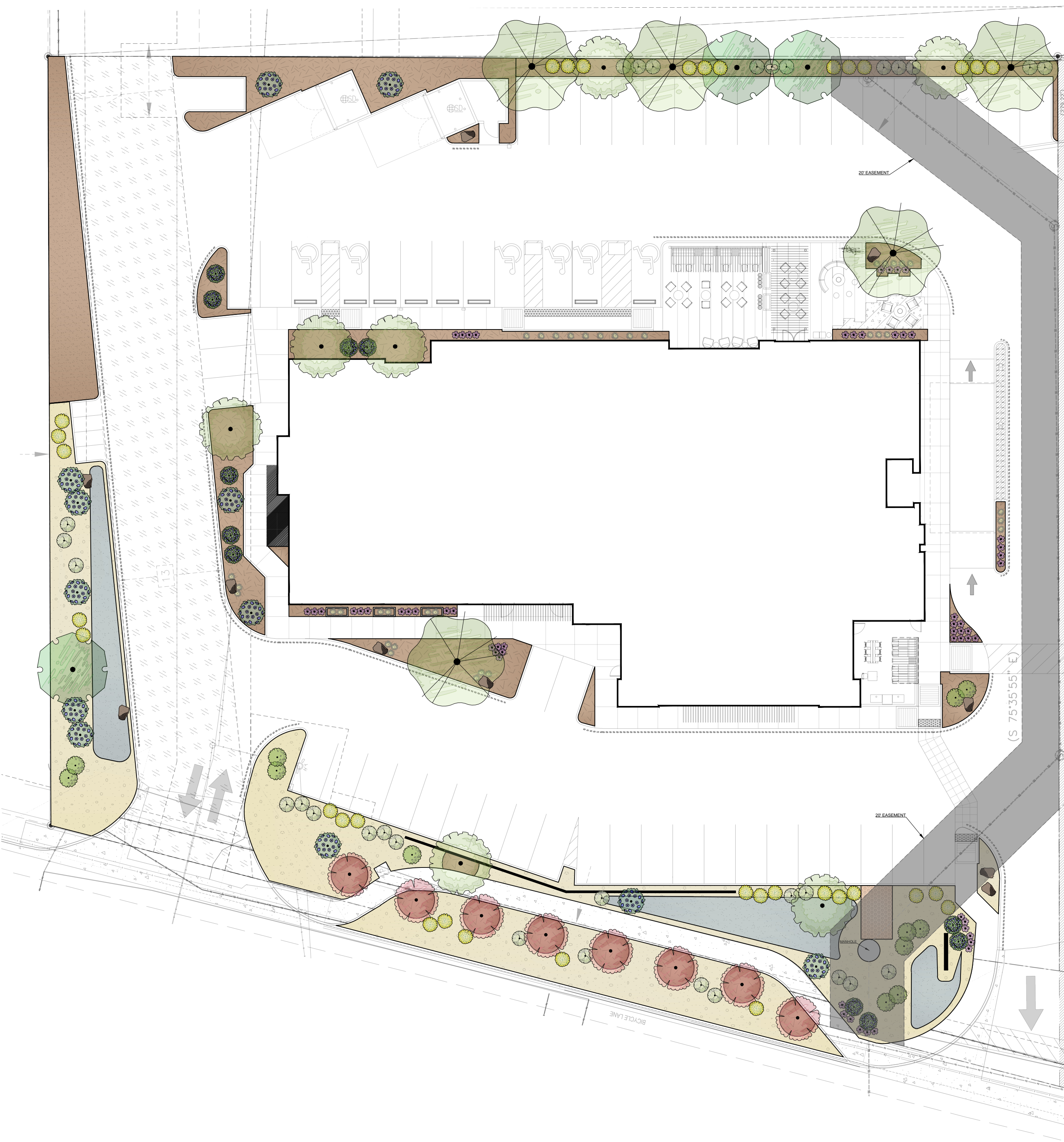
LOCATION	REQUIREMENT	ALLOWABLE SIGNAGE AREA	PROPOSED SIGNAGE AREA
WEST	SHALL NOT EXCEED THE 15% OF FACADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS.	10,253x15% = 1,537 SF	112 S.F.
SOUTH	SHALL NOT EXCEED THE 15% OF FACADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS.	4,906x15% = 735 SF	112 S.F.
EAST	SHALL NOT EXCEED THE 15% OF FACADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS.	10,795x15% = 1,619 SF	98 S.F.
NORTH	SHALL NOT EXCEED THE 15% OF FACADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS.	4,591x15% = 688 SF	98 S.F.



MARK	MATERIAL	COLOR	MANUFACTURER & No.	COLOR NAME	LEGEND
(S1)	STUCCO FINISH	DARK GRAY	BENJAMIN MOORE CC544	OVERCOAT	
NOTES: TOWER					
(S2)	STUCCO FINISH	DARK BLUE/GRAY	BENJAMIN MOORE CC770	DENIM WASH	
NOTES: BIKE RACK, TRELIS, DUMPSTER ENCLOSURE/GATES					
(S3)	STUCCO FINISH	MEDIUM BLUE/GRAY	BENJAMIN MOORE CC938	ICE SCULPTURE	
NOTES: WALL FIELD					
(S4)	STUCCO & PAINT FINISH	LIGHT BLUE/GRAY	BENJAMIN MOORE CC212660	GRAY CLOUD	
NOTES: PAINT METAL TRIM TO MATCH, REAR TOWER					
(S5)	STUCCO FINISH	GREEN	BENJAMIN MOORE 398	FLOWER POWER	
NOTES: TOWER ACCENT					
(B1)	BRICK VENEER	LIGHT GRAY/WHITE			
NOTES: ACCENT AT FIRST FLOOR					

LOCATION	REQUIREMENT	ALLOWABLE SIGNAGE AREA	PROPOSED SIGNAGE AREA
WEST	SHALL NOT EXCEED THE 15% OF FAÇADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS:	10,253x15% = 1,537 SF	112 S.F.
SOUTH	SHALL NOT EXCEED THE 15% OF FAÇADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS:	4,906x15% = 735 SF	112 S.F.
EAST	SHALL NOT EXCEED THE 15% OF FAÇADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS:	10,795x15% = 1,619 SF	98 S.F.
NORTH	SHALL NOT EXCEED THE 15% OF FAÇADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS:	4,591x15% = 688 SF	98 S.F.





Plant Schedule

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	H X W	COVERAGE
DECIDUOUS TREES						
	5	CELTIS OCCIDENTALIS / COMMON HACKBERRY	2" B&B	MEDIUM	40' x 40'	1256
	3	CRATAEGUS PHAENOPYRUM / WASHINGTON HAWTHORN	2" B&B	MEDIUM	20' x 20'	314
	8	LAGERSTROEMIA 'CHEROKEE' / CHEROKEE RED CRAPE MYRTLE	15 GAL	MEDIUM	10' x 12'	113
	7	MALUS 'SPRING SNOW' / SPRING SNOW CRABAPPLE	2" B&B	MEDIUM	25' x 20'	314
DECIDUOUS SHRUBS						
	11	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	5 GAL	LOW	3' x 5'	20
	12	HIBISCUS SYRIACUS / ROSE OF SHARON	5 GAL	MEDIUM	10' x 10'	79
	12	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	LOW+	2' x 6'	28
EVERGREEN SHRUBS						
	30	ARTEMISIA FILIFOLIA / SAND SAGEBRUSH	5 GAL	RW	4' x 4'	13
	34	ERICAMERIA LARIOFOLIA / TURPENTINE BUSH	5 GAL	LOW	3' x 4'	13
GRASSES						
	35	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	LOW	3' x 3'	7
GROUNDCOVERS						
	57	TEUCRIMUM ARNOIANUM / CREEPING GERMANDER	1 GAL	MEDIUM	6" x 24"	3

Material Schedule

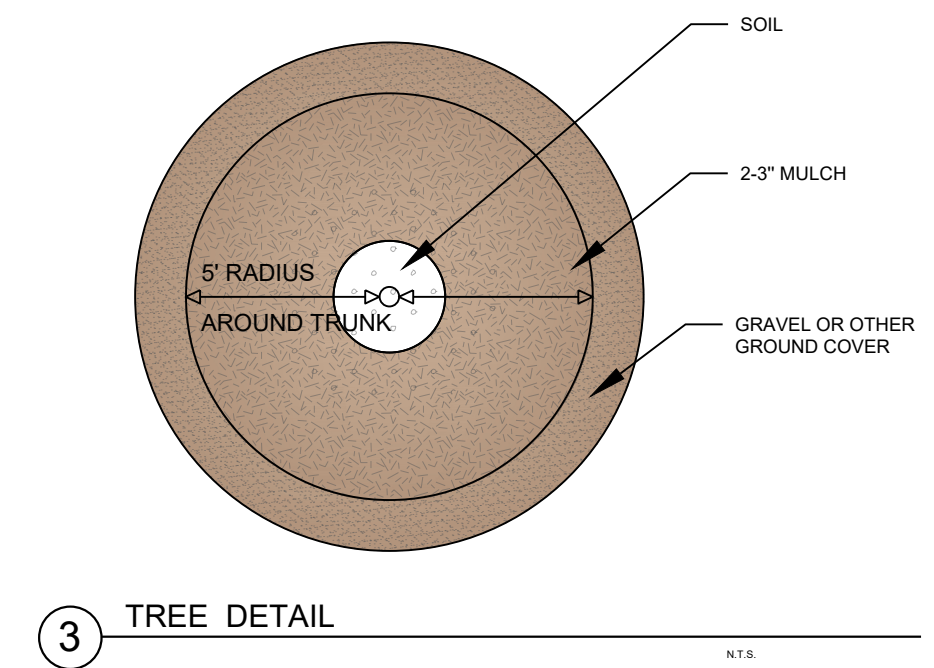
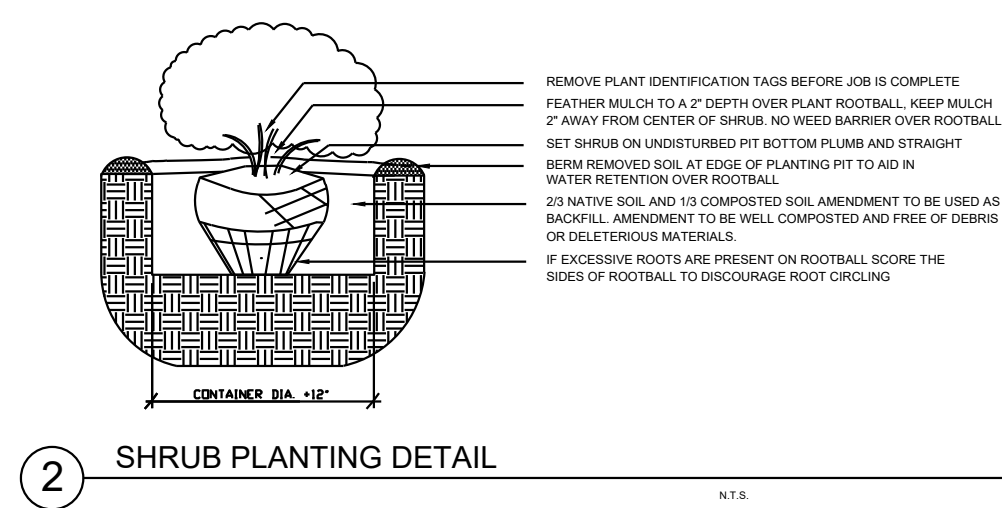
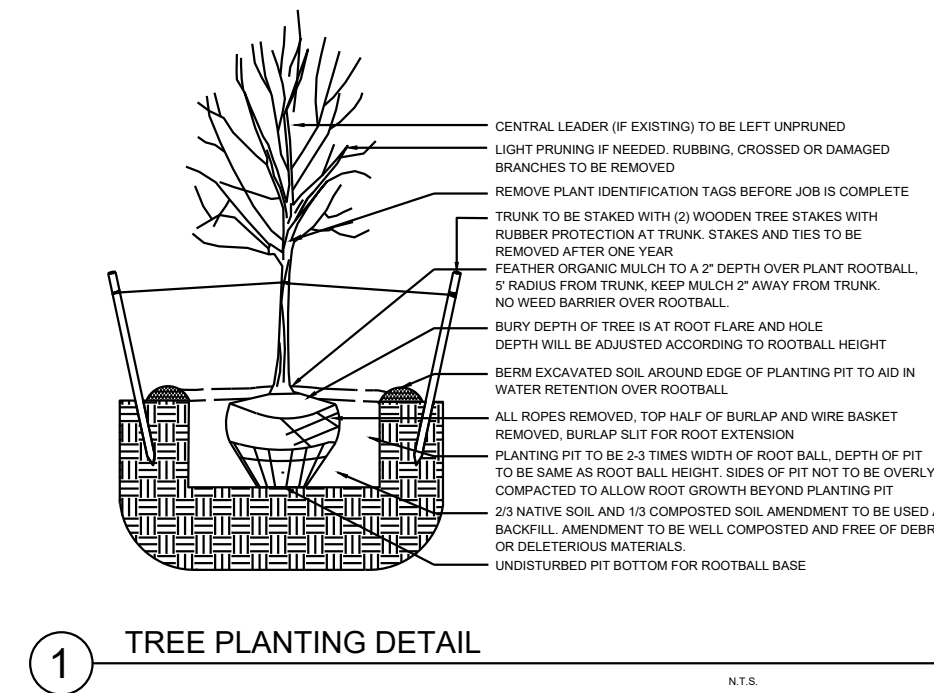
SYMBOL	DESCRIPTION	QTY
	LARGE BOULDER	10
SYMBOL DESCRIPTION		
	MOUNTAINAIR BROWN CRUSHER FINES 3" DEPTH OVER FILTER FABRIC	
	MOUNTAINAIR BROWN 7/8" 3" DEPTH OVER FILTER FABRIC	
	NATIVE MULCH SHREDDED WOOD MULCH 3" DEPTH NO FILTER FABRIC	
	GEOGRID PAVING SYSTEM INSTALLED BY OTHERS	
	2-4" BLUE SAIS 4" DEPTH OVER FILTER FABRIC	

GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PER 5-6(C)(4)(a) A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA.
- PER 5-6(C)(4)(b) ONLY TREES AND SHRUBS SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES AND SHOWN ON A LANDSCAPE PLAN CAN COUNT TOWARD THE REQUIREMENTS OF THIS SUBSECTION 14-16-5-6(C) (GENERAL LANDSCAPING STANDARDS), EXCEPT THAT, UPON PRESENTATION OF EVIDENCE, THE RELEVANT DECISION-MAKING BODY MAY AUTHORIZE ALTERNATIVE SPECIES OR CULTIVARS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
 - MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
 - ARE NOT HAZARDOUS.
 - ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
 - ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
 - ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
- PER 5-3(D)(3)(a) 3, SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(C)(4)(i) (REQUIRED PLANT MATERIALS AND SITE AMENITIES). 5-6(C)(4)(ii) SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE THERE IS INSUFFICIENT SPACE FOR A TREE, A TRELLIS OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
- PER 5-6(F)(1)(i) 1 OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
- PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PER 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

LANDSCAPE DATA

IDO UPC#	101906403903830134	ZONING DESIGNATION		
GROSS LOT AREA (SF)	64,715	MX-L		
BUILDING AREA (SF)	14,329			
NET LOT AREA (SF)	50,386			
MINIMUM LANDSCAPE				
AREA (SF) - MINIMUM 15% OF NET LOT AREA*	7,558	12,446	25%	
TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	5,668	13,076	173%	
VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	1,417	2,752	49%	
* PER IDO 14-16-5-6(C)(2)(b), IN DT-UC-MS-PT AREAS, MINIMUM IS 10% OF NET LOT AREA.				
** FOR MULTI-FAMILY DWELLING, MINIMUM IS 25% OF NET LOT AREA. SEE 14-16-4-3(B)(8) FOR DETAILS.				
PLANTING AREA MULCH				
GRAVEL OR CRUSHER FINES (SF)	REQUIRED	PROVIDED		
	MAX. 75%	10,068	70%	
* PER IDO 14-15-5-6(C)(5) The use of gravel or crusher fines as ground cover is limited to a maximum 50 percent in DT-UC-MS areas.				
STREET TREES - 1 PER 25 LF				
STREET FRONTAGE (LF)	REQUIRED	PROVIDED		
STREET TREES	186	8		
* PER IDO 14-15-5-6(D)(1)(a) TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURB OF THE ABUTTING STREET MAY FULFILL THIS REQUIREMENT.				
PARKING LOT INTERIOR				
PARKING STALLS	REQUIRED	PROVIDED		
PARKING LOT AREA (SF)	56	11,317		
LANDSCAPED AREA (10% OF PARKING LOT AREA)*	1,132	1,809		
TREES (1 PER 10 PARKING SPACES)	5,6	12		
* PER IDO 14-16-5-6(F)(2), FOR PARKING LOTS CONTAINING 50 OR FEWER SPACES, MINIMUM IS 10% OF PARKING LOT AREA.				
TOTALS	REQUIRED	PROVIDED		
TREES	14	23		
** PER IDO 14-16-5-6(C)(3)(a), IF AREAS REQUIRED TO BE LANDSCAPED BY 2 OR MORE PROVISIONS OF THIS SECTION 14-16-5-6 OVERLAP EACH OTHER, THE PROVISION REQUIRING THE GREATER AMOUNT OF LANDSCAPING SHALL APPLY, AND LANDSCAPING PROVIDED THAT MEETS THE GREATER REQUIREMENT SHALL COUNT TOWARD FULFILLING THE OVERLAPPING REQUIREMENTS.				



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 design@yellowstonelandscape.com

Date: 4/4/2023
 Revisions:
 ▲ 6/29/2023
 ▲ 1/16/2024
 ▲ 2/6/2024
 ▲ 6/5/2024

Drawn by: DD
 Reviewed by: CM

5910 Jefferson
 Landscape Design
 Albuquerque, NM

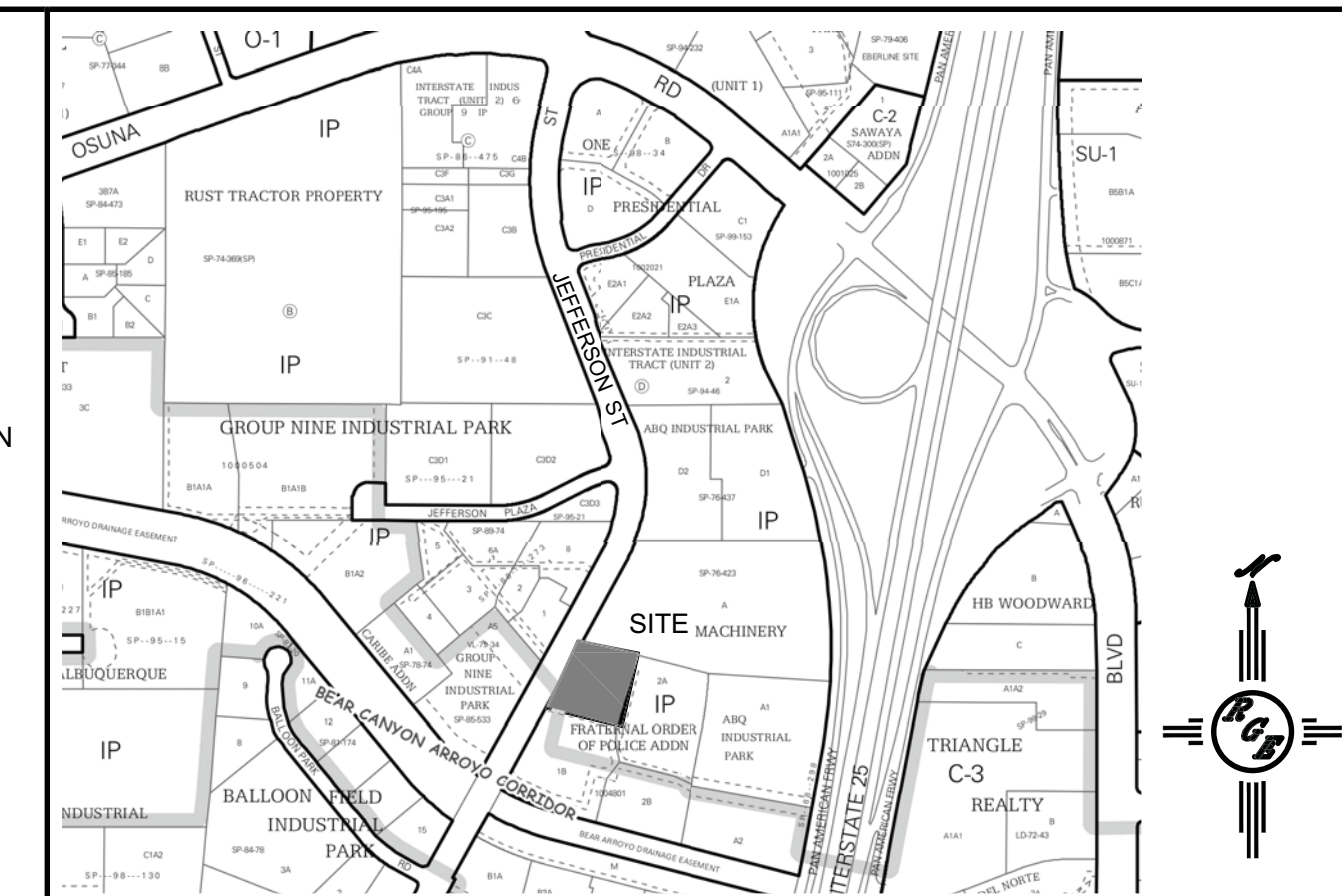
NORTH
 Scale: 1" = 20'

Sheet Title:
Landscape Plan

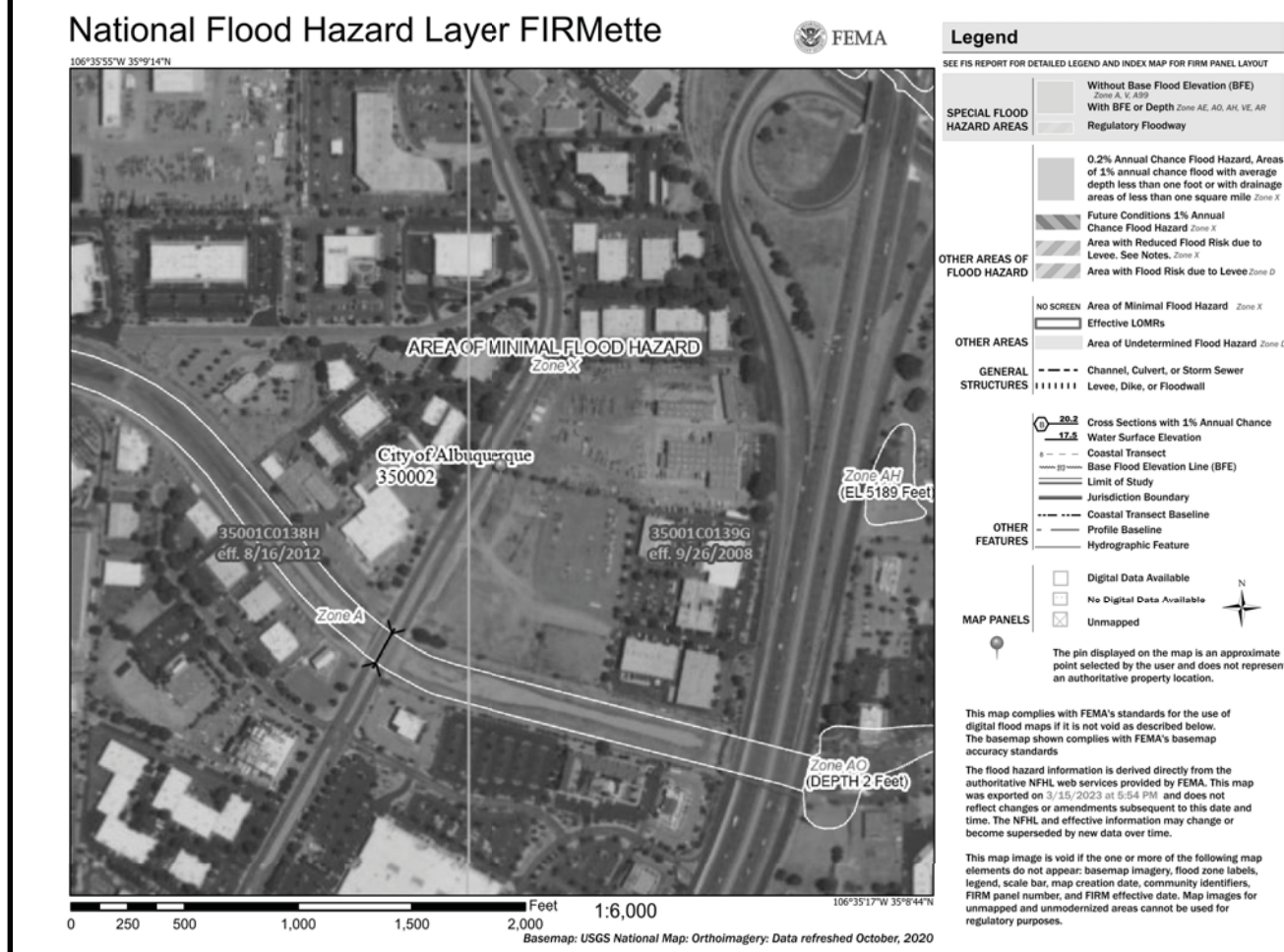
Sheet Number:
LS-01

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: E-17-Z



FIRM MAP:

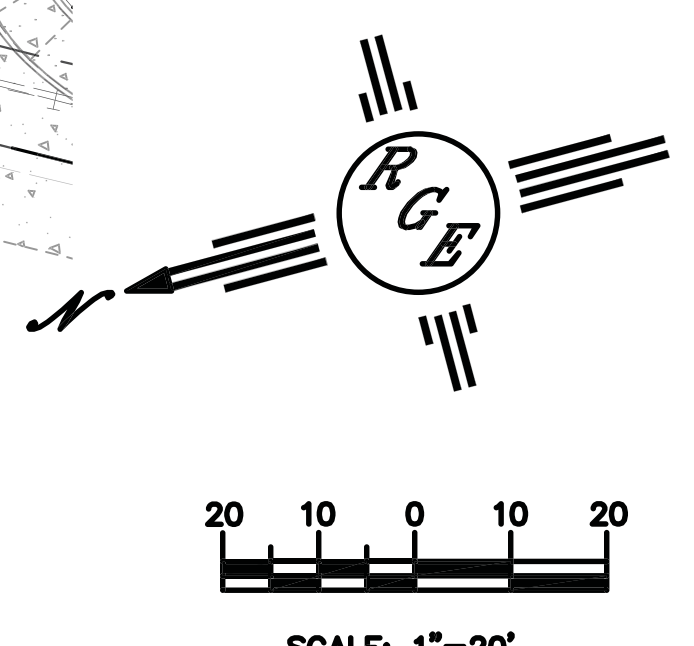
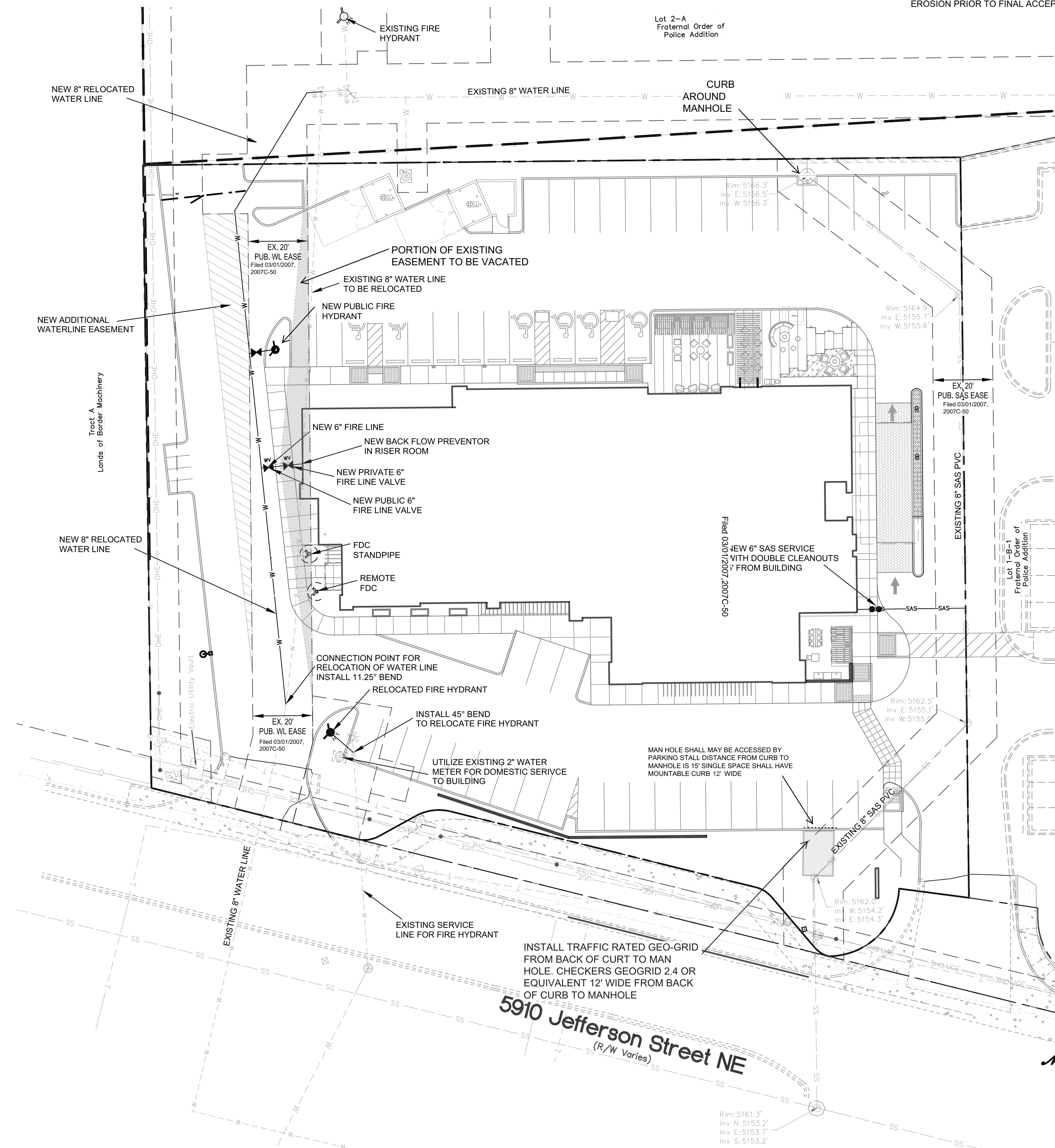
LEGAL DESCRIPTION:

LOT 1-A-1, FRATERNAL ORDER OF POLICE ADDITION
CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

1. COORDINATE WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACK FLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR SITE. CONTACT CROSS CONNECTION SECTION AT 505.289.3454
2. COORDINATION WITH THE WATER AUTHORITY PRE TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH THE WATER AUTHORITY SEWER USE ORDINANCE. CONTACT PRE-TREATMENT ENGINEER AT 505.289.3439

LEGEND

- SS --- SS --- EXISTING SEWER LINE
- W --- W --- EXISTING WATER LINE
- SAS - SAS - SAS - SAS - SAS - PROPOSED SEWER LINE
- W - W - W - W - W - PROPOSED WATER LINE
- ⊗ EXISTING WATER VALVE
- ⊕ EXISTING FIRE HYDRANT
- ⊙ EXISTING SEWER MANHOLE
- ⊗ EXISTING WATER METER
- BOUNDARY
- ▨ PROPOSED ADDITIONAL EASEMENT



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ENGINEER'S SEAL	LOT 1-A-1, FRATERNAL ORDER OF POLICE ADD. 5910 Jefferson Street NE	DRAWN BY DEM
		DATE 5-13-23
	UTILITY PLAN	5910 Jefferson St (Sheet Size) (sq)
1/30/24	 Rio Grande Engineering P.O. BOX 93924 ALBUQUERQUE, NM 87199 (505) 321-8099	SHEET # C1
DAVID SOULE P.E. #14522		JOB #

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment				Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	10-day Volume (ac-ft)				
			Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)								
ALLOWED PER DMP	63640	1.461	0%	0	0.0%	0.000	38.0%	0.409	77%	1.125	2.083	0.254	6.13	0.404
NORTH BASIN	36900	0.847	0%	0	5.0%	0.042	11.0%	0.083	84%	0.712	2.111	0.149	3.47	0.244
SOUTH BASIN	26740	0.614	0%	0	6.0%	0.037	12.0%	0.074	72%	0.442	1.849	0.095	2.23	0.154
TOTAL PROPOSED														

Equations:
 Weighted E = Ea'Aa + Eb'Ab + Ec'Ac + Ed'Ad / (Total Area)
 Volume = Weighted D * Total Area
 Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm (zone 2)
 Ea= 0.62, Eb= 0.9, Ec= 1.03, Ed= 2.33
 Qa= 1.71, Qb= 2.36, Qc= 3.05, Qd= 4.34

DRAINAGE NARRATIVE:
 THIS SITE IS A DEVELOPMENT OF A PREVIOUSLY ANALYZED SITE. THE OVERALL DEVELOPMENT (FRATERNAL ORDER OF POLICE E17-D11) WAS ANALYZED BY TIERRA WES THIS SITE IS LOCATED IN PROPOSED DRAINAGE BASIN 1. THE ALLOWABLE DISCHARGE FOR THIS BASIN IS BASED UPON 77% D AND 23% C. THIS BASIN INCLUDES A PORTION OF UPLAND FLOW THAT ENTERS OUR SITE. THIS FLOW IS DISCHARGED TO JEFFERSON VIA THE EXISTING DRIVEWAYS. OUR SITE EXCEEDS THE ASSUMED BY 0.43 CFS. WE RETAIN 986 CUBIC FEET FOR WATER QUALITY. THIS VOLUME EXCEEDS THE EXCESS FLOW FROM THIS SITE. THEREFORE THE DISCHARGE WILL CONFORM TO THE DESIGN OF THE MASTER DRAINAGE PLAN. THE SITE IS DEFICIT 594 CUBIC FEET OF RETENTION VOLUME. THIS VOLUME IS NOT ATTAINABLE DUE TO WATER AND SEWER EASEMENT THAT CAN NOT BE UTILIZED FOR PONDING. A FEE IN LIEU OF \$4,762 SHALL BE PAID. THIS DEVELOPMENT CONFORMS TO THE APPROVED MASTER DRAINAGE PLAN AND THE CITY OF ALBUQUERQUE DRAINAGE ORDINANCE

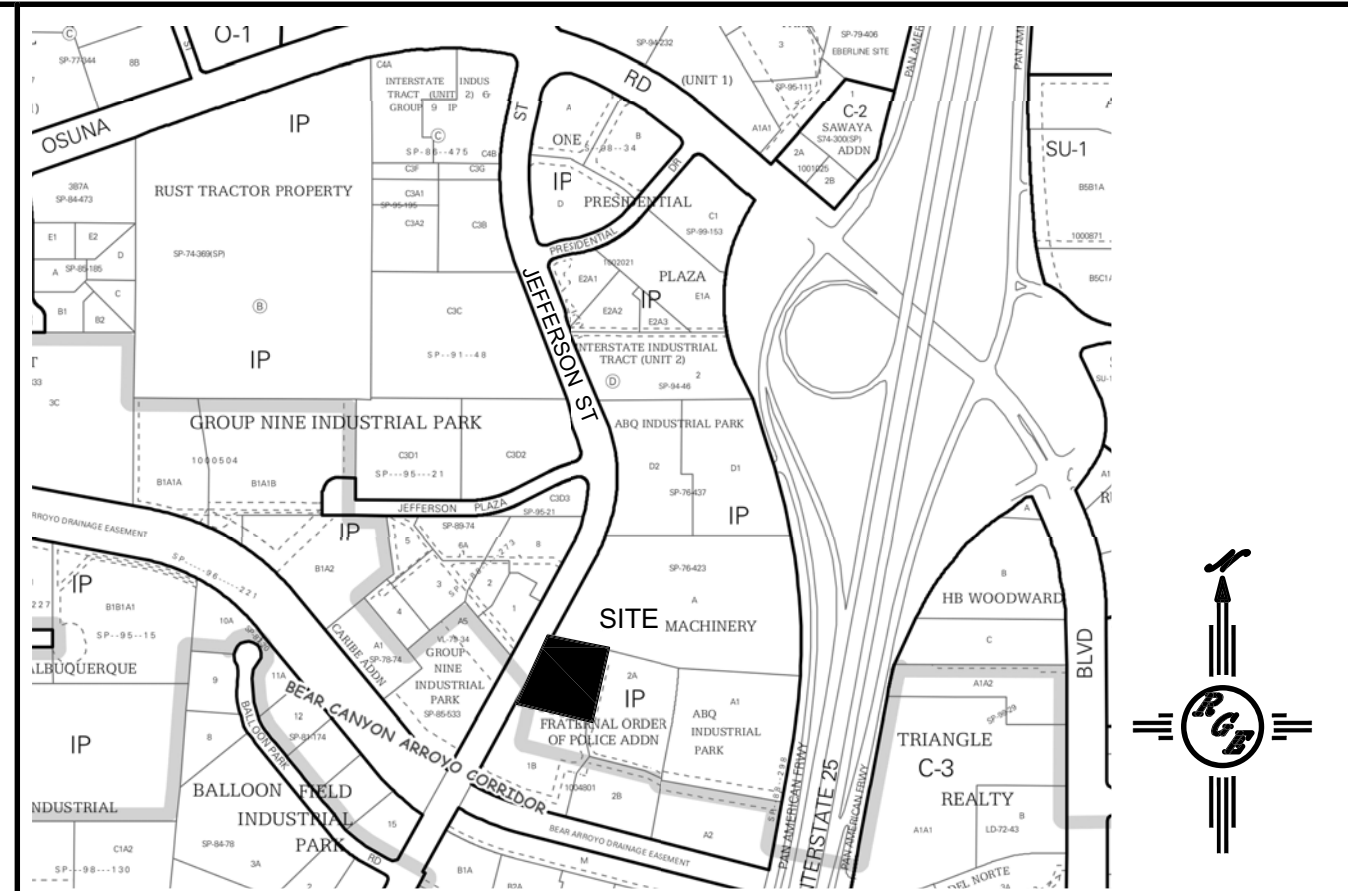
**Private Drainage Facilities within City Right-of-Way
 Notice to Contractor
 (Special Order 19 ~ "SO-19")**

- Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Prior to any excavation, the contractor must contact **New Mexico One Call, dial "811"** (or (505) 260-1990) for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be 95%.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- For excavation and barricading inspections, contact DMD Construction Services Division.

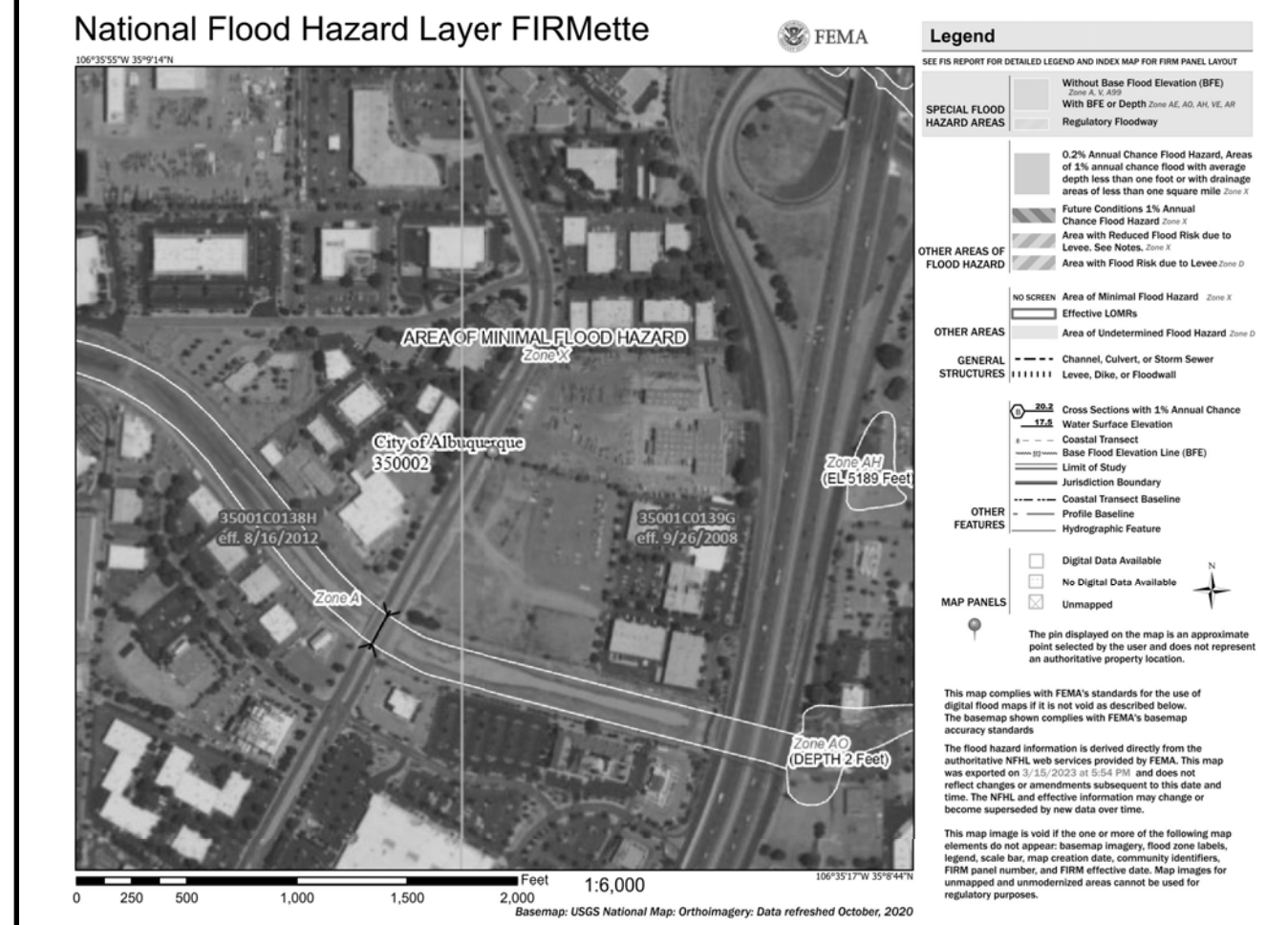


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VICINITY MAP: E-17-Z



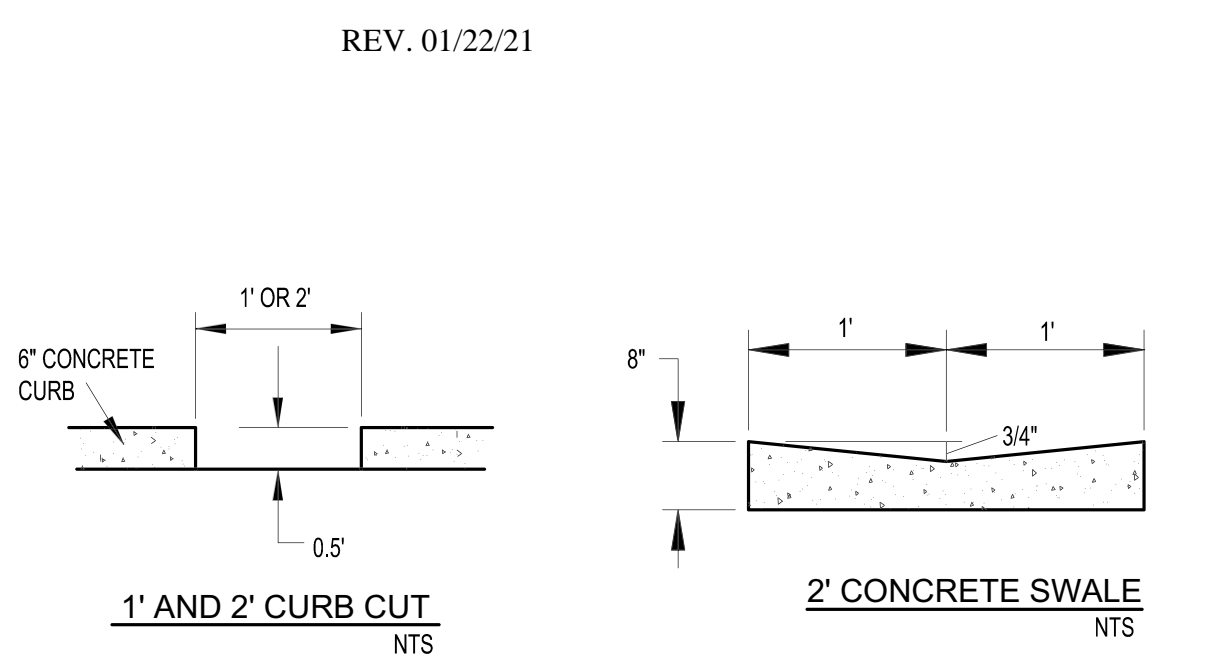
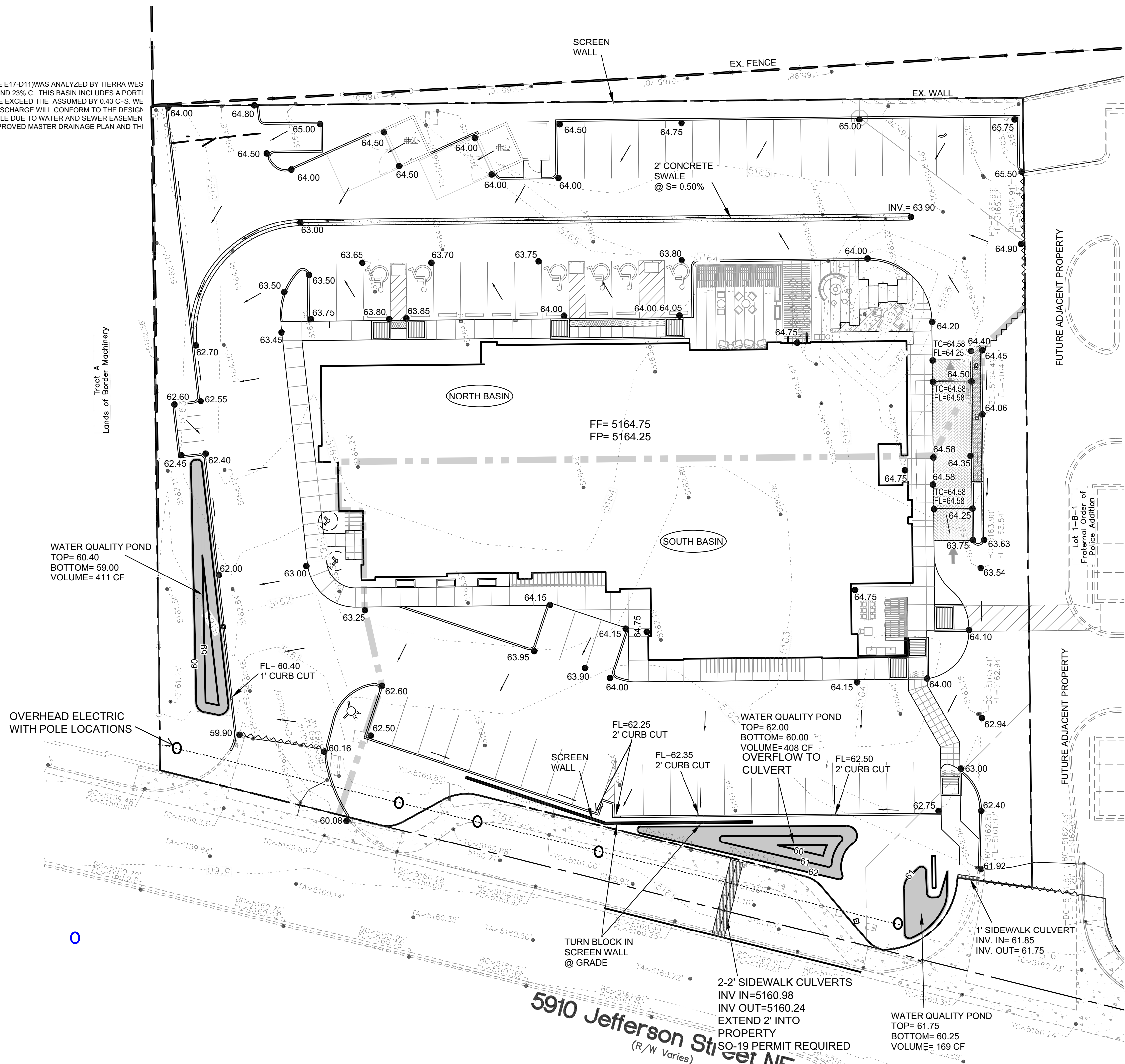
FIRM MAP:

LEGAL DESCRIPTION:
 LOT 1-A-1, FRATERNAL ORDER OF POLICE ADDITION
 CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

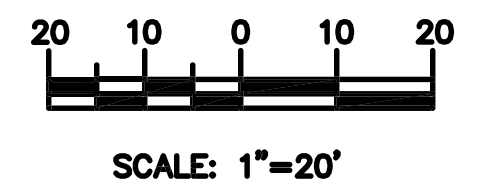
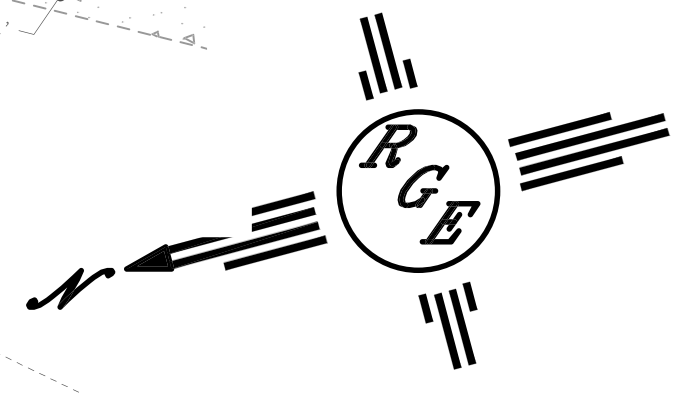
- NOTES:**
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 - ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
 - ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
 - SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

LEGEND

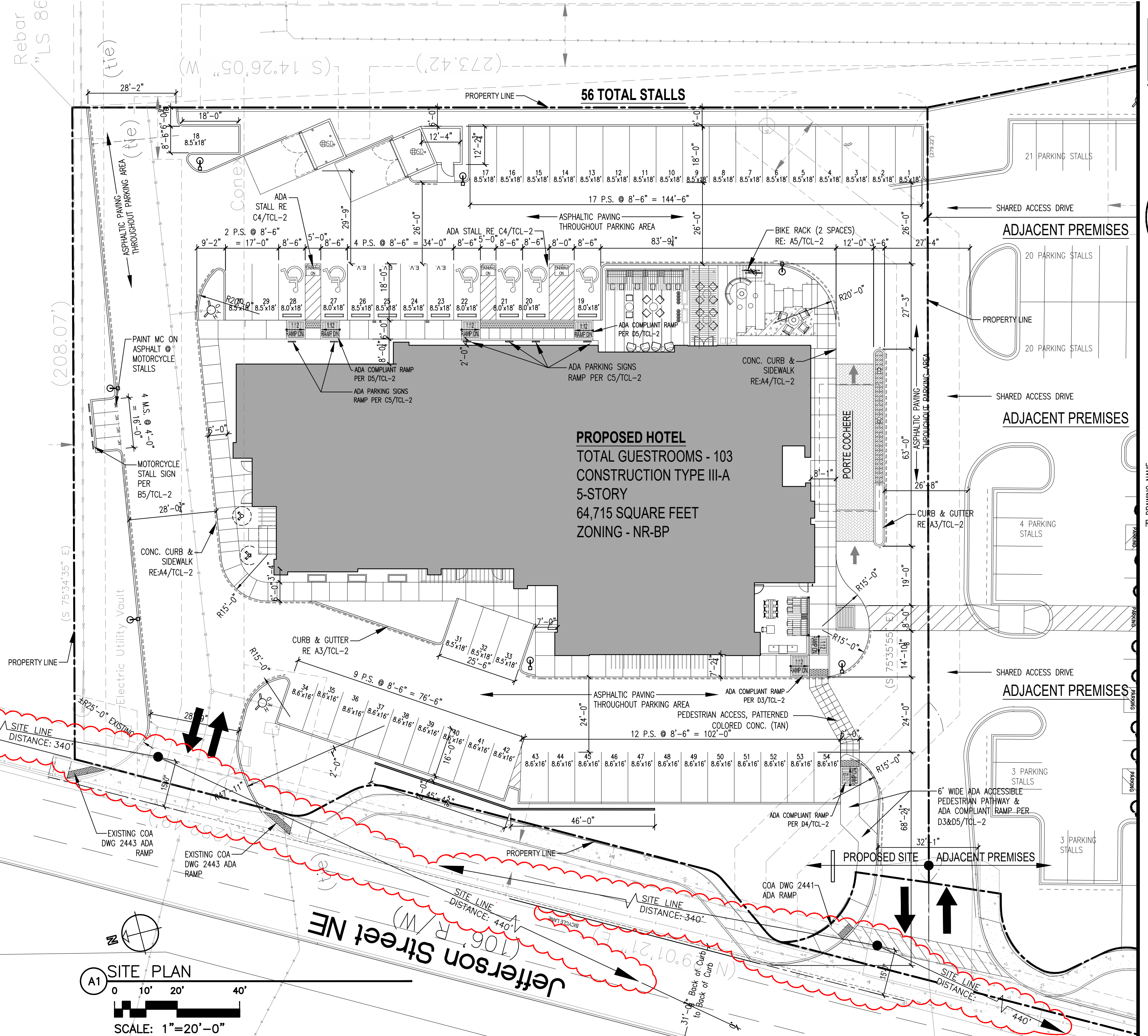
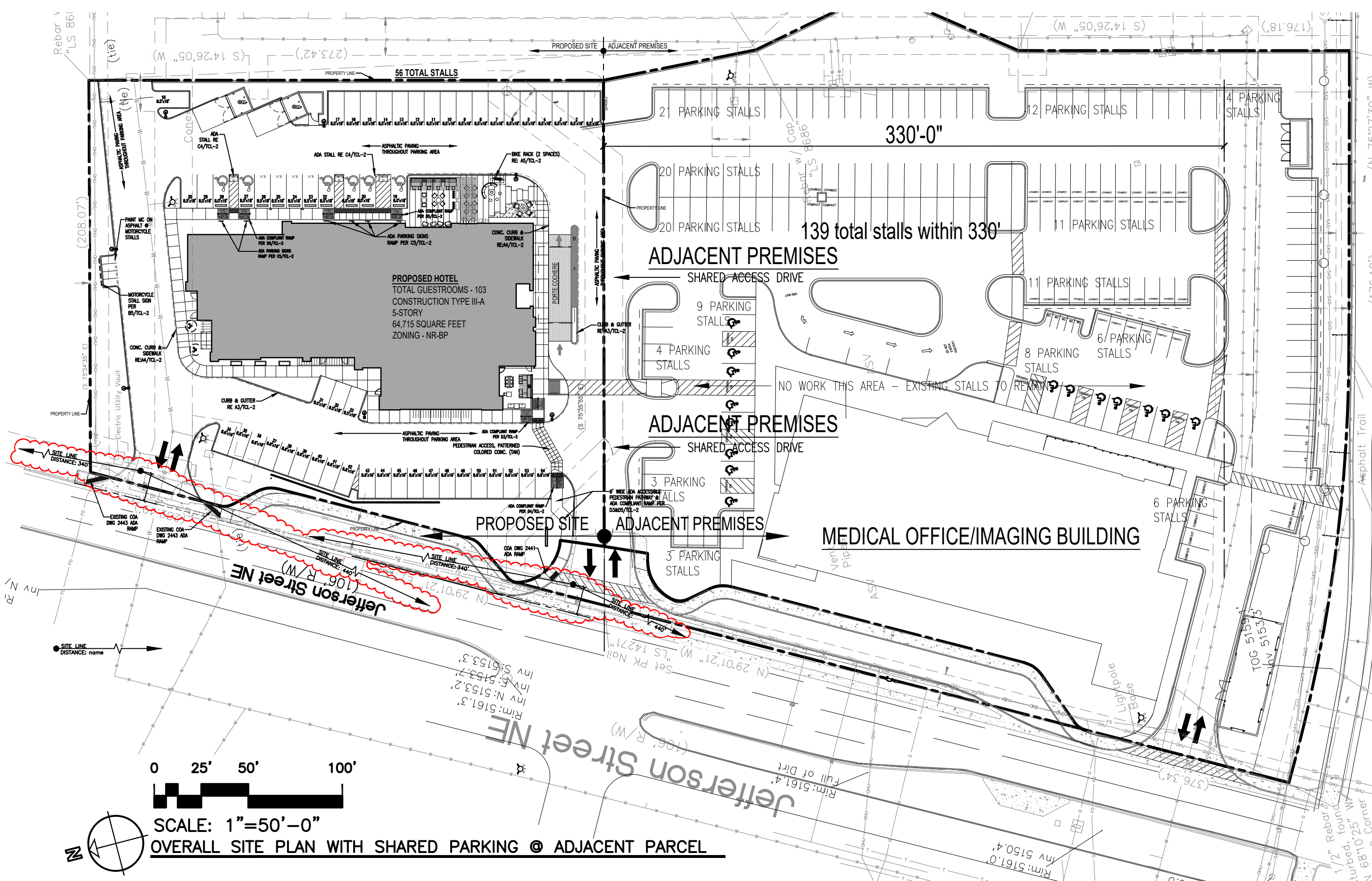
-----	EXISTING CONTOUR
-----	EXISTING INDEX CONTOUR
-----	PROPOSED CONTOUR
-----	PROPOSED INDEX CONTOUR
•	EXISTING SPOT ELEVATION
•	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	ADJACENT BOUNDARY
---	EXISTING CURB AND GUTTER
---	PROPOSED GRADE BREAK
---	PROPOSED CURB CUT
---	PROPOSED 6" CURB
---	PROPOSED FLOW DIRECTION
---	PROPOSED PONDING
---	BASIN BOUNDARY



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ENGINEER'S SEAL	LOT 1-A-1, FRATERNAL ORDER OF POLICE ADD. 5910 Jefferson Street NE GRADING AND DRAINAGE PLAN	DRAWN BY DEM
		DATE 3-20-23
DAVID SOULE P.E. #14522	 RIO BOX 53294 ALBUQUERQUE, NM 87199 (505) 321-8099	SHEET # C1
		JOB #



TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Armijo 11/16/2023
Signed Date

SITE LEGEND	
	SIGN
	FIRE HYDRANT
	WATER VALVE
	SAS MANHOLE
	TELEPHONE MANHOLE
	WATER METER
	POWER POLE
	LIGHT POLE (2' DIA BASE)
	BOLLARD
	WATER LINE
	UNDERGROUND POWER LINE
	GAS LINE
	SAS LINE
	OVERHEAD POWER LINE

ADA SITE NOTES

- SIGNAGE (NMBC 1110.1 AND ANSI 502.7)
 - A VERTICAL SIGN IS CENTERED AT THE HEAD OF EACH PARKING SPACE
 - CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND, OR DARK CHARACTERS ON A LIGHT BACKGROUND.
 - SIGN DISPLAYS THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (NOTE: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PROVIDES WHITE SYMBOLS AND LETTERS ON A BLUE BACKGROUND, HOWEVER, ANSI AND 2010 STANDARDS DO NOT SPECIFY COLORS FOR SIGNAGE).
 - SIGNS TO BE WHITE BACKGROUND WITH A GREEN BORDER AND LEGEND (MUTCD SIGN # R7-8 AND R7-8A).
 - SIGN MUST INCLUDE THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" (66-7-352.4C NMSA 1978, EFFECTIVE 7-01-2010). VAN ACCESSIBLE SIGNS ARE PROVIDED BELOW THE OTHER SIGN
 - THE VAN SPACE SIGNAGE IS NEEDED TO ALERT VAN USERS TO THE PRESENCE OF THE WIDER AISLE, BUT THE SPACE IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS. (2010 STANDARDS 502.5)
 - IN PARKING LOTS THE BOTTOM OF THE SIGN IS 60" MINIMUM ABOVE THE GROUND OR PARKING SURFACE. (ANSI 502.7)
 - ALONG THE PUBLIC RIGHTS-OF-WAY MUTCD REQUIRES THE BOTTOM OF THE MUTCD R7-8 SIGN TO BE 84" ABOVE THE GROUND.
 - IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.
- PAVEMENT MARKINGS (NMBC 1110.3)
 - PARKING SPACE HAS A CLEARLY VISIBLE, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED ON THE PAVEMENT AT REAR OF THE SPACE (66-1-4.1.E

C.O.A. GENERAL NOTES

- WORK ORDER REQUIRED FOR WORK WITHIN PUBLIC RIGHT OF WAY WITH DRC APPROVED PLANS.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
- ALL COA ROW CURB AND GUTTER, SIDEWALK, RAMP AND DRIVEPADS MUST BE IN GOOD CONDITION AND ADA ACCESSIBLE IF APPLICABLE. ANY ITEMS IN DISREPAIR MUST BE REMOVED AND REPLACED TO NEAREST CONTROL JOINT
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE SIGNS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA
- MAXIMUM SLOPE PERMITTED AT ADA STALLS AND ACCESS AISLES IS 2% (1:50)
- ALL BROKEN OR CRACKED ASPHALT TRAIL MUST BE REPLACED WITH NEW ASPHALT PER COA DRAWING 2415C
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER COA DRAWING 2430

PARKING REQUIREMENTS:

PARKING CALCULATIONS	
TOTAL GUESTROOMS	HOTEL 103
TOTAL PARKING STALLS REQUIRED	103
TOTAL STALLS PROVIDED ON SITE	54
TOTAL EV CHARGING STALLS	4
TOTAL EV CREDIT	+4
TOTAL CREDITED STALLS	58

SHARED PARKING CALCULATIONS
103 STALLS (HOTEL) + 175 (MEDICAL OFFICE) = 228 STALLS REQUIRED
122 (PLANNING DEPT.)
ADMINISTRATION LETTER
DATED SEPTEMBER 11, 2023)

TOTAL ADJACENT SITE STALLS:	
TOTAL ON SITE STALLS PROVIDED:	58 STALLS
TOTAL STALLS PROVIDED:	231 STALLS

ADDITIONAL HOTEL PARKING REQUIREMENTS
TOTAL MOTORCYCLE STALLS REQUIRED 3
TOTAL MOTORCYCLE STALLS PROVIDED 4

TOTAL BICYCLE STALLS REQUIRED	
TOTAL BICYCLE STALLS PROVIDED	2

TOTAL ADA STALLS REQUIRED	
TOTAL ADA STALLS PROVIDED	6 (1 VAN ACCESSIBLE)

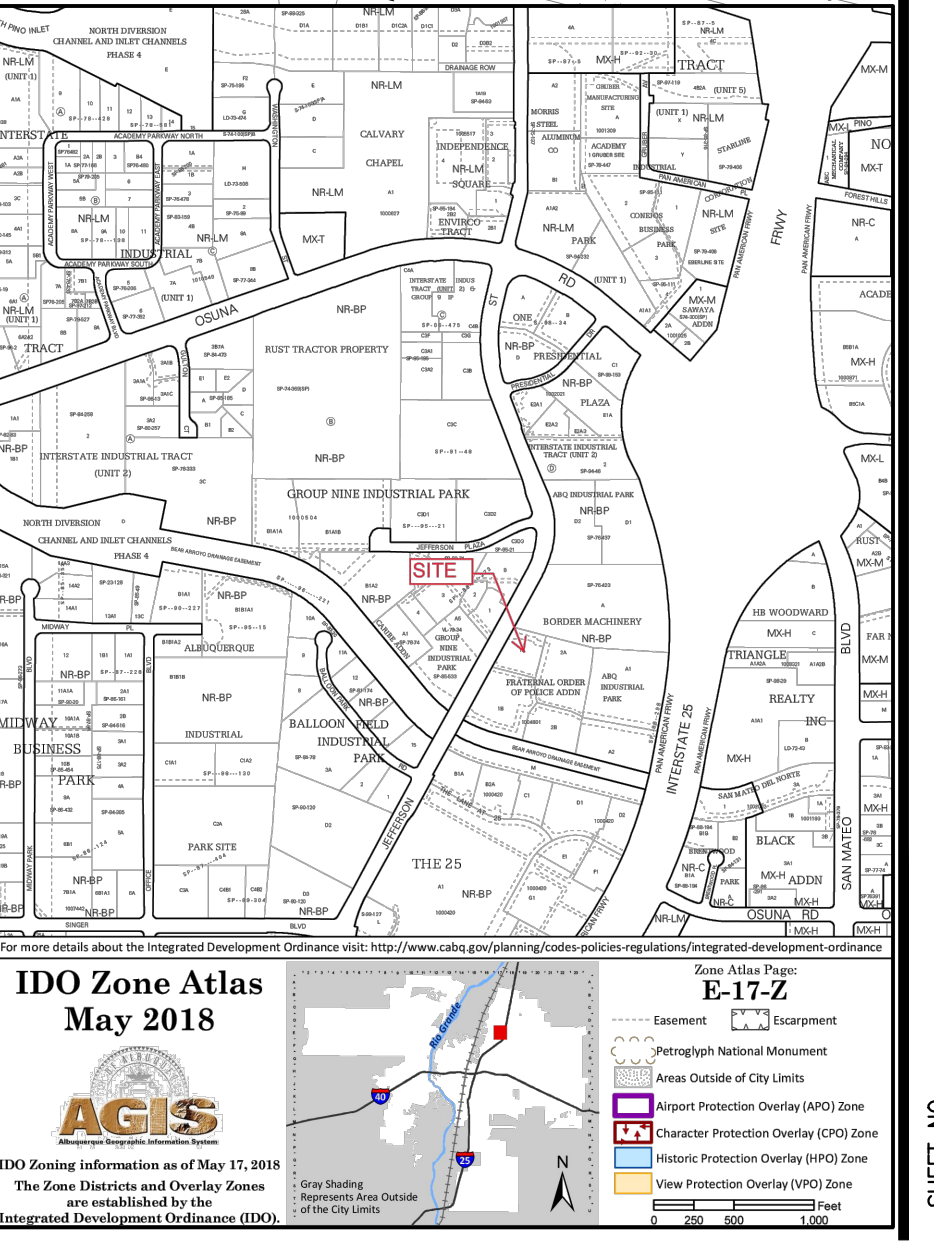
EXECUTIVE SUMMARY

THE PROPOSED PROJECT IS LIMITED SERVICE FIVE STORY HOTEL BUILDING WITH ONE HUNDRED THREE (103) GUEST SUITES. THE FIRST STORY IS 14,155 S.F. AND EACH UPPER STORY IS APPROXIMATELY 12,640 S.F. FOR A TOTAL BUILDING AREA OF 64,715 SQUARE FEET. THE PROPOSED USE OF THE BUILDING WILL BE A SHORT TERM STAY HOTEL WHICH IS ALLOWED WITHIN NR-BP PERMISSIVE USES.

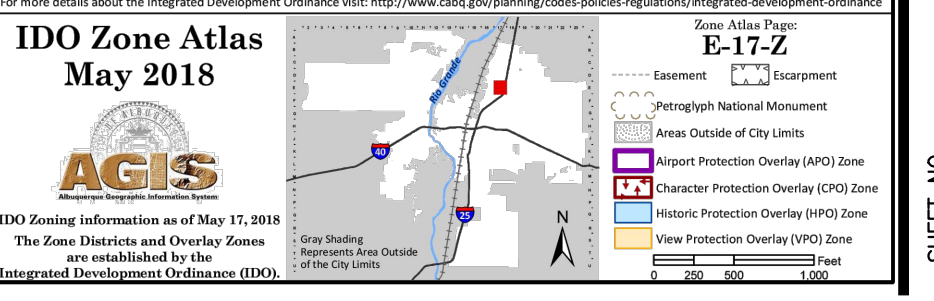
ZONING DATA

LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 1-B-1 FRATERNAL ORDER OF POLICE ADDITION (BEING COMPRISED OF LOTS 1-A AND 1-FRATERNAL ORDER OF POLICE ADDITION) CONT 1.4572 AC ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

OCCUPANCY TYPE: HOTEL



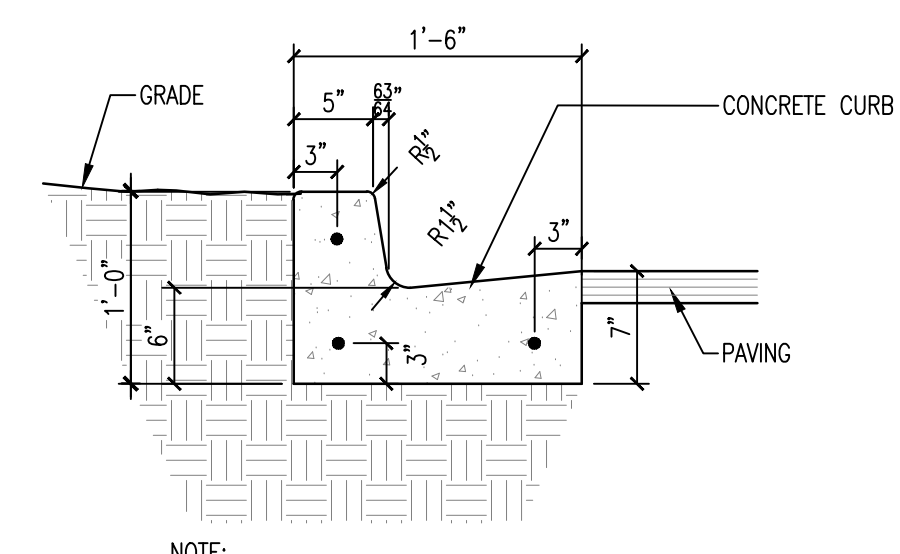
TRAFFIC APPROVAL PLAN - NOT FOR CONSTRUCTION
CONTRACTOR NOTE: ELEMENTS OF THIS DRAWING ARE INCORPORATED IN SITE PLAN A001 WHICH IS TO BE USED FOR CONSTRUCTION



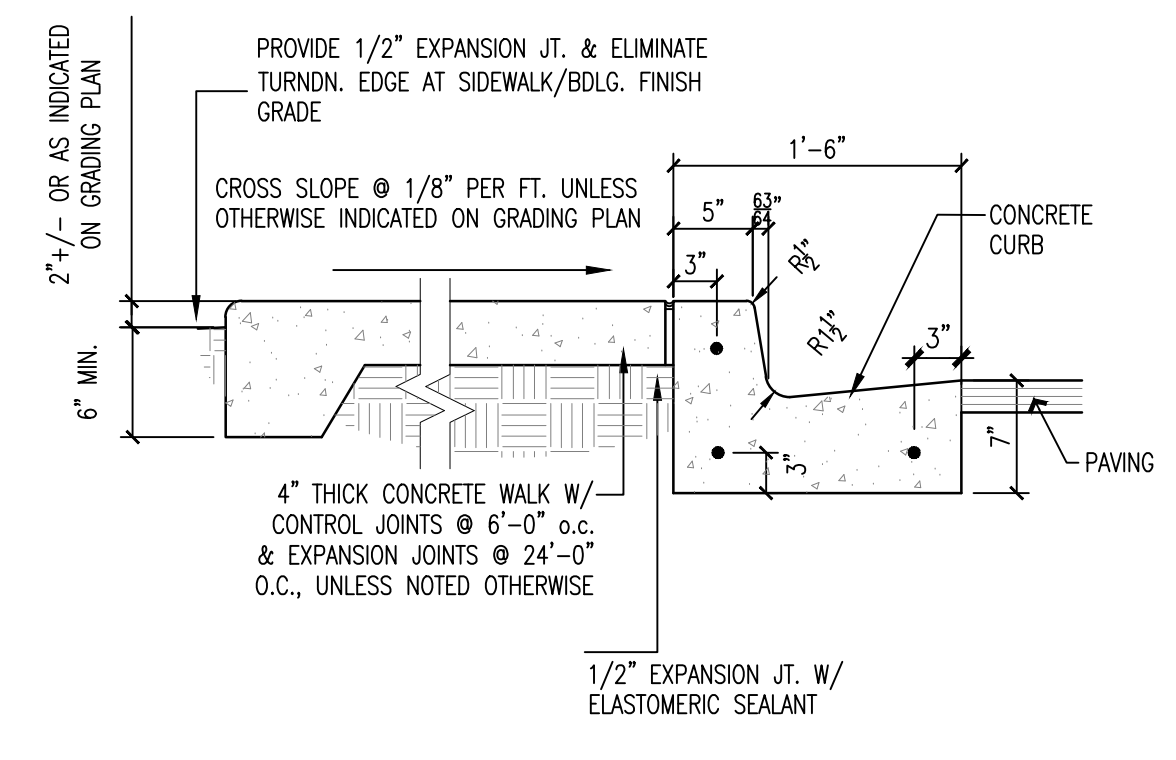
TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Amigo Signed 11/16/2023 Date

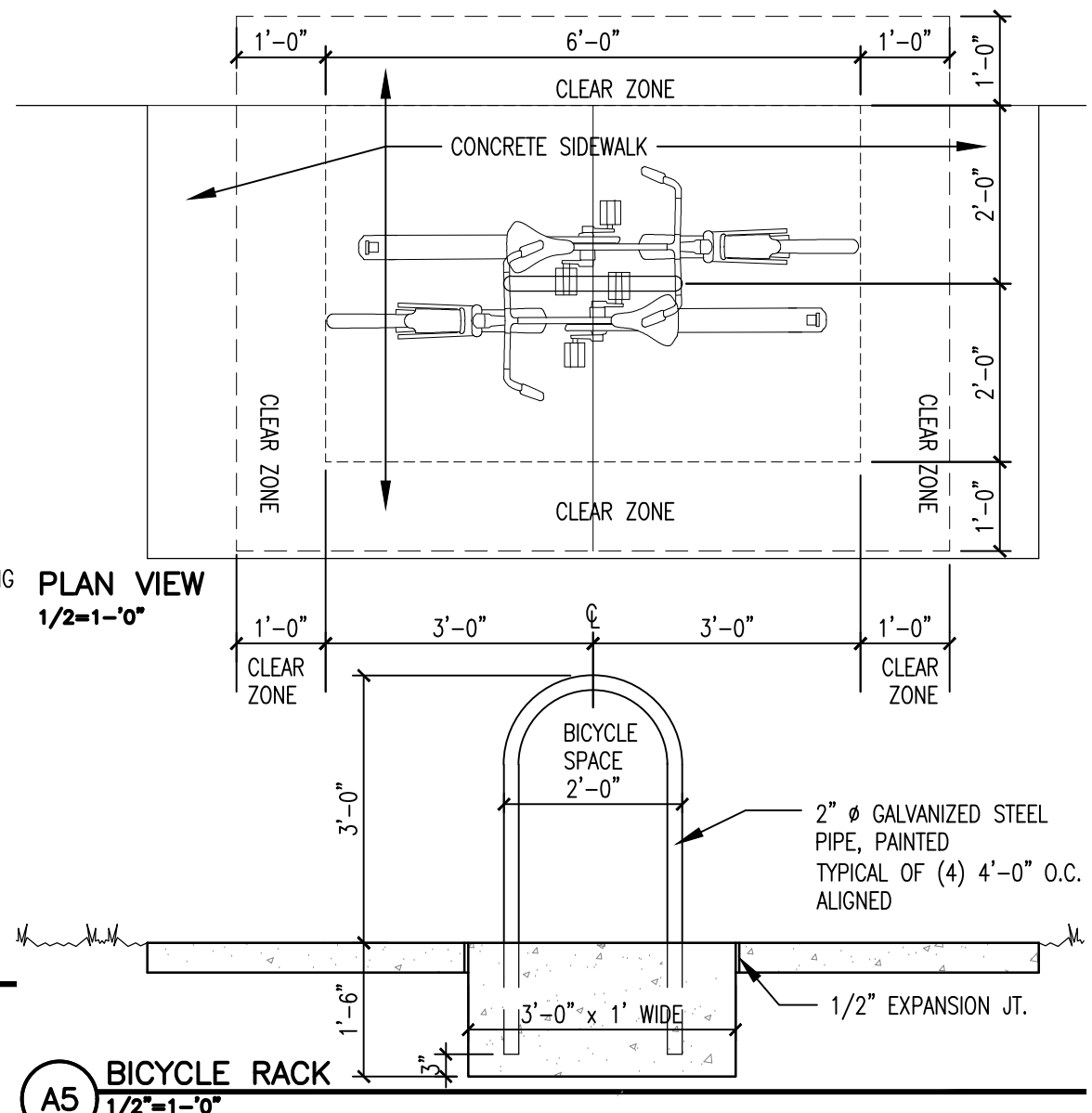
NOTE:
 PROVIDE CONTROL JOINTS @ 6'-0" O.C. MAX. (MATCH CONTIGIOUS SIDEWALK) AND DOWELED EXPANSION JOINTS @ 24'-0" O.C. MAX. UNLESS SHOWN OTHERWISE. CURB AND GUTTER JOINTING SHALL REFLECT THE JOINTING OF ADJACENT FLATWORK.



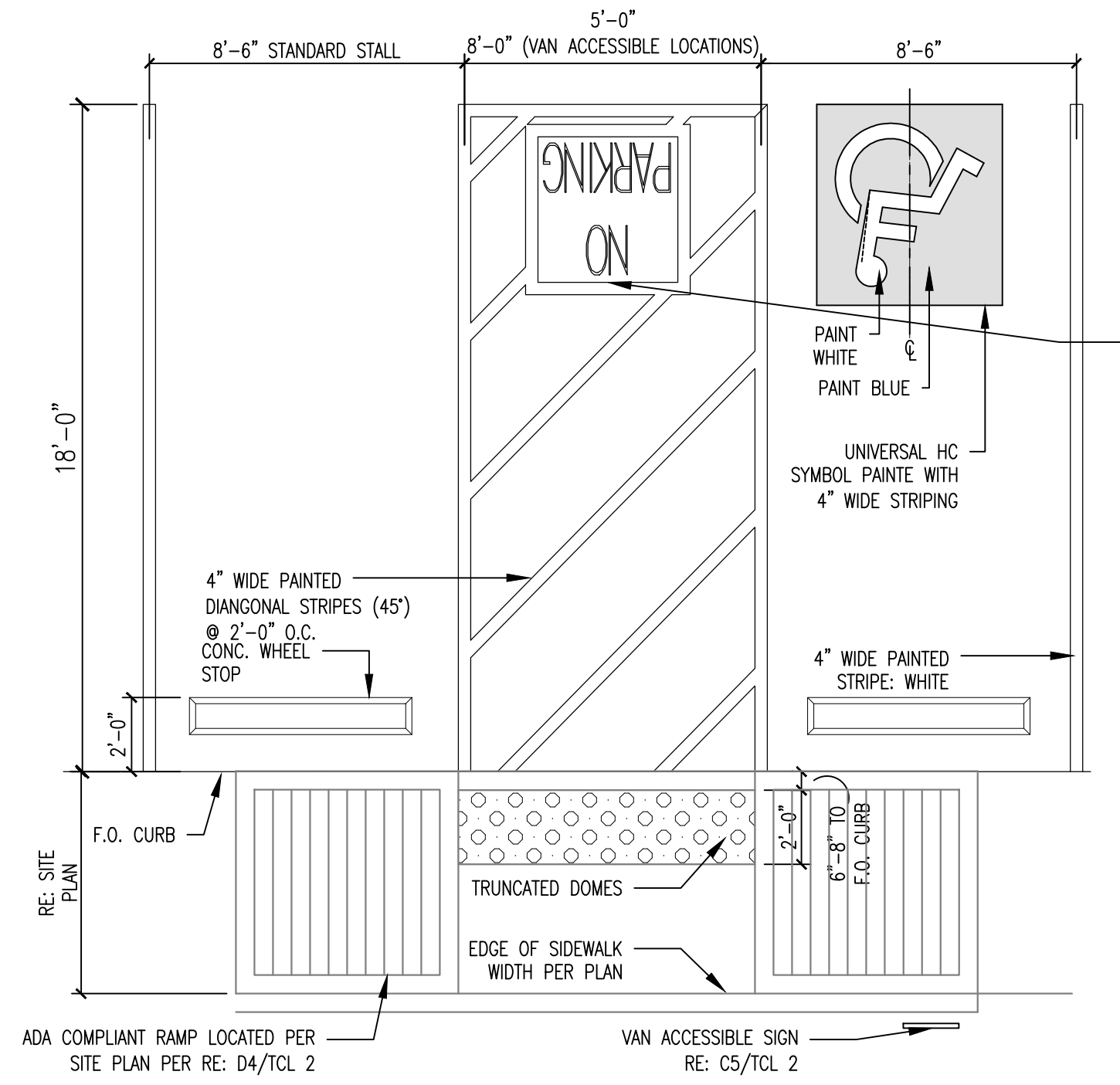
A3 CONCRETE CURB & GUTTER
 1/4"=1'-0"



A4 SIDEWALK SECTION
 1/4"=1'-0"



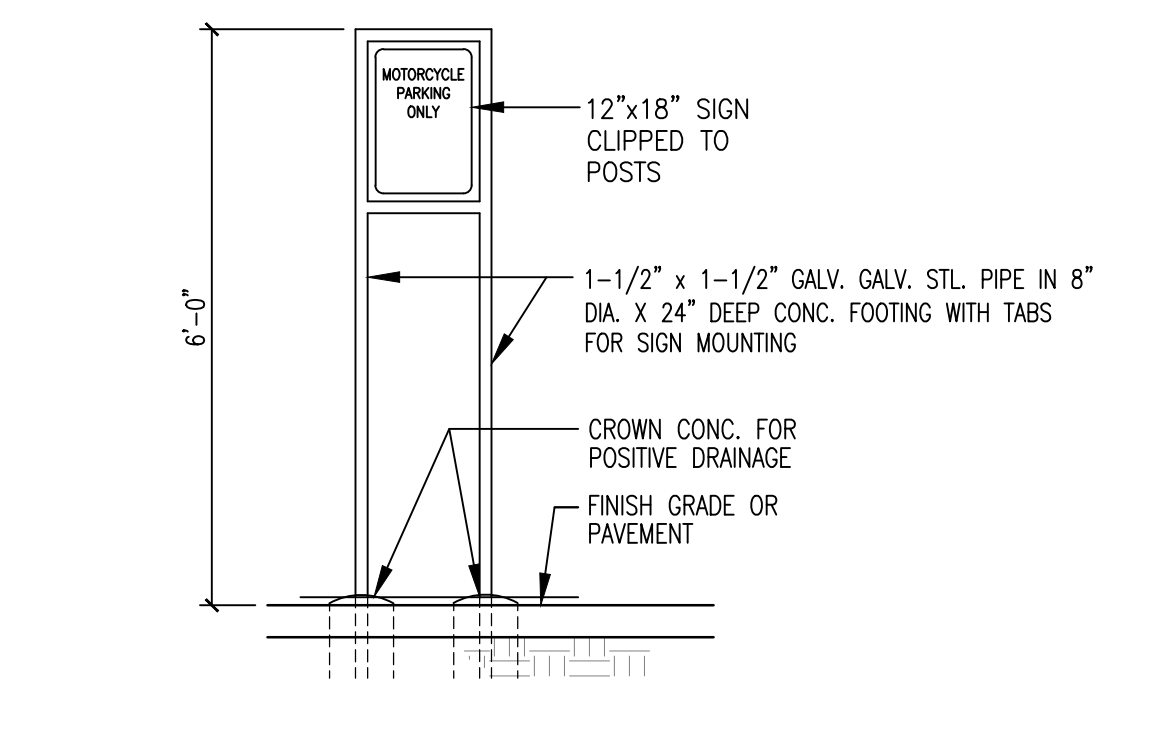
A5 BICYCLE RACK
 1/2"=1'-0"



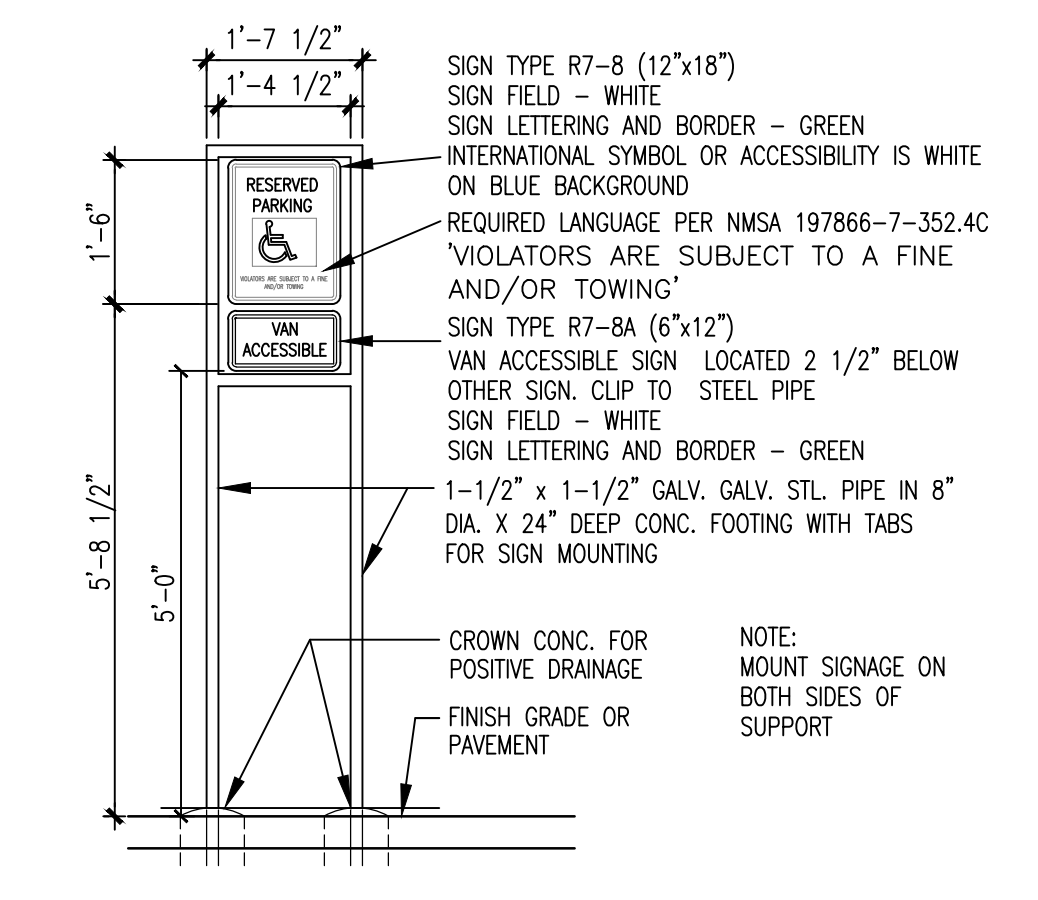
C4 TYPICAL ADA PARKING STALLS DETAIL
 1/4"=1'-0"

ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED. (66-1-4.1.B NMSA 1978)

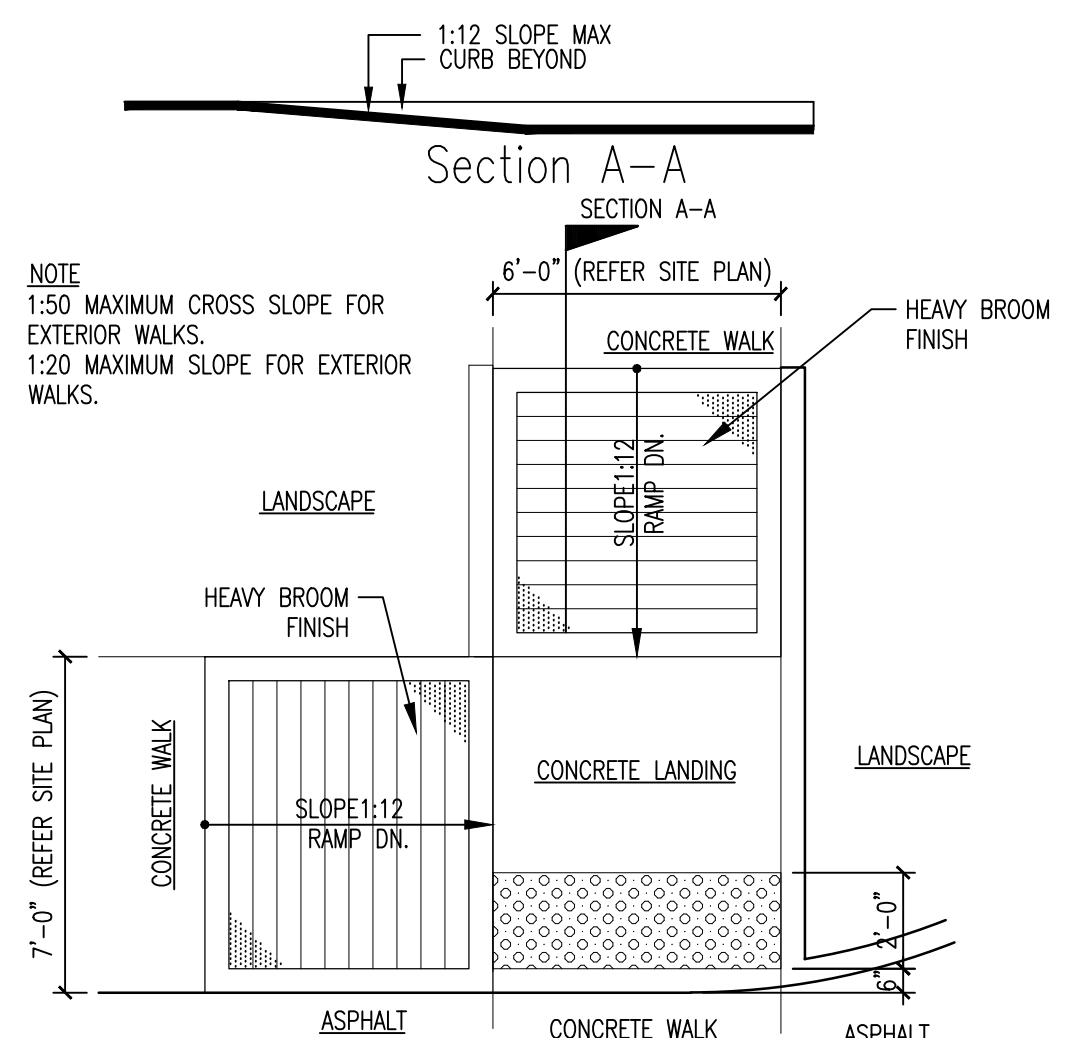
- NOTES:
- RAMPS SHALL NOT BE PLACED IN HANDICAP ACCESS AISLE, BUT SHALL BE PLACED WITHIN THE SIDEWALKS
 - ACCESS AISLE MAY NOT EXCEED 2% IN ANY DIRECTION.
 - HANDICAP ACCESS RAMPS MAY NOT EXCEED A SLOPE OF 8%
 - MINIMUM WIDTH OF HANDICAP ACCESS RAMPS IS 3'-0"
 - SIDES OF RAMPS MAY NOT EXCEED SLOPE OF 10% UNLESS HANDRAIL IS PROVIDED.
 - HANDICAP PARKING SHALL MEET ALL OTEHR APPLICABLE CITY AND ADA CODE REQUIREMENTS



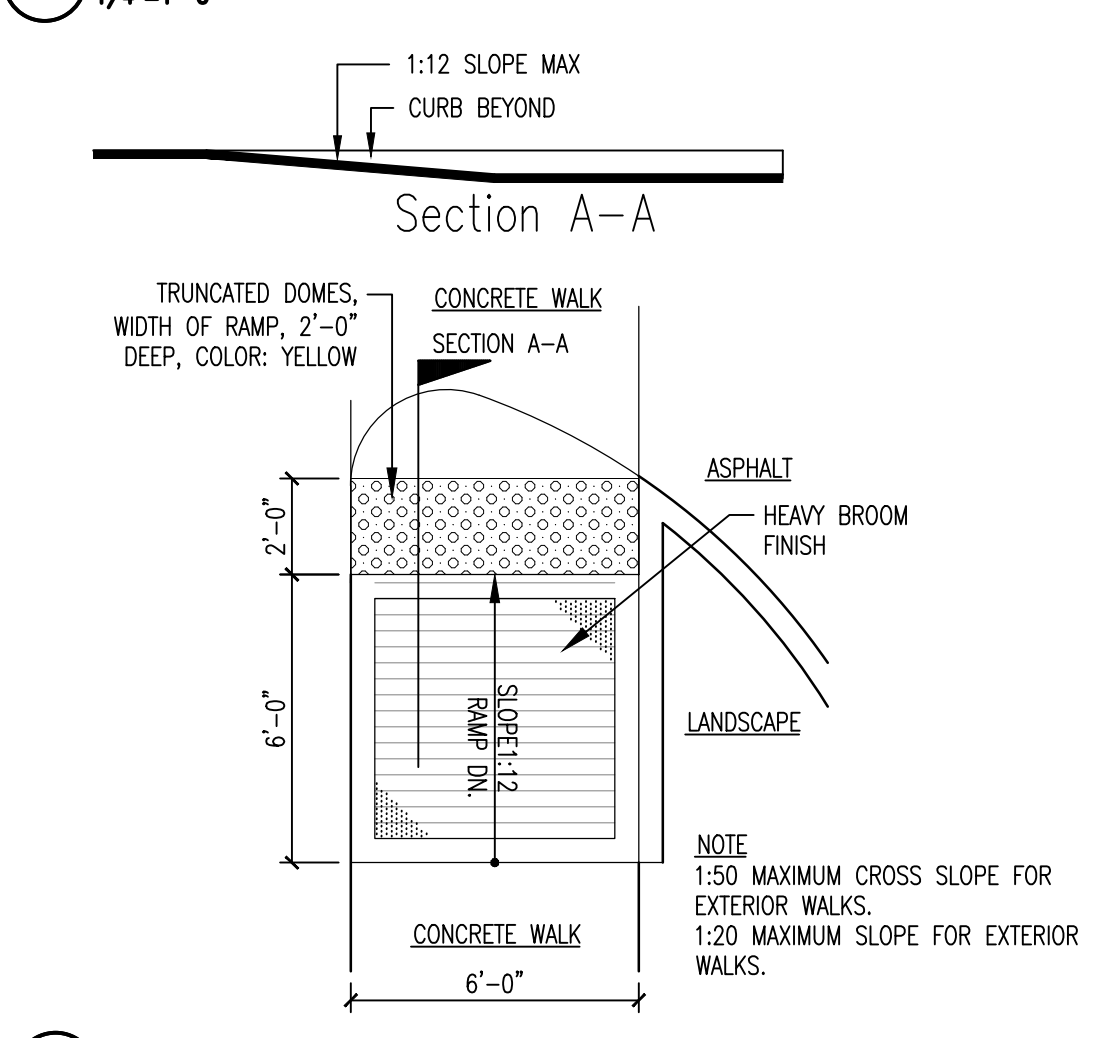
B5 MOTORCYCLE SIGN ELEVATION
 1/2"=1'-0"



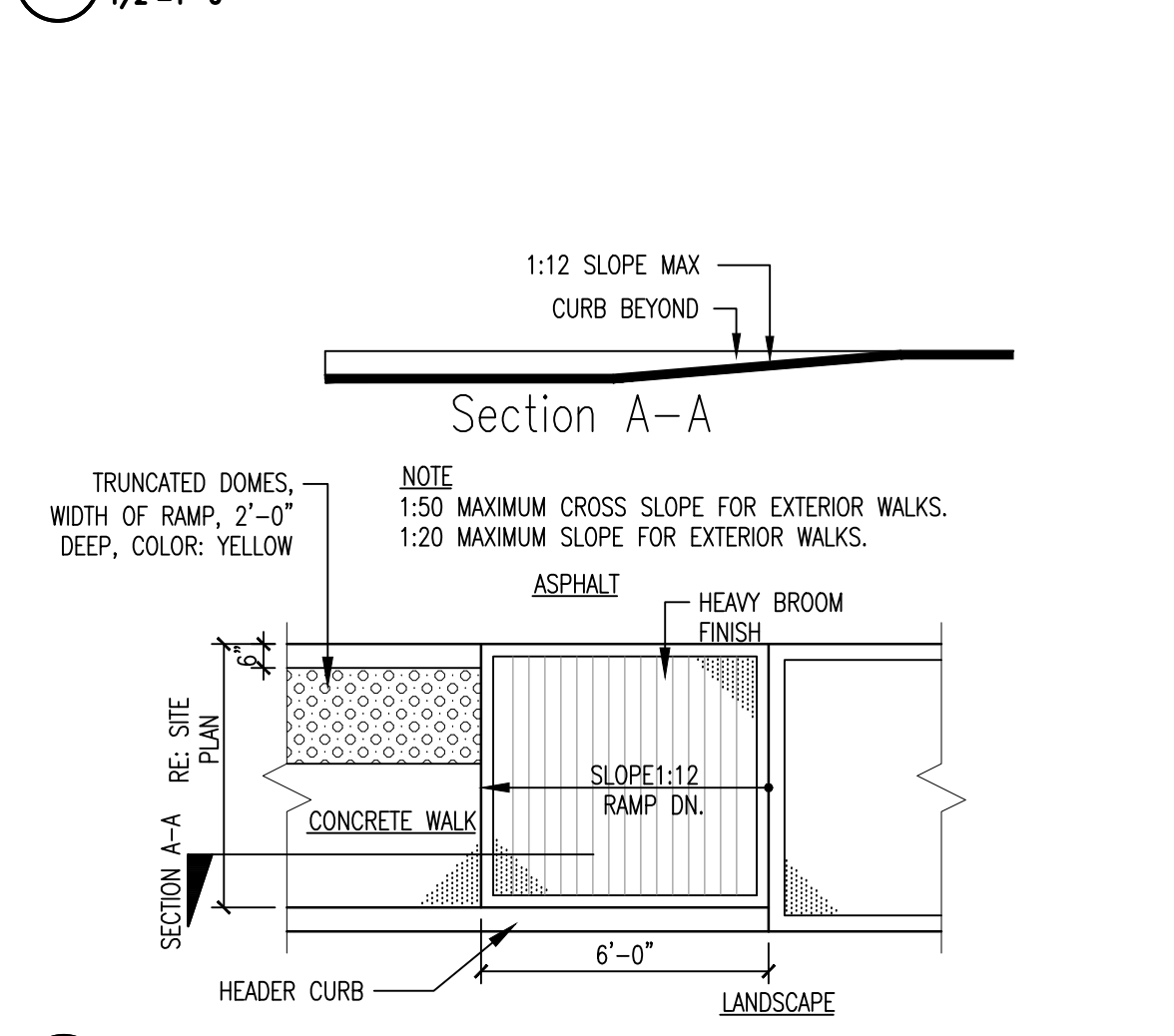
C5 H.C. SIGN ELEVATION
 1/2"=1'-0"



D3 RAMP @ SIDEWALK
 1/4"=1'-0"



D4 RAMP @ SIDEWALK
 1/4"=1'-0"



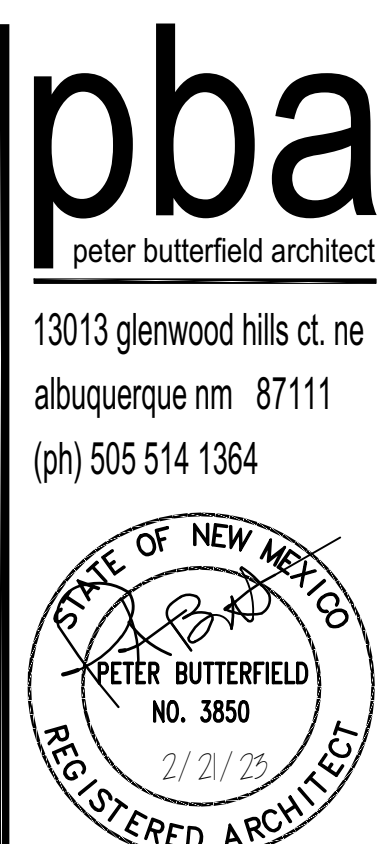
D5 ACCESSIBLE SIDEWALK RAMP
 1/4"=1'-0"

DRAWING NAME
 REVISIONS

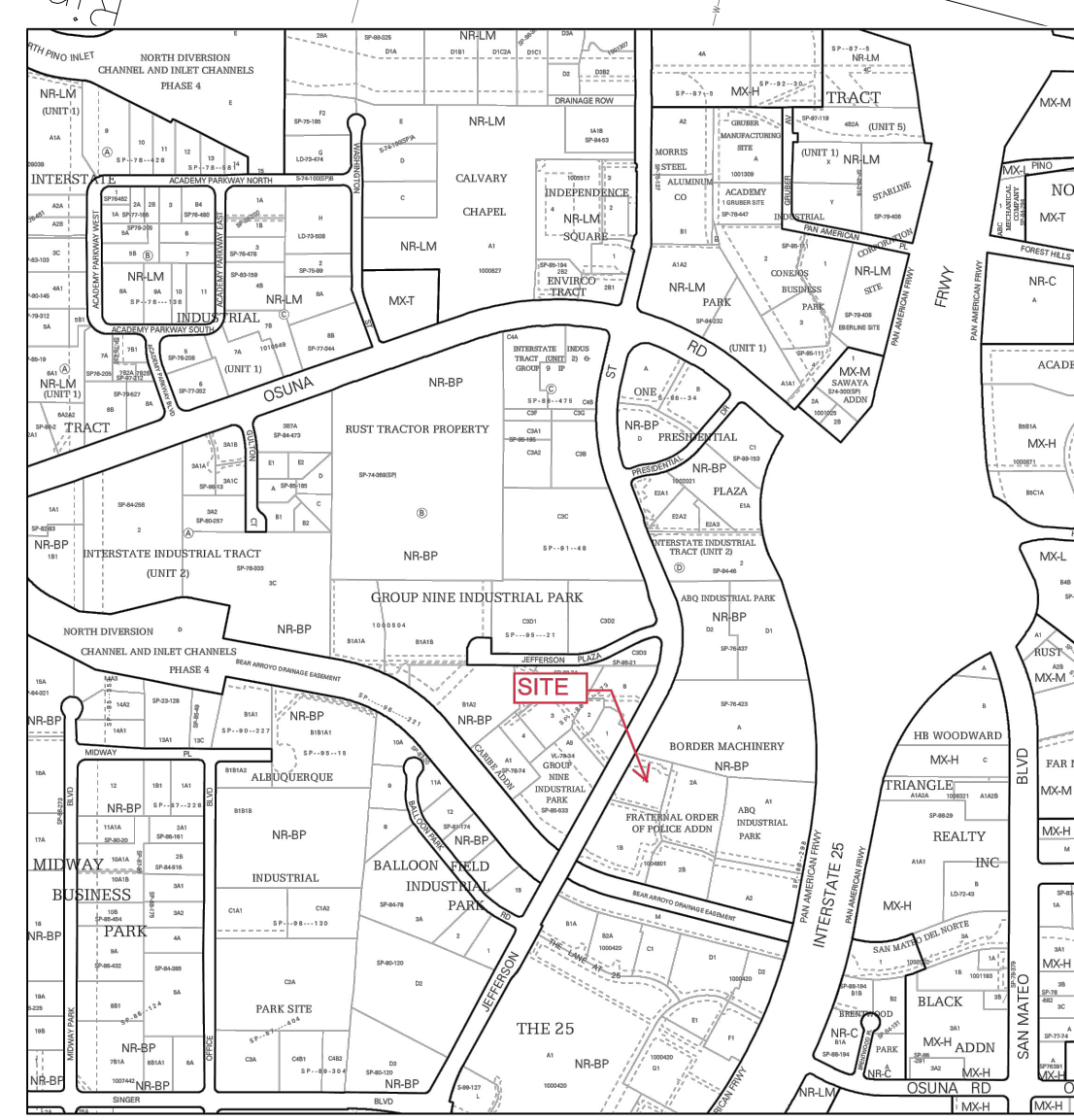
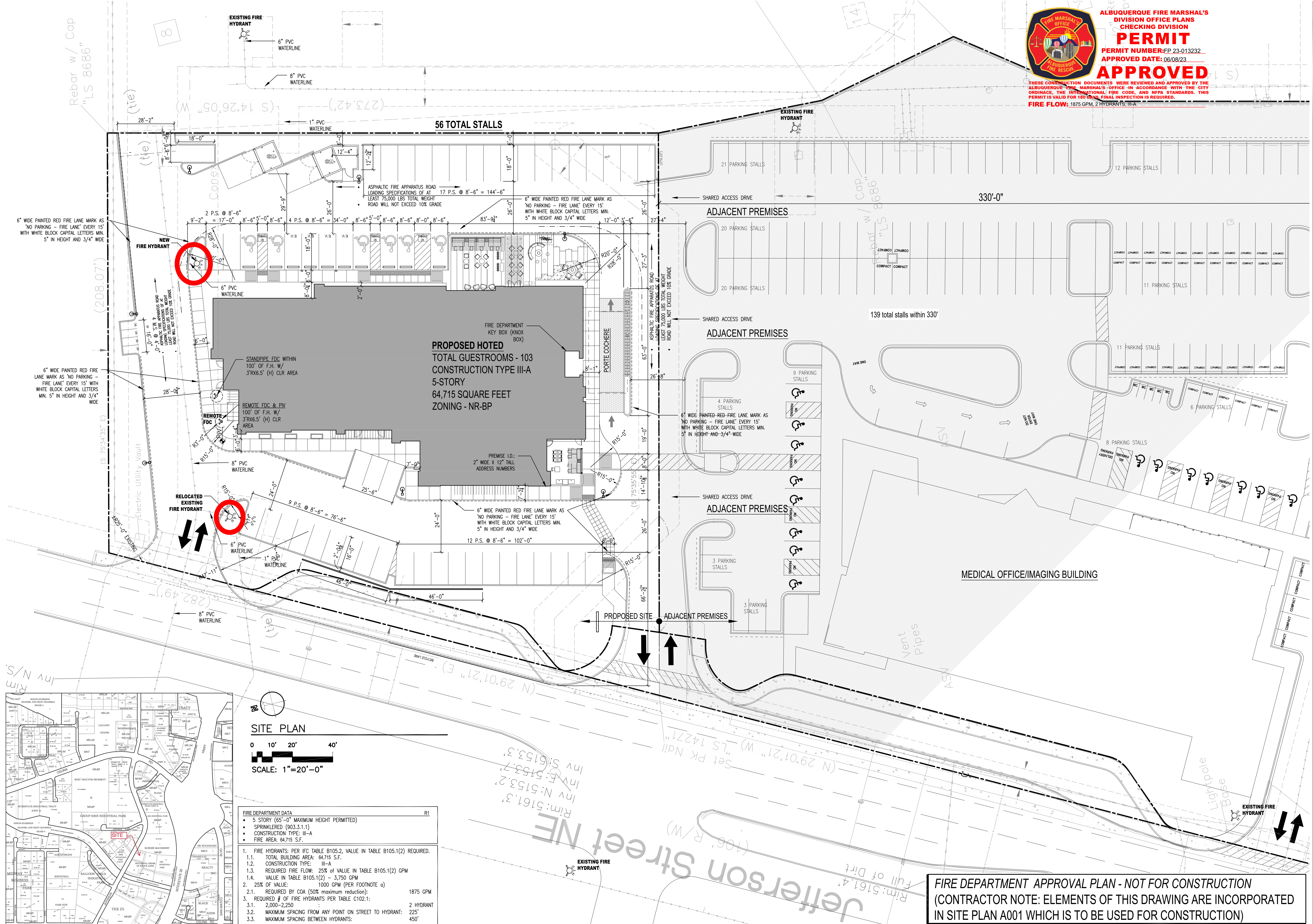
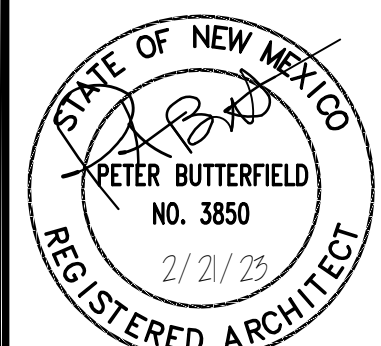


**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**
PERMIT
PERMIT NUMBER: FP 23-013232
APPROVED DATE: 06/08/23
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1875 GPM, 2 HYDRANTS, III-A



13013 glenwood hills ct. ne
albuquerque nm 87111
(ph) 505 514 1364



SITE PLAN
0 10' 20' 40'
SCALE: 1"=20'-0"

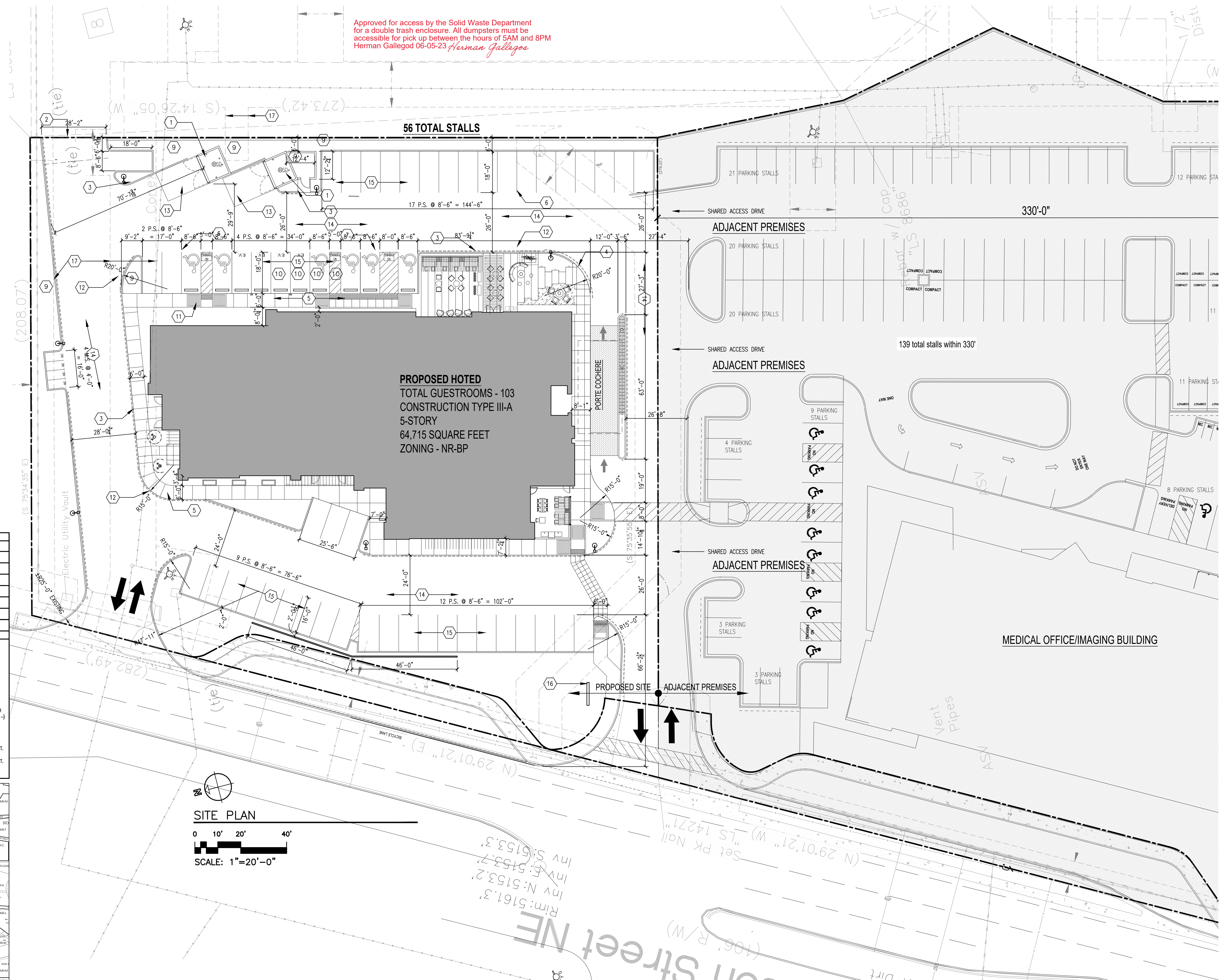
FIRE DEPARTMENT DATA		R1
• 5 STORY (65'-0" MAXIMUM HEIGHT PERMITTED)		
• SPRINKLERED (903.3.1.1)		
• CONSTRUCTION TYPE: III-A		
• FIRE AREA: 64,715 S.F.		
1. FIRE HYDRANTS: PER IFC TABLE B105.2, VALUE IN TABLE B105.1(2) REQUIRED.		
1.1. TOTAL BUILDING AREA: 64,715 S.F.		
1.2. CONSTRUCTION TYPE: III-A		
1.3. REQUIRED FIRE FLOW: 25% OF VALUE IN TABLE B105.1(2) GPM		
1.4. VALUE IN TABLE B105.1(2) - 3,750 GPM		
2. 25% OF VALUE: 1000 GPM (PER FOOTNOTE a)		
2.1. REQUIRED BY COA (50% maximum reduction):	1875 GPM	
3. REQUIRED # OF FIRE HYDRANTS PER TABLE C102.1:	2 HYDRANT	
3.1. 2,000-2,250		
3.2. MAXIMUM SPACING FROM ANY POINT ON STREET TO HYDRANT:	225'	
3.3. MAXIMUM SPACING BETWEEN HYDRANTS:	450'	

FIRE DEPARTMENT APPROVAL PLAN - NOT FOR CONSTRUCTION
(CONTRACTOR NOTE: ELEMENTS OF THIS DRAWING ARE INCORPORATED IN SITE PLAN A001 WHICH IS TO BE USED FOR CONSTRUCTION)

DRAWING NAME
REVISIONS

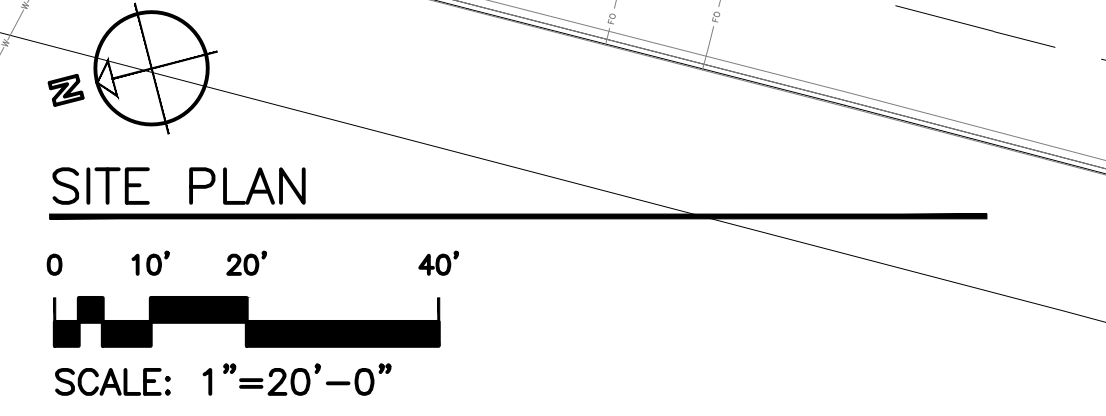
Proposed Hotel - Home 2 Suites
5910 Jefferson St NE
Albuquerque, NM
Fire-1
5/25/23 Fire 1

Approved for access by the Solid Waste Department
for a double trash enclosure. All dumpsters must be
accessible for pick up between the hours of 5AM and 8PM
Herman Gallegod 06-05-23 *Herman Gallegos*



SITE LEGEND		
	SIGN	
	FIRE HYDRANT	
	WATER VALVE	
	S&S MANHOLE	
	TELEPHONE MANHOLE	
	WATER METER	
	POWER POLE	
	NEW LIGHT BOLLARD	

SITE PLAN KEYED NOTES		
1.	SINGLE UNIT DUMPSTER ENCLOSURE WITH AREA DRAIN TO GREASE INTERCEPTOR	
2.	SHARED ACCESS EASEMENT	
3.	CURB, 6" HIGH CONCRETE AND CUTTER REFER	
4.	CURB, 6" HIGH CONCRETE AND CUTTER REFER @ SIDEWALK	
5.	CONCRETE SIDEWALK, WIDTH AS NOTED	
6.	4" WIDE PAINTED PARKING STALL STRIPING, TYP. COLOR: WHITE	
7.	TYP. ACCESSIBLE PARKING SPACE W/ LOADING ZONE	
8.	PRECAST CONCRETE WHEEL STOP AT HC STALLS & AS NOTED	
9.	LANDSCAPE AREA, REFER TO LANDSCAPE PLAN	
10.	ELECTRIC VEHICLE CHARGING STATION STALL	
11.	ACCESSIBLE CURB RAMP	
12.	6" WIDE PAINTED RED FIRE LANE MARK AS "NO PARKING - FIRE LANE" EVERY 15' WITH WHITE BLOCK CAPITAL LETTERS MIN. 5" IN HEIGHT AND 3/4" WIDE (---) ON PAVING OR FACE OF CURB AT CURB LOCATIONS, REFER FIRE-1 PLAN	
13.	20' LONG 8" THICK CONCRETE APRON AT DUMPSTER ENCLOSURE, MAXIMUM SLOPE 1:12	
14.	NEW ASPHALTIC PAVING FOR HEAVY DUTY OVER PREPARED SUBGRADE (AS SITE CONDITIONS REQUIRE-VERIFY WITH GEOTECHNICAL ENGINEER) PER GEOTECHNICAL REPORT.	
15.	NEW ASPHALTIC PAVING FOR STANDARD DUTY OVER PREPARED SUBGRADE (AS SITE CONDITIONS REQUIRE-VERIFY WITH GEOTECHNICAL ENGINEER) PER GEOTECHNICAL REPORT.	
16.	MONUMENT SIGN	
17.	UTILITY EASEMENT	



Jefferson Street NE
Set PK Nail
(N 29°01'21" W) "LS 14271"
Inv S: 5153.7
Inv E: 5153.7
Inv N: 5153.2
Rim: 5161.3
Inv S: 5153.3

SOLID WASTE DEPARTMENT APPROVAL PLAN - NOT FOR CONSTRUCTION
(CONTRACTOR NOTE: ELEMENTS OF THIS DRAWING ARE INCORPORATED
IN SITE PLAN A001 WHICH IS TO BE USED FOR CONSTRUCTION)











PR-2021-005746_SI-2023-01893_Site_Plan_Approved_3-6-24_Sheet_1

Final Audit Report

2024-08-19


Created:	2024-07-18
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
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"PR-2021-005746_SI-2023-01893_Site_Plan_Approved_3-6-24_Sheet_1" History

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 Agreement completed.

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