



## Memorandum

**To:** James Aranda, City of Albuquerque Zoning Enforcement Officer

**From:** Chris Green, Principal Consensus Planning *Chris Green*

**Date:** November 12, 2021

**Re:** Desert Springs Church, Administrative Amendment Request Resubmittal  
– PR-2021-005784, SI-2021-01136

On July 22, 2021, Consensus Planning submitted a request for a Minor Amendment for Desert Springs Church property, located at 705 Osuna Road, NE. The application was amended per staff comments.

**Transportation:**

- Comments addressed on Revised Site Plan.

**Hydrology:**

- Approved Grading and Drainage Plan attached.

Thank you for your consideration of this application. Please let us know if you have any questions.

**Att:** Revised Site Plan, Hydrology Letter of Approval, Transportation Comments

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Interim Director



Mayor Timothy M. Keller

November 3, 2021

Verlyn Miller, P.E.  
Miller Engineering Consultants, Inc  
3500 Comanche NE Bldg. F  
Albuquerque, NM 87107

**RE: Desert Springs Church – Parking Addition  
705 Osuna Rd. NE  
Grading and Drainage Plan  
Engineer’s Stamp Date: 09/07/21  
Hydrology File: E16D021**

Dear Mr. Miller:

PO Box 1293

Based upon the information provided in your submittal received 09/08/2021, the Grading & Drainage Plan is approved for Grading Permit and Paving Permit. Once the grading and paving of the project is complete, please provide an as-built for Hydrology’s records.

Albuquerque

Please provide the Drainage Covenant with Exhibit A for the detention pond per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ 25.00 recording fee check made payable to Bernalillo County to Marion G. Velasquez ([mgvelasquez@cabq.gov](mailto:mgvelasquez@cabq.gov)) on the 4th floor of Plaza de Sol.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner’s certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

# 94<sup>th</sup> Street at Volcano Road

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## Administrative Amendment Request

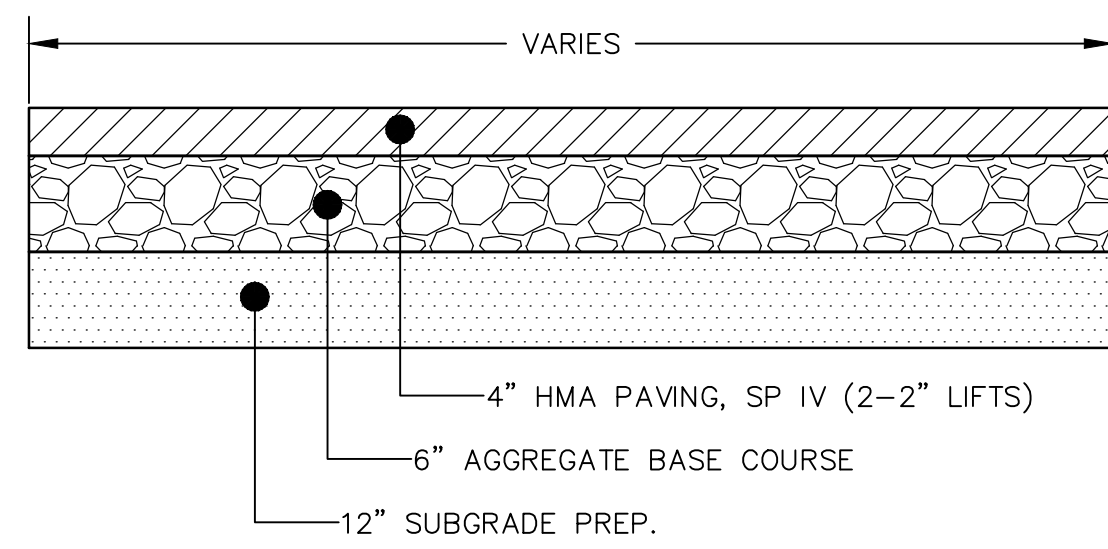
### Project #PR- 2021-005784

Transportation Development Comments:

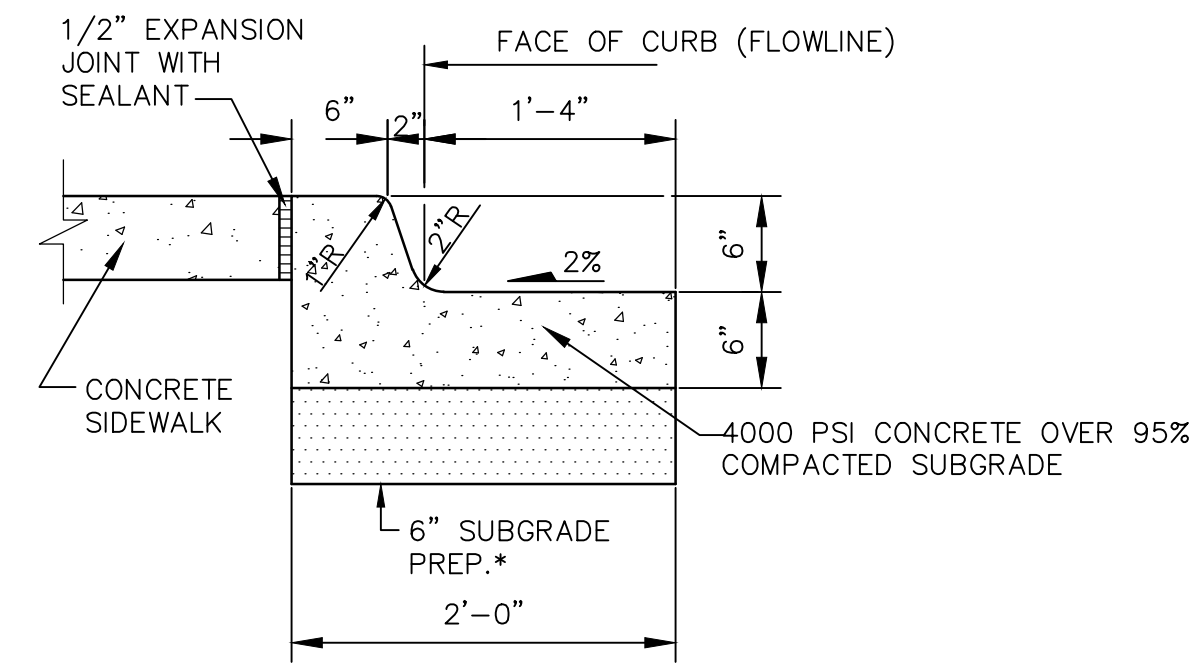
Contact: Jeanne Wolfenbarger 924-3991, [jwolfenbarger@cabq.gov](mailto:jwolfenbarger@cabq.gov)

1. The 10-foot radius south of the future basketball courts is too tight a turning radius. Follow DPM standards for this one based on expected design vehicle.  
[This has been modified.](#)
2. Seek Solid Waste Approval prior to approval by the Transportation Department.  
[We have initiated the process. We are waiting for response.](#)
3. For each segment of the parking lot, provide typical parking stall width and length. If the radii for the landscape islands are typical, add the note "Typical" to one of them.  
[All radii are marked. We've added "Typical" to the parking stall dimensions.](#)
4. Show 6-foot ADA pathway to right-of-way from the main building, and label all proposed and existing pedestrian pathways to demonstrate existing ADA access.  
[ADA access pathway is existing and is 5' wide. We've added graphic pattern to illustrate access passage to building.](#)
5. Label new asphalt parking lot as an asphalt surface if this is the intent, and add a keyed note calling out all curb. Curb that separates the parking lot from the landscape islands and pedestrian ways shall be between 6" to 8" high.  
[Curb detail is shown on the grading and drainage plan. We've added additional notes indicating that the curb is 6" high.](#)
6. Add curb and sidewalk details as applicable. 2% cross slope maximum should be labeled for any new sidewalk.  
[Curb and sidewalk details are added to the grading and drainage plan. Cross slope is identified.](#)
7. Follow IDO Standards for addition of motorcycle parking and bicycle parking. Add necessary dimensioning for these, motorcycle parking sign details and bicycle rack details.  
[Motorcycle parking and bicycle parking are added including dimensions and detail.](#)
8. Consider that when the future educational buildings and basketball courts are built, proper ADA access is expected. At that time, curb ramps, 6-foot ADA pathways to buildings, and an ADA-accessible network of pathways are expected. A couple of handicapped spaces are needed for close access to these new buildings since the existing spaces are not located within close distance. It makes sense to incorporate these when the new buildings are designed at a later date.  
[Thank you.](#)
9. When is the majority of traffic generated for the church other than on Sunday? Are there regular services and classes that will overlap with PM peak hour? If there are, what is the expected trip generation? These questions will need to be answered prior to the future building construction.  
[No services are intended during peak hours. There are no mid-week services.](#)



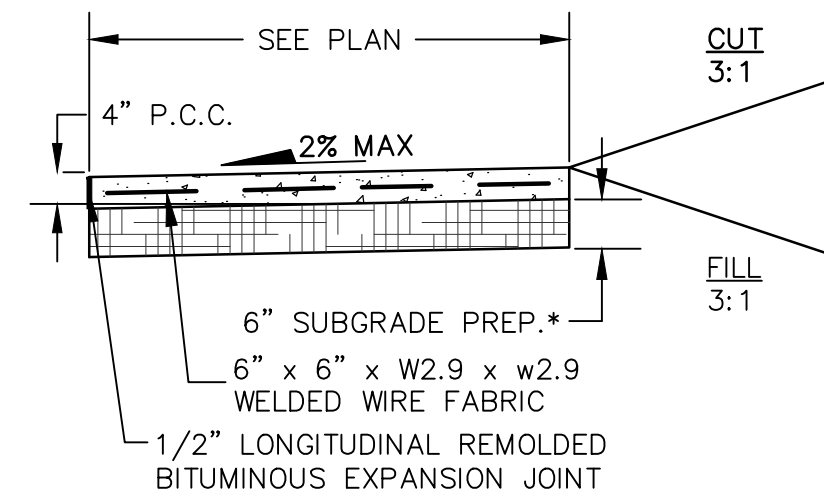


**D1 HEAVY DUTY ASPHALT PAVING DETAIL**  
SCALE: NOT TO SCALE

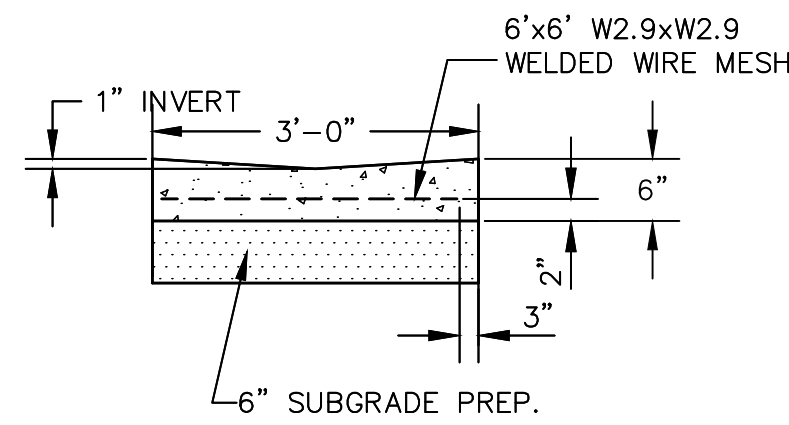


- NOTES:
1. SEE PLAN FOR SIDEWALK JOINT PATTERN.
  2. CONSTRUCT 1/2" EXPANSION JOINTS WITH SEALANT @40'-0" O.C. MAX.
  3. CONSTRUCT 1 1/2" DEEP TOOLED CONTROL JOINTS @5'-0" O.C. MAX.
  4. MATCH TOP OF EXISTING SIDEWALK AND MAINTAIN EXISTING FLOW LINE.

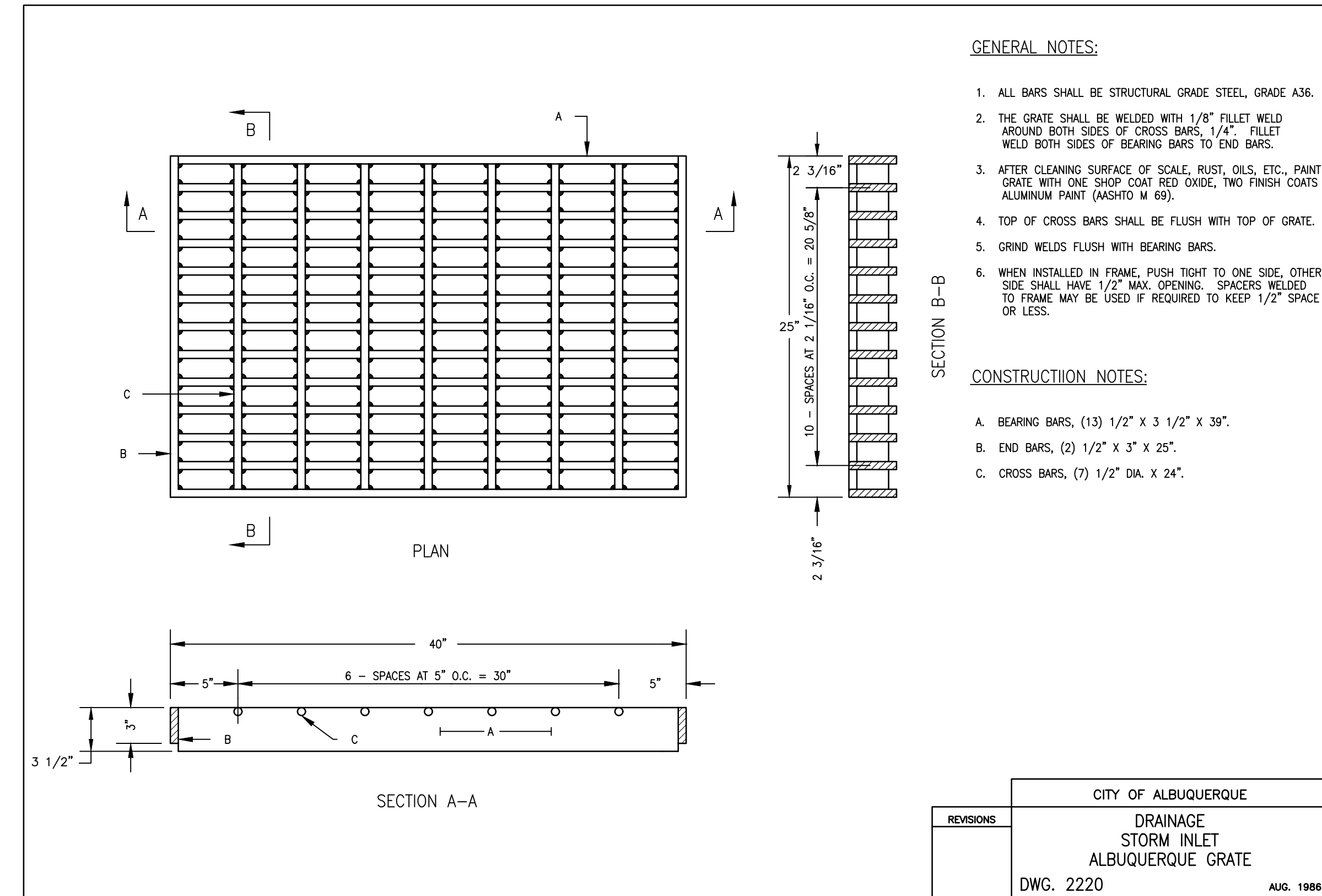
**D2 TYPICAL CURB AND GUTTER SECTION**  
SCALE: NOT TO SCALE



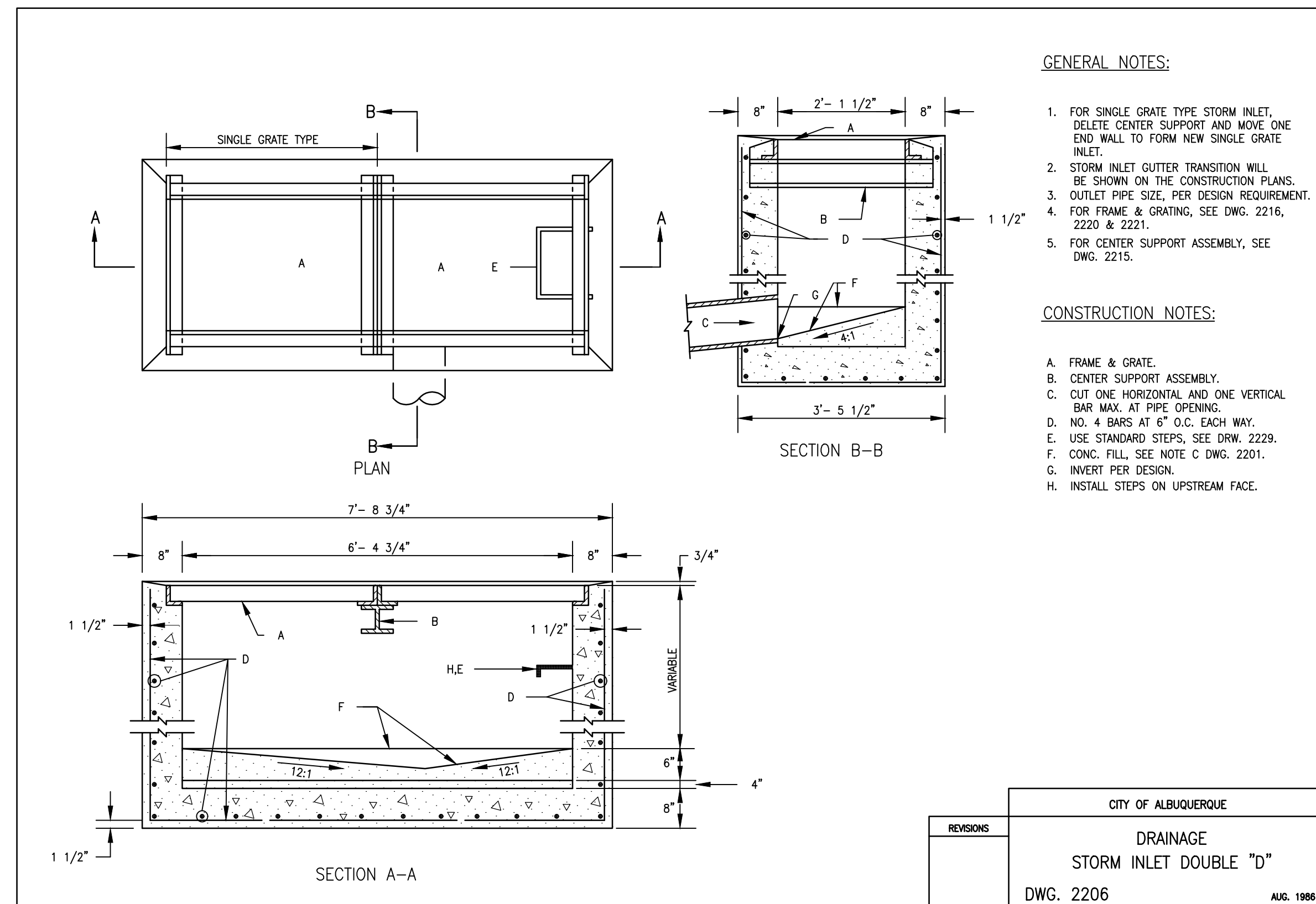
**C1 TYPICAL SIDEWALK SECTION**  
SCALE: NOT TO SCALE



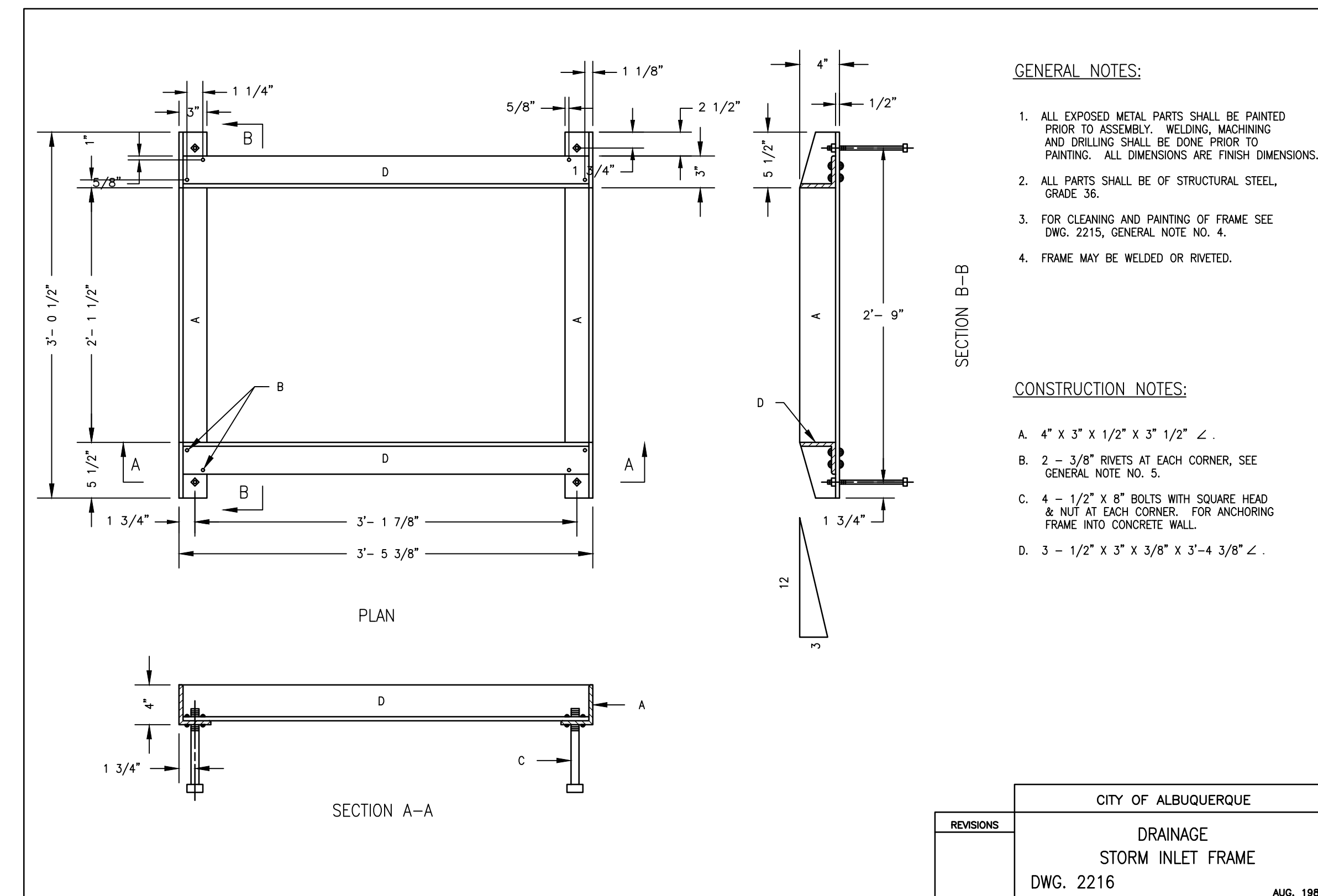
**C2 CONCRETE VALLEY GUTTER DETAIL**  
SCALE: NONE



**C4 STORM DRAIN INLET GRATE**  
SCALE: NOT TO SCALE



**A1 STORM DRAIN INLET SINGLE "D"**  
SCALE: NOT TO SCALE



**A3 STORM DRAIN INLET FRAME**  
SCALE: NOT TO SCALE

**MILLER ENGINEERING CONSULTANTS**  
Engineers • Planners

3500 COMANCHE NE  
BLDG F  
ALBUQUERQUE, NM 87107  
(505)888-7500  
(505)888-3800 (FAX)

DESIGNED	RFH	JOB # E-20-062
DRAWN	RFH	FILE C-501.dwg
CHECKED	VAM	DATE 07/08/2021



NEW MEXICO

BERNALILLO COUNTY

**DESERT SPRINGS CHURCH**

ALBUQUERQUE, N.M.

**MISCELLANEOUS DETAILS**

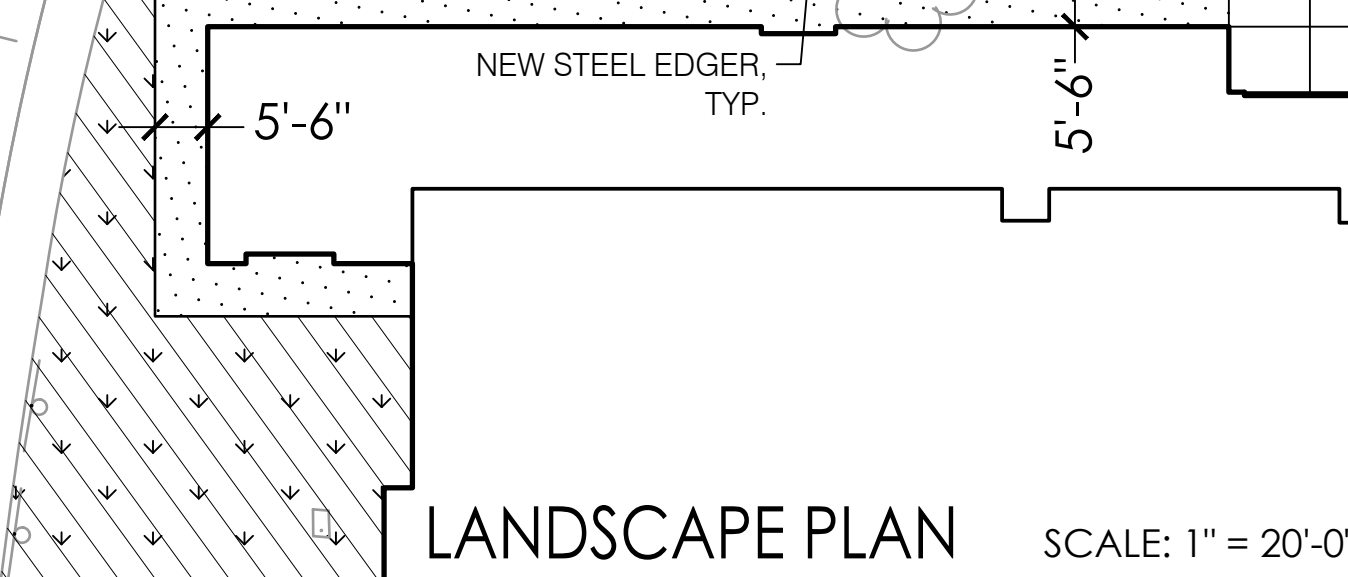
REVISION DESCRIPTION	DATE	MARK

22,800 square feet -  
future building

75 stalls

future  
basketball

future  
volleyball



LANDSCAPE PLAN SCALE: 1" = 20'-0"

GENERAL LANDSCAPE NOTES

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (5) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

**SCREENING** WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**TURF GRASS AREAS**  
NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION. (NO TURF IS BEING ADDED TO THE SITE, TURF AREA IS DECREASING WITH SITE BUILDING EXPANSION.)

**PARKING LOT AREA**  
AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED. 4.715 (15%)

PROVIDING 75 PARKING SPACES. TOTAL PARKING LOT AREA: 31,431- SF. PROVIDED LANDSCAPE AREA: 9,777- SF (46%)

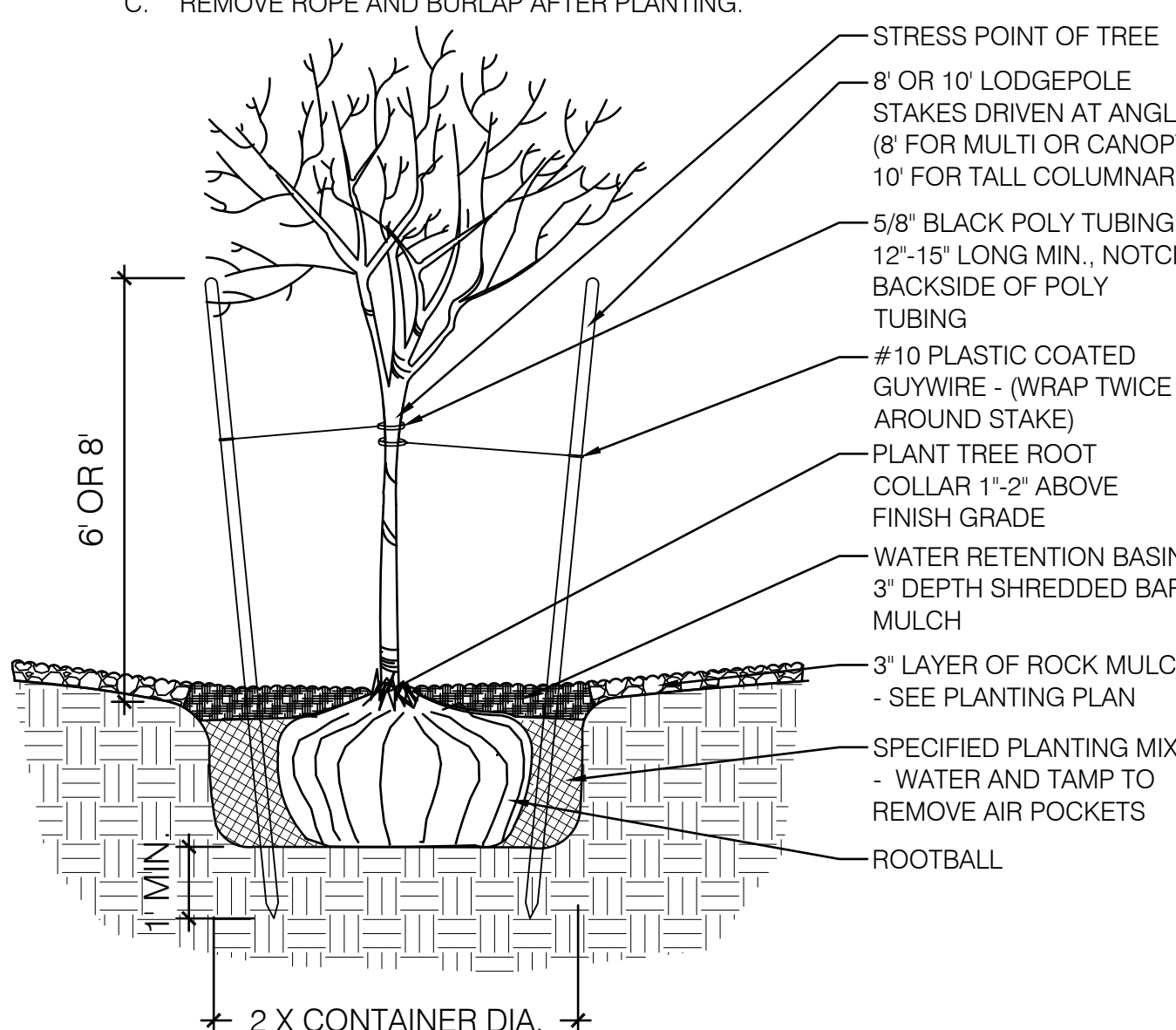
**PARKING LOT TREES**  
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

- 75 PARKING SPACES / 10 SPACES = 8  
- TREES REQUIRED: 8  
- PROVIDED TREES: 20

PLANT LEGEND

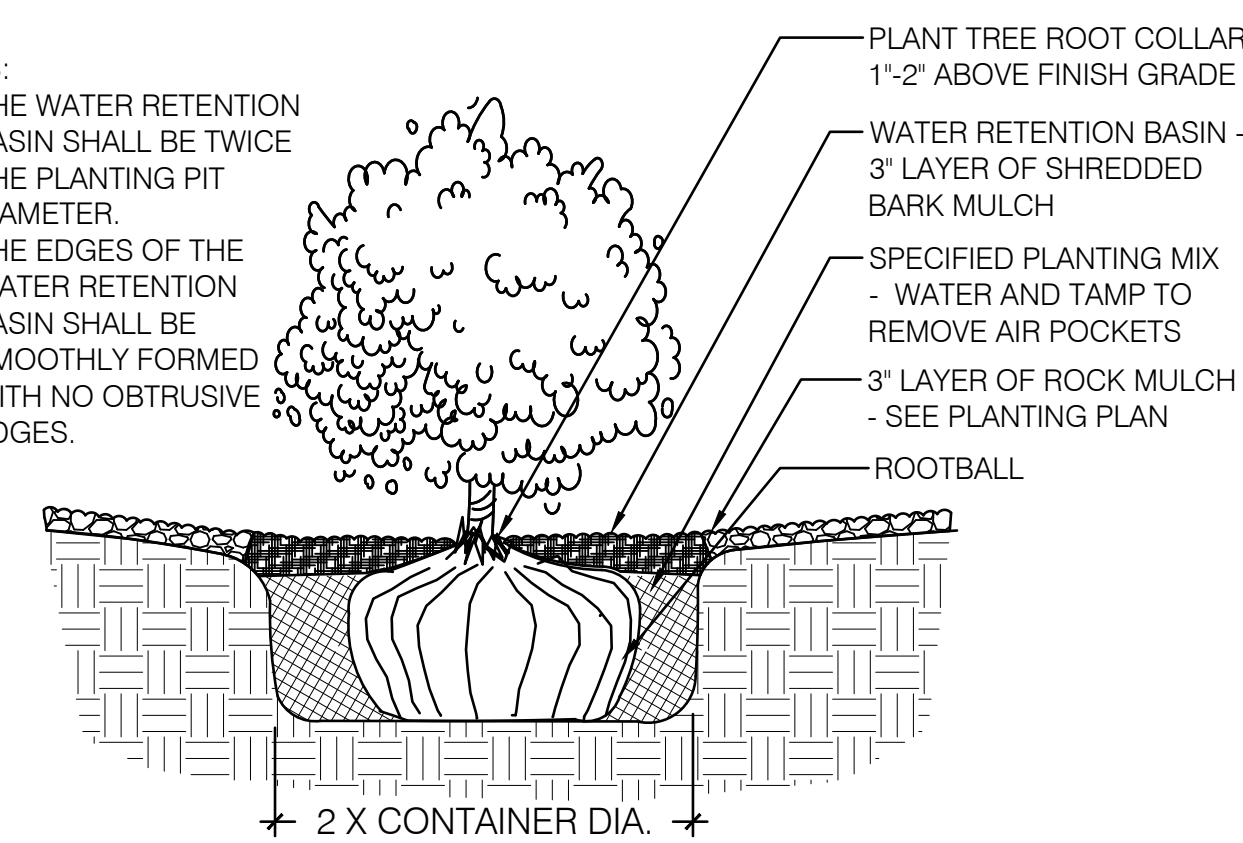
QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
		EXISTING TREE		
<b>TREES</b>				
4		GLEDTISIA TRICANTHOS INERMIS HONEY LOCUST SHADEMASTER (H)	2.5"-CLPR	50 HT. X 45' SPR.
6		JUNIPERUS SCOPULORUM SKYROCKET SKY ROCKET JUNIPER (FEMALES ONLY) (L)	15-GAL	15' HT. X 4' SPR.
10		KOELREUTERIA PANICULATA GOLDEN RAIN TREE (M)	2"-CLPR	25' HT. X 25' SPR.
1		LAGERSTROEMIA INDICA DYNAMITE CREPE MYRTLE (L)	15-GAL	8' HT. X 8' SPR.
4		PISTACIA CHINENSIS CHINESE PISTACHE (M)	2"-CLPR	40' HT. X 30' SPR.
4		PYRUS CALLERYANA BRADFORD PEAR (M+)	2"-CLPR	25' HT. X 15' SPR.
2		VITEX AGNIUS CASTUS CHASTE TREE (M)	2"-CLPR	20' HT. X 20' SPR.
<b>SHRUBS AND GROUNDCOVERS</b>				
7		ARTEMISIA CANA SILVER SAGE (M+)	1-GAL	3' HT. X 5' SPR.
43		LAVANDULA AGUSTIFOLIA LAVENDER (M)	1-GAL	3 HT. X 3' SPR.
2		PINUS MUGO VAR PUMILIO MUGO PINE (M)	5-GAL	3' HT. X 4' SPR.
14		ROSA 'DOUBLE RED KNOCKOUT' DOUBLE RED KNOCK OUT ROSE (M)	3-GAL	3' HT. X 3' SPR.
27		ROSMARIUS OFFICINALIS 'PROSTRATUS' CREEPING ROSEMARY (L+)	1-GAL	2' HT. X 6' SPR.
23		SEDUM REFEXUM 'BLUE SPRUCE' STONE CROP (L+)	1-GAL	2' HT. X 2' SPR.
12		SALVIA GREGGII CHERRY SAGE (L+)	1-GAL	2' HT. X 3' SPR.
<b>ORNAMENTAL GRASSES</b>				
9		CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER GRASS (M)	1-GAL	2' HT. X 30' SPR.
59		MUHLENBERGIA CAPILLARIS REGAL MIST MUHLY (L+)	1-GAL	2' HT. X 3' SPR.
<b>MULCHES AND BOULDERS</b>				
58		LANDSCAPE BOULDER, MOSS ROCK (TO MATCH EXISTING), SIZE: 3X3' MIN.		
		3/4" SANTA FE BROWN GRAVEL MULCH (TO MATCH EXISTING) (2' DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL, OR EQUAL)		
		RE-VEGETATIVE SEEDING: AREAS SHALL BE REVEGETATED BY HYDROMULCH TACKIFIER APPLICATION PER COA SPECIFICATION SECTION 1012 (SANDY SOILS). CONTRACTOR SHALL APPLY REVEGETATED SEED TO LIMITS OF DISTURBANCE.		
		EXISTING TURF- ADJUST TO NEW LIMITS		
		EXISTING LANDSCAPE AREA TO REMAIN		
		2"-4" GREY ROUND RIVER ROCK (TO MATCH EXISTING) (6' DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL, OR EQUAL)		

- NOTES:  
A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.  
B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.  
C. REMOVE ROPE AND BURLAP AFTER PLANTING.

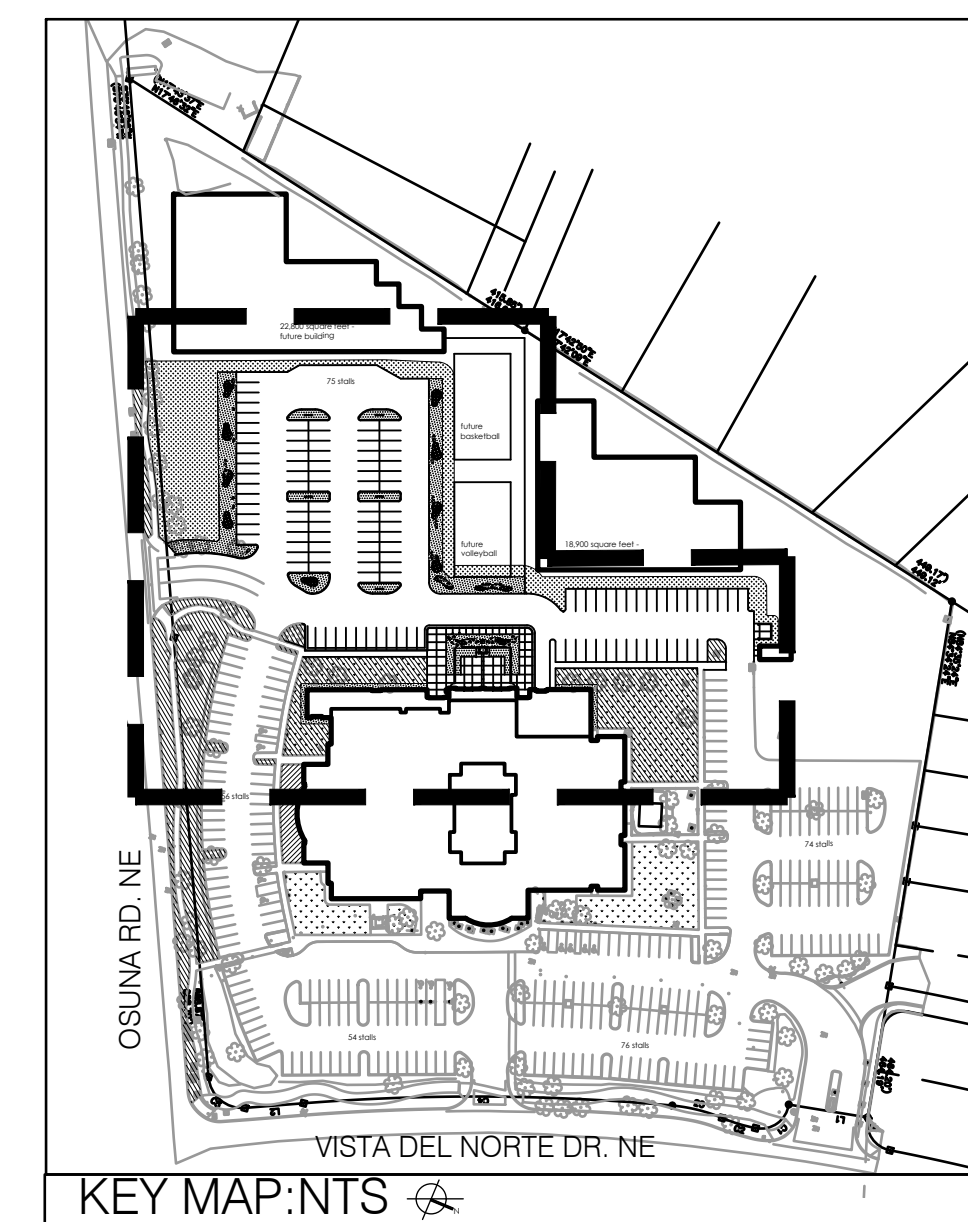


1 TREE PLANTING SCALE: N.T.S.

- NOTES:  
A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.  
B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.



2 SHRUB PLANTING SCALE: N.T.S.



KEY MAP: N.T.S.

Project  
**DESERT SPRINGS CHURCH - EXPANSION**  
705 Osuna Road, NE, Albuquerque, NM 87113

Architect  
**CTB ASSOCIATES**  
ARCHITECTS • PLANNERS  
3003 MONTE VISTA BLVD., NE ALBUQUERQUE, NM 87106 P. (505) 268-3033 F. (505) 212-0354 ctb@ctbassociates.com

Stamp

Revisions  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

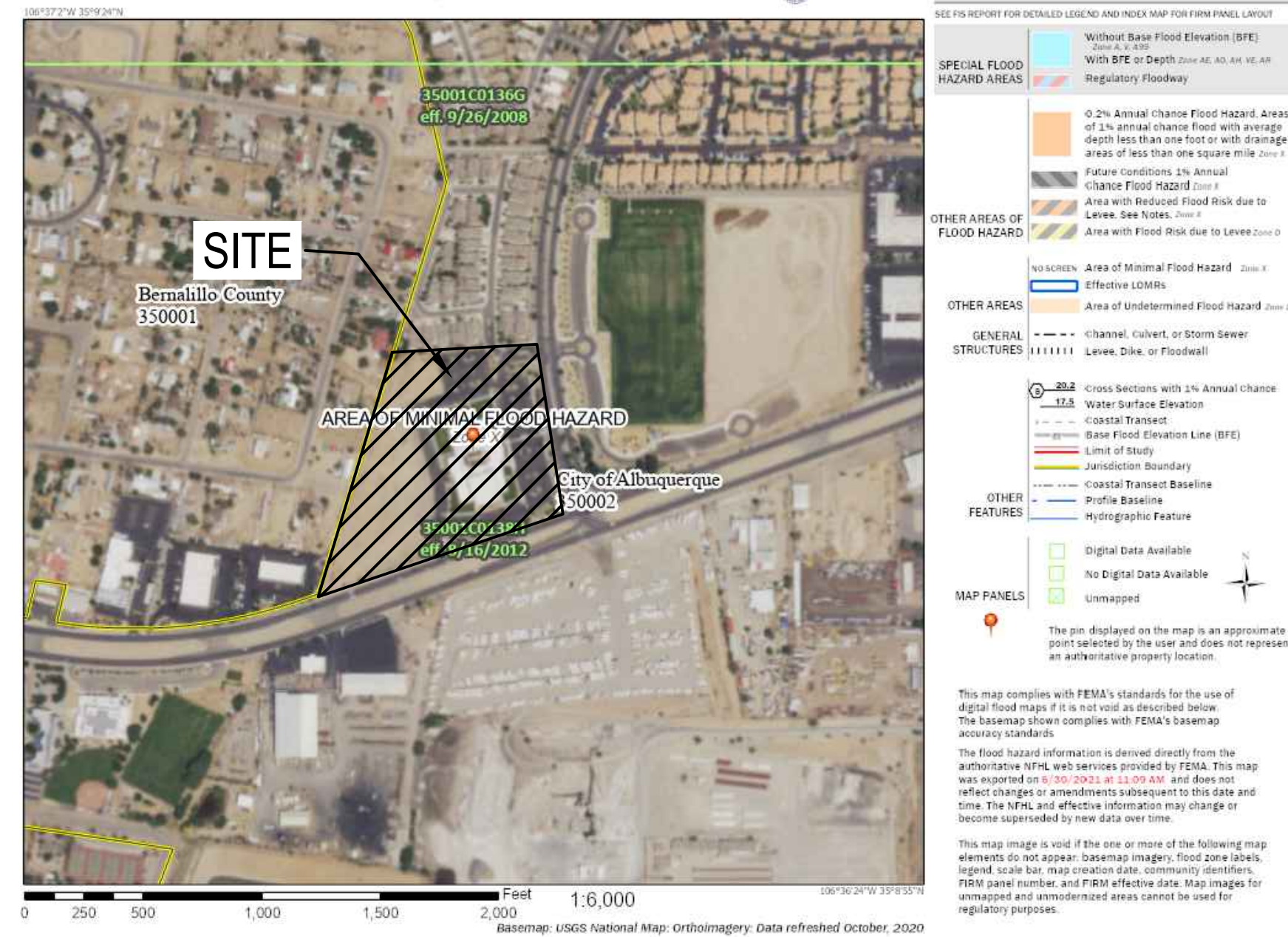
Date Issued  
JUNE 21, 2021

Sheet No.  
**2**

Sheet Name  
**LANDSCAPE PLAN**

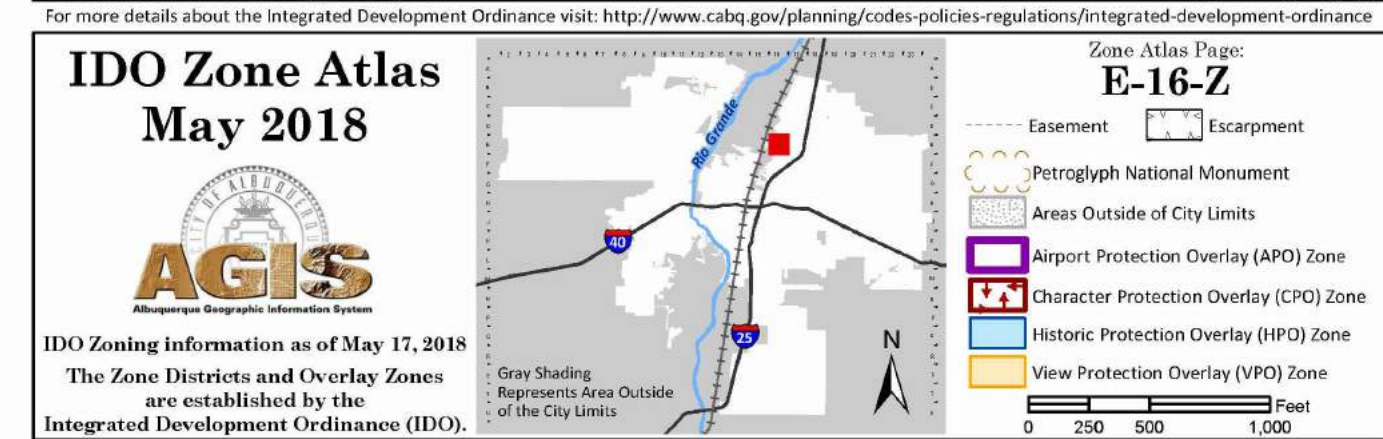
# DRAINAGE REPORT

## National Flood Hazard Layer FIRMette



## FLOOD ZONE MAP

FLOOD\_ZONE\_MAP\_35001C0138H



## SITE LOCATION

The proposed project is located on an approximate 10-acre parcel at the intersection of Osuna and Vista Del Norte Drive NE. The site can be accessed from Osuna Boulevard west of I-25.

## EXISTING CONDITIONS

The overall existing site is estimated at 10 acres and is partially developed with a church, parking lots and associated improvements. Site drainage is currently collected by an onsite storm drain system. The allowable peak discharge release rate for this site is 39.3 cfs.

Per the FMEA Panel on Sheet C-100 the site does not lie within a 100-year FEMA floodplain and is not impacted by any offsite flows.

## PROPOSED CONDITIONS

The proposed project would consist of a new building addition to the existing church building and a parking lot expansion to the west side of the church building. The finish floor of the new building addition will match the finish floor of the existing building per the grading and drainage plan (Sheet C-101). Site drainage from the building addition and parking lot expansion (Basin A) will surface drain into a new storm water retention pond located on the site.

An AHMYO model was developed to demonstrate the pond routing and the reduction of the peak flow from Basin A so that the total peak flow from the site is less than the allowable discharge rate of 39.3 cfs. The runoff from the site under existing and proposed conditions is estimated in the hydrology summary table provided on this sheet and the AHMYO summary table provided on this sheet.

Any future development on this site will require additional ponding to maintain the allowable discharge rate of 39.3 cfs.

## CONCLUSIONS

When developed as indicated on the grading and drainage plan, the increased runoff from the site is estimated at 3.1 cfs, and 0.092 acre-feet during the 100-year, 24-hour event. The first flush pond volume for the new impervious areas is estimated at 1830 cf. A retention pond has been provided to retain the first flush storm event and to reduce the total peak flow to less than 39.3 cfs. The total retention volume to the top of the overflow gate (elevation = 5057.5) is estimated at 0.082 acre-feet or 3572 cubic feet. The total release from this site under proposed conditions is 39.13 cfs (see AHMYO summary table on this sheet).

Precipitation Zone 2 - 100-year Storm P(360) = 2.35 in P(1440) = 2.75 in

Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)	Q(100) cfs with Ponding
		A	B	C	D					
<b>Existing Conditions</b>										
SITE	10.250	0.000	1.000	4.620	4.630	1.543	1.318	1.472	38.548	33.884
<b>Total</b>	<b>10.250</b>							<b>1.472</b>	<b>38.548</b>	<b>33.884</b>
<b>Proposed Conditions</b>										
A	2.390	0.000	0.000	0.210	2.180	2.03	0.405	0.478	10.905	9.530
B	7.860	0.000	1.000	3.620	3.240	1.49	0.978	1.086	30.700	30.700
<b>Total</b>	<b>2.390</b>	<b>0.000</b>	<b>1.000</b>	<b>3.830</b>	<b>5.420</b>			<b>1.564</b>	<b>41.605</b>	<b>39.130</b>

## FIRST FLUSH CALCULATIONS

$$VFF = (52,272 \text{ SF} \cdot 0.42) / 12$$

$$VFF = 1829.52 \text{ CF} = 0.042 \text{ AC-FT} < 0.082 \text{ AC-FT}$$

## POND RATING CURVES

WATER HARVEST AREA				
Pond Rating Table				
Side Slope				
Elev. (ft)	Area (sq ft)	Volume (ac-ft)	Cum Volume (ac-ft)	
5055	809	0.019	0	
5056	1232	0.028	0.023	0.023
5057	1745	0.040	0.034	0.058
5058	2501	0.057	0.049	0.106

top of grate = 57.5  
top of pond



## GENERAL NOTES:

- EXISTING TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY PRECISION SURVEYS, INC., ALBUQUERQUE, NEW MEXICO NOVEMBER, 2019. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- PROJECT BENCHMARK IS A CITY OF ALBUQUERQUE SURVEY BRASS DISC STAMPED "ZAB-B, 1994". LOCATED ON THE I-25 EAST FRONTAGE ROAD NE., 0.13 MI ± NORTHERLY OF CENTERLINE PASEO DEL NORTE, 447± SOUTHERLY OF CENTERLINE CARMEL AVE. (MEASURED ALONG SAID FRONTAGE ROAD), 68.8 FT. NORTHERLY OF NMSHC BRASS CAP "397=96.81" ON THE I-25 EAST RIGHT-OF-WAY LINE, 24.0 FT. EASTERLY OF THE MOST EASTERLY WHITE STRIPE ON SAID FRONTAGE ROAD, 1.7 FT. WESTERLY OF THE I-25 EAST RIGHT-OF-WAY FENCE, 0.25 FT. BELOW SAID ACCESS COVER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2014 EDITION OF THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (GREY BOOK).
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.
- THE CONTRACTOR SHALL SUBMIT A SEED MIX DESIGN TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO STARTING THE SEEDING ON THE PROJECT. THE SEED MIX DESIGN SHALL BE A SEED MIX RECOMMENDED BY NRCS FIELD OFFICE REPRESENTATIVE APPROPRIATE FOR PROJECT LOCATION.

ALL DISTURBED AREAS, NOT ADDRESSED BY ARCHITECTURAL LANDSCAPE PLAN WITH SLOPES OF LESS THAN 3:1 SHALL RECEIVE CLASS "A" SEEDING. ANY SLOPES THAT ARE 3:1 OR STEEPER SLOPES SHALL RECEIVE STEEP SLOPE SEEDING. THE STEEP SLOPE SEEDING SHALL CONSIST OF SEEDING IN CONJUNCTION WITH A 100% COCONUT FIBER BLEND EROSION BLANKET (NORTH AMERICAN GREEN C125) OR APPROVED EQUAL.

## AHYMO OUTPUT SUMMARY

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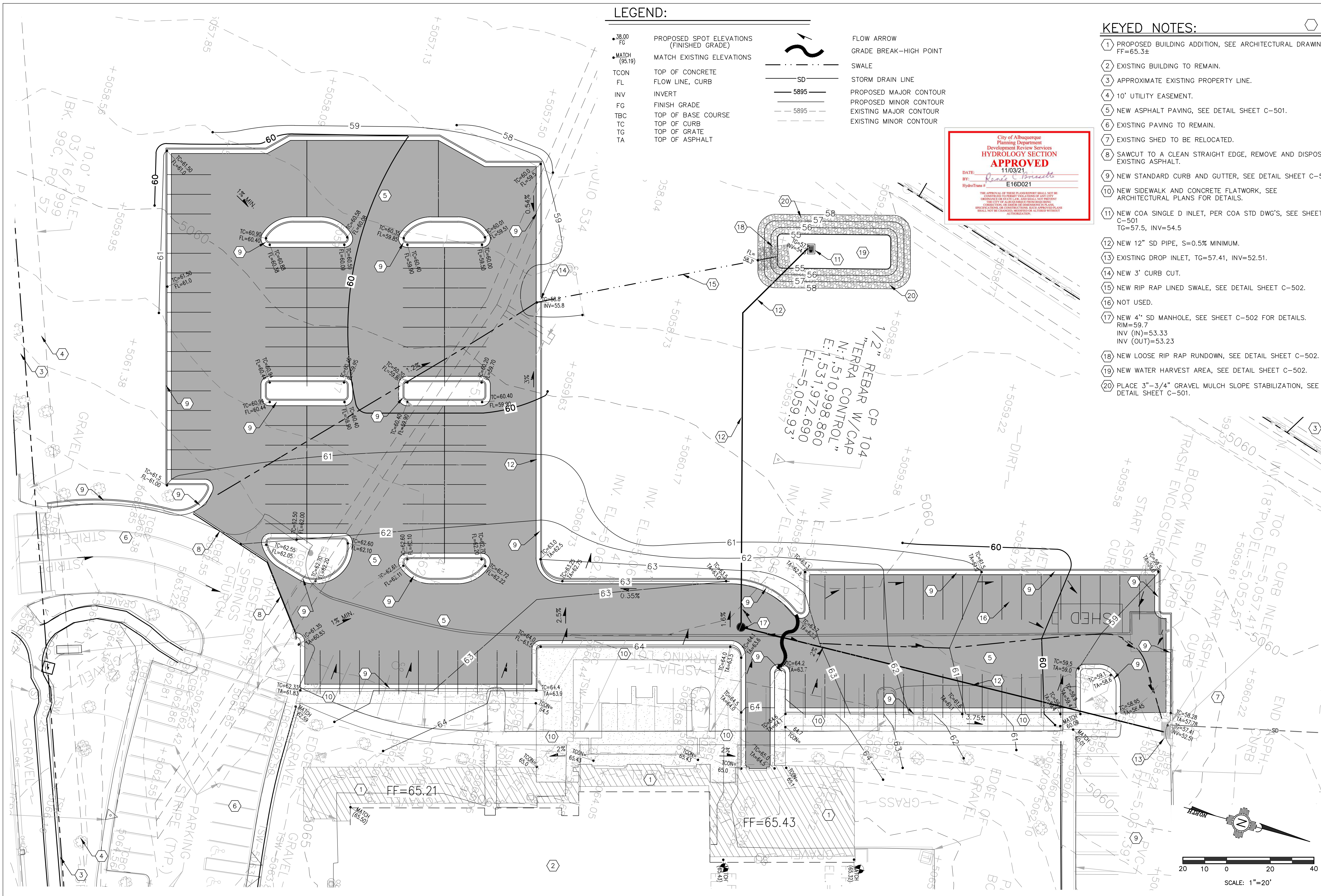
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COMMAND IDENTIFICATION NO. NO. (SQ MI) (CFS) (AC-FT) (INCHES) (HOURS) ACRE  
NOTATION

*S***** APS WEST SIDE BUS FACILITY *****	
*S***** NOVEMBER 2021 *****	
*S***** PROJECT HYDROLOGY *****	
*S***** 100-YEAR, 24-HOUR STORM *****	
*S***** RAINFALL TYPE 2 - DEPTHS PER COA DPM *****	
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*S***** PROPOSED CONDITIONS *****	
*S***** COMPUTE NM HYD *****	
*S***** ROUTE BASIN A THROUGH PROPOSED DETENTION POND*****	
*S***** ROUTE RESERVOIR *****	
*S***** COMPUTE NM HYD *****	
*S***** ADD ROUTED OUTFLOW FROM POND TO BASIN B *****	
*S***** ADD HYD *****	
*S***** FINISH *****	

REVISION	DESCRIPTION	DATE	MARK

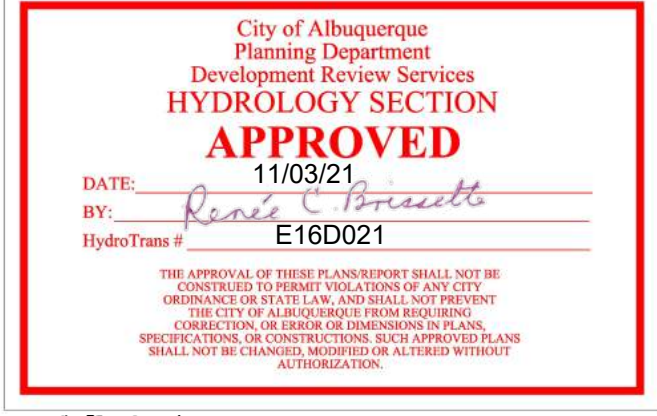
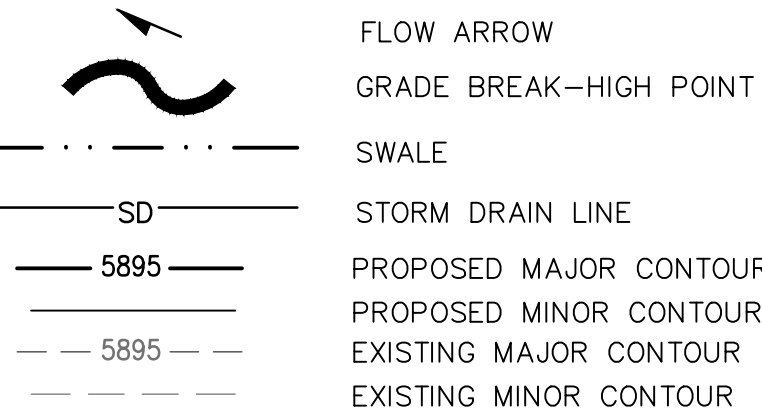


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**LEGEND:**

- 38.00 PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- MATCH (95.19) MATCH EXISTING ELEVATIONS
- TC ON TOP OF CONCRETE
- FL FLOW LINE, CURB
- INV INVERT
- FG FINISH GRADE
- TBC TOP OF BASE COURSE
- TC TOP OF CURB
- TG TOP OF GRATE
- TA TOP OF ASPHALT



**KEYED NOTES:**

- 1 PROPOSED BUILDING ADDITION, SEE ARCHITECTURAL DRAWINGS, FF=65.3±
- 2 EXISTING BUILDING TO REMAIN.
- 3 APPROXIMATE EXISTING PROPERTY LINE.
- 4 10' UTILITY EASEMENT.
- 5 NEW ASPHALT PAVING, SEE DETAIL SHEET C-501.
- 6 EXISTING PAVING TO REMAIN.
- 7 EXISTING SHED TO BE RELOCATED.
- 8 SAWCUT TO A CLEAN STRAIGHT EDGE, REMOVE AND DISPOSE EXISTING ASPHALT.
- 9 NEW STANDARD CURB AND GUTTER, SEE DETAIL SHEET C-501.
- 10 NEW SIDEWALK AND CONCRETE FLATWORK, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 11 NEW COA SINGLE D INLET, PER COA STD DWG'S, SEE SHEET C-501  
TG=57.5, INV=54.5
- 12 NEW 12" SD PIPE, S=0.5% MINIMUM.
- 13 EXISTING DROP INLET, TG=57.41, INV=52.51.
- 14 NEW 3' CURB CUT.
- 15 NEW RIP RAP LINED SWALE, SEE DETAIL SHEET C-502.
- 16 NOT USED.
- 17 NEW 4" SD MANHOLE, SEE SHEET C-502 FOR DETAILS.  
RIM=59.7  
INV (IN)=53.33  
INV (OUT)=53.23
- 18 NEW LOOSE RIP RAP RUNDOWN, SEE DETAIL SHEET C-502.
- 19 NEW WATER HARVEST AREA, SEE DETAIL SHEET C-502.
- 20 PLACE 3"-3/4" GRAVEL MULCH SLOPE STABILIZATION, SEE DETAIL SHEET C-501.

**MILLER ENGINEERING CONSULTANTS**  
Engineers • Planners

3500 COMANCHE NE  
BLDG F  
ALBUQUERQUE, NM 87107  
(505)888-7500  
(505)888-3800 (FAX)

DESIGNED	RPH	FILE	C-101.dwg
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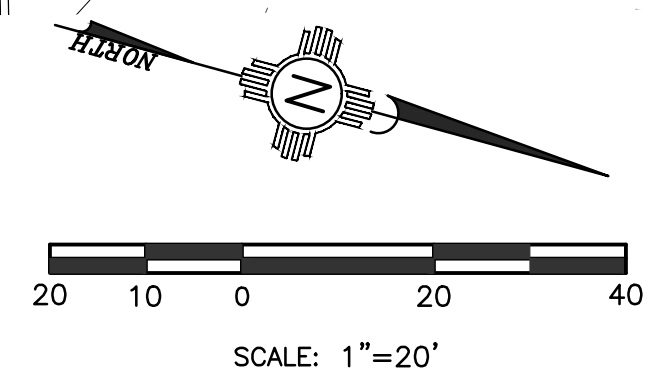


NEW MEXICO  
BERNALILLO COUNTY

**DESERT SPRINGS CHURCH**  
ALBUQUERQUE, N.M.

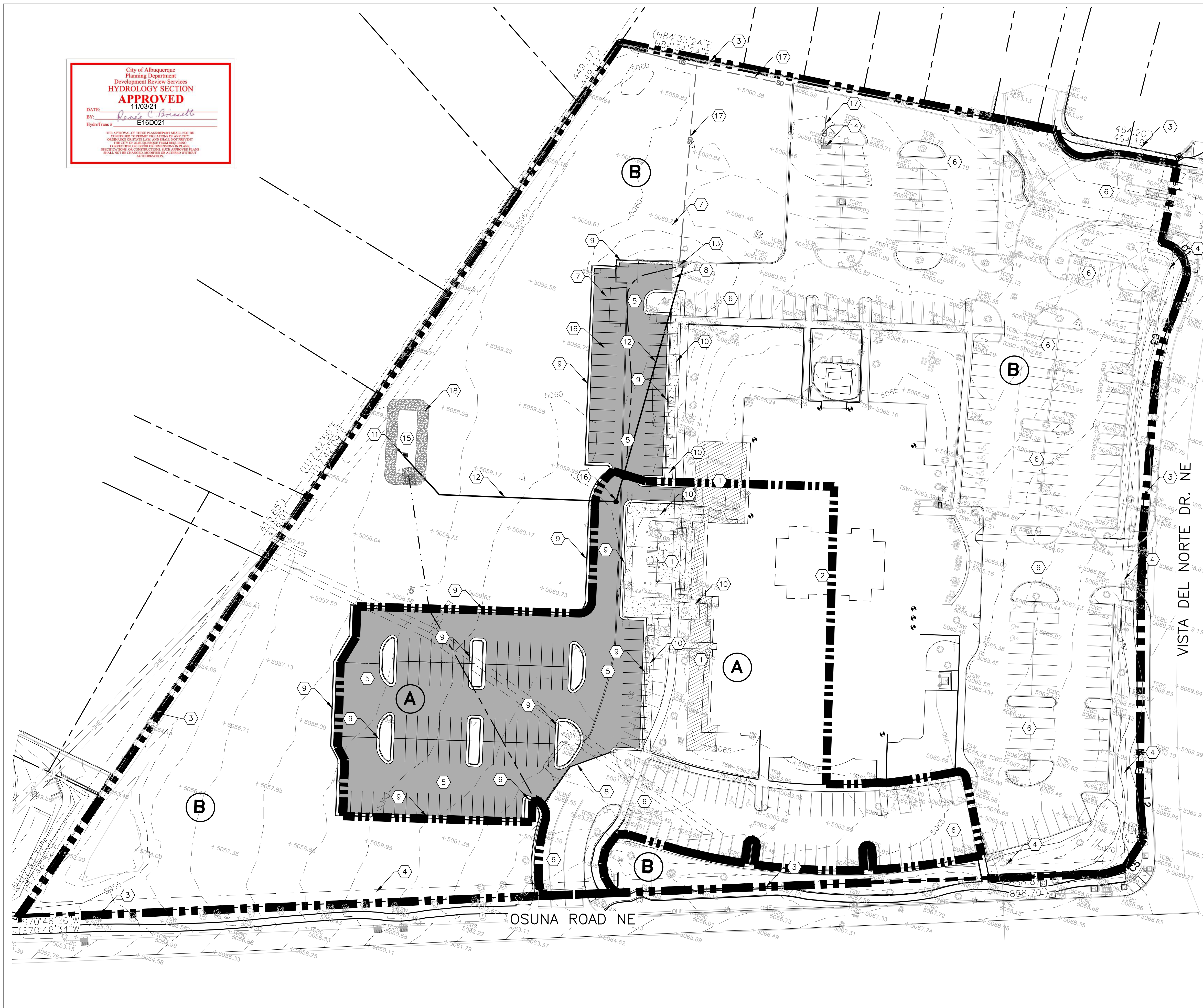
**GRADING AND DRAINAGE PLAN**

MARK	DATE	REVISION DESCRIPTION
1	11/03/2021	ADDED SLOPE PROTECTION AND BASIN INFORMATION



City of Albuquerque  
 Planning Department  
 Development Review Services  
**APPROVED**  
 DATE: 11/03/21  
 BY: *Randy C. Brucelle*  
 HydroTrans # E16D021

THE APPROVAL OF THESE PLANS DOES NOT IN ANY MANNER CONSTITUTE A GUARANTEE OF ACCURACY OR A WARRANTY OF ANY KIND. THE CITY OF ALBUQUERQUE IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THESE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AGENCIES AND SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THESE PLANS.



**LEGEND:**

- 38.00 FG PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- MATCH (95.19) MATCH EXISTING ELEVATIONS
- TC/NL TOP OF CONCRETE FLOW LINE, CURB
- FL FLOW LINE, CURB
- INV INVERT
- FG FINISH GRADE
- TBC TOP OF BASE COURSE
- TC TOP OF CURB
- TG TOP OF GRATE
- TA TOP OF ASPHALT

→ FLOW ARROW

— GRADE BREAK—HIGH POINT

— SWALE

— SD STORM DRAIN LINE

— 5895 PROPOSED MAJOR CONTOUR

— 5895 PROPOSED MINOR CONTOUR

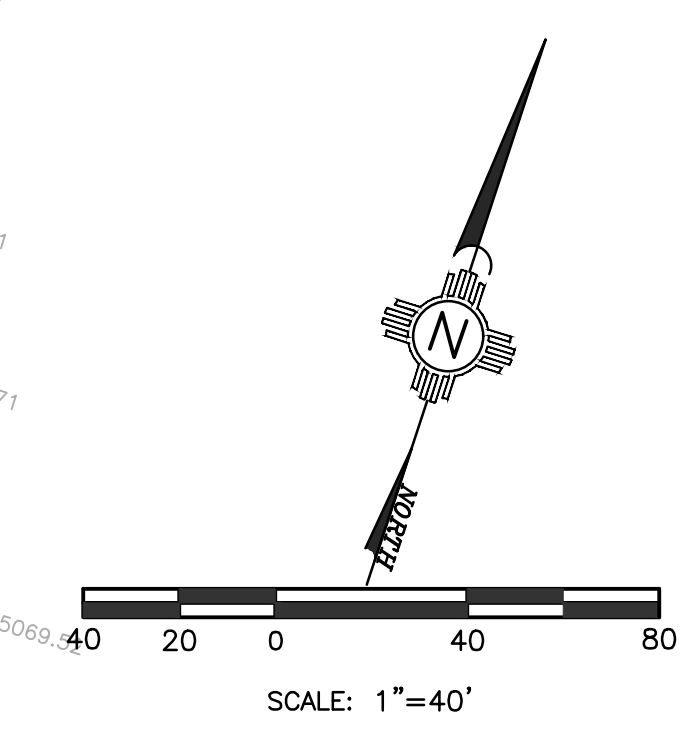
— EXISTING MAJOR CONTOUR

— EXISTING MINOR CONTOUR

— PROPOSED DRAINAGE BASIN BOUNDARY

(C) PROPOSED DRAINAGE BASIN DESIGNATION

- KEYED NOTES:**
- 1 PROPOSED BUILDING ADDITION, SEE ARCHITECTURAL DRAWINGS, FF=65.3±
  - 2 EXISTING BUILDING TO REMAIN.
  - 3 APPROXIMATE EXISTING PROPERTY LINE.
  - 4 10' UTILITY EASEMENT.
  - 5 NEW ASPHALT PAVING, SEE DETAIL SHEET C-501.
  - 6 EXISTING PAVING TO REMAIN.
  - 7 EXISTING SHED TO BE RELOCATED.
  - 8 SAWCUT TO A CLEAN STRAIGHT EDGE, REMOVE AND DISPOSE EXISTING ASPHALT.
  - 9 NEW STANDARD CURB AND GUTTER, SEE DETAIL SHEET C-501.
  - 10 NEW SIDEWALK AND CONCRETE FLATWORK, SEE ARCHITECTURAL PLANS FOR DETAILS.
  - 11 NEW COA SINGLE D INLET. TG=58.75, INV=55.75
  - 12 NEW 12" SD PIPE, S=1.3%
  - 13 EXISTING DROP INLET, TG=57.41, INV=52.51.
  - 14 EXISTING DROP INLET.
  - 15 NEW WATER HARVEST AREA.
  - 16 NEW 4' DIA. SD MANHOLE TG=60.3, INV=53.24.
  - 17 EXISTING STORM DRAIN LINES.
  - 18 PLACE 3"-3/4" GRAVEL MULCH SLOPE STABILIZATION, SEE DETAIL SHEET C-501.



**MILLER ENGINEERING CONSULTANTS**  
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 (505)888-3800 (FAX)

DESIGNED: RPH E-21-077  
 DRAWN: RPH  
 CHECKED: VAM  
 DATE: 04/19/2021

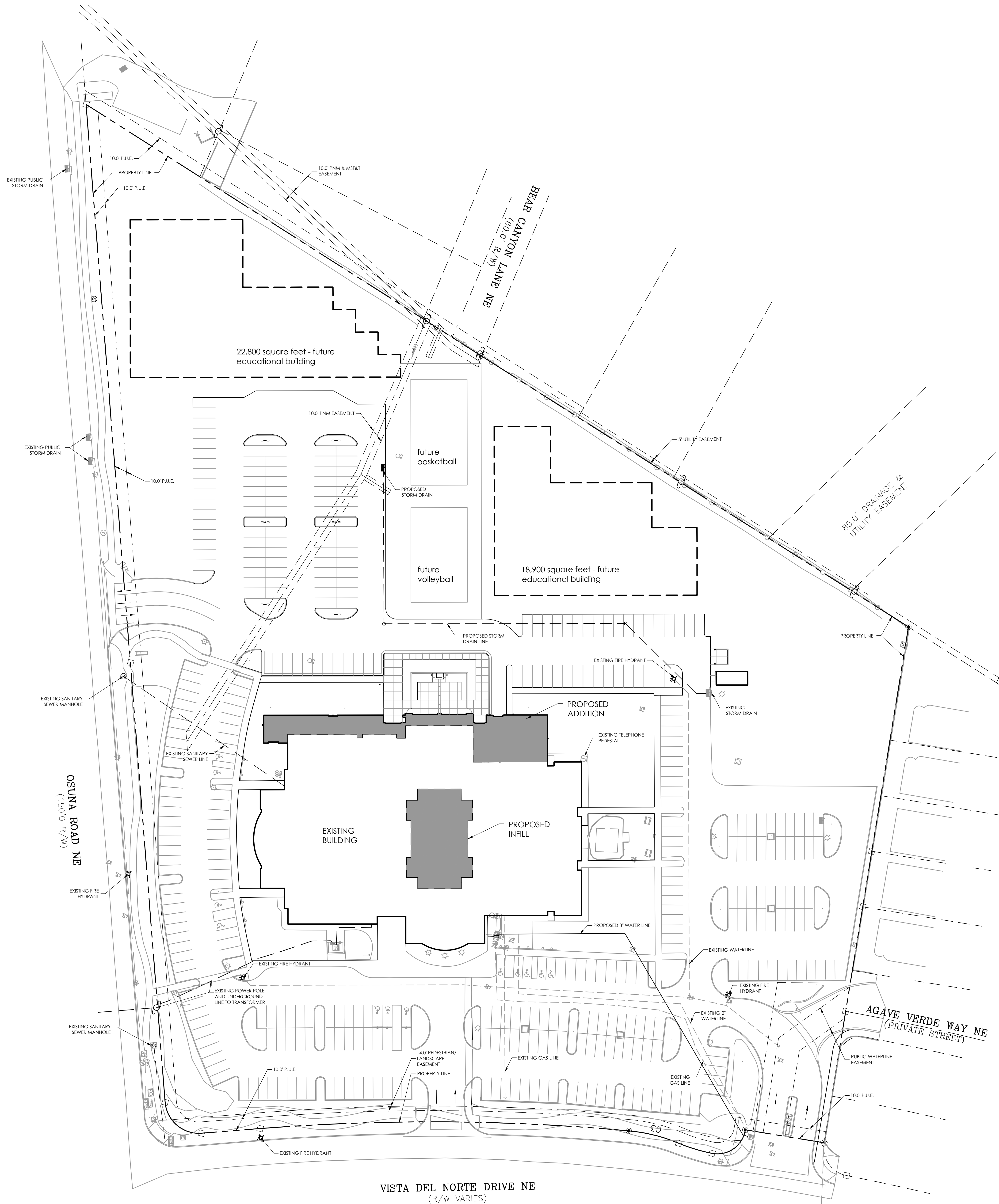
BERNALILLO COUNTY  
 NEW MEXICO  
 DESERT SPRINGS CHURCH  
 ALBUQUERQUE, N.M.  
 GRADING AND DRAINAGE PLAN  
 OVERALL

11/03/2021 ADDED SLOPE PROTECTION AND BASIN INFORMATION  
 1 MARK DATE REVISION DESCRIPTION

ENGINEERS STAMP  
 JERILYN A. MILLER, P.E.  
 NEW MEXICO  
 14507  
 9/1/21

**C-102**

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UTILITY PLAN  
 SCALE: 1" = 40'-0"  
 0 10' 20' 40'

**KEYED NOTES**

1. NOTES

**GENERAL NOTES**

- GENERAL NOTES

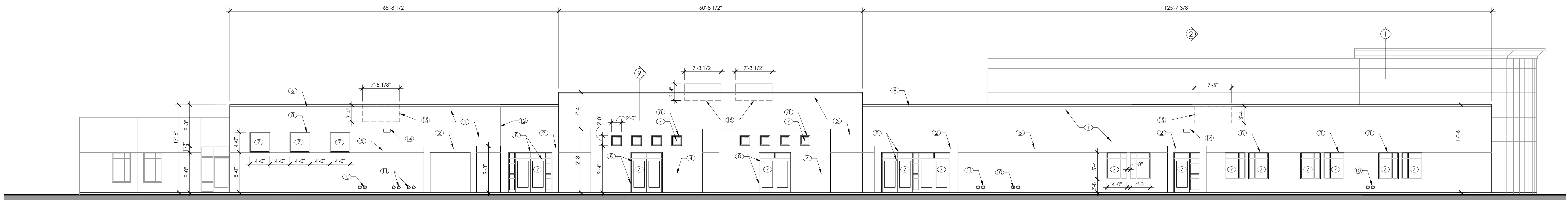
**SYMBOLS**

	KEYED NOTE
	FOUND CONTROL MONUMENT (AS NOTED)
	FOUND REBAR (AS NOTED)
	FOUND PK NAIL (AS NOTED)
	SET 1/2" REBAR W/ CAP STAMPED
	CA MEDINA PS 15702 (UNLESS OTHERWISE NOTED)
	FIRE DEPARTMENT CONNECTION
	IRRIGATION VALVE
	HOT BOX
	FIRE HYDRANT
	WATER METER
	WATER VALVE
	CLEANOUT
	SANITARY SEWER MANHOLE
	CURB INLET
	AREA INLET
	GAS METER
	ELECTRIC MANHOLE
	TRANSFORMER
	TRAFFIC LIGHT
	CULVERT
	ELECTRIC BOX
	ELECTRIC PULLBOX
	JUNCTION BOX
	LIGHT POLE
	POWER POLE
	TELEPHONE PEDESTAL
	CABLE TV
	TELEPHONE PULLBOX
	FIBER OPTIC PULLBOX
	TELEPHONE MANHOLE
	BOLLARD
	SIGN
	FINISH FLOOR ELEVATION
	BIKE RACK
	PICNIC TABLE
	HANDICAP PARKING
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND GAS LINE
	UNDERGROUND SANITARY SEWER LINE
	OVERHEAD POWER
	CHAIN LINK FENCE
	WIRE FENCE
	WROUGHT IRON FENCE
	PROPERTY LINE
	EASEMENT

**DESERT SPRINGS CHURCH - EXPANSION**  
 705 Osuna Road, NE, Albuquerque, NM 87113

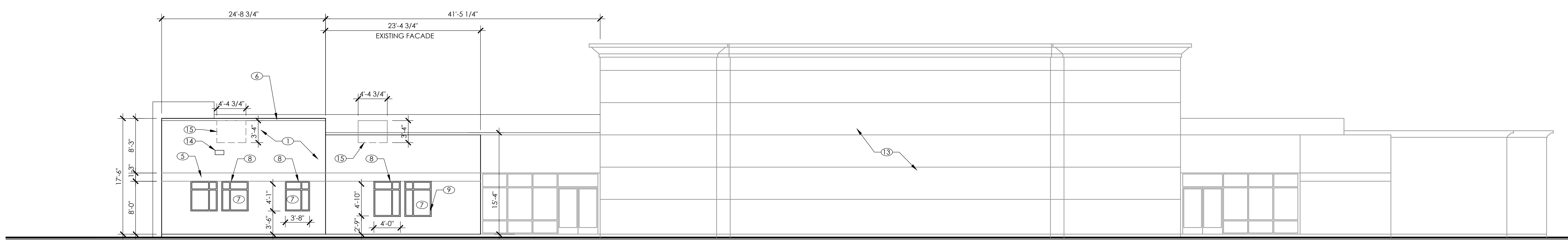
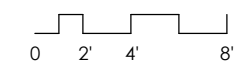
**CTB ASSOCIATES**  
 ARCHITECTS • PLANNERS  
 3003 MONTE VISTA BLVD., NE ALBUQUERQUE, NM 87110 P. (505) 266-3033 F. (505) 212-0354  
 ctb@ctbassociates.com

	Revisions					
	<table border="0"> <tr><td>1.</td><td>_____</td></tr> <tr><td>2.</td><td>_____</td></tr> <tr><td>3.</td><td>_____</td></tr> </table>	1.	_____	2.	_____	3.
1.	_____					
2.	_____					
3.	_____					
Date Issued	JULY 19, 2021					
Sheet No.	<b>4</b>					
Sheet Name	UTILITY PLAN					



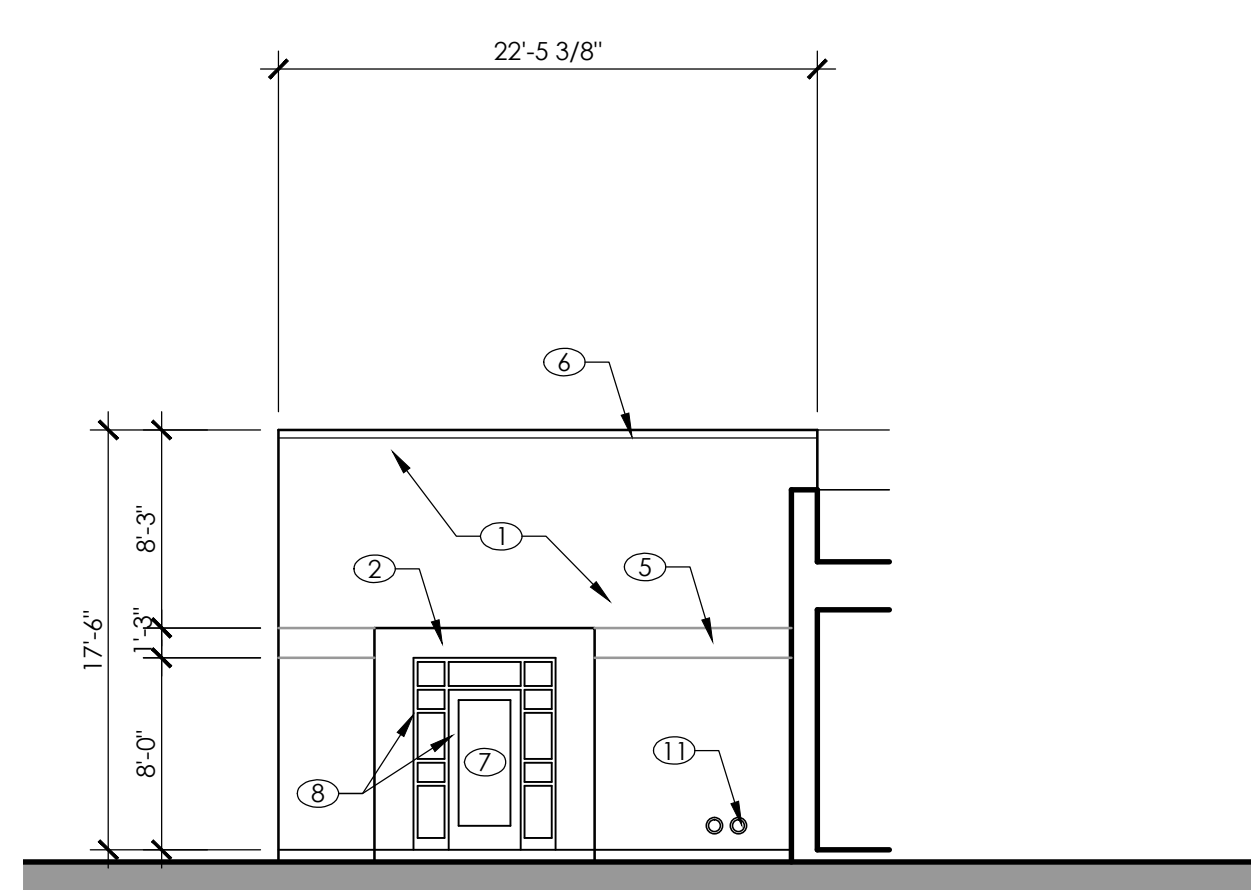
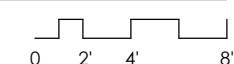
WEST ELEVATION

SCALE: 1/8" = 1'-0"



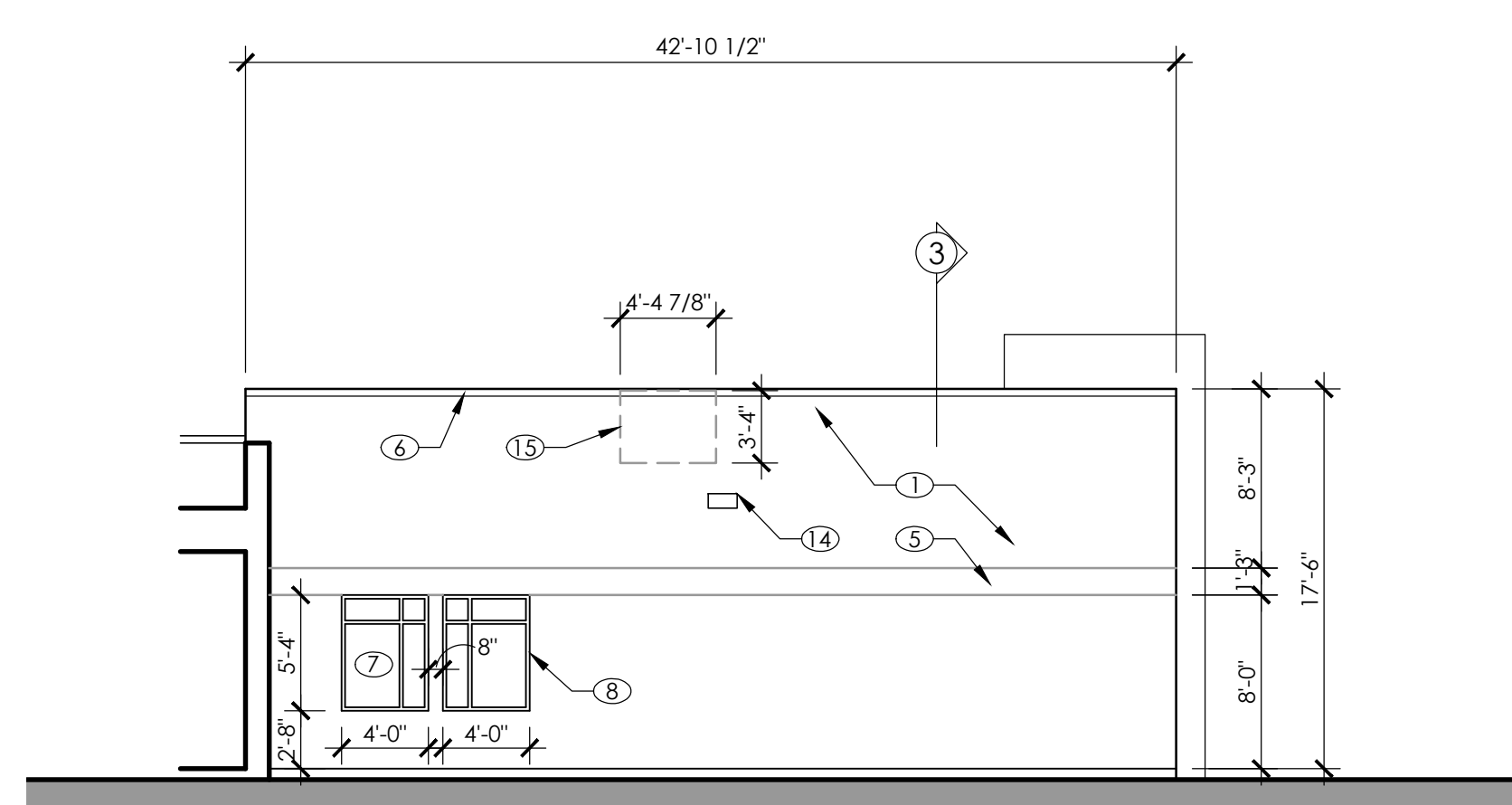
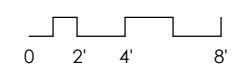
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



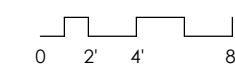
PARTIAL EAST ELEVATION

SCALE: 1/8" = 1'-0"



PARTIAL NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING SOUTH ELEVATION PHOTO - FOR REFERENCE

SCALE: NTS

KEYED NOTES

1. SYNTHETIC STUCCO MATCH P-6 GREY FINISH.
2. SYNTHETIC STUCCO MATCH P-7 CHARCOAL FINISH.
3. SYNTHETIC STUCCO MATCH P-5 BROWN FINISH.
4. SYNTHETIC STUCCO MATCH P-5 BROWN FINISH.
5. CONTINUE HORIZONTAL CONTROL JOINTS IN EIFS WHERE SHOWN - MATCH EXISTING PROFILE.
6. PRE-FINISHED ALUMINUM COPING SELECTED FROM MANUFACTURER'S STANDARD COLORS - TO BE SELECTED.
7. SOLAR GREY GLASS COLOR
8. ALUMINUM FINISH ON ALL EXTERIOR DOORS AND WINDOW FRAMES.
9. NEW WINDOWS WITHIN EXISTING BUILDING WALL - RESTORE FINISH AS REQUIRED.
10. NEW ROOF DRAIN AND OVER FLOW DRAIN OUTLET. SEE PLUMBING DRAWINGS.
11. ROOF DRAIN AND OVERFLOW DRAIN OUTLETS, EXTENDED FROM EXISTING ROOFS. SEE PLUMBING DRAWINGS.
12. VERTICAL CONTROL JOINT - ALIGNED WITH EXPANSION JOINT CONDITION TO EAST.
13. REVIEW FINISH CONDITION AT SANCTUARY - BLACK FINISH AT CENTER MAY REQUIRE REFINISH - CONSULT WITH OWNER REGARDING CONDITION.
14. NEW WALL SCOFF - MOUNT AT 12'-0" A.F.F., SEE ELECTRICAL DRAWINGS.
15. MECHANICAL ROOF TOP UNIT ON ROOF BEYOND EXTERIOR PARAPET.

GENERAL NOTES

SYMBOLS

- KEYED NOTE
- INTERIOR ELEVATION
- FRAME ELEVATION
- WALL SECTION
- ENLARGED FLOOR PLAN
- DETAIL REFERENCE

Project  
**DESERT SPRINGS CHURCH - EXPANSION**  
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Architect  
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 ctba@ctbassociates.com

Stamp  
  
 Date Issued  
 JULY 19, 2021

Revisions  
 1. \_\_\_\_\_  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_

Sheet No.  
**5**

Sheet Name  
**BUILDING & STRUCTURE ELEVATIONS**