



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Desert Springs Church / Ron Giese, Executive Pastor		Phone: 505-797-8700
Address: 705 Osuna Road NE		Email: ron@dscabq.com
City: Albuquerque	State: NM	Zip: 87113
Professional/Agent (if any): Chris Green, PLA, ASLA, Vice-President, Consensus Planning, Inc.		Phone: 505-764-9801
Address: 302 Eighth Street NW		Email: cgreen@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Owner	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

Minor Amendment to Pre-IDO Site Plan Approval.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: L-1	Block: 0000	Unit:
Subdivision/Addition: Vista del Norte	MRGCD Map No.:	UPC Code: 101606228626511734
Zone Atlas Page(s): E-16-Z	Existing Zoning: MX-T	Proposed Zoning: N/A
# of Existing Lots: 1	# of Proposed Lots: N/A	Total Area of Site (acres): 10.24 acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 705 Osuna Road NE	Between: Vista del Norte Drive	and: Edith Road
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Z-95-73, DRB-98-71, PR#100490, PR# 1001436

Signature: <i>Chris Green</i>	Date: July 22, 2021
Printed Name: Chris Green, Vice-President, Consensus Planning, Inc.	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-01136	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project # PR-2021-005784

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
 - Copy of the Official Notice of Decision associated with the prior approval
 - Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
 - Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
 - Copy of the Official Notice of Decision associated with the prior approval
 - Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

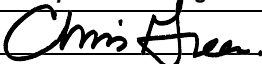

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: July 22, 2021</p>
<p>Printed Name: Chris Green, PLA, ASLA, Principal, Consensus Planning, Inc.</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Project Number:</p> <p style="font-size: 1.2em; font-weight: bold;">PR-2021-005784</p>	<p>Case Numbers</p> <p style="font-size: 1.2em; font-weight: bold;">SI-2021-01136</p>
<p>-</p>	
<p>-</p>	
<p>Staff Signature:</p>	
<p>Date:</p>	
	

July 19, 2021

City of Albuquerque
Planning Department
600 2nd St NW
Albuquerque, NM 87102

To Whom It May Concern:

Desert Springs Church hereby authorizes Consensus Planning, and its employees, to obtain information, submit and process applications, represent the project at meetings and public hearings, and act as our agent on all matters related to the entitlement of the property located at 705 Osuna Road NE.

Sincerely,

Desert Springs Church

Signature:

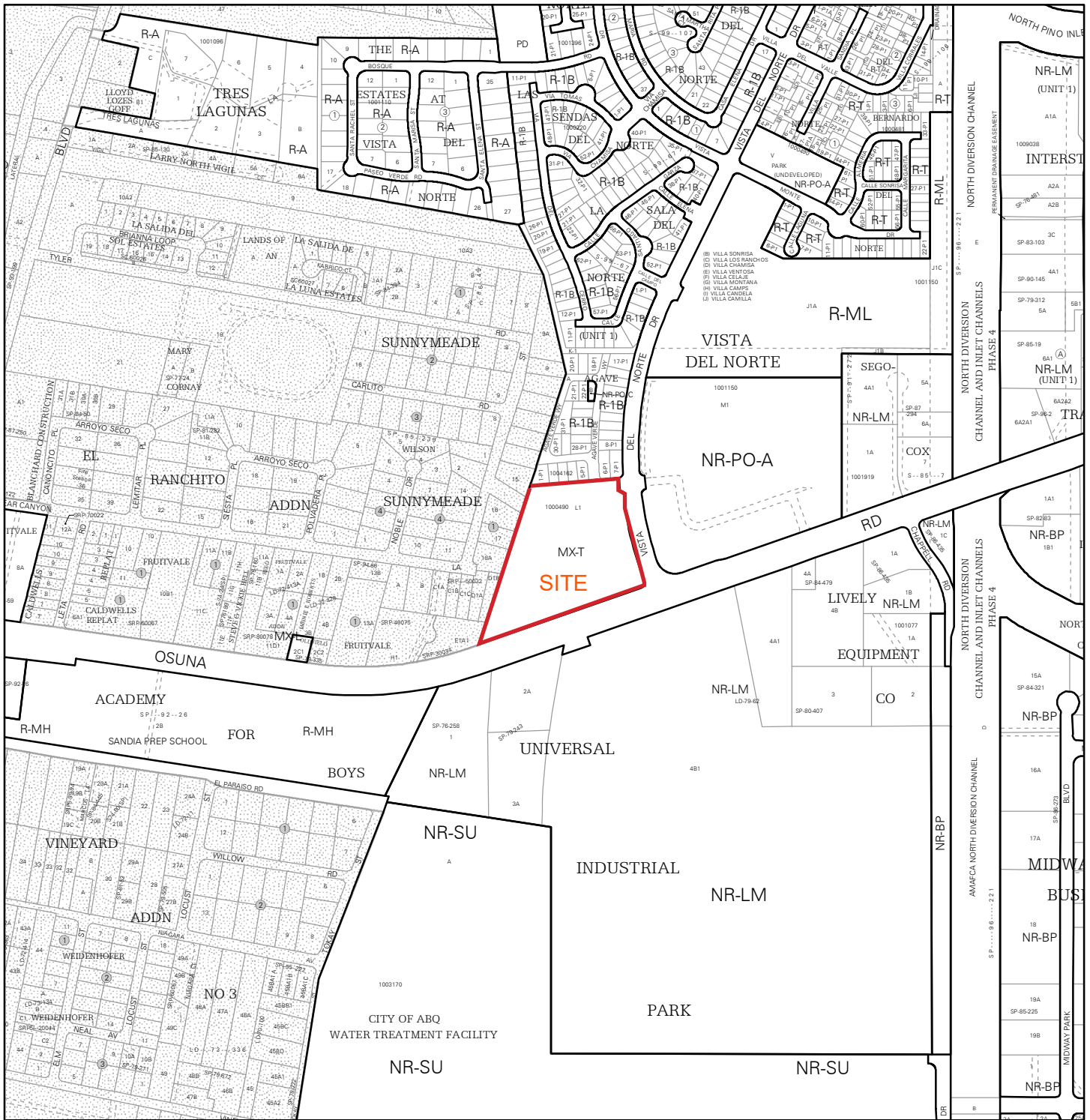


Printed Name:

Ronald L. Giese, Jr.

Title:

Executive Pastor



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
E-16-Z

Gray Shading
Represents Area Outside of the City Limits

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



July 22, 2021

James Aranda
Zoning Enforcement Officer
City of Albuquerque Planning Department
600 Second Street NW
Albuquerque, New Mexico 87102

RE: Request for Minor Amendment to Pre-IDO Site Plan Approval

Dear Mr. Aranda,

The purpose of this letter is to request a Minor Amendment to a Pre-Integrated Development Ordinance (IDO) Site Plan Approval on behalf of Desert Springs Church per IDO *Section 6-4(Z)*. The property is located at 705 Osuna Road NE and is comprised of one parcel zoned MX-T. The legal description of the property is *Tract L-1 Plat for Vista del Norte Subdivision Tract L-1& L-2 containing 10.2485 Acres*. The lot contains the existing Desert Springs Church and associated parking. The Applicant is requesting a Minor Amendment to increase the square footage in the Approved Site Plan approved in 2001, prior to the adoption of the Integrated Development Ordinance (IDO).



Subject Property in green.

CASE HISTORY

The subject property is a part of several planning approvals for the Vista del Norte Subdivision. The subject property was Tract L of the original Vista del Norte Site Plan for Subdivision (Z-95-73) approved November 16, 1995, by EPC. The Vista del Norte Site Plan for Subdivision has been amended three times. The Development Review Board (DRB) approved the first amendment to the Site Plan for Subdivision on July



21, 1998 (DRB-98-71). On July 20, 2000, the DRB approved a second amendment, which divided Tract L into two tracts, L-1 (the site of the future Desert Springs Church) and L-2 (future Vista del Norte Park) (PR#100490) and required that Tract L allow for uses in the O-1 Zone. A third amendment was approved by EPC on March 23, 2001, to remove areas from the Site Plan for Subdivision, of which the subject property was not a part (PR# 100490).

On November 15, 2001, a Site Plan for Building Permit was approved by the Environmental Planning Commission (PR# 1001436) for the Desert Springs Church development. EPC delegated the Site Plan to the DRB for final approval, which occurred on November 28, 2001 (PR# 1001436). It is this DRB Approved Site Plan for which the Applicant is requesting a Minor Amendment (see attached Approved Site Plan).

DESCRIPTION OF MINOR AMENDMENT

The Applicant requests a Minor Amendment to the existing Approved Site Plan for Subdivision to allow for an expansion of the church facility and additional parking area. The Minor Amendment proposes the following:

- A lesser expansion of the existing church facility than the Approved Site Plan
- Infill of the existing courtyard
- New parking area west of the church facility of the site
- New landscaping associated with the church expansion area
- Proposed locations for two future new educational buildings

RESPONSE TO MINOR AMENDMENT REQUIREMENTS

The following is an explanation of how the request meets the specific requirements for a Minor Amendment approval per IDO *Section 6-4(Z)(1)(a) Minor Amendments*:

1. **The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.**

Applicant Response: The existing Approved Site Plan specifies the requirements in place at the time of approval. The requested change meets the original requirements as specified in the "General Notes" on the Approved Site Plan in the following ways:

- All standard parking spaces are 8.5'W x 20'D.
- The requested changes to the site plan will meet all requirements for handicapped spaces specified on the original site plan.
- Parking spaces exceed previous parking requirements.
- The requested changes comply with the Vista del Norte Site Plan for Subdivision.

The requested changes also meet or exceed the EPC Conditions of Approval for Landscaping and Public Works outlined in the attached EPC Notification



of Decision, 2001 (see attached proposed Landscape and Grading and Drainage Plans).

2. **The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.**

Applicant Response: The requested change to the Desert Springs Church site is within the maximum thresholds for Minor Amendments established in IDO *Table 6-4-4*. For a lot \leq 10,000 square feet in any Mixed-Use Zone the maximum threshold for a Minor Amendment is 10% of building gross floor area. Comparisons of square footage for the Approved Site Plan and the proposed Minor Amendment are shown in the following tables:

Original Approval	Square Footage
Phase 1 Building	40,253 sf
Proposed Additions	35,405 sf
Proposed Future New Buildings	15,440 sf
Total	91,098 sf

Proposed Minor Amendment	Square Footage
Phase 1 Building (existing)	40,253 sf
Proposed Additions	10,015 sf
Proposed Future New Buildings	41,700 sf
Total	91,968 sf

The requested Minor Amendment adds 870 square feet to the original Approved Site Plan. This falls far below the threshold of 10% of “building gross floor area” established in the IDO.

To illustrate the differences between the Proposed Site Plan and the Approved Site Plan, the attached Site Plan Comparison Exhibit shows the original buildings from the Approved Site Plan in red and the proposed Minor Amendment changes in blue. The Approved Site Plan shows more square footage dedicated to the church building additions. The Proposed Site Plan shows a reduction in square footage for additions to accommodate a small expansion of the church building and infill of the existing courtyard (shown in gray on the proposed Site Plan). Square footage on the proposed Minor Amendment is increased to accommodate two future new buildings.

3. **The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.**

Applicant Response: The requested change will not require major public infrastructure since all infrastructure is in place for this development. The proposed changes will not change access or circulation that would warrant



additional review. The new parking on the west side of the building meets the previous parking requirements as well as IDO minimum parking space requirements for Religious Institutions (see General Notes on Proposed Site Plan). The additional parking is located in the specified area for future parking on the Approved Site Plan.

4. No deviations, Variances, or Waivers shall be granted for minor amendments.

Applicant Response: This request does not include any deviations, variances, or waivers.

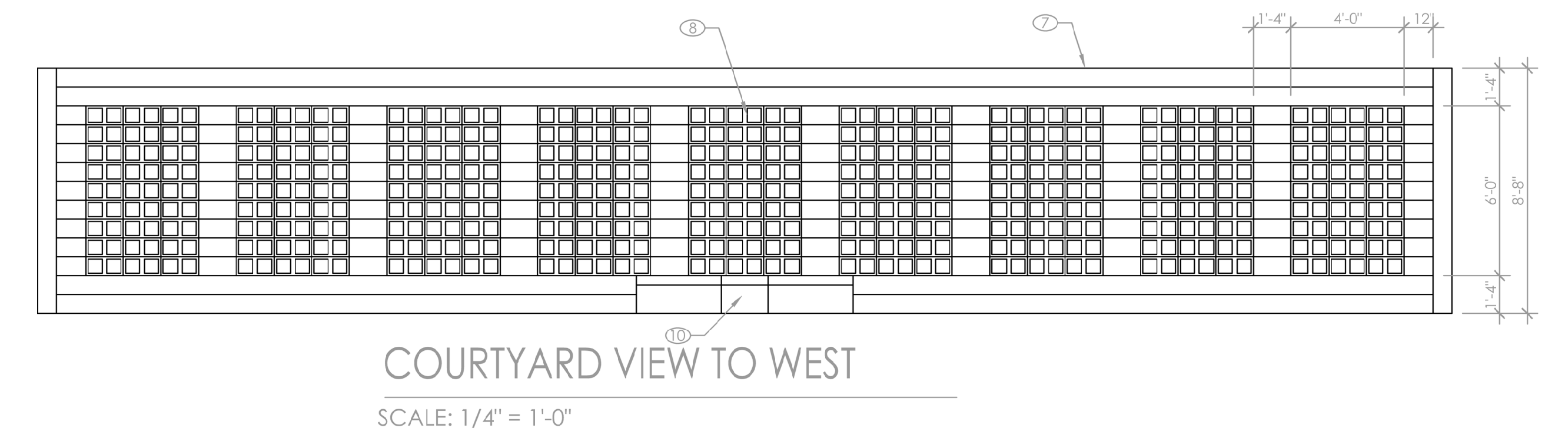
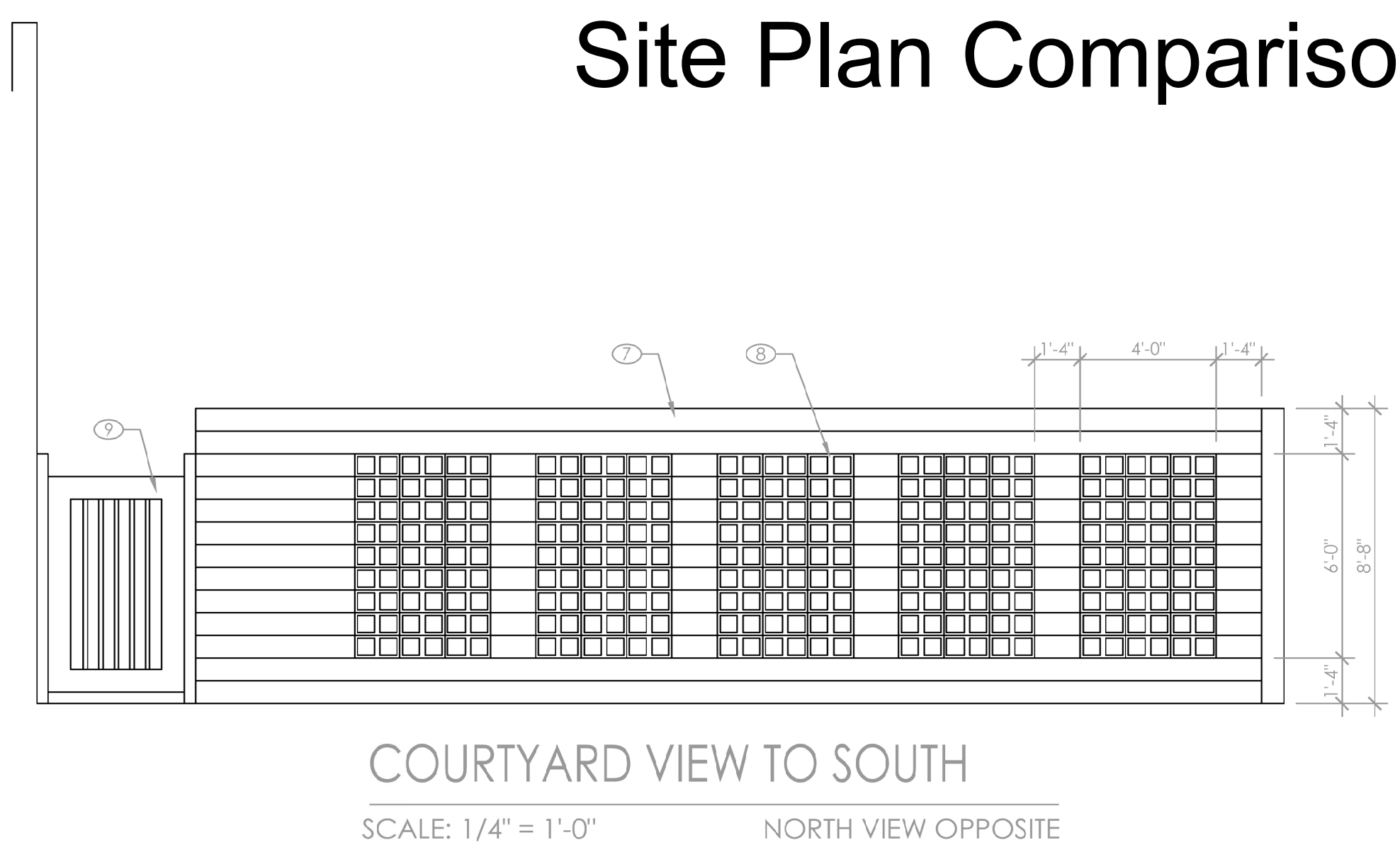
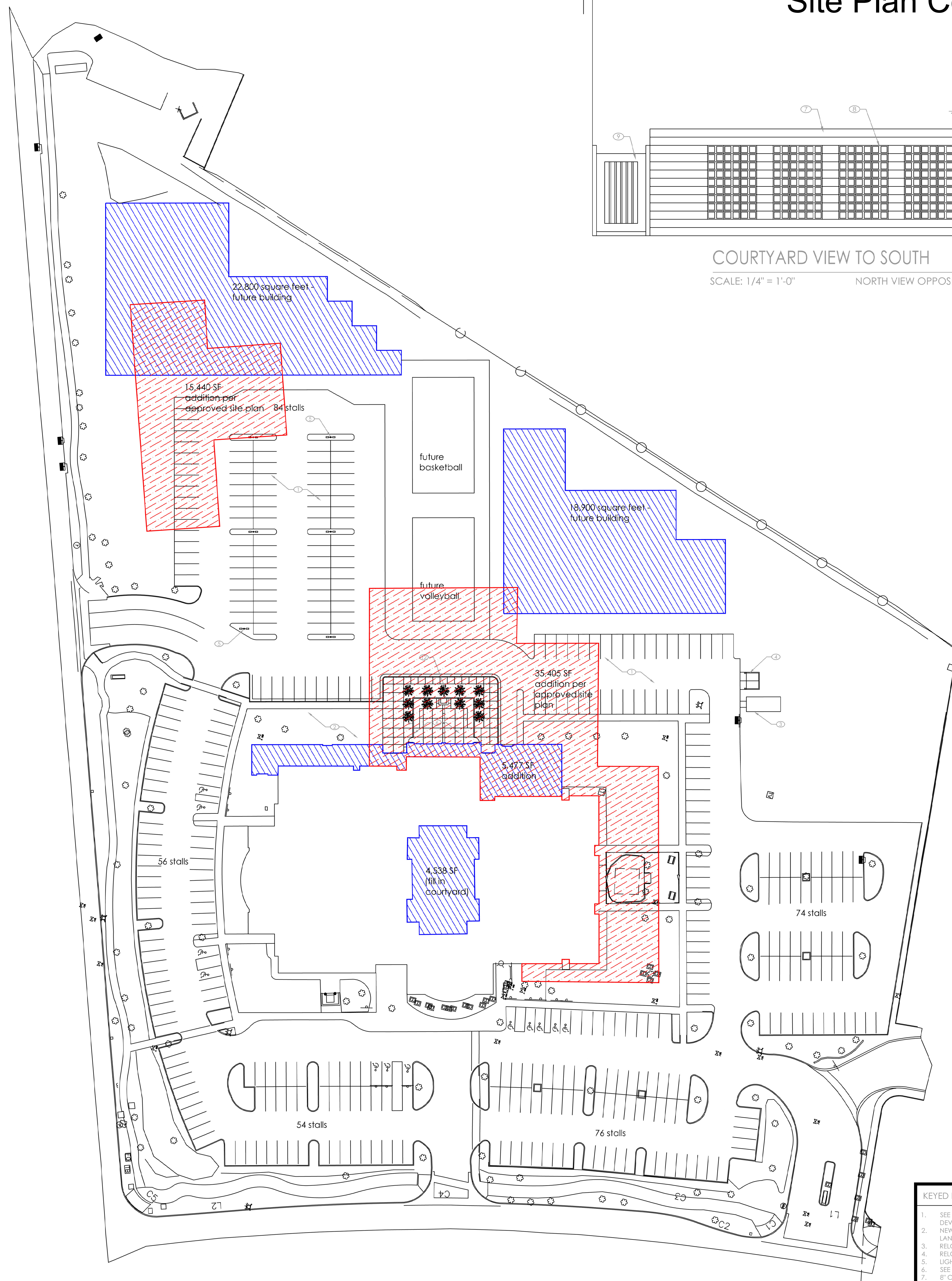
CONCLUSION

On behalf of Desert Springs Church, we respectfully request the Zoning Enforcement Officer's approval of this Minor Amendment to the existing Approved Site Plan for Subdivision.

Sincerely,

Chris Green, Vice-President, PLA, ASLA, LEED AP
Consensus Planning, Inc.

Site Plan Comparison Exhibit



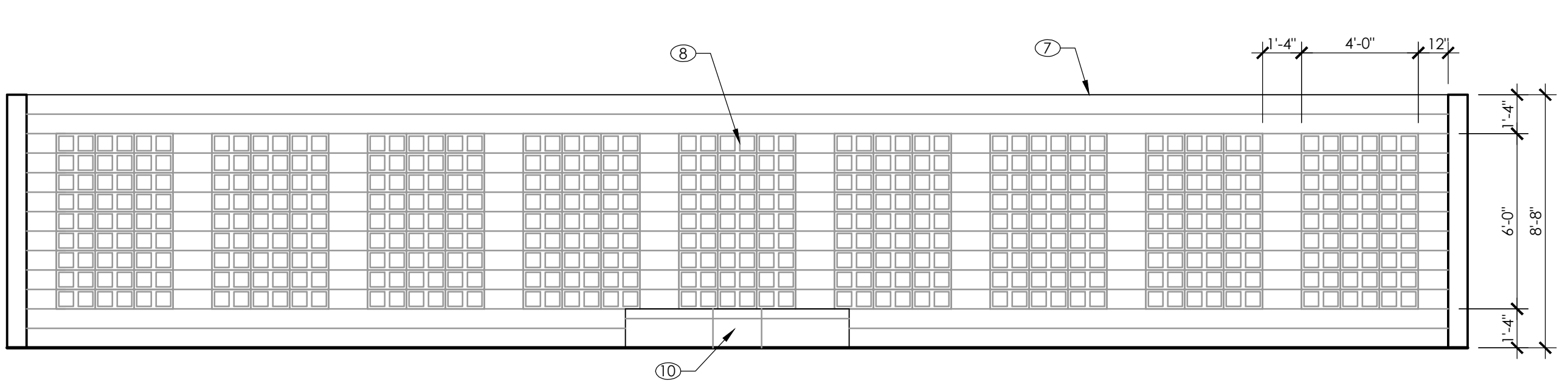
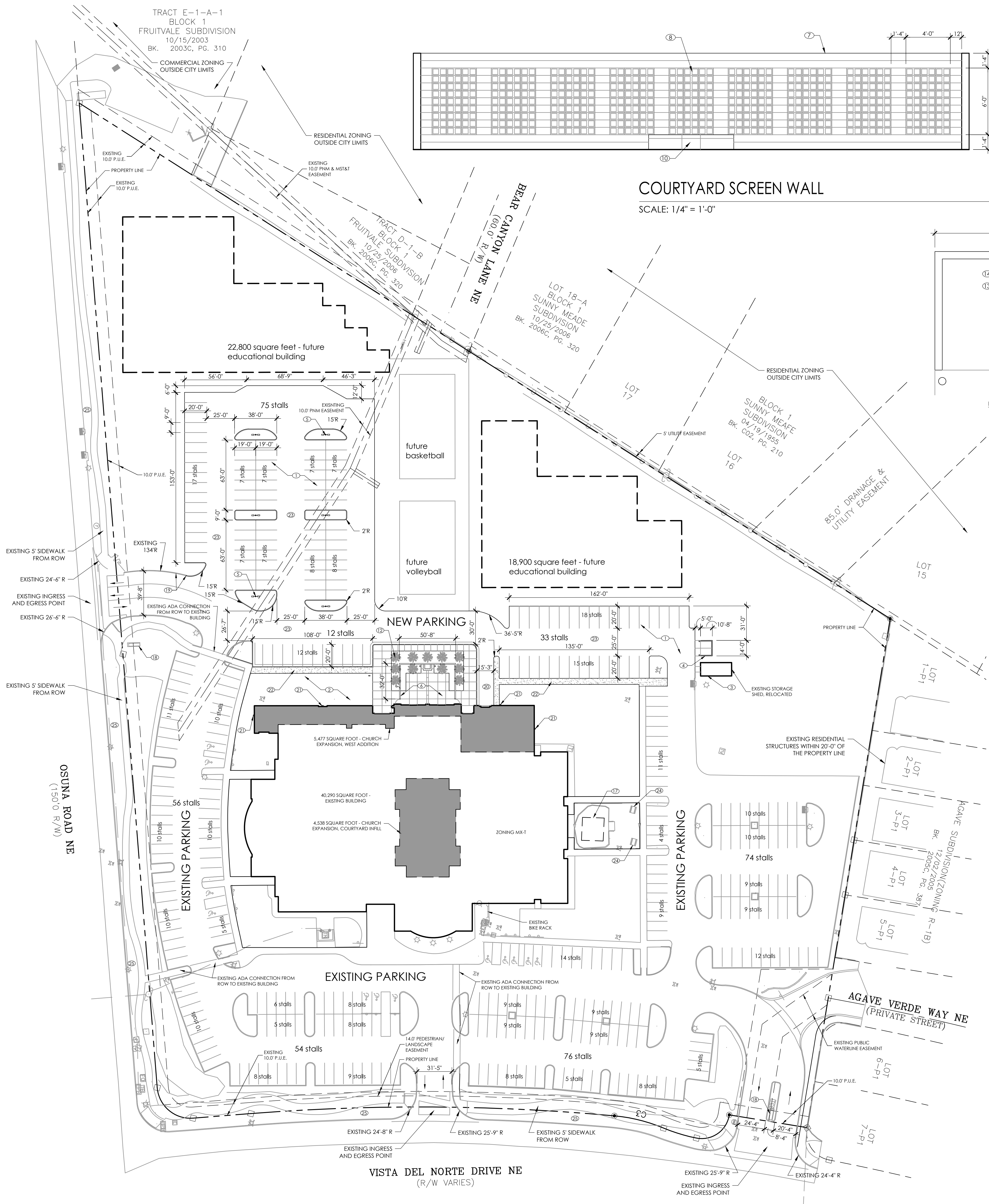
	ORIGINAL APPROVAL	
	Phase 1 Building	40,253 SF
	Proposed Additions	35,405 SF
	Proposed New Buildings	15,440 SF
	Total Buildings	91,098 SF
	PROPOSED	
	Phase 1 Building	40,253 SF
	Proposed Additions	10,015 SF
	Proposed New Buildings	41,700 SF
	Total Buildings	91,968 SF

SITE PLAN SCALE: 1" = 40'-0"

- KEYED NOTES**
- SEE GRADING AND DRAINAGE PLAN FOR NEW SCOPE DEVELOPMENT.
 - NEW LANDSCAPING THROUGHOUT. TO BE DEVELOPED BY LANDSCAPE CONTRACTOR IN COORDINATION WITH OWNER.
 - RELOCATE EXISTING STORAGE SHED TO LOCATION SHOWN.
 - RELOCATE EXISTING DUMPSTER TO LOCATION SHOWN.
 - LIGHT POST TYPICAL. SEE ELECTRICAL DRAWINGS.
 - SEE COURTYARD DEVELOPMENT PLAN AND ELEVATIONS.
 - 8" CMU SCREEN WALL. CMU TEXTURE AND PAINT FINISH TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR.
 - CMU - OPEN CELL EXPOSED. TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR.
 - EXIT GATE - WROUGHT IRON POSTS AND GATE. TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR. PROVIDE LOCK AND EXIT HARDWARE FOR GATES - EACH GATE.
 - RAISED CONCRETE BENCH. FINISH TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR.
 - RAISED PLANTER - LANDSCAPING TO BE DEVELOPED BY LANDSCAPE CONTRACTOR IN COORDINATION WITH OWNER.
 - NEW LANDSCAPE BEDS. TO BE DEVELOPED BY LANDSCAPE CONTRACTOR IN COORDINATION WITH OWNER.

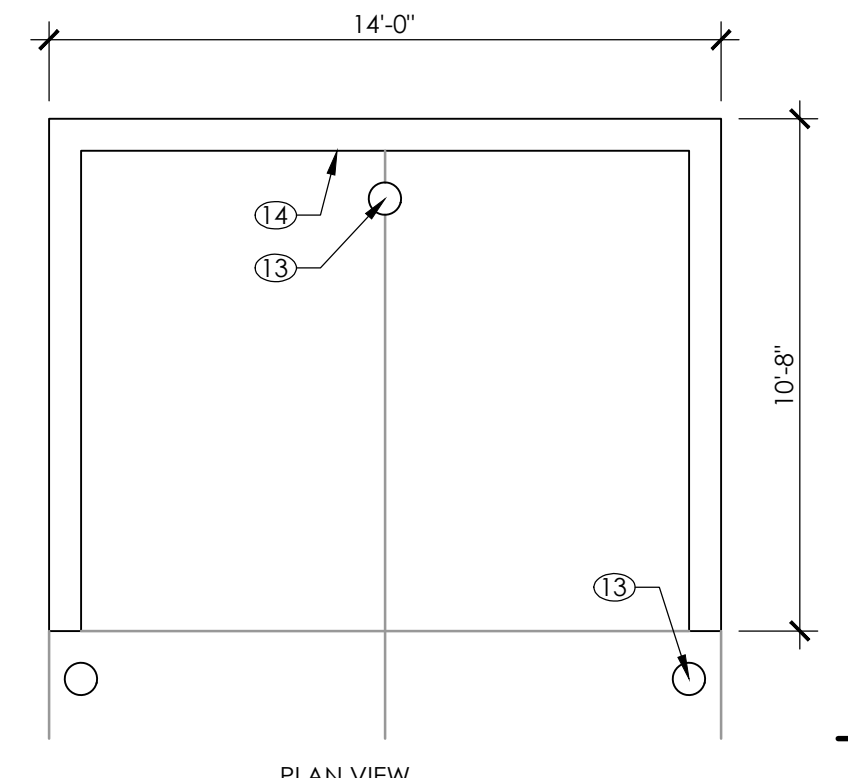
- GENERAL NOTES**
- 389 PARKING STALLS ARE PROPOSED ON-SITE.
- PER CITY OF ALBUQUERQUE PARKING REQUIREMENTS:
- 1416.5.1(A)(3) - ONE STALL IS REQUIRED PER EVERY FOUR SEATS IN SANCTUARY.
 - SANCTUARY SEATING CAPACITY IS 901.
 - 228 PARKING STALLS ARE REQUIRED.
 - PER CITY REQUIREMENTS - 8 MINIMUM MUST BE HANDICAPPED ACCESSIBLE.
 - 12 EXISTING HANDICAPPED ACCESSIBLE PARKING STALLS ARE PROVIDED.
- FUTURE SCOPE PRESUMPTIONS:
- ADDITIONAL BUILD OUT ON-SITE MAY BE 41,700 SQUARE FEET OF EDUCATIONAL FACILITY.
 - EDUCATIONAL PARKING REQUIREMENTS PER CITY ARE EXTREMELY VAGUE (WITHOUT ADDITIONAL DESIGN DEVELOPMENT ESTABLISHED) - ASSUME 250 STUDENT CAPACITY.
 - PERHAPS 50 PARKING STALLS REQUIRED.
 - REQUIRED PARKING IS THUS ACCOMMODATED EXCEPT THAT ADDITIONAL HANDICAPPED PARKING WOULD BE NEEDED.

SYMBOLS	
	KEYED NOTE
	INTERIOR ELEVATION
	FRAME ELEVATION
	WALL SECTION
	ENLARGED FLOOR PLAN
	DETAIL REFERENCE
Project	
DESERT SPRINGS CHURCH - EXPANSION	
705 Osuna Road, NE, Albuquerque, NM 87113	
Architect	
CTB ASSOCIATES ARCHITECTS • PLANNERS	
3033 MONTE VISTA BLVD., NE ALBUQUERQUE, NM 87106 P. (505) 248-3033 F. (505) 212-0354 ctb@ctbassociates.com	
Stamp	Revisions
	Sheet No.
	C-3
Date Issued	JUNE 21, 2021
Sheet Name	SITE PLAN



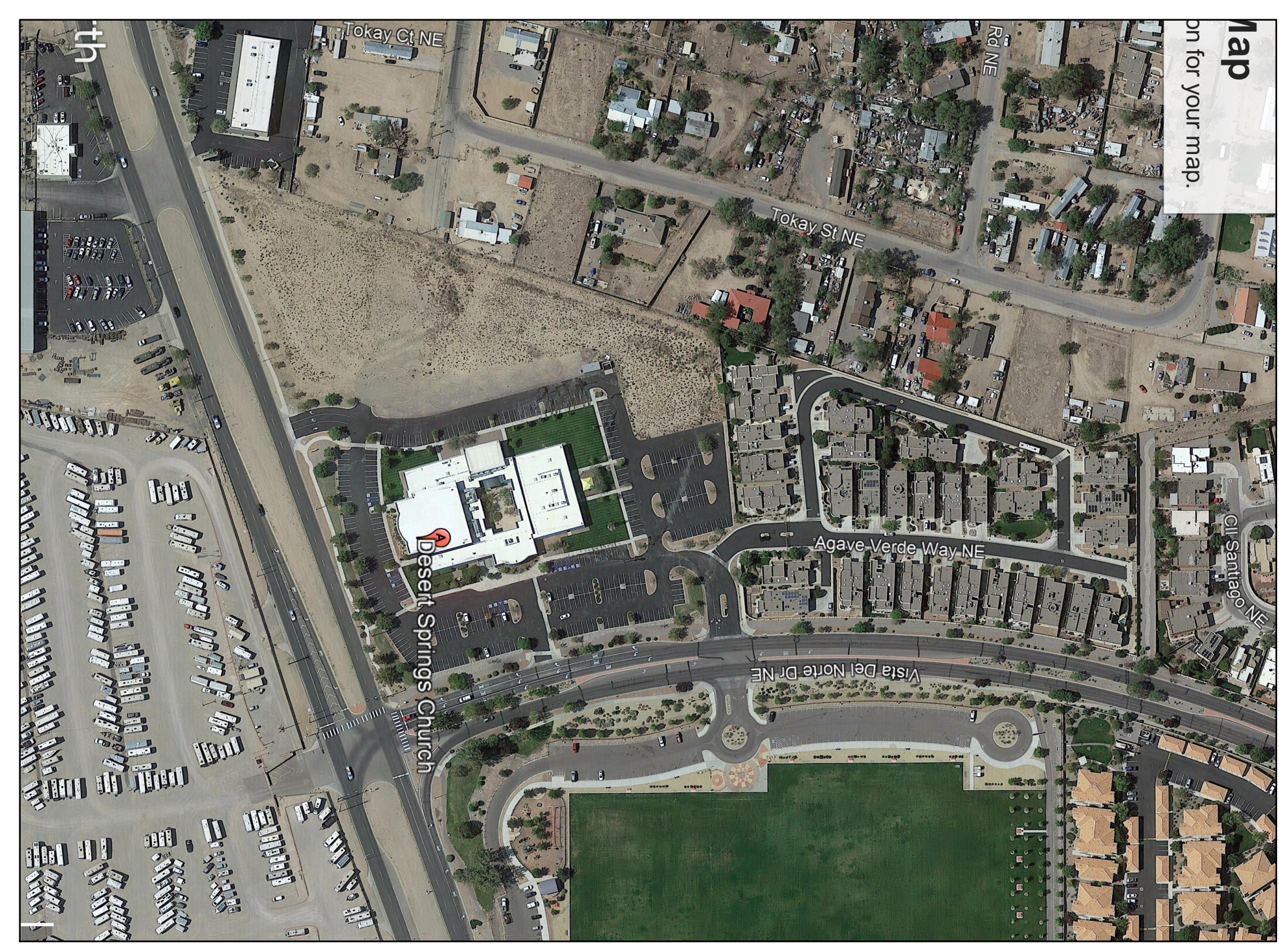
COURTYARD SCREEN WALL

SCALE: 1/4" = 1'-0"



TRASH ENCLOSURE

SCALE: 1/4" = 1'-0"



VICINITY MAP

SCALE: 1" = 200'-0"

- KEYED NOTES**
- SEE GRADING AND DRAINAGE PLAN FOR NEW SCOPE DEVELOPMENT.
 - NEW LANDSCAPING THROUGHOUT, TO BE DEVELOPED BY LANDSCAPE CONTRACTOR IN COORDINATION WITH OWNER.
 - RELOCATE EXISTING STORAGE SHED TO LOCATION SHOWN.
 - RELOCATE EXISTING DUMPSTER TO LOCATION SHOWN.
 - DUAL HORIZONTAL LIGHT FIXTURE SIDE ARM MOUNTED TOP OF 25'-0" POLE, TYPICAL. (MANUFACTURE - GARCOO 101L-14L-530-NW-G1-3-UNV-CE50-BZ) SEE ELECTRICAL DRAWINGS.
 - SEE COURTYARD DEVELOPMENT PLAN AND ELEVATIONS.
 - 8" CMU SCREEN WALL. CMU TEXTURE AND PAINT FINISH TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR.
 - SEE STRUCTURAL DRAWINGS FOR FOOTING DETAIL.
 - CMU - OPEN CELL EXPOSED, TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR.
 - EXIT GATE - WROUGHT IRON POSTS AND GATE, TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR.
 - PROVIDE LOCK AND EXIT HARDWARE FOR GATES - EACH GATE RAISED CONCRETE BENCH. FINISH TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR.
 - RAISED PLANTER - LANDSCAPING TO BE DEVELOPED BY LANDSCAPE CONTRACTOR IN COORDINATION WITH OWNER.
 - NEW LANDSCAPE BEDS, TO BE DEVELOPED BY LANDSCAPE CONTRACTOR IN COORDINATION WITH OWNER.
 - 8" STEEL PIPE BOLLARD FILLED WITH CONCRETE.
 - 8" CMU TRASH ENCLOSURE WALL. CMU TEXTURE AND PAINT FINISH TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR. SEE STRUCTURAL DRAWING FOR FOOTING DETAIL.
 - ELECTRICAL IN-GRADE JUNCTION BOX. SEE ELECTRICAL DRAWINGS.
 - ELECTRICAL RECEPTACLE BOX. SEE ELECTRICAL DRAWINGS.
 - EXISTING PLAYGROUND EQUIPMENT WITH SHADE CANOPY.
 - EXISTING FREESTANDING MONUMENT SIGNS.
 - EXISTING CURB TRANSITION TO NEW PARKING CURB.
 - NEW VEHICULAR DRIVE-UP ACCESS.
 - WALL MOUNTED CUTOFF TYPE LED WALL PACK, 12'-0" A.F.F. (MANUFACTURE - GARCOO 101L-14L-530-NW-G1-3-UNV-CE50-BZ)
 - NEW 5'-0" WIDE CONCRETE SIDEWALK.
 - HEAVY DUTY ASPHALT PAVING.
 - EXISTING PICNIC TABLE.
 - EXISTING LANDSCAPE BUFFER AREA.

- GENERAL NOTES**
- 380 PARKING STALLS ARE PROPOSED ON-SITE.
- PER CITY OF ALBUQUERQUE PARKING REQUIREMENTS:
- 14.16.3.1(A)(3) - ONE STALL IS REQUIRED PER EVERY FOUR SEATS IN SANCTUARY.
 - SANCTUARY SEATING CAPACITY IS 901.
 - 226 PARKING STALLS ARE REQUIRED.
 - PER CITY REQUIREMENTS - 8 MINIMUM MUST BE HANDICAPPED ACCESSIBLE.
 - 12 EXISTING HANDICAPPED ACCESSIBLE PARKING STALLS ARE PROVIDED.
- FUTURE SCOPE PRESUMPTIONS:**
- ADDITIONAL BUILD OUT ON-SITE MAY BE 41,700 SQUARE FEET OF EDUCATIONAL FACILITY.
 - EDUCATIONAL PARKING REQUIREMENTS PER CITY REQUIRE ADDITIONAL DESIGN DEVELOPMENT ESTABLISHED. ASSUME 250 STUDENT CAPACITY.
 - PERHAPS 150 PARKING STALLS REQUIRED.
 - REQUIRED PARKING IS THUS ACCOMMODATED EXCEPT THAT ADDITIONAL HANDICAPPED PARKING WOULD BE NEEDED.

SYMBOLS

○	KEYED NOTE
△	FOUND CONTROL MONUMENT (AS NOTED)
□	FOUND REBAR (AS NOTED)
⊗	FOUND PK NAIL (AS NOTED)
⊙	SET 1/2" REBAR W/ CAP STAMPED
⊕	"CA MEDINA PS 15702" (UNLESS OTHERWISE NOTED)
⊙	FIRE DEPARTMENT CONNECTION
⊙	IRRIGATION VALVE
⊙	HOT BOX
⊙	FIRE HYDRANT
⊙	WATER METER
⊙	WATER VALVE
⊙	CLEANOUT
⊙	SANITARY SEWER MANHOLE
⊙	CURB INLET
⊙	AREA INLET
⊙	GAS METER
⊙	ELECTRIC MANHOLE
⊙	TRANSFORMER
⊙	TRAFFIC LIGHT
⊙	CUT WIRE
⊙	ELECTRIC BOX
⊙	ELECTRIC PULLBOX
⊙	JUNCTION BOX
⊙	LIGHT POLE
⊙	POWER POLE
⊙	TELEPHONE PEDESTAL
⊙	CABLE TV
⊙	TELEPHONE PULLBOX
⊙	FIBER OPTIC PULLBOX
⊙	TELEPHONE MANHOLE
⊙	BOLLARD
⊙	SIGN
⊙	FINISH FLOOR ELEVATION
⊙	BIKE RACK
⊙	PICNIC TABLE
⊙	HANDICAP PARKING
⊙	UNDERGROUND ELECTRIC LINE
⊙	UNDERGROUND GAS LINE
⊙	UNDERGROUND SANITARY SEWER LINE
⊙	OVERHEAD POWER
⊙	CHAIN LINK FENCE
⊙	WIRE FENCE
⊙	WROUGHT IRON FENCE
⊙	PROPERTY LINE
⊙	EASEMENT

DESERT SPRINGS CHURCH - EXPANSION

705 Osuna Road, NE, Albuquerque, NM 87113

Architect: **CTB ASSOCIATES**
ARCHITECTS • PLANNERS
3003 MONTE VISTA BLVD, NE ALBUQUERQUE, NM 87106 P: (505) 266-3033 F: (505) 212-0354 ctb@ctbassociates.com

Stamp:

Revisions:

1	
2	
3	

Date Issued: JULY 19, 2021

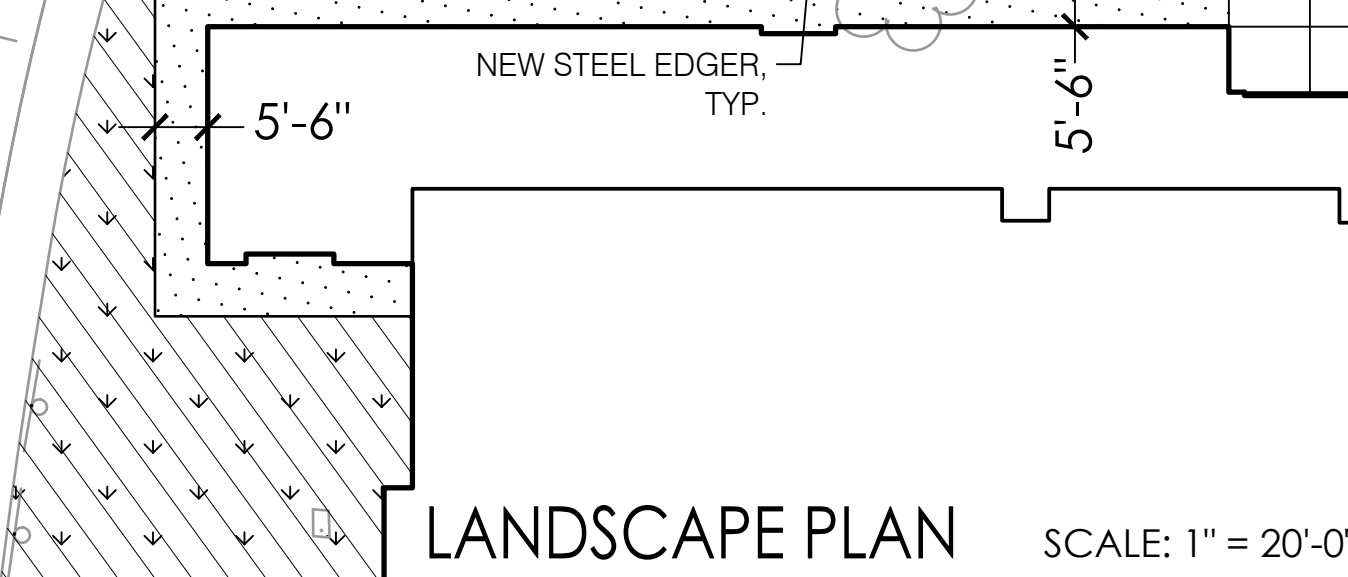
Sheet Name: **SITE PLAN**

22,800 square feet -
future building

75 stalls

future
basketball

future
volleyball



LANDSCAPE PLAN SCALE: 1" = 20'-0"

GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

TURF GRASS AREAS
NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION. (NO TURF IS BEING ADDED TO THE SITE, TURF AREA IS DECREASING WITH SITE BUILDING EXPANSION.)

PARKING LOT AREA
AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED. 4.715 (15%)

PROVIDING 75 PARKING SPACES. TOTAL PARKING LOT AREA: 31,431- SF
PROVIDED LANDSCAPE AREA: 9,777- SF (46%)

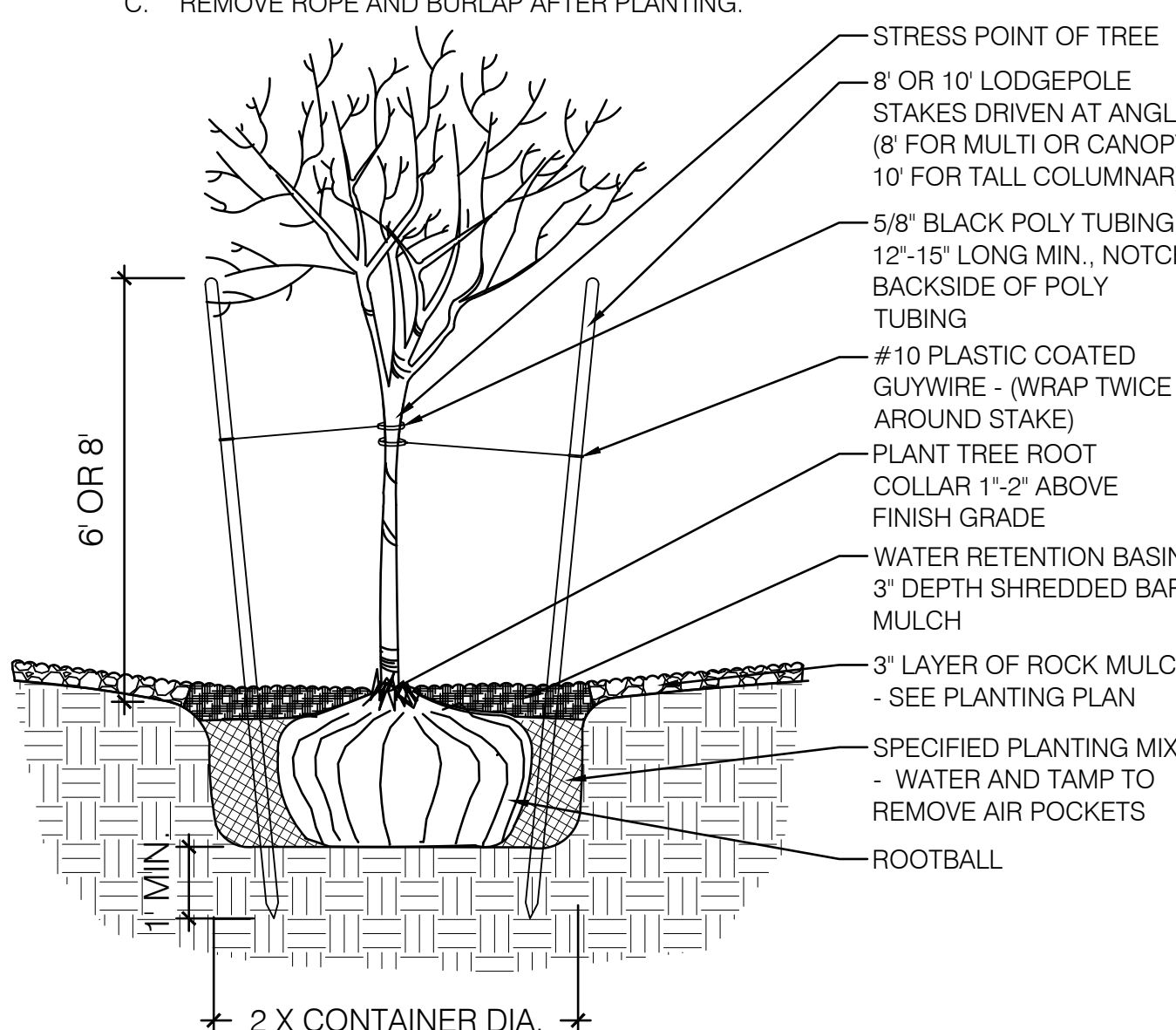
PARKING LOT TREES
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

- 75 PARKING SPACES / 10 SPACES = 8
- TREES REQUIRED: 8
- PROVIDED TREES: 20

PLANT LEGEND

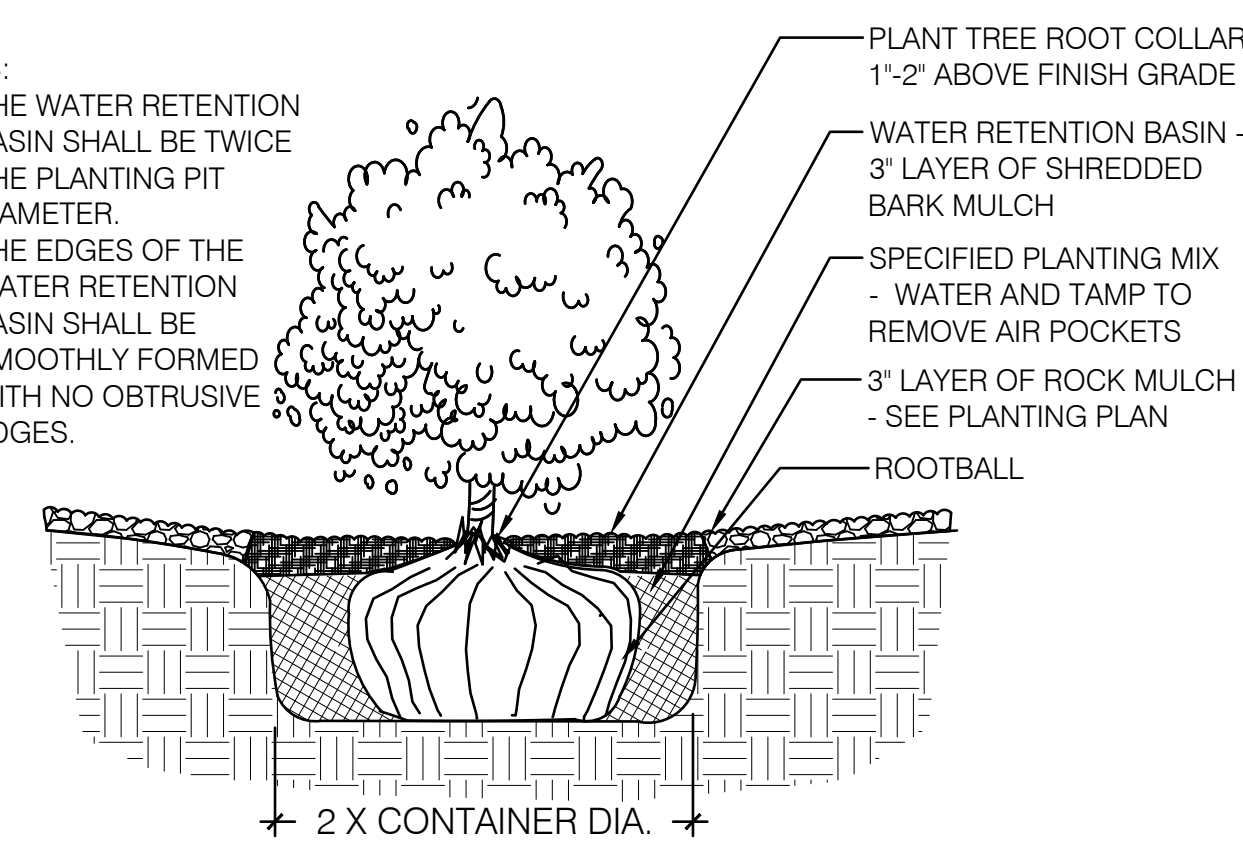
QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
		EXISTING TREE		
TREES				
4	(Symbol)	GLEDTISIA TRICANTHOS INERMIS HONEY LOCUST SHADEMASTER(H)	2.5"-CLPR	50 HT. X 45' SPR.
6	(Symbol)	JUNIPERUS SCOPULORUM SKYROCKET SKY ROCKET JUNIPER (FEMALES ONLY) (L)	15-GAL	15' HT. X 4' SPR.
10	(Symbol)	KOELREUTERIA PANICULATA GOLDEN RAIN TREE (M)	2"-CLPR	25' HT. X 25' SPR.
1	(Symbol)	LAGERSTROEMIA INDICA DYNAMITE CREPE MYRTLE (L)	15-GAL	8' HT. X 8' SPR.
4	(Symbol)	PISTACIA CHINENSIS CHINESE PISTACHE (M)	2"-CLPR	40' HT. X 30' SPR.
4	(Symbol)	PYRUS CALLERYANA BRADFORD PEAR (M+)	2"-CLPR	25' HT. X 15' SPR.
2	(Symbol)	VITEX AGNIUS CASTUS CHASTE TREE (M)	2"-CLPR	20' HT. X 20' SPR.
SHRUBS AND GROUNDCOVERS				
7	(Symbol)	ARTEMISIA CANA SILVER SAGE (M+)	1-GAL	3' HT. X 5' SPR.
43	(Symbol)	LAVANDULA AGUSTIFOLIA LAVENDER (M)	1-GAL	3' HT. X 3' SPR.
2	(Symbol)	PINUS MUGO VAR PUMILIO MUGO PINE (M)	5-GAL	3' HT. X 4' SPR.
14	(Symbol)	ROSA 'DOUBLE RED KNOCKOUT' DOUBLE RED KNOCK OUT ROSE (M)	3-GAL	3' HT. X 3' SPR.
27	(Symbol)	ROSMARIUS OFFICINALIS 'PROSTRATUS' CREEPING ROSEMARY (L+)	1-GAL	2' HT. X 6' SPR.
23	(Symbol)	SEDUM REFEXUM 'BLUE SPRUCE' STONE CROP (L+)	1-GAL	2' HT. X 2' SPR.
12	(Symbol)	SALVIA GREGGII CHERRY SAGE (L+)	1-GAL	2' HT. X 3' SPR.
ORNAMENTAL GRASSES				
9	(Symbol)	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER GRASS (M)	1-GAL	2' HT. X 30' SPR.
59	(Symbol)	MUHLENBERGIA CAPILLARIS REGAL MIST MUHLY (L+)	1-GAL	2' HT. X 3' SPR.
MULCHES AND BOULDERS				
58	(Symbol)	LANDSCAPE BOULDER, MOSS ROCK (TO MATCH EXISTING), SIZE: 3X3' MIN.		
	(Symbol)	3/4" SANTA FE BROWN GRAVEL MULCH (TO MATCH EXISTING) (2' DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL, OR EQUAL)		
	(Symbol)	RE-VEGETATIVE SEEDING: AREAS SHALL BE REVEGETATED BY HYDROMULCH TACKIFIER APPLICATION PER COA SPECIFICATION SECTION 1012 (SANDY SOILS). CONTRACTOR SHALL APPLY REVEGETATED SEED TO LIMITS OF DISTURBANCE.		
	(Symbol)	EXISTING TURF- ADJUST TO NEW LIMITS		
	(Symbol)	EXISTING LANDSCAPE AREA TO REMAIN		
	(Symbol)	2"-4" GREY ROUND RIVER ROCK (TO MATCH EXISTING) (6' DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL, OR EQUAL)		

- NOTES:
A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
C. REMOVE ROPE AND BURLAP AFTER PLANTING.



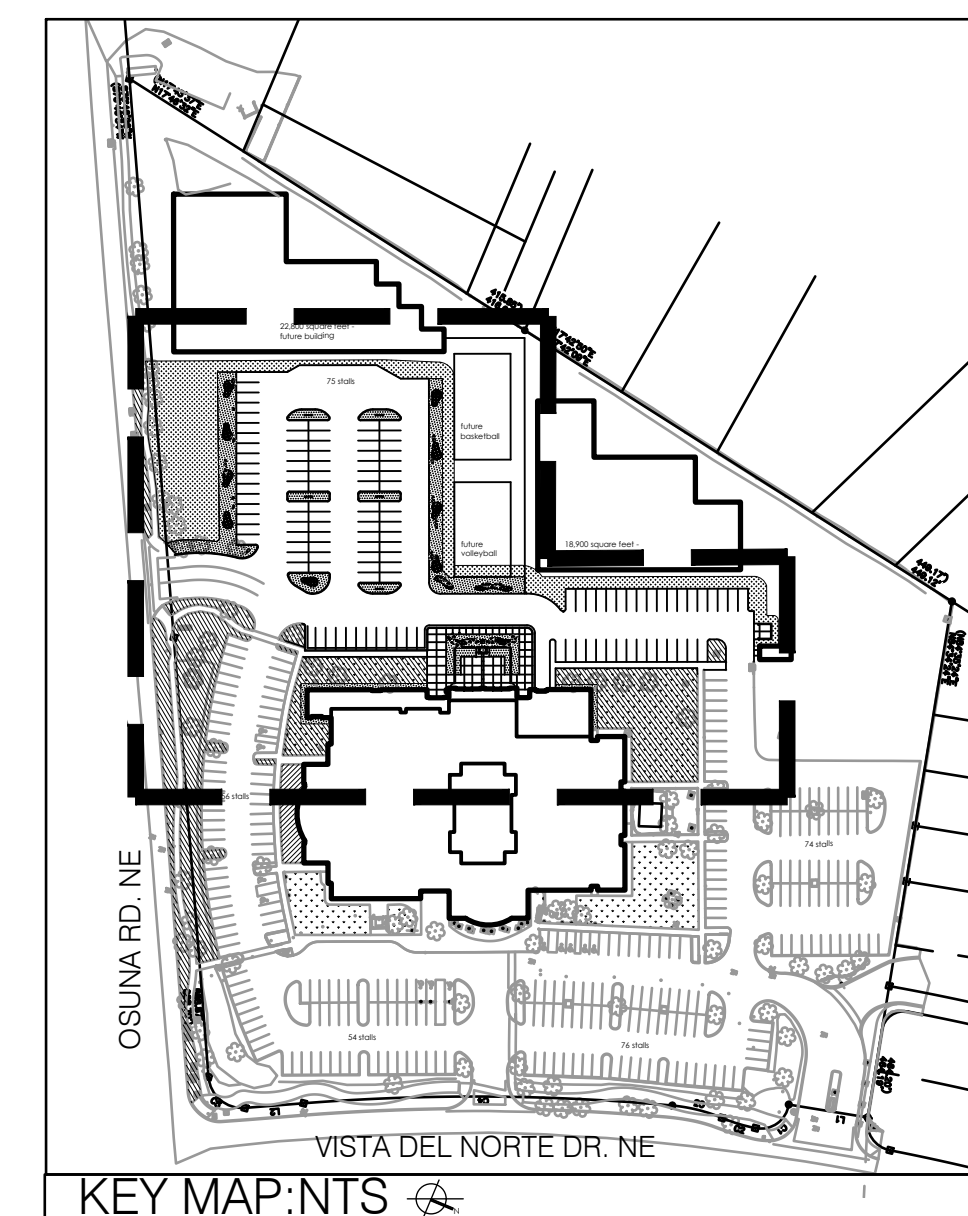
1 TREE PLANTING SCALE: N.T.S.

- NOTES:
A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.



2 SHRUB PLANTING SCALE: N.T.S.

EXTEND STEEL EDGER TO LIMITS OF EXISTING GRAVEL AREA AND BLEND AREAS TOGETHER. CONTRACTOR SHALL REMOVE EXISTING STEEL EDGER BETWEEN NEW BUILDING ADDITION AND EXISTING GRAVEL BED AND CONNECT NEW EDGER TO EXISTING, TYP.



KEY MAP: N.T.S.

Project
DESERT SPRINGS CHURCH - EXPANSION
705 Osuna Road, NE, Albuquerque, NM 87113

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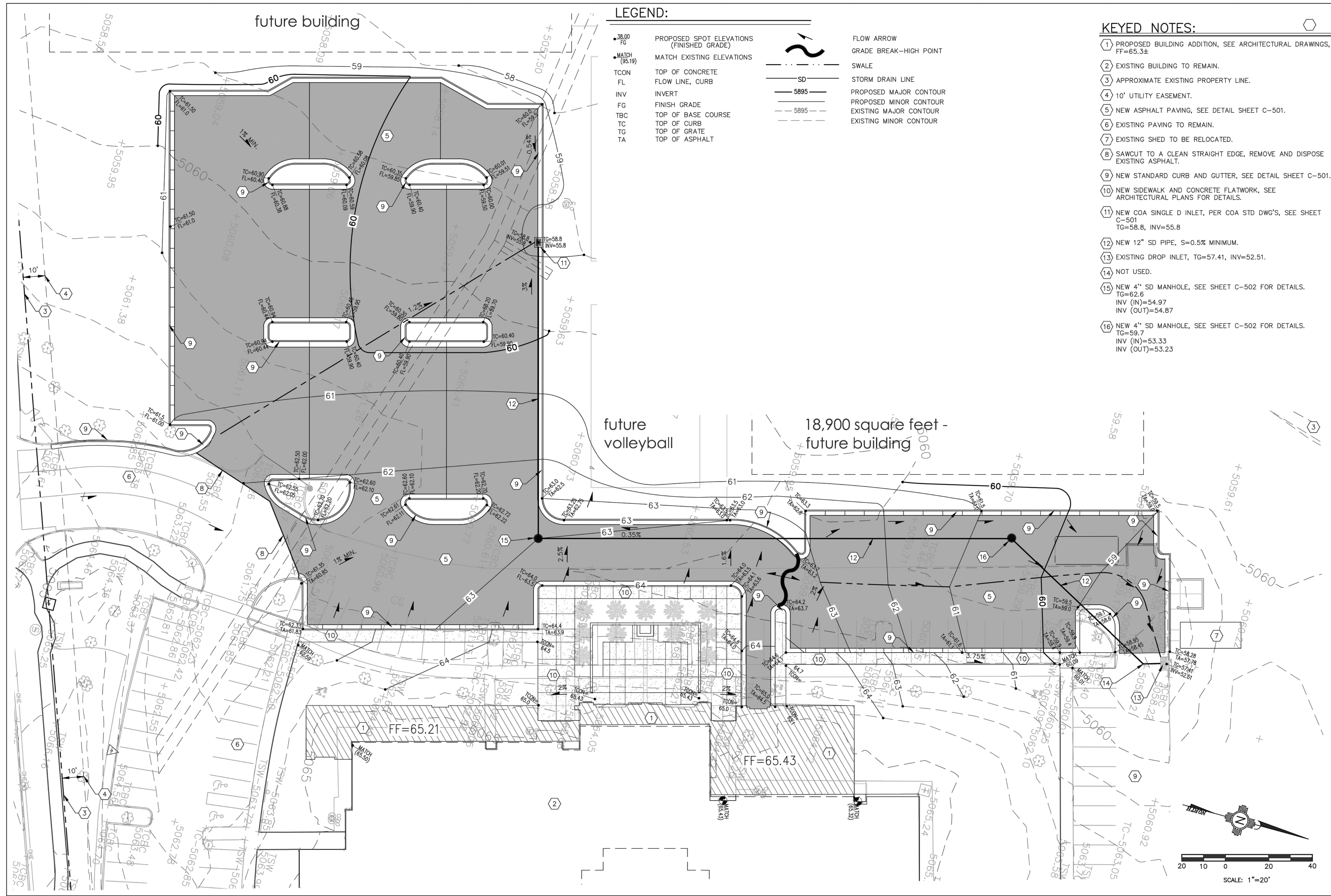
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Revisions
Date Issued: JUNE 21, 2021
Sheet Name: LANDSCAPE PLAN

Sheet No. **2**

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T:\Clients\CTB Architects\DESERT SPRING CHURCH\ACAD\DRAINAGE\PLAN\DWG_C-101_G & D Plan_7/13/2021 10:51:35 AM



LEGEND:

- 38.00
FF PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
 - MATCH (85.19) MATCH EXISTING ELEVATIONS
 - TC ON TOP OF CONCRETE
 - FL FLOW LINE, CURB
 - INV INVERT
 - FG FINISH GRADE
 - TBC TOP OF BASE COURSE
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TA TOP OF ASPHALT
- SD STORM DRAIN LINE
 - 5895 PROPOSED MAJOR CONTOUR
 - 5895 EXISTING MAJOR CONTOUR
 - — EXISTING MINOR CONTOUR
- FLOW ARROW
 - GRADE BREAK-HIGH POINT
 - SWALE
 - STORM DRAIN LINE
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR

KEYED NOTES:

- 1 PROPOSED BUILDING ADDITION, SEE ARCHITECTURAL DRAWINGS, FF=65.3±
- 2 EXISTING BUILDING TO REMAIN.
- 3 APPROXIMATE EXISTING PROPERTY LINE.
- 4 10' UTILITY EASEMENT.
- 5 NEW ASPHALT PAVING, SEE DETAIL SHEET C-501.
- 6 EXISTING PAVING TO REMAIN.
- 7 EXISTING SHED TO BE RELOCATED.
- 8 SAWCUT TO A CLEAN STRAIGHT EDGE, REMOVE AND DISPOSE EXISTING ASPHALT.
- 9 NEW STANDARD CURB AND GUTTER, SEE DETAIL SHEET C-501.
- 10 NEW SIDEWALK AND CONCRETE FLATWORK, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 11 NEW COA SINGLE D INLET, PER COA STD DWG'S, SEE SHEET C-501
TG=58.8, INV=55.8
- 12 NEW 12" SD PIPE, S=0.5% MINIMUM.
- 13 EXISTING DROP INLET, TG=57.41, INV=52.51.
- 14 NOT USED.
- 15 NEW 4" SD MANHOLE, SEE SHEET C-502 FOR DETAILS.
TG=62.6
INV (N)=54.97
INV (OUT)=54.87
- 16 NEW 4" SD MANHOLE, SEE SHEET C-502 FOR DETAILS.
TG=59.7
INV (N)=53.33
INV (OUT)=53.23

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Engineers • Planners

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(505) 885-3800 (FAX)

DESIGNED	RFH	RFH	RFH	RFH
DRAWN	RFH	RFH	RFH	RFH
CHECKED	RFH	RFH	RFH	RFH
DATE	04/19/2021			



BERNALILLO COUNTY
NEW MEXICO

DESERT SPRINGS CHURCH
ALBUQUERQUE, N.M.

GRADING AND DRAINAGE PLAN

MARK	DATE	REVISION DESCRIPTION

C-101

Project
DESERT SPRINGS CHURCH - EXPANSION
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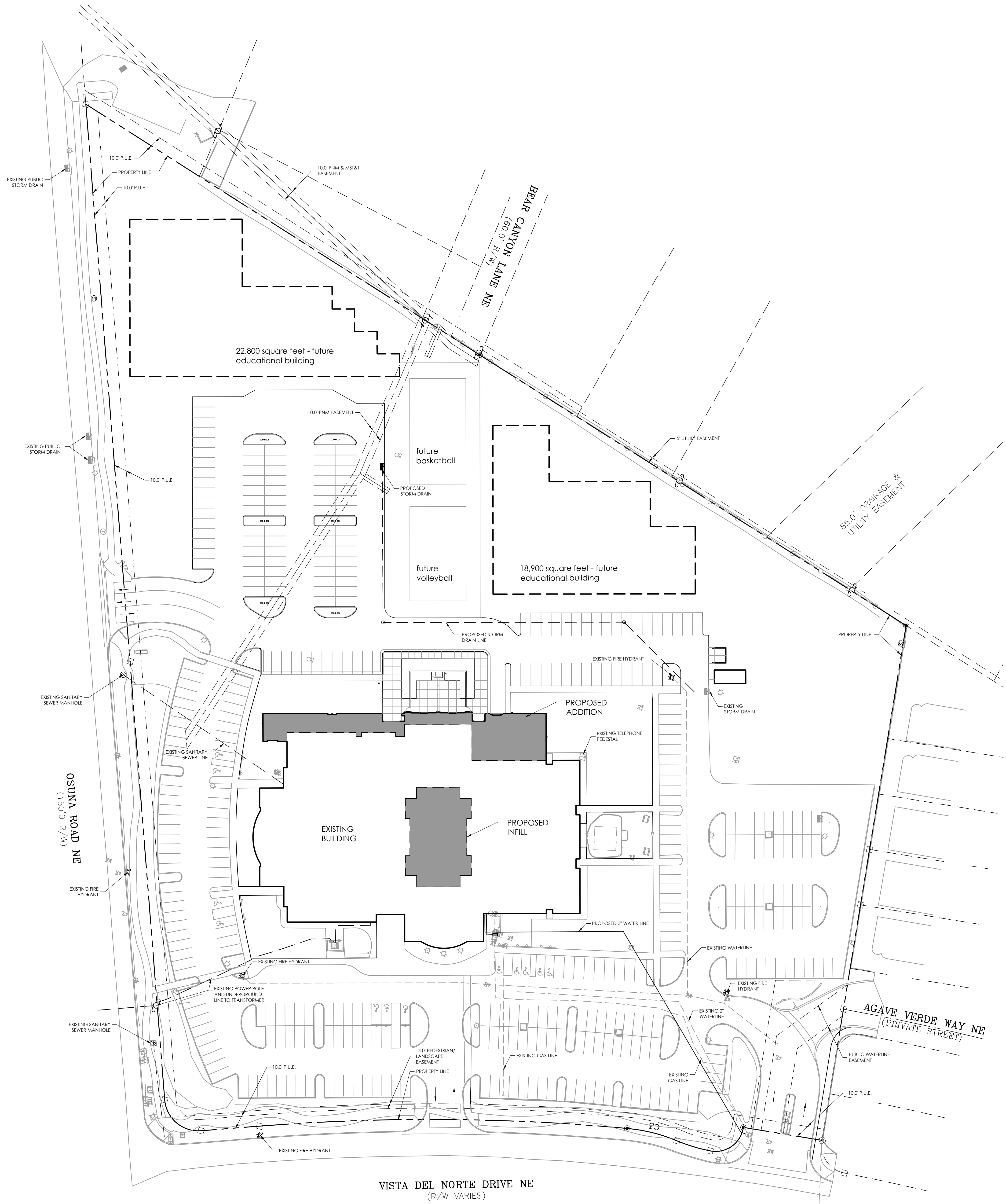
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Revisions

Sheet No.
3

Date Issued
JUNE 21, 2021

Sheet Name
GRADING AND DRAINAGE PLAN



UTILITY PLAN
 SCALE: 1" = 40'-0"
 0 10' 20' 40'

KEYED NOTES

1. NOTES

GENERAL NOTES

- GENERAL NOTES

SYMBOLS

- KEYED NOTE
- FOUND CONTROL MONUMENT (AS NOTED)
- FOUND REBAR (AS NOTED)
- FOUND PK NAIL (AS NOTED)
- SET 1/2" REBAR W/IT CAP STAMPED
- "CA MEDINA PS 15702" (UNLESS OTHERWISE NOTED)
- FIRE DEPARTMENT CONNECTION
- IRRIGATION VALVE
- HOT BOX
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- CLEANOUT
- SANITARY SEWER MANHOLE
- CURB INLET
- AREA INLET
- GAS METER
- ELECTRIC MANHOLE
- TRANSFORMER
- TRAFFIC LIGHT
- CU/F WIRE
- ELECTRIC BOX
- ELECTRIC PULLBOX
- JUNCTION BOX
- LIGHT POLE
- POWER POLE
- TELEPHONE PEDESTAL
- CABLE TV
- TELEPHONE PULLBOX
- FIBER OPTIC PULLBOX
- TELEPHONE MANHOLE
- BOLLARD
- SIGN
- FINISH FLOOR ELEVATION
- BIKE RACK
- PICNIC TABLE
- HANDICAP PARKING
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND GAS LINE
- UNDERGROUND SANITARY SEWER LINE
- OVERHEAD POWER
- CHAIN LINK FENCE
- WIRE FENCE
- WROUGHT IRON FENCE
- PROPERTY LINE
- EASEMENT

Project
DESERT SPRINGS CHURCH - EXPANSION
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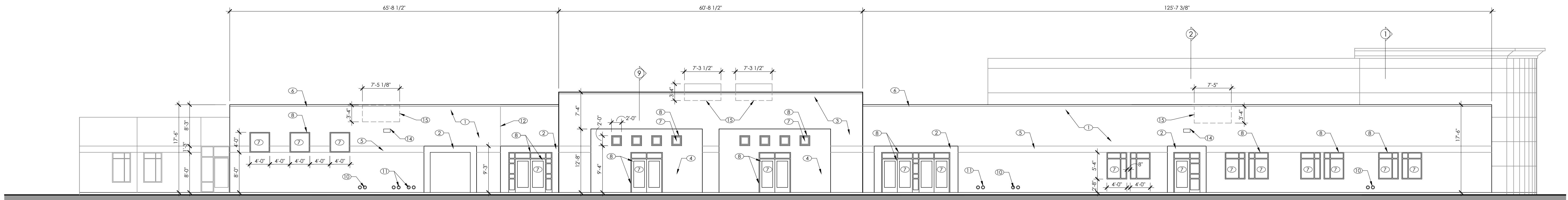
Revisions:

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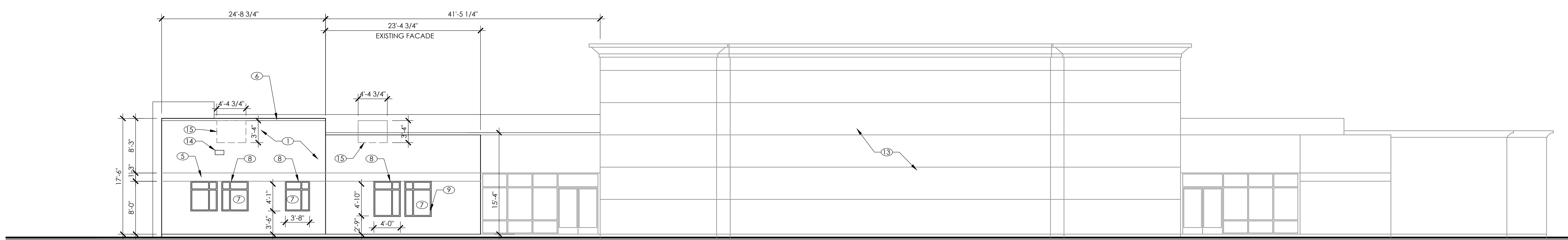
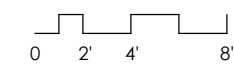
Sheet No. **4**

Sheet Name: UTILITY PLAN



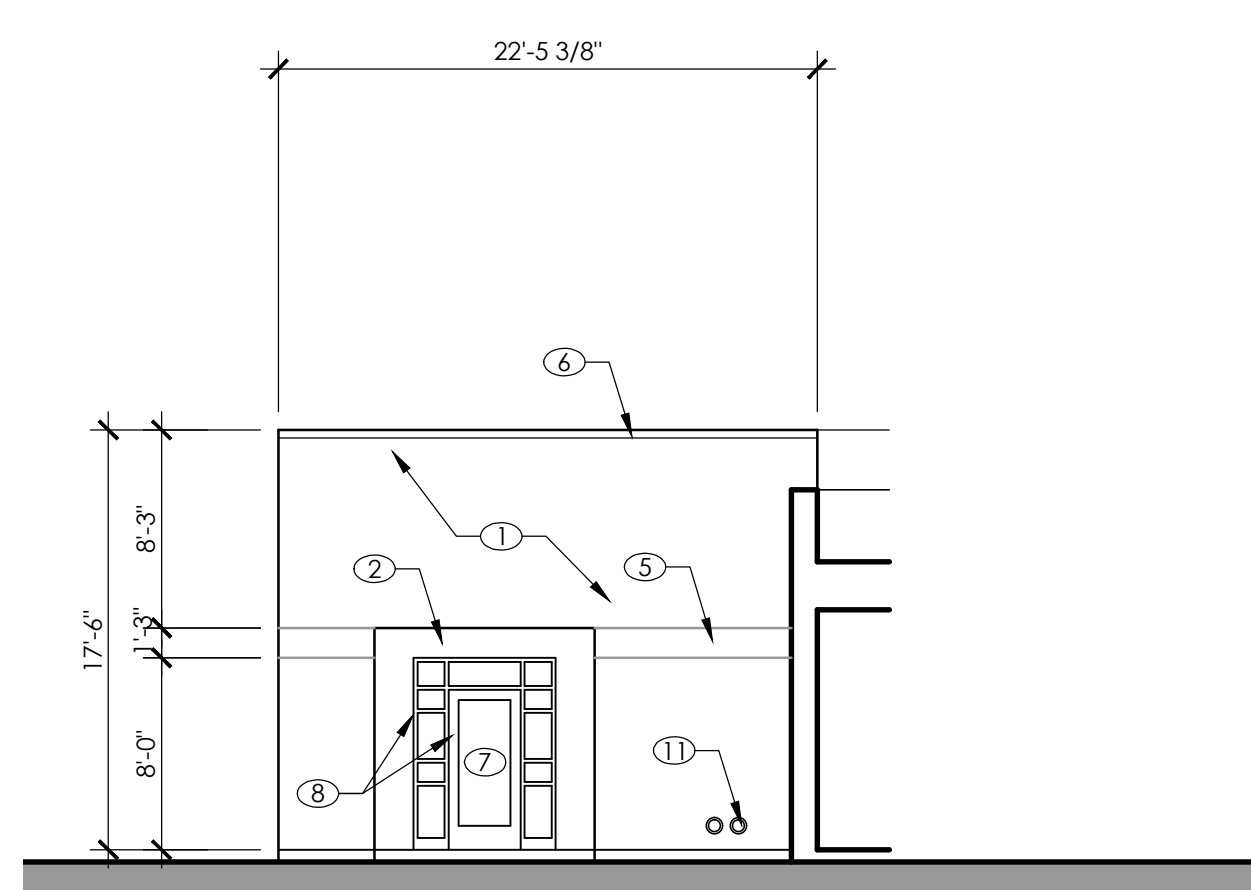
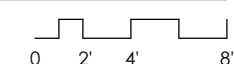
WEST ELEVATION

SCALE: 1/8" = 1'-0"



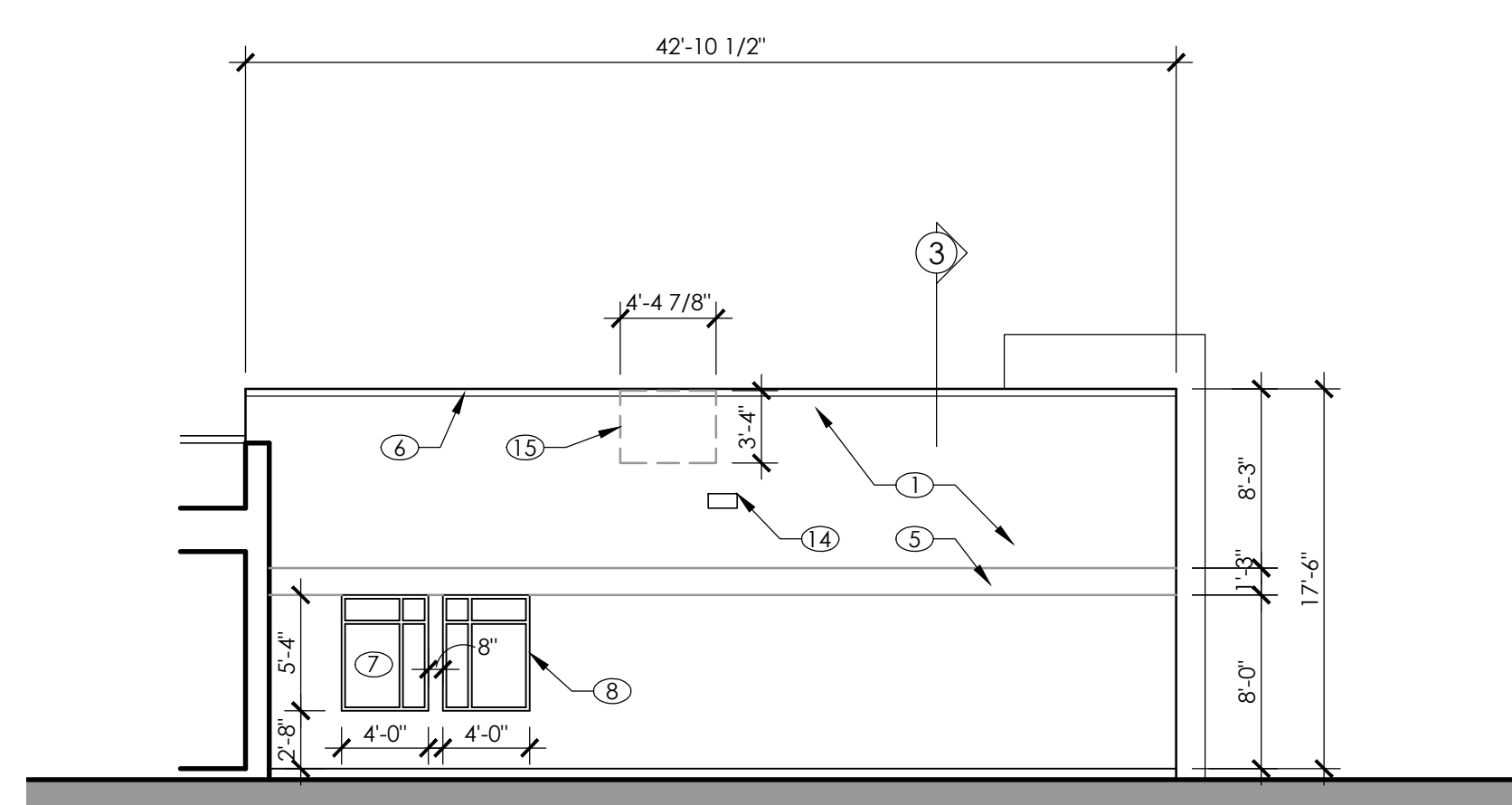
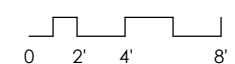
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



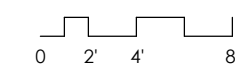
PARTIAL EAST ELEVATION

SCALE: 1/8" = 1'-0"



PARTIAL NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING SOUTH ELEVATION PHOTO - FOR REFERENCE

SCALE: NTS

KEYED NOTES

1. SYNTHETIC STUCCO MATCH P-6 GREY FINISH.
2. SYNTHETIC STUCCO MATCH P-7 CHARCOAL FINISH.
3. SYNTHETIC STUCCO MATCH P-5 BROWN FINISH.
4. SYNTHETIC STUCCO MATCH P-5 BROWN FINISH.
5. CONTINUE HORIZONTAL CONTROL JOINTS IN EIFS WHERE SHOWN - MATCH EXISTING PROFILE.
6. PRE-FINISHED ALUMINUM COPING SELECTED FROM MANUFACTURER'S STANDARD COLORS - TO BE SELECTED.
7. SOLAR GREY GLASS COLOR
8. ALUMINUM FINISH ON ALL EXTERIOR DOORS AND WINDOW FRAMES.
9. NEW WINDOWS WITHIN EXISTING BUILDING WALL - RESTORE FINISH AS REQUIRED.
10. NEW ROOF DRAIN AND OVER FLOW DRAIN OUTLET. SEE PLUMBING DRAWINGS.
11. ROOF DRAIN AND OVERFLOW DRAIN OUTLETS, EXTENDED FROM EXISTING ROOFS. SEE PLUMBING DRAWINGS.
12. VERTICAL CONTROL JOINT - ALIGNED WITH EXPANSION JOINT CONDITION TO EAST.
13. REVIEW FINISH CONDITION AT SANCTUARY - BLACK FINISH AT CENTER MAY REQUIRE REFINISH - CONSULT WITH OWNER REGARDING CONDITION.
14. NEW WALL SCOFF - MOUNT AT 12'-0" A.F.F., SEE ELECTRICAL DRAWINGS.
15. MECHANICAL ROOF TOP UNIT ON ROOF BEYOND EXTERIOR PARAPET.

GENERAL NOTES

SYMBOLS

- KEYED NOTE
- INTERIOR ELEVATION
- FRAME ELEVATION
- WALL SECTION
- ENLARGED FLOOR PLAN
- DETAIL REFERENCE

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Stamp

 Charles T. Berger, Jr.
 No. 27142
 Exp. 7/19/21
 STATE OF NEW MEXICO
 REGISTERED ARCHITECT

Revisions
 1. _____
 2. _____
 3. _____

Sheet No.
5

Date Issued
 JULY 19, 2021

Sheet Name
BUILDING & STRUCTURE ELEVATIONS