



*Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.*

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

**APPLICATION INFORMATION**

Applicant: Gina Kelly w/ SGA Design Group		Phone: (918)587-8602, ext. 299
Address: 1437 S Boulder Ave - Ste. 550		Email: ginak@sgadesigngroup.com
City: Tulsa	State: OK	Zip: 74119
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

**BRIEF DESCRIPTION OF REQUEST**

General Remodel of store on interior and exterior w/ updates to the Online Grocery Pickup Parking and updates to Building signage and Gas canopy/building signage.

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): H9	Existing Zoning: MX-L	Proposed Zoning: MX-L
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: 1820 Unser Blvd NW      Between: SE of Unser Blvd      and: Ladera Dr. NW

**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

1003275

Signature: <i>Gina Kelly</i>	Date: 07/29/21
Printed Name: Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-01179	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:      Project # PR-2021-005826



**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

**INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**ARCHEOLOGICAL CERTIFICATE**

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)

Not Available  Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded

Copy of the Official Notice of Decision associated with the prior approval

Three (3) copies of the proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

*Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.*

**MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)

Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded

Copy of the Official Notice of Decision associated with the prior approval

Three (3) copies of the proposed Site Development Plan, with changes circled and noted

Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

*Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.*

**ALTERNATIVE SIGNAGE PLAN**

Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)

Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)

Required notices with content per IDO Section 14-16-6-4(K)(6)

Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives

Sign Posting Agreement

**ALTERNATIVE LANDSCAPE PLAN**

Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)

Landscape Plan

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: 07/29/21</p>
<p>Printed Name: Gina Kelly</p>	<p><input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent</p>
<p><b>FOR OFFICIAL USE ONLY</b></p>	
<p>Project Number: PR-2021-005826</p>	<p>Case Numbers: SI-2021-01179</p>
<p>Staff Signature:</p>	
<p>Date:</p>	



## SGA Design Group

July 29, 2021

Maggie Gould, Planning Manager  
City of Albuquerque Planning Department  
Land Development Coordination  
600 Second Street NW  
Albuquerque, NM 87109

Re. Walmart #4676.216 located at: 1820 Unser Blvd NW

The scope of work for this Administrative Amendment re\view is the for updating of the current Walmart building/site signage along with the gas canopy & building to the new updated font and new branding signage.

With the interior updates being proposed, they will be updating the existing painted surfaces on the exterior of the store along with the Online Grocery Pickup Service canopy and parking stalls.

The impact to the site will be minimal and I am also submitting the Construction Documents with the Building Department today.

If you have any questions, please do not hesitate to contact me.

Thank you,

A handwritten signature in blue ink that reads "Gina Kelly".

Gina Kelly  
SGA Design Group  
1437 S Boulder Ave-Ste. 550  
Tulsa, OK 74119  
ginak@sgadesigngroup.com



**LETTER OF AUTHORIZATION**

January 21, 2021

City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

To Whom It May Concern:

I hereby authorize: Gina Kelly  
SGA Design Group  
1437 South Boulder, Suite 550  
Tulsa, OK 74119  
(918) 587-8600

To act as the agent on your behalf before the City of Albuquerque, NM for all the Walmart Stores that assigned to SGA Design Group within the jurisdiction of Albuquerque, NM.

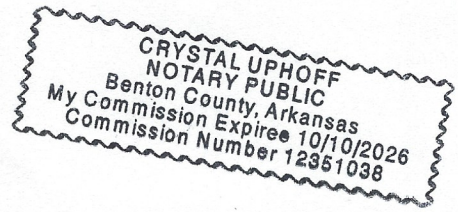
Dren Bailess  
Signature

Dren Bailess 1/21/2021  
Print Name Date

State of: Arkansas  
County of: Benton

Subscribed and sworn to before me this 21 day of January, 2021.

Notary Public Crystal Uphoff  
My Commission Expires 10-10-2026





# Zone Atlas



City Zone Atlas Pages

200ft

City of Albuquerque, Bernalillo County, NM, Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, NGA, USGS

COLOR LEGEND	
P9E	SAFETY YELLOW
P17E	"ROW HOUSE TAN" SW #7689
P76U	WALMART BLUE (URETHANE-LIKE)
P93	"TAMARIND" SW #7538
P99	DARK BROWN

SHEET NOTES	
1.	DOOR HOODS, STEEL DOORS AND FRAMES, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR UNO. IF THERE ARE TWO COLORS AT WALL ADJACENT TO DOOR AND FRAME, USE BOTTOM COLOR FOR ENTIRE DOOR AND FRAME.
2.	PAINT ALL EXTERIOR ENTRY BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SLEEVE.
3.	PAINT SECURITY WALL PACK HOUSINGS TO MATCH ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM LENSES.
4.	DO NOT PAINT WINDOW FRAMES OR STOREFRONT DOOR FRAMES.
5.	PAINT ANY NEW ROOFTOP GAS PIPING (P9E) WHERE EXTERIOR WALL IS BEING PAINTED. GAS PIPE ALONG SIDE WALL TO GRADE SHOULD MATCH ADJACENT BUILDING. DO NOT PAINT METER OR VALVES.
6.	AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED, REMOVE AND PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR. REF SPEC 09900.
7.	RESURFACE EXISTING EPS WHERE SHOWN (HATCHED AREA).

DEMOLITION NOTES	
1.	NOT USED.
2.	REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.

**SGA Design Group, P.C.**  
 1437 South Boulder, Suite 550  
 Tulsa, Oklahoma 74106  
 T: 918.587.8600  
 F: 918.587.8601  
 www.sgaingroup.com

STIPULATION FOR REUSE  
 THIS DRAWING WAS PREPARED FOR THE PROJECT AND SITE AS SHOWN. IT IS NOT TO BE REUSED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN CONSENT OF SGA DESIGN GROUP. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN CONSENT OF SGA DESIGN GROUP SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SGA DESIGN GROUP.

CONSULTANTS

**Walmart**  
 ALBUQUERQUE, NM  
 1820 UNSER BOULEVARD NW  
 STORE NO. 4676-216  
 JOB NUMBER: 20094137 PHOTO: 41

2022 MAJOR PROJECT

ISSUE BLOCK	

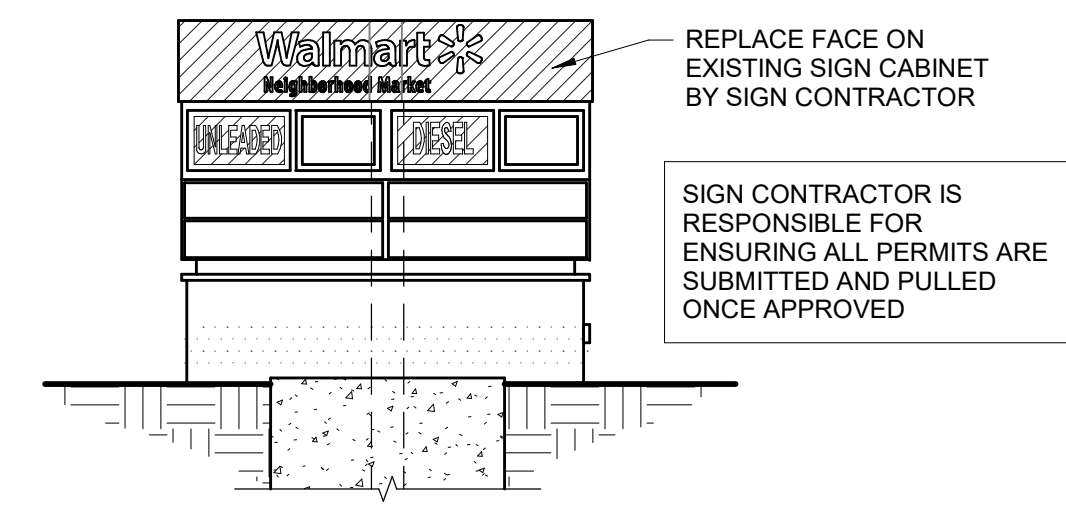
CHECKED BY: LGW/RO/AVT  
 DRAWN BY: BJS  
 PROTO CYCLE: 4/30/21  
 DOCUMENT DATE: 7/28/21

THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF SGA DESIGN GROUP. THIS ELECTRONIC DOCUMENT IS RELEASED FOR THE PURPOSE OF REFERENCE, COORDINATION AND/OR FACILITY MANAGEMENT. THIS DRAWING SHALL NOT BE CONSIDERED FINAL OR COMPLETE UNLESS IT IS SIGNED AND SEALED BY THE ARCHITECT.

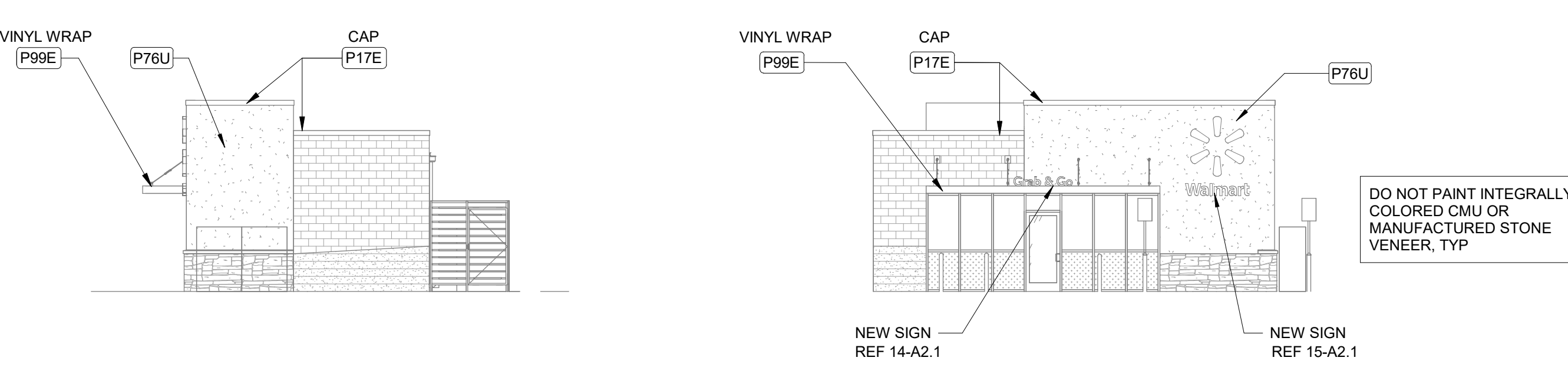
STATE OF NEW MEXICO  
 TRAVIS R. HAGER  
 No. 6148  
 REGISTERED ARCHITECT  
 07/28/2021

EXTERIOR ELEVATIONS

SHEET: A2



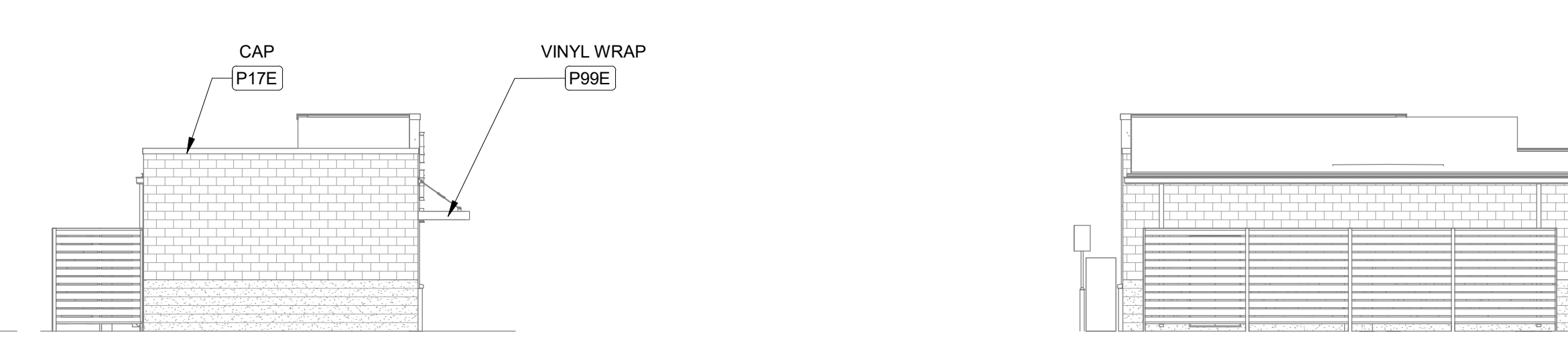
11 EXISTING MONUMENT/FUEL SIGN  
 3/16" = 1'-0"



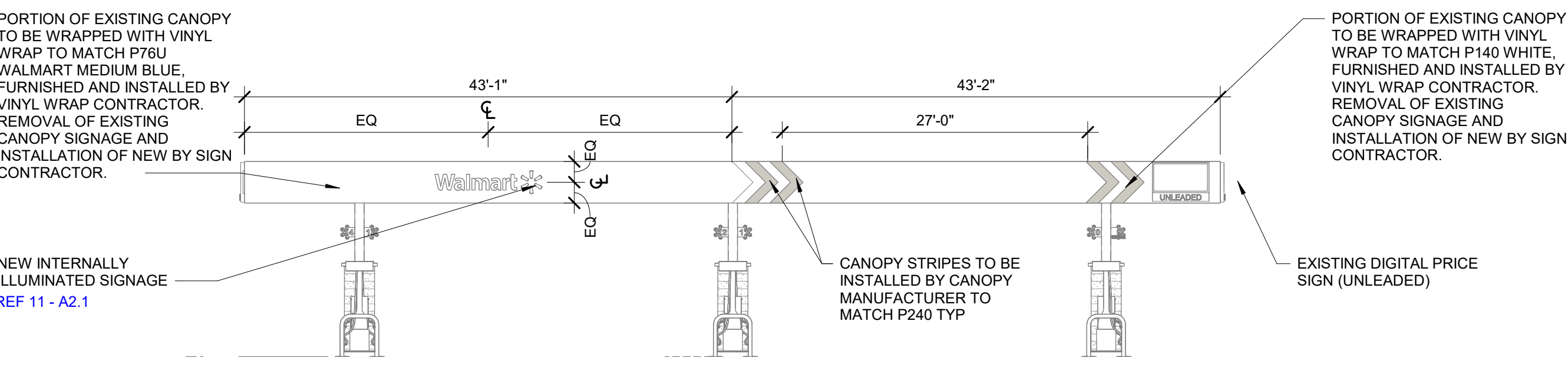
7 FUEL STATION FRONT ELEVATION  
 1" = 10'-0"

8 FUEL STATION RIGHT ELEVATION  
 1" = 10'-0"

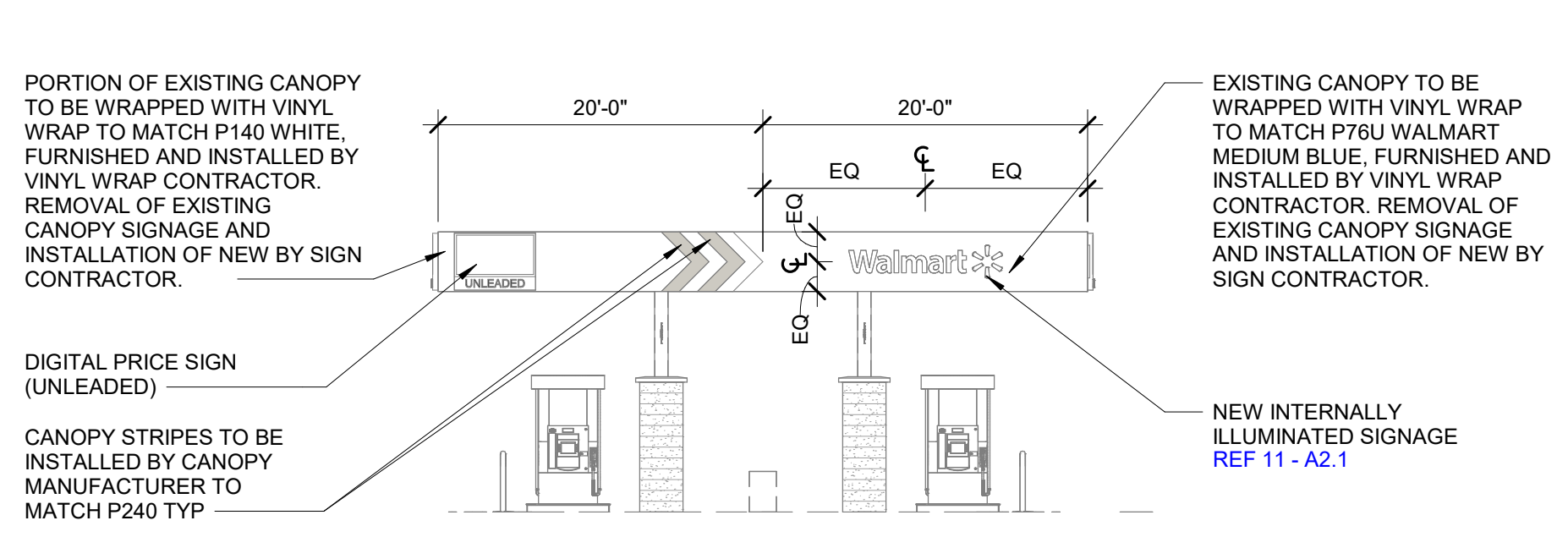
9 FUEL STATION REAR ELEVATION  
 1" = 10'-0"



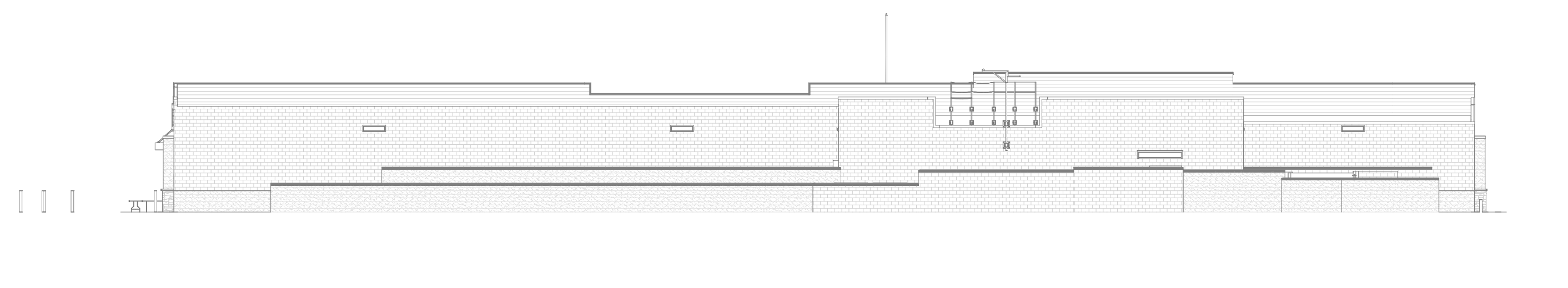
10 FUEL STATION LEFT ELEVATION  
 1" = 10'-0"



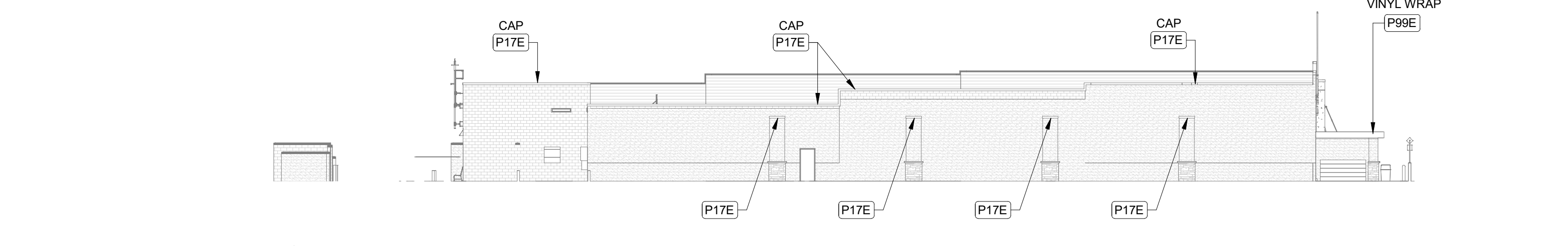
5 FRONT AND BACK ELEVATION  
 1" = 10'-0"



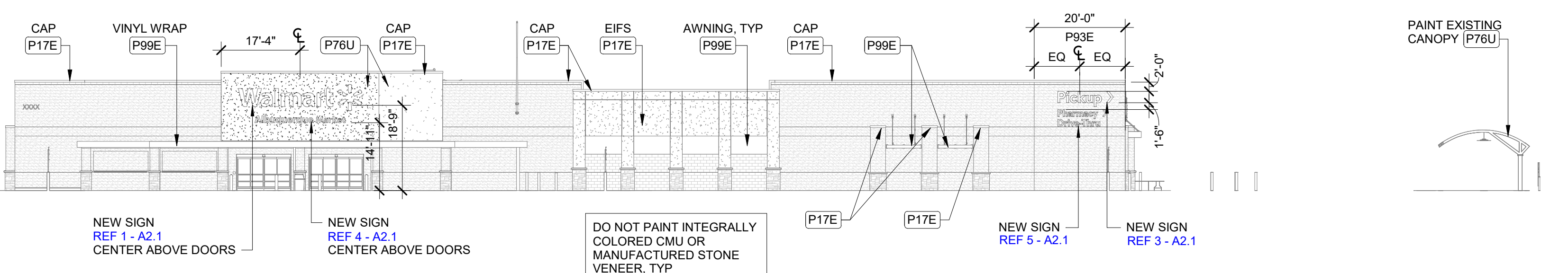
6 SIDE ELEVATION  
 1" = 10'-0"



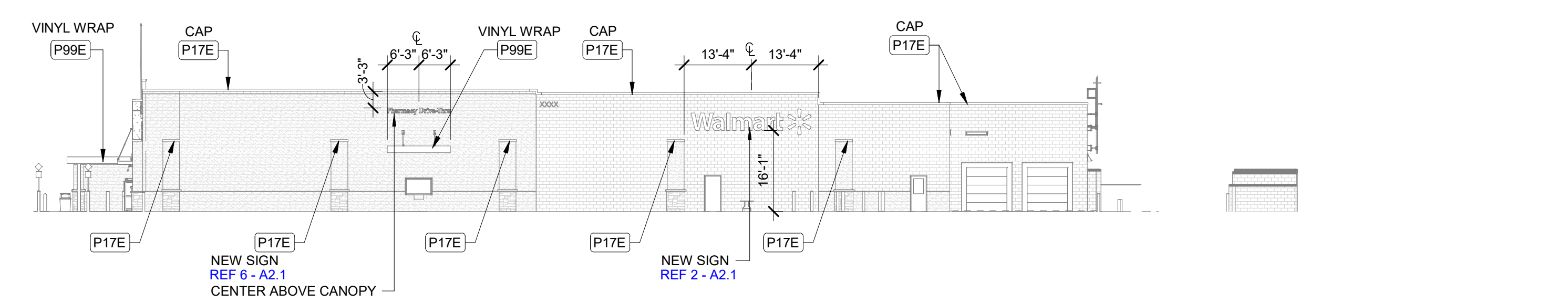
3 REAR ELEVATION  
 1" = 20'-0"



4 LEFT ELEVATION  
 1" = 20'-0"



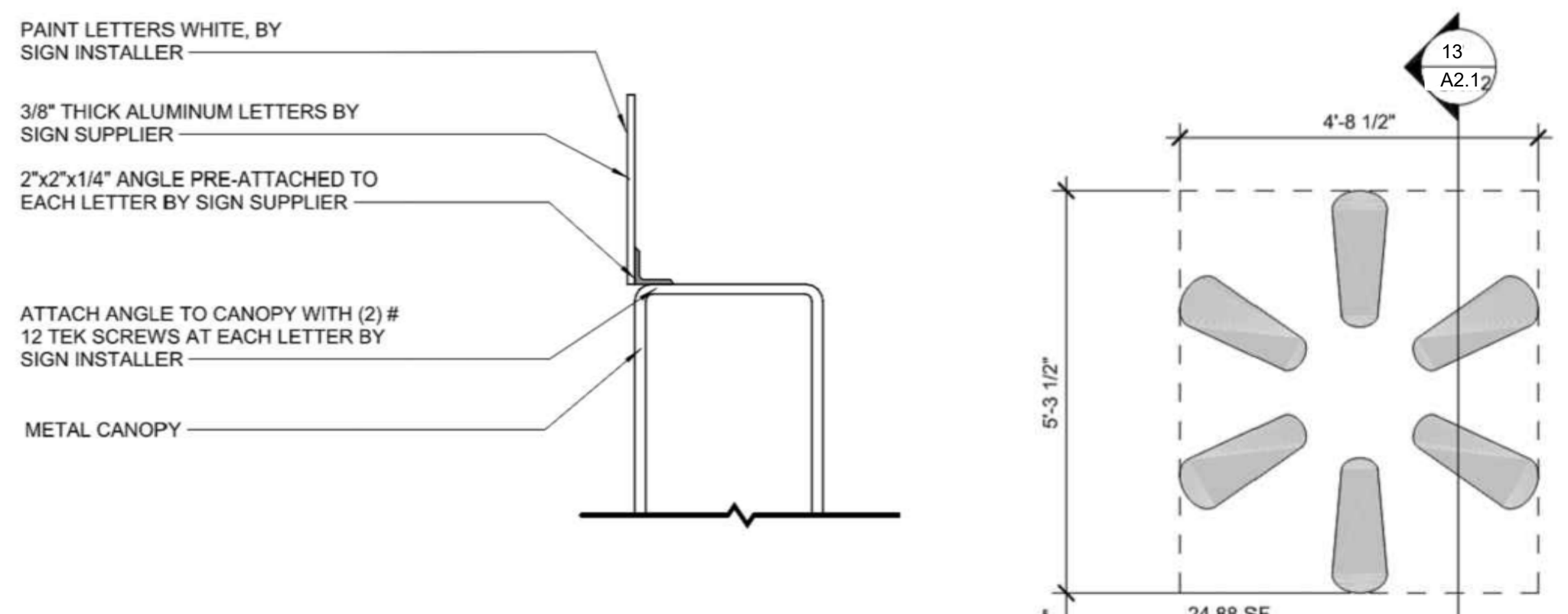
1 FRONT ELEVATION  
 1" = 20'-0"



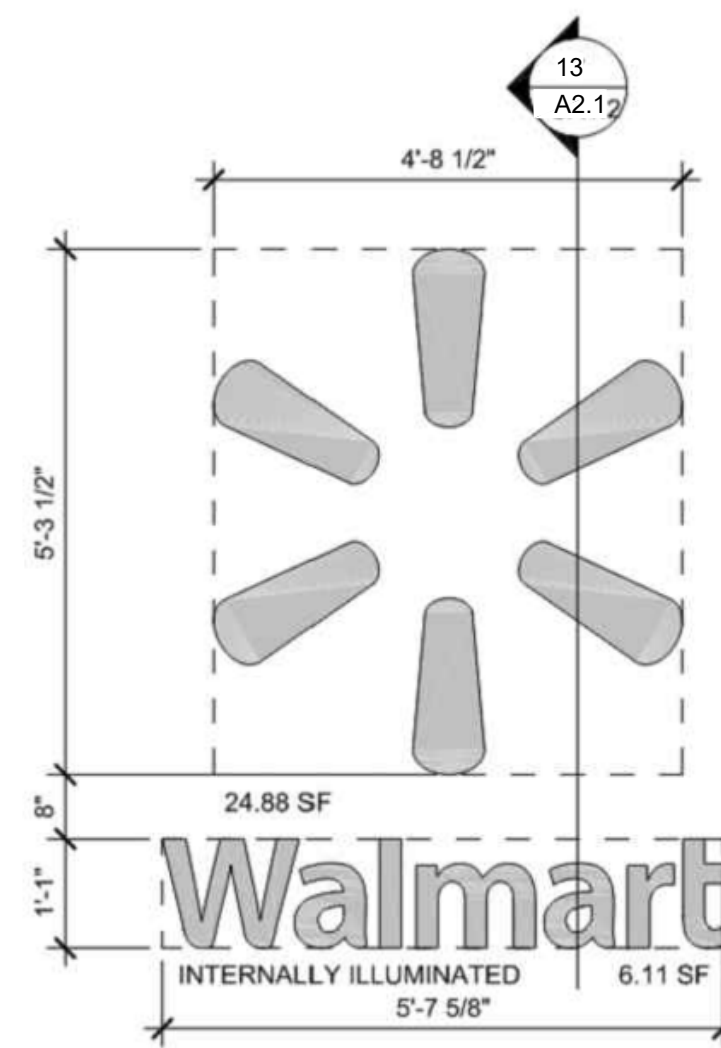
2 RIGHT ELEVATION  
 1" = 20'-0"

7/28/2021 10:52:57 AM  
 C:\projects\2021\4676-216\2021\4676-216\_SGA\_Template\_Architect\02.dwg





16 SIGN ATTACHMENT  
1/12" = 1'-0" 9 FSA1.2

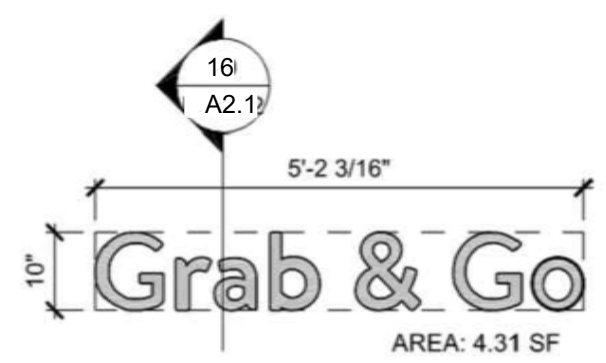


15 WALMART SIGN  
1/2" = 1'-0"

NOTE TO SIGN INSTALLER: ALL PRIMARY MOUNTING HOLES MUST BE UTILIZED. IF MOUNTING THROUGH PRIMARY HOLE IS OBSTRUCTED BY REBAR, METAL STUDS, CHANNELS, OR OTHER MISC METAL, SEAL PRIMARY HOLE IN SIGN CAN AND MOUNT THROUGH THE NEAREST ALTERNATE MOUNTING HOLE. PRIMARY HOLES ARE INDICATED WITH PREDRILLED HOLES.

NOTE: ALL SIGN PENETRATIONS ABOVE ROOF LEVEL MUST BE A CLEAR MINIMUM OF 8\"/>

14 GRAB & GO SIGN  
1/2" = 1'-0"



SIGNAGE GENERAL NOTES

- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY GC.
- ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE GC SIGN COMPANY IS ON SITE. THE EXISTING SIGNAGE WILL THEN BE REMOVED. PATCH AND REPAIR WORK WILL BE COMPLETED AT SIGN LOCATIONS. AND NEW SIGNAGE WILL BE INSTALLED PER PLANS.
  - A TEMPORARY BANNER WILL BE INSTALLED PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND NEW SIGNAGE IS INSTALLED.
  - TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (5'X25').
  - EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 8 OF THE CONSTRUCTION SCHEDULE.
- GENERAL CONTRACTOR RESPONSIBILITIES
  - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGN(S) WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
  - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO SIGN DETAILS FOR LIGHTED ID LOGO SIGNS.
  - PROVIDE JUNCTION BOXES AND CIRCUITRY TO NEW "Walmart" and "spark" SIGNAGE. EXISTING (8) BOXES FROM "WAL-MART" SIGNAGE MAY BE REUSED.
  - PROVIDE JUNCTION BOXES AND CIRCUITRY TO TENANT SIGNAGE LOCATION SHOWN. REFER TO ELECTRICAL.
  - INSTALL ACCESS DOORS AND FRAMES IN GYPSUM BOARD CEILINGS IF REQUIRED BY RELOCATION OF EXISTING TENANT SIGNAGE.
  - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL.
  - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
  - REMOVE ALL LIT ID LOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS, UNLESS NOTED OTHERWISE.
  - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07900.
  - INSTALL SIGNAGE PER DETAILS.

EXISTING BUILDING SIGNAGE SCHEDULE

SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE						
Walmart (Spark) Neighborhood Market	1	LED	WHITE/YELLOW/GREEN	3'-6"	188.30 SF	188.30 SF
(Spark) Pickup Pharmacy	1	LED	YELLOW/WHITE	2'-6"	69.88 SF	69.88 SF
Pharmacy Drive-Thru	1	N/A	WHITE	2'-0"	62.88 SF	62.88 SF
FRONT SIGNAGE						321.06 SF
SIDE SIGNAGE						
Walmart (Spark) Neighborhood Market	1	LED	WHITE/YELLOW/GREEN	3'-6"	188.30 SF	188.30 SF
Pharmacy Drive-Thru	1	N/A	WHITE	1'-6"	39.90 SF	39.90 SF
SIDE SIGNAGE						228.20 SF
TOTAL EXISTING BUILDING SIGNAGE						549.26 SF

NEW BUILDING SIGNAGE SCHEDULE

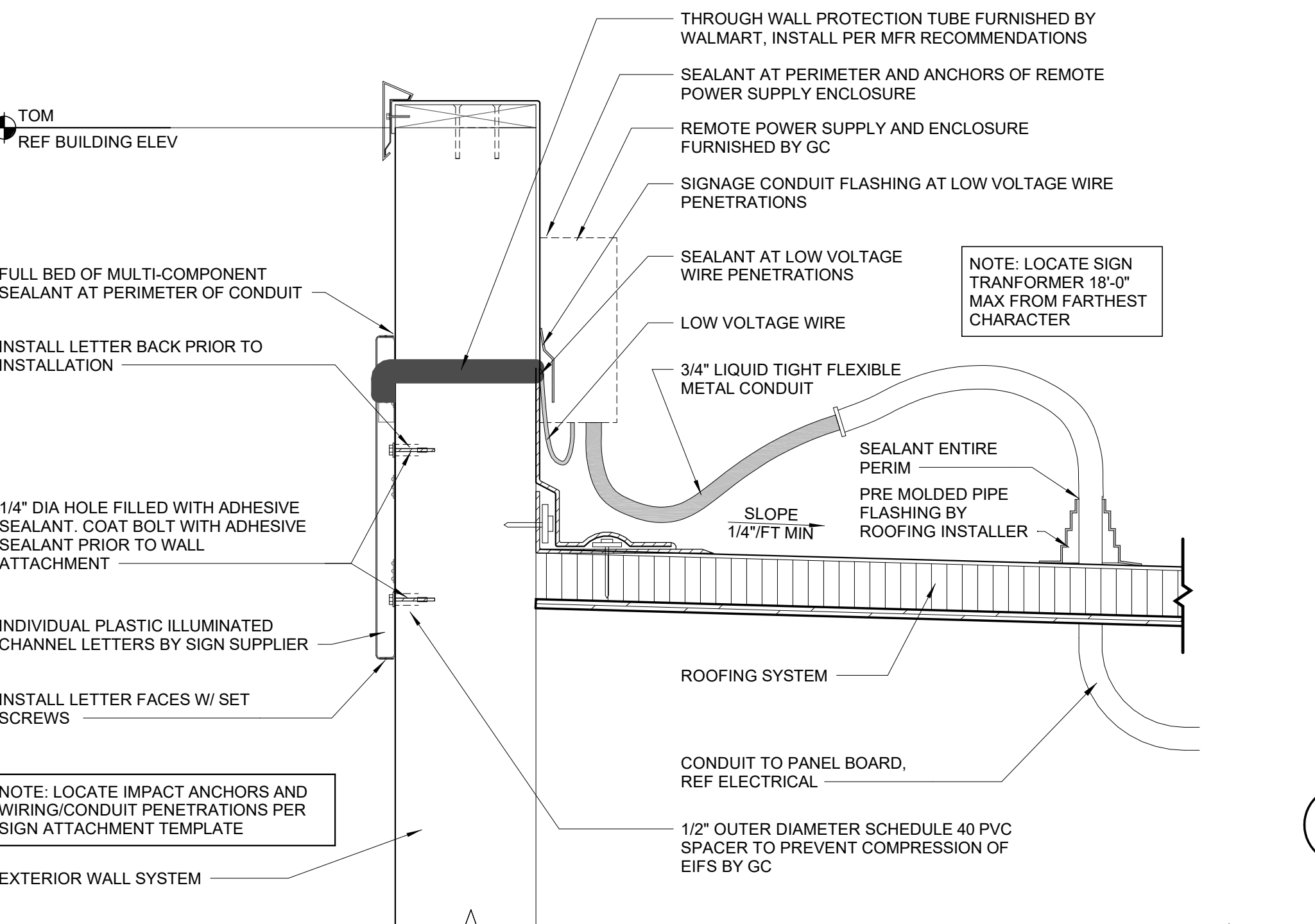
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE						
Walmart (Spark) Pickup	1	LED	WHITE/YELLOW	4'-0"	158.14 SF	158.14 SF
Albuquerque Market Pharmacy Drive-Thru	1	LED	WHITE	2'-6"	40.88 SF	40.88 SF
Pharmacy Drive-Thru	1	LED	WHITE	1'-6"	38.25 SF	38.25 SF
FRONT SIGNAGE						237.27 SF
SIDE SIGNAGE						
Walmart (Spark) Pharmacy Drive-Thru	1	N/A	WHITE	1'-0"	16.76 SF	16.76 SF
SIDE SIGNAGE						140.49 SF
TOTAL BUILDING SIGNAGE						396.93 SF

EXISTING FUEL SIGNAGE SCHEDULE

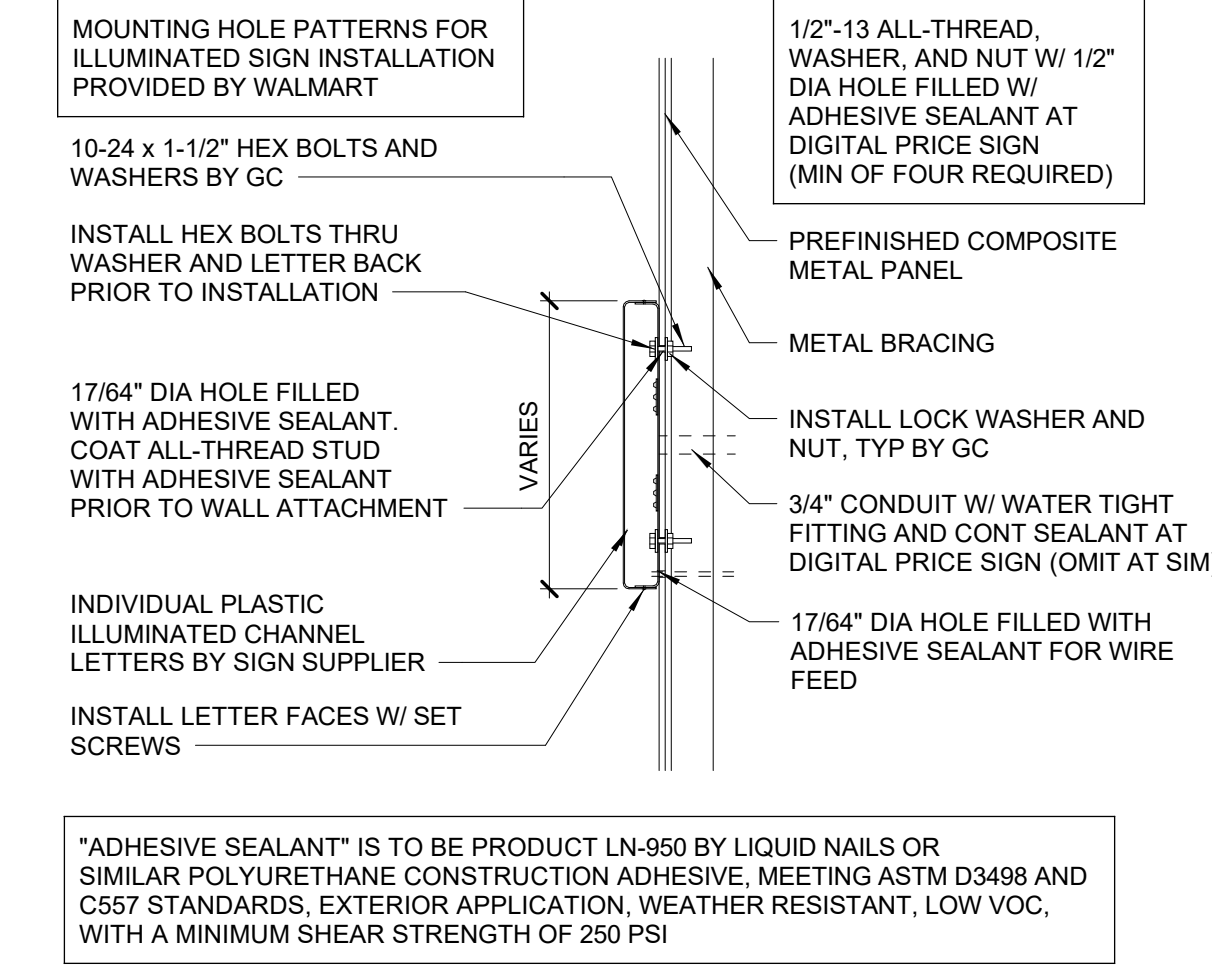
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE						
Walmart (Spark)	1	N/A	WHITE/YELLOW	2'-0"	18.63 SF	18.63 SF
Grab & Go	1	DIGITAL	BLACK	2'-0"	13.01 SF	13.01 SF
FUEL STATION SIGNAGE						31.64 SF
TOTAL EXISTING FUEL SIGNAGE						31.64 SF

NEW FUEL SIGNAGE SCHEDULE

SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FUEL STATION SIGNAGE						
(Spark) Walmart	1	LED	YELLOW/WHITE	5'-6"	30.99 SF	30.99 SF
Walmart (Spark)	4	LED	WHITE/YELLOW	2'-0"	18.63 SF	74.52 SF
Grab & Go	1	N/A	WHITE	6'-10"	4.31 SF	4.31 SF
FUEL STATION SIGNAGE						109.82 SF
TOTAL NEW FUEL SIGNAGE						109.82 SF

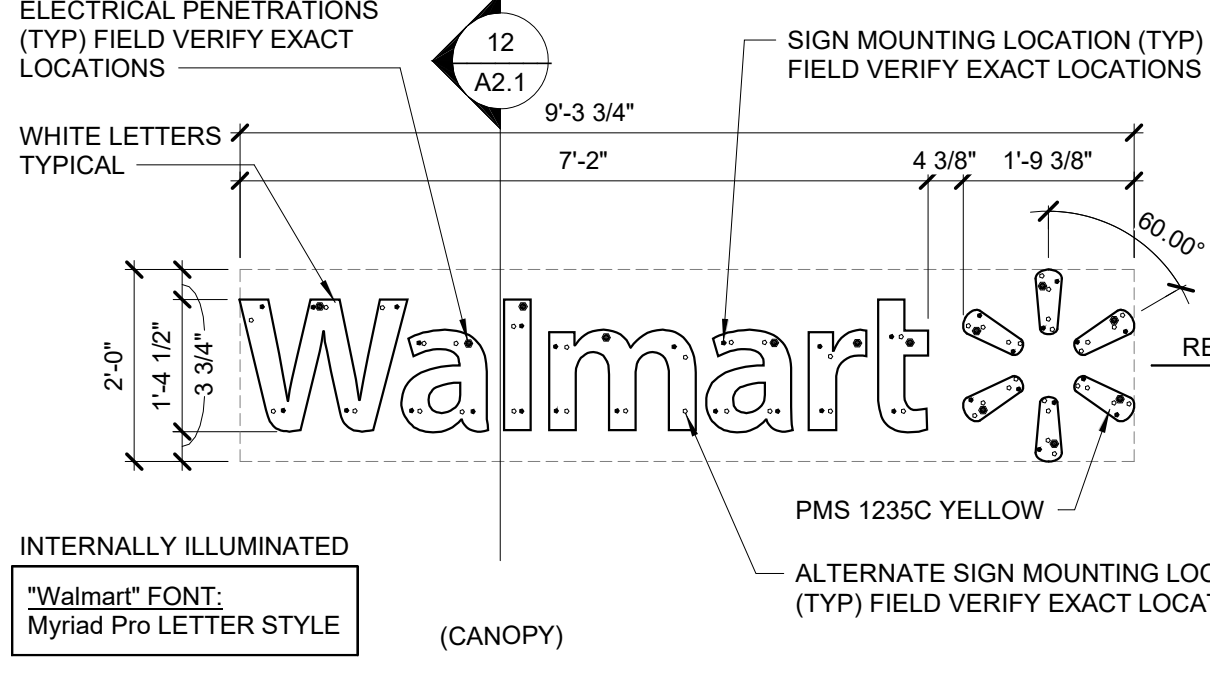


12 SIGN ATTACHMENT  
1/12" = 1'-0"



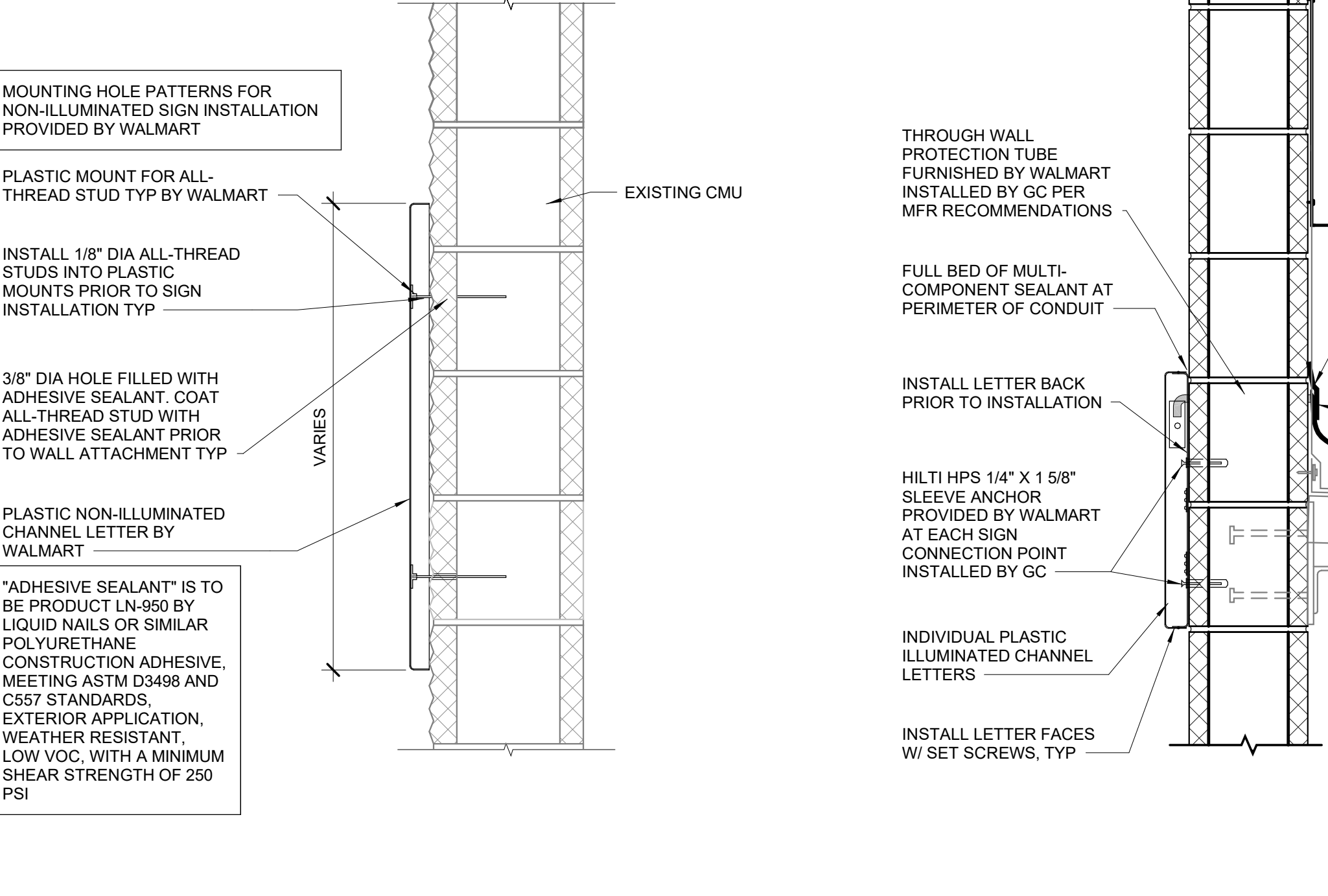
11 WALMART SIGN  
1/2" = 1'-0"

NOTE TO SIGN INSTALLER: ALL PRIMARY MOUNTING HOLES MUST BE UTILIZED. IF MOUNTING THROUGH PRIMARY HOLE IS OBSTRUCTED BY REBAR, METAL STUDS, CHANNELS, OR OTHER MISC METAL, SEAL PRIMARY HOLE IN SIGN CAN AND MOUNT THROUGH THE NEAREST ALTERNATE MOUNTING HOLE. PRIMARY HOLES ARE INDICATED WITH PREDRILLED HOLES THROUGH WASHERS. ALTERNATE HOLES ARE INDICATED WITH WASHERS ONLY OR ARE OTHERWISE MARKED.



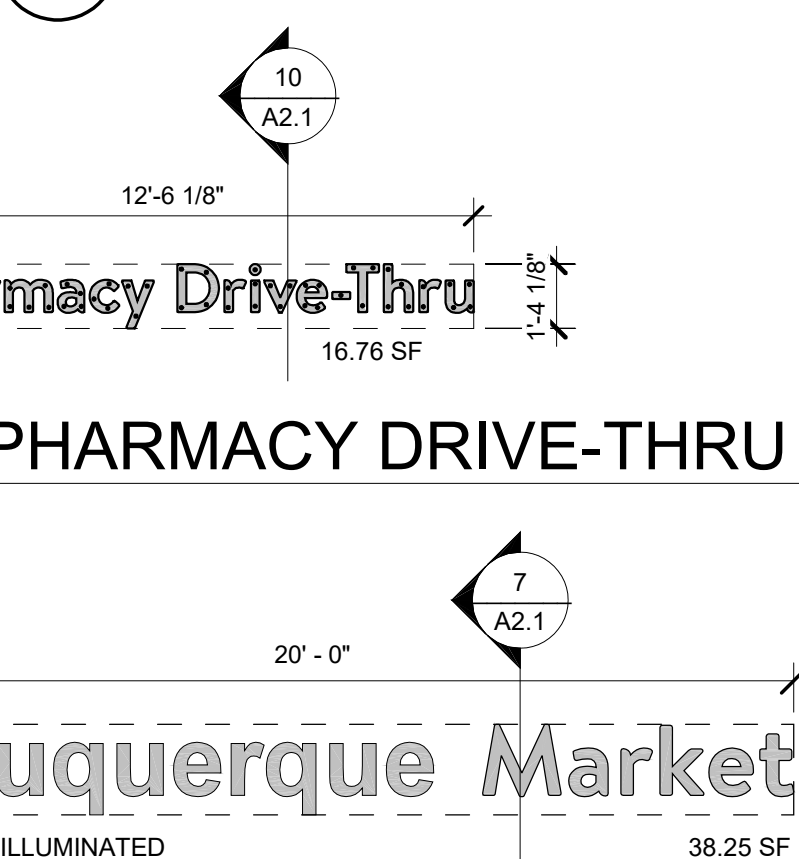
ELECTRICAL PENETRATIONS (TYP) FIELD VERIFY EXACT LOCATIONS

13 SIGN ATTACHMENT  
1/12" = 1'-0"



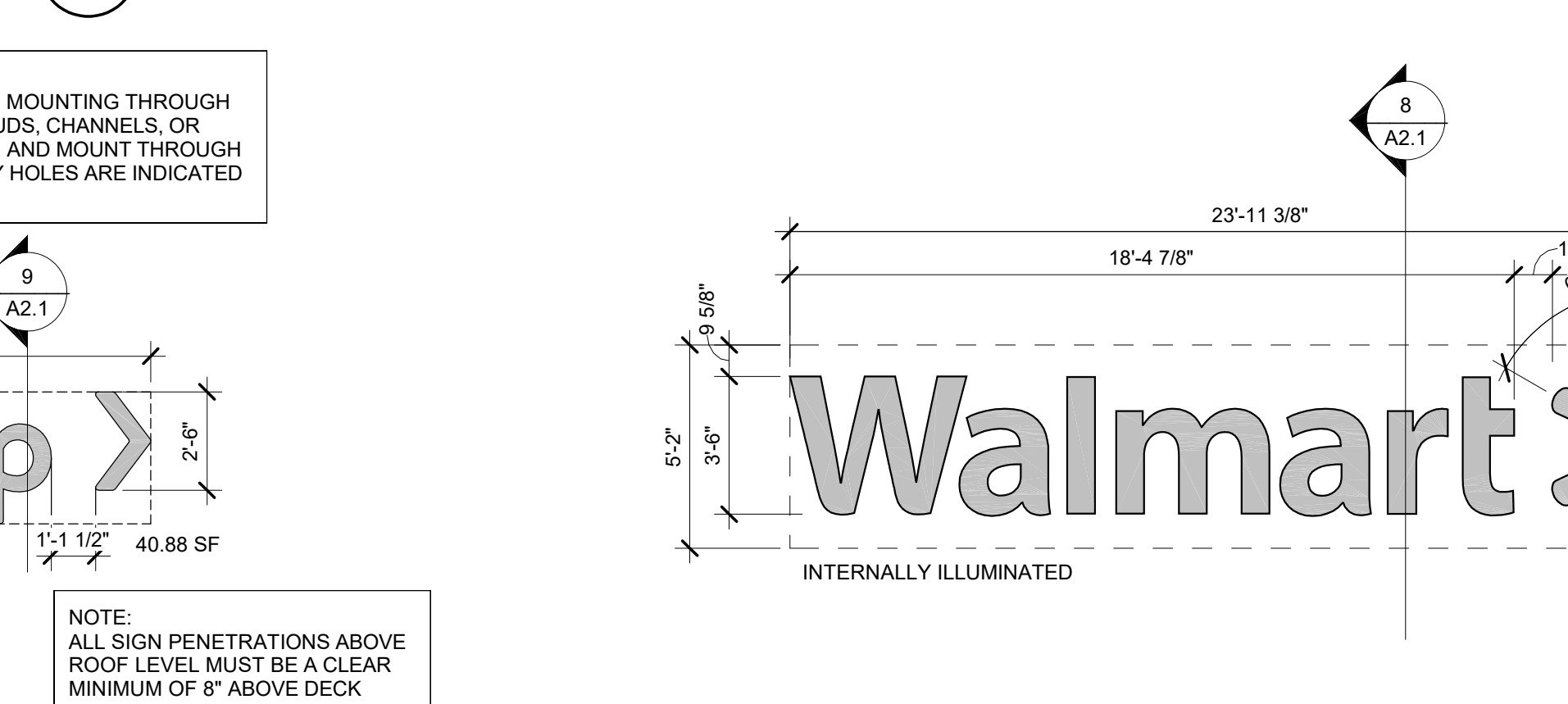
10 SIGN ATTACHMENT AT CMU WALL  
1/12" = 1'-0"

9 SIGNAGE ATTACHMENT  
1/12" = 1'-0"

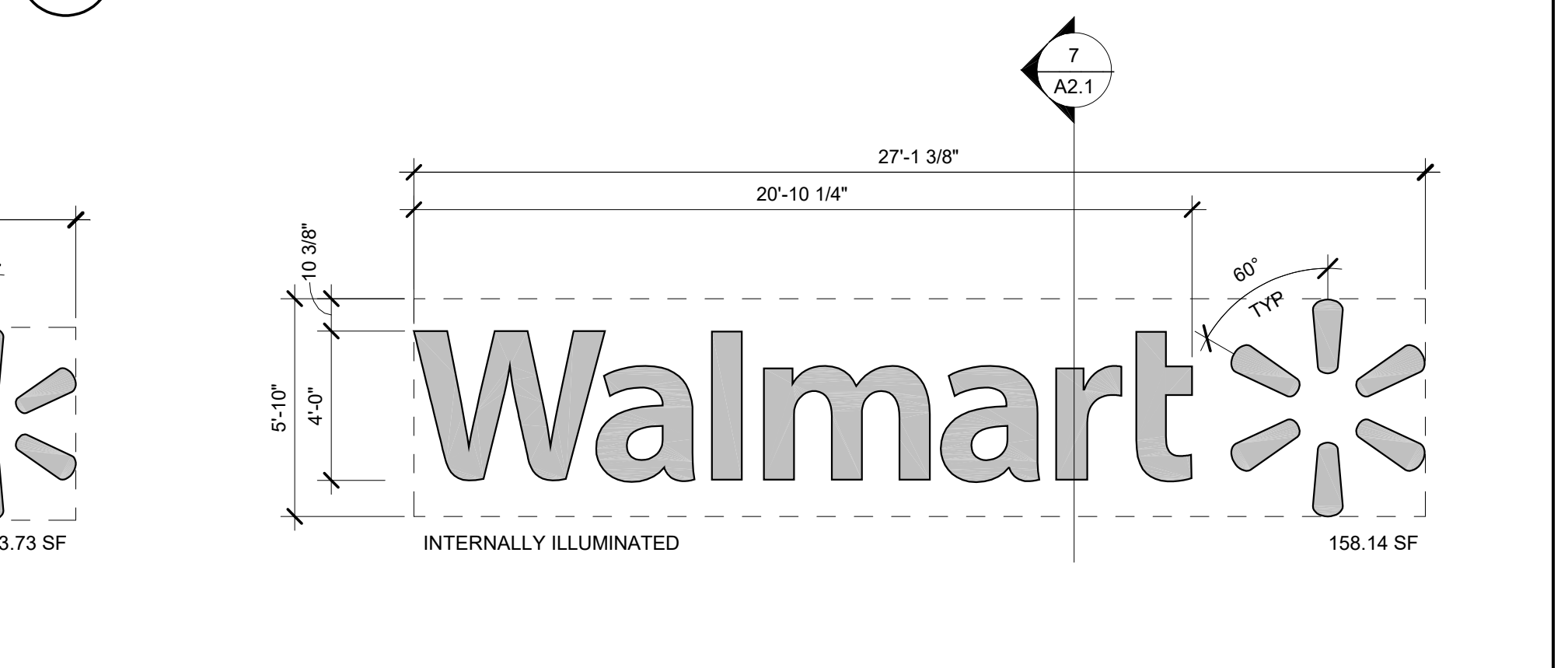


NOTE TO SIGN INSTALLER: ALL PRIMARY MOUNTING HOLES MUST BE UTILIZED. IF MOUNTING THROUGH PRIMARY HOLE IS OBSTRUCTED BY REBAR, METAL STUDS, CHANNELS, OR OTHER MISC METAL, SEAL PRIMARY HOLE IN SIGN CAN AND MOUNT THROUGH THE NEAREST ALTERNATE MOUNTING HOLE. PRIMARY HOLES ARE INDICATED WITH PREDRILLED HOLES.

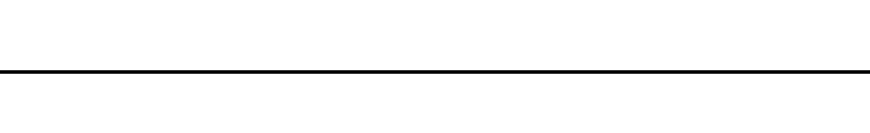
8 SIGN ATTACHMENT AT CMU WALL ABOVE ROOF LINE  
1/12" = 1'-0"



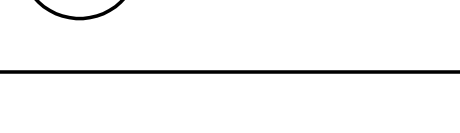
7 SIGN ATTACHMENT  
1" = 1'-0"



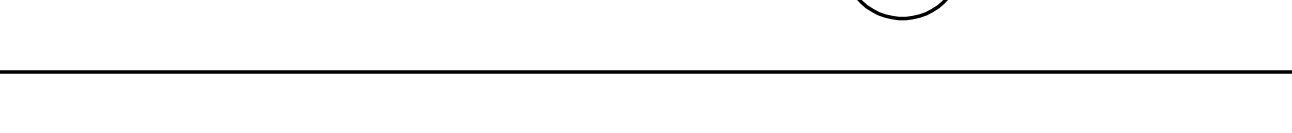
5 1' 6\"/>



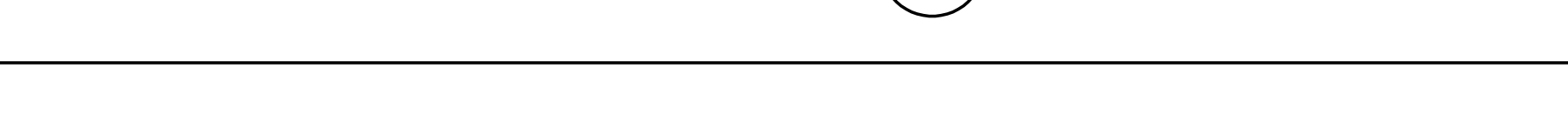
4 SIGNAGE  
1/4\"/>



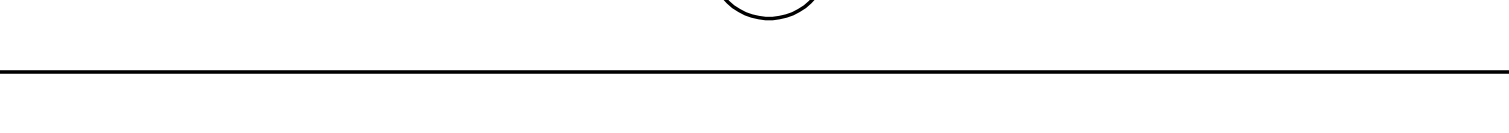
3 SIGNAGE  
1/4\"/>



2 3'-6\"/>



1 4'-0\"/>



STIPULATION FOR REUSE: THIS DRAWING IS THE PROPERTY OF SGA DESIGN GROUP. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF SGA DESIGN GROUP. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF SGA DESIGN GROUP IS STRICTLY PROHIBITED. SGA DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR LIABILITY ARISING FROM THE REUSE OF THIS DRAWING.

CONSULTANTS

ISSUE BLOCK

NO.	DESCRIPTION	DATE

CHECKED BY: LGW/RAV  
DRAWN BY: BJS  
PROTO CYCLE: 4/30/21  
DOCUMENT DATE: 7/28/21

THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICE OF SGA DESIGN GROUP. THIS ELECTRONIC DOCUMENT IS RELEASED FOR THE PURPOSE OF REFERENCE. COORDINATION AND/OR FACILITY MANAGEMENT. THIS DRAWING SHALL NOT BE CONSIDERED FINAL OR COMPLETE UNLESS IT IS SIGNED AND SEALED BY THE ARCHITECT.

STATE OF NEW MEXICO  
REGISTERED ARCHITECT  
TRAVIS R. HAGER  
No. 6148  
7/28/2021

EXTERIOR DETAILS





IMAGE SOURCE: GOOGLE EARTH  
 IMAGE DATE: 10/21/20

**WALMART  
 NEIGHBORHOOD  
 MARKET  
 #04676-216**

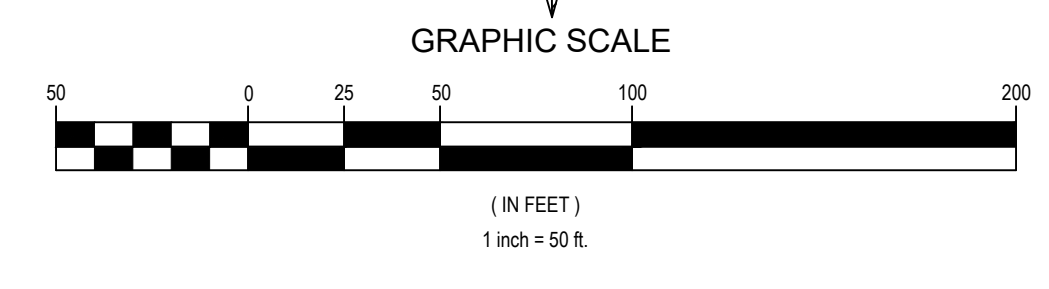
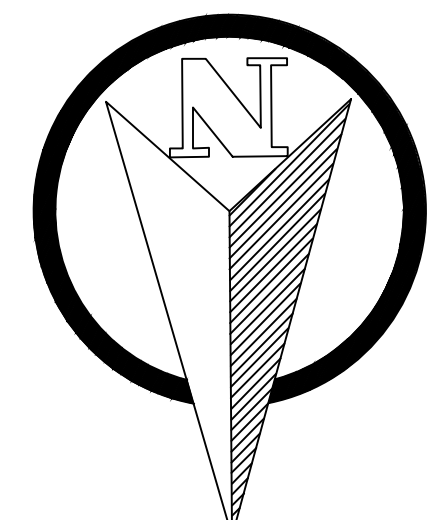
CONTRACTOR SHALL REFER TO SHEET SGP-2 FOR IMPROVEMENTS AT PICKUP

**SITE AND DEMOLITION LEGEND**

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
  - (B) EXISTING STOP SIGN TO BE REMOVED.
  - (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
  - (D) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
  - (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
  - (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
  - (G) EXISTING CENTERLINE STRIPING TO REMAIN.
  - (H) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED.
  - (I) EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.
  - (J) EXISTING STOP SIGN TO REMAIN.
  - (K) EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.
  - (L) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.
  - (M) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
  - (N) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.
  - (O) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
  - (P) NEW "STOP HERE FOR PEDESTRIANS" (R1-58) SIGN.
  - (Q) NEW 30"x30" STOP SIGN.
  - (R) NEW 36"x36" STOP SIGN.
  - (S) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
  - (T) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.
  - (U) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.
  - (V) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPING PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
  - (W) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
  - (X) NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 18" GAPS.
  - (Y) NEW OPEN ARROW PAVEMENT MARKINGS.
  - (Z) NEW SOLID ARROW PAVEMENT MARKINGS.
  - (AA) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPES.
  - (AB) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
  - (AC) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.
  - (AD) NEW FIRE LANE STRIPING.
  - (AE) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.
  - (AF) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CLARIFY UNOBSTRUCTED VIEW OF SIGNAGE.
  - (AG) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.
  - (AH) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.
  - (AI) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
  - (AJ) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE.
  - (AK) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.
  - (AL) PROPOSED PICKUP NUMBERING.
  - (AM) NEW OSP CROSSWALK MARKINGS.
  - (AN) REMOVE EXISTING PICKUP DIRECTIONAL PAVEMENT MARKING.
  - (AO) NEW 8" SOLID WHITE LINE.
  - (AP) EXISTING ONLY TEXT PAVEMENT MARKING TO BE REMOVED.
  - (AQ) RE-STRIPING EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES.

**NOTES TO CONTRACTOR**

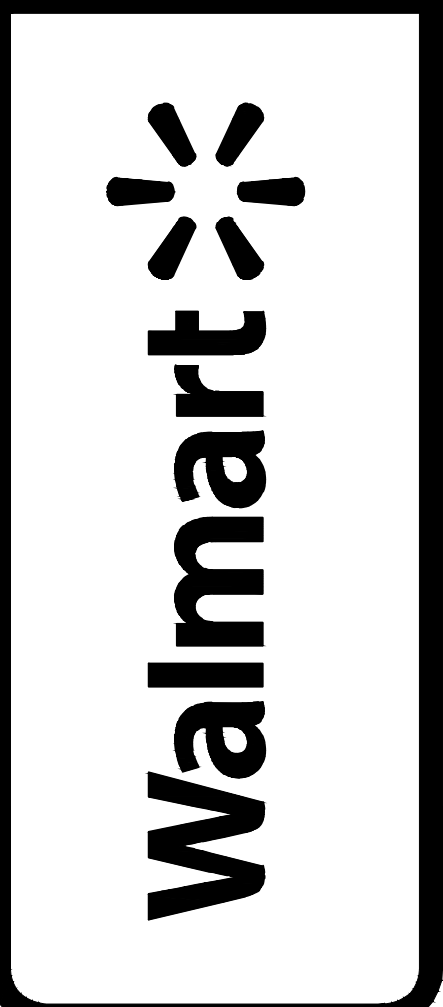
1. BFR (BUILDING FRONTAGE ROAD)  
 OCR (OUTER CIRCULATION ROAD)
2. CONTRACTOR SHALL INSTALL NEW STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
3. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST.



REVISIONS	BY



NEIGHBORHOOD MARKET #04676-216  
 1820 UNSER BLVD NW, ALBUQUERQUE, NM 87120  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 WAL-MART STORES, INC.  
 BENTONVILLE, AR

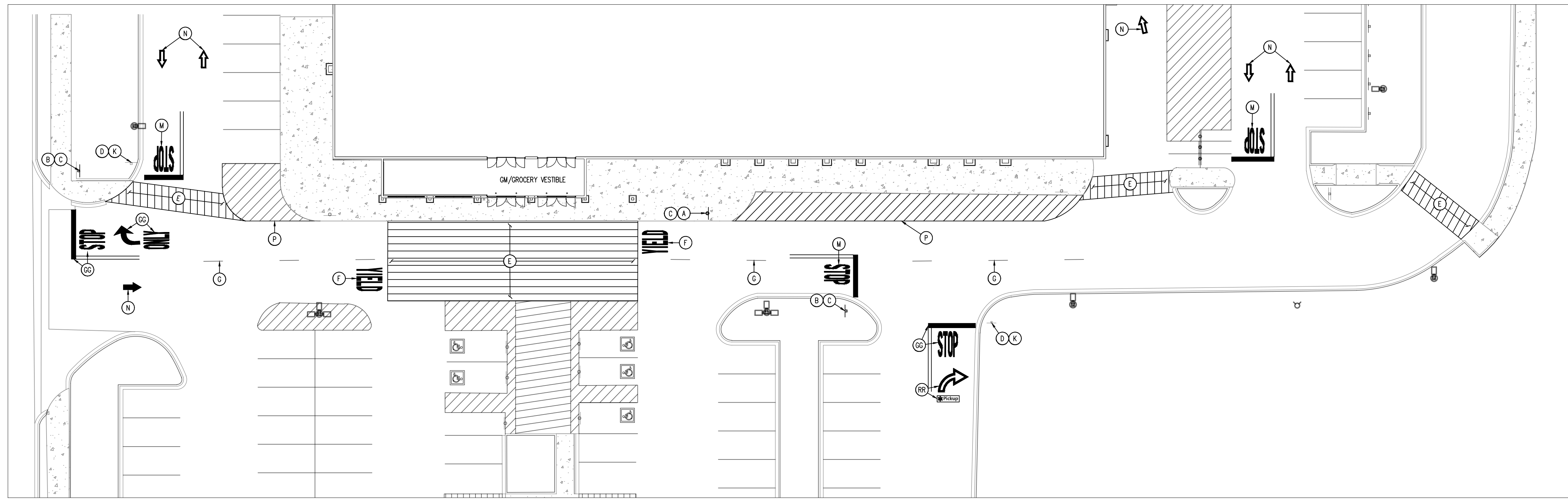


DRAWN	WJP
CHECKED	RCJ
DATE	07/28/21
SCALE	AS NOTED
JOB No.	SGA003512.20
SHEET	

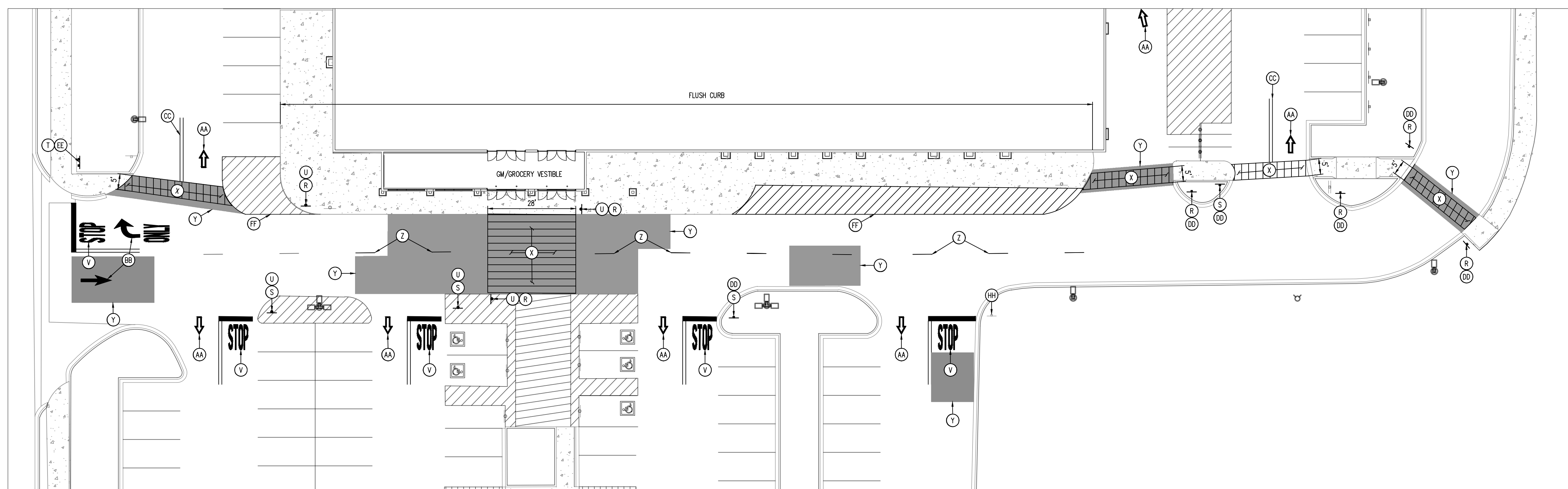
**SSM-1**

**STOP SIGNS AND MARKINGS PLAN**





DEMOLITION PLAN



SITE CONSTRUCTION PLAN

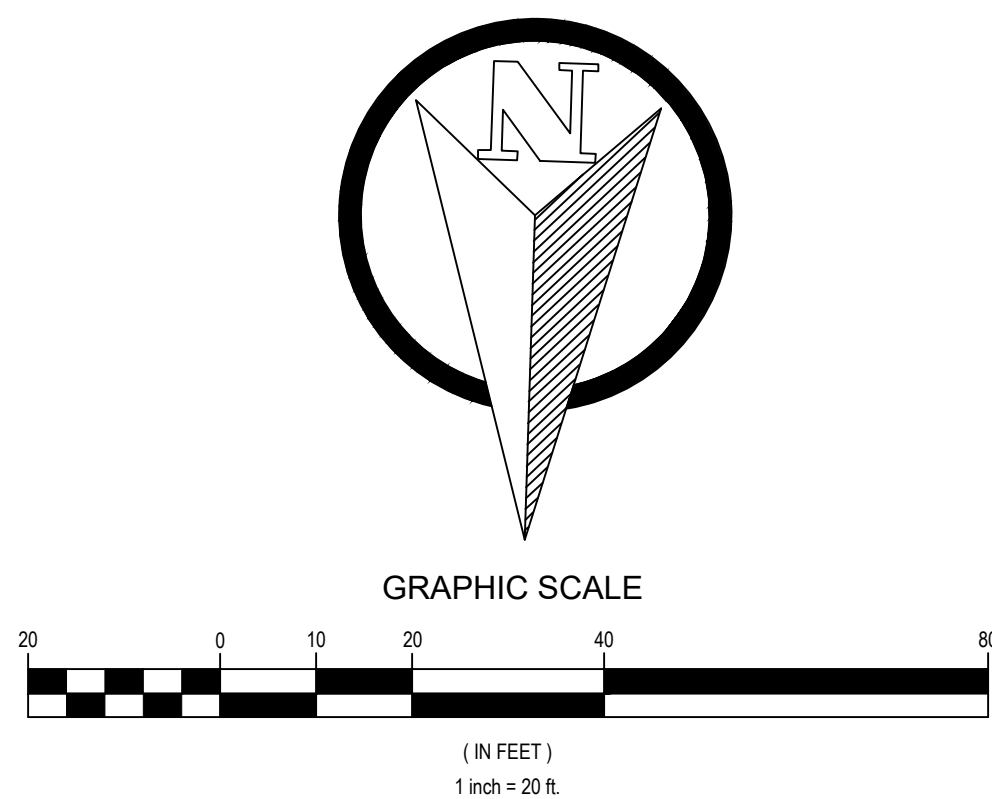
**NOTES TO CONTRACTOR:**

- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

**SITE AND DEMOLITION LEGEND**

- REFERENCE DETAIL SHEET
- |  |  |
|--|--|
| <ul style="list-style-type: none"> <li>(A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.</li> <li>(B) EXISTING STOP SIGN TO BE REMOVED.</li> <li>(C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.</li> <li>(D) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.</li> <li>(E) EXISTING CROSSWALK STRIPING TO BE REMOVED.</li> <li>(F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.</li> <li>(G) EXISTING CENTERLINE STRIPING TO BE REMOVED.</li> <li>(H) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED.</li> <li>(J) EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.</li> <li>(K) EXISTING STOP SIGN TO REMAIN.</li> <li>(L) EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.</li> <li>(M) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.</li> <li>(N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.</li> <li>(P) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.</li> <li>(Q) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.</li> <li>(R) NEW "STOP HERE FOR PEDESTRIANS" (R1-5B) SIGN.</li> <li>(S) NEW 30"x30" STOP SIGN.</li> <li>(T) NEW 36"x36" STOP SIGN.</li> <li>(U) NEW SIGN MOUNTING AND BASE WITH BOLLARD.</li> <li>(V) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.</li> <li>(W) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.</li> <li>(X) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED.</li> </ul> | <ul style="list-style-type: none"> <li>(Y) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.</li> <li>(Z) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 1/8" CAPS.</li> <li>(AA) NEW OPEN ARROW PAVEMENT MARKINGS.</li> <li>(BB) NEW SOLID ARROW PAVEMENT MARKINGS.</li> <li>(CC) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.</li> <li>(DD) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.</li> <li>(EE) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.</li> <li>(FF) NEW FIRE LANE STRIPING.</li> <li>(GG) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.</li> <li>(HH) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE.</li> <li>(AJ) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.</li> <li>(AK) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.</li> <li>(AL) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.</li> <li>(AM) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE.</li> <li>(AN) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.</li> <li>(AP) PROPOSED PICKUP NUMBERING.</li> <li>(AQ) NEW 60P CROSSWALK MARKINGS.</li> <li>(AR) REMOVE EXISTING PICKUP DIRECTIONAL PAVEMENT MARKING.</li> <li>(AS) NEW 8" SOLID WHITE LINE.</li> <li>(AT) EXISTING ONLY TEXT PAVEMENT MARKING TO BE REMOVED.</li> <li>(AU) RE-STRIPED EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES.</li> </ul> |
|--|--|

**DEMOLITION AND SITE CONSTRUCTION PLAN**



REVISIONS	BY

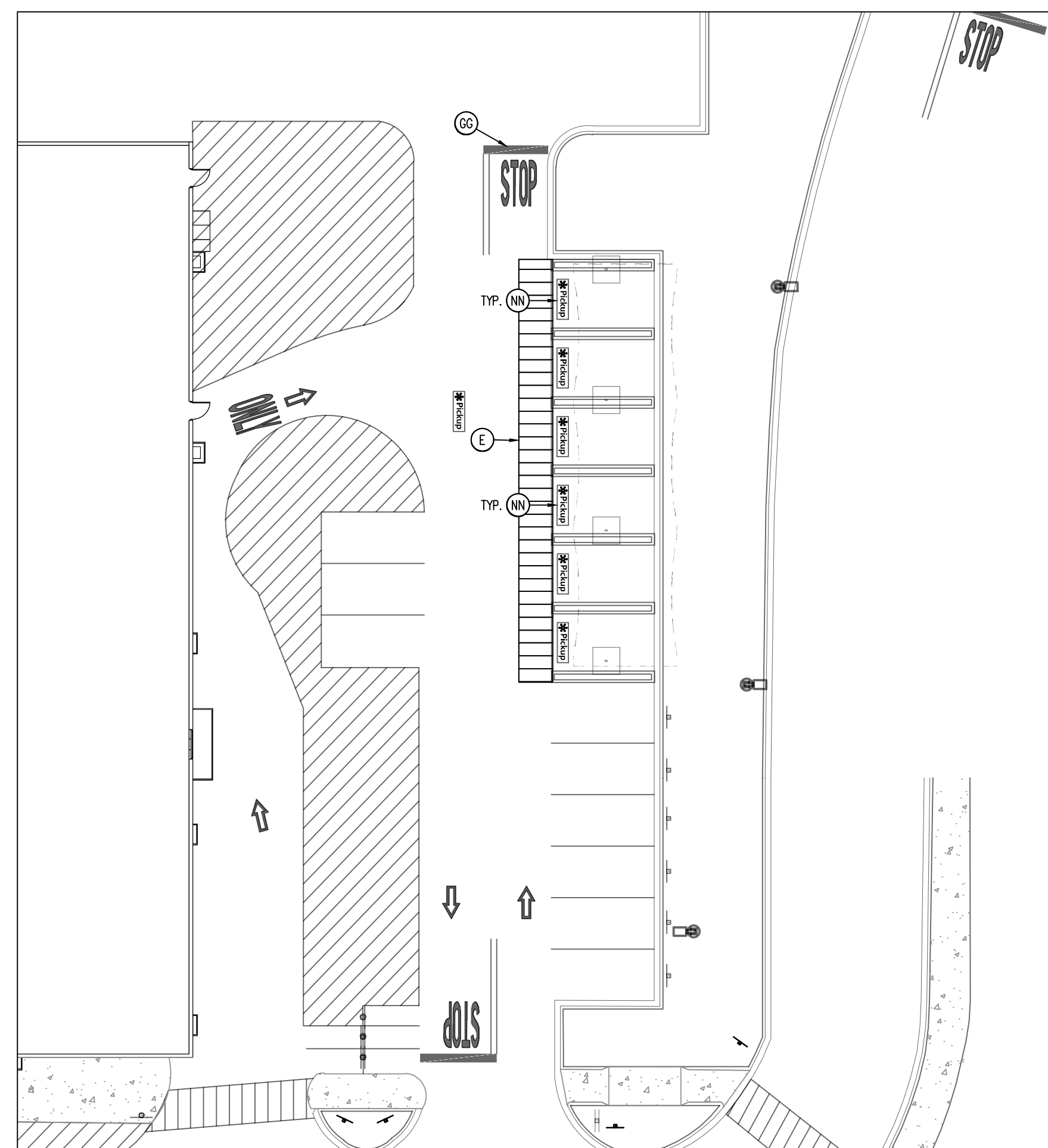
**Galloway**  
 6002 S. Willow Drive, Suite 300  
 Albuquerque, NM 87111  
 505.770.8884  
 GallowayUS.com

NEIGHBORHOOD MAKRET #04676-216  
 1820 UNSER BLVD NW, ALBUQUERQUE, NM 87120  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 WAL-MART STORES, INC.  
 BENTONVILLE, AR

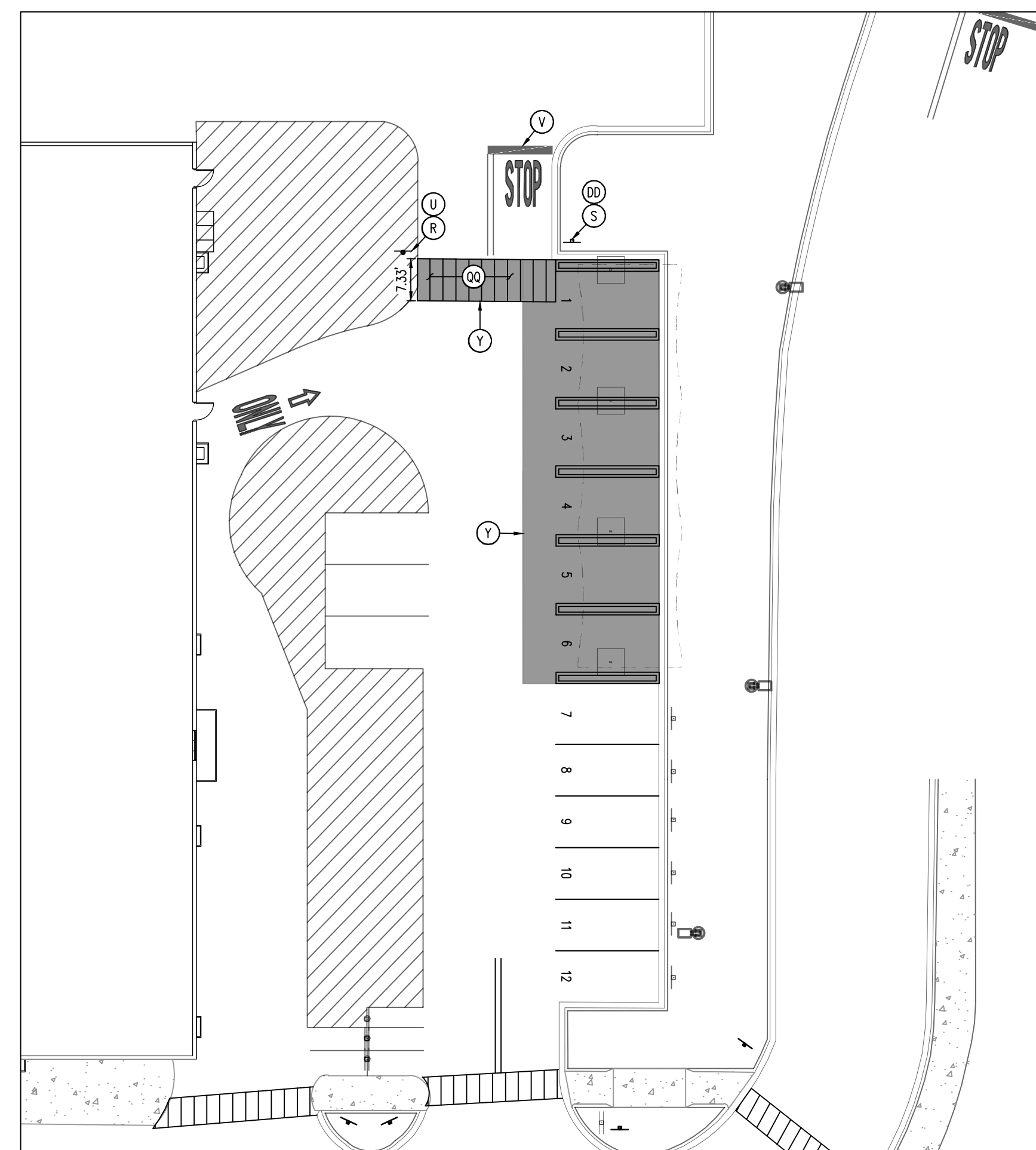
DRAWN	WLP
CHECKED	RCJ
DATE	07/28/21
SCALE	AS NOTED
JOB No.	SGA003512.20
SHEET	

**SECP-1**





DEMOLITION PLAN



SITE CONSTRUCTION PLAN

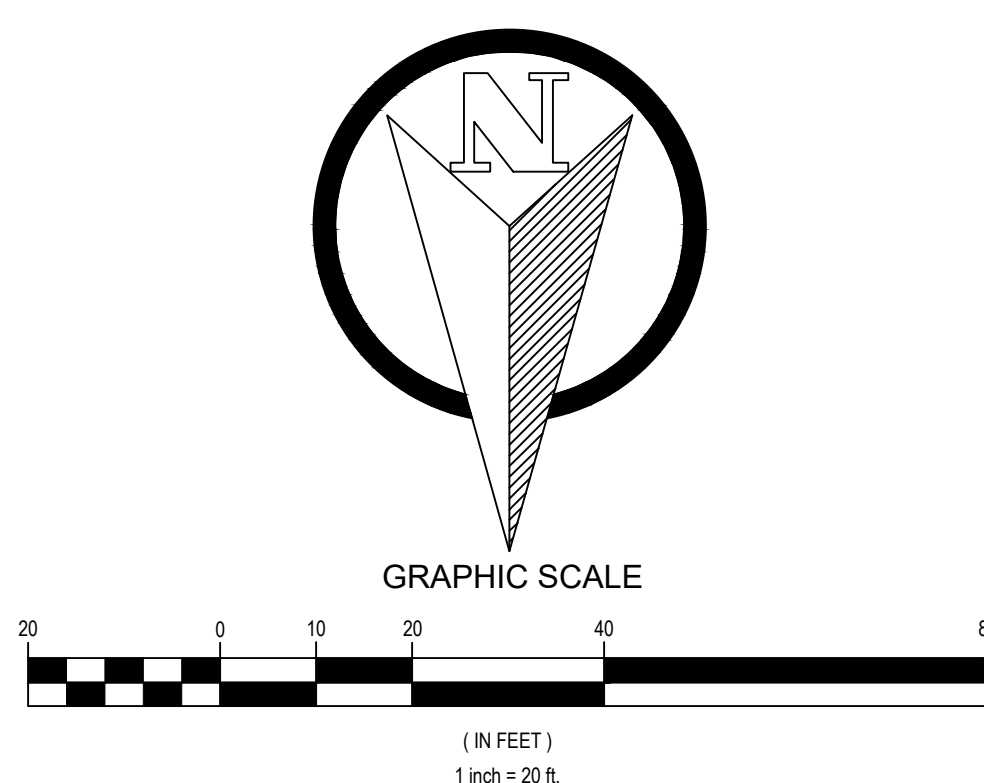
- NOTES TO CONTRACTOR:
- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
  - PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
  - ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
  - ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

**SITE AND DEMOLITION LEGEND**

REFERENCE DETAIL SHEET

- |   |   |
|---|---|
| (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.  | (Z) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18' GAPS.   |
| (B) EXISTING STOP SIGN TO BE REMOVED.   | (AA) NEW OPEN ARROW PAVEMENT MARKINGS.  |
| (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.  | (BB) NEW SOLID ARROW PAVEMENT MARKINGS.   |
| (D) EXISTING SIGN POST AND BASE TO REMAIN, BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.   | (CC) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.  |
| (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.  | (DD) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.   |
| (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.  | (EE) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.   |
| (G) EXISTING CENTERLINE STRIPING TO BE REMOVED.   | (FF) NEW FIRE LANE STRIPING.  |
| (H) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED.   | (GG) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.                   |
| (J) EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.  | (HH) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE. |
| (K) EXISTING STOP SIGN TO REMAIN.   | (JJ) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.   |
| (L) EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.  | (KK) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.  |
| (M) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.   | (LL) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.   |
| (N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.   | (MM) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE.  |
| (P) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.  | (NN) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.  |
| (C) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.  | (PP) PROPOSED PICKUP NUMBERING.   |
| (A) NEW "STOP HERE FOR PEDESTRIANS" (R1-S8) SIGN.   | (QQ) NEW ODP CROSSWALK MARKINGS.  |
| (S) NEW 30"x30" STOP SIGN.  | (RR) REMOVE EXISTING PICKUP DIRECTIONAL PAVEMENT MARKING.   |
| (T) NEW 36"x36" STOP SIGN.  | (SS) NEW 6" SOLID WHITE LINE.   |
| (U) NEW SIGN MOUNTING AND BASE WITH BOLLARD.  | (TT) EXISTING ONLY TEXT PAVEMENT MARKING TO BE REMOVED.   |
| (V) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.   | (UU) RE-STRIP EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES.   |
| (W) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45' @ 2'-0" O.C.  |   |
| (X) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-1/2" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED. |   |
| (Y) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.        |   |

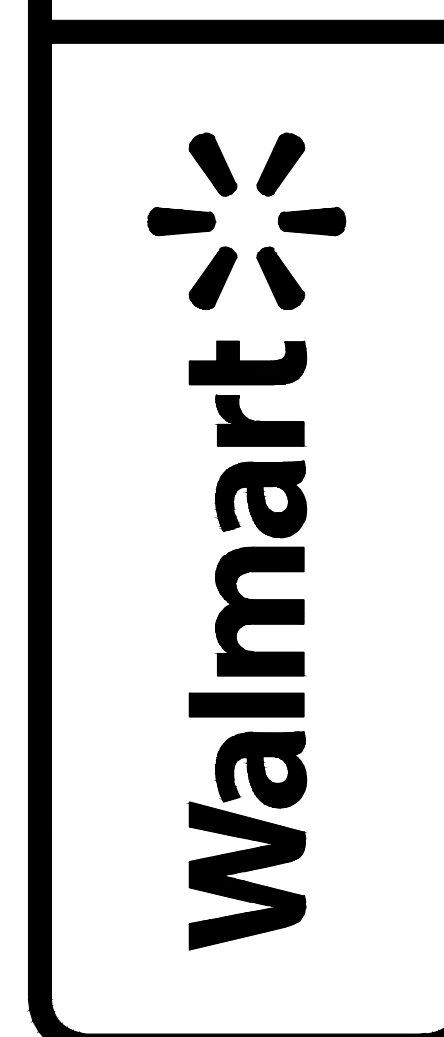
**DEMOLITION AND SITE CONSTRUCTION PLAN**



REVISIONS	BY



NEIGHBORHOOD MAKRET #04676-216  
 1820 UNSER BLVD NW, ALBUQUERQUE, NM 87120  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 WAL-MART STORES, INC.  
 BENTONVILLE, AR



DRAWN	WLP
CHECKED	RCL
DATE	07/28/21
SCALE	AS NOTED
JOB No.	5GAD03512.20
SHEET	

**SECP-2**





# CITY OF ALBUQUERQUE INVOICE

**GINA KELLY**

**1437 S. BOULDER AVE - SUITE 550 SGA  
DESIGN GROUP**

Reference NO: SI-2021-01179

Customer NO: CU-97137236

<b>Date</b>	<b>Description</b>	<b>Amount</b>
8/03/21	2% Technology Fee	\$1.00
8/03/21	Application Fee	\$50.00

Due Date: **8/03/21**

Total due for this invoice:

**\$51.00**

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



**City of Albuquerque**  
PO Box 1293  
Albuquerque, NM 87103

**Date:** 8/03/21  
**Amount Due:** \$51.00  
**Reference NO:** SI-2021-01179  
**Payment Code:** 130  
**Customer NO:** CU-97137236

GINA KELLY  
1437 S. BOULDER AVE - SUITE 550 SGA  
DESIGN GROUP  
TULSA, OK 74119



130 0000SI202101179000993551141243338000000000000051000CU97137236

**PARID: 100905953005940106****2004 WAKIMOTO FAMILY LP C/O WAL-MART,  
PROPERTY TAX DEPT STORE #87370****1820 UNSER BLVD****Class**

Class	Non Residential
Tax District	A1A

**Current Owner**

Tax Year	2021
Owner	2004 WAKIMOTO FAMILY LP C/O WAL-MART PROPERTY TAX DEPT STORE #87370
Owner Mailing Address	
Unit	
City	BENTONVILLE
State	AR
Zip Code	72716 8050
Foreign Mailing Address	PO BOX 8050 ATTN: MS 0555

**Ownership for Tax Year Selected**

Tax Year	2020
Owner Name	2004 WAKIMOTO FAMILY LP C/O WAL-MART PROPERTY TAX DEPT STORE #87370
Owner Mailing Address	
Unit	
City	BENTONVILLE
State	AR
Zip Code	72716 8050
Foreign Mailing Address	PO BOX 8050 ATTN: MS 0555

**Description**

Location Address	1820 UNSER BLVD NW
City	ALBUQUERQUE
State	NM
Zip Code	87120
Property Description	TR A1 PLAT OF TRACTS A-1 THRU A-3 AND C-1 THRU C -3 HERITAGE MARKETPLACE (BEING A REPLAT OF TRACTS A AND C,
Public Improvement District	
Tax Increment Development Districts	

**Document #**

Document #:	2016091487 092716 SW- ENTRY BY ALS 100516 CODED BY LV 092816
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**Real Property Attributes**

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Primary Building SQ FT	41766
Year Built	2015
Lot Size (Acres)	4.9921
Land Use Code	SUPERMARKET
Style	

**Manufactured Home Attributes**

---

Make :  
License :  
VIN :  
Year :  
Size :

**DISCLAIMER**

---

[Click here to view the Disclaimer](#)