

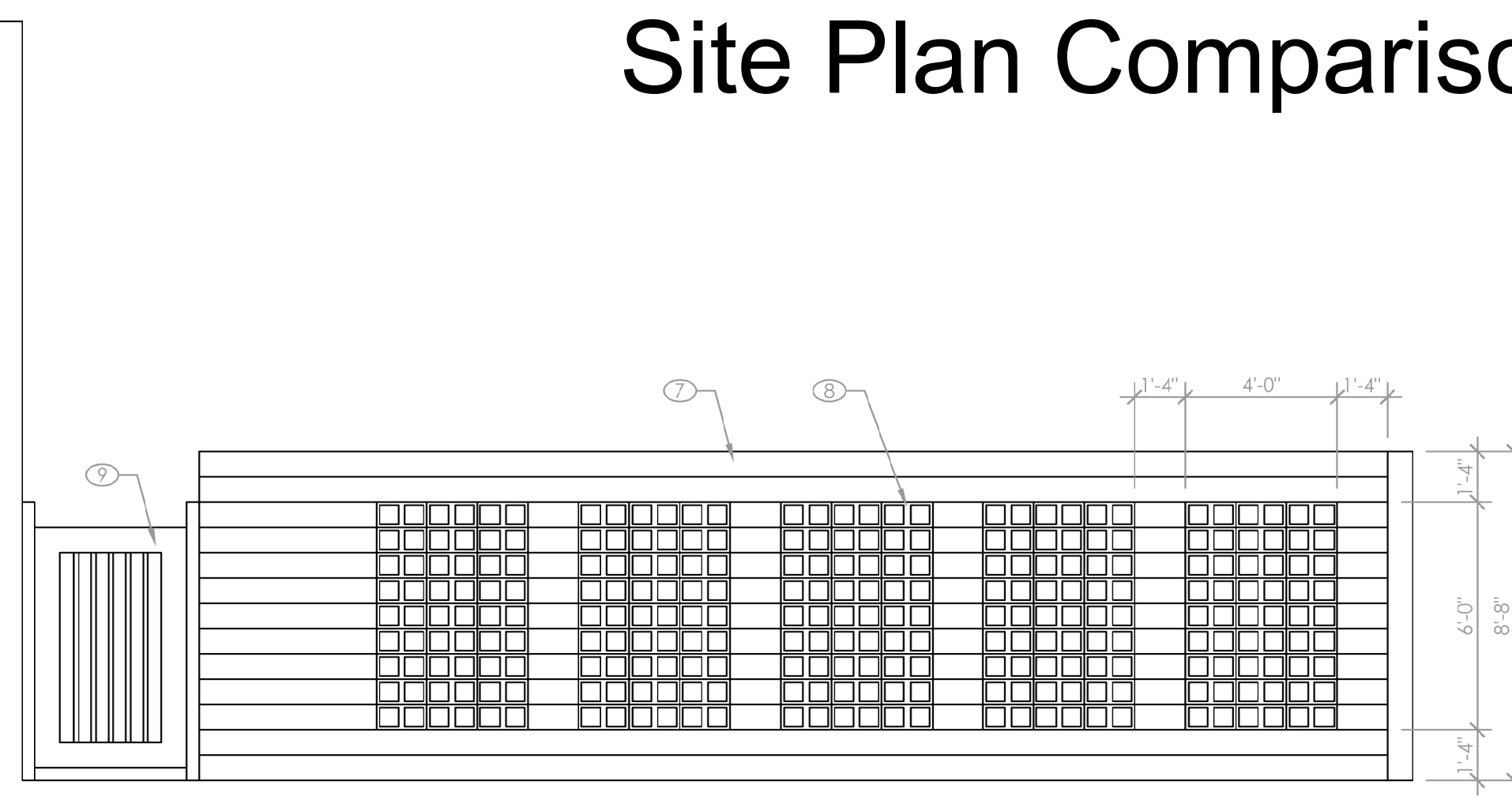
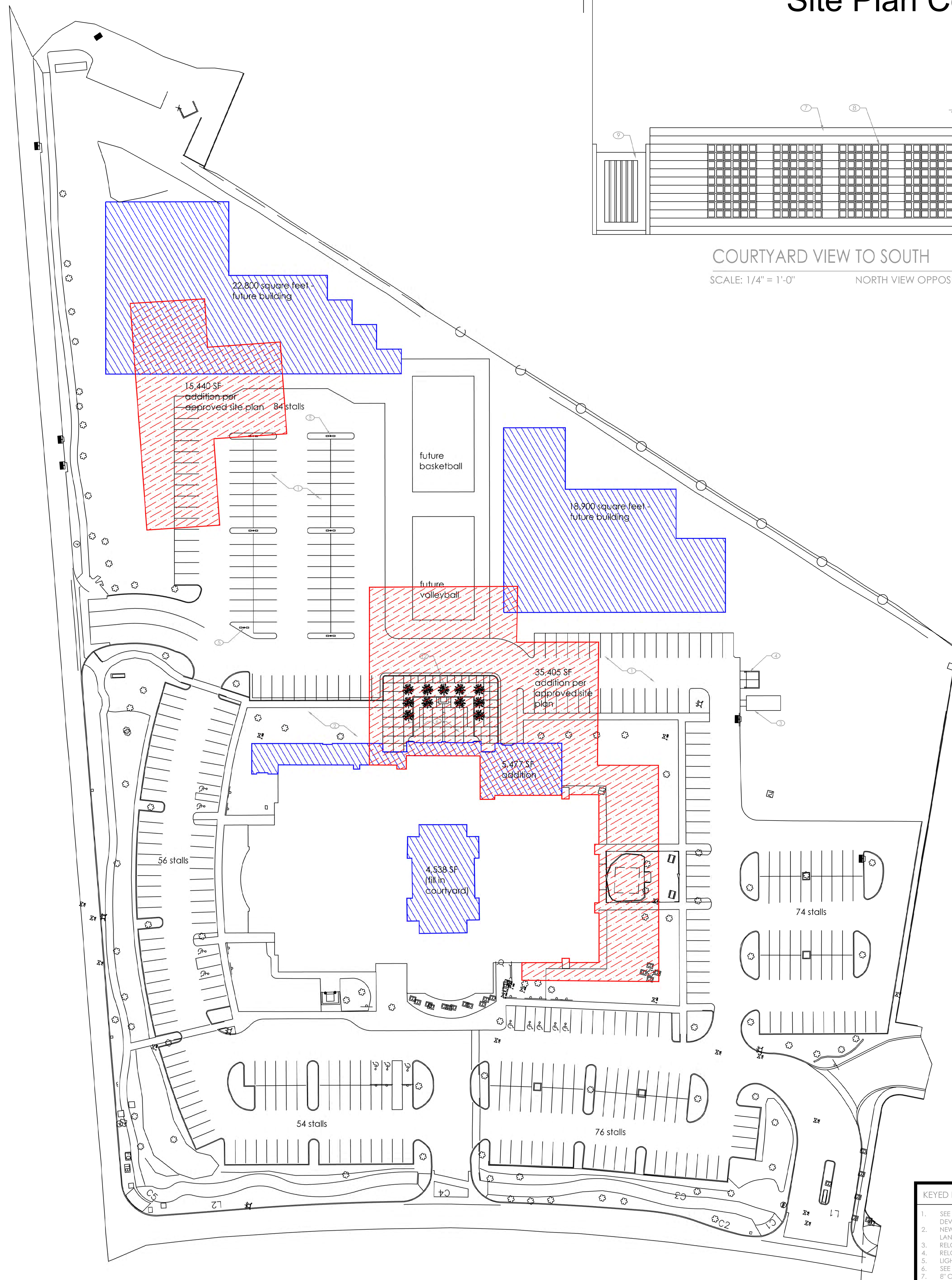
ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

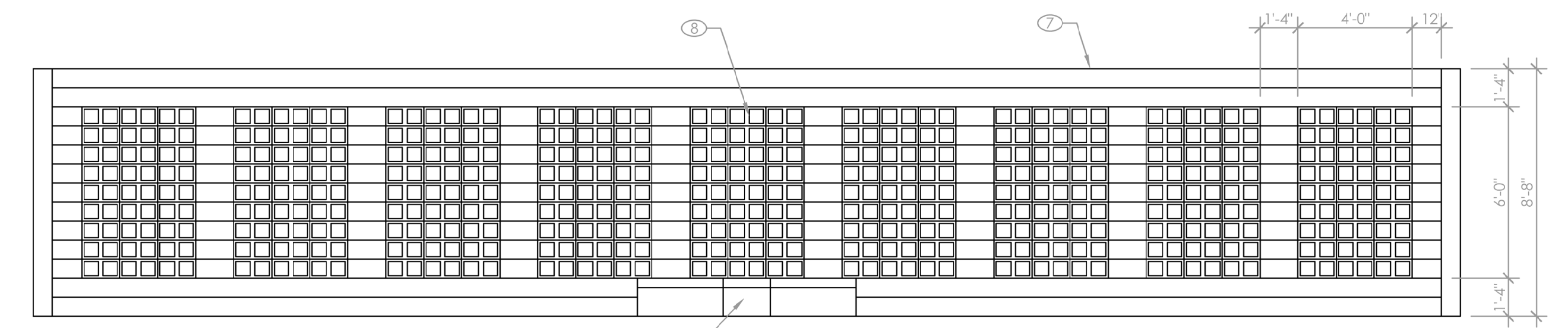
APPROVED BY

DATE

Site Plan Comparison Exhibit



COURTYARD VIEW TO SOUTH
SCALE: 1/4" = 1'-0" NORTH VIEW OPPOSITE



COURTYARD VIEW TO WEST
SCALE: 1/4" = 1'-0"

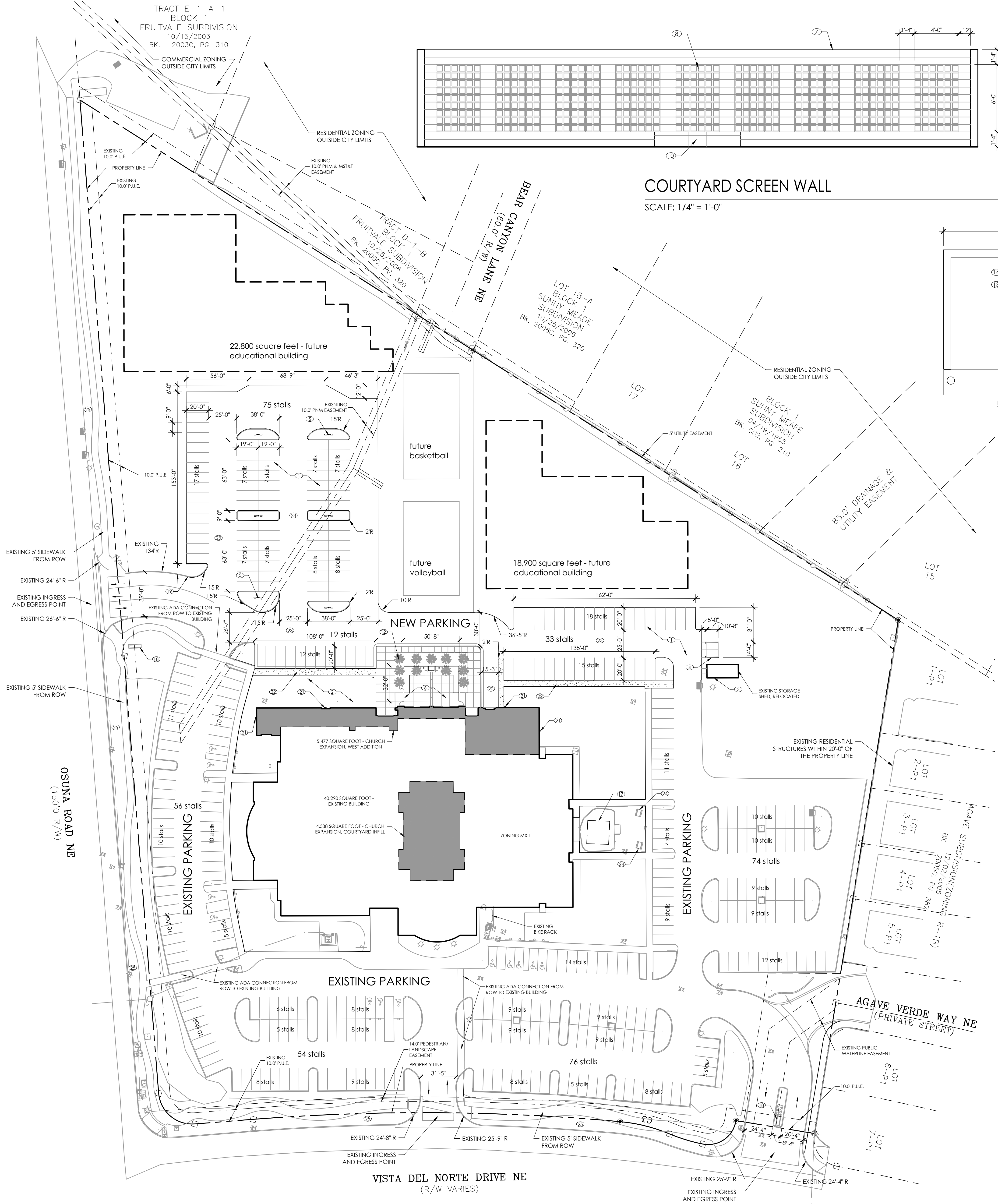
	ORIGINAL APPROVAL	
	Phase 1 Building	40,253 SF
	Proposed Additions	35,405 SF
	Proposed New Buildings	15,440 SF
	Total Buildings	91,098 SF
	PROPOSED	
	Phase 1 Building	40,253 SF
	Proposed Additions	10,015 SF
	Proposed New Buildings	41,700 SF
	Total Buildings	91,968 SF

SITE PLAN SCALE: 1" = 40'-0"

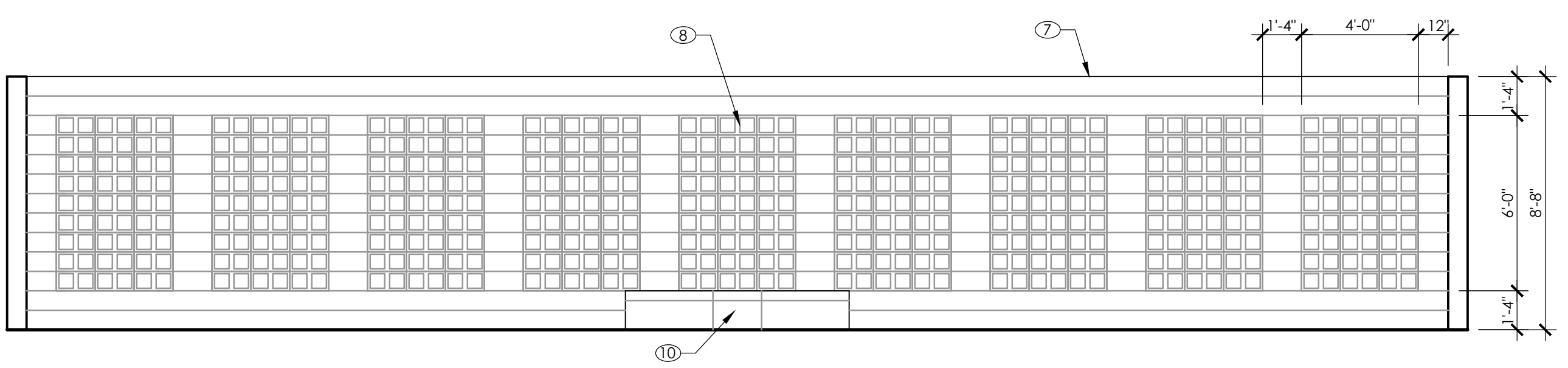
- KEYED NOTES**
- SEE GRADING AND DRAINAGE PLAN FOR NEW SCOPE DEVELOPMENT.
 - NEW LANDSCAPING THROUGHOUT. TO BE DEVELOPED BY LANDSCAPE CONTRACTOR IN COORDINATION WITH OWNER.
 - RELOCATE EXISTING STORAGE SHED TO LOCATION SHOWN.
 - RELOCATE EXISTING DUMPSTER TO LOCATION SHOWN.
 - LIGHT POST TYPICAL. SEE ELECTRICAL DRAWINGS.
 - SEE COURTYARD DEVELOPMENT PLAN AND ELEVATIONS.
 - 8" CMU SCREEN WALL. CMU TEXTURE AND PAINT FINISH TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR.
 - CMU - OPEN CELL EXPOSED. TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR.
 - EXIT GATE - WROUGHT IRON POSTS AND GATE. TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR. PROVIDE LOCK AND EXIT HARDWARE FOR GATES - EACH GATE.
 - RAISED CONCRETE BENCH. FINISH TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR.
 - RAISED PLANTER - LANDSCAPING TO BE DEVELOPED BY LANDSCAPE CONTRACTOR IN COORDINATION WITH OWNER.
 - NEW LANDSCAPE BEDS. TO BE DEVELOPED BY LANDSCAPE CONTRACTOR IN COORDINATION WITH OWNER.

- GENERAL NOTES**
- 389 PARKING STALLS ARE PROPOSED ON-SITE.
- PER CITY OF ALBUQUERQUE PARKING REQUIREMENTS:
- 1416.5.1(A)(3) - ONE STALL IS REQUIRED PER EVERY FOUR SEATS IN SANCTUARY.
 - SANCTUARY SEATING CAPACITY IS 901.
 - 228 PARKING STALLS ARE REQUIRED.
 - PER CITY REQUIREMENTS - 8 MINIMUM MUST BE HANDICAPPED ACCESSIBLE.
 - 12 EXISTING HANDICAPPED ACCESSIBLE PARKING STALLS ARE PROVIDED.
- FUTURE SCOPE PRESUMPTIONS:
- ADDITIONAL BUILD OUT ON-SITE MAY BE 41,700 SQUARE FEET OF EDUCATIONAL FACILITY.
 - EDUCATIONAL PARKING REQUIREMENTS PER CITY ARE EXTREMELY VAGUE (WITHOUT ADDITIONAL DESIGN DEVELOPMENT ESTABLISHED) - ASSUME 250 STUDENT CAPACITY.
 - PERHAPS 50 PARKING STALLS REQUIRED.
 - REQUIRED PARKING IS THUS ACCOMMODATED EXCEPT THAT ADDITIONAL HANDICAPPED PARKING WOULD BE NEEDED.

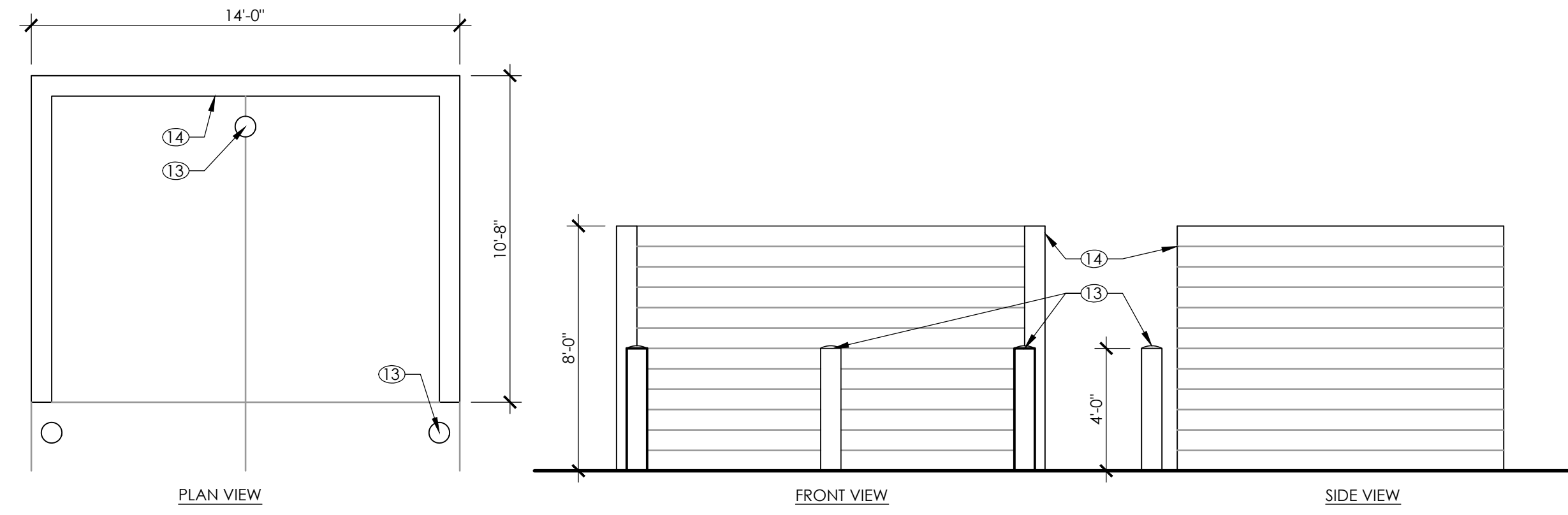
SYMBOLS	
	KEYED NOTE
	INTERIOR ELEVATION
	FRAME ELEVATION
	WALL SECTION
	ENLARGED FLOOR PLAN
	DETAIL REFERENCE
Project	
DESERT SPRINGS CHURCH - EXPANSION	
705 Osuna Road, NE, Albuquerque, NM 87113	
Architect	
CTB ASSOCIATES ARCHITECTS • PLANNERS	
3003 MONTE VISTA BLVD., NE ALBUQUERQUE, NM 87106 P. (505) 248-3033 F. (505) 212-0354 ctb@ctbassociates.com	
Stamp	Revisions
	Sheet No.
	C-3
Date Issued	JUNE 21, 2021
Sheet Name	SITE PLAN



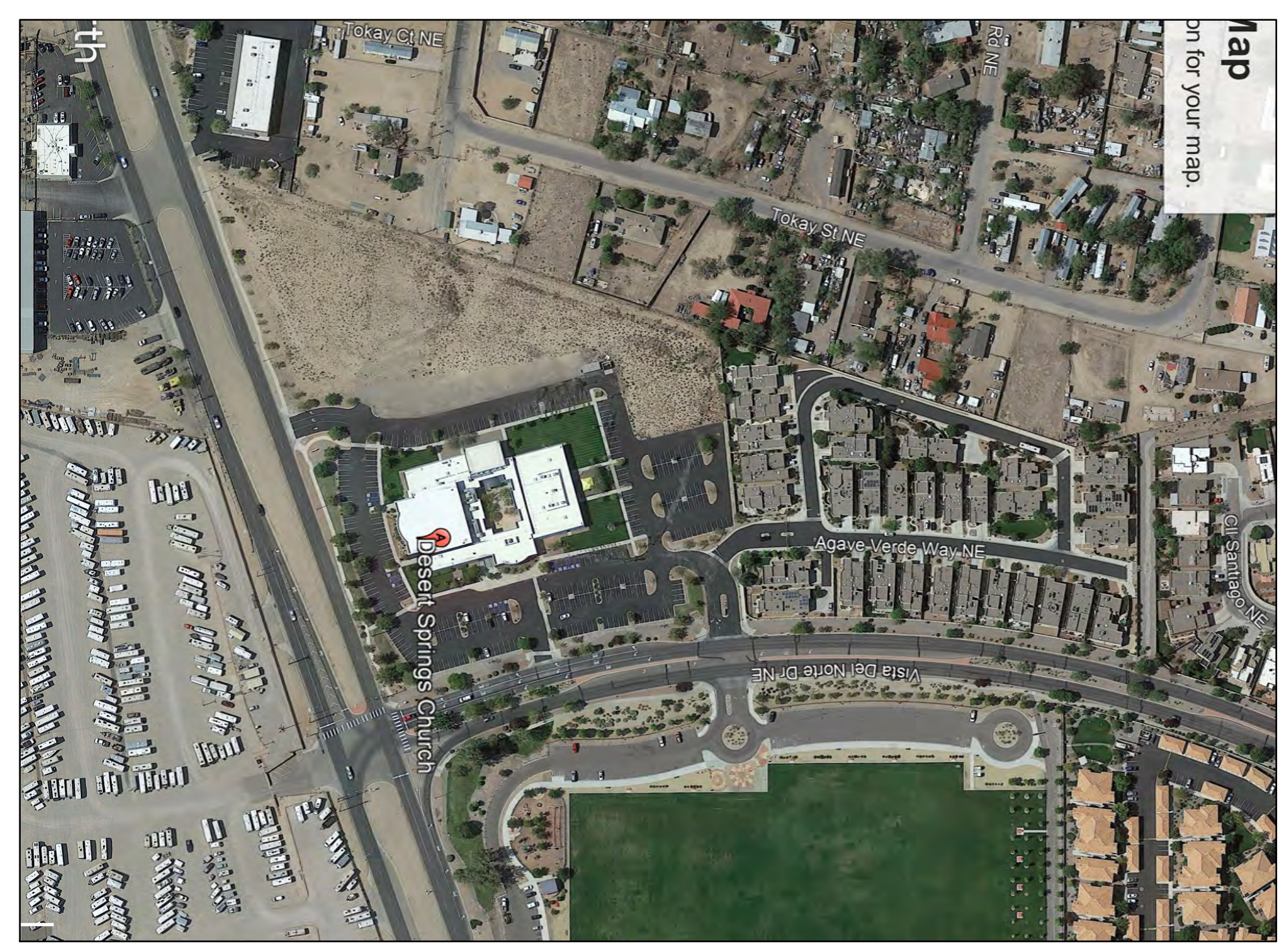
SITE PLAN
ZONING: MX-T
SCALE: 1" = 40'-0"



COURTYARD SCREEN WALL
SCALE: 1/4" = 1'-0"



TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"



VICINITY MAP
SCALE: 1" = 200'-0"

- KEYED NOTES**
- SEE GRADING AND DRAINAGE PLAN FOR NEW SCOPE DEVELOPMENT.
 - NEW LANDSCAPING THROUGHOUT, TO BE DEVELOPED BY LANDSCAPE CONTRACTOR IN COORDINATION WITH OWNER.
 - RELOCATE EXISTING STORAGE SHED TO LOCATION SHOWN.
 - RELOCATE EXISTING DUMPSTER TO LOCATION SHOWN.
 - DUAL HORIZONTAL LIGHT FIXTURE SIDE ARM MOUNTED TOP OF 25'-0" POLE, TYPICAL. (MANUFACTURE - GARCOO 101L-14L-530-NW-G1-3-UNV-CES0-B7) SEE ELECTRICAL DRAWINGS.
 - SEE COURTYARD DEVELOPMENT PLAN AND ELEVATIONS.
 - 8" CMU SCREEN WALL, CMU TEXTURE AND PAINT FINISH TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR. SEE STRUCTURAL DRAWINGS FOR FOOTING DETAIL.
 - CMU - OPEN CELL EXPOSED, TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR.
 - EXIT GATE - WROUGHT IRON POSTS AND GATE, TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR. PROVIDE LOCK AND EXIT HARDWARE FOR GATES - EACH GATE RAISED CONCRETE BENCH, FINISH TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR.
 - RAISED PLANTER - LANDSCAPING TO BE DEVELOPED BY LANDSCAPE CONTRACTOR IN COORDINATION WITH OWNER.
 - NEW LANDSCAPE BEDS, TO BE DEVELOPED BY LANDSCAPE CONTRACTOR IN COORDINATION WITH OWNER.
 - 8" STEEL PIPE BOLLARD FILLED WITH CONCRETE.
 - 8" CMU TRASH ENCLOSURE WALL, CMU TEXTURE AND PAINT FINISH TO BE COORDINATED BETWEEN OWNER AND GENERAL CONTRACTOR. SEE STRUCTURAL DRAWING FOR FOOTING DETAIL.
 - ELECTRICAL IN-GRADE JUNCTION BOX, SEE ELECTRICAL DRAWINGS.
 - ELECTRICAL RECEPTACLE BOX, SEE ELECTRICAL DRAWINGS.
 - EXISTING PLAYGROUND EQUIPMENT WITH SHADE CANOPY.
 - EXISTING FREESTANDING MONUMENT SIGNS.
 - EXISTING CURB TRANSITION TO NEW PARKING CURB.
 - NEW VEHICULAR DRIVE-UP ACCESS.
 - WALL MOUNTED CUTOFF TYPE LED WALL PACK, 12'-0" A.F.F. (MANUFACTURE - GARCOO 101L-14L-530-NW-G1-3-UNV-CES0-B7)
 - NEW 5'-0" WIDE CONCRETE SIDEWALK.
 - HEAVY DUTY ASPHALT PAVING.
 - EXISTING PICNIC TABLE.
 - EXISTING LANDSCAPE BUFFER AREA.

- GENERAL NOTES**
- 380 PARKING STALLS ARE PROPOSED ON-SITE.
- PER CITY OF ALBUQUERQUE PARKING REQUIREMENTS:
- 14.16.3.1(A)(3) - ONE STALL IS REQUIRED PER EVERY FOUR SEATS IN SANCTUARY.
 - SANCTUARY SEATING CAPACITY IS 901.
 - 226 PARKING STALLS ARE REQUIRED.
 - PER CITY REQUIREMENTS - 8 MINIMUM MUST BE HANDICAPPED ACCESSIBLE.
 - 12 EXISTING HANDICAPPED ACCESSIBLE PARKING STALLS ARE PROVIDED.
- FUTURE SCOPE PRESUMPTIONS:**
- ADDITIONAL BUILD OUT ON-SITE MAY BE 41,700 SQUARE FEET OF EDUCATIONAL FACILITY.
 - EDUCATIONAL PARKING REQUIREMENTS PER CITY REQUIRE ADDITIONAL DESIGN DEVELOPMENT ESTABLISHED. ASSUME 250 STUDENT CAPACITY.
 - PERHAPS 150 PARKING STALLS REQUIRED.
 - REQUIRED PARKING IS THUS ACCOMMODATED EXCEPT THAT ADDITIONAL HANDICAPPED PARKING WOULD BE NEEDED.

SYMBOLS

	KEYED NOTE
	FOUND REBAR (AS NOTED)
	FOUND PIPE NAIL (AS NOTED)
	SET 1/2" REBAR WITH CAP STAMPED
	"CA MEDINA PS 15702" (UNLESS OTHERWISE NOTED)
	FIRE DEPARTMENT CONNECTION
	IRRIGATION VALVE
	HOT BOX
	FIRE HYDRANT
	WATER METER
	WATER VALVE
	CLEANOUT
	SANITARY SEWER MANHOLE
	CURB INLET
	AREA INLET
	GAS METER
	ELECTRIC MANHOLE
	TRANSFORMER
	TRAFFIC LIGHT
	CUI WIRE
	ELECTRIC BOX
	ELECTRIC PULLBOX
	JUNCTION BOX
	LIGHT POLE
	POWER POLE
	TELEPHONE PEDESTAL
	CABLE TV
	TELEPHONE PULLBOX
	FIBER OPTIC PULLBOX
	TELEPHONE MANHOLE
	BOLLARD
	SIGN
	FINISH FLOOR ELEVATION
	BIKE RACK
	PICNIC TABLE
	HANDICAP PARKING
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND GAS LINE
	UNDERGROUND SANITARY SEWER LINE
	OVERHEAD POWER
	CHAIN LINK FENCE
	WIRE FENCE
	WROUGHT IRON FENCE
	PROPERTY LINE
	EASEMENT

DESERT SPRINGS CHURCH - EXPANSION
705 Osuna Road, NE, Albuquerque, NM 87113

Architect: **CTB ASSOCIATES**
ARCHITECTS • PLANNERS
3003 MONTE VISTA BLVD., NE ALBUQUERQUE, NM 87106 P. (505) 266-3033 F. (505) 212-0354 ctb@ctbassociates.com

Stamp:

Revisions:

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3	

Sheet No. **1**

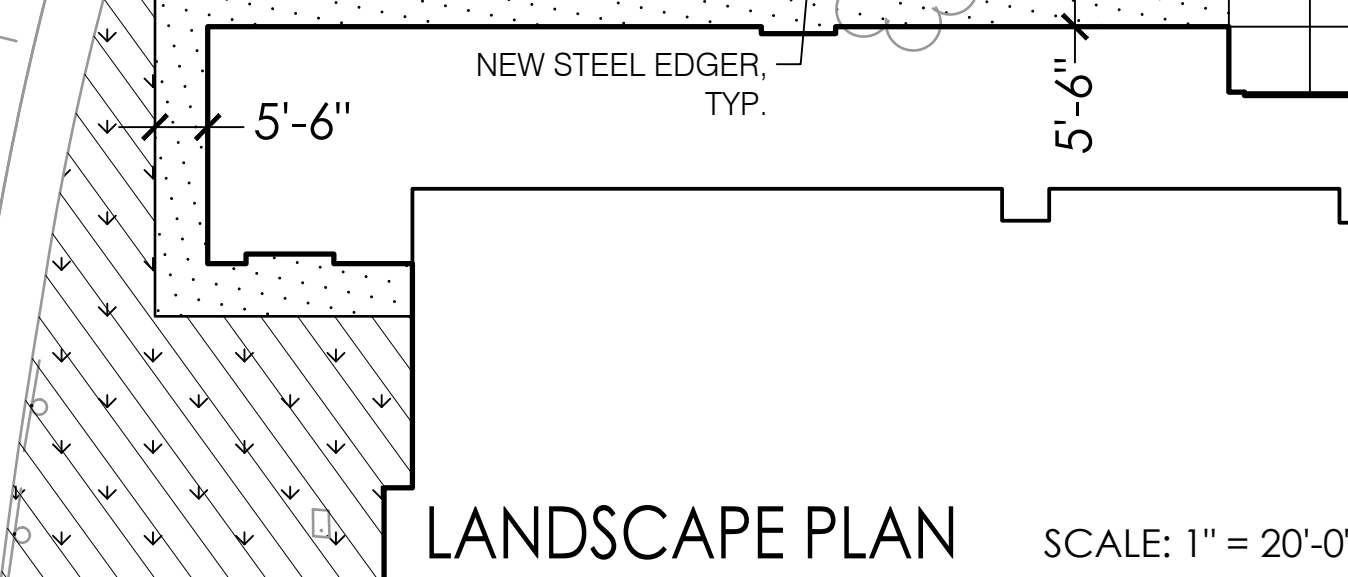
Date Issued: JULY 19, 2021
Sheet Name: **SITE PLAN**

22,800 square feet -
future building

75 stalls

future
basketball

future
volleyball



LANDSCAPE PLAN SCALE: 1" = 20'-0"

GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (5) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUND COVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUND COVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

TURF GRASS AREAS
NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION. (NO TURF IS BEING ADDED TO THE SITE, TURF AREA IS DECREASING WITH SITE BUILDING EXPANSION.)

PARKING LOT AREA
AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED. 4.715 (15%)

PROVIDING 75 PARKING SPACES. TOTAL PARKING LOT AREA: 31,431- SF
PROVIDED LANDSCAPE AREA: 9,777- SF (46%)

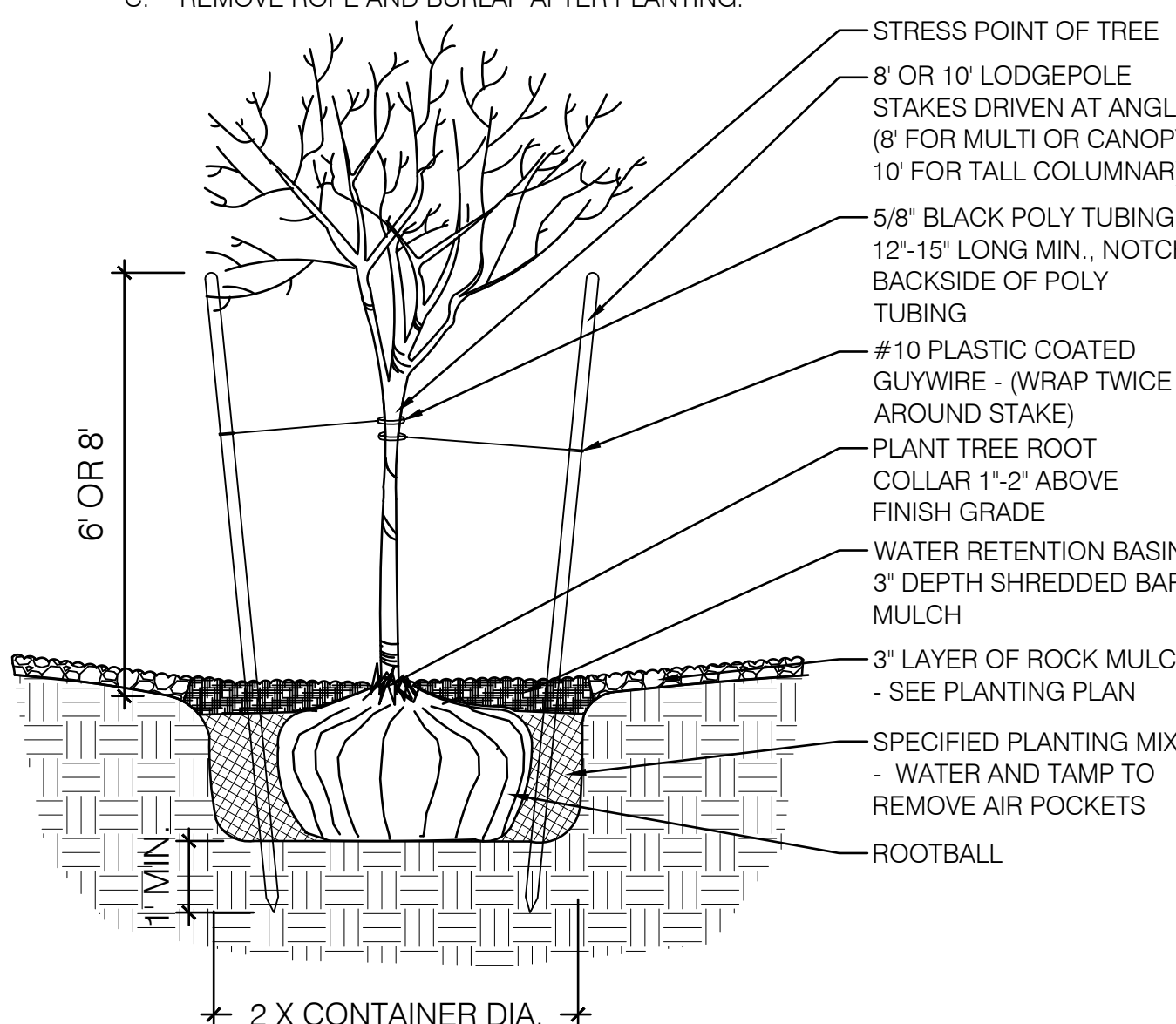
PARKING LOT TREES
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

- 75 PARKING SPACES / 10 SPACES = 8
- TREES REQUIRED: 8
- PROVIDED TREES: 20

PLANT LEGEND

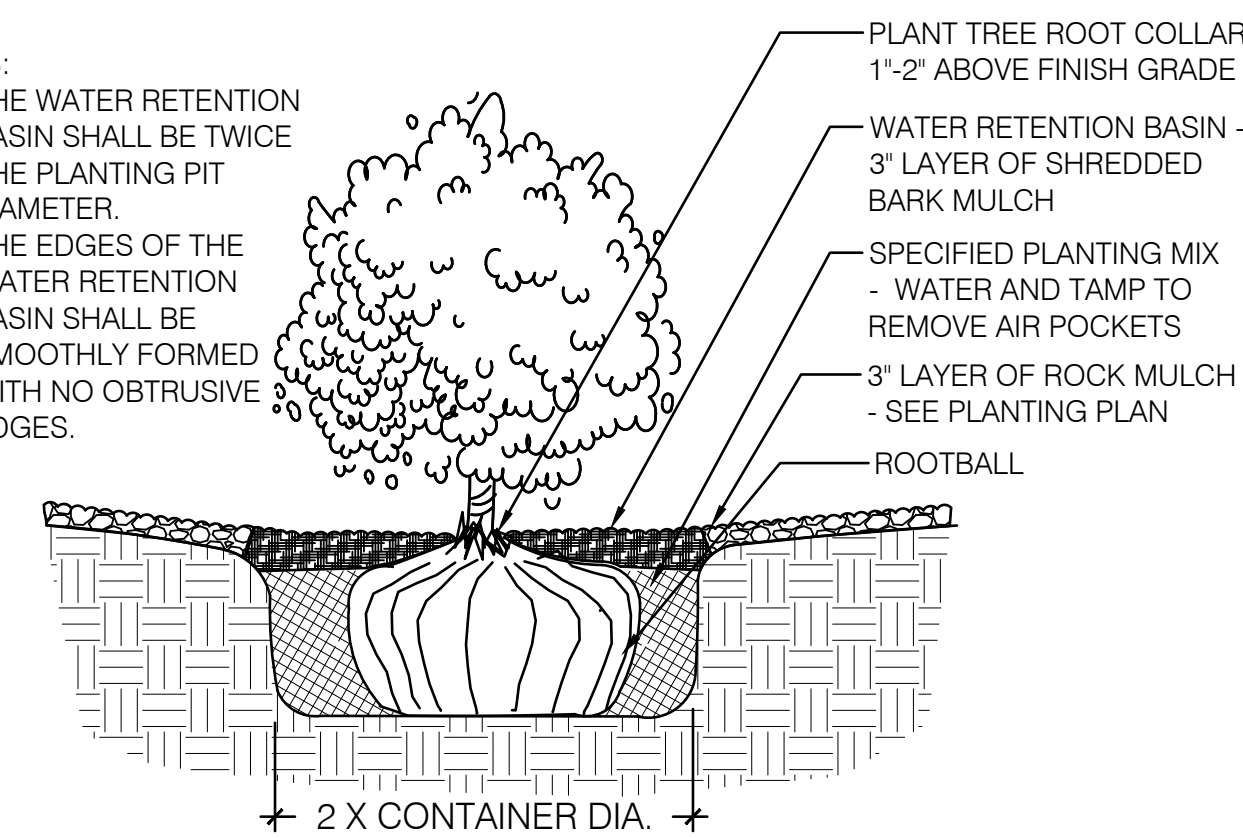
QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
		EXISTING TREE		
TREES				
4		GLEDTISIA TRICANTHOS INERMIS HONEY LOCUST SHADEMASTER (H)	2.5'-CLPR	50 HT. X 4' SPR.
6		JUNIPERUS SCOPULORUM SKYROCKET SKY ROCKET JUNIPER (FEMALES ONLY) (L)	15-GAL	15' HT. X 4' SPR.
10		KOELREUTERIA PANICULATA GOLDEN RAIN TREE (M)	2'-CLPR	25' HT. X 25' SPR.
1		LAGERSTROEMIA INDICA DYNAMITE CREPE MYRTLE (L)	15-GAL	8' HT. X 8' SPR.
4		PISTACIA CHINENSIS CHINESE PISTACHE (M)	2'-CLPR	40' HT. X 30' SPR.
4		PYRUS CALLERYANA BRADFORD PEAR (M+)	2'-CLPR	25' HT. X 15' SPR.
2		VITEX AGNIUS CASTUS CHASTE TREE (M)	2'-CLPR	20' HT. X 20' SPR.
SHRUBS AND GROUNDCOVERS				
7		ARTEMISIA CANA SILVER SAGE (M+)	1-GAL	3' HT. X 5' SPR.
43		LAVANDULA AGUSTIFOLIA LAVENDER (M)	1-GAL	3 HT. X 3' SPR.
2		PINUS MUGO VAR PUMILIO MUGO PINE (M)	5-GAL	3' HT. X 4' SPR.
14		ROSA 'DOUBLE RED KNOCKOUT' DOUBLE RED KNOCK OUT ROSE (M)	3-GAL	3' HT. X 3' SPR.
27		ROSMARIUS OFFICINALIS 'PROSTRATUS' CREEPING ROSEMARY (L+)	1-GAL	2' HT. X 6' SPR.
23		SEDUM REFEXUM 'BLUE SPRUCE' STONE CROP (L+)	1-GAL	2' HT. X 2' SPR.
12		SALVIA GREGGII CHERRY SAGE (L+)	1-GAL	2 HT. X 3' SPR.
ORNAMENTAL GRASSES				
9		CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER GRASS (M)	1-GAL	2' HT. X 30' SPR.
59		MUHLENBERGIA CAPILLARIS REGAL MIST MUHLY (L+)	1-GAL	2 HT. X 3' SPR.
MULCHES AND BOULDERS				
58		LANDSCAPE BOULDER, MOSS ROCK (TO MATCH EXISTING), SIZE: 3X3' MIN.		
		3/4" SANTA FE BROWN GRAVEL MULCH (TO MATCH EXISTING) (2' DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL, OR EQUAL)		
		RE-VEGETATIVE SEEDING: AREAS SHALL BE REVEGETATED BY HYDOMULCH TACKIFIER APPLICATION PER COA SPECIFICATION SECTION 1012 (SANDY SOILS). CONTRACTOR SHALL APPLY REVEGETATED SEED TO LIMITS OF DISTURBANCE.		
		EXISTING TURF- ADJUST TO NEW LIMITS		
		EXISTING LANDSCAPE AREA TO REMAIN		
		2"-4" GREY ROUND RIVER ROCK (TO MATCH EXISTING) (6' DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL, OR EQUAL)		

- NOTES:
A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
C. REMOVE ROPE AND BURLAP AFTER PLANTING.

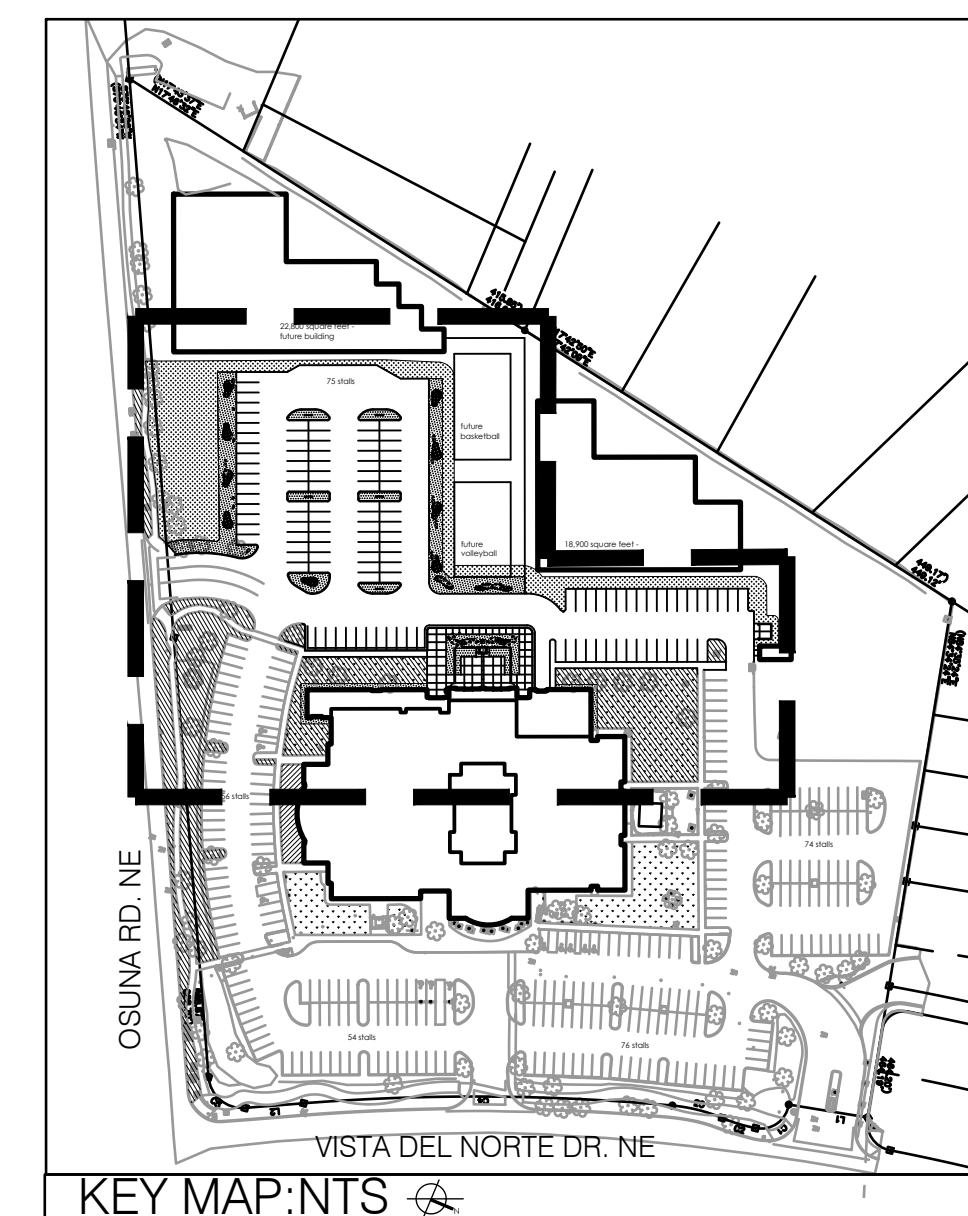


1 TREE PLANTING SCALE: N.T.S.

- NOTES:
A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.



2 SHRUB PLANTING SCALE: N.T.S.



KEY MAP: N.T.S.

Project
**DESERT SPRINGS CHURCH -
EXPANSION**
705 Osuna Road, NE, Albuquerque, NM 87113

Architect
CTB ASSOCIATES
ARCHITECTS • PLANNERS
3003 MONTE VISTA BLVD., NE ALBUQUERQUE, NM 87106 P. (505) 268-3033 F. (505) 212-0354
ctb@ctbassociates.com

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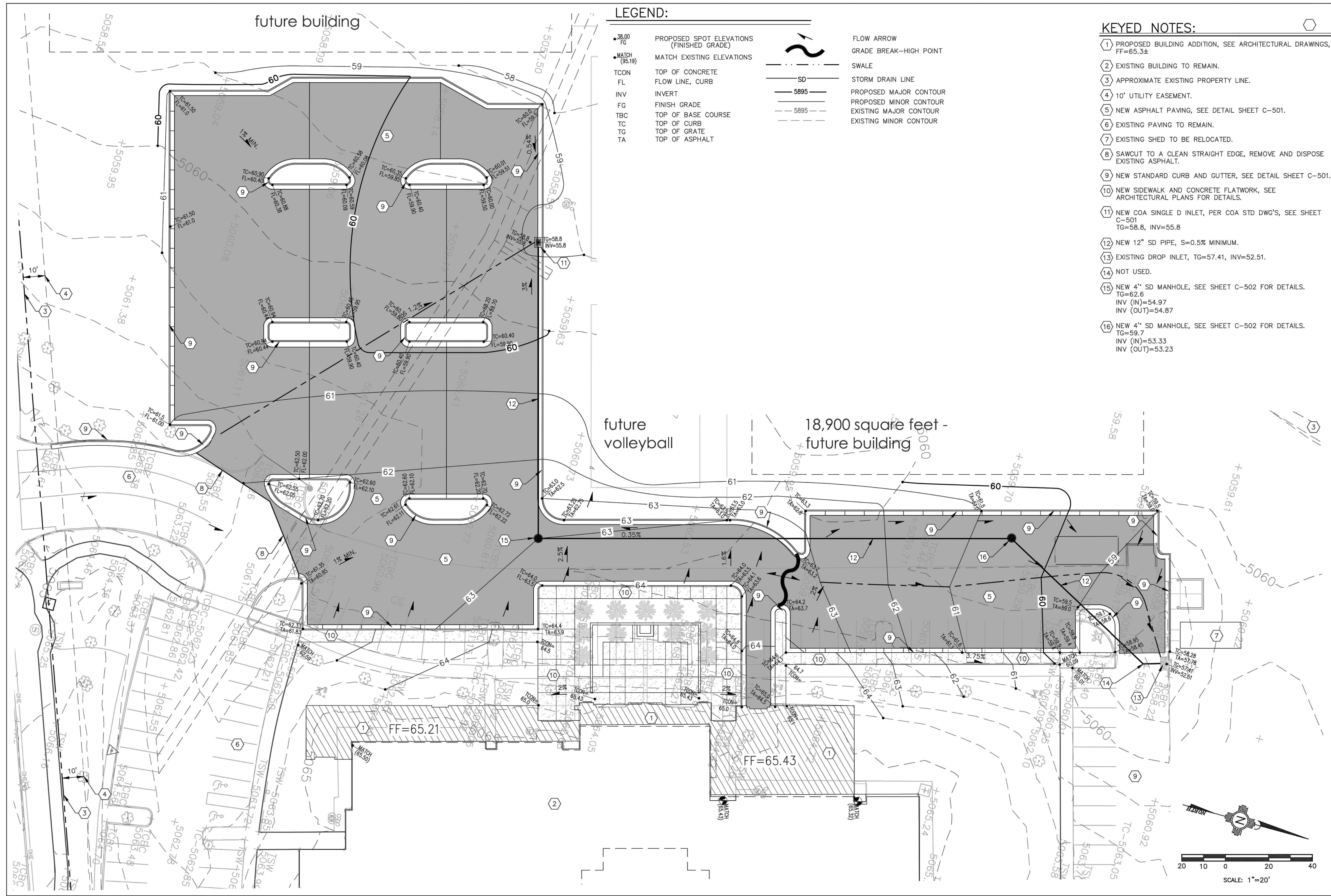
Revisions

Sheet No.
2

Date Issued
JUNE 21, 2021

Sheet Name
LANDSCAPE PLAN

T:\Clients\CTB Architects\DESERT SPRING CHURCH\ACAD\DRAINAGE\PLAN\DWG_C-101_G & D Plan_7/13/2021 10:51:35 AM



LEGEND:

- 38.00
FF PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- MATCH (85.19)
MATCH EXISTING ELEVATIONS
- TC ON TOP OF CONCRETE
- FL FLOW LINE, CURB
- INV INVERT
- FG FINISH GRADE
- TBC TOP OF BASE COURSE
- TC TOP OF CURB
- TG TOP OF GRATE
- TA TOP OF ASPHALT

- FLOW ARROW
- GRADE BREAK—HIGH POINT
- SWALE
- SD STORM DRAIN LINE
- 5895 PROPOSED MAJOR CONTOUR
- 5895 EXISTING MAJOR CONTOUR
- — EXISTING MINOR CONTOUR

KEYED NOTES:

- 1 PROPOSED BUILDING ADDITION, SEE ARCHITECTURAL DRAWINGS, FF=65.3±
- 2 EXISTING BUILDING TO REMAIN.
- 3 APPROXIMATE EXISTING PROPERTY LINE.
- 4 10' UTILITY EASEMENT.
- 5 NEW ASPHALT PAVING, SEE DETAIL SHEET C-501.
- 6 EXISTING PAVING TO REMAIN.
- 7 EXISTING SHED TO BE RELOCATED.
- 8 SAWCUT TO A CLEAN STRAIGHT EDGE, REMOVE AND DISPOSE EXISTING ASPHALT.
- 9 NEW STANDARD CURB AND GUTTER, SEE DETAIL SHEET C-501.
- 10 NEW SIDEWALK AND CONCRETE FLATWORK, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 11 NEW COA SINGLE D INLET, PER COA STD DWG'S, SEE SHEET C-501
TG=58.8, INV=55.8
- 12 NEW 12" SD PIPE, S=0.5% MINIMUM.
- 13 EXISTING DROP INLET, TG=57.41, INV=52.51.
- 14 NOT USED.
- 15 NEW 4" SD MANHOLE, SEE SHEET C-502 FOR DETAILS.
TG=62.6
INV (N)=54.97
INV (OUT)=54.87
- 16 NEW 4" SD MANHOLE, SEE SHEET C-502 FOR DETAILS.
TG=59.7
INV (N)=53.33
INV (OUT)=53.23

MILLER ENGINEERING CONSULTANTS
Engineers • Planners

3500 COMANCHE NE
ALBUQUERQUE, NM 87107
(505) 885-2500
(505) 885-3800 (FAX)

DESIGNED	RFH	RFH	VAM
DRAWN	RFH	RFH	VAM
CHECKED	RFH	RFH	VAM

JOB # E-20-082
FILE C-101.dwg
DATE 04/19/2021



BERNALILLO COUNTY
NEW MEXICO

DESERT SPRINGS CHURCH
ALBUQUERQUE, N.M.

GRADING AND DRAINAGE PLAN

MARK	DATE	REVISION DESCRIPTION

C-101

Project
DESERT SPRINGS CHURCH - EXPANSION
705 Osuna Road, NE, Albuquerque, NM 87113

Architect
CTB ASSOCIATES
ARCHITECTS • PLANNERS
3003 MONTE VISTA BLVD. NE
ALBUQUERQUE, NM 87106
P. (505) 268-3033 F. (505) 212-0354
ctb@ctbassociates.com

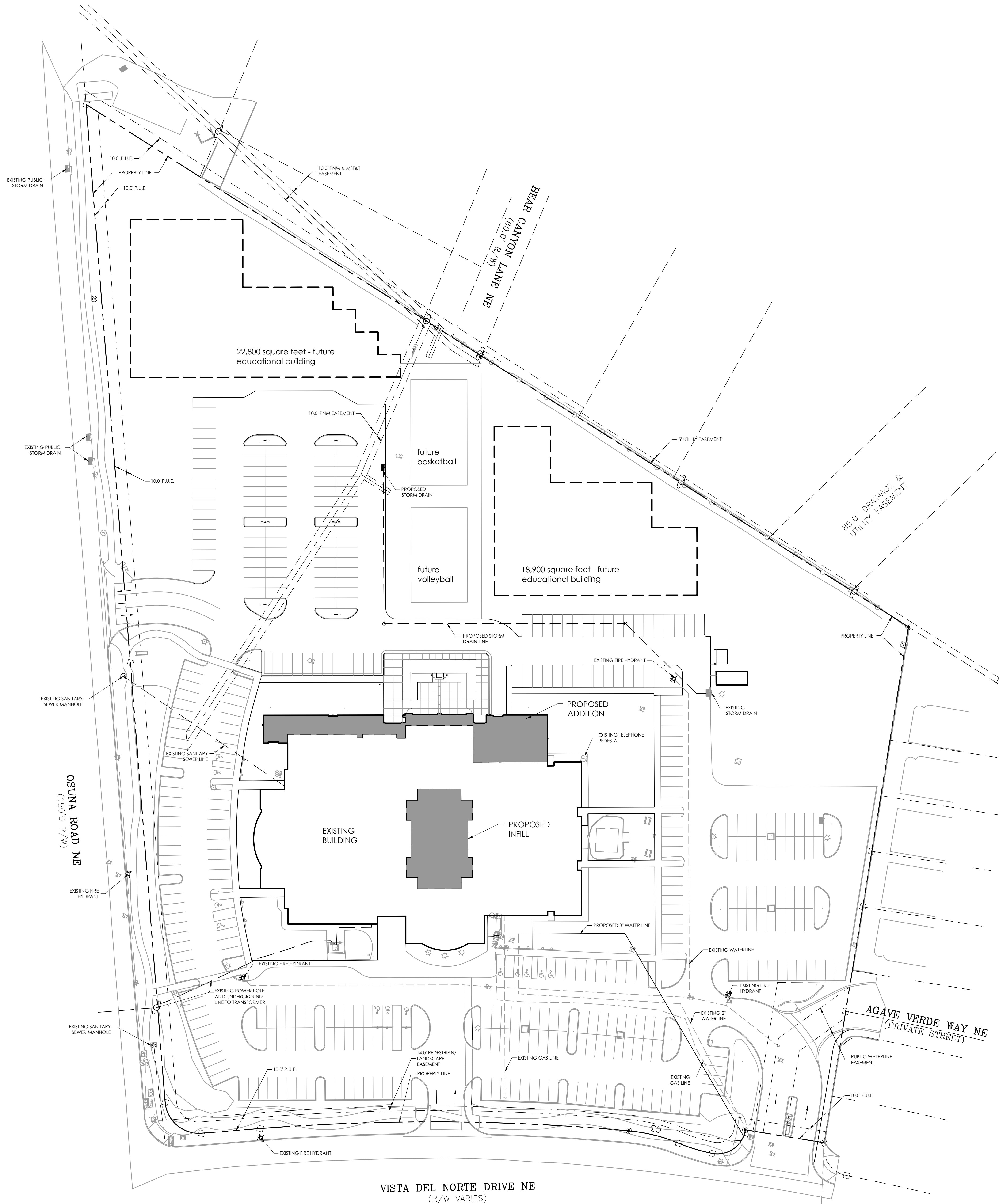
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Revisions

Sheet No.
3

Date Issued
JUNE 21, 2021

Sheet Name
GRADING AND DRAINAGE PLAN



UTILITY PLAN
 SCALE: 1" = 40'-0"
 0 10' 20' 40'

KEYED NOTES

1. NOTES

GENERAL NOTES

- GENERAL NOTES

SYMBOLS

○	KEYED NOTE
△	FOUND CONTROL MONUMENT (AS NOTED)
□	FOUND REBAR (AS NOTED)
⊗	FOUND PK NAIL (AS NOTED)
⊙	SET 1/2" REBAR W/IT CAP STAMPED
⊕	"CA MEDINA PS 15702" (UNLESS OTHERWISE NOTED)
⊕	FIRE DEPARTMENT CONNECTION
⊕	IRRIGATION VALVE
⊕	HOT BOX
⊕	FIRE HYDRANT
⊕	WATER METER
⊕	WATER VALVE
⊕	CLEANOUT
⊕	SANITARY SEWER MANHOLE
⊕	CURB INLET
⊕	AREA INLET
⊕	GAS METER
⊕	ELECTRIC MANHOLE
⊕	TRANSFORMER
⊕	TRAFFIC LIGHT
⊕	CU/F WIRE
⊕	ELECTRIC BOX
⊕	ELECTRIC PULLBOX
⊕	JUNCTION BOX
⊕	LIGHT POLE
⊕	POWER POLE
⊕	TELEPHONE PEDESTAL
⊕	CABLE TV
⊕	TELEPHONE PULLBOX
⊕	FIBER OPTIC PULLBOX
⊕	TELEPHONE MANHOLE
⊕	BOLLARD
⊕	SIGN
⊕	FINISH FLOOR ELEVATION
⊕	BIKE RACK
⊕	PICNIC TABLE
⊕	HANDICAP PARKING
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND GAS LINE
---	UNDERGROUND SANITARY SEWER LINE
---	OVERHEAD POWER
---	CHAIN LINK FENCE
---	WIRE FENCE
---	WROUGHT IRON FENCE
---	PROPERTY LINE
---	EASEMENT

DESERT SPRINGS CHURCH - EXPANSION
 705 Osuna Road, NE, Albuquerque, NM 87113

CTB ASSOCIATES
 ARCHITECTS • PLANNERS
 3003 MONTE VISTA BLVD., NE ALBUQUERQUE, NM 87110
 P. (505) 266-3033 F. (505) 212-0354
 ctb@ctbassociates.com

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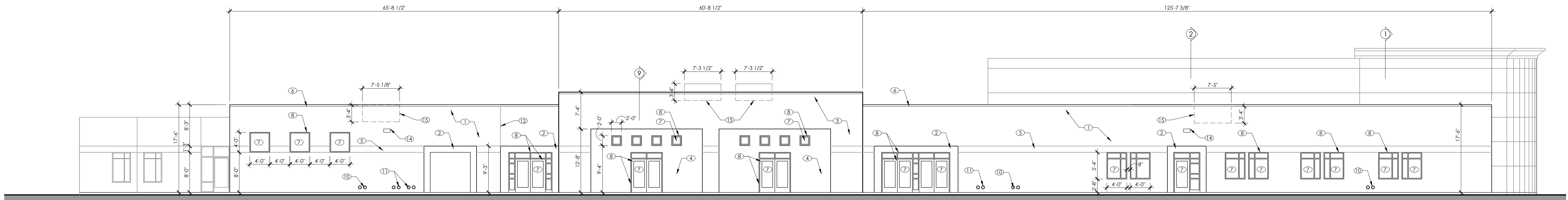
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Sheet No. **4**

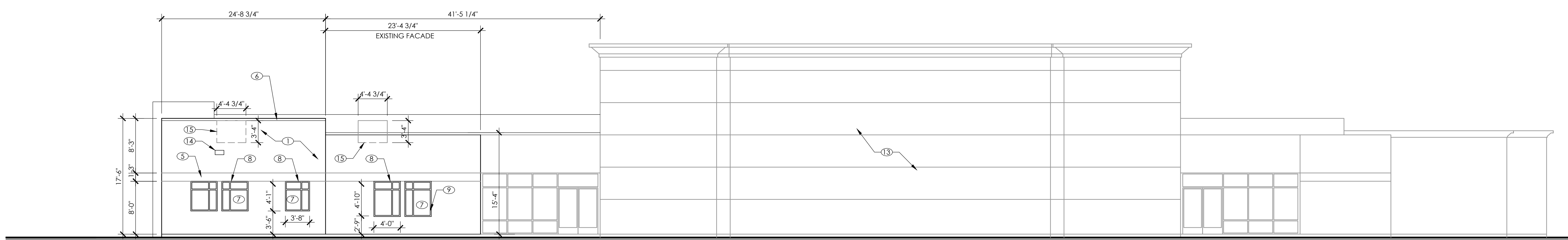
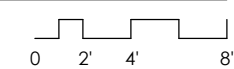
Date Issued: JULY 19, 2021

Sheet Name: UTILITY PLAN



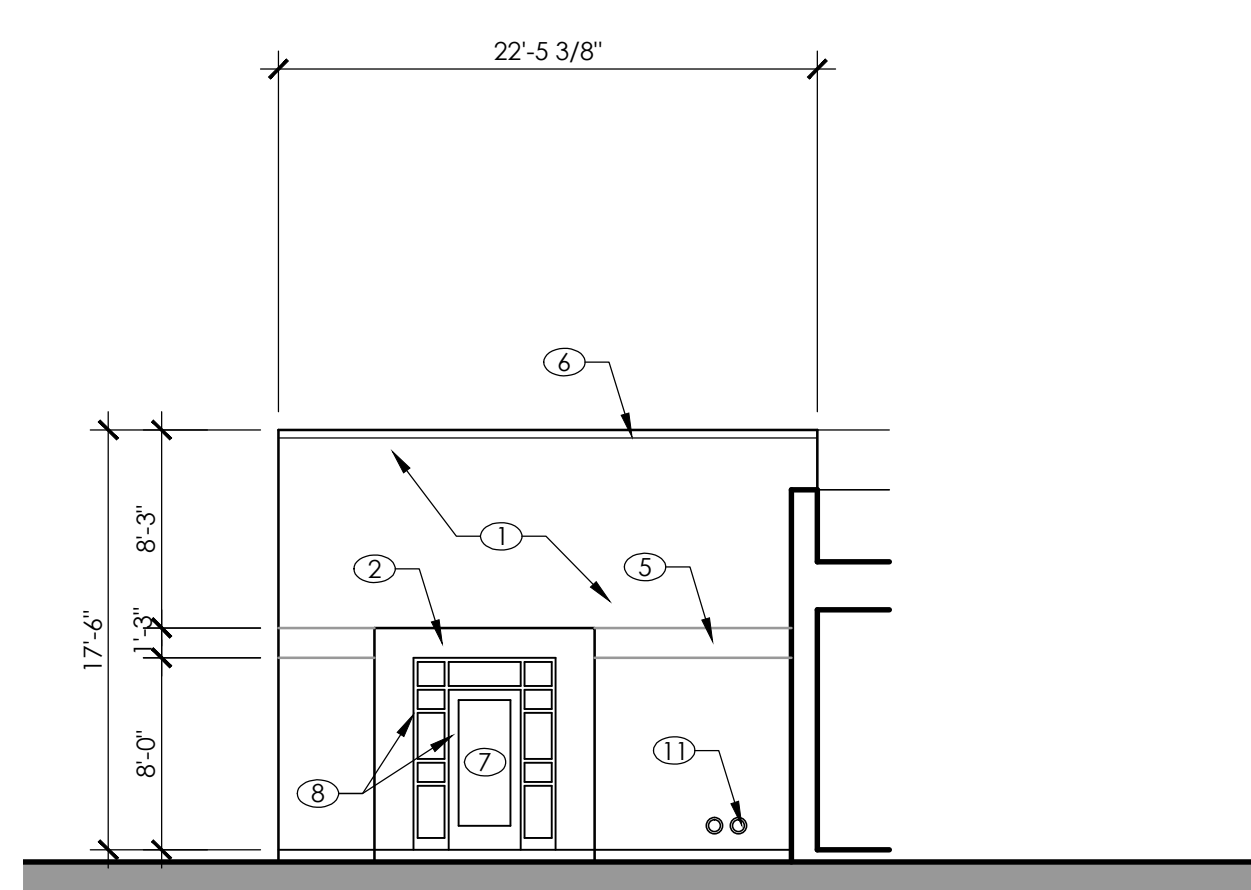
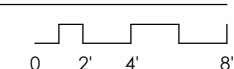
WEST ELEVATION

SCALE: 1/8" = 1'-0"



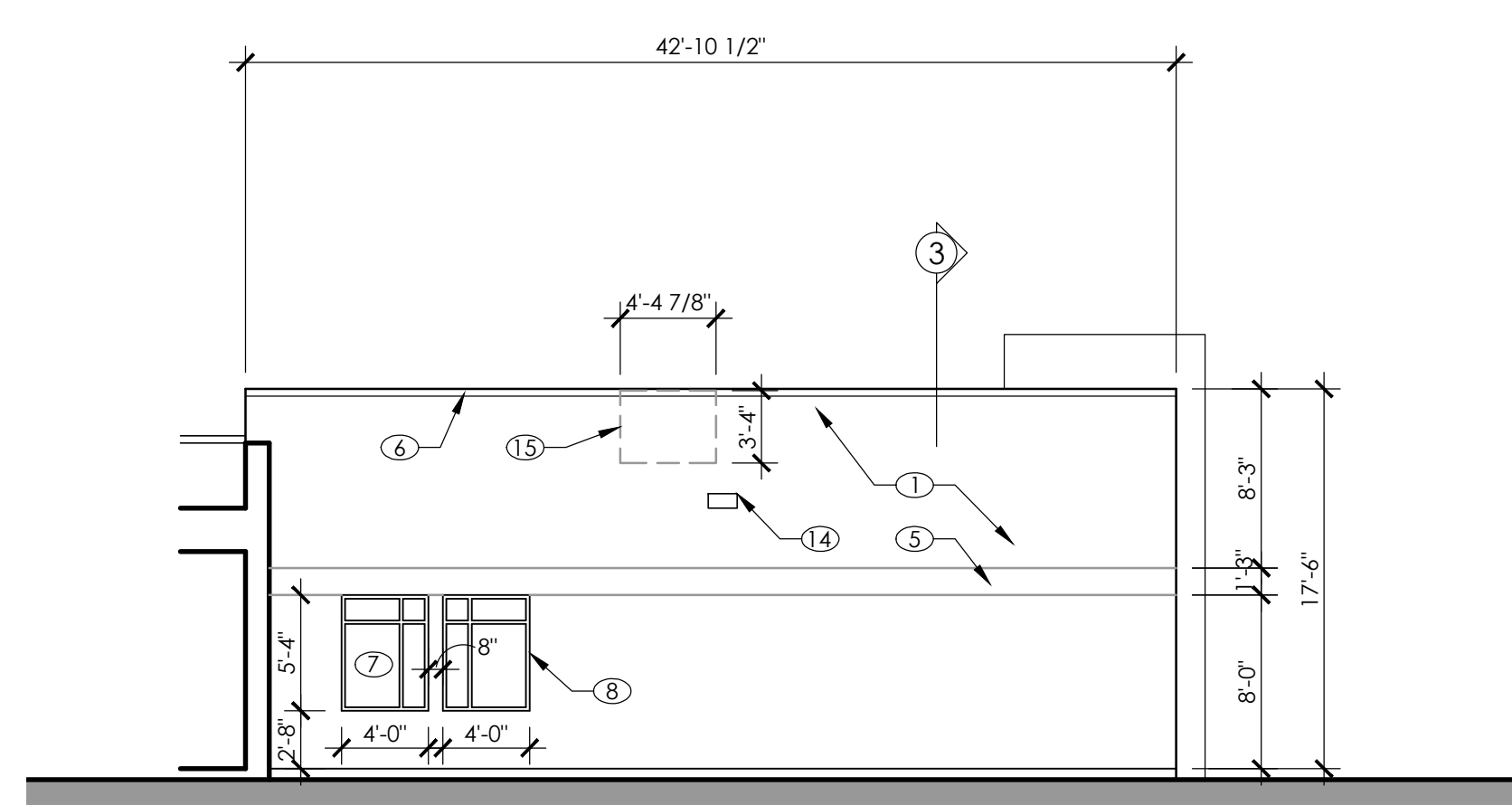
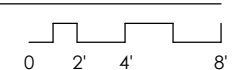
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



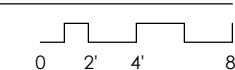
PARTIAL EAST ELEVATION

SCALE: 1/8" = 1'-0"



PARTIAL NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING SOUTH ELEVATION PHOTO - FOR REFERENCE

SCALE: NTS

KEYED NOTES

1. SYNTHETIC STUCCO MATCH P-6 GREY FINISH.
2. SYNTHETIC STUCCO MATCH P-7 CHARCOAL FINISH.
3. SYNTHETIC STUCCO MATCH P-5 BROWN FINISH.
4. SYNTHETIC STUCCO MATCH P-5 BROWN FINISH.
5. CONTINUE HORIZONTAL CONTROL JOINTS IN EIFS WHERE SHOWN - MATCH EXISTING PROFILE.
6. PRE-FINISHED ALUMINUM COPING SELECTED FROM MANUFACTURER'S STANDARD COLORS - TO BE SELECTED.
7. SOLAR GREY GLASS COLOR
8. ALUMINUM FINISH ON ALL EXTERIOR DOORS AND WINDOW FRAMES.
9. NEW WINDOWS WITHIN EXISTING BUILDING WALL - RESTORE FINISH AS REQUIRED.
10. NEW ROOF DRAIN AND OVER FLOW DRAIN OUTLET. SEE PLUMBING DRAWINGS.
11. ROOF DRAIN AND OVERFLOW DRAIN OUTLETS, EXTENDED FROM EXISTING ROOFS. SEE PLUMBING DRAWINGS.
12. VERTICAL CONTROL JOINT - ALIGNED WITH EXPANSION JOINT CONDITION TO EAST.
13. REVIEW FINISH CONDITION AT SANCTUARY - BLACK FINISH AT CENTER MAY REQUIRE REFINISH - CONSULT WITH OWNER REGARDING CONDITION.
14. NEW WALL SCOFF - MOUNT AT 12'-0" A.F.F., SEE ELECTRICAL DRAWINGS.
15. MECHANICAL ROOF TOP UNIT ON ROOF BEYOND EXTERIOR PARAPET.

GENERAL NOTES

SYMBOLS

- KEYED NOTE
- INTERIOR ELEVATION
- FRAME ELEVATION
- WALL SECTION
- ENLARGED FLOOR PLAN
- DETAIL REFERENCE

Project
DESERT SPRINGS CHURCH - EXPANSION
 705 Osuna Road, NE, Albuquerque, NM 87113

Architect
CTB ASSOCIATES
 ARCHITECTS • PLANNERS
 3003 MONTE VISTA BLVD., NE ALBUQUERQUE, NM 87106 P. (505) 266-3033 F. (505) 212-0354
 ctba@ctbassociates.com

Stamp

 Charles T. Berger, Jr.
 No. 27372
 Exp. 7/19/21
 STATE OF NEW MEXICO
 REGISTERED ARCHITECT

Revisions
 1. _____
 2. _____
 3. _____

Sheet No.
5

Date Issued
 JULY 19, 2021

Sheet Name
BUILDING & STRUCTURE ELEVATIONS