



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)	
<input checked="" type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)		PRE-APPLICATIONS	
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)		<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)	
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)		<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)	
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)		APPEAL	
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)		<input type="checkbox"/> Administrative Decision (Form A)	
BRIEF DESCRIPTION OF REQUEST			
This is a site plan approval for hotel use. The proposed hotel will be 64,715 S.F. There is no major public infrastructure needed for this development. The site is currently vacant and currently subdivided. This request will also amended the overall Site Plan to show the new hotel layout.			
APPLICATION INFORMATION			
Applicant/Owner: JEFFERSON 25 LAND QOZB LLC C/O ARGUS INVESTMENT REALTY LLC		Phone:	
Address: 500 4TH ST NW SUITE 275		Email:	
City: ALBUQUERQUE	State: NM	Zip: 87102	
Professional/Agent (if any): Modulus Architects & Land Use Planning, Inc. (agent)		Phone: (505) 338-1499	
Address: 8220 SAN PEDRO DR. NE, SUITE 520		Email: rokoye@modulusarchitects.com	
City: Albuquerque	State: NM	Zip: 87113	
Proprietary Interest in Site: Agent		List all owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.: 1A1		Block:	Unit:
Subdivision/Addition: FRATERNAL ORDER OF POLICE		MRGCD Map No.:	UPC Code: 101706233314940107
Zone Atlas Page(s): E-17-Z	Existing Zoning: NR-BP		Proposed Zoning
# of Existing Lots: 1	# of Proposed Lots: 1		Total Area of Site (Acres): 1.46
LOCATION OF PROPERTY BY STREETS			
Site Address/Street: 5910 JEFFERSON ST NE		Between: Jefferson St NE	and:
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			
PR-2021-005746, SI-2022-00947			
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.			
Signature: Regina Okoye		Date: 11/27/2023	
Printed Name: Regina Okoye		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022 **SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- 1) DFT Application form completed, signed, and dated
- 2) Form P2 with all the submittal items checked/marked
- 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- 4) Zone Atlas map with the entire site clearly outlined and labeled
- 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- 7) Infrastructure List, if required for building of public infrastructure
- 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- 10) Completed Site Plan Checklist
- 11) Letter of authorization from the property owner if application is submitted by an agent
- 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)

N/A 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

N/A 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

X 17) Sign Posting Agreement

N/A 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

N/A Office of Neighborhood Coordination neighborhood meeting inquiry response

N/A Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

N/A Completed neighborhood meeting request form(s)

N/A If a meeting was requested or held, copy of sign-in sheet and meeting notes

X 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

N/A Office of Neighborhood Coordination notice inquiry response

N/A Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

N/A Proof of emailed notice to affected Neighborhood Association representatives

FORM P: PRE-APPROVALS/SIGNATURES

Legal Description & Location: 5910 JEFFERSON ST NE ALBUQUERQUE 87109
LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 1-B-1 FRATERNAL ORDER OF POLICE ADDITION (BEING COMPRISED OF
LOTS 1-A AND 1-B FRATERNAL ORDER OF POLICE ADDITION) CONT 1.4572 AC

Job Description: Hotel

Hydrology:

- Grading and Drainage Plan X Approved NA
- AMAFCA Approved X NA
- Bernalillo County Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA

Renée C. Brissette

Hydrology Department

11/16/23

Date

Transportation:

- Traffic Circulations Layout (TCL) X Approved NA
- Traffic Impact Study (TIS) Approved X NA
- Neighborhood Impact Analysis (NIA) Approved X NA
- Bernalillo County Approved X NA
- MRCOG Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA

Ernest Armijo

Transportation Department

11/16/2023

Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Water/Sewer Availability Statement/Serviceability Letter x Approved NA
- ABCWUA Development Agreement Approved x NA
- ABCWUA Service Connection Agreement Approved x NA

Sarah Luckie

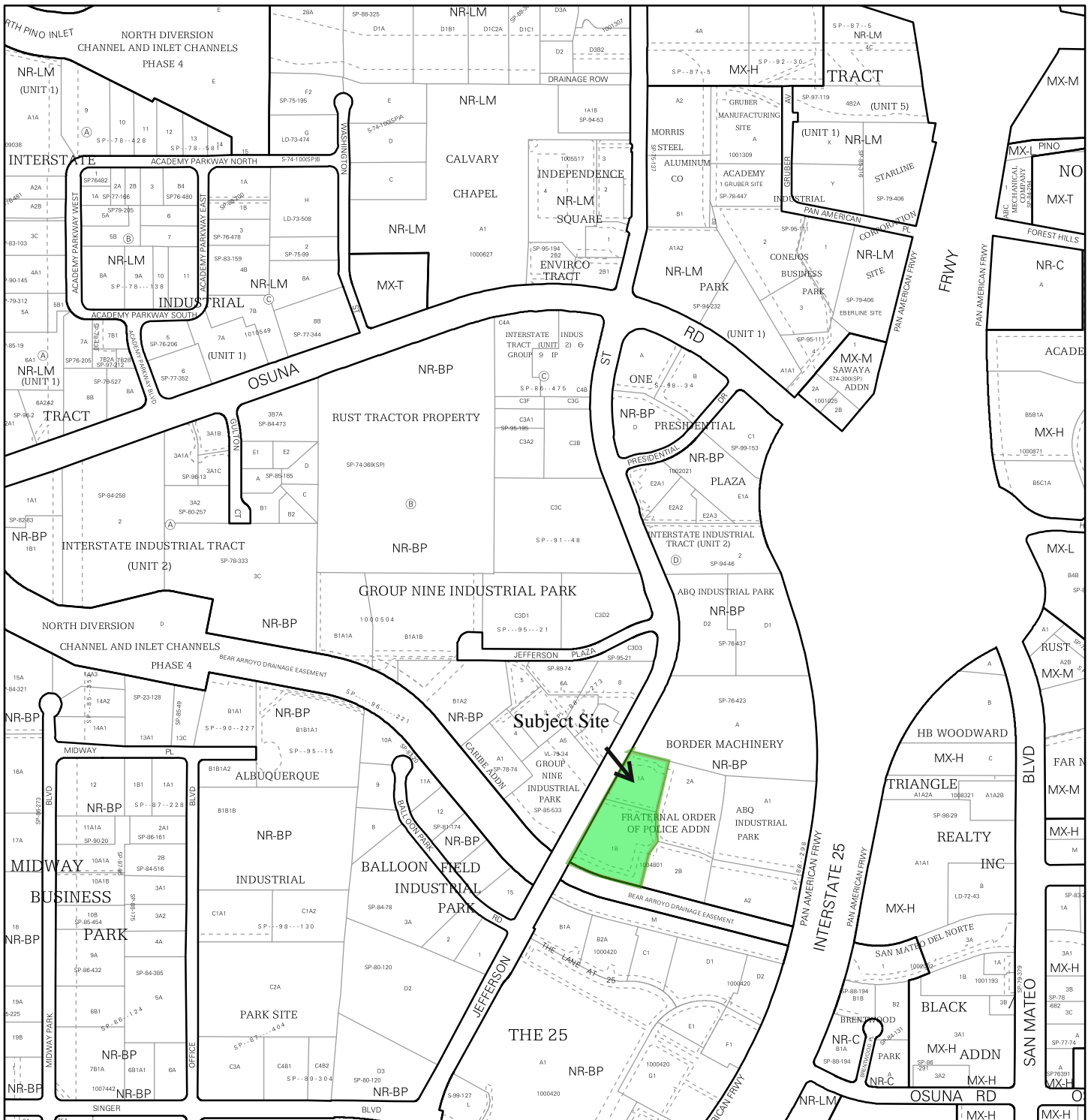
ABCWUA

7/26/2023

Date

- Infrastructure Improvements Agreement (IIA*) Approved X NA
- Solid Waste Department Signature on the plan x Approved NA
- Fire Marshall Signature on the plan X Approved NA

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

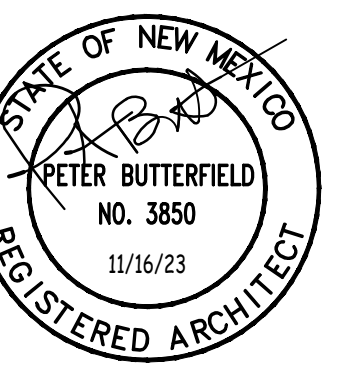
Zone Atlas Page:
E-17-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

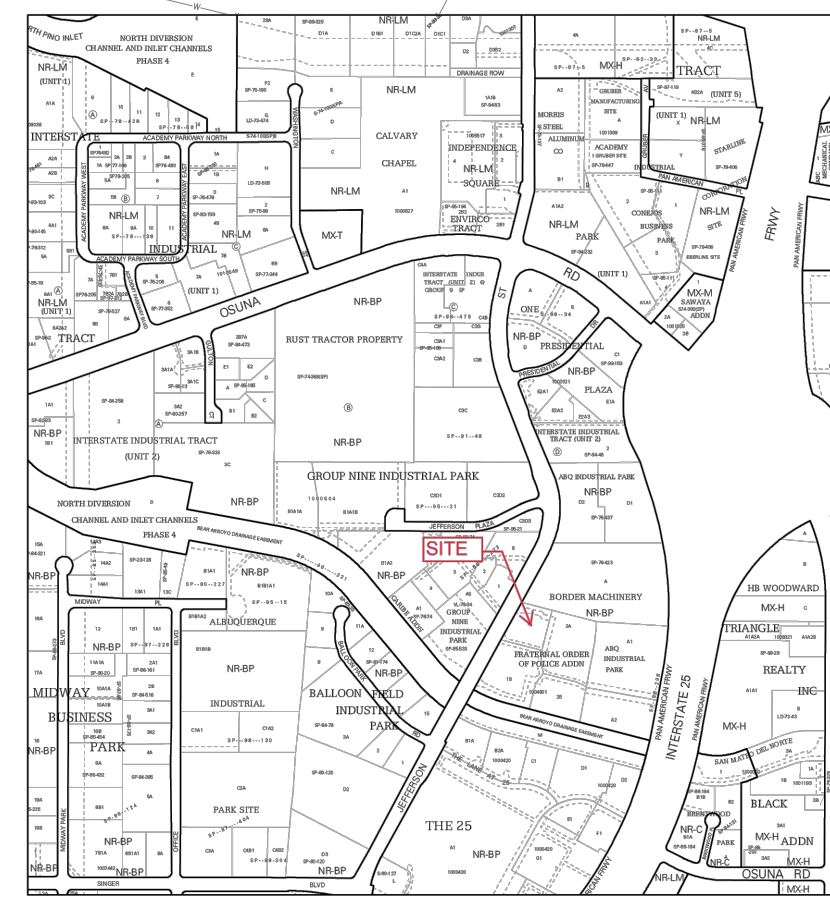
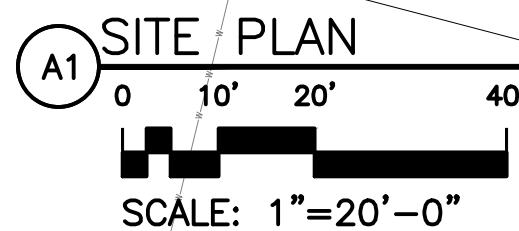
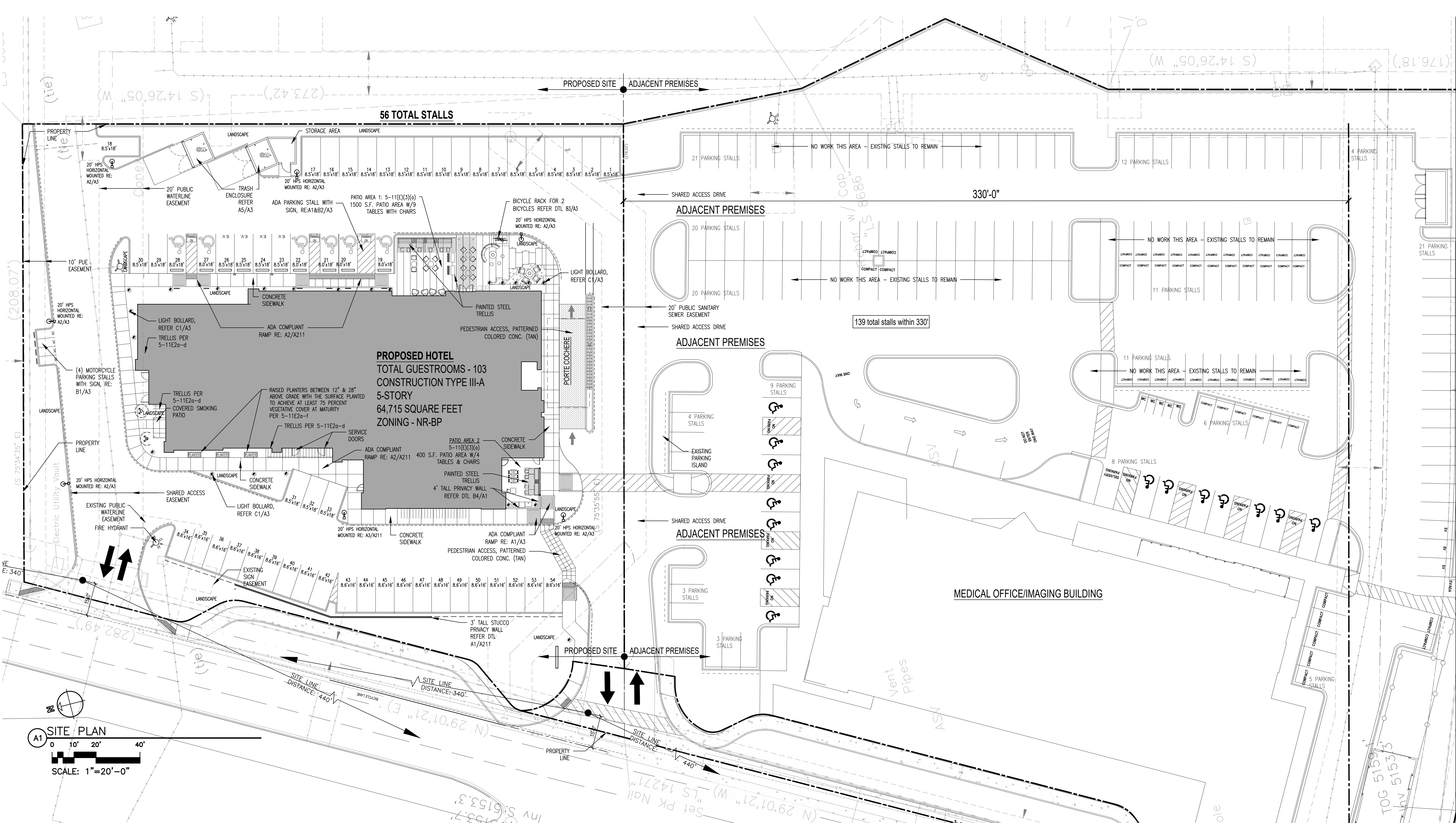
0 250 500 1,000 Feet

PROPOSED PLANS



DRAWING NAME
REVISIONS

Site Development Plan For Building Permit
Proposed 98 Room Hotel
5910 Jefferson St NE, Albuquerque, NM



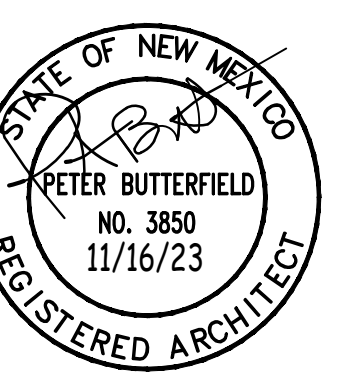
PARKING CALCULATIONS		HOTEL
TOTAL GUESTROOMS		103
TOTAL PARKING STALLS REQUIRED		103
TOTAL STALLS PROVIDED ON SITE		54
TOTAL EV CHARGING STALLS		4
TOTAL EV CREDIT		+4
TOTAL CREDITED STALLS		58
SHARED PARKING CALCULATIONS		
103 STALLS HOTEL + 173 MEDICAL OFFICE = 226 STALLS REQUIRED		
122 PLANNING DEPT. ADMINISTRATION LETTER DATED SEPTEMBER 11, 2023)		
TOTAL ADJACENT SITE STALLS:		173 STALLS
TOTAL ON SITE STALLS PROVIDED:		58 STALLS
TOTAL STALLS PROVIDED:		231 STALLS
ADDITIONAL HOTEL PARKING REQUIREMENTS		
TOTAL MOTORCYCLE STALLS REQUIRED		3
TOTAL MOTORCYCLE STALLS PROVIDED		4
TOTAL BICYCLE STALLS REQUIRED		2
TOTAL BICYCLE STALLS PROVIDED		2
TOTAL ADA STALLS REQUIRED		4
TOTAL ADA STALLS PROVIDED		6
(1 VAN ACCESSIBLE)		

FACADE DESIGN DATA	
5-11(E)(2) Façade Design 5-11(E)(2)(a) General	FACADE & FEATURE LENGTH CALCULATIONS
(2) Each street-facing façade shall incorporate at least 2 of the following features along at least 30 percent of the length of the façade, distributed along the façade so that at least 1 of the incorporated features occurs every 40 feet.	<p>FAÇADE LENGTH: 172' / 30% = 51.6 LINEAR FEET</p> <p>TRELLIS LENGTH PROVIDED: 53 LINEAR FEET (31% OF FAÇADE LENGTH)</p> <p>PLANTER LENGTH PROVIDED: 18 LINEAR FEET (12% OF FAÇADE LENGTH)</p> <p>TOTAL FAÇADE FEATURE LENGTH PROVIDED: 82 LINEAR FEET (43% OF FAÇADE LENGTH)</p>
d. Portals, arcades, canopies, trellises, awnings over windows, or other elements that provide shade or protection from the weather.	<p>3. Each street-facing façade longer than 100 feet incorporate at least 1 of the following additional features.</p> <p>q. Wall plane projections or recesses of at least 1 foot in depth of least every 100 feet of façade length and extending for at least 25 percent of the length of the façade.</p> <p>WALL PLANE PROJECTIONS: 4 PROVIDED</p>
e. A projecting gable, hip feature, or change in parapet height at least every 100 feet of façade length.	<p>CHANGE IN PARAPET HEIGHT: 3 PROVIDED</p>
f. Raised planters between 12 inches and 28 inches above grade with the surface planted to achieve at least 75 percent vegetative cover at maturity.	<p>5-11(E)(3) Outdoor Seating and Gathering Areas 5-11(E)(3)(a) General 1. For all other uses, each primary building containing more than 30,000 square feet of gross floor area shall provide at least 1 outdoor seating and gathering area for every 30,000 square feet of building gross floor area</p>

PROJECT DATA
LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 1-B-1 FRATERNAL ORDER OFFPOLICE ADDITION (BEING COMPRISED OF LOTS 1-A AND 1-BFRATERNAL ORDER OF POLICE ADDITION) CONT 1.4572 AC ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
ZONING: NR-BP
AREAS: NR-BP
TRACT AREA: 1.4572 ACRES (63,476 S.F.)
BUILDING FOOTPRINT: 13,830 SF
TOTAL BUILDING AREA: 62,390 S.F.
BUILDING COVERAGE: 13,830 SF / 63,476 SF = 21.78%

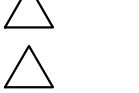
WRITTEN PROJECT SUMMARY
THE PROPOSED PROJECT IS LIMITED SERVICE FIVE STORY HOTEL BUILDING WITH ONE-HUNDRED THREE (103) GUEST SUITES. THE FIRST STORY IS 14,155 S.F. AND EACH UPPER STORY IS APPROXIMATELY 12,640 S.F. FOR A TOTAL BUILDING AREA OF 64,715 SQUARE FEET. THE PROPOSED USE OF THE BUILDING WILL BE A SHORT TERM STAY HOTEL WHICH IS ALLOWED WITHIN NR-BP PERMISSIVE USES.
DRAWING INDEX
1 AS-1 SITE PLAN
2 LS01 LANDSCAPE PLAN
3 CO01 GRADING AND DRAINAGE PLAN
4 CO02 UTILITY PLAN
5 A-1 BUILDING ELEVATIONS
6 A-2 BUILDING ELEVATIONS
7 A-3 ARCHITECTURAL DETAILS

PROJECT NUMBER: _____	Application Number: _____		
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.			
DFT SITE DEVELOPMENT PLAN APPROVAL:			
Traffic Engineering, Transportation Division	Date	Code Enforcement	Date
ABCWUA	Date	* Environmental Health Department (conditional)	Date
Parks and Recreation Department	Date	Solid Waste Management	Date
Hydrology	Date	Planning Department	Date

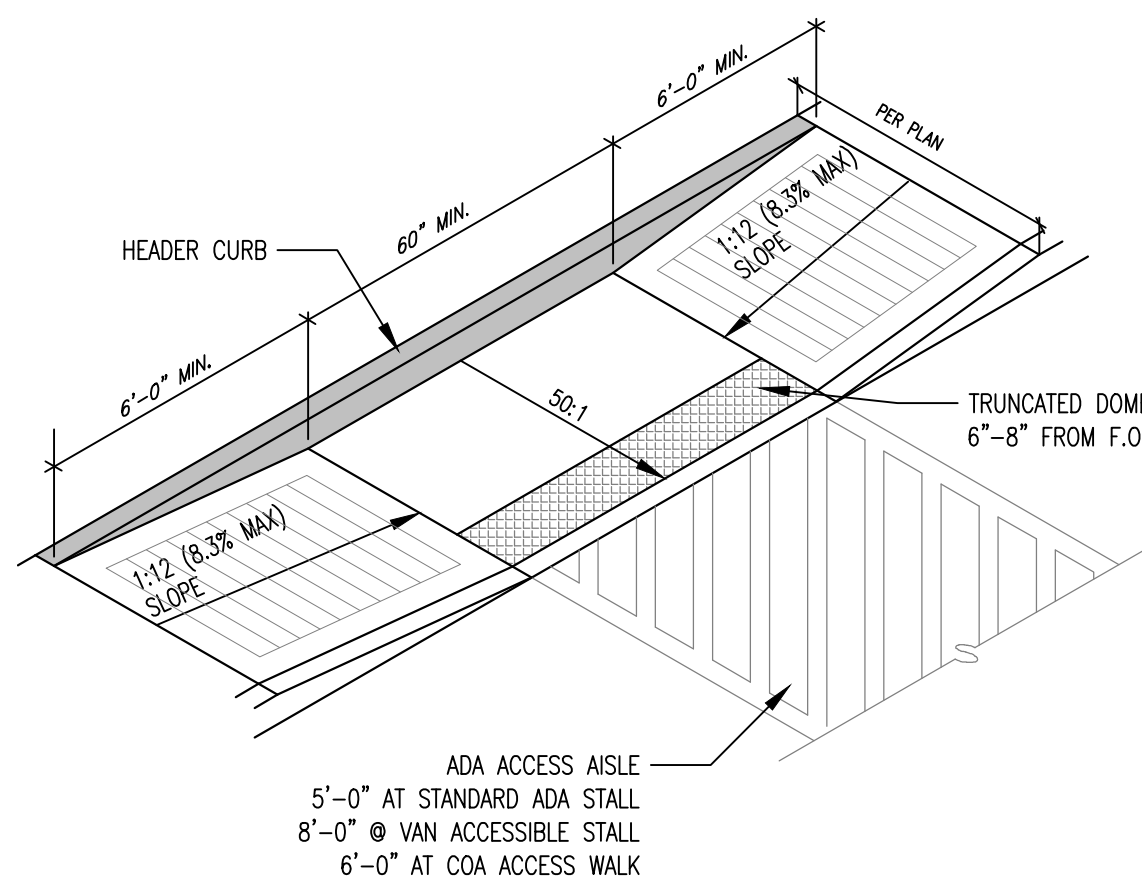


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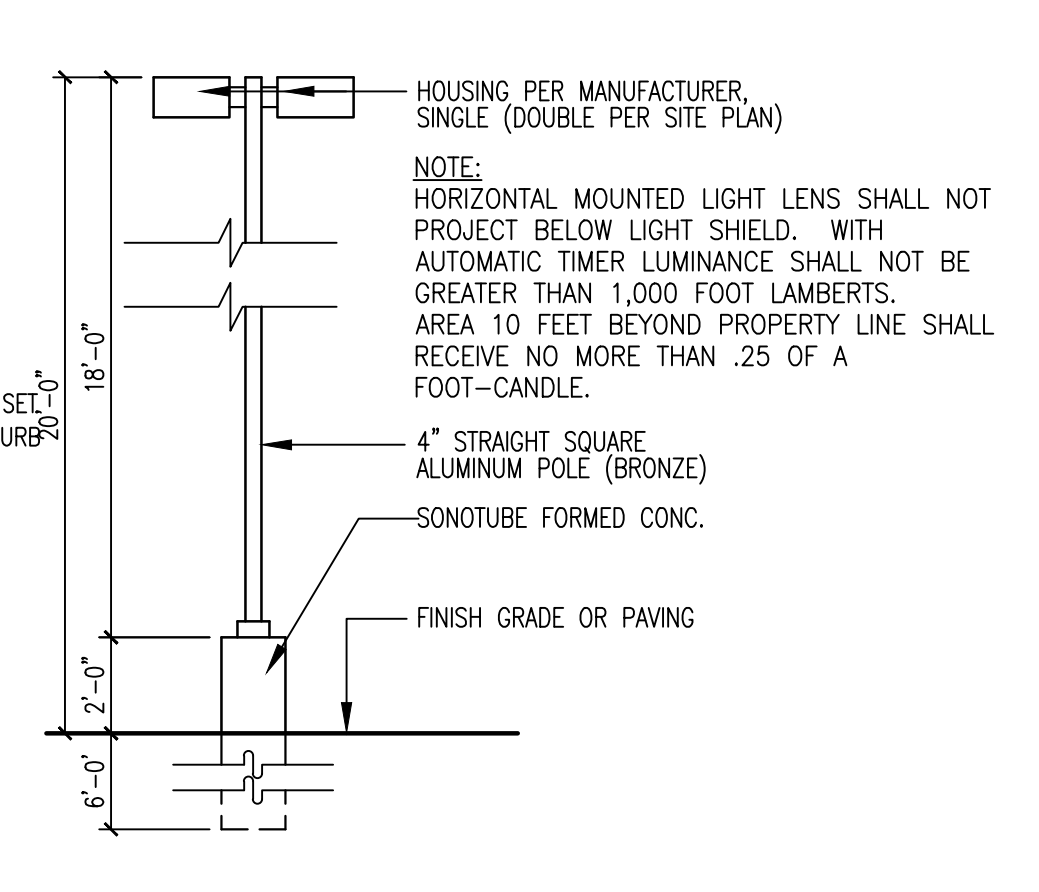
REVISIONS



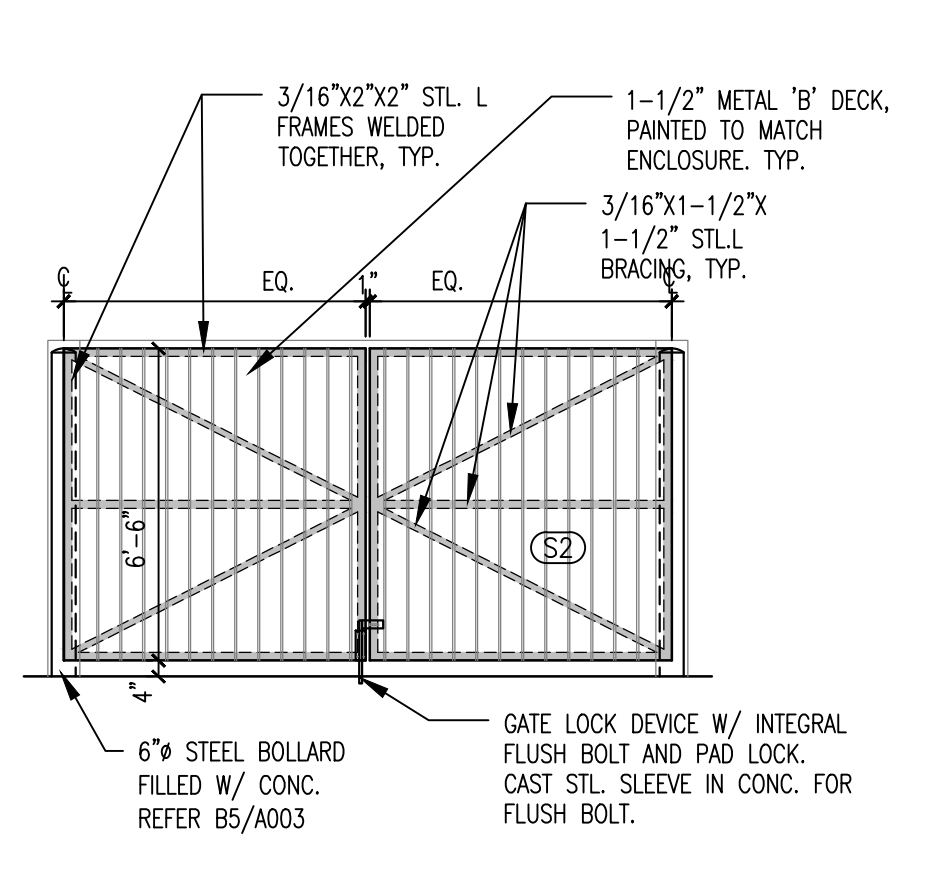
SHEET NO.



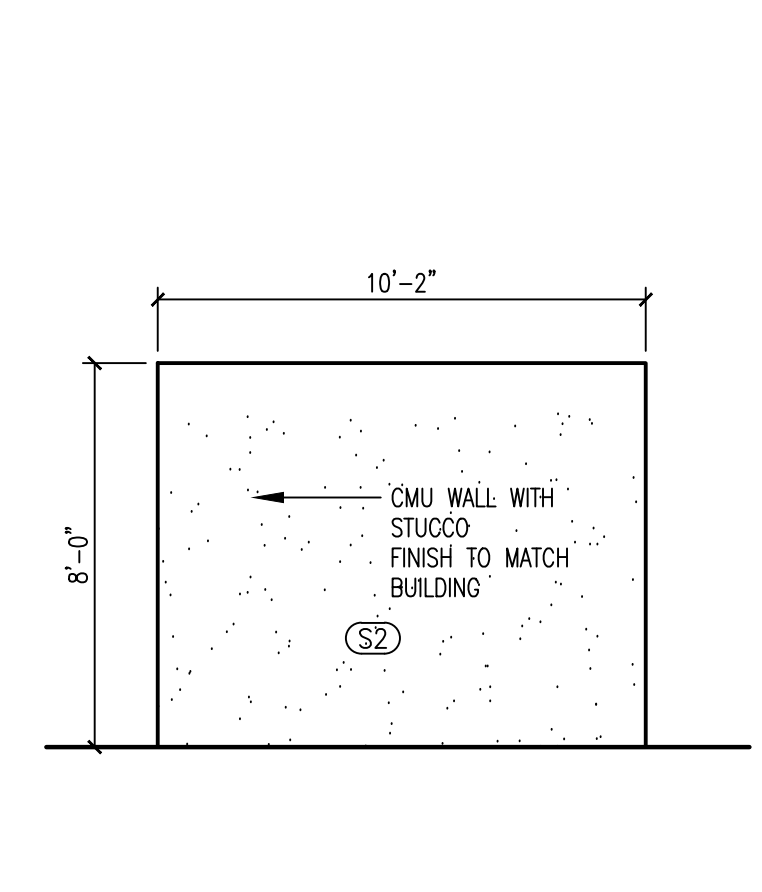
A1 ADA COMPLAINT RAMP
1/2"=1'-0"



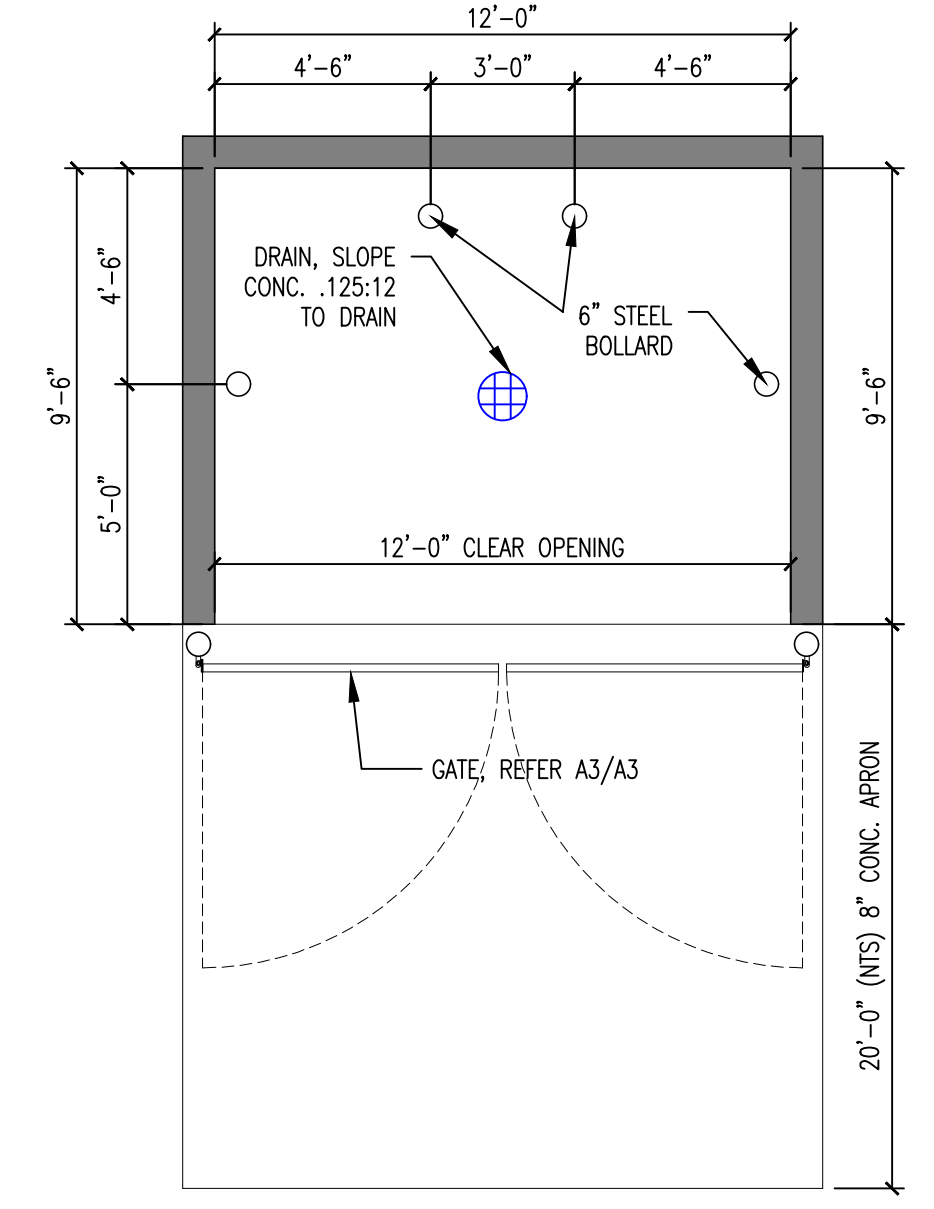
A2 LIGHT POLE DETAIL
1/4"=1'-0"



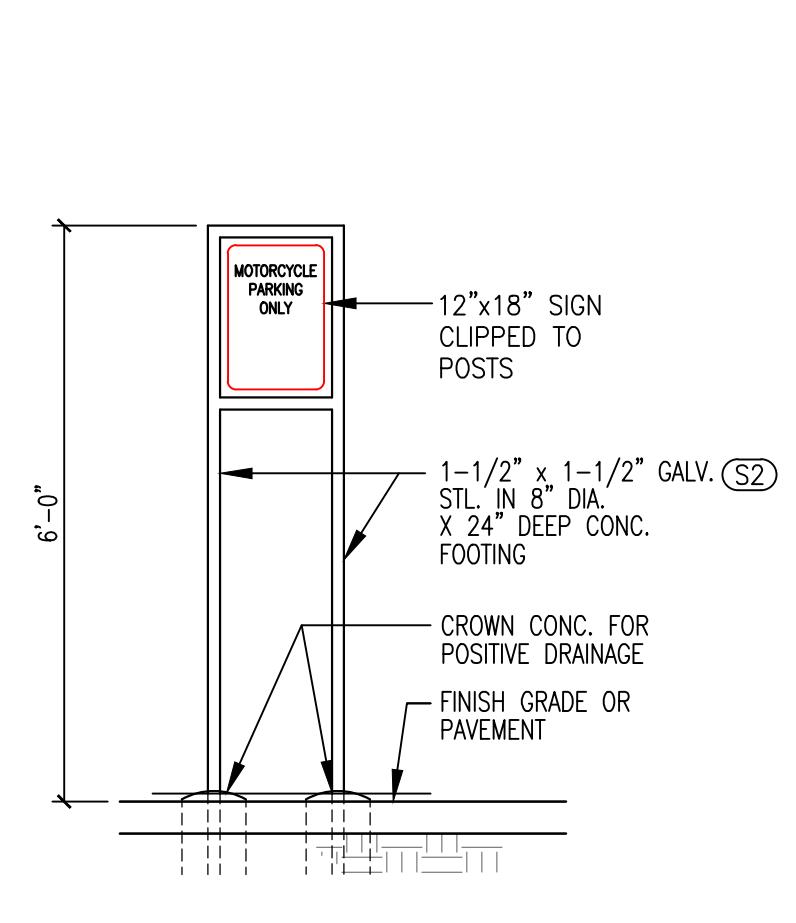
A3 TRASH GATE ELEVATION
1/4"=1'-0"



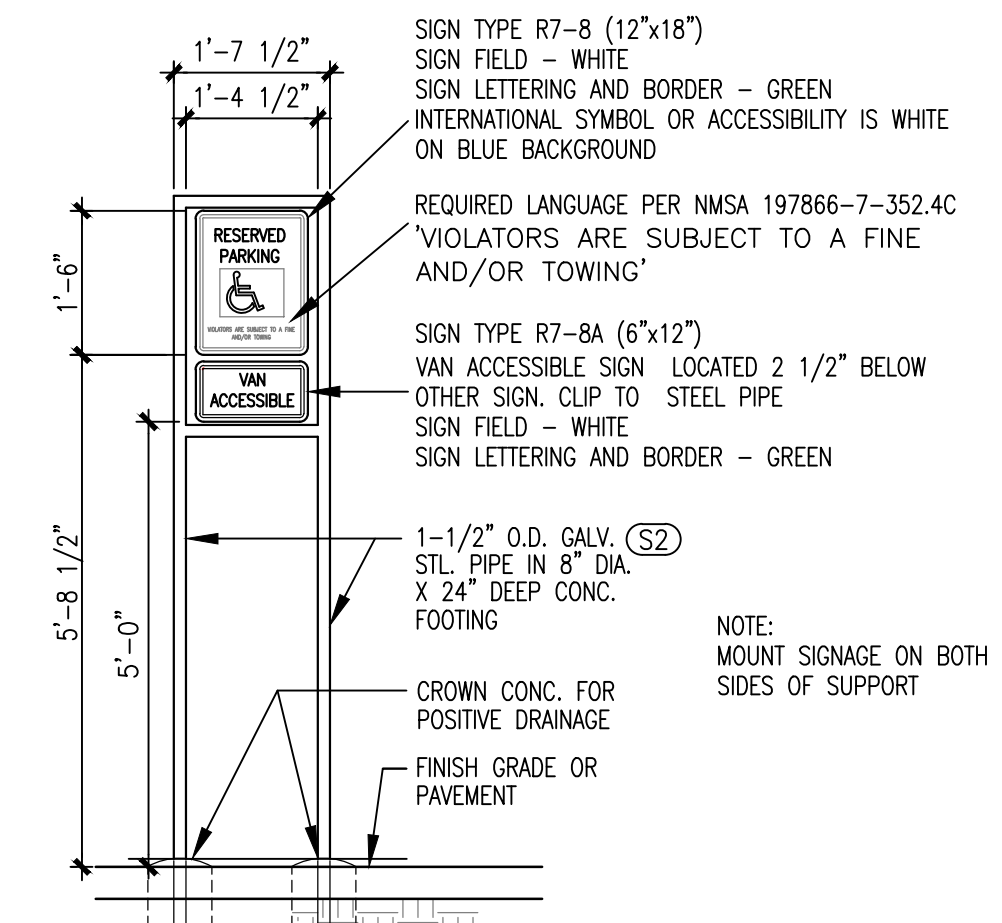
A4 TRASH ENCLOSURE WALL ELEVATION
1/4"=1'-0"



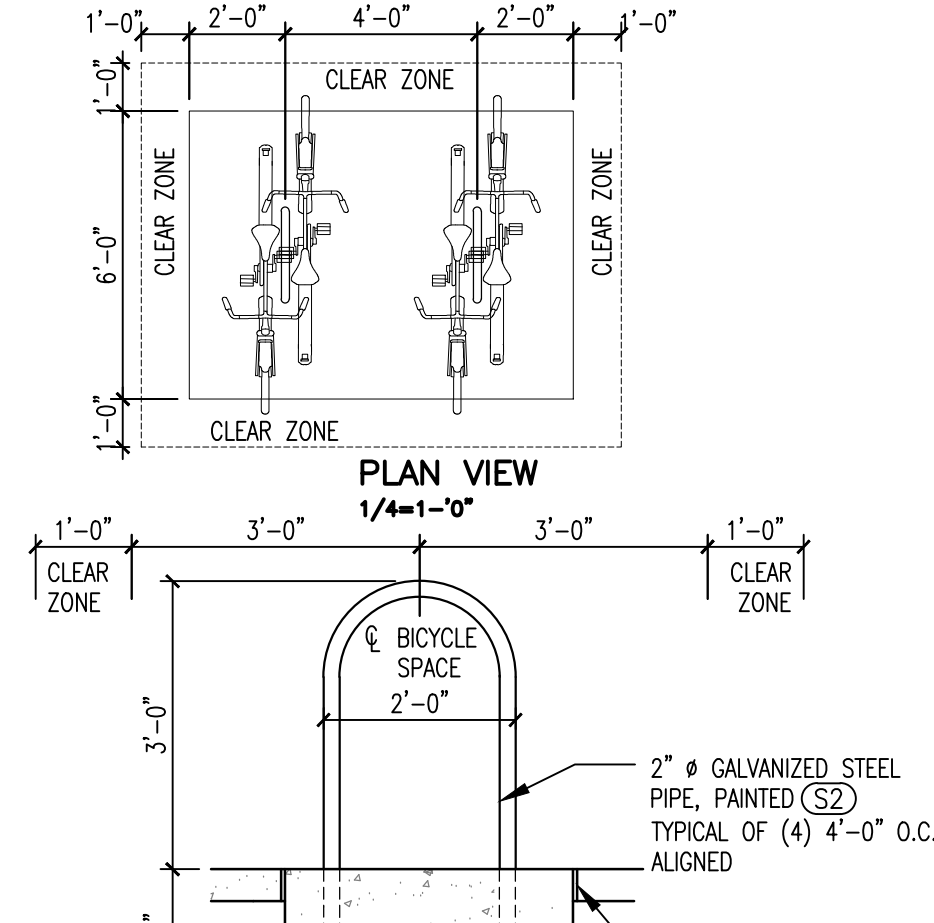
B4 TRASH ENCLOSURE PLAN
1/4"=1'-0"



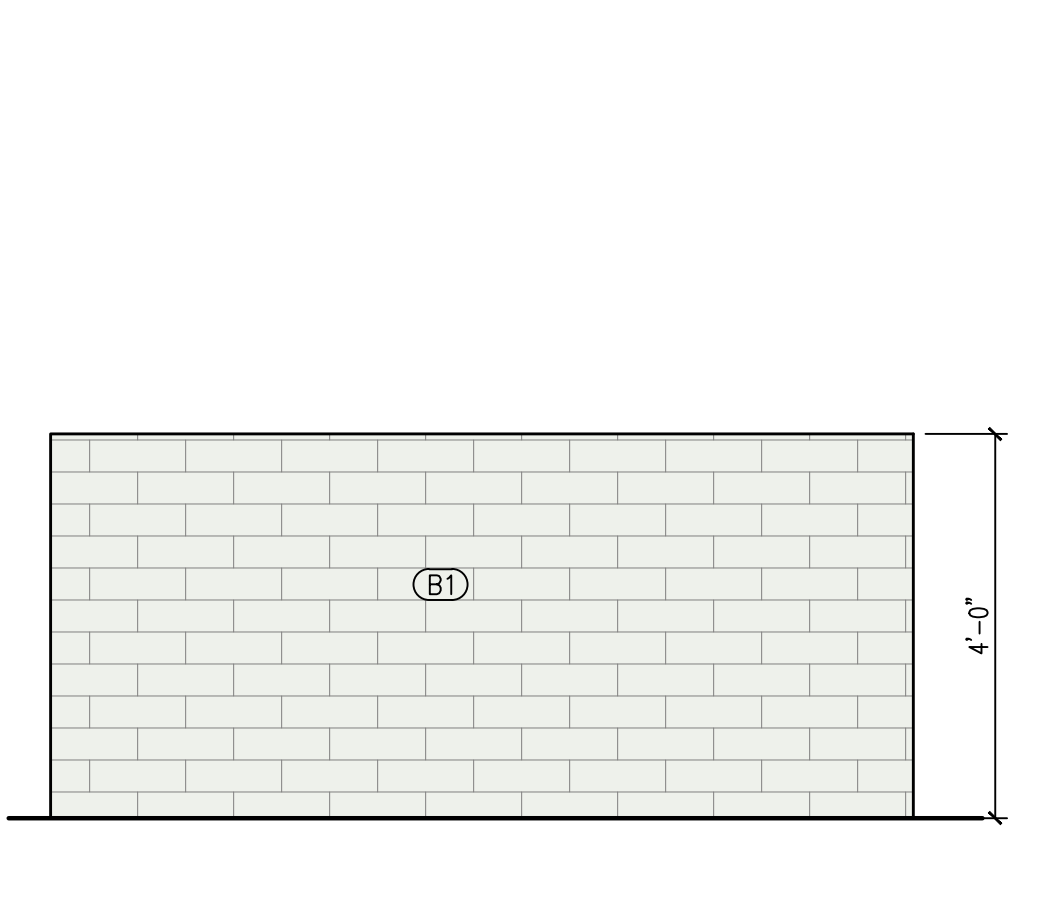
B1 MOTORCYCLE SIGN ELEVATION
1/2"=1'-0"



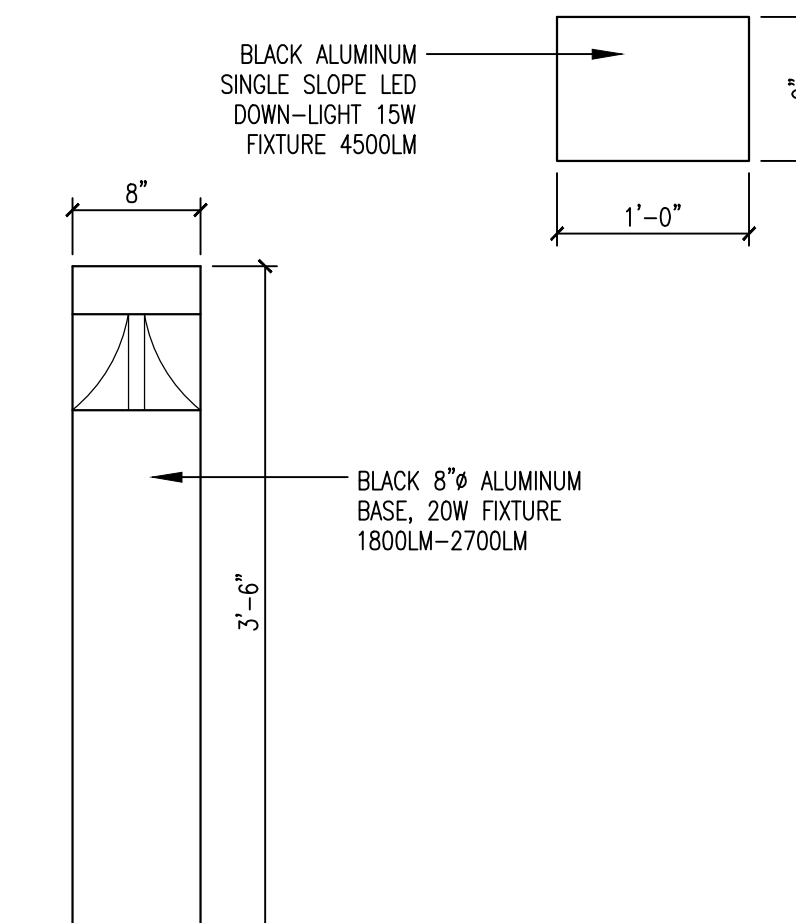
B2 H.C. SIGN ELEVATION
1/2"=1'-0"



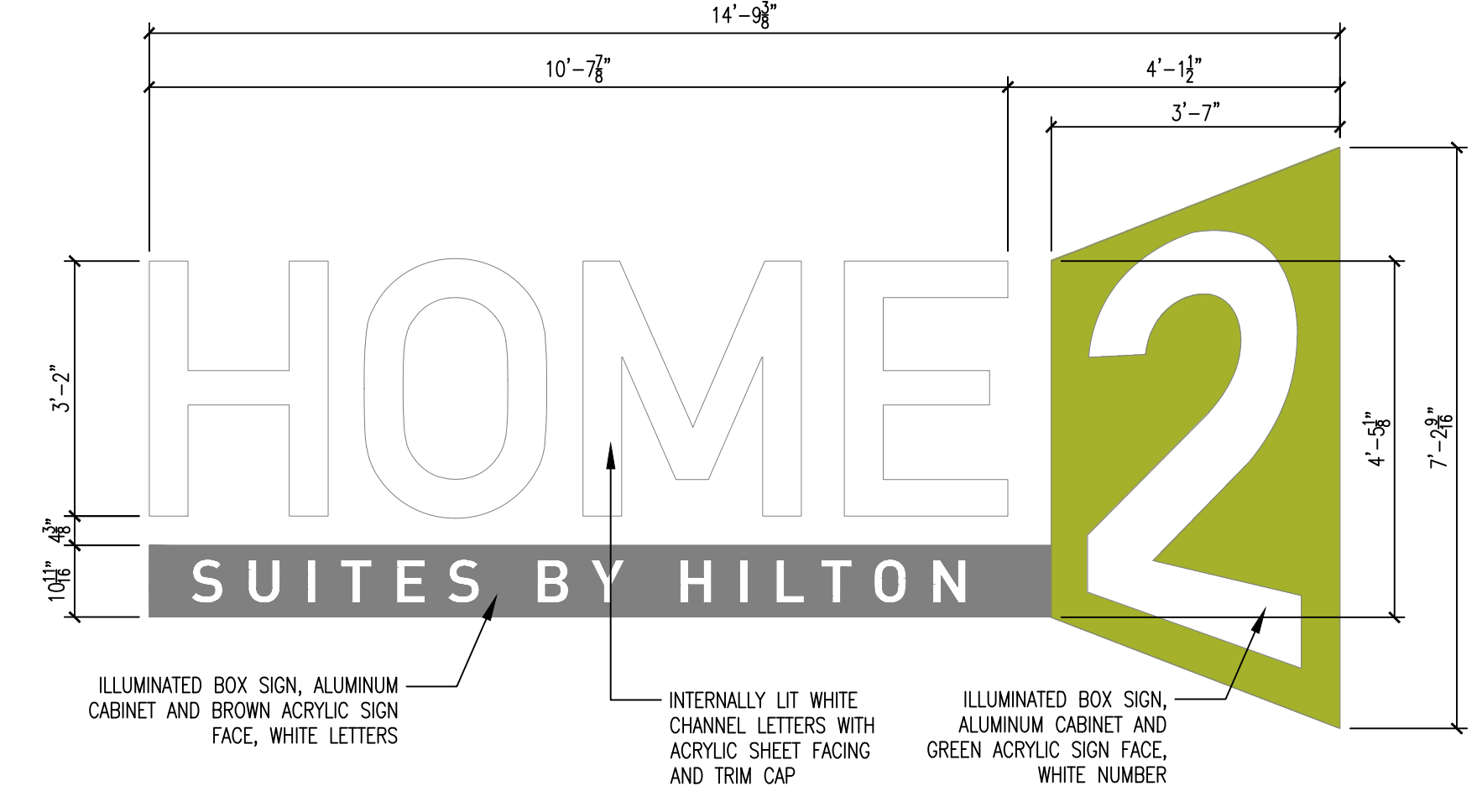
B3 BICYCLE RACK
1/2"=1'-0"



B4 PRIVACY WALL
1/2"=1'-0"



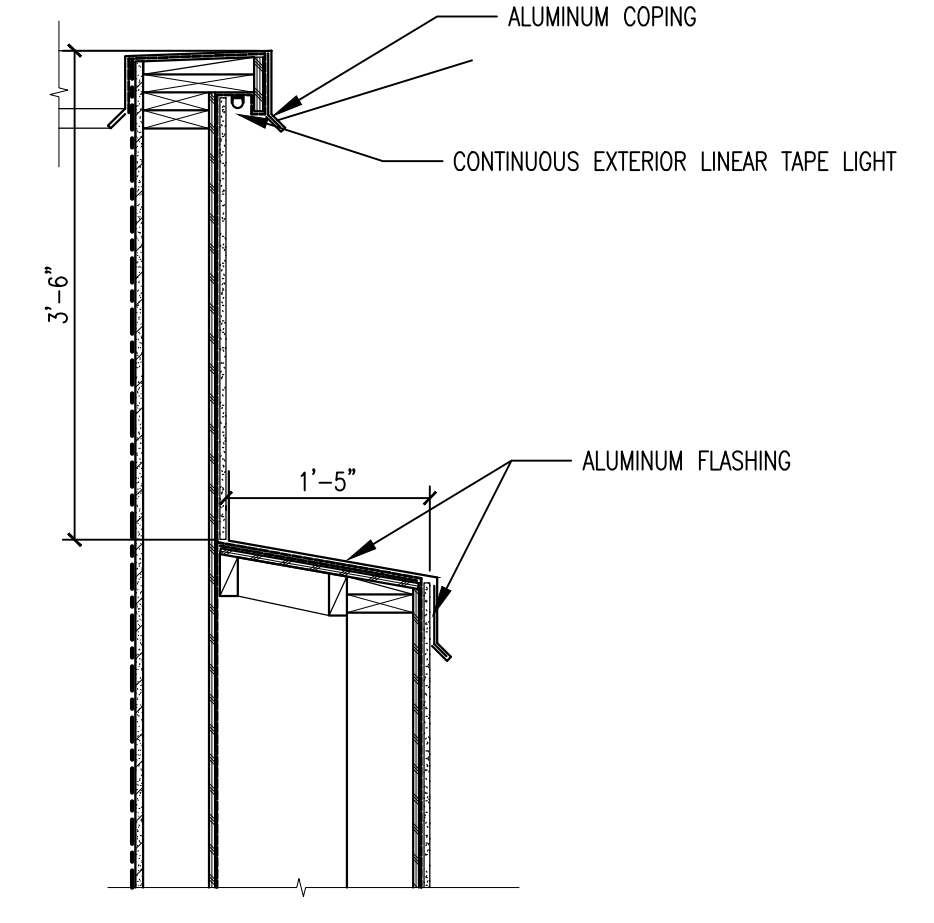
C1 LIGHT BOLLARD & EXTERIOR WALL SCENCE
1/2"=1'-0"



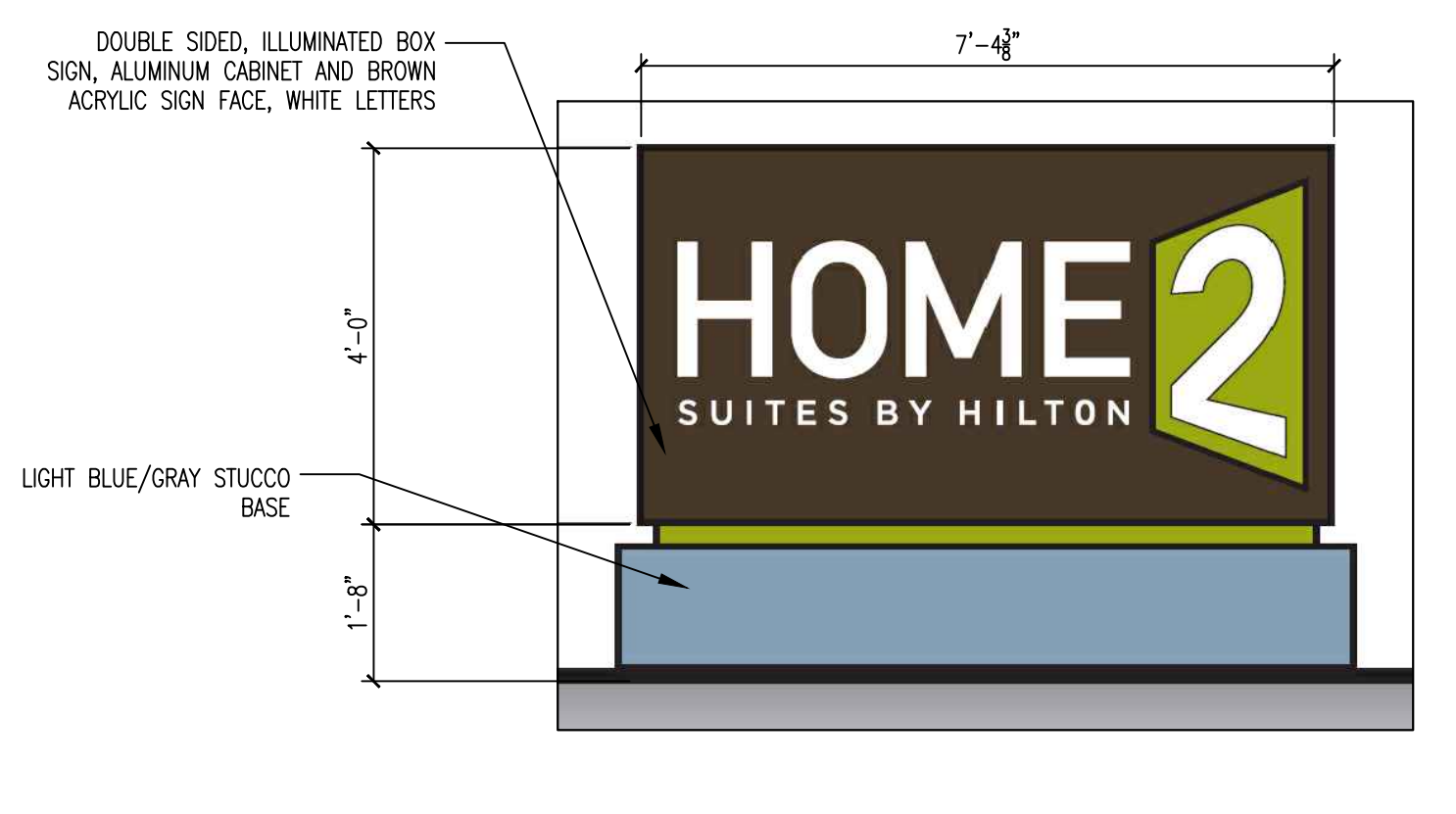
C2 EXTERIOR WALL MOUNTED SIGN (AREA 112 SQ. FT.)
1/2"=1'-0"



C4 EXTERIOR WALL MOUNTED SIGN (AREA 98 SQ. FT.)
1/2"=1'-0"



D2 TOWER ACCENT LIGHT
3/4"=1'-0"

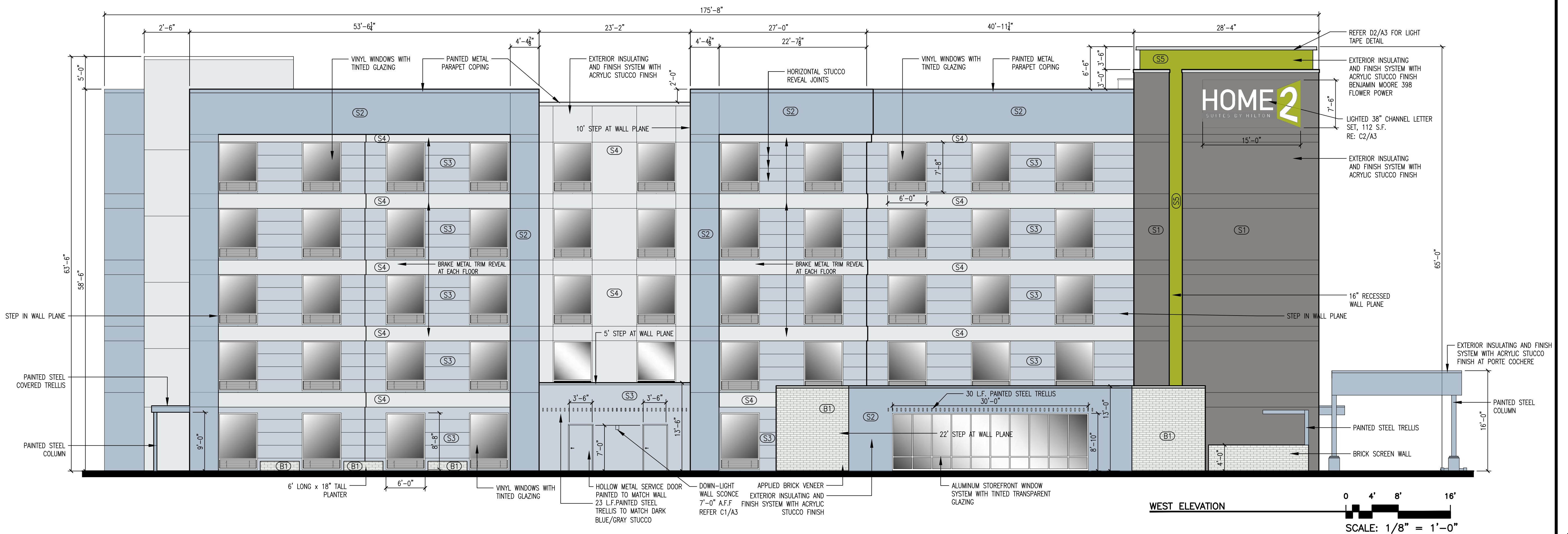
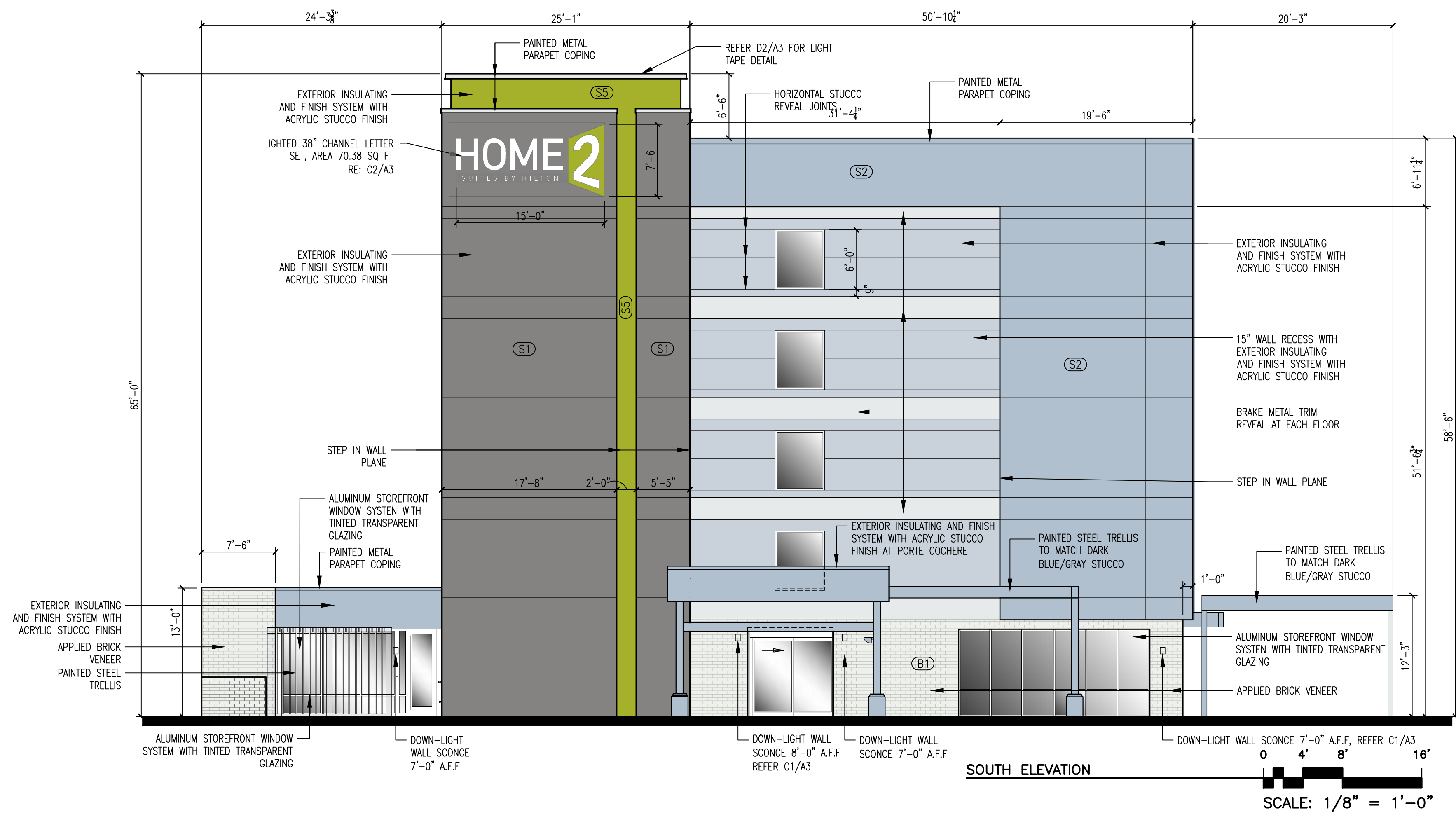


C4 EXTERIOR WALL MOUNTED SIGN (AREA 63.2 SQ. FT.)
1/2"=1'-0"

MARK	MATERIAL	COLOR	MANUFACTURER & No.	COLOR NAME	LEGEND
(S1)	STUCCO FINISH	DARK GRAY	BENJAMIN MOORE CC544	OVERCOAT	
NOTES: TOWER					
(S2)	STUCCO FINISH	DARK BLUE/GRAY	BENJAMIN MOORE CC770	DENIM WASH	
NOTES: BIKE RACK, TRELIS, DUMPSTER ENCLOSURE/GATES					
(S3)	STUCCO FINISH	MEDIUM BLUE/GRAY	BENJAMIN MOORE CC938	ICE SCULPTURE	
NOTES: WALL FIELD					
(S4)	STUCCO & PAINT FINISH	LIGHT BLUE/GRAY	BENJAMIN MOORE CC212660	GRAY CLOUD	
NOTES: PAINT METAL TRIM TO MATCH, REAR TOWER					
(S5)	STUCCO FINISH	GREEN	BENJAMIN MOORE 398	FLOWER POWER	
NOTES: TOWER ACCENT					
(B1)	BRICK VENEER	LIGHT GRAY/WHITE			
NOTES: ACCENT AT FIRST FLOOR					

SIGNAGE INFORMATION DATA TABLE		
SIGNAGE LOCATION	REQUIREMENT SHALL NOT EXCEED THE FOLLOWING PERCENTAGES OF FAÇADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS: 15%	PROPOSED
EAST	10,975X15% = 1646.25 SF. FT.	63.2 SQUARE FEET
NORTH	4,591X15% = 688.65 SF. FT.	63.2 SQUARE FEET
WEST	10,253X15% = 1537.95 SF. FT.	70.38 SQUARE FEET
SOUTH	4,906X15% = 737.9 SF. FT.	70.38 SQUARE FEET

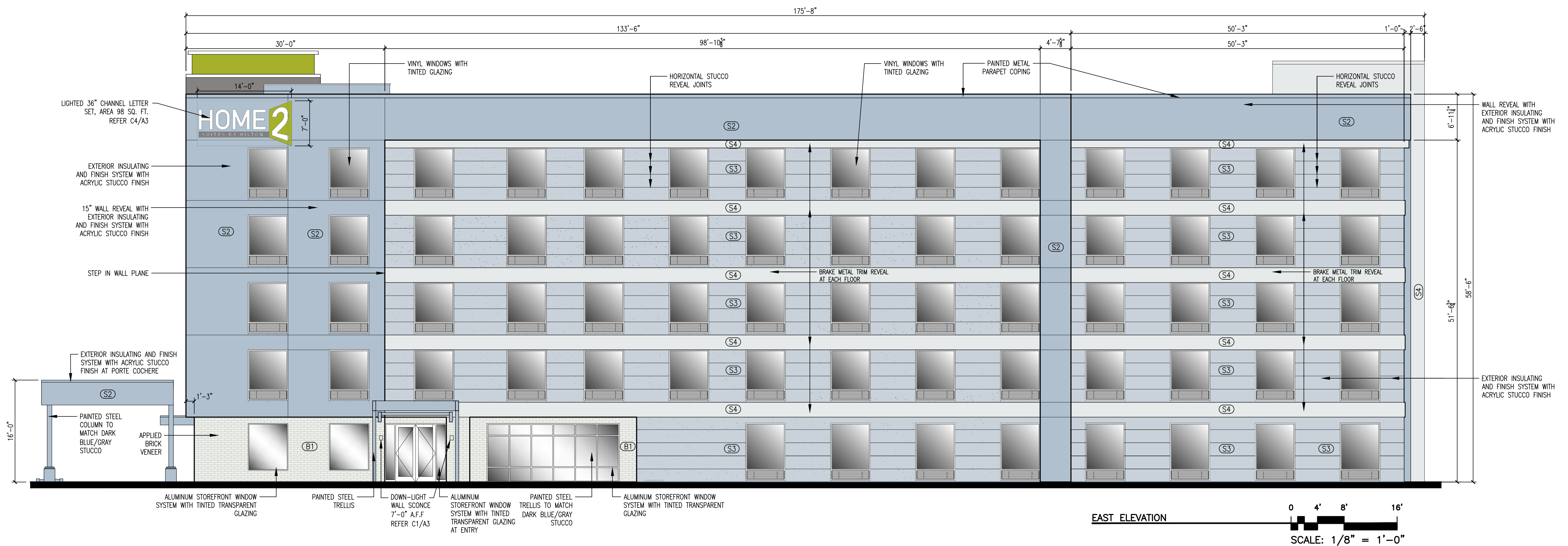
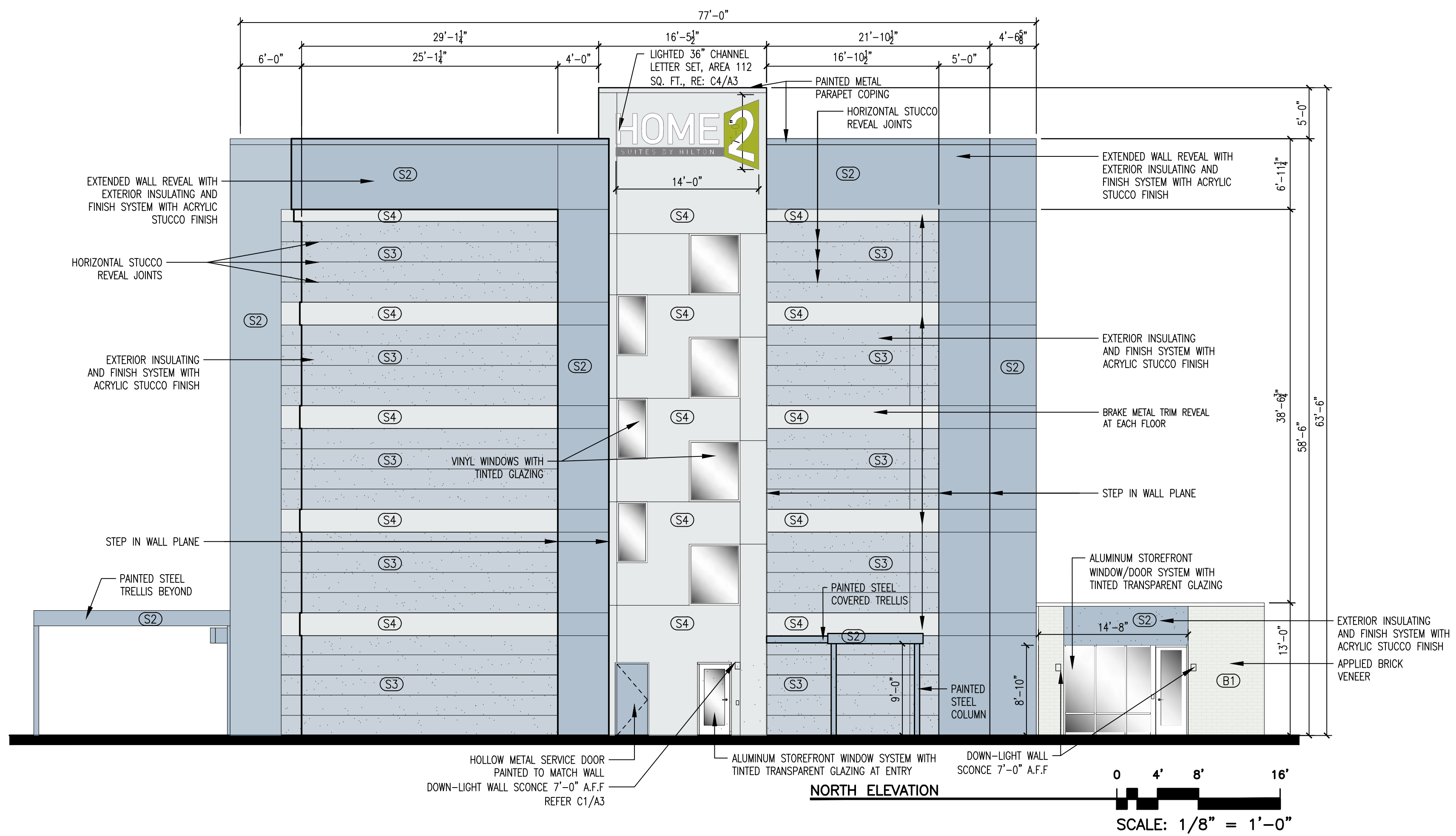
SIGN DATA TABLE			
LOCATION	REQUIREMENT	ALLOWABLE SIGNAGE AREA	PROPOSED SIGNAGE AREA
WEST	SHALL NOT EXCEED THE 15% OF FAÇADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS:	10,253X15% = 1,537 SF	112 S.F.
SOUTH	SHALL NOT EXCEED THE 15% OF FAÇADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS:	4,906X15% = 735 SF	112 S.F.
EAST	SHALL NOT EXCEED THE 15% OF FAÇADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS:	10,795X15% = 1,619 SF	98 S.F.
NORTH	SHALL NOT EXCEED THE 15% OF FAÇADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS:	4,591X15% = 688 SF	98 S.F.

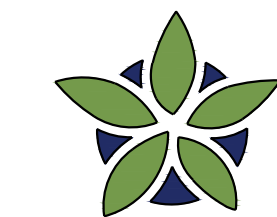


MARK	MATERIAL	COLOR	MANUFACTURER & No.	COLOR NAME	LEGEND
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NOTES: TOWER					
(S2)	STUCCO FINISH	DARK BLUE/GRAY	BENJAMIN MOORE CC770	DENIM WASH	
NOTES: BIKE RACK, TRELIS, DUMPSTER ENCLOSURE/GATES					
(S3)	STUCCO FINISH	MEDIUM BLUE/GRAY	BENJAMIN MOORE CC938	ICE SCULPTURE	
NOTES: WALL FIELD					
(S4)	STUCCO & PAINT FINISH	LIGHT BLUE/GRAY	BENJAMIN MOORE CC212660	GRAY CLOUD	
NOTES: PAINT METAL TRIM TO MATCH, REAR TOWER					
(S5)	STUCCO FINISH	GREEN	BENJAMIN MOORE 398	FLOWER POWER	
NOTES: TOWER ACCENT					
(B1)	BRICK VENEER	LIGHT GRAY/WHITE			
NOTES: ACCENT AT FIRST FLOOR					

SIGNAGE INFORMATION DATA TABLE		
SIGNAGE LOCATION	REQUIREMENT SHALL NOT EXCEED THE FOLLOWING PERCENTAGES OF FAÇADE AREA, INCLUSIVE OF DOOR AND WINDOW OPENINGS: 15%	PROPOSED
EAST	10,975x15% = 1646.25 SF. FT.	63.2 SQUARE FEET
NORTH	4,591x15% = 688.65 SF. FT.	63.2 SQUARE FEET
WEST	10,253x15% = 1537.95 SF. FT.	70.38 SQUARE FEET
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LOCATION	REQUIREMENT	ALLOWABLE SIGNAGE AREA	PROPOSED SIGNAGE AREA
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YELLOWSTONE LANDSCAPE

www.yellowstonelandscape.com
P O Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



Date: 4/4/2023

Revisions:

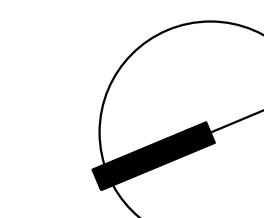
- ▲ 6/29/2023
- ▲
- ▲
- ▲

Drawn by: BH

Reviewed by: CM

5901 Jefferson Landscape Design

Albuquerque, NM



NORTH

Scale: 1" = 20'



Sheet Title:
Landscape Plan

Sheet Number:

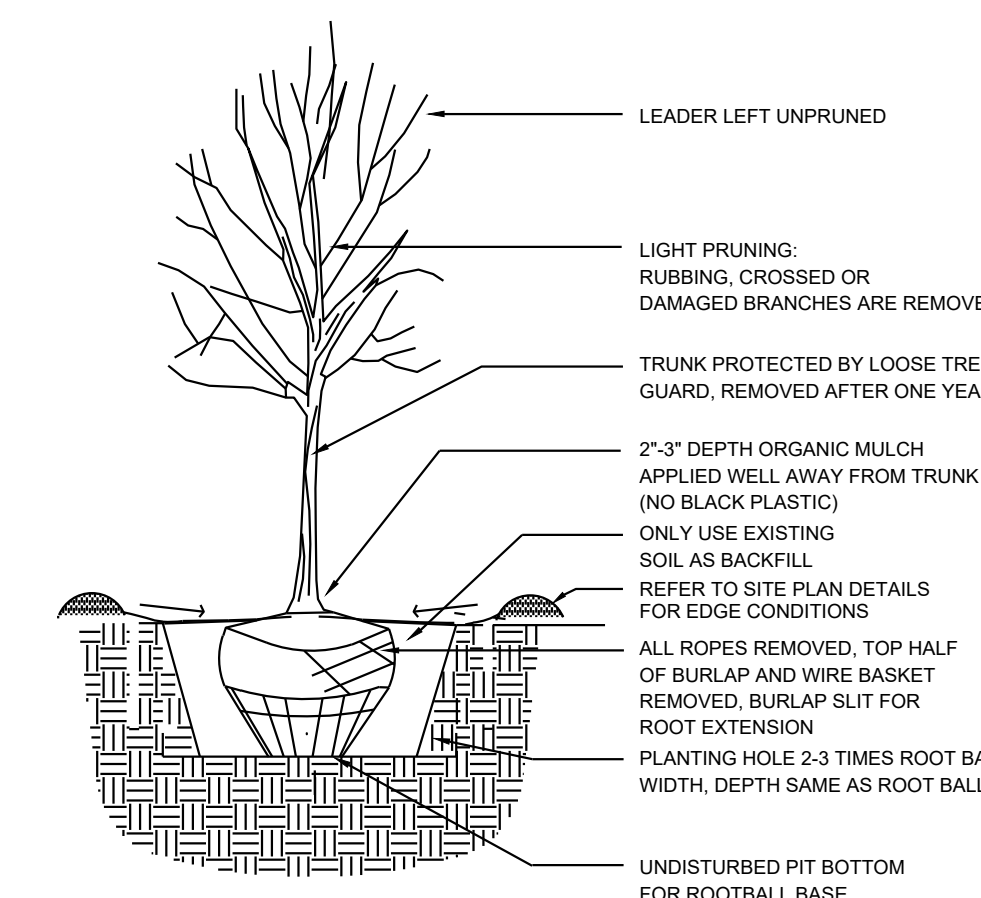
LS-01

MATERIALS

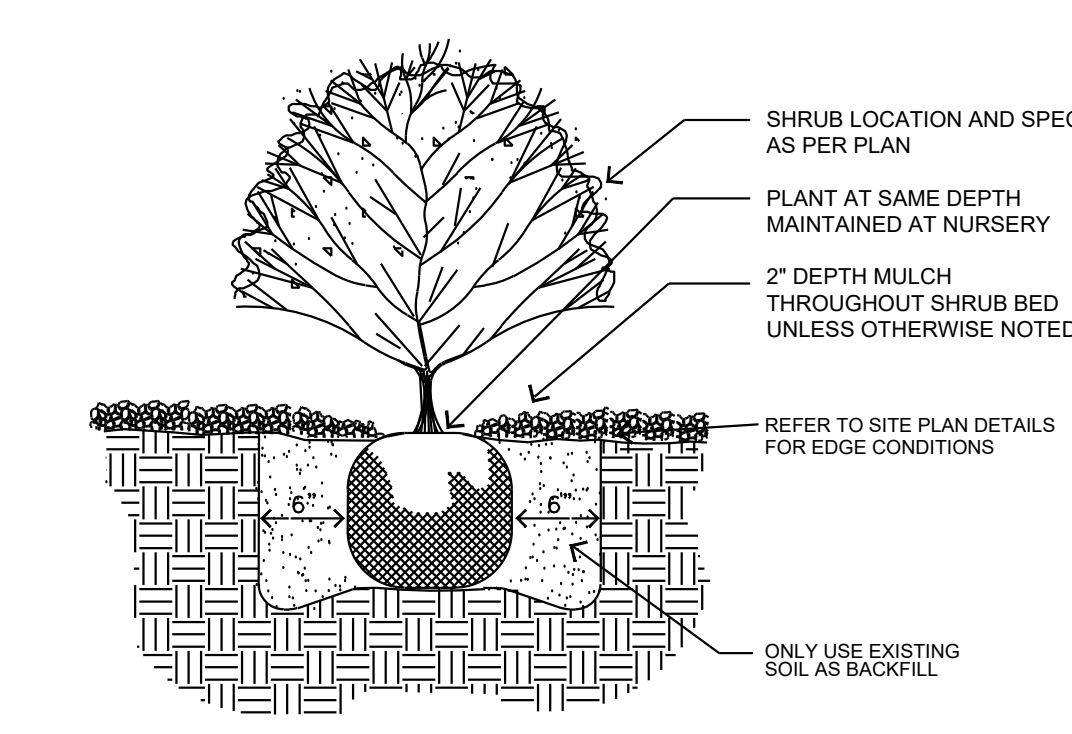
SYMBOL	DESCRIPTION	QTY	DETAIL
	LARGE BOULDER	11	
	MOUNTAINAIR BROWN CRUSHER FINES STABILIZED AT 3" DEPTH OVER FILTER FABRIC	837 SF	
	MOUNTAINAIR BROWN 7/8" AT 3" DEPTH OVER FILTER FABRIC	8,672 SF	
	DECO SHRED BARK MULCH 3" DEPTH OVER FILTER FABRIC	29 SF	
	2-4" BLUE SAIS AT 4" DEPTH OVER FILTER FABRIC	758 SF	

PLANTINGS

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	POINTS	H X W
	15	CRATAEGUS CRUS-GALLI 'INERMIS' / THORNLESS HAWTHORN	2" B&B	MEDIUM	35	12' X 15'
	5	PRUNUS VIRGINIANA / CHOKECHERRY	2" B&B	MEDIUM +	30	20' X 20'
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	POINTS	H X W
	31	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1 GAL	LOW+	15	3' X 3'
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	POINTS	H X W
	14	AGAVE PARRYI / PARRY'S AGAVE	5 GAL	RW	20	5' X 2'
	15	YUCCA BACCATA / BANANA YUCCA	5 GAL	RW	30	4' X 5'
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	POINTS	H X W
	18	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	LOW	25	3' X 4'
	39	JUNIPERUS SABINA / 'BUFFALO JUNIPER'	5 GAL			1' X 6'
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	POINTS	H X W
	41	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	LOW+	15	3' X 3'
GROUNDCOVERS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	POINTS	H X W
	109	TEUCRIUM AROANUM / CREEPING GERMANDER	1 GAL	LOW+		1' X 2'



1 TREE DETAIL NTS



2 SHRUB DETAIL NTS



SITE DATA

GROSS LOT AREA	63,476 SF
BUILDING AREA	14,329 SF
NET LOT AREA (NET.)	49,147 SF
LANDSCAPE AREA (LAN.)	
REQUIRED	7,373 SF (15% OF NET.)
PROPOSED	9,790 SF (20% OF NET.)
VEGETATION COVERAGE (VEG.)	
REQUIRED	5,529 SF (75% OF LAN.)
PROPOSED	5,533 SF (75% OF LAN.)
GROUND-LEVEL PLANTS COVERAGE	
REQUIRED	1,382 SF (25% OF VEG.)
PROPOSED	2,498 SF (45% OF VEG.)
STREET TREES (1 PER 25 LF)	
REQUIRED	10
PROPOSED	10
PARKING LOT TREES (1 PER 10 PARKING SPACES)	
REQUIRED	6
PROPOSED	8
TOTAL	
REQUIRED	16 TREES
PROPOSED	20 TREES

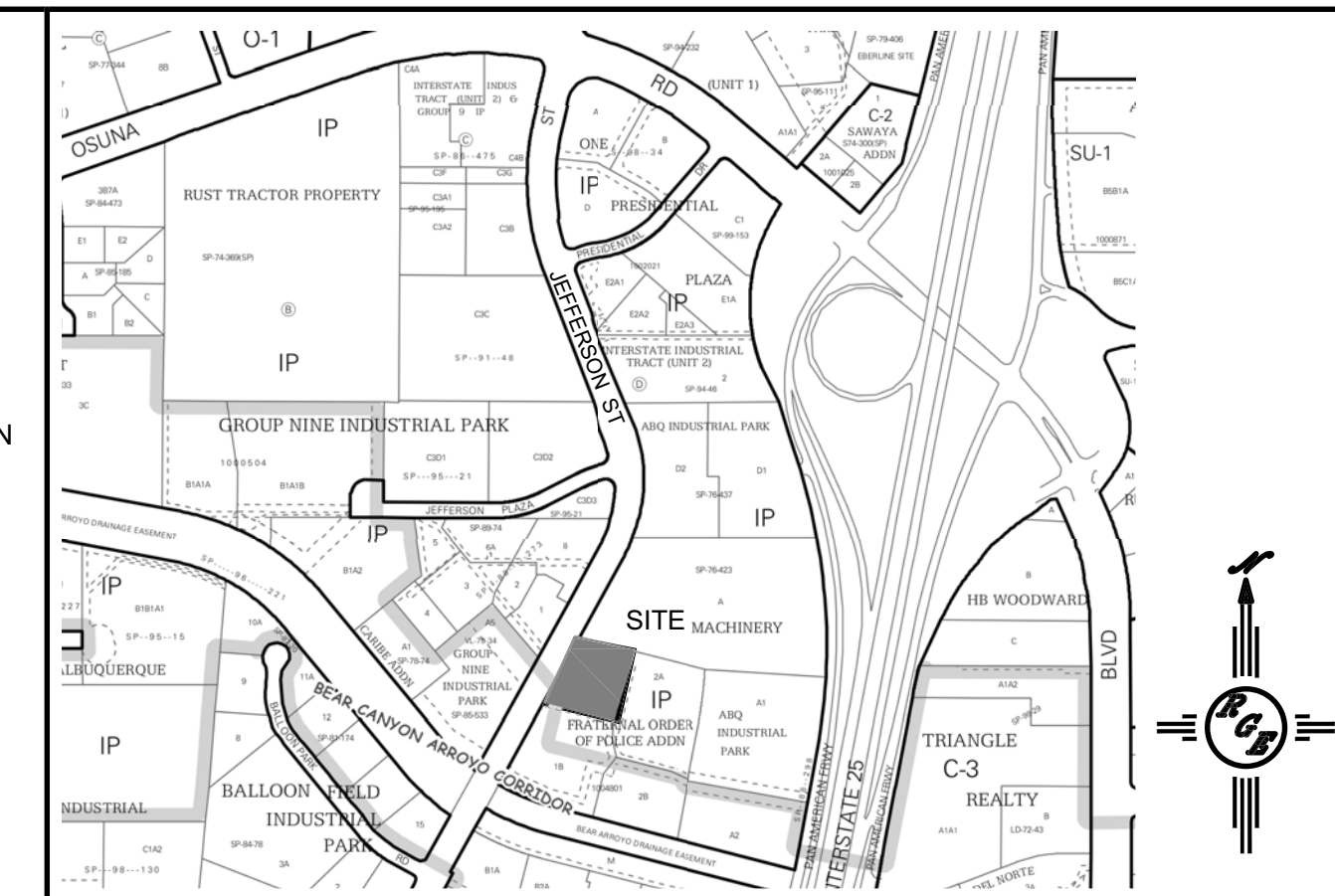
NOTE:
ALL CALCULATIONS MEET ALL REQUIRED IDO LANDSCAPE STANDARDS

- #### GENERAL NOTES
- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
 - POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.
 - ALL MAINTENANCE FOR LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. MAINTENANCE OF STREET TREES AND SHRUBS SHALL FIND THEM IN HEALTHY, LIVING, AND ATTRACTIVE CONDITION.
 - ALL ON-SITE PLANT MATERIAL, NOW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. EMITTERS SHALL BE PLACED AT EVEN SPACING AT DRIP LINE OF TREES AND SHRUBS AT THE MULCH'S SURFACE AT A RATE OF SIX (6) 2.0 GPH EMITTERS PER TREE AND TWO (2) 2.0 GPH EMITTERS PER SHRUB.
 - WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. APPROPRIATE MEASURES HAVE BEEN TAKEN TO DESIGN AND INSTALL A WATER-CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE.
 6. PLANTINGS IN CLEAR SIGHT TRIANGLE NOT TO OBSTRUCT LINE OF VISION FROM 3' HEIGHT TO 8' HEIGHT.

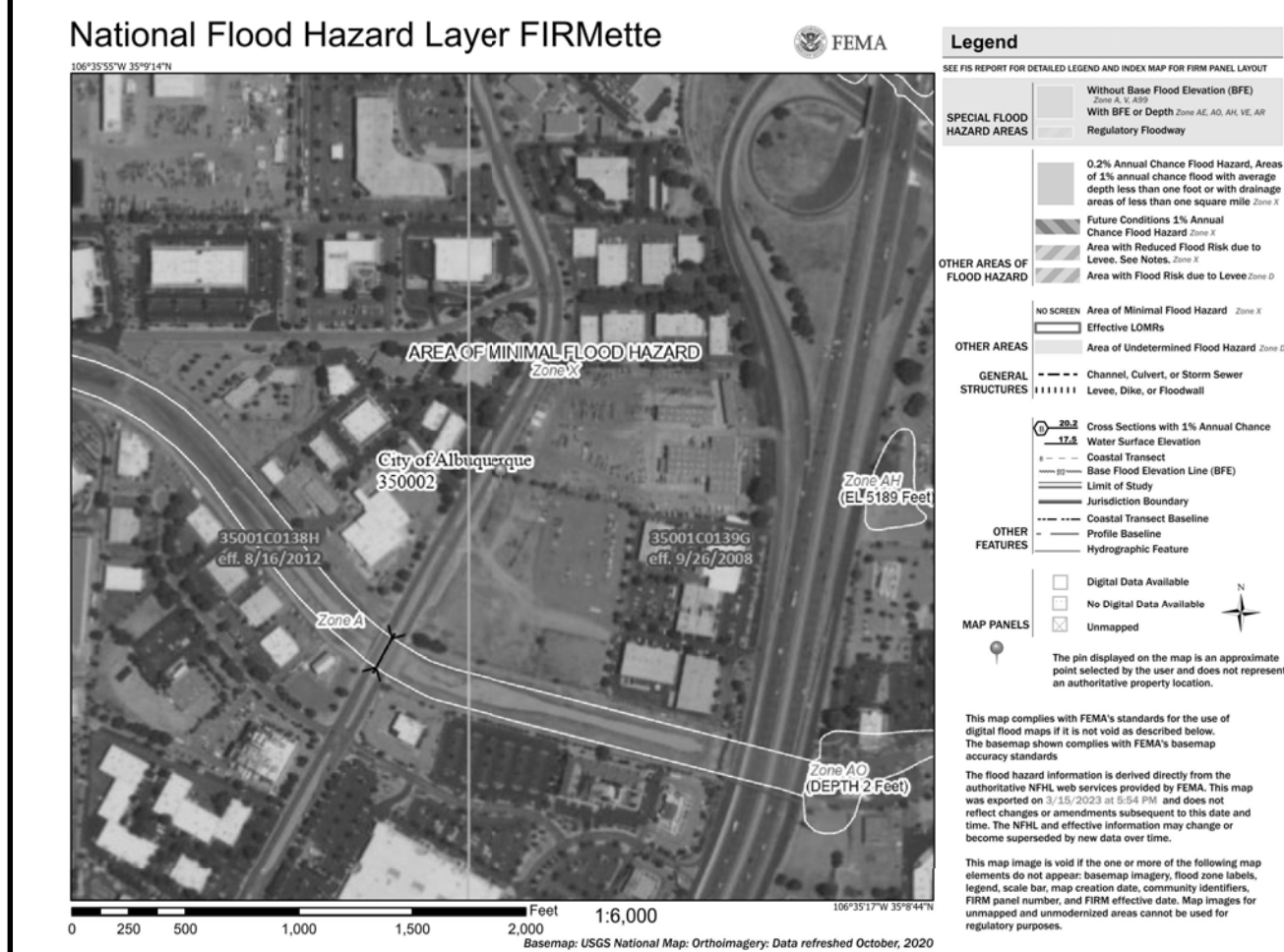
Z:\04\14\2023\5901 Jefferson Landscape Design\5901 Jefferson Landscape Design.dwg, 4/20/2023 10:58:03 AM, DWG, 100% (PLOT)

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



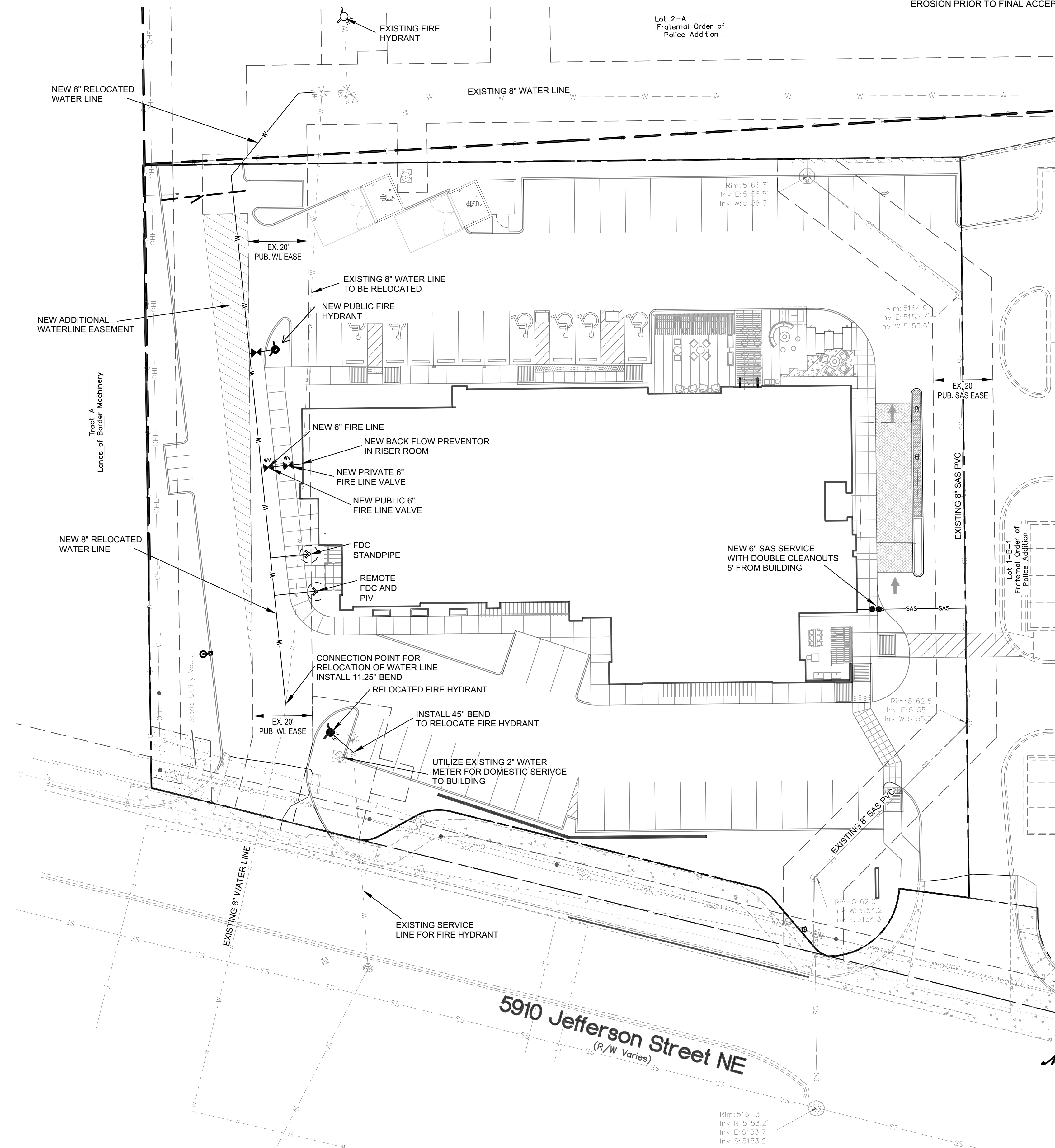
VICINITY MAP: E-17-Z



FIRM MAP:

LEGAL DESCRIPTION:

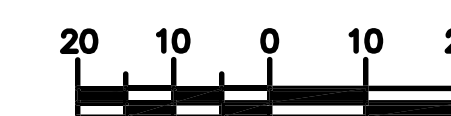
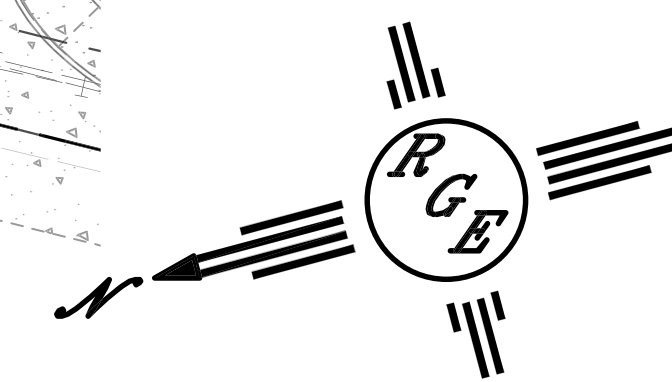
LOT 1-A-1, FRATERNAL ORDER OF POLICE ADDITION
CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO



LEGEND

- SS --- SS --- EXISTING SEWER LINE
- W --- W --- EXISTING WATER LINE
- SAS - SAS - SAS - SAS - SAS - SAS - PROPOSED SEWER LINE
- W - W - W - W - W - W - PROPOSED WATER LINE
- ⊗ EXISTING WATER VALVE
- ⊕ EXISTING FIRE HYDRANT
- ⊙ EXISTING SEWER MANHOLE
- ⊗ EXISTING WATER METER
- --- BOUNDARY
- ▨ PROPOSED ADDITIONAL EASEMENT

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



SCALE: 1"=20'

ENGINEER'S SEAL	LOT 1-A-1, FRATERNAL ORDER OF POLICE ADD. 5910 Jefferson Street NE	DRAWN BY DEM
		DATE 5-13-23
6/12/23	UTILITY PLAN	5910 Jefferson St (Sheet S14).dwg
DAVID SOULE P.E. #14522	 P.O. BOX 53924 ALBUQUERQUE, NM 87199 (505) 321-8099	SHEET # C1
		JOB #

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment				Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	10-day Volume (ac-ft)				
			Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)								
ALLOWED PER DMP	63640	1.461	0%	0	0.0%	0.000	38.0%	0.409	77%	1.125	2.083	0.254	6.13	0.404
NORTH BASIN	36900	0.847	0%	0	5.0%	0.042	11.0%	0.083	84%	0.712	2.111	0.149	3.47	0.244
SOUTH BASIN	26740	0.614	0%	0	6.0%	0.037	12.0%	0.074	72%	0.442	1.849	0.095	2.23	0.154
TOTAL PROPOSED														

Equations:
 Weighted E = Ea**A*a + Eb**A*b + Ec**A*c + Ed**A*d / (Total Area)
 Volume = Weighted D * Total Area
 Flow = Qa * *A*a + Qb * *A*b + Qc * *A*c + Qd * *A*d

First flush requirement = impervious*0.34/12
 First flush provided Deficit

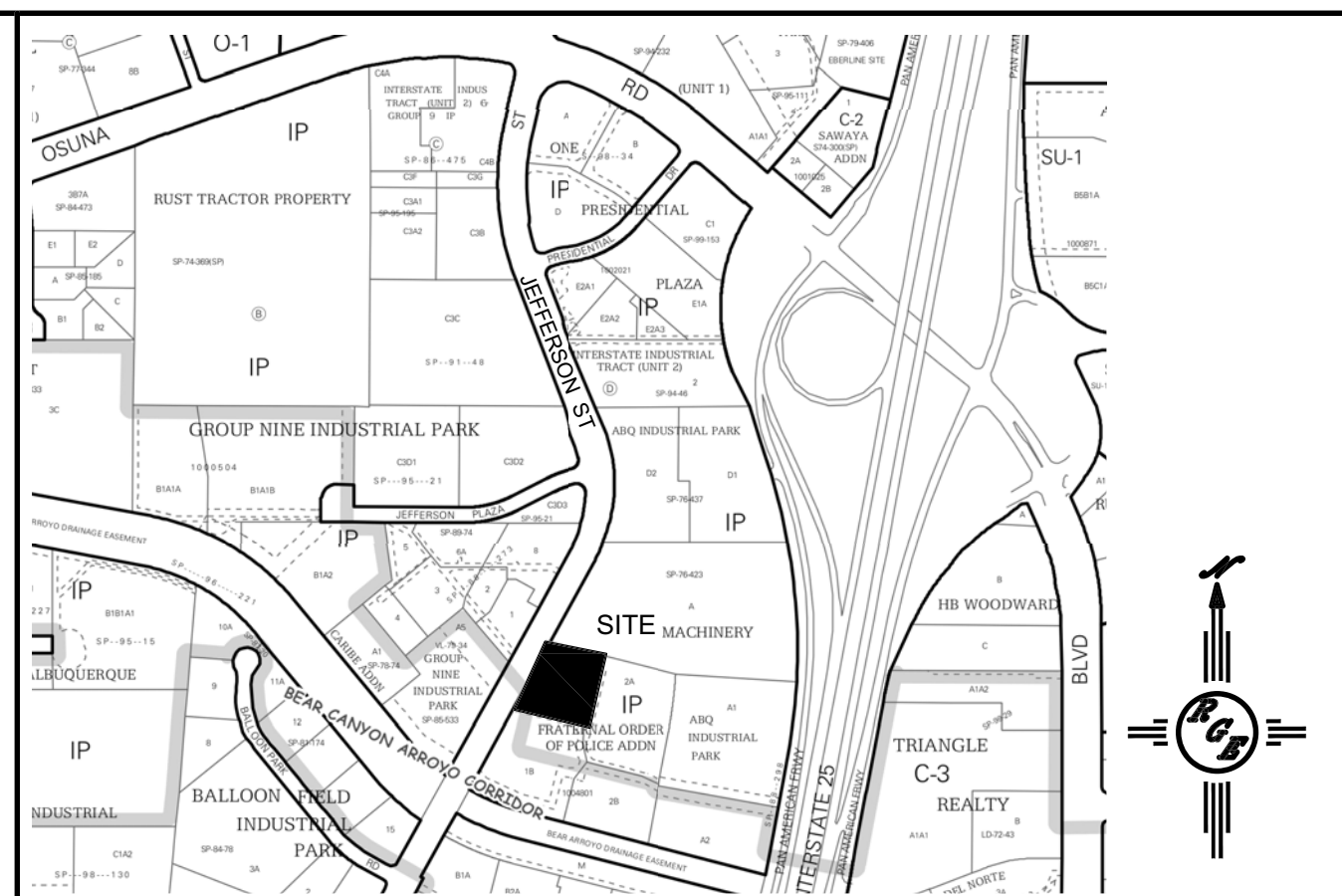
Where for 100-year, 6-hour storm (zone 2)
 Ea= 0.62, Eb= 0.9, Ec= 1.03, Ed= 2.33
 Qa= 1.71, Qb= 2.36, Qc= 3.05, Qd= 4.34

DRAINAGE NARRATIVE:
 THIS SITE IS A DEVELOPMENT OF A PREVIOUSLY ANALYZED SITE. THE OVERALL DEVELOPMENT (FRATERNAL ORDER OF POLICE E17-D11) WAS ANALYZED BY TIERRA WES THIS SITE IS LOCATED IN PROPOSED DRAINAGE BASIN 1. THE ALLOWABLE DISCHARGE FOR THIS BASIN IS BASED UPON 77% D AND 23% C. THIS BASIN INCLUDES A PORTION OF UPLAND FLOW THAT ENTERS OUR SITE. THIS FLOW IS DISCHARGED TO JEFFERSON VIA THE EXISTING DRIVEWAYS. OUR SITE EXCEEDS THE ASSUMED BY 0.43 CFS. WE RETAIN 986 CUBIC FEET FOR WATER QUALITY. THIS VOLUME EXCEEDS THE EXCESS FLOW FROM THIS SITE. THEREFORE THE DISCHARGE WILL CONFORM TO THE DESIGN OF THE MASTER DRAINAGE PLAN. THE SITE IS DEFICIT 594 CUBIC FEET OF RETENTION VOLUME. THIS VOLUME IS NOT ATTAINABLE DUE TO WATER AND SEWER EASEMENT THAT CAN NOT BE UTILIZED FOR PONDING. A FEE IN LIEU OF \$4,762 SHALL BE PAID. THIS DEVELOPMENT CONFORMS TO THE APPROVED MASTER DRAINAGE PLAN AND THE CITY OF ALBUQUERQUE DRAINAGE ORDINANCE

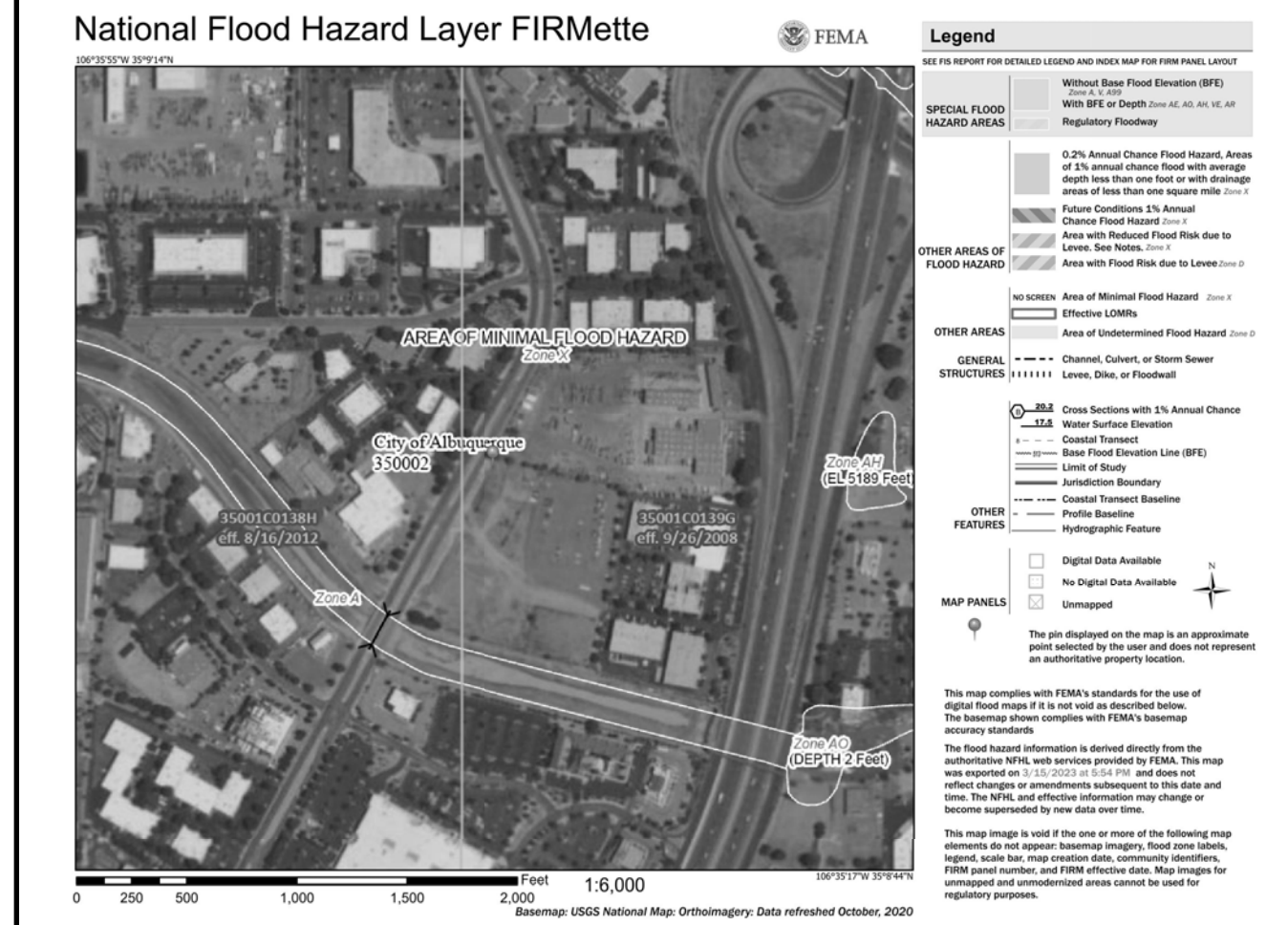


EROSION CONTROL NOTES:

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VICINITY MAP: E-17-Z



FIRM MAP:

LEGAL DESCRIPTION:

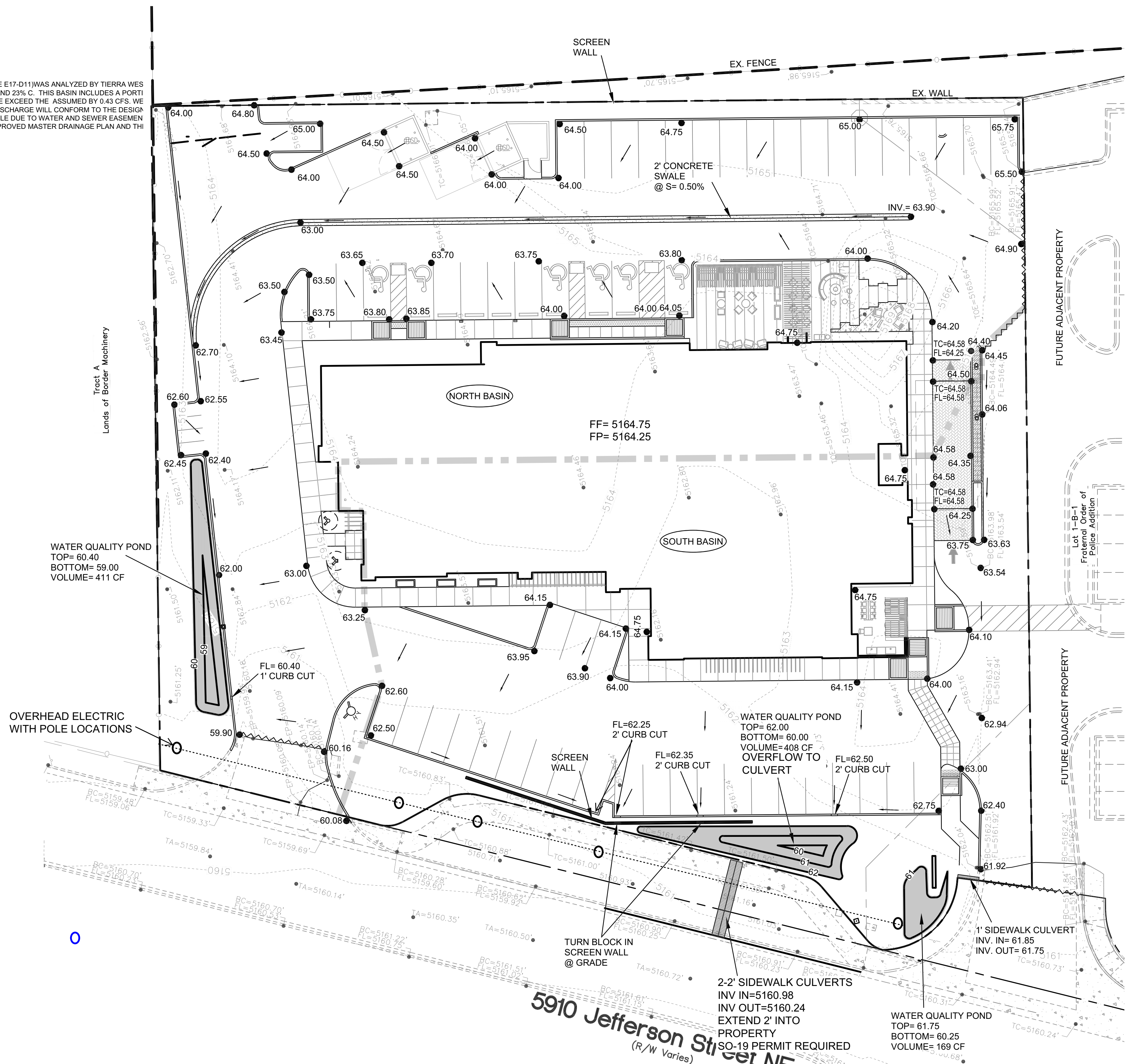
LOT 1-A-1, FRATERNAL ORDER OF POLICE ADDITION
 CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

LEGEND

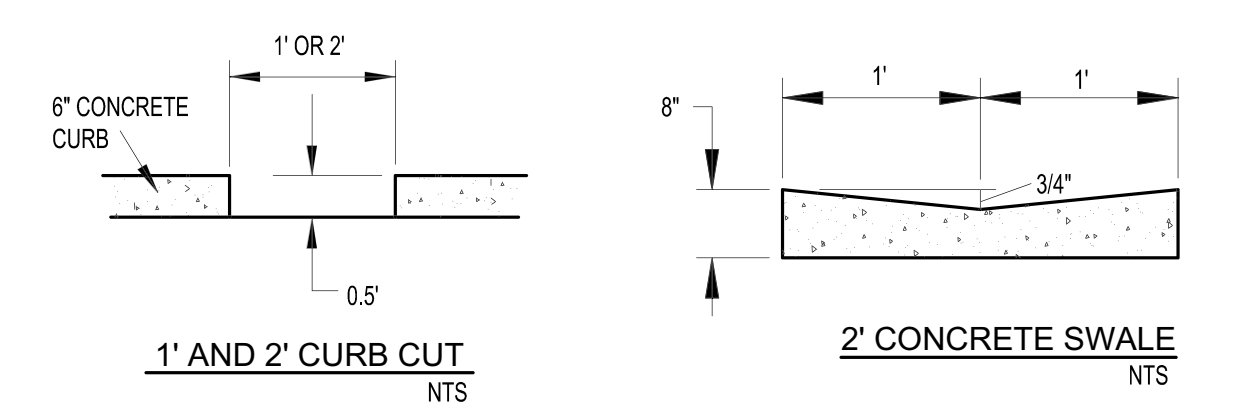
-----	EXISTING CONTOUR
-----	EXISTING INDEX CONTOUR
-----	PROPOSED CONTOUR
-----	PROPOSED INDEX CONTOUR
•	EXISTING SPOT ELEVATION
•	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	ADJACENT BOUNDARY
---	EXISTING CURB AND GUTTER
---	PROPOSED GRADE BREAK
---	PROPOSED CURB CUT
---	PROPOSED 6" CURB
---	PROPOSED FLOW DIRECTION
---	PROPOSED PONDING
---	BASIN BOUNDARY



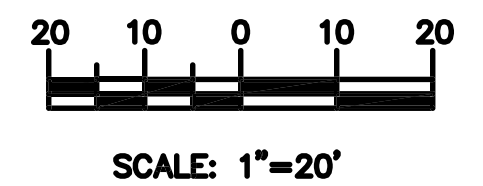
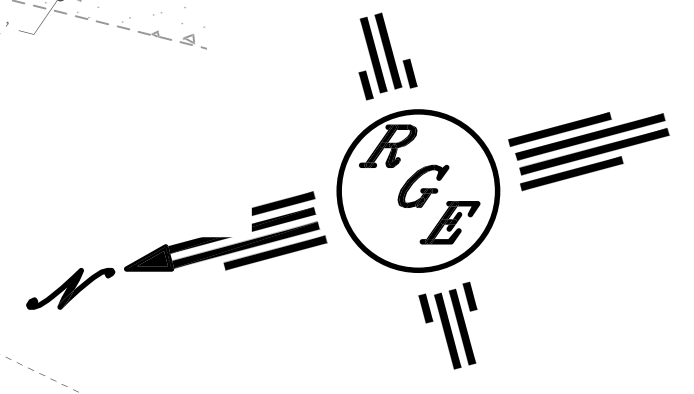
**Private Drainage Facilities within City Right-of-Way
 Notice to Contractor
 (Special Order 19 ~ "SO-19")**

- Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Prior to any excavation, the contractor must contact **New Mexico One Call, dial "811"** (or (505) 260-1990) for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be 95%.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- For excavation and barricading inspections, contact DMD Construction Services Division.

REV. 01/22/21



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SCALE: 1"=20'

ENGINEER'S SEAL	LOT 1-A-1, FRATERNAL ORDER OF POLICE ADD. 5910 Jefferson Street NE GRADING AND DRAINAGE PLAN	DRAWN BY DEM
		DATE 3-20-23
DAVID SOULE P.E. #14522	 RIO BOX 53294 ALBUQUERQUE, NM 87199 (505) 321-8099	SHEET # C1
		JOB #

SUPPORTING DOCUMENTS

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 16, 2023

Peter Butterfield, RA
Peter Butterfield Architect
13013 Glenwood Hills Ct. NE
Albuquerque, NM 87111

Re: Jefferson Hotel
5910 Jefferson St. NE
Traffic Circulation Layout
Architect's Stamp 07-28-23 (E17-D011C)

Dear Mr. Butterfield,

The TCL submittal received 11-13-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

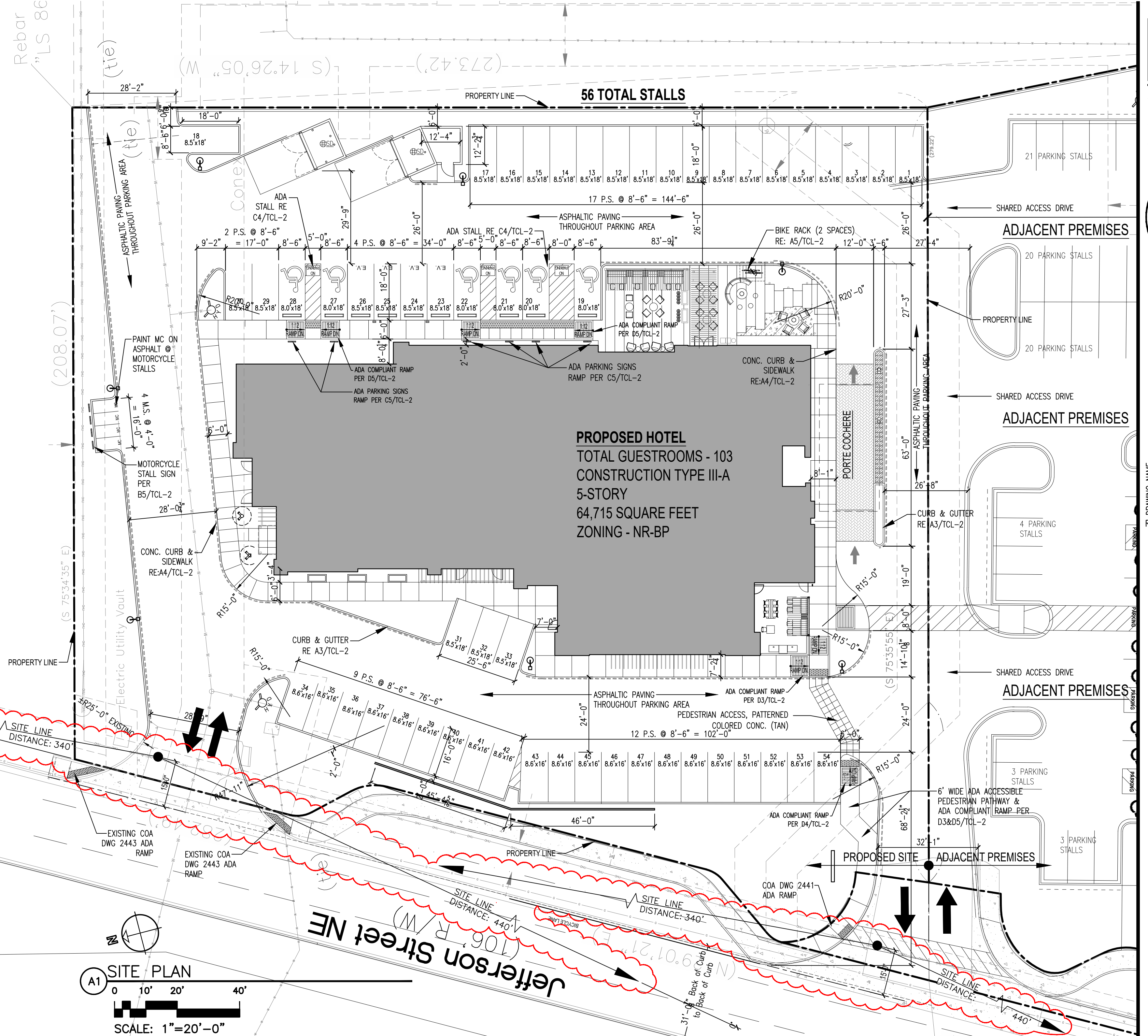
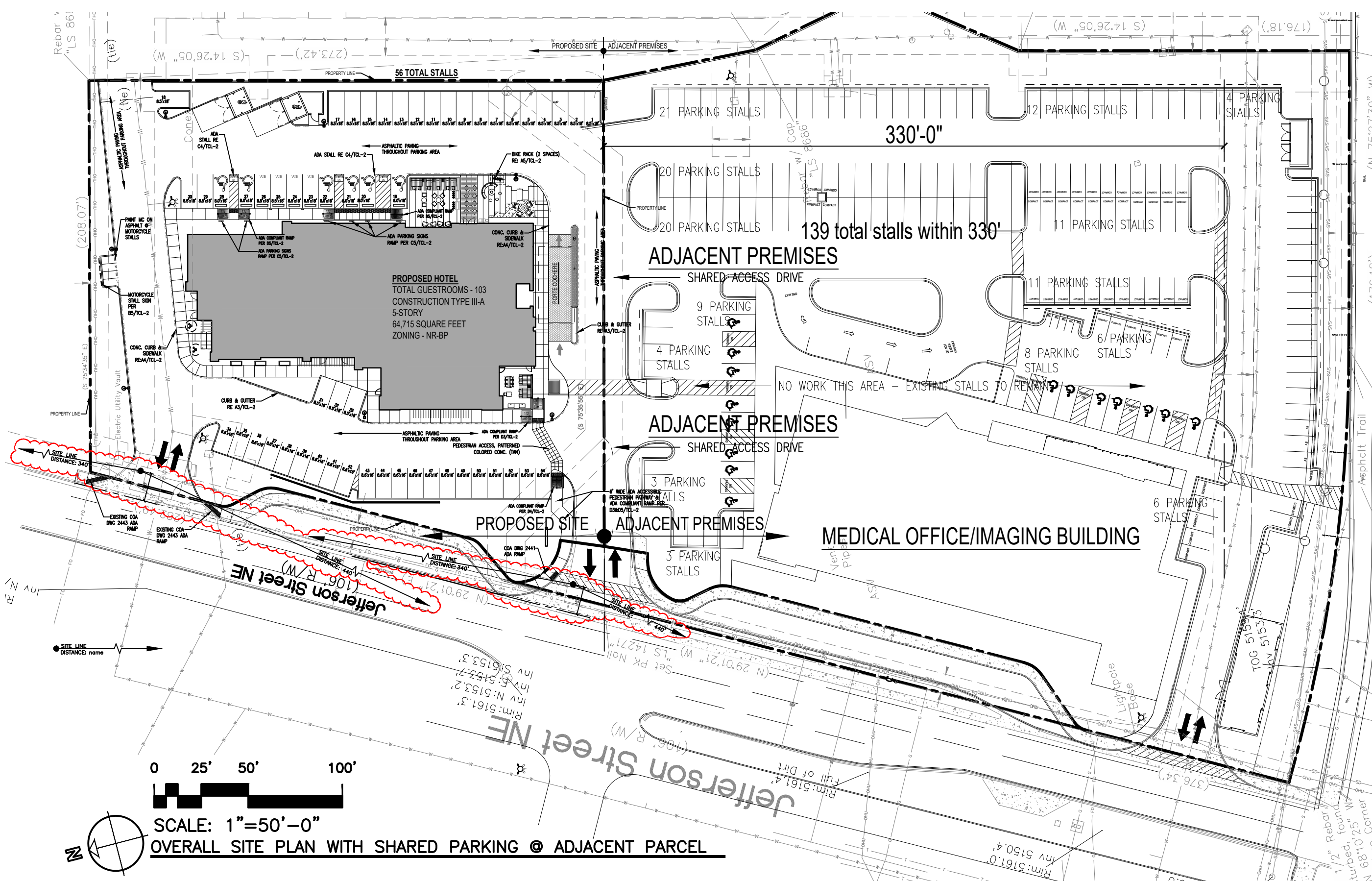
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Armijo 11/16/2023
Signed Date

SITE LEGEND	
	SIGN
	FIRE HYDRANT
	WATER VALVE
	SAS MANHOLE
	TELEPHONE MANHOLE
	WATER METER
	POWER POLE
	LIGHT POLE (2' DIA BASE)
	BOLLARD
	WATER LINE
	UNDERGROUND POWER LINE
	GAS LINE
	SAS LINE
	OVERHEAD POWER LINE

ADA SITE NOTES

- SIGNAGE (NMBC 1110.1 AND ANSI 502.7)
 - A VERTICAL SIGN IS CENTERED AT THE HEAD OF EACH PARKING SPACE
 - CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND, OR DARK CHARACTERS ON A LIGHT BACKGROUND.
 - SIGN DISPLAYS THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (NOTE: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PROVIDES WHITE SYMBOLS AND LETTERS ON A BLUE BACKGROUND, HOWEVER, ANSI AND 2010 STANDARDS DO NOT SPECIFY COLORS FOR SIGNAGE).
 - SIGNS TO BE WHITE BACKGROUND WITH A GREEN BORDER AND LEGEND (MUTCD SIGN # R7-8 AND R7-8A).
 - SIGN MUST INCLUDE THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" (66-7-352.4C NMSA 1978, EFFECTIVE 7-01-2010). VAN ACCESSIBLE SIGNS ARE PROVIDED BELOW THE OTHER SIGN
 - THE VAN SPACE SIGNAGE IS NEEDED TO ALERT VAN USERS TO THE PRESENCE OF THE WIDER AISLE, BUT THE SPACE IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS. (2010 STANDARDS 502.5)
 - IN PARKING LOTS THE BOTTOM OF THE SIGN IS 60" MINIMUM ABOVE THE GROUND OR PARKING SURFACE. (ANSI 502.7)
 - ALONG THE PUBLIC RIGHTS-OF-WAY MUTCD REQUIRES THE BOTTOM OF THE MUTCD R7-8 SIGN TO BE 84" ABOVE THE GROUND.
 - IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.
- PAVEMENT MARKINGS (NMBC 1110.3)
 - PARKING SPACE HAS A CLEARLY VISIBLE, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED ON THE PAVEMENT AT REAR OF THE SPACE (66-1-4.1.E

C.O.A. GENERAL NOTES

- WORK ORDER REQUIRED FOR WORK WITHIN PUBLIC RIGHT OF WAY WITH DRC APPROVED PLANS.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
- ALL COA ROW CURB AND GUTTER, SIDEWALK, RAMP AND DRIVEPADS MUST BE IN GOOD CONDITION AND ADA ACCESSIBLE IF APPLICABLE. ANY ITEMS IN DISREPAIR MUST BE REMOVED AND REPLACED TO NEAREST CONTROL JOINT
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE SIGNS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA
- MAXIMUM SLOPE PERMITTED AT ADA STALLS AND ACCESS AISLES IS 2% (1:50)
- ALL BROKEN OR CRACKED ASPHALT TRAIL MUST BE REPLACED WITH NEW ASPHALT PER COA DRAWING 2415C
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER COA DRAWING 2430

PARKING REQUIREMENTS:

PARKING CALCULATIONS	
TOTAL GUESTROOMS	HOTEL 103
TOTAL PARKING STALLS REQUIRED	103
TOTAL STALLS PROVIDED ON SITE	54
TOTAL EV CHARGING STALLS	4
TOTAL EV CREDIT	+4
TOTAL CREDITED STALLS	58

SHARED PARKING CALCULATIONS
103 STALLS (HOTEL) + 175 (MEDICAL OFFICE) = 228 STALLS REQUIRED
122 (PLANNING DEPT.)
ADMINISTRATION LETTER
DATED SEPTEMBER 11, 2023)

TOTAL ADJACENT SITE STALLS:	
TOTAL ON SITE STALLS PROVIDED:	58 STALLS
TOTAL STALLS PROVIDED:	231 STALLS

ADDITIONAL HOTEL PARKING REQUIREMENTS
TOTAL MOTORCYCLE STALLS REQUIRED 3
TOTAL MOTORCYCLE STALLS PROVIDED 4

TOTAL BICYCLE STALLS REQUIRED	
TOTAL BICYCLE STALLS PROVIDED	2

TOTAL ADA STALLS REQUIRED	
TOTAL ADA STALLS PROVIDED	6 (1 VAN ACCESSIBLE)

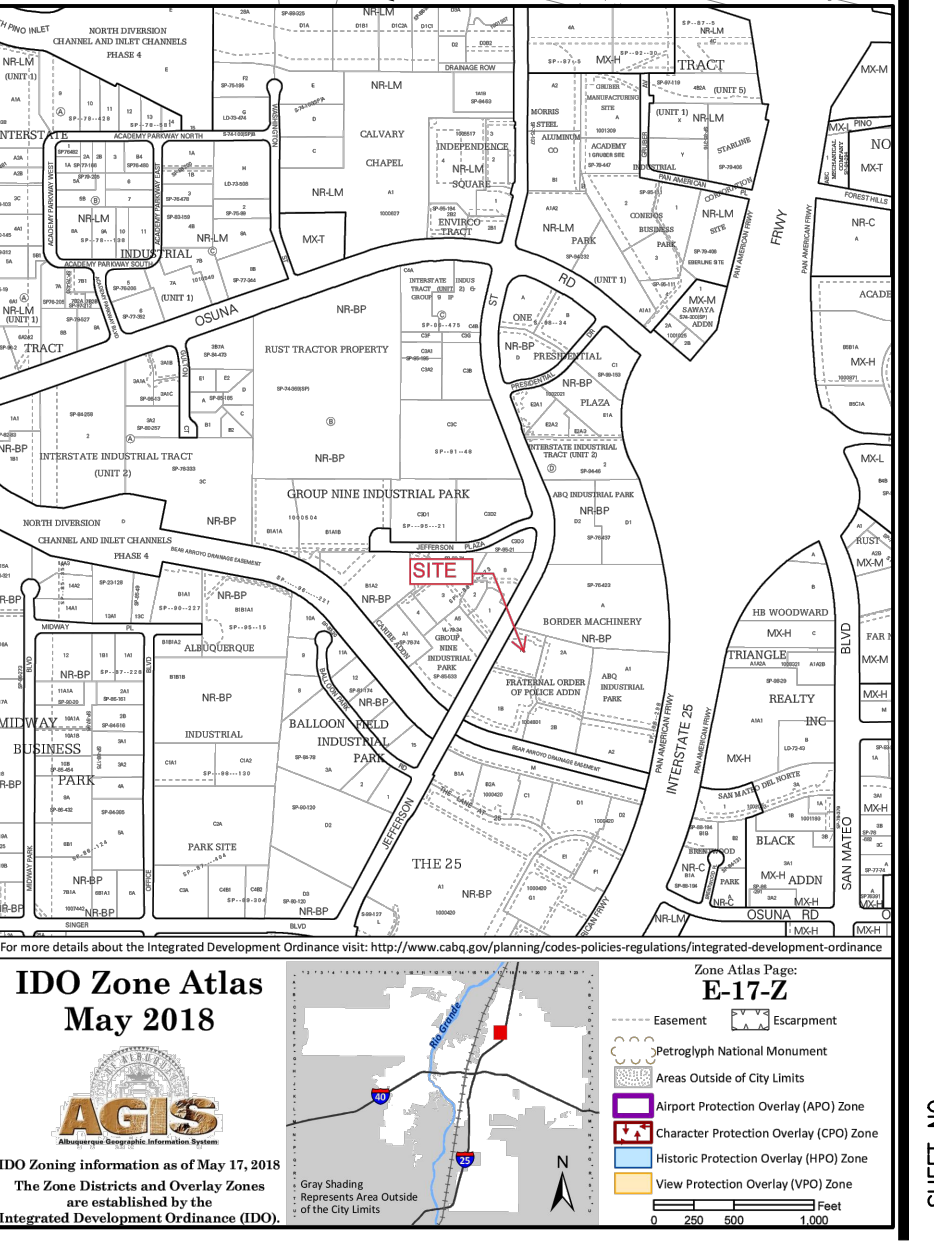
EXECUTIVE SUMMARY

THE PROPOSED PROJECT IS LIMITED SERVICE FIVE STORY HOTEL BUILDING WITH ONE HUNDRED THREE (103) GUEST SUITES. THE FIRST STORY IS 14,155 S.F. AND EACH UPPER STORY IS APPROXIMATELY 12,640 S.F. FOR A TOTAL BUILDING AREA OF 64,715 SQUARE FEET. THE PROPOSED USE OF THE BUILDING WILL BE A SHORT TERM STAY HOTEL WHICH IS ALLOWED WITHIN NR-BP PERMISSIVE USES.

ZONING DATA

LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 1-B-1 FRATERNAL ORDER OF POLICE ADDITION (BEING COMPRISED OF LOTS 1-A AND 1-FRATERNAL ORDER OF POLICE ADDITION) CONT 1.4572 AC ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

OCCUPANCY TYPE: HOTEL

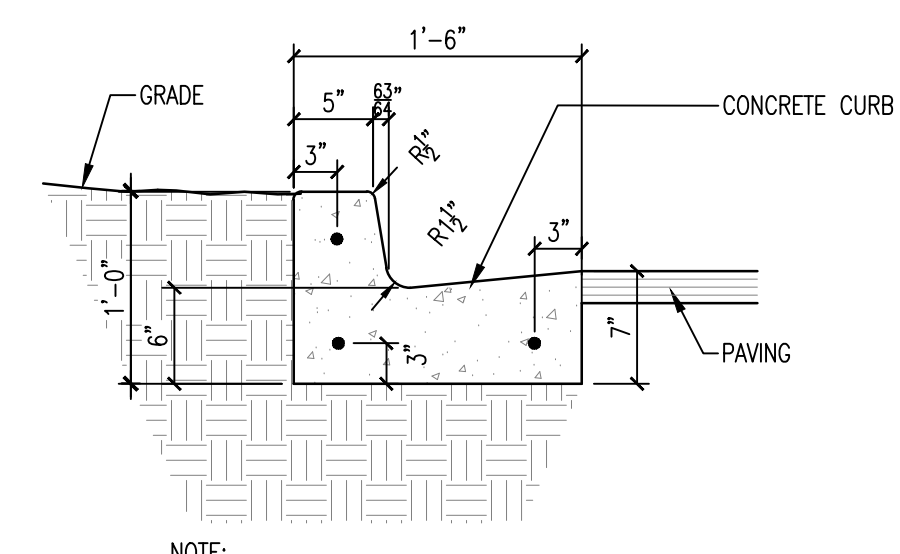


TRAFFIC APPROVAL PLAN - NOT FOR CONSTRUCTION
CONTRACTOR NOTE: ELEMENTS OF THIS DRAWING ARE INCORPORATED IN SITE PLAN A001 WHICH IS TO BE USED FOR CONSTRUCTION

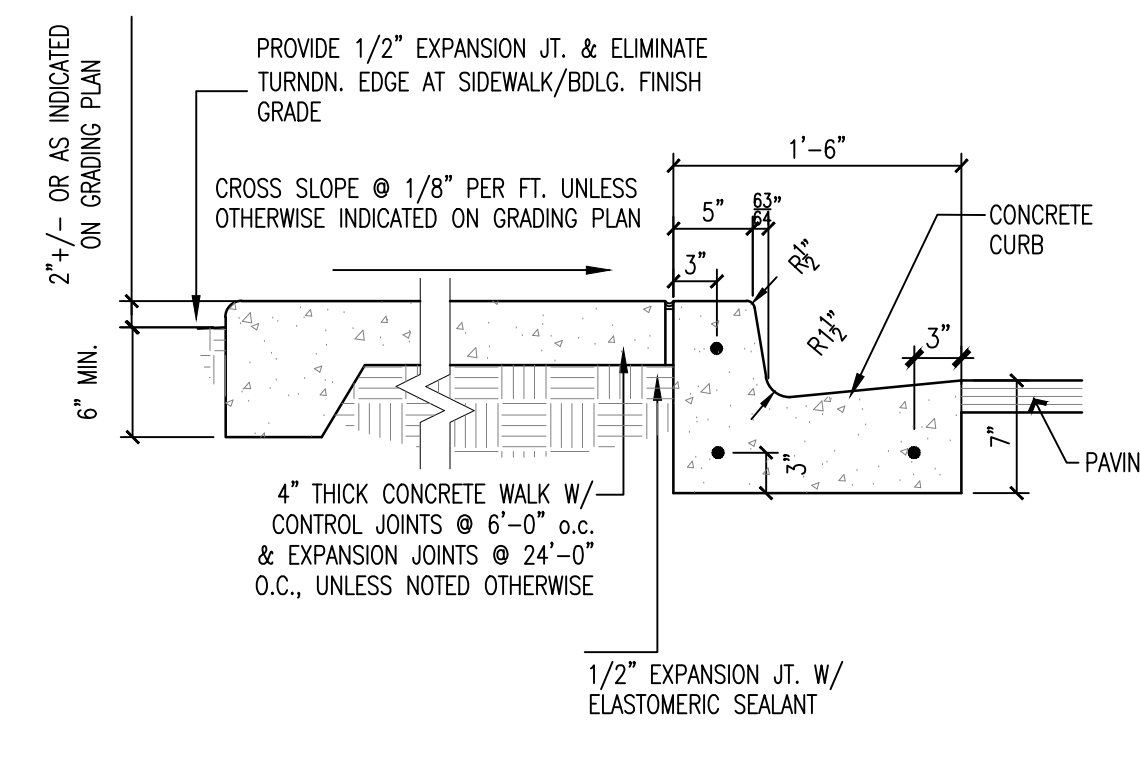
TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Amigo Signed 11/16/2023 Date

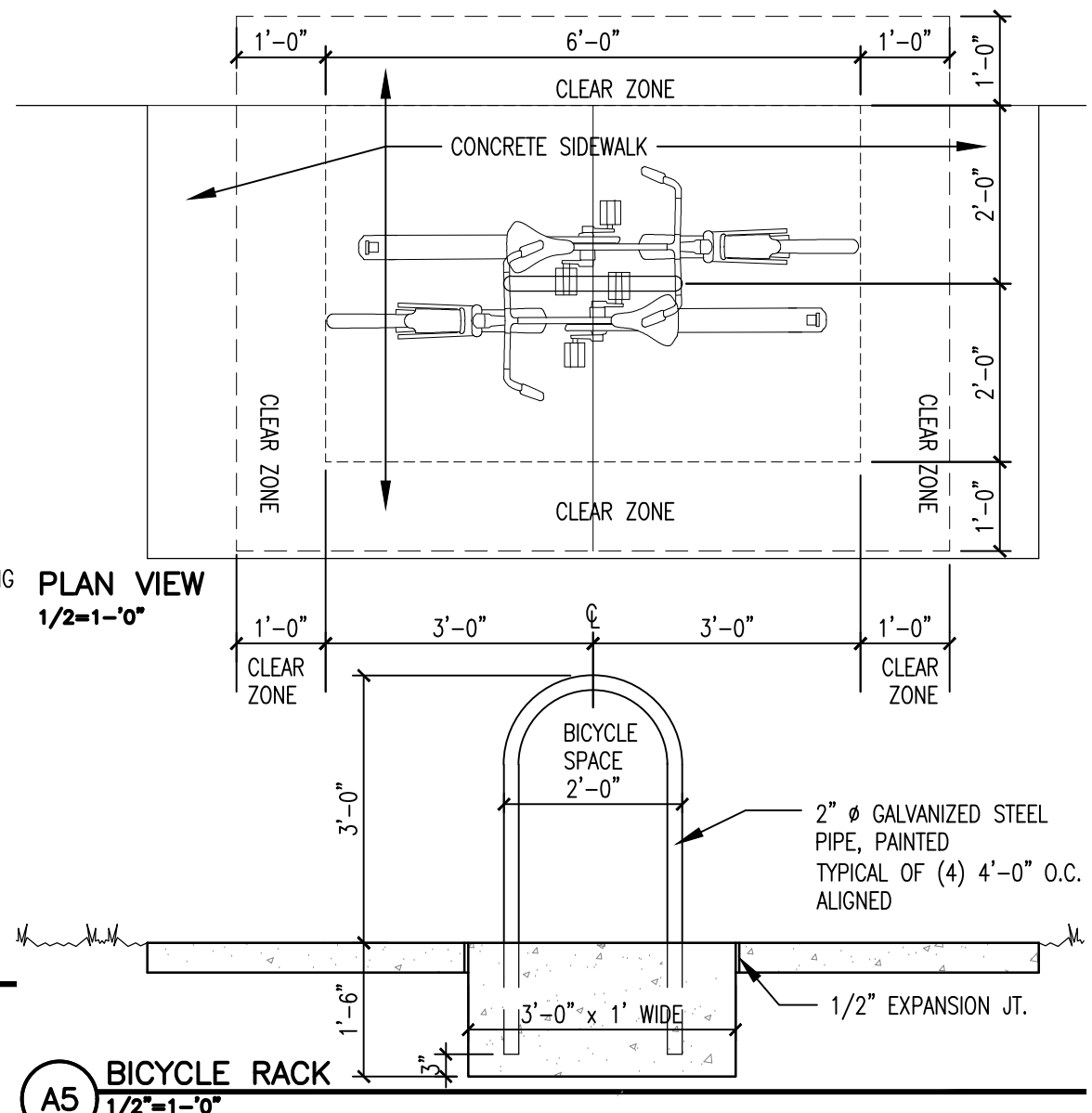
NOTE: PROVIDE CONTROL JOINTS @ 6'-0" O.C. MAX. (MATCH CONTIGIOUS SIDEWALK) AND DOWELED EXPANSION JOINTS @ 24'-0" O.C. MAX. UNLESS SHOWN OTHERWISE. CURB AND GUTTER JOINTING SHALL REFLECT THE JOINTING OF ADJACENT FLATWORK.



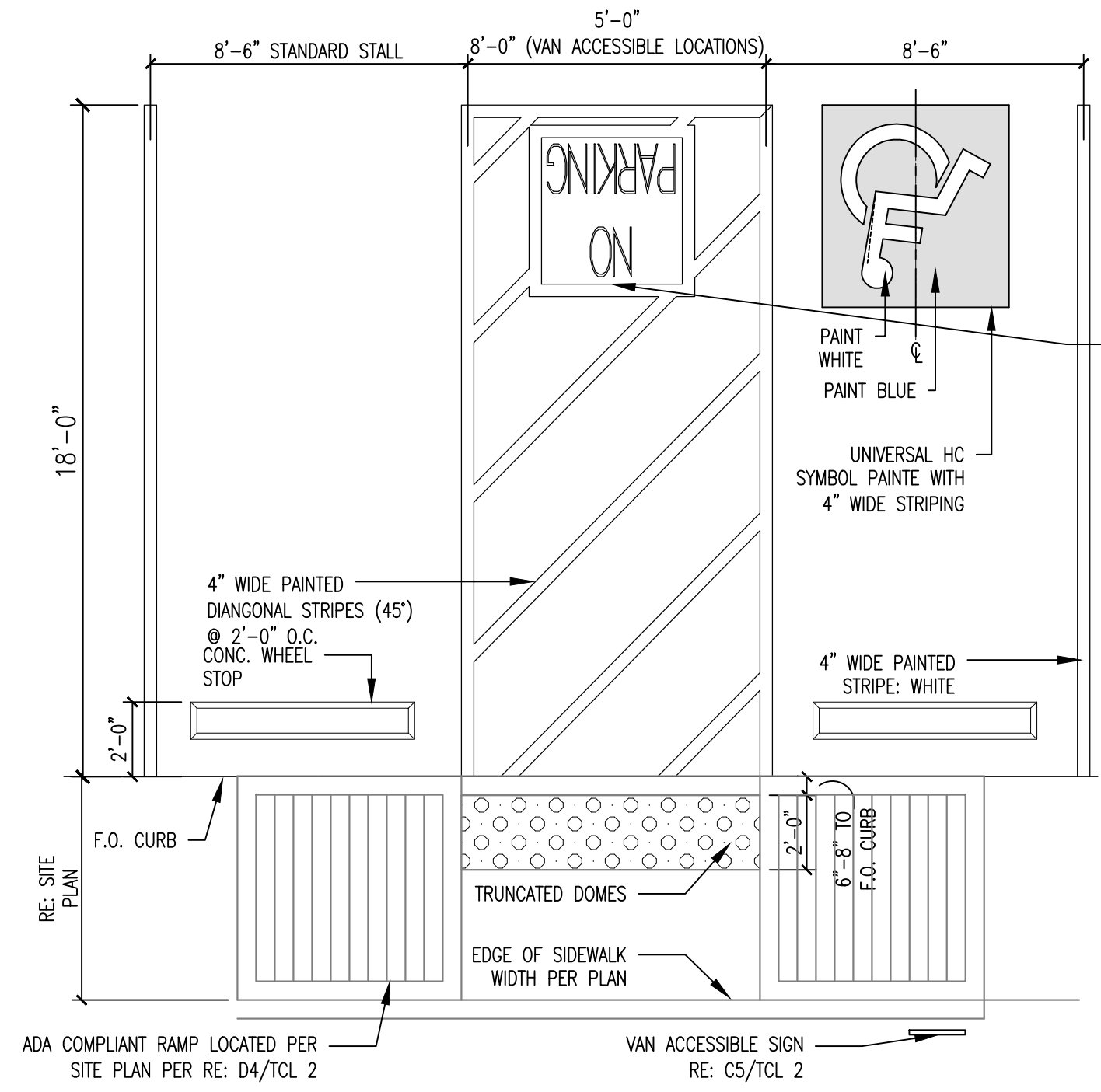
A3 CONCRETE CURB & GUTTER
1/4"=1'-0"



A4 SIDEWALK SECTION
1/4"=1'-0"



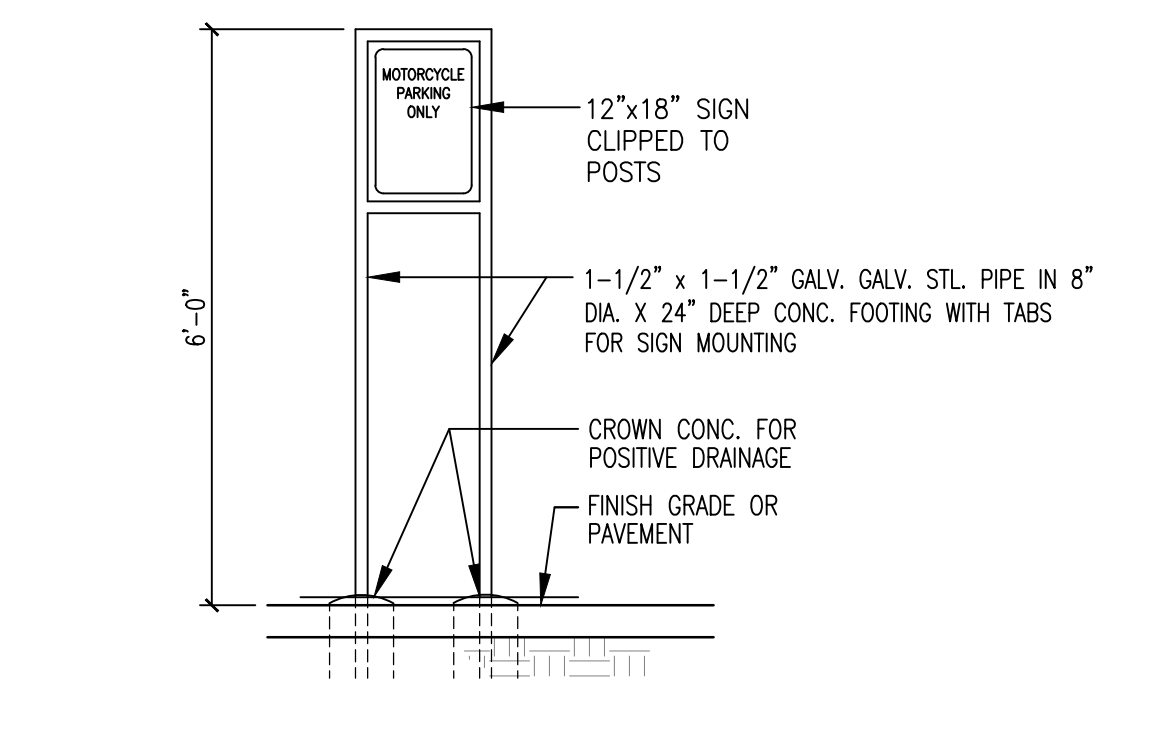
A5 BICYCLE RACK
1/2"=1'-0"



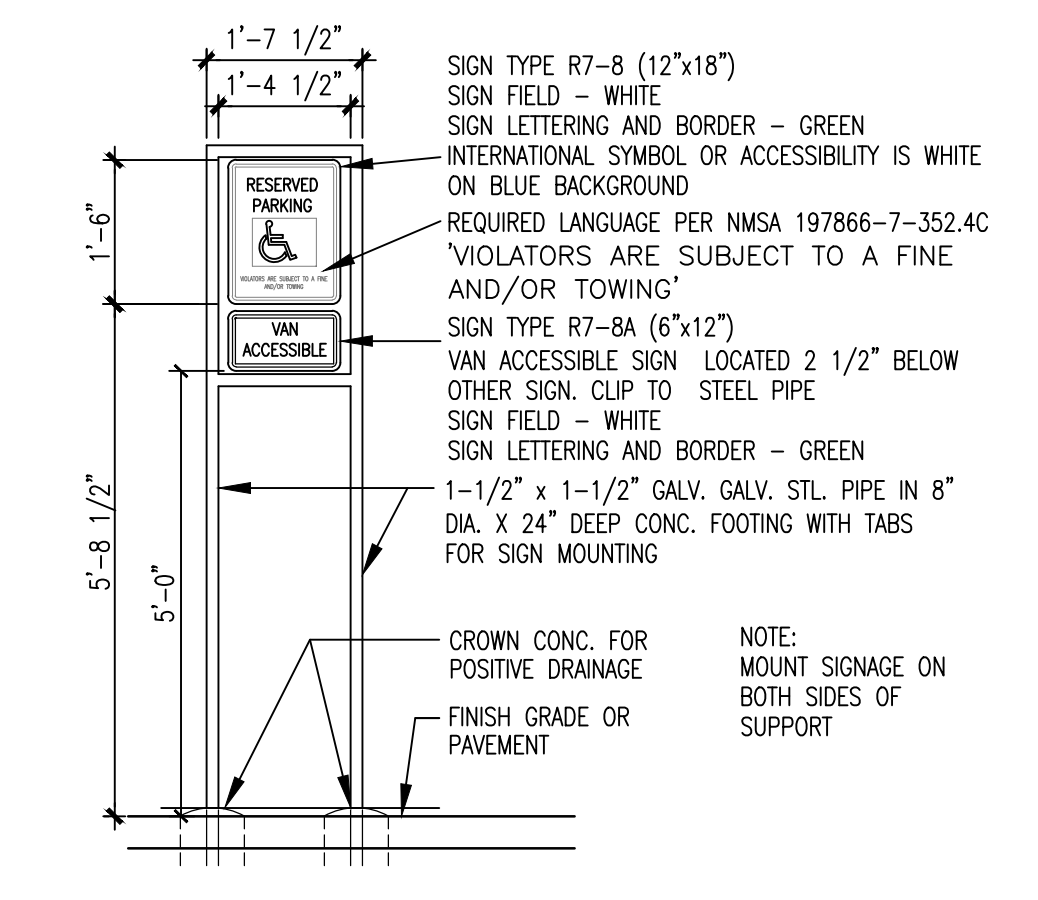
ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED. (66-1-4.1.B NMSA 1978)

- NOTES:
1. RAMP SHALL NOT BE PLACED IN HANDICAP ACCESS AISLE, BUT SHALL BE PLACED WITHIN THE SIDEWALKS
 2. ACCESS AISLE MAY NOT EXCEED 2% IN ANY DIRECTION.
 3. HANDICAP ACCESS RAMP MAY NOT EXCEED A SLOPE OF 8%
 4. MINIMUM WIDTH OF HANDICAP ACCESS RAMP IS 3'-0"
 5. SIDES OF RAMP MAY NOT EXCEED SLOPE OF 10% UNLESS HANDRAIL IS PROVIDED.
 6. HANDICAP PARKING SHALL MEET ALL OTEHR APPLICABLE CITY AND ADA CODE REQUIREMENTS

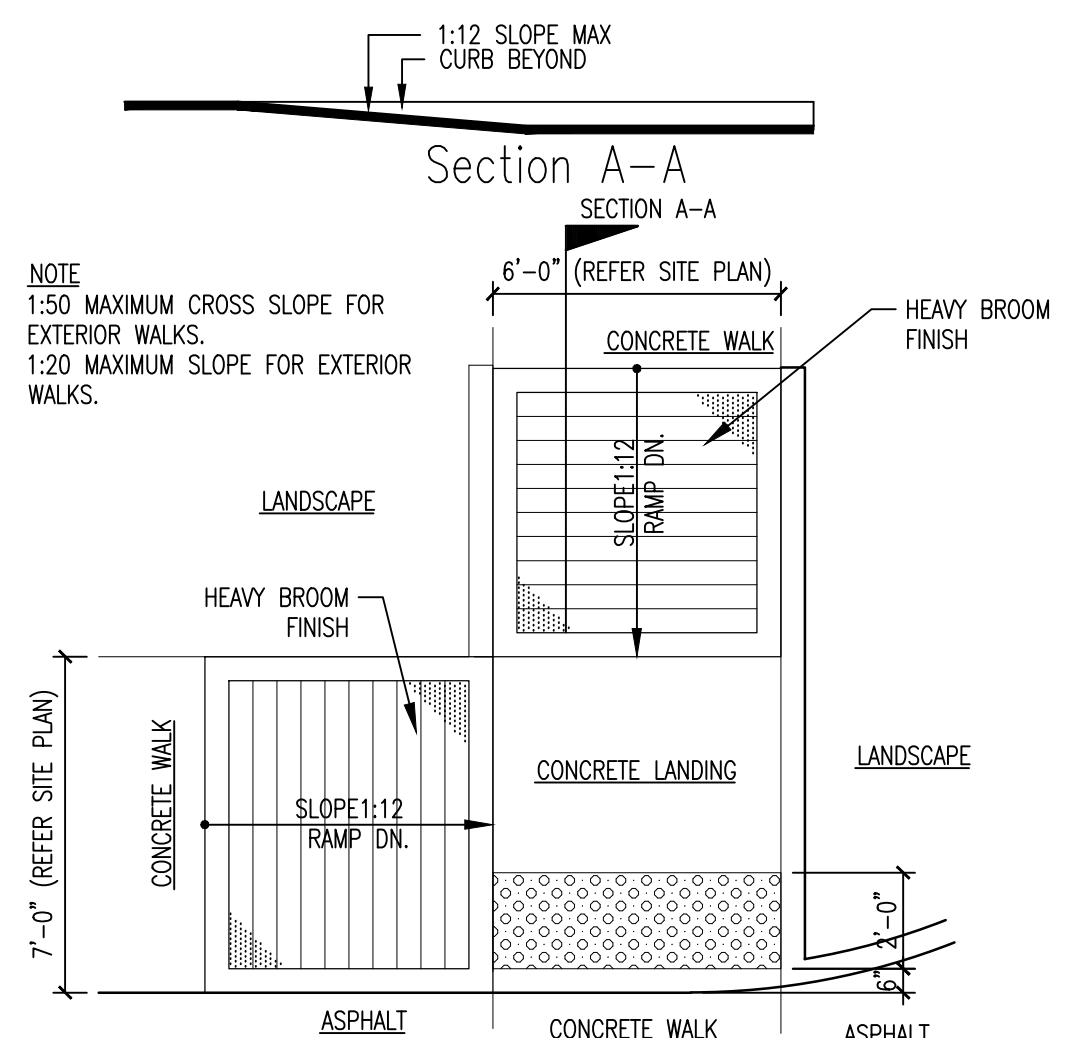
C4 TYPICAL ADA PARKING STALLS DETAIL
1/4"=1'-0"



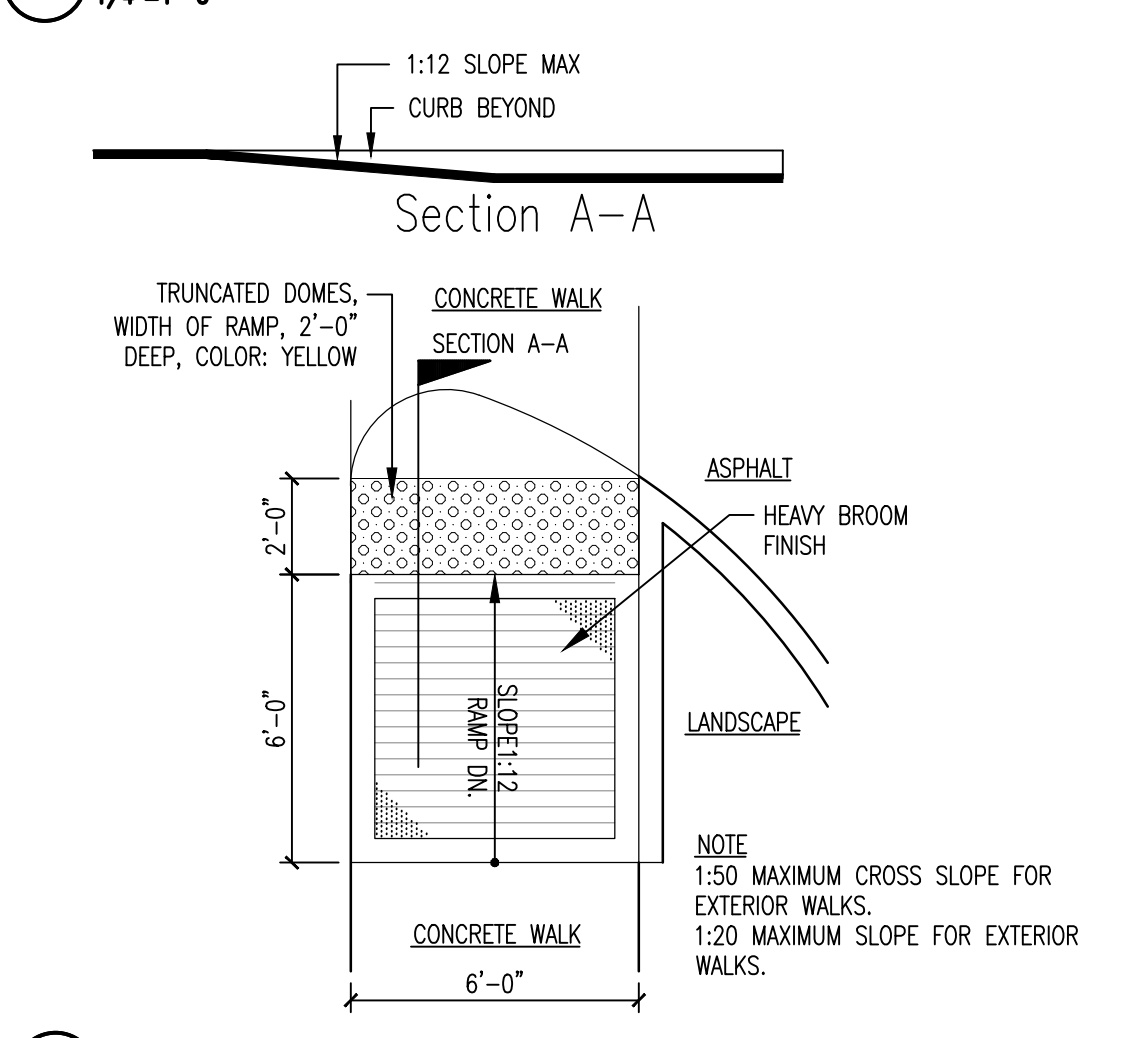
B5 MOTORCYCLE SIGN ELEVATION
1/2"=1'-0"



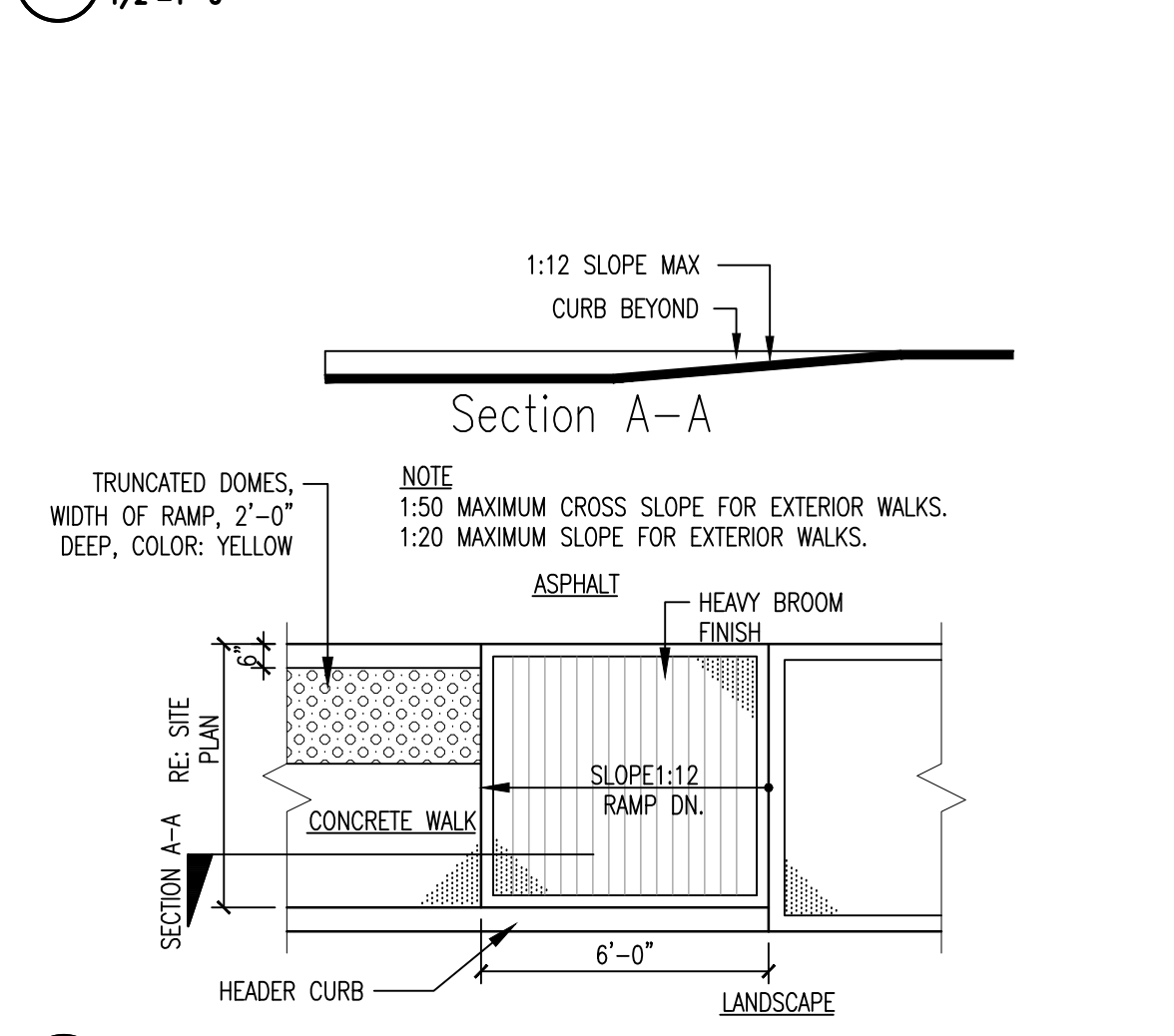
C5 H.C. SIGN ELEVATION
1/2"=1'-0"



D3 RAMP @ SIDEWALK
1/4"=1'-0"



D4 RAMP @ SIDEWALK
1/4"=1'-0"



D5 ACCESSIBLE SIDEWALK RAMP
1/4"=1'-0"



DRAWING NAME
REVISIONS

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 7, 2023

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 5910 Jefferson St. NE
Grading and Drainage Plan
Engineer's Stamp Date: 06/12/23
Hydrology File: E17D011C

Dear Mr. Soule:

Based upon the information provided in your submittal received 06/16/2023, the Grading & Drainage Plan is approved for Building Permit, Grading Permit, and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the storm water quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

May 4, 2023

Chair

Eric C. Olivas
County of Bernalillo
Commissioner, District 5

Vice Chair

Tammy Fiebelkorn
City of Albuquerque
Councilor, District 7

Barbara Baca
County of Bernalillo
Commissioner, District 1

Adriann Barboa
County of Bernalillo
Commissioner, District 3

Pat Davis
City of Albuquerque
Councilor, District 6

Trudy E. Jones
City of Albuquerque
Councilor, District 8

Timothy M. Keller
City of Albuquerque
Mayor

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

David Soule
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

RE: Water and Sanitary Sewer Availability Statement #230427

Project Name: H2 Suites

Project Address: 5910 Jefferson Street

Legal Description: Lot 1A1, Fraternal Order of Police

UPC: 101706233314940107

Zone Atlas Map: E-17

Dear Mr. Soule:

Project Description: The subject site is located east of Jefferson Street and north of Bear Arroyo, within the City of Albuquerque. The proposed development consists of approximately 1.45 acres and the property is currently zoned NR-BP for non-residential business park use. The property lies within the Pressure Zone 2E in the Montgomery Trunk. The request for availability indicates plans for commercial development to construct a new 62,390 square foot five-story hotel with 98 guestrooms.

Existing Conditions: Water infrastructure in the area consists of the following:

- Eight-inch cast-iron distribution line (project #09-176-71) along west side of Jefferson Street
- Eight-inch PVC distribution line (project #26-6324.81-09) along north easement internal and east of the project site.

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch vitrified clay sanitary sewer collector (project #07-176-71) along Jefferson Street.
- Eight-inch PVC sanitary sewer collector (project #26-6324.66-23) along easement internal to the project site

Water Service: New metered water service to the property can be provided contingent upon a developer funded project to relocate the existing eight-inch distribution line internal to the project site. From the site plan provided, the existing eight-inch PVC distribution line along the north portion of the site is proposed to be relocated underneath future curbing and landscaping. This proposed alignment is not acceptable. The distribution line shall be relocated in a new dedicated easement within the paved driveway that allows ease of access and maintenance to comply with the requirements of Article 9-4 Item 4. of the Development Process Manual.

Upon the construction of the relocated infrastructure, the development may receive service via routine connection to the existing eight-inch distribution line along Jefferson Street or the relocated eight-inch distribution line internal to the site. The engineer is responsible for determining pressure losses and sizing of the meter and service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Fire hydrants shall be on mains when water lines are extended, in conjunction with coordination with the Fire Marshal and according to spacing criteria that varies according to proposed land use adjacent to the water line. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property. Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: New sanitary sewer service can be provided via routine connection to the sanitary sewer collectors described in the preceding Existing Conditions section. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development. Review and correct existing on-site sanitary sewer easements to match existing field conditions.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1,750 gallons-per-minute. One fire hydrant is required. There are two existing hydrants available and zero new hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at the two existing hydrants adjacent to the proposed development.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service. The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Prevention and Control Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches or possible

connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection. All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority recommends that all backflow (containment) devices be located above ground just outside the easement or road right-of-way, the containment backflow device can be installed within the building if there are no tees, branches or possible connection fittings or openings between the reduced principal backflow prevention assembly and the service connection unless protected by another reduced pressure backflow prevention assembly device. Contact Cross Connection at (505) 289-3465 for more information.

Pretreatment: The development is for commercial use and has the potential to discharge Fats, Oils, Grease and/or Solids (FOGS) to the sanitary sewer and/or falls under one of the applicable users in the SUO:

FOGS Applicability SUO Section 3-3-2 A.:

Users "...such as food service establishments, commercial food processors, automotive shops, auto wash racks, car washes, vehicle fueling stations, septic tank pumpers, grease rendering facilities, breweries/distilleries, bottling plants, commercial and industrial laundries, slaughterhouses & meat packing establishments (fish, fowl, meat, curing, hide curing), oil tank firms and transporters..."

Such Users must comply with all FOGS discharge requirements defined in SUO Section 3-3-2 and FOGS Policy including but not limited to:

1. Installation of an adequately sized Grease Interceptor (GI) approved by the appropriate code enforcement authority (City of Albuquerque, and/or Bernalillo County)
 - a. Interceptors and/or Separators are required for dumpsters pads and outdoor washdown areas that have the potential to discharge grease, sand, solids, flammable liquids to the sanitary sewer. Pad shall be installed at an elevation higher than surrounding grade. It is not required for dumpster pads to have a sewer connection.

- b. Placement of Interceptors in drive-thru or traffic lanes is not allowed.
2. All FOGS source within the facility are plumbed to the GI as required by the appropriate plumbing code.
3. Long term Best Management Practices (BMP), and GI maintenance such as pumping and manifest requirements.
4. Unobstructed access to inspections of the facility and records.

A copy of the Sewer Use and Wastewater Control Ordinance and FOGS Policy can be found on the Pretreatment page of the Water Authority Website:

<https://www.abcwua.org/sewer-system-industrial-pretreatment-overview/>

Contact the Industrial Pretreatment Engineer, Travis Peacock, at (505) 289-3439 or pretreatment@abcwua.org for coordination or clarification of any of the above requirements.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of Water Authority owned facilities such as pump stations, reservoirs, wells, lift stations, or any other facility.

Required public water and/or sanitary sewer easements shall be for the construction, installation, maintenance, repair, modification, replacement and operation of public water and sanitary service lines, equipment and facilities reasonably necessary to provide service together with free access on and over the easement and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with use of the easement.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: Design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Work Order process. Designs must be performed by a licensed, New Mexico registered, professional engineer. Construction must be performed by a licensed and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,

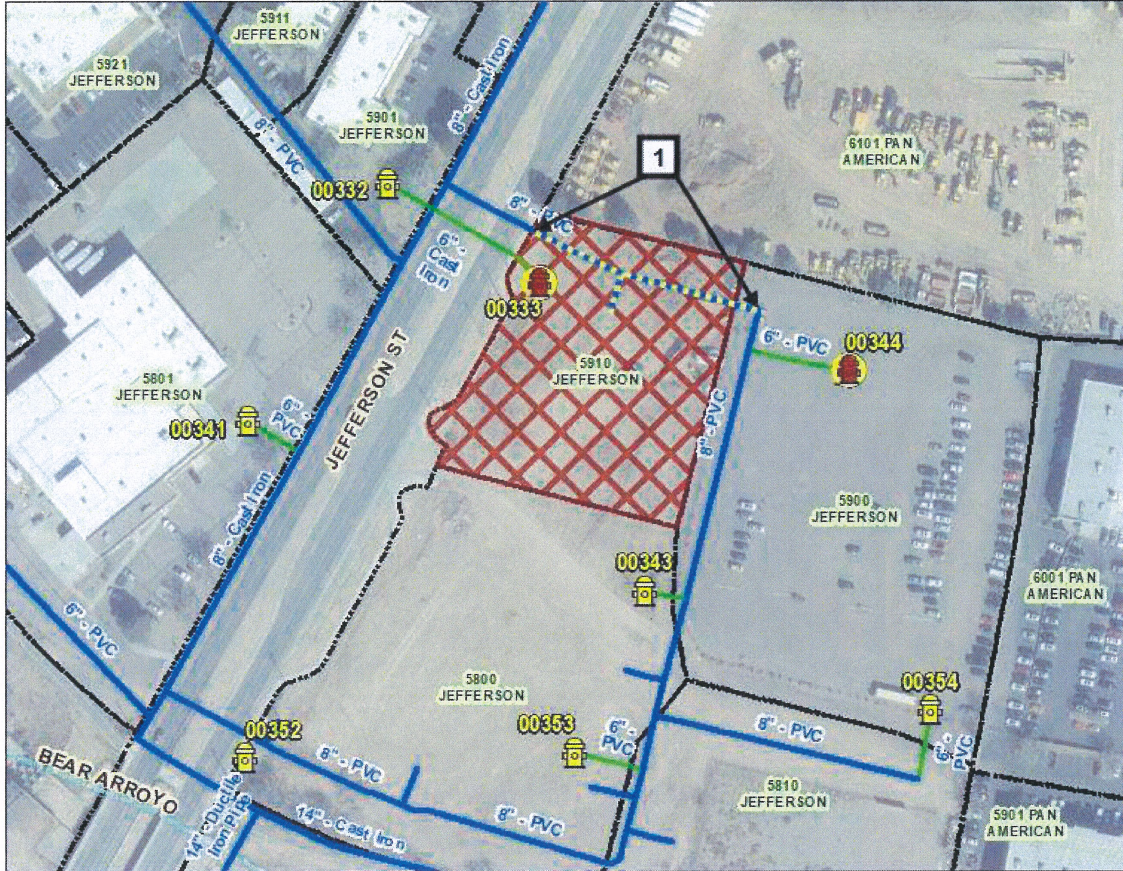


Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps

f/ **Availability Statement #230427**

230427 - Water



0 290 580 Feet



Legend

Hydrant

Water Pipe

Subtype

Distribution Line

Hydrant Leg

Base Map City

Project Location

Fire Flow Analysis Points

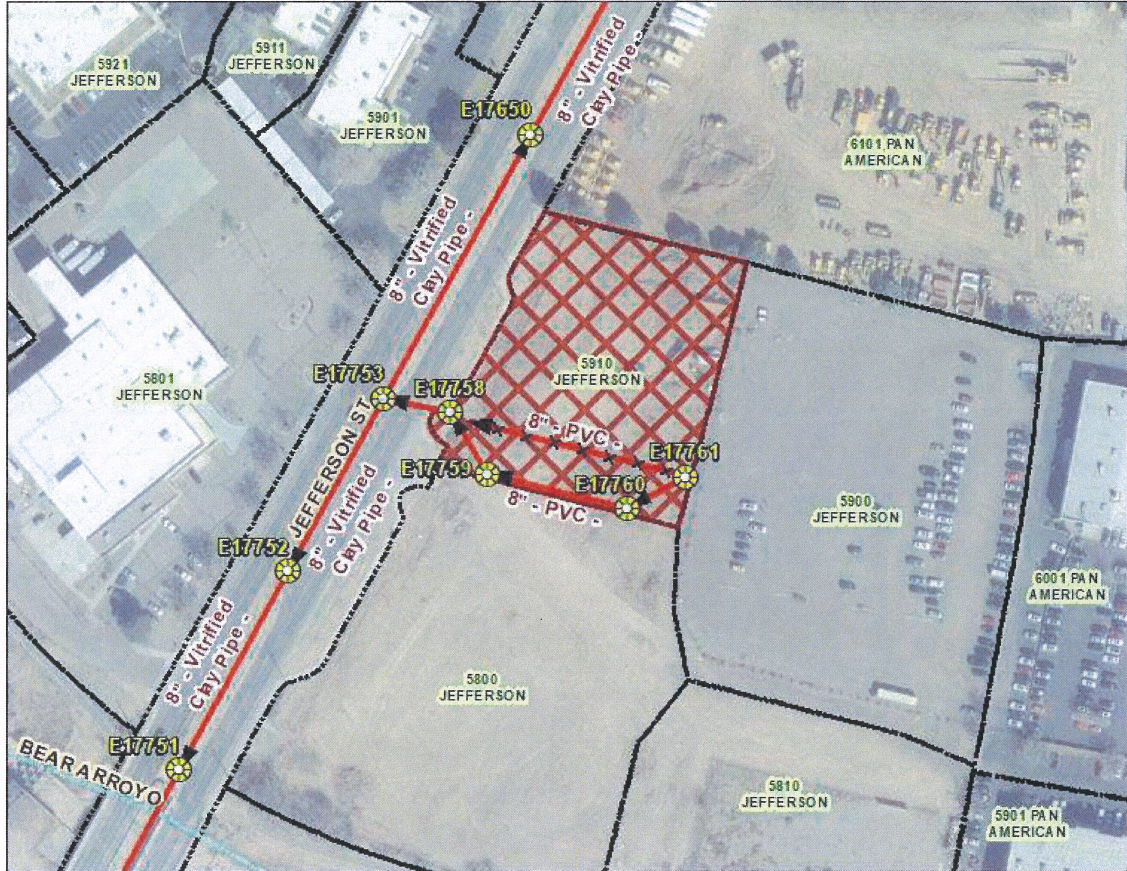
Analysis Point - Existing Hydrant to be Relocated (2)

--- General Map Keyed Notes

1 - Existing Distribution Line to be Relocated



230427 - Sanitary Sewer



0 290 580 Feet



Legend

Sewer Manhole

Base Map City

Sewer Pipe

Project Location

Subtype

COLLECTOR

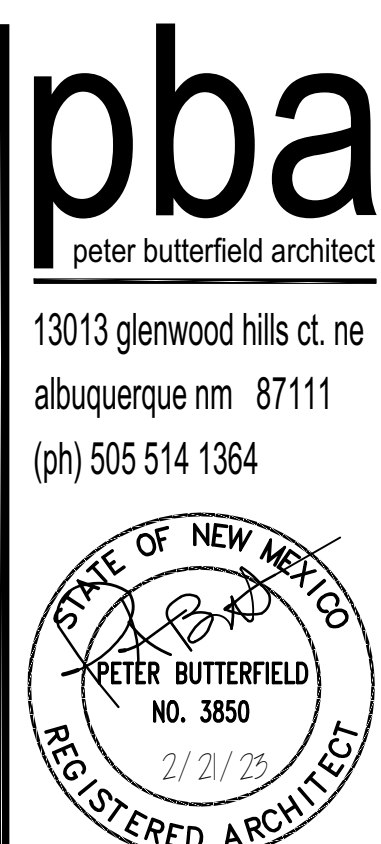
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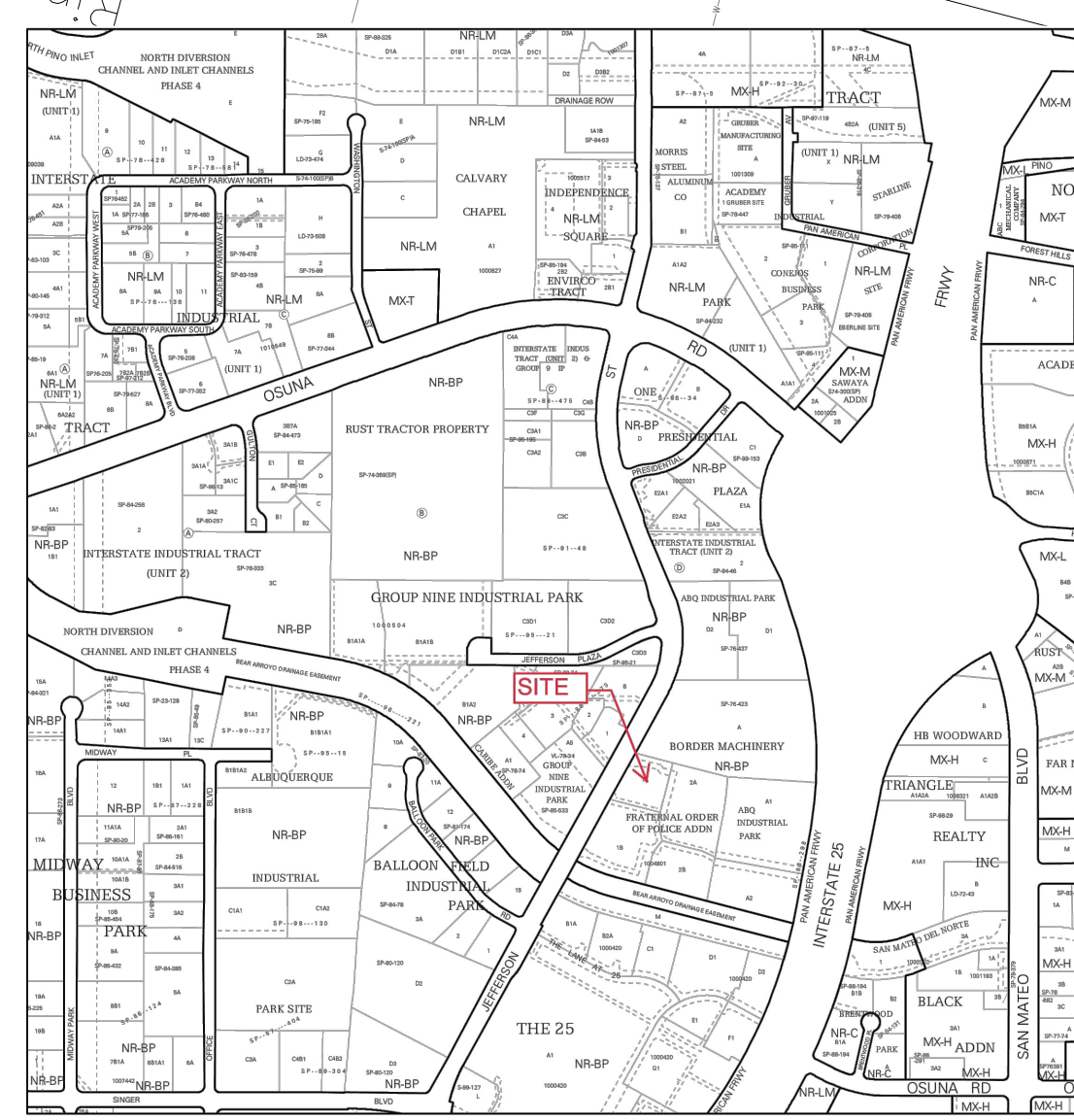
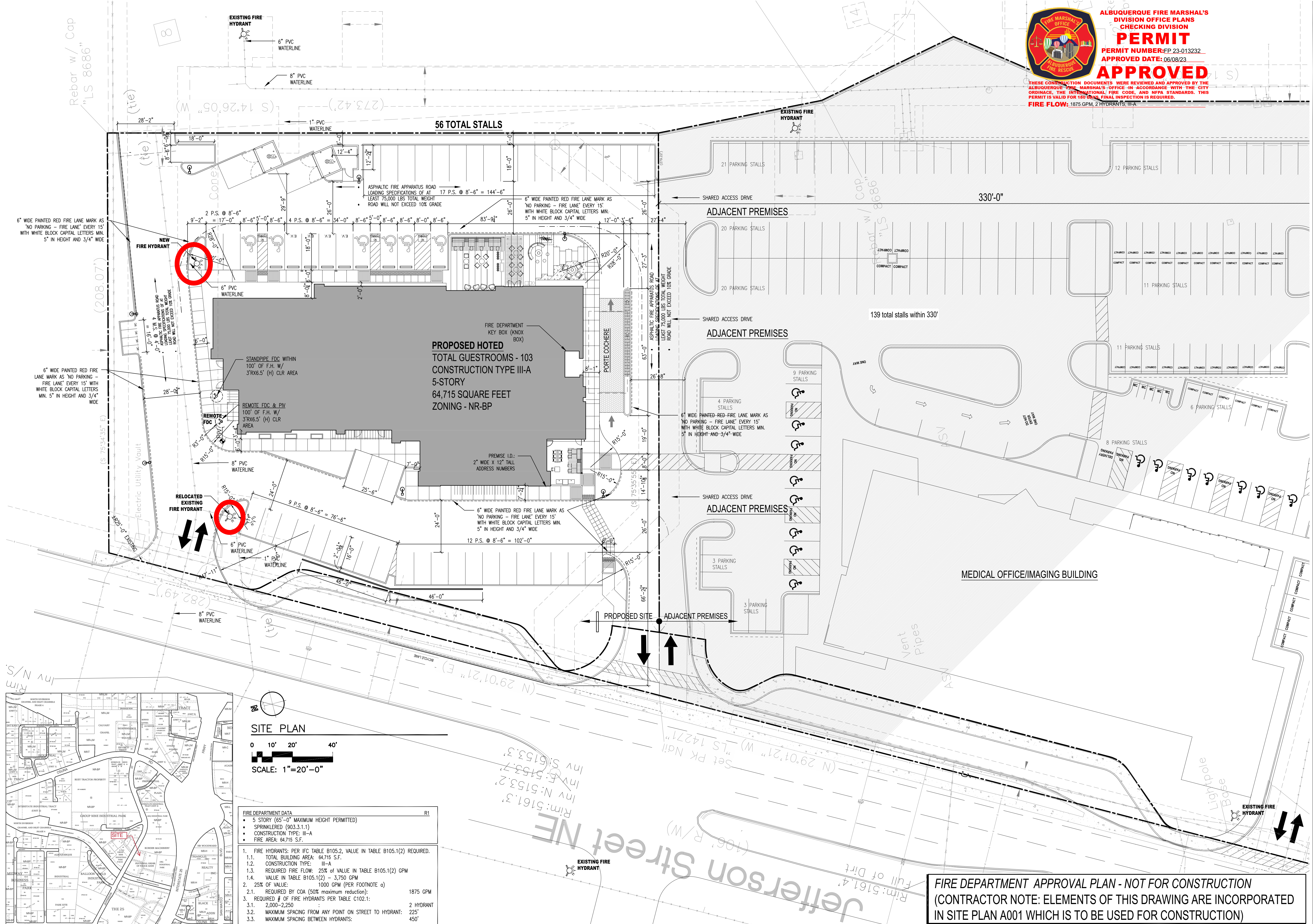
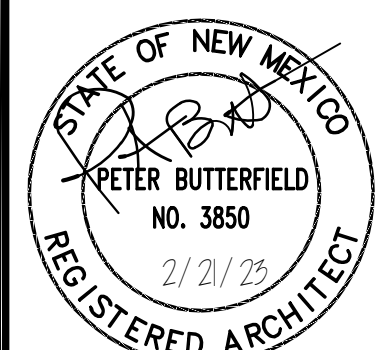


**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**
PERMIT
PERMIT NUMBER: FP 23-013232
APPROVED DATE: 06/08/23
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1875 GPM, 2 HYDRANTS, III-A



13013 glenwood hills ct. ne
albuquerque nm 87111
(ph) 505 514 1364



SITE PLAN
0 10' 20' 40'
SCALE: 1"=20'-0"

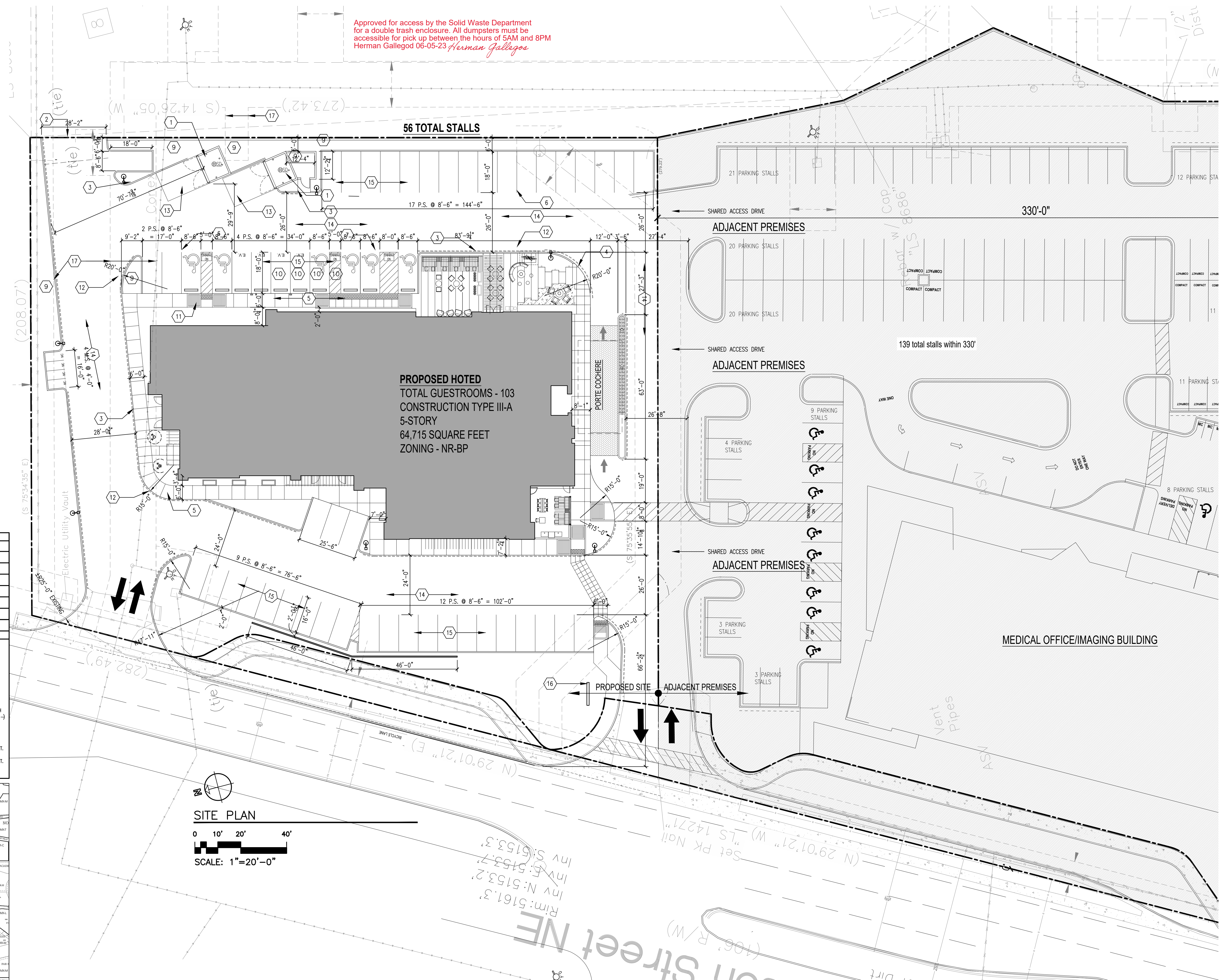
FIRE DEPARTMENT DATA		R1
• 5 STORY (65'-0" MAXIMUM HEIGHT PERMITTED)		
• SPRINKLERED (903.3.1.1)		
• CONSTRUCTION TYPE: III-A		
• FIRE AREA: 64,715 S.F.		
1. FIRE HYDRANTS: PER IFC TABLE B105.2, VALUE IN TABLE B105.1(2) REQUIRED.		
1.1. TOTAL BUILDING AREA: 64,715 S.F.		
1.2. CONSTRUCTION TYPE: III-A		
1.3. REQUIRED FIRE FLOW: 25% OF VALUE IN TABLE B105.1(2) GPM		
1.4. VALUE IN TABLE B105.1(2) - 3,750 GPM		
2. 25% OF VALUE: 1000 GPM (PER FOOTNOTE a)		
2.1. REQUIRED BY COA (50% maximum reduction):	1875 GPM	
3. REQUIRED # OF FIRE HYDRANTS PER TABLE C102.1:	2 HYDRANT	
3.1. 2,000-2,250		
3.2. MAXIMUM SPACING FROM ANY POINT ON STREET TO HYDRANT:	225'	
3.3. MAXIMUM SPACING BETWEEN HYDRANTS:	450'	

FIRE DEPARTMENT APPROVAL PLAN - NOT FOR CONSTRUCTION
(CONTRACTOR NOTE: ELEMENTS OF THIS DRAWING ARE INCORPORATED IN SITE PLAN A001 WHICH IS TO BE USED FOR CONSTRUCTION)

DRAWING NAME
REVISIONS

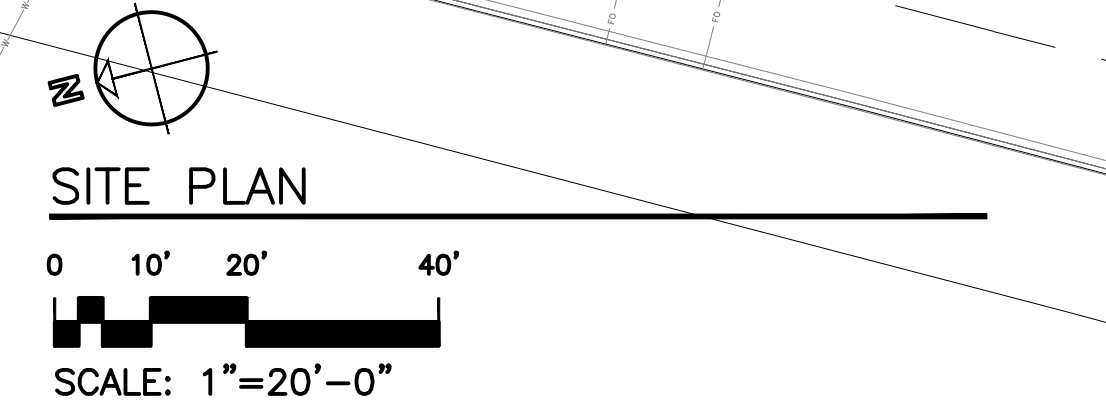
Proposed Hotel - Home 2 Suites
5910 Jefferson St NE
Albuquerque, NM
Fire-1
5/25/23 Fire 1

Approved for access by the Solid Waste Department
for a double trash enclosure. All dumpsters must be
accessible for pick up between the hours of 5AM and 8PM
Herman Gallegod 06-05-23 *Herman Gallegos*



SITE LEGEND		
⊙	SIGN	⊙ LIGHT POLE (2" DIA BASE)
⊙	FIRE HYDRANT	● BOLLARD
⊙	WATER VALVE	— WATER LINE
⊙	S&S MANHOLE	— UNDERGROUND POWER LINE
⊙	TELEPHONE MANHOLE	— GAS LINE
⊙	WATER METER	— SAS LINE
⊙	POWER POLE	— OVERHEAD POWER LINE
⊙	NEW LIGHT BOLLARD	— NEW POLE MNT LIGHT

- SITE PLAN KEYED NOTES**
- SINGLE UNIT DUMPSTER ENCLOSURE WITH AREA DRAIN TO GREASE INTERCEPTOR
 - SHARED ACCESS EASEMENT
 - CURB, 6" HIGH CONCRETE AND CUTTER REFER
 - CURB, 6" HIGH CONCRETE AND CUTTER REFER @ SIDEWALK
 - CONCRETE SIDEWALK, WIDTH AS NOTED
 - 4" WIDE PAINTED PARKING STALL STRIPING, TYP. COLOR: WHITE
 - TYP. ACCESSIBLE PARKING SPACE W/ LOADING ZONE
 - PRECAST CONCRETE WHEEL STOP AT HC STALLS & AS NOTED
 - LANDSCAPE AREA, REFER TO LANDSCAPE PLAN
 - ELECTRIC VEHICLE CHARGING STATION STALL
 - ACCESSIBLE CURB RAMP
 - 6" WIDE PAINTED RED FIRE LANE MARK AS "NO PARKING - FIRE LANE" EVERY 15' WITH WHITE BLOCK CAPITAL LETTERS MIN. 5" IN HEIGHT AND 3/4" WIDE (---) ON PAVING OR FACE OF CURB AT CURB LOCATIONS, REFER FIRE-1 PLAN
 - 20' LONG 8" THICK CONCRETE APRON AT DUMPSTER ENCLOSURE, MAXIMUM SLOPE 1:12
 - NEW ASPHALTIC PAVING FOR HEAVY DUTY OVER PREPARED SUBGRADE (AS SITE CONDITIONS REQUIRE-VERIFY WITH GEOTECHNICAL ENGINEER) PER GEOTECHNICAL REPORT.
 - NEW ASPHALTIC PAVING FOR STANDARD DUTY OVER PREPARED SUBGRADE (AS SITE CONDITIONS REQUIRE-VERIFY WITH GEOTECHNICAL ENGINEER) PER GEOTECHNICAL REPORT.
 - MONUMENT SIGN
 - UTILITY EASEMENT



SOLID WASTE DEPARTMENT APPROVAL PLAN - NOT FOR CONSTRUCTION
(CONTRACTOR NOTE: ELEMENTS OF THIS DRAWING ARE INCORPORATED
IN SITE PLAN A001 WHICH IS TO BE USED FOR CONSTRUCTION)

EASEMENT AGREEMENT

THIS EASEMENT AGREEMENT (this "**Agreement**") is made and executed as of the 22 day of August, 2023, by and between JEFFERSON 25 LAND QOZB, LLC a Mexico limited liability company ("**Lot 1-A-1 Owner**"), whose address is c/o ARGUS Investment Realty, Inc., 500 4th Street NW, Suite 275 Albuquerque, NM 87102 Attn: Mr. Scott W. Throckmorton, President, and JEFFERSON 25 XRAY QOZB, LLC a Mexico limited liability company ("**Lot 1-B-1 Owner**"), whose address is c/o ARGUS Investment Realty, Inc., 500 4th Street NW, Suite 275, Albuquerque, NM 87102 Attn: Mr. Scott W. Throckmorton, President.

Lot 1-A-1 Owner, the Owner of Lot 1-A-1 as described in Exhibit A attached hereto and incorporated by reference ("**Lot 1-A-1**"), and Lot 1-B-1 Owner, the Owner of Lot 1-B-1, as described in Exhibit A attached hereto and incorporated by reference ("**Lot 1-B-1**"), desire to enter into this Agreement to impose certain easements and other covenants described hereinafter upon Lots by this Agreement.

NOW, THEREFORE, and Lot 1-A-1 Owner and Lot 1-B-1 Owner (together, "**Owners**") do hereby agree, declare and establish the following:

1. Definitions. The following definitions (and additional definitions established below) shall be applicable to this Agreement:

- A. "**Building**" means any permanently enclosed structure on a Lot.
- B. "**Development**" means both of the Lots together, comprising approximately 4.4369 acres.
- C. "**Driveways**" means all access points, driveways and vehicular traffic lanes shown on the site plan of the Lots on Exhibit B attached hereto, as same as may be changed from time-to-time in the discretion of the Owner of the Lot.
- D. "**Governmental Requirements**" shall mean all applicable laws, rules, regulations, and ordinances, and all orders of any governmental agency with jurisdiction over the Development.
- E. "**Lot**" means each of Lot 1-A-1 and Lot 1-B-1, and may be referred to together as the "**Lots**."
- F. "**Owner**" means Lot 1-A-1 Owner and Lot 1-B-1 Owner, and their respective successors in title, who may be referred to together as "**Owners**." If two or more parties own fee simple title to a single Lot, they shall constitute a single "Owner," it being intended that references herein to "Owners" shall mean the Owners of all Lots.
- G. "**Parking Spaces**" means all areas designated for the parking of motor vehicles on a Lot shown on the site plans of the Lots on Exhibit B attached hereto, as same as may be changed from time-to-time in the discretion of the Owner of the Lot.

2. Maintenance, Repair and Restoration.

A. Maintenance and Repair of Lots. Each Owner shall be responsible for the cost and expense of construction, maintenance and repair relating to all Buildings and other improvements located on such Owner's Lot, including without limitation all Driveways and Parking Spaces situated on such Owner's Lot and all exterior lighting on such Lot. Prior to the commencement of construction of improvements and facilities on an Owner's Lot, the Owner shall keep the Lot neat and free of refuse and debris, and in compliance with all Governmental Requirements. During the construction of improvements and facilities on an Owner's Lot, the Owner shall cause the construction site to be maintained in a good and orderly condition, consistent with first class workmanlike habits of construction, and in compliance with all Governmental Requirements. Upon completion of construction of improvements and facilities on any Lot, the Owner of such Lot shall maintain and keep, or cause to be maintained and kept, including without limitation snow removal and sweeping and removal of debris, all improvements, facilities, service areas, driveways, parking spaces and other paved areas, lighting, landscaped areas and signage, in a first-class, safe, neat and clean condition and state of repair, in compliance with all Governmental Requirements.

B. Restoration of Lots. In the event any Building or other improvements or facilities on a Lot are damaged or destroyed by fire or any other casualty, including without limitation all Driveways and Parking Spaces situated on such Lot, the Owner of such Lot shall, at its sole cost and expense, either repair or restore, or cause to be repaired or restored, such Building, improvements and facilities to their prior condition with reasonable commercial diligence; or shall demolish all damaged Buildings, improvements and facilities improvements and restore the affected Lot (or portion thereof) to clean, level, grade, and shall maintain appropriate ground cover plantings so as to maintain a neat and attractive appearance, in compliance with all Governmental Requirements. In the event any Building, improvements or facilities on a Lot, including without limitation all Driveways and Parking Spaces situated on such Lot, are taken by condemnation or conveyance in lieu thereof, the Owner of such Lot shall, with reasonable commercial diligence and at its sole cost and expense, either restore the remaining Building, improvements or facilities to a functional condition, compatible and integrated with and complementary to the remaining Building, improvements or facilities; or shall demolish all damaged Building, improvements or facilities, remove all debris, and restore the affected Lot (or portion thereof) to clean, level grade, and shall maintain appropriate ground cover plantings so as to maintain a neat and attractive appearance, in compliance with all Governmental Requirements.

C. Minimal Interference. Construction, maintenance, repair and/or restoration activities on an Owner's Lot shall not materially interfere with the access or use provided herein by the other Owner or a tenant of such Owner or their respective employees, customers, subtenants, licensees, concessionaires or invitees.

3. Insurance and Indemnification.

A. General Coverage and Limits. Each Owner shall at all times maintain, or cause to be maintained, a policy or policies of liability insurance against claims for bodily injury, death or property damage occurring on, in or about such Owner's Lot with a Combined Single Limit (covering bodily injury liability and property damage) with

commercially reasonable limits of not less than Two Million Dollars (\$2,000,000.00). Such insurance may be in the form of blanket liability coverage applicable to the Owner's Lot, and such coverage limit may be satisfied with underlying and umbrella policies totaling not less than the amount set forth above. An Owner shall, upon written request, provide the other Owner with evidence of such coverage and a description of any plan of insurance being used.

B. Additional Policy Provisions. All policies of insurance required under this Agreement shall provide that the Owner of the other Lot shall be included as an additional insured, and shall contain a provision that the insurance company will give the Owner of the other Lot thirty (30) days advance written notice prior to cancellation or lapse, or the effective date of any reduction in the amounts or scope of coverage.

C. Indemnification. Each Owner hereby agrees to indemnify, defend and save the other Owner harmless from any and all liability, damage, expense, causes of action, suits, claims or judgments arising from injury to person or property and occurring on the indemnifying Owner's Lot, except to the extent caused by the negligence or intentional misconduct of such other Owner or a tenant of such Owner or their respective employees, customers, subtenants, licensees, concessionaires or invitees. To the extent, if at all, any indemnity, hold harmless or insurance provision of this Agreement is invalidated pursuant to the terms of §56-7-1 N.M.S.A. 1978, as amended, the remaining indemnity, hold harmless and insurance provisions of this Agreement shall remain in full force and effect.

4. Easements. The Owners hereby establish a perpetual, nonexclusive easement on the Lots (i) for ingress and egress of vehicular and pedestrian traffic over and across all Driveways, and (ii) for the parking of motor vehicles in the Parking Spaces, for use by the Owners, tenants of Owners, and their respective employees, customers, subtenants, licensees, concessionaires and invitees. Notwithstanding the foregoing, (i) all parking requirements mandated by Governmental Requirements for each Lot shall be satisfied on such Lot, and (ii) employees of any business on a Lot shall park on the Lot where they are employed. The Driveways shall be kept open at all times for the free use as intended in this Agreement; provided, however, that the Owner of a Lot may close or otherwise restrict the use of same for brief periods as may be reasonably required for repair or maintenance. Such closure or restriction for repair or maintenance shall require in each instance at least ten (10) days' written notice to the Owner of the other Lot (except for emergencies) and shall not exceed more than fifteen (15) days in any calendar year. In addition, no part of a Driveway connecting to a public thoroughfare access point shall be totally closed so as to prevent access from the public thoroughfare to the Driveways. The easements granted in this section are not intended to, and shall not be construed as creating, any easement or access rights to any government or governmental authority, for public road right-of-way purposes; nor shall any of the rights and easements hereby created benefit or be an appurtenance to any property other than the Development.

5. Utility Charges. Charges for electrical service to light fixtures in the parking areas shall be separately billed by Lot and paid by the Owner (or tenant) of such Lot prior to delinquency.

6. Enforcement.

A. If an Owner fails to comply with any obligation set forth herein (a **"Defaulting Owner"**), then any other Owner (an **"Affected Owner"**) may, at the Affected Owner's option and after thirty (30) days prior written notice to the Defaulting Owner, in addition to any other remedies the Affected Owner may have in law or equity, may proceed to perform such defaulted obligation on behalf of such Defaulting Owner (and shall have a license to do so) by the payment of money or other action for the account of the Defaulting Owner. The foregoing right to cure shall not be exercised if within the thirty (30) day notice period (i) the Defaulting Owner cures the default, or (ii) if curable but cannot reasonably be cured within thirty (30) days, the Defaulting Owner begins to cure such default within such time period and thereafter diligently and continuously pursues such action to completion. The thirty (30) day notice period shall not be required if an emergency exists, or if such default causes interference with the construction, operation or use of the Affected Owner's Lot which requires immediate attention; and in such event, the Affected Owner shall give such notice (if any) to the Defaulting Owner as is reasonable under the circumstances.

B. Within ten (10) days of written demand therefor (including providing copies of invoices reflecting costs) the Defaulting Owner shall reimburse the Affected Owner for any sum reasonably expended by the Affected Owner due to the default or in correcting the same, together with interest thereon at the rate of Ten Percent (10%) per annum, and if such reimbursement is not paid within said ten (10) days and collection is required, the Affected Owner shall be entitled to file suit to recover the amount so expended, as well as interest as provided above and reasonable costs of collection, including without limitation, reasonable attorneys' fees, expenses and costs of court.

C. Any claim of an Affected Owner for reimbursement, together with interest accrued thereon and collection costs, shall constitute a personal obligation and liability of the Defaulting Owner and shall be secured by an equitable charge and lien on the Lot of the Defaulting Owner and all improvements located thereon. Such lien shall attach and be effective from the date of recording of the Lien Notice hereinafter described. Upon such recording, such lien shall be superior and prior to all other liens encumbering the Lot involved, except that such lien shall not be prior and superior to any mortgages or deeds of trust of record prior to the recording of such Lien Notice, or any renewal, extension or modification (including increases) of previously recorded mortgages or deeds of trust; and any purchaser at any foreclosure sale, as well as any grantee by deed in lieu of foreclosure under any such mortgage or deed of trust shall take title subject only to liens accruing pursuant to this section after the date of such foreclosure sale or conveyance in lieu of foreclosure. To evidence a lien accruing pursuant to this section, the Affected Owner curing the default of a Defaulting Owner or the Affected Owner performing such maintenance, as the case may be, shall prepare a written notice (a **"Lien Notice"**) setting forth (i) the amount owing and a brief statement of the nature thereof; (ii) the Lot to which the payment(s) relate; (iii) the name of the owner or reputed owner owning the Lot involved; and (iv) reference to this Amended Agreement as the source and authority for such lien. The Lien Notice shall be signed and acknowledged by the Affected Owner desiring to file the same and shall be recorded in the real estate records in Bernalillo County, New Mexico. A copy of such Lien Notice shall be mailed to the Defaulting Owner within thirty (30) days after such recording. Any such lien may be enforced by judicial foreclosure upon the Lot to which the lien attached

in like manner as a mortgage on real property is judicially foreclosed under the laws of the State of New Mexico. In any foreclosure, the Lot being foreclosed shall be required to pay the reasonable costs, expenses and attorneys' fees in connection with the preparation and filing of the Lien Notice, as provided herein, and all reasonable costs, expenses and attorneys' fees in connection with the foreclosure.

D. In the event an Owner shall institute any action or proceeding against another Owner relating to the provisions of this Agreement or any default hereunder or to collect any amounts owing hereunder, or in the event an arbitration proceeding is commenced hereunder by agreement of the parties to any dispute, then and in such event the unsuccessful litigant in such action or proceeding shall reimburse the successful litigant therein for such reasonable costs and expenses incurred in connection with any such action or proceeding and any appeals therefrom, including attorneys' fees and court costs.

E. Any remedies provided for in this section are cumulative and shall be deemed additional to any and all other remedies to which any party may be entitled in law or in equity and shall include the right to restrain by injunction any violation or threatened violation by any party of any of the terms, covenants, or conditions of this Agreement and by decree to compel performance of any such terms, covenants, or conditions, it being agreed that the remedy at law for any breach of any such term, covenant, or condition is not adequate.

7. Designee-Lessee. An Owner may designate, by written notice delivered to the other Owner, a lessee with respect to an entire Lot to act as such Owner's designated agent for all purposes under this Agreement, and to exercise all rights and perform all obligations of such Owner under this Agreement. Upon delivery of such written designation to the other Owner, the designated agent shall be recognized by the other Owner as the party responsible for, and with authority regarding, all matters under this Agreement respecting the Lot owned by such Owner, except as otherwise expressly set forth below. Such designation shall remain in full force and effect until delivery to the other Owner of a written revocation of the designation by the Owner (or the Owner's successors or assigns). Notwithstanding the foregoing, (i) the Owner shall remain primarily responsible and liable for the obligations of such Owner under this Agreement, and (ii) the designated agent of an Owner shall have no power or authority to agree or consent to the amendment, modification or termination of this Agreement.

8. Miscellaneous.

A. Compliance with Laws. All easements provided under this Agreement shall be subject to Governmental Requirements. Each Owner shall comply with all Governmental Requirements with respect such Owner's Lot, and each Owner (an "**Indemnifying Owner**") shall indemnify, defend and hold harmless the other Owners, and such other Owners' successors, assigns, heirs, grantees, devisees, tenants, licensees, invitees and agents, from any and all loss, cost, damage, claim or liability to the extent arising out of the noncompliance by the Indemnifying Owner with Governmental Requirements, except to the extent such indemnity is prohibited by Section 56-7-1 NMSA 1978 Comp.

B. Binding Effect; Running with the Land. All the covenants, terms, agreements, conditions, and restrictions set forth in this Agreement are intended to be and shall be construed as covenants running with the land, binding upon, inuring to the benefit of and enforceable by the parties hereto, their respective successors in interest, grantees and assignees, upon the terms, provisions and conditions herein set forth. This Agreement shall bind and inure to the benefit of the parties hereto, their respective heirs, representatives, lessees, successors and assigns. The singular number includes the plural and the masculine gender includes the feminine and neuter.

C. Modification. This Agreement may be modified only by written instrument executed by the Owners of fee simple title to the Lots.

D. Force Majeure. In the event that an Owner shall be delayed or hindered in, or prevented from, the performance of any act required hereunder by reason of inability to procure materials, delay caused by the party seeking enforcement hereof, failure of power or unavailability of utilities, riots, insurrection, war, acts of terrorism, acts of God, governmental laws or regulations (including closure of business mandated by governmental order in connection with the COVID-19 pandemic or other public health emergency) or other reason of a like nature not the fault of such Owner or not within the Owner's control, then performance of such act shall be excused for the period of delay, and the period for the performance of any such act shall be extended for a period equivalent to the period of such delay (collectively, "**Force Majeure**"), but in no event shall the foregoing be construed to excuse or delay the performance of a monetary obligation by an Owner.

E. Notices. Any notice to be given by any Owner hereunder must be given in writing and delivered in person, or by reputable nationwide overnight courier (e.g., Federal Express), or forwarded by certified or registered mail, postage prepaid, return receipt requested, at the address indicated above, unless the party giving such notice has been notified, in writing, of a change of address or of the address of a successor Owner. Any such notice is effective on the date on which such notice is delivered, if notice is given by personal delivery, on the next succeeding business day after deposit with an overnight courier for next day delivery, or if notice is sent through the United States mail, on the date of actual delivery as shown by the addressee's receipt or upon the expiration of three (3) days following the date of mailing, whichever first occurs.

F. Estoppel Certificate. Within not more than twenty (20) days following receipt of a written request (which shall not be more frequent than three (3) times during any calendar year) from the other Owner, each Owner agrees that it will issue, without cost, to the requesting party (or such party's existing or prospective mortgagee, an estoppel certificate stating to the best of the issuer's knowledge that as of such date (a) whether it knows of any default under this Agreement by the requesting Owner and if there are known defaults, specifying the nature thereof, (b) whether this Agreement has been modified or amended in any way by it and if so, then stating the nature thereof, (c) whether any sums are currently due and payable under this Agreement from or to the requesting party, and (d) whether this Agreement is in full force and effect. Such statement shall act as a waiver of any claim by the party issuing it to the extent such claim is based upon facts contrary to those asserted in the statement and to the extent the claim is asserted against a bona fide

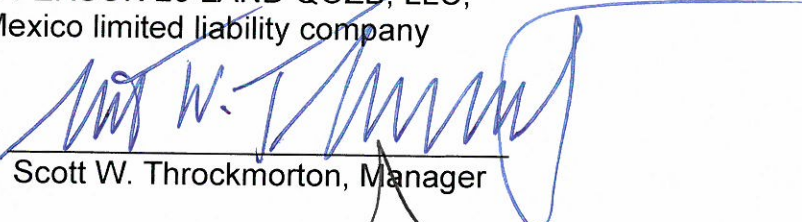
encumbrancer or purchaser for value without knowledge of facts to the contrary of those contained in the statement and who has acted in reasonable reliance upon the statement.

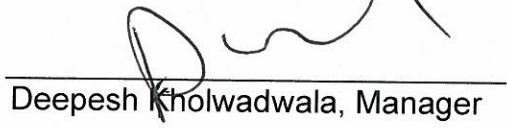
[Signature Pages Follow]

LOT 1-A-1 OWNER SIGNATURE PAGE

LOT 1-A-1 OWNER


JEFFERSON 25 LAND QOZB, LLC,
a Mexico limited liability company

By: 
Scott W. Throckmorton, Manager

By: 
Deepesh Kholwadwala, Manager

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

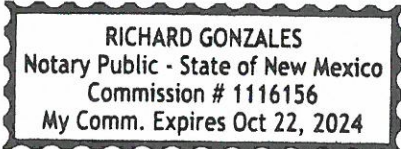
This instrument was acknowledged before me on the 22 day of August, ~~2022~~ ²⁰²³ by Scott W. Throckmorton, Manager of JEFFERSON 25 LAND QOZB, LLC, a Mexico limited liability company.


Notary Public

Notary's Printed Name:
Richard Gonzales


State of New Mexico

My Commission Expires: 10/22/24



STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

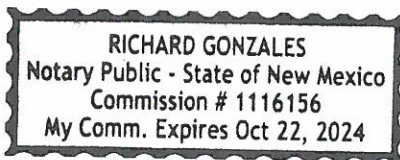
This instrument was acknowledged before me on the 22 day of August, ~~2022~~ ²⁰²³ by Deepesh Kholwadwala, Manager of JEFFERSON 25 LAND QOZB, LLC, a Mexico limited liability company.


Notary Public

Notary's Printed Name:
Richard Gonzales

State of New Mexico

My Commission Expires: 10/22/24



LOT 1-B-1 OWNER SIGNATURE PAGE

LOT 1-B-1 OWNER

JEFFERSON 25 XRAY QOZB, LLC,
a Mexico limited liability company

By: [Signature]
Scott W. Throckmorton, Manager

By: [Signature]
Jeff Jesionowski, Manager

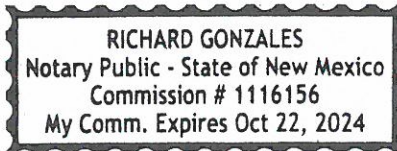
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on the 22 day of August, ~~2022~~ ²⁰²³ by Scott W. Throckmorton, Manager of JEFFERSON 25 LAND QOZB, LLC, a Mexico limited liability company.

[Signature]
Notary Public
State of New Mexico

Notary's Printed Name:
Richard Gonzales

My Commission Expires: 10/22/24



STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on the 22 day of August, ~~2022~~ ²⁰²³ by Jeff Jesionowski, Manager of JEFFERSON 25 LAND QOZB, LLC, a Mexico limited liability company.

[Signature]
Notary Public
State of New Mexico

Notary's Printed Name:
Richard Gonzales

My Commission Expires: 10/22/24

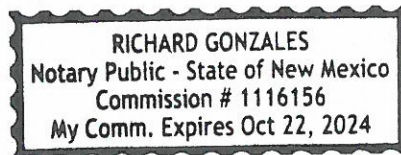


Exhibit A

LOT 1-A-1 LEGAL DESCRIPTION

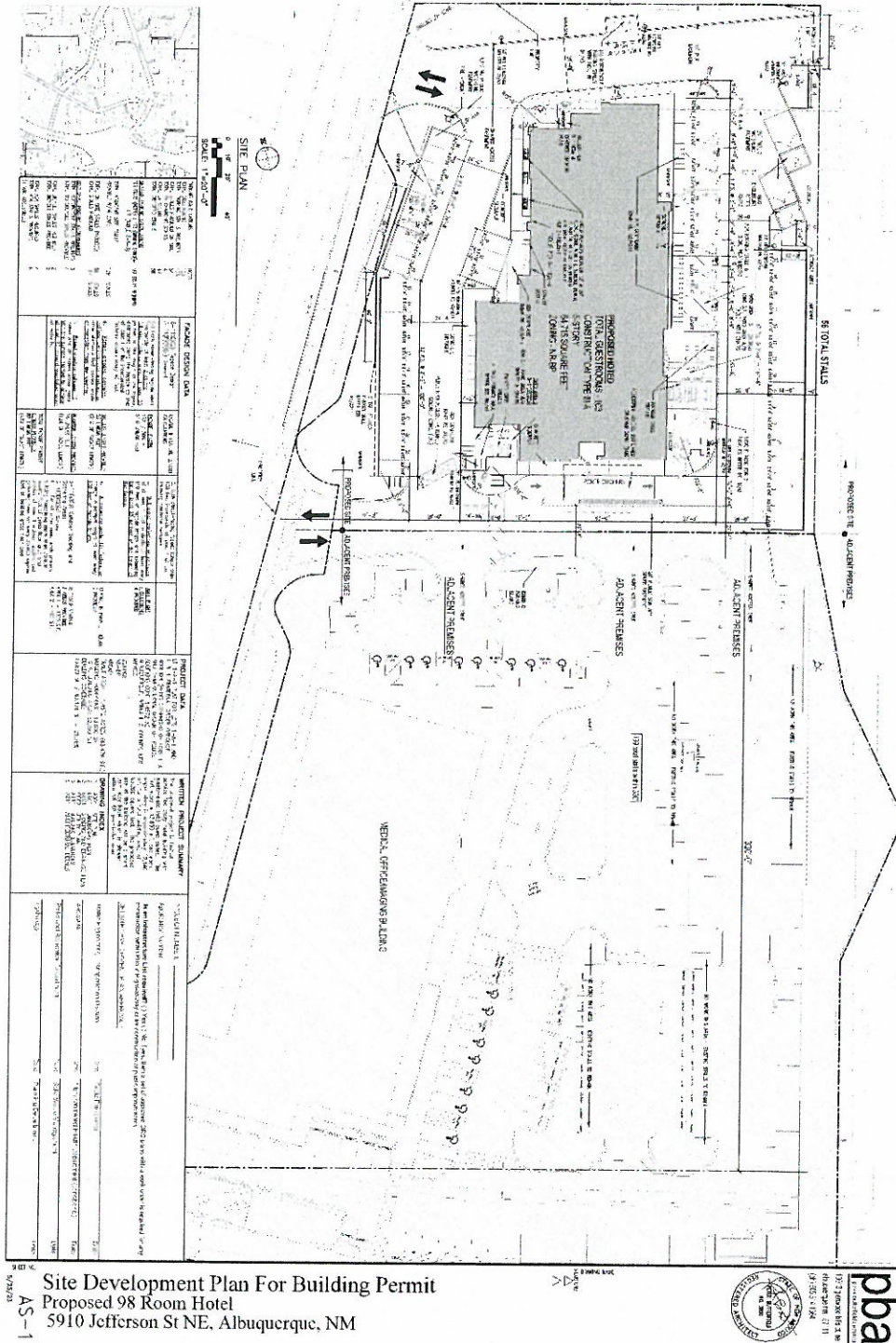
Lot numbered One-A-One (1-A-1) of FRATERNAL ORDER OF POLICE ADDITION, as the same is shown and designated on the Plat entitled, "Plat for Lots 1-A-1 and 1-B-1, FRATERNAL ORDER OF POLICE ADDITION, being comprised of Lots 1-A and 1-B, Fraternal Order of Police Addition, City of Albuquerque, Bernalillo County, New Mexico," filed in the office of the County Clerk of Bernalillo County, New Mexico, on November 24, 2021, in Plat Book 2021C, Page 0134 as Document #2021138745.

LOT 1-B-1 LEGAL DESCRIPTION

Lot numbered One-B-One (1-B-1) of FRATERNAL ORDER OF POLICE ADDITION, as the same is shown and designated on the Plat entitled, "Plat for Lots 1-A-1 and 1-B-1, FRATERNAL ORDER OF POLICE ADDITION, being comprised of Lots 1-A and 1-B, Fraternal Order of Police Addition, City of Albuquerque, Bernalillo County, New Mexico," filed in the office of the County Clerk of Bernalillo County, New Mexico, on November 24, 2021, in Plat Book 2021C, Page 0134 as Document #2021138745.

Exhibit B

SITE PLAN



Site Development Plan For Building Permit
 Proposed 98 Room Hotel
 5910 Jefferson St NE, Albuquerque, NM



EXISTING OVERALL PLAN

ADMINISTRATIVE AMENDMENT

FILE #: SI-2022-00947

PROJECT #: PR-2021-005746

Relocation of two parking islands and a reduction in wall height from 12'-4" to 8'-4"

for screening of mechanical equipment.



Digitally signed by James M. Aranda
DN: cn=James M. Aranda, o=City of Albuquerque,
ou=Planning Department, email=jmaranda@cabq.gov, c=US
Date: 2022.06.27 09:41:27 -06'00'

6/27/2022

APPROVED BY

DATE

03/22/2021 12:05:47 PM

C:\Users\arch\Documents\2100.XRANM_ARCH_Central_Signage.rvt

B1

A1

PARKING SPACE TABULATIONS

PROPOSED	GSF: 34,500	FUTURE	GSF: 12,000 (MAXIMUM)
TOTAL	GSF: 34,500	TOTAL	GSF: 12,000
51000 FOR MEDICAL OFFICE			
TOTAL SPACES REQUIRED = 173 + 4 (EV credit) = 177			
TOTAL SPACES PROVIDED = 172 + 4 (EV credit) = 177			
16 ACCESSIBLE SPACES @ 20'0" X 9'0"			
1 ACCESSIBLE EV SPACE @ 20'0" X 9'0"			
3 EV SPACES @ 18'0" X 9'0" (2'0" OVERHANG)			
65 SPACES @ 20'0" X 9'0"			
60 SPACES @ 18'0" X 9'0" (2'0" OVERHANG)			
27 COMPACT SPACES @ 16'0" X 9'0" (2'0" OVERHANG)			
172 + 4 (EV credit) = 177			
NO ON STREET PARKING PROVIDED			
ACCESSIBLE SPACES			
IDD TABLE 109.3			
ACCESSIBLE SPACES REQUIRED = 6			
ACCESSIBLE SPACES PROVIDED = 16			
ELECTRIC VEHICLE SPACE REQUIREMENTS			
LESS THAN 500 SPACES = NO REQUIREMENT			
REQUIRED = 0			
PROVIDED = 4			
EV CREDIT = EACH EV SPACE = TWO PARKING SPACES 4 X 2 = 8			
MOTORCYCLE SPACES			
IDD TABLE 5-4			
MOTORCYCLE SPACES REQUIRED = 5			
MOTORCYCLE SPACES PROVIDED = 5			
BICYCLE SPACES			
10% OF TOTAL OFF STREET SPACES PROVIDED = 173 X 10% = 18			
BICYCLE SPACES REQUIRED = 18			
BICYCLE SPACES PROVIDED = 20			

LEGEND - SITE PLAN

	BUILDING		EXISTING CONCRETE SIDEWALK OR PAVING
	ASPHALT		FUTURE PHASE OF DEVELOPMENT
	LANDSCAPED AREA		FIRE ACCESS LANE
	CONCRETE SIDEWALK OR PAVING		PROPERTY LINE
	FIRE ACCESS LANE		CURB
	PROPERTY LINE		

GENERAL NOTES

- A) SEE SHEET 0401 FOR ADDITIONAL INFORMATION.
- B) SEE SHEETS AS 105 & AS106 FOR SITE DETAILS.
- C) ALL SITE LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-0. AREA LIGHTING REGULATIONS REFER TO C345-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. REFER TO SHEETS E-101 AND E-102 UNLESS NOTED OTHERWISE. ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE. REFER TO PLAN FOR WIDTHS.
- D) UNLESS NOTED OTHERWISE, ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING.
- E) IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON PAVEMENT.
- F) ALL WHEELCHAIR RAMPS LOCATED WITH THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. REFER TO A1-A3-105.

PROJECT NUMBER: 2100.XRANM_ARCH_Central_Signage

Application Number: 2100.XRANM_ARCH_Central_Signage

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ARCVIVA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



2101 Mountain Road NW Suite B | Albuquerque NM 87104
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CONSULTANTS

Architect: Engineer:



XRANM JEFFERSON OFFICE

5900 JEFFERSON ST., NE
ALBUQUERQUE, NM
87109

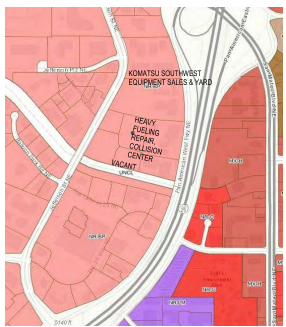
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Revision Schedule		
ISSUE:	DRB SUBMITTAL	
PROJECT NUMBER:	2100.XRANM_ARCH_Central_Signage	
FILE:	2100.XRANM_ARCH_Central_Signage	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	OCT. 06, 2021	

SHEET TITLE
AS101_OVERALL SITE PLAN

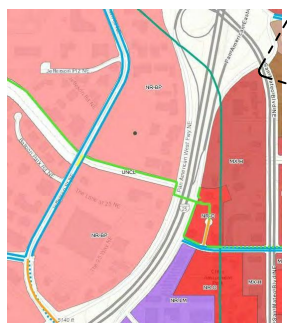
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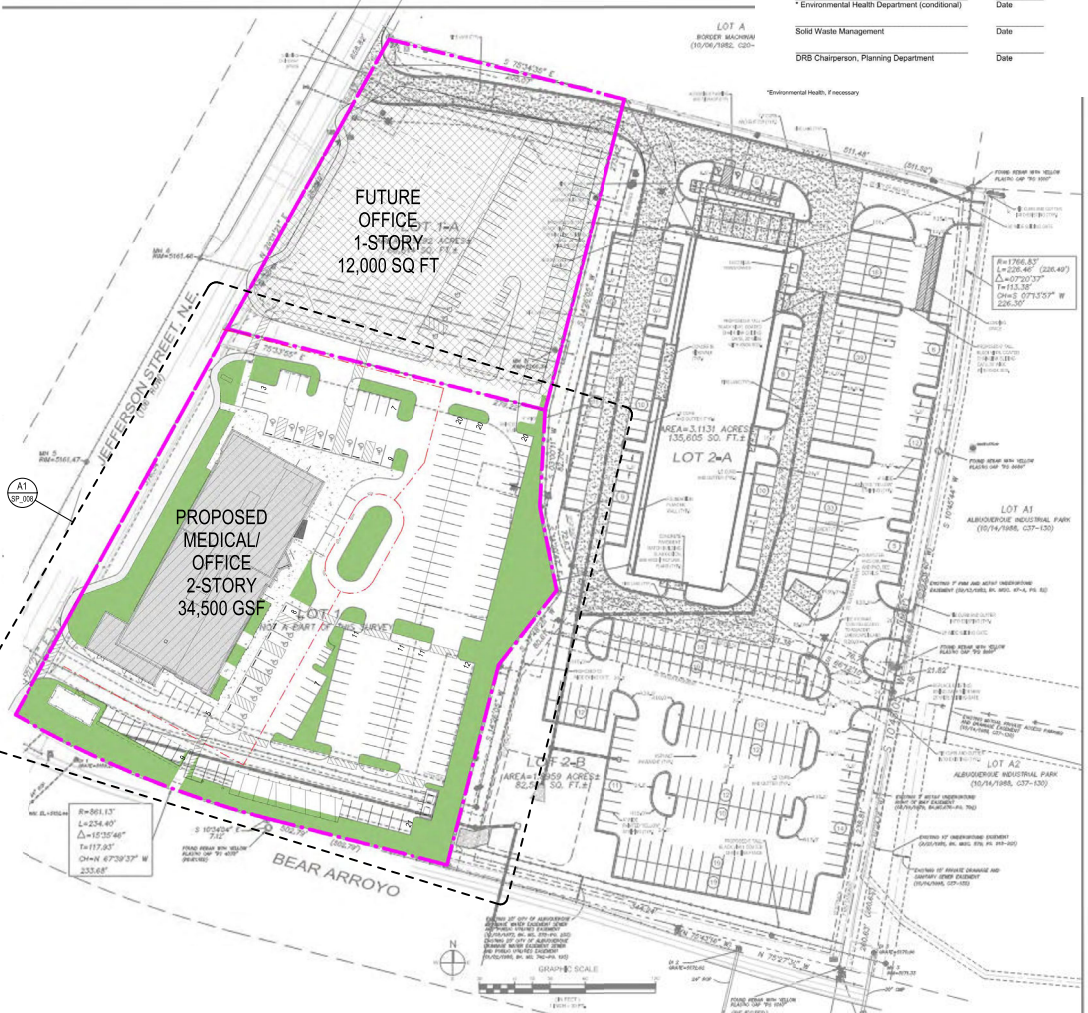
B1 TRAFFIC LIGHTS & ADJACENT DRIVES
1/2" = 1'-0"



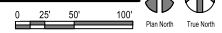
A1 EXISTING ZONE/LAND USE
1/2" = 1'-0"



A2 BIKEWAY-TRANSIT-ARROYO
1/2" = 1'-0"



A3 SITE PLAN - OVERALL
1" = 50'-0"



KEYED NOTES - SITE PLAN

- 1. KNOX BOX, RECESS MOUNT, SERIES 3000, BLACK, COORDINATE FINAL LOCATION WITH FIRE MARSHAL.
- 2. NEW CONCRETE PAVING, REFER TO CIVIL PAVING PLAN.
- 3. ASPHALT PAVING, REFER TO CIVIL PAVING PLAN.
- 4. PAINTED CROSSWALK, REFER TO CIVIL PAVING PLAN.
- 5. CONCRETE ACCESSIBLE CURB RAMP, REFER TO CIVIL PAVING PLAN.
- 6. 6" HIGH, RIVETED METAL GARDEN WALL.
- 7. EXISTING SELEBRATION LAKE.
- 8. EXISTING CONCRETE SIDEWALK.
- 9. SITE LIGHTING, REFER TO ES-101.
- 10. ADA ASBESTOS COVER BUTTON, REFER TO ELECTRICAL & SPECIAL SYSTEMS.
- 11. MANHOLE COVER, REFER TO CIVIL.
- 12. FIRE PULL STATION, REFER TO CIVIL.
- 13. ELECTRICAL TRANSFORMER LOCATION, REFER TO ES-101.
- 14. WATER METER, REFER TO CIVIL.
- 15. GAS METER, REFER TO PLUMBING.
- 16. LANDSCAPE NOTICES, REFER TO LANDSCAPE.
- 17. SPLIT FACED, INTERNALLY COLORED COWL, REUSE CONTAINER AND ENCLOSURE, REFER TO BRAS10.
- 18. LANDSCAPE WALL, REFER TO CIVIL.
- 19. DOOR ACCESS CHAIR RAMP, REFER TO CIVIL.
- 20. NOT USED.

KEYED NOTES - SITE PLAN

- 21. VERTIBOLE.
- 22. SITE SIGNAGE, REFER TO AS10111 FOR SPECIFIC SIGN TYPES.
- 23. POST INDICATOR VALUE.
- 24. ADA FULL ACCESS WALK, REFER TO CIVIL PAVING PLAN.
- 25. 6" HIGH METAL MESH GATE WITH OPER LOCK, REFER TO AS & BRAS10.
- 26. FOUNDATION CONSTRUCTION.
- 27. CUL, VEHICLE CHIMNEY DRAIN, REFER TO ELECTRICAL.
- 28. BICYCLE RACK, REFER TO AA5111.
- 29. PARK CURB.
- 30. 6" HIGH CURB & GUTTER, REFER TO CIVIL PAVING PLAN.
- 31. 6" HIGH CURB WITH CONCRETE WALL FOR LIGHT STANDING.
- 32. PATIENT DROP-OFF PORTIC COCKHOLE.
- 33. GROUND FOR REFER TO ELECTRICAL.
- 34. PATIENT DROP-OFF PORTIC COCKHOLE.
- 35. GROUND FOR REFER TO ELECTRICAL.
- 36. NOT USED.

KEYED NOTES - SITE PLAN

- 40. CLEAR SIGN TRIANGLE, LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGN REQUIREMENT. THEREFORE SIGN, WALLS, TREES AND STRUCTURE BETWEEN 1 AND 1 FEET TALL (AS MEASURED FROM THE GUTTER PAV) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGN TRIANGLE.
- 41. EXISTING PROPERTY LINE.
- 42. NEW 2-STORY, 3-4 STORY MEDICAL OFFICE BUILDING.
- 43. 6" HIGH METAL MESH GATE WITH OPER LOCK SCREEN WALL, REFER TO AS10111.
- 44. 6" HIGH METAL MESH GATE WITH OPER LOCK SCREEN WALL, REFER TO AS10111.
- 45. 6" HIGH METAL MESH GATE WITH OPER LOCK SCREEN WALL, REFER TO AS10111.
- 46. 6" HIGH METAL MESH GATE WITH OPER LOCK SCREEN WALL, REFER TO AS10111.
- 47. NOT USED.
- 48. EXISTING SIDEWALK CUT.
- 49. BEAM ARROYO (SHE, TRAIL & ACCESS).
- 50. ROOF TOP MECHANICAL UNITS.

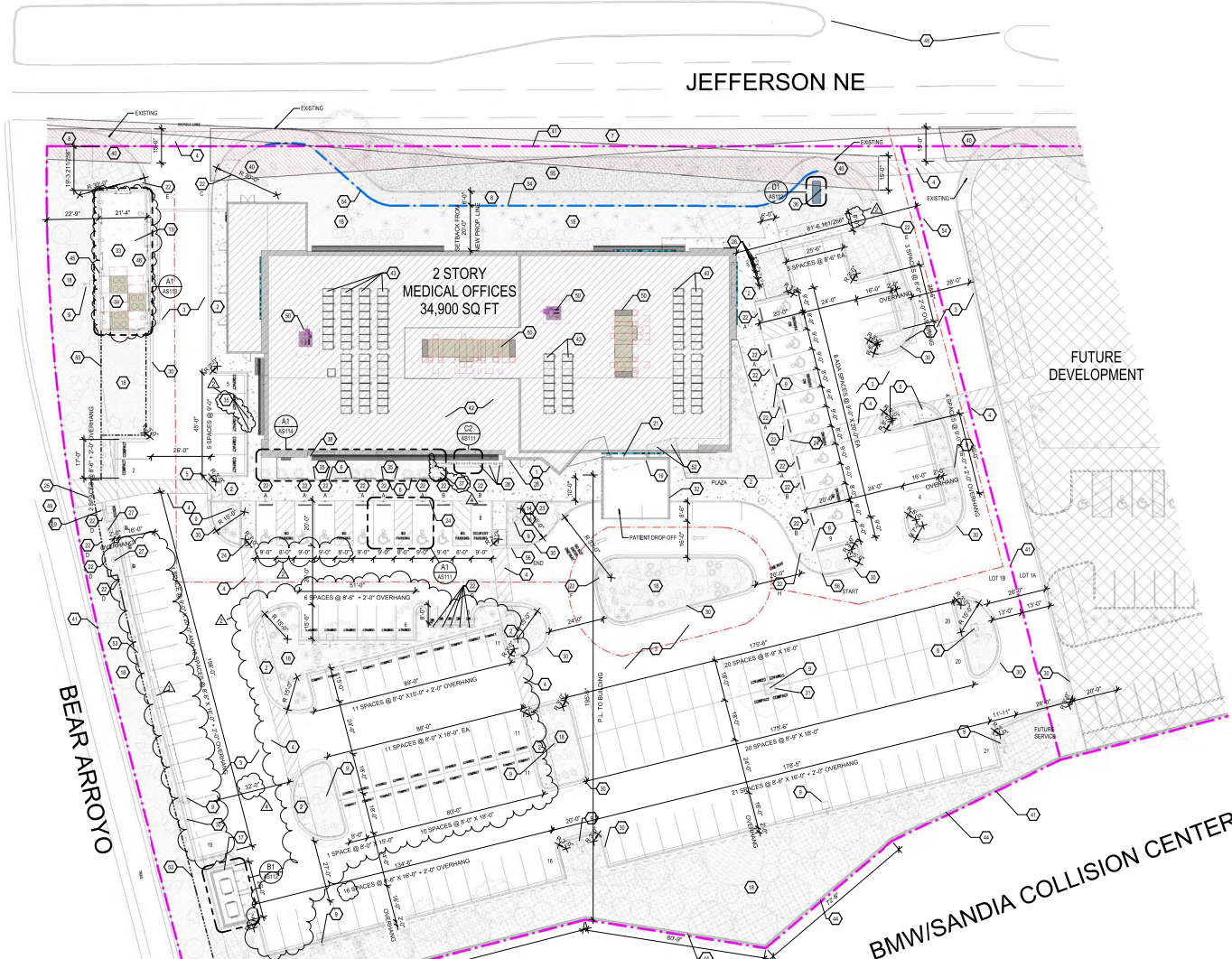
KEYED NOTES - SITE PLAN

- 51. NOT USED.
- 52. BENCH SEATING.
- 53. 6" HIGH METAL FENCE, REFER TO AS & BRAS10.
- 54. NEW PROPERTY LINE, REFER TO AS10111 AND AS10112.
- 55. EXISTING LANDSCAPE BUFFER.

GENERAL NOTES

- A) SEE SHEET 001 FOR ADDITIONAL INFORMATION.
- B) SEE SHEETS 00111, 00112, 00113, 00114 FOR LIFE DETAILS.
- C) ALL SITE LIGHTING SHALL BE IN COMPLIANCE WITH ILLINOIS CODE SECTION 14-16-10, AREA LIGHTING REGULATIONS, REFER TO AS10111 FOR TYPICAL PARKING LOT LIGHT FIXTURES. REFER TO SHEETS 0-101 AND 0-102.
- D) UNLESS NOTED OTHERWISE, ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE. REFER TO PLAN FOR NOTES.
- E) PAVING.
- F) ACCESS ALL COMPACT SPACES WITH "COMPACT" PAINTED ON PAVEMENT.
- G) ALL UNPAVED AREAS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. REFER TO AA5111.

JEFFERSON NE



LEGEND - SITE PLAN

REFER TO LANDSCAPE & CIVIL PLANS FOR ADDITIONAL LEGEND ITEMS

- BUILDING FOOTPRINT
- CLEAR SIGN TRIANGLE
- CONCRETE SIDEWALK PAVING
- LANDSCAPED AREA
- FIRE ACCESS LINE
- EXISTING PROPERTY LINE
- NEW PROPERTY LINE, PER ROW DEDICATION PLAN 18-0030-0002
- FUTURE PHASE OF DEVELOPMENT
- EXISTING CONCRETE SIDEWALK PAVING
- EXISTING LANDSCAPE
- CURB

PARKING SPACE TABULATIONS

REQUIRED	PROV. SPACE	DEFICIT	REMARKS
51000	51000	0	FOR MEDICAL OFFICE
TOTAL	51000	0	
TOTAL SPACES REQUIRED = 173	TOTAL SPACES PROVIDED = 189 + 4 (BY 2000) = 193		

OFF-STREET PARKING

13 - 9'0" X 20'0" - ACCESSIBLE SPACES

TYPICAL PARKING BAY

- 3 - 9'0" X 20'0" - STANDARD
- 2 - 8'0" X 20'0" - STANDARD
- 4 - 9'0" X 8'0" (+ 2'0" OVERHANG) - STANDARD
- 3 - 8'0" X 8'0" (+ 1'0" OVERHANG) - STANDARD
- 1 - 8'0" X 8'0" - COMPACT
- 1 - 8'0" X 15'0" - COMPACT
- 1 - 8'0" X 15'0" (+ 2'0" OVERHANG) - COMPACT
- 1 - 8'0" X 15'0" (+ 2'0" OVERHANG) - COMPACT

ACCESSIBLE SPACES

65 TOILET FIXTURES

ACCESSIBLE SPACES REQUIRED = 6

ACCESSIBLE SPACES PROVIDED = 13 + 4 (VAN) = 16

COMPACT SPACES

25% OF TOTAL OFF-STREET SPACES PROVIDED = 173 X 25% = 43

COMPACT SPACES PERMITTED = 43

COMPACT SPACES PROVIDED = 43

ELECTRIC VEHICLE SPACE REQUIREMENTS

LESS THAN 10% SPACES = NO REQUIREMENT

REQUIRED = 0

PROVIDED = 4

0% CREDIT - EACH VEHICLE SPACE = TWO PARKING SPACES 4 X 2 = 8

MOTORCYCLE SPACES

1% OF TOTAL OFF-STREET SPACES PROVIDED = 173 X 1% = 1.73

MOTORCYCLE SPACES REQUIRED = 1

MOTORCYCLE SPACES PROVIDED = 5

BICYCLE SPACES

1% OF TOTAL OFF-STREET SPACES PROVIDED = 173 X 1% = 1.73

BICYCLE SPACES PROVIDED = 10

STUDIO SW ARCHITECTS

2101 Mountain Road NW Suite B | Albuquerque NM 87104
505-843-9638 | www.studioswarch.com

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CONSULTANTS

Architect: **STUDIO SW ARCHITECTS**

Engineer: **ROBERT GEORGE HEISER** (Professional Engineer No. 2370)

XRANM JEFFERSON OFFICE

5800 JEFFERSON ST., NE
ALBUQUERQUE, NM
87109

NOTE:
THE INFORMATION ON THE MOST CURRENTLY DATED SHEET PREVAILS

No	Date	Description
1	03/21/2022	AS101
2	04/16/2022	AS102
4	09/01/2022	AS104

Revision Schedule

ISSUE: SHELL PERMIT
PROJECT NUMBER: 2120
FILE: 2101-XRANM_ARCH_Central.rvt
DRAWN BY: CSC
CHECKED BY: Checker
DATE: JAN. 14, 2022

SHEET TITLE
SITE PLAN - ENLARGED (LOT 1B)

AS102

A1 SITE PLAN - ENLARGED LOT 1B
1" = 20'0"



C:\Users\jgarcia\OneDrive\2022\XRANM_ARCH_Central.rvt

4/10/2022 5:16:48 PM

C:\Users\james\OneDrive\Documents\SRM\ARCH\Drawn\AS113

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CONSULTANTS

Architect Engineer



XRANM JEFFERSON OFFICE

5800 JEFFERSON ST., NE
 ALBUQUERQUE, NM
 87109

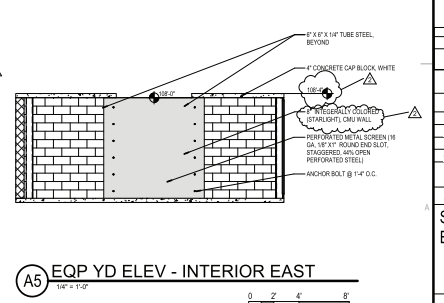
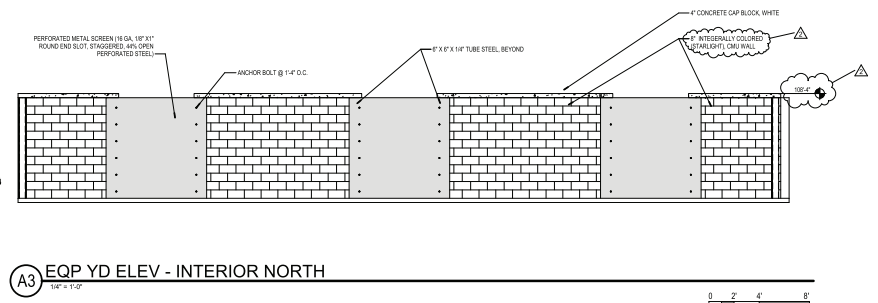
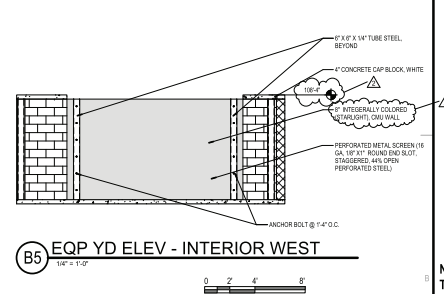
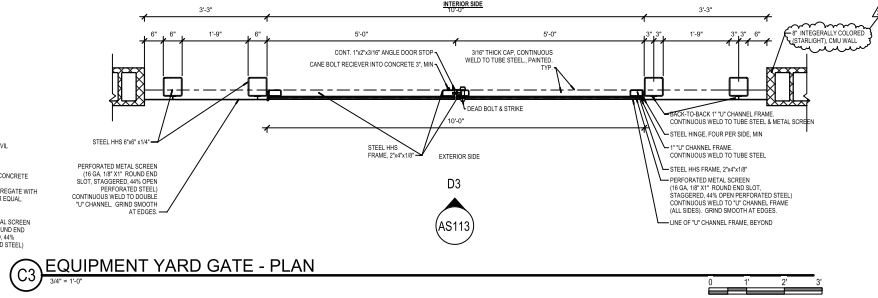
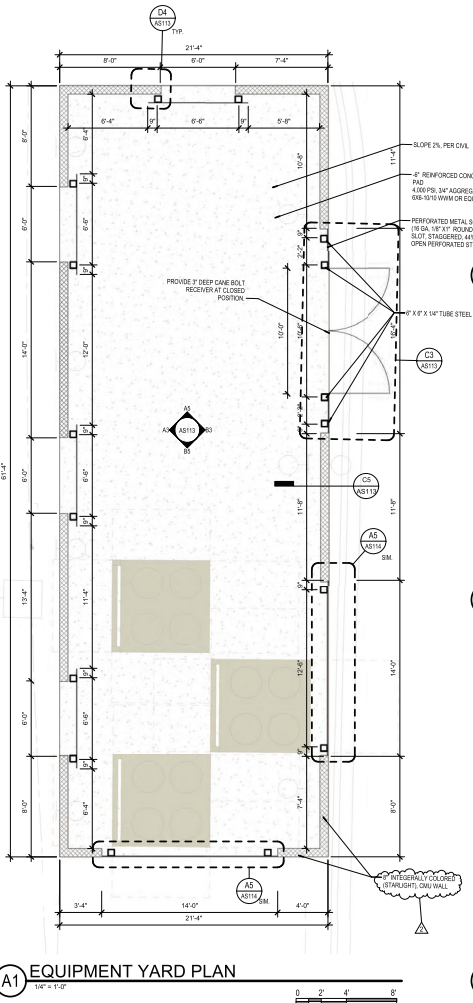
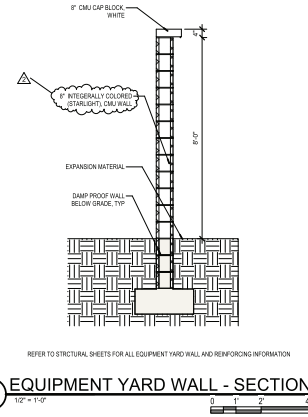
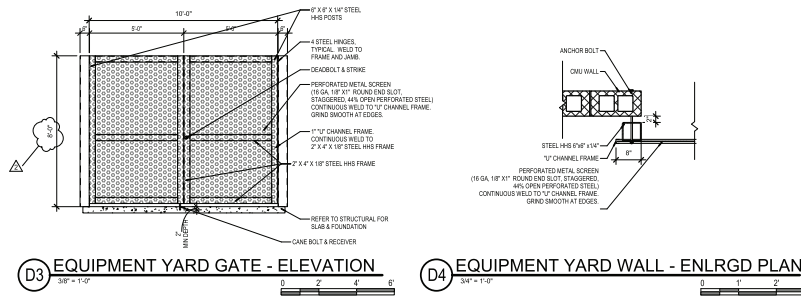
NOTE:
 THE INFORMATION ON THE MOST CURRENTLY DATED SHEET PRESIDES

No	Date	AS102	Description
2	04/15/2022	AS102	Revision Schedule

ISSUE: SHELL PERMIT
 PROJECT NUMBER: 2120
 FILE: 2101 MOUNTAIN ARCH Central.rvt
 DRAWN BY: CSC
 CHECKED BY: Checker
 DATE: JAN. 14, 2022

SHEET TITLE
SITE DETAILS - EQUIPMENT YARD

AS113



PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946

OFFICIAL NOTIFICATION OF DECISION

Jefferson 25 QOZB, LLC
303 Roma NW #2
ABQ, NM 87102

Project# PR-2021-005746
Application#
SI-2021-001661 SITE PLAN

LEGAL DESCRIPTION:

For all or a portion of:
LOT 1-B PLAT OF LOTS 1-A, 1-B, 2-A, & 2-B,
FOP ADDITION zoned NR-BP, located on **5800**
JEFFERSON ST NE between THE LANE AT 25
NE and THE BEAR ARROYO DRAINAGE
EASEMENT containing approximately 4.6
acre(s). (E-17)

On November 17, 2021, the Development Review Board (DRB) held a public meeting concerning the above referenced application and approved the request, with delegation to ABCWUA and Planning, based on the following Findings:

1. This is a request to develop a medical office to house X-Ray Associates of NM and an additional office building.
 1. Pursuant to 6-6(l)(3) Review and Decision Criteria An application for a Site Plan – DRB shall be approved if it meets all of the following criteria:
 - a. 6-6(l)(3)(a) *The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.*

The dimensions, parking, landscaping/screening, and façade design meet/exceed the IDO requirements. The proposed development is set back in accordance with the requirements of the NR-BP zone district.

The 45-foot maximum height of the proposed building is less than the 65-foot maximum permitted building height. The Site Plan includes 30,730 square feet of landscaping where 15,295 feet is required.

- b. 6-6(l)(3)(b) *The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.*

The site has access to a full range of urban services including utilities, roads and emergency services. A Traffic Study was required for this request. The driveways were designed to meet the TIS recommendations.

- c. 6-6(l)(3)(c) *If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.*

The site is not within a Master Plan area.

2. The applicant provided notice as required by 6-1-1 of the IDO.

Conditions:

1. This Site Plan is valid 7 years from DRB approval (11/17/2021). An extension may be requested prior to the expiration date.
2. Final sign off is delegated to ABCWUA for updates to the utility plan and the landscaping plan indicating that no trees are or obstructions shall be located within the easement as discussed.
3. Final sign off is delegated to Planning to check for adjustment of clear site triangles and bike rack detail and to check on updates to the site plan regarding parking space requirements, minor signage, ramps and clarification of the landscape island curb radii, for the redesign of plant material along the sewer easement and alternative landscaping plan if needed, stabilization for the storm water quality pond, and the recorded infrastructure improvements agreement.
4. The applicant will obtain final sign off from Transportation and Planning by January 27, 2021 or the case may be scheduled for the next DRB hearing and could be denied per the DRB Rules of Procedure.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the DRB's decision or by **DECEMBER 2, 2021**. The date of the DRB's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

Official Notice of Decision


Project # PR-2021-005747 Application# SI-2021-001661

Page 3 of 3

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to PLNDRS@CABQ.GOV (if files are less than 9MB in size). For files larger than 9 MB in size, please send an email to PLNDRS@cabq.gov and request that staff send you a link via Smartfile to upload the files to. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Sincerely,

A handwritten signature in black ink, appearing to read "J. Wolfley". The signature is fluid and cursive, with the first letter "J" being particularly large and stylized.

Jolene Wolfley
DRB Chair

JW/mg Studio Southwest 2101 Mountain RD ABQ. NM 87104

PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946

OFFICIAL NOTIFICATION OF DECISION

Jefferson 25 QOZB, LLC
303 Roma NW #2
ABQ, NM 87102

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Application#
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Sincerely,

A handwritten signature in black ink, appearing to read 'J. Wolfley', written in a cursive style.

Jolene Wolfley
DRB Chair

JW/mg Studio Southwest 2101 Mountain RD ABQ. NM 87104

CRITERIA

FLOODPLAINS AND FLOOD HAZARD AREAS- NONE PRESENT

STEEP SLOPES- NONE PRESENT

UNSTABLE SOILS- NONE PRESENT

WETLANDS- NONE PRESENT

ARROYOS- NONE PRESENT

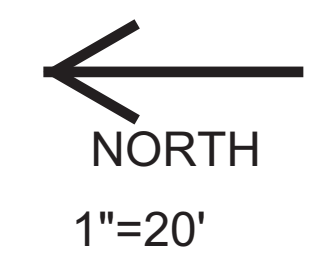
IRRIGATION FACILITIES- NONE PRESENT

ESCARPMENT- NONE PRESENT

ROCK OUTCROPPINGS- NONE PRESENT

LARGE STAND OF MATURE TREES- NONE PRESENT

ARCHEOLOGICAL SITES- NOT APPLICABLE




7/25/23

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 11/27/2023
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- | | |
|-------------|--------------------------------------|
| <u>X</u> 1. | Date of drawing and/or last revision |
| <u>X</u> 2. | Scale: 1.0 acre or less 1" = 10' |
| | 1.0 - 5.0 acres 1" = 20' |
| | Over 5 acres 1" = 50' |
| | Over 20 acres 1" = 100' |

SITE PLAN CHECKLIST

- X 3. Bar scale
- X 4. North arrow
- X 5. Legend
- X 6. Scaled vicinity map
- X 7. Property lines (clearly identify)
- X 8. Existing and proposed easements (identify each)
- N/A 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- X A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- X B. Square footage of each structure
- X C. Proposed use of each structure
- X D. Signs (freestanding) and other improvements
- X E. Walls, fences, and screening: indicate height, length, color and materials
- X F. Dimensions of all principal site elements or typical dimensions
- X G. Loading facilities
- td H. Site lighting (indicate height & fixture type)
- N/A I. Indicate structures within 20 feet of site
- N/A J. Elevation drawing of refuse container and enclosure, if applicable.
- X K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- X A. Parking layout with spaces numbered per aisle and totaled.
 - X 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - X 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - N/A 3. On street parking spaces
- X B. Bicycle parking & facilities
 - X 1. Bicycle racks – location and detail
 - N/A 2. Other bicycle facilities, if applicable
- X C. Vehicular Circulation (Refer to DPM and IDO)
 - X 1. Ingress and egress locations, including width and curve radii dimensions
 - X 2. Drive aisle locations, including width and curve radii dimensions
 - X 3. End aisle locations, including width and curve radii dimensions
 - X 4. Location & orientation of refuse enclosure, with dimensions
 - X 5. Loading, service area, and refuse service locations and dimensions
- X D. Pedestrian Circulation
 - X 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- X 2. Location and dimension of drive aisle crossings, including paving treatment
- n/a 3. Location and description of amenities, including patios, benches, tables, etc.

X E. Off-Street Loading

- X 1. Location and dimensions of all off-street loading areas

n/a F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- n/a 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- N/A 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- N/A 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

X A. Locate and identify adjacent public and private streets and alleys.

- X 1. Existing and proposed pavement widths, right-of-way widths and curve radii
- n/a 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- X 3. Location of traffic signs and signals related to the functioning of the proposal
- X 4. Identify existing and proposed medians and median cuts
- X 5. Sidewalk widths and locations, existing and proposed
- X 6. Location of street lights
- X 7. Show and dimension clear sight triangle at each site access point
- X 8. Show location of all existing driveways fronting and near the subject site.

X B. Identify Alternate transportation facilities within site or adjacent to site

- X 1. Bikeways and bike-related facilities
- X 2. Pedestrian trails and linkages
- N/a 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- X 1. Scale - must be same as scale on sheet #1 - Site plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Existing and proposed easements
- X 6. Identify nature of ground cover materials
 - X A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - X B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - X C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

City of Albuquerque
Environmental Planning Commission
Plaza Del Sol, 600 Second Street NW
Albuquerque, NM 87102

RE: AGENT AUTHORIZATION NOTICE – 5910 JEFFERSON ST NE ALBUQUERQUE 87109

To Whom It May Concern,

JEFFERSON 25 LAND QOZB LLC C/O ARGUS INVESTMENT REALTY LLC, hereby authorizes Modulus Architects and Land Use Planning Inc., to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the property located at the 5910 JEFFERSON ST NE ALBUQUERQUE 87109 and legally described as:

LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 1-B-1 FRATERNAL ORDER OF POLICE ADDITION (BEING COMPRISED OF LOTS 1-A AND 1-BFRATERNAL ORDER OF POLICE ADDITION) CONT 1.4572 AC

This authorization is valid until further written notice from JEFFERSON 25 LAND QOZB LLC C/O ARGUS INVESTMENT REALTY LLC or Modulus Architects and Land Use Planning Inc. (Agent). Please direct all correspondence and communication to our Agent for the purpose of this request for the Development Facilitation Team and all corresponding applications.

Sincerely,



JEFFERSON 25 LAND QOZB LLC C/O ARGUS INVESTMENT REALTY LLC

Scott Throckmorton, Manager

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Regina Skaya
(Applicant or Agent)

11/27/2023
(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____

Regina Okoye

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Tuesday, July 25, 2023 11:32 AM
To: Regina Okoye
Subject: 5910 JEFFERSON ST NE & 5800 JEFFERSON ST NE Neighborhood Meeting Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_E-17-Z.pdf

PLEASE NOTE:
The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

As of Tuesday, July 25, 2023, there are **NO** neighborhood associations/coalitions to notify.

Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to attach a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

Thank you.



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334
dlcarmona@cabq.gov or ONC@cabq.gov
Website: www.cabq.gov/neighborhoods



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From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Tuesday, July 25, 2023 9:57 AM
To: Office of Neighborhood Coordination <ROKOYE@MODULUSARCHITECTS.COM>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Development Facilitation Team

Contact Name

Regina Okoye

Telephone Number

5052677686

Email Address

ROKOYE@MODULUSARCHITECTS.COM

Company Name

Modulus Architects

Company Address

100 Sun Ave NE

City

Albuquerque

State

NM

ZIP

87107

Legal description of the subject site for this project:

UPC: 101706233314940107

Owner: JEFFERSON 25 LAND QOZB LLC C/O ARGUS INVESTMENT REALTY LLC

Owner Address: 500 4TH ST NW SUITE 275 ALBUQUERQUE NM 87102-2102

Situs Address: 5910 JEFFERSON ST NE ALBUQUERQUE 87109

Legal Description: LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 1-B-1 FRATERNAL ORDER OFPOLICE ADDITION (BEING COMPRISED OF LOTS 1-A AND 1-BFRATERNAL ORDER OF POLICE ADDITION) CONT 1.4572 AC

UPC: 101706232211840105

Owner: JEFFERSON 25 XRAY QOZB LLC C/O ARUS INVESTMENT REALTY INC

Owner Address: 500 4TH ST NW SUITE 275 ALBUQUERQUE NM 87102-2102

Situs Address: 5800 JEFFERSON ST NE ALBUQUERQUE 87109

Legal Description: LT 1-B-1 PLAT FOR LOTS 1-A-1 AND 1-B-1 FRATERNAL ORDER OFPOLICE ADDITION (BEING COMPRISED OF LOTS 1-A AND 1-BFRATERNAL ORDER OF POLICE ADDITION) CONT 2.9797 AC

Acres: 2.9797

Tax Year: 2023

Physical address of subject site:

Subject site cross streets:

5910 JEFFERSON ST NE ALBUQUERQUE 87109 & 5800 JEFFERSON ST NE ALBUQUERQUE 87109

Other subject site identifiers:

This site is located on the following zone atlas page:

E-17-Z

Captcha

x

Regina Okoye

From: gina okoye <ginaokoye1234@yahoo.com>
Sent: Monday, November 27, 2023 3:45 PM
To: Regina Okoye
Subject: Fw: 5910 JEFFERSON ST NE & 5800 JEFFERSON ST NE Neighborhood Meeting Inquiry Sheet Submission
Attachments: image001.png; image002.png; image003.png; image004.png; image005.png; IDOZoneAtlasPage_E-17-Z.pdf

From: "Carmona, Dalaina L." <dlcarmona@cabq.gov>
Date: July 25, 2023 at 11:33:02 AM MDT
Subject: 5910 JEFFERSON ST NE & 5800 JEFFERSON ST NE Neighborhood Meeting Inquiry Sheet Submission

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Thank you.

Dalaina L. Carmona

Senior Administrative Assistant

Office of Neighborhood Coordination

Council Services Department

1 Civic Plaza NW, Suite 9087, 9th Floor

Albuquerque, NM 87102

505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods

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Cc: Office of Neighborhood Coordination <onc@cabq.gov>

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Contact Name

Regina Okoye

Telephone Number

5052677686

Email Address

ROKOYE@MODULUSARCHITECTS.COM

Company Name

Modulus Architects

Company Address

100 Sun Ave NE

City

Albuquerque

State

NM

ZIP

87107

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Acres: 2.9797

Tax Year: 2023

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Subject site cross streets:

5910 JEFFERSON ST NE ALBUQUERQUE 87109 & 5800 JEFFERSON ST NE ALBUQUERQUE 87109

Other subject site identifiers:

This site is located on the following zone atlas page:

E-17-Z

Captcha

x