

## DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

## (Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO	
Application No	

TO:

\_\_\_\_ Planning Department/Chair

- \_\_\_\_ Hydrology
- \_\_\_\_ Transportation Development
- \_\_\_\_ ABCWUA
- \_\_\_\_ Code Enforcement
- \_\_\_\_ Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

## NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: \_\_\_\_\_\_\_ HEARING DATE OF DEFERRAL: \_\_\_\_\_\_

SUBMITTAL DESCRIPTION:

CONTACT NAME: \_\_\_\_\_

TELEPHONE: \_\_\_\_\_\_EMAIL: \_\_\_\_\_



March 25, 2022

Jay Rodenbeck Planning Department City of Albuquerque rrodenbeck@cabq.gov

Project Location:Whataburger – Volcano Rd. & 98th St.DRB Project Number:PR-2019-002402

Bowman Consulting is in receipt of the comments dated March 16, 2022, issued by City of Albuquerque for the Whataburger restaurant at NEC of Volcano Rd. & 98<sup>th</sup> St, Albuquerque, NM 87121. Please see below for the responses to the comments:

## **Planning Department**

- Comment 6: The Site Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico. The Landscape Plan sheet must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.
   Response: Site plan and all submitted sheets have been signed by and sealed by design professionals licensed in New Mexico.
- **Comment 10:** A Final Plat must be approved prior to final sign off from Planning. **Response: Master developer final Plat is under review.**

If you have any questions or require additional information, please call me at (972) 497-2992, or send an email to kaddo@bowman.com.

Thank you,

Farks

Kofi Addo Team Lead Bowman



March 25, 2022

Jeanne Wolfenbarger, P.E. City of Albuquerque jwolfenbarger@cabq.gov (505) 924-3991

Project Location:Whataburger – Volcano Rd. & 98th St.DRB Project Number:PR-2019-002402

Bowman Consulting is in receipt of the comments dated March 16, 2022, issued by City of Albuquerque for the Whataburger restaurant at NEC of Volcano Rd. & 98<sup>th</sup> St, Albuquerque, NM 87121. Please see below for the responses to the comments:

**Transportation Development - Engineering Comments** 

Comment 1: Add a bold note that the accessways surrounding site and public roadway improvements shall be built per work order. The accessway shall be in place prior to Certificate of Occupancy.
 Response: Note has been added.

Comment 2: For the one-way aisle within the drive-thru directional arrows on the pavement for the site plan. Also, add a One-way sign.
 Response: One-way aisle drive-thru directional arrows and one-way signs have been added see key note 2D.

- Comment 3: For the handicapped ramp at the accessible aisle, ensure that there is a minimum 4-foot dimension between the wing of the ramp and the corner of the building. (Add a dimension at the pinch point around the main entrance.)
   Response: Minimum 4ft. dimensions have been labeled to show clearance between building corner and ramp.
- Comment 4: Indicate a maximum 2% cross-slope on the sidewalk detail. Also, on the site plan, indicate which type of curb shall be used.
   Response: 2% cross-slope minimum labels have been added to sidewalk detail and site plan. Curb type has been labeled; see key notes.
- **Comment 5:** On 98th Street and Volcano, use a clear sight triangle for intersection sight distance to be sure that there are no conflicts with the proposed landscaping. Add the note "Landscaping, fencing and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle."

Response: Sight distance triangles have been added to the site plan and landscape plan to confirm no landscaping, fencing and signage interfere with visibility.

**Comment 6:** Dimension the parking aisle south of the building at different locations where the width varies, and also include a dimension at the entranceway. Also, dimension the 6-foot ADA pathway to Volcano Road.

Response: Parking aisle, entranceway and ADA pathway dimensions have been labeled.

If you have any questions or require additional information, please call me at (972) 497-2992, or send an email to kaddo@bowman.com.

Thank you,

Funks

Kofi Addo Team Lead Bowman





March 25, 2022

Parks and Recreation Department City of Albuquerque

Project Location:Whataburger – Volcano Rd. & 98th St.DRB Project Number:PR-2019-002402

Bowman Consulting is in receipt of the comments dated March 16, 2022, issued by City of Albuquerque for the Whataburger restaurant at NEC of Volcano Rd. & 98<sup>th</sup> St, Albuquerque, NM 87121. Please see below for the responses to the comments:

### **Parks and Recreation**

Comment 03/16/2022:

Per IDO Section 5-6(D)(1)(a). Street trees should be spaced generally 25ft on center, within 20-ft from back of curb. Please add more street trees on 98th St NW. Can more ground level plants (shrubs, ornamental grasses, and/or groundcover) be added to the landscape on 98th St NW as well?

# Response: Street tree spacing has been updated and additional ground level plants have been added along 98<sup>th</sup> St.

If you have any questions or require additional information, please call me at (972) 497-2992, or send an email to kaddo@bowman.com.

Thank you,

Farks

Kofi Addo Team Lead Bowman

Project Number:

#### FIGURE 12

#### Date Submitted: 3/17/2022

Date Site Plan Approved:\_\_\_\_\_

DRB Project No.:

Date Preliminary Plat Approved:\_\_\_\_\_ Date Preliminary Plat Expires:\_\_\_\_

#### INFRASTRUCTURE LIST

### (Rev. 9-20-05)

### EXHIBIT "A" TO SUBDIVISION IMPROVEMENTS AGREEMENT

DRB Application No.: SI-2021-002080

Construction Cortification

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

#### Whataburger

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

#### Avalon Subdivision, Unit 5, Tract 12

### EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

							Cons	truction Cer	
Financially	Constructed	Size	Type of Improvement	Location	From	То	Priv		City Cnst
Guaranteed	Under						Inspector	P.E.	Engineer
DRC #	DRC #			PHASE 1 IMPROVEMENTS			-		
DRC #	DRC #								
		<u>12' Wide</u>	3rd Northbound Lane	98th Street	Volcano Rd	Bluewater Rd	/	/	/
		<u>10' Wide</u>	Trail with 2' Wide Buffers	98th Street Frontage	Volcano Rd	Bluewater Rd	/	/	/
		0114/11							
		<u>6' Wide</u>	Concrete Sidewalks along Volcano				/	/	/
			Frontage						
		<u>N /A</u>					,	,	,
		<u>IN /A</u>	ADA Ramps at 98th/Volcano				/	/	/
			Intersection & Project Driveways						
		N/A	New Standard Curb/Gutter	Volcano Road	<u>98th St</u>	SE Property Corner	/	/	/
		<u></u>	New Standard Curb/Gutter	Volcano Road	<u>3011 31</u>	SE Property Comer	/	/	/
		8" Diam	Sanitary Sewer Main	Volcano Rd	Existing Manhole	Whataburger Site	/	/	/
			<u></u>	<u> </u>		<u></u>		<u> </u>	
					in Volcano Road				
		<u>Misc</u>	Internal Access Roadways to Serve				/	/	/
	<u>.</u>		Whataburger Site						
			whataburger one						
∥	[]								
		<u>18"-48"</u>	Storm Drain RCP	Volcano Rd	Ex 48" SD in	Northeast Corner	/	/	/
					Volcano Rd	of 98th/Volcano			
						<u> </u>			
	[]	0" Die							,
		<u>8" Dia</u>	Water Main	Inside Development	<u>Ex 6" Main in</u>	Ex 12" Main in	/	/	/
				to Serve all Lots	Volcano Rd	Bluewater Rd			
		2		<b>PAGE</b> <u>1</u> OF 2					

			ved for Impact Fee credits. Signatures fro d SIA requirements.	m the Impact Fee Administr	ator and the City User Depa	rtment is required pr	ior to DRB app	proval of thi	s listing.
Financially	Constructed						Const	ruction Cer	tification
Guaranteed	Under	Size	Type of Improvement	Location	From	То	Priva	ate	City Cnst
DRC #	DRC #						Inspector	P.E.	Engineer
							/	/	/
							/	/	/
					Approval of Creditable	Items:	/ Approval of	/ Creditable I	/ Items:
					Impact Fee Admistrator	Signature Date	City User D	ept. Signat	ture Date

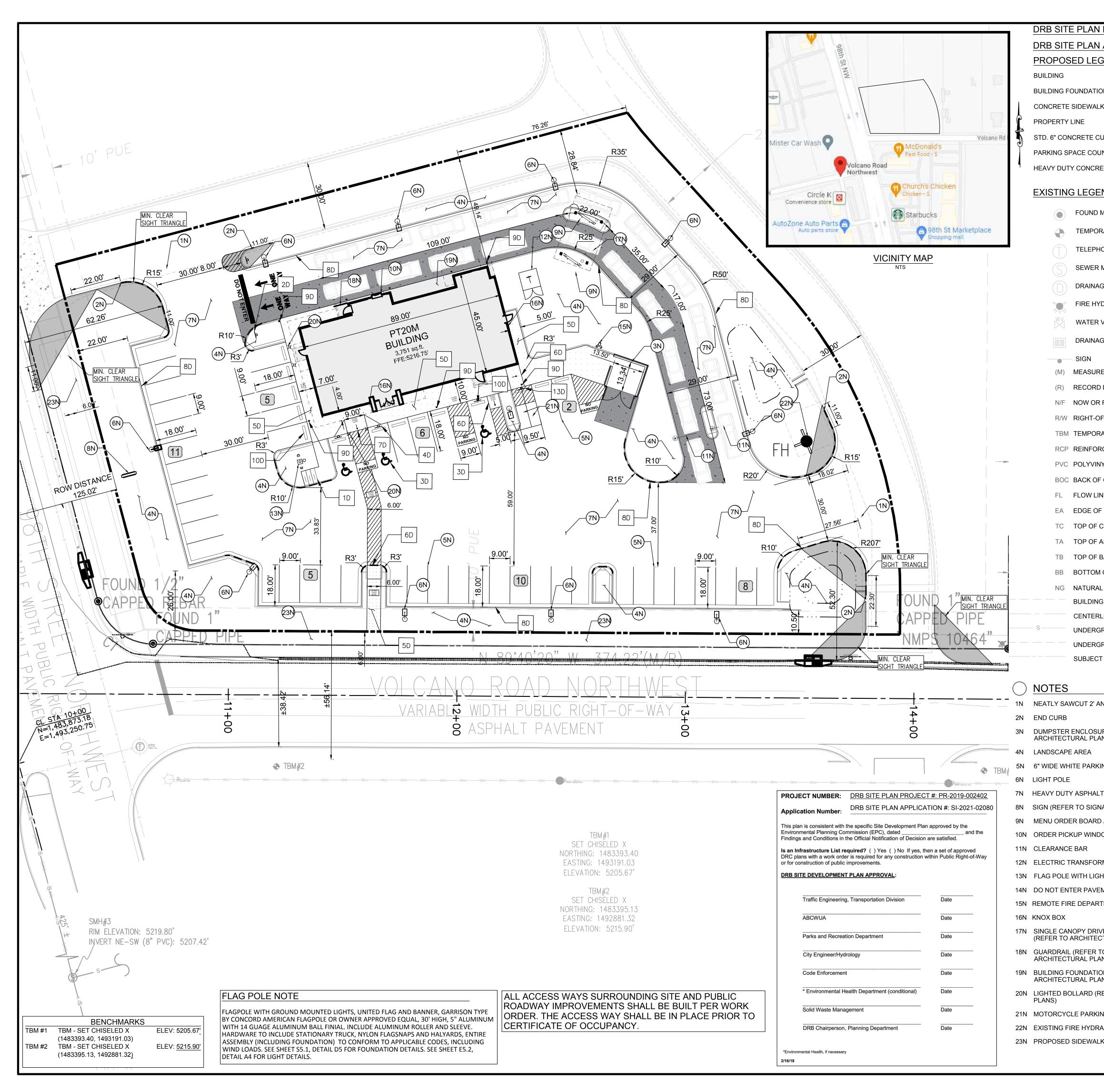
NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

	n Drain to incluc	le manholes and i	nlets.					
2 	ENT / OWNER				DEVELOPMENT REVIEW BOA	ARD MEMBER A	APPROVALS	
N	i Addo, P.E IAME (print) Bowman	<u>-</u>		DRB CHAI	R - date	P/	ARKS & RECREATION - date	
no	FIRM	18/2022		TRANSPORTATION DE	VELOPMENT - date		AMAFCA - date	
ŚIG	NATURE - date			UTILITY DEVELO		C:	ODE ENFORCEMENT - date	
				CITY ENGINE DESIGN REVI	EER - date		date	
	REVISION	DATE	D	RC CHAIR	USER DEPARTMENT		AGENT /OWNER	
								_

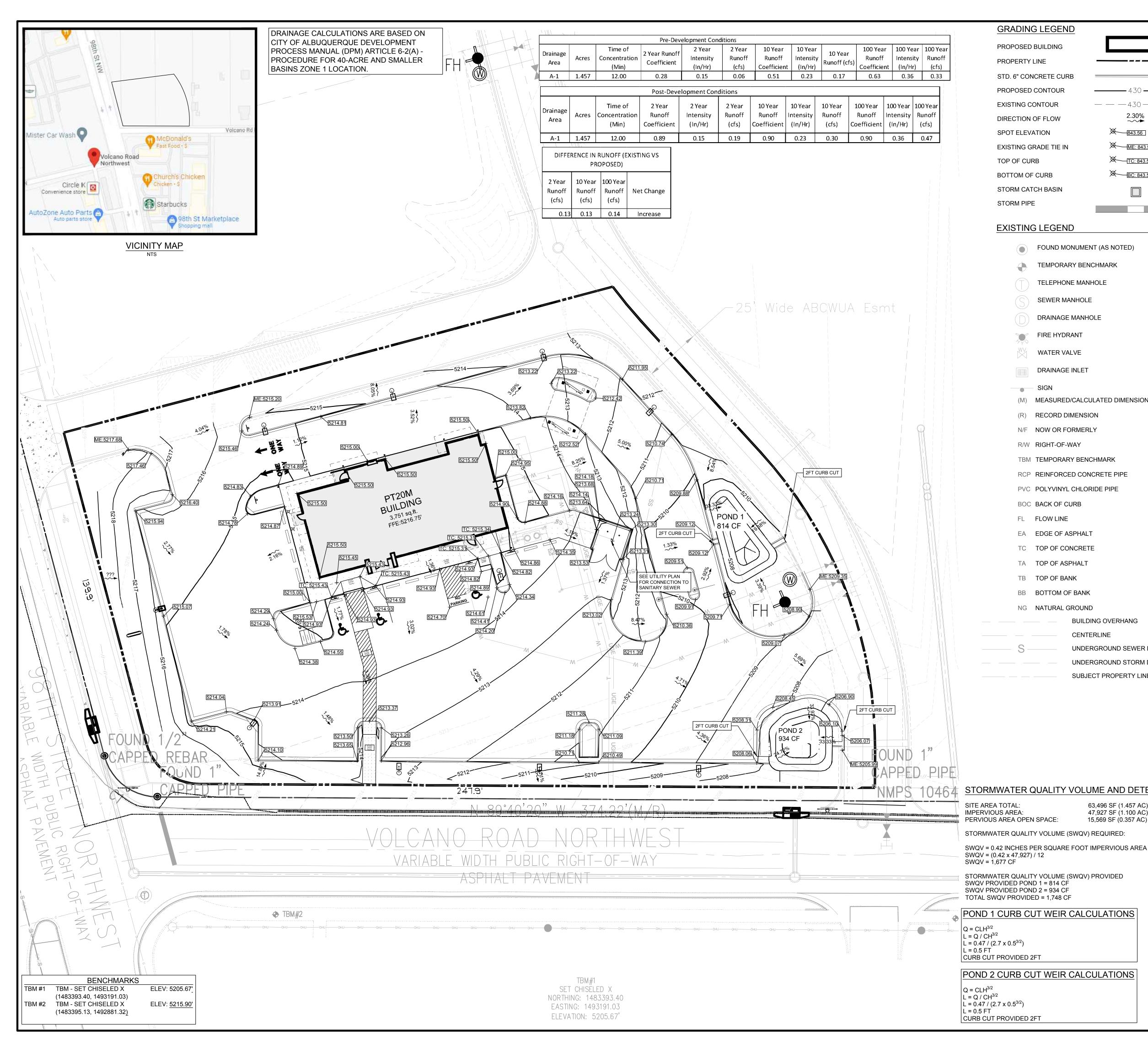
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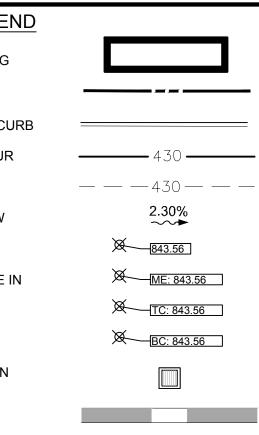
(rev. 9-20-05)



PROJECT #: PR-2019	9-0	02402					
APPLICATION #: SI-2					Ľ	)	497-2990 327-4062 /man.com
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		20 0 20 40				nsulting	
URB				2		Bowman Consulting Group, Ltd	
		SCALE: 1 INCH = 20 FT				© Bow	5601 Democracy Dr., Ste 205 Plano, Texas 75024
ETE	<u>`</u> ⊿	SITE DATA & AREA CALCULATIONS		C			cracy s 750
ND		CURRENT ZONING CLASSIFICATION: NR-BP (BUSINESS PARK)			ζc	>	01 Democra 205 no, Texas 7
MONUMENT (AS NOTED)		CURRENT LOCAL JURISDICTION: CITY OF ALBUQUERQUE		T		,	601 [ ste 20 lano,
RARY BENCHMARK		FLOOD ZONE CLASSIFICATION; ZONE 'X' FEMA PANEL: 35001C0328J				<del></del>	ы ол <del>с</del>
ONE MANHOLE		DATE: 11/04/2016 SITE AREA TOTAL: 63496 SF (1.457 AC)		ATE			
MANHOLE		IMPERVIOUS AREA:48,168 SF (1.106 AC)PERVIOUS AREA OPEN SPACE:15,327 SF (0.351 AC)		DA			
		OPEN SPACE PERCENTAGE:24.09%FLOOR AREA RATIO BLDG/SITE:5.91%					
		PARKING DATA					
DRANT		SPACE REQUIRED: 8 SPACES PER 1000 SF GFA = 31 SPACES					
VALVE		SPACES PROVIDED: 44 REGULAR 3 ADA					
GE INLET		47 TOTAL					
		TYPICAL DIMENSIONS: 9' WIDTH 18' DEPTH	ONS	NOIL			
ED/CALCULATED DIMENSION	N		EVISIONS	DESCRIPTION			
DIMENSION		SPACE REQUIRED:2 SPACES PER 26-50 VEHICLE SPACES = 2SPACE PROVIDED:2 SPACES	BE				
FORMERLY		BICYCLE: SPACE REQUIRED: 3 SPACES OR 10% OF VEHICLE SPACES					
ARY BENCHMARK		WHICHEVER IS GREATER = 5 SPACES SPACE PROVIDED: 5 SPACES					
YL CHLORIDE PIPE	4	GENERAL SITE NOTES					
CURB		ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB, PROPERTY LINE OR CENTERLINE OF STRIPING UNLESS OTHERWISE NOTED. ALL EXISTING EASEMENTS, RIGHTS-OF-WAY, AND LOT LINES MAY NOT BE SHOWN. REFER		z			
NE		TO THE ALTA/NSPS LAND TITLE SURVEY PREPARED BY <u>BLEW AND ASSOCIATES,PA</u> , DATED <u>NOVEMBER 04, 2021</u> , FOR COMPLETE BOUNDARY INFORMATION AND ASSOCIATED		REVISION	€		
ASPHALT	3.	ENCUMBRANCES. A PRE-CONSTRUCTION MEETING WITH CITY ENGINEER SHALL BE HELD PRIOR TO		Ξ			
CONCRETE	4.	CONSTRUCTION COMMENCEMENT. THE <u>CITY OF ALBUQUERQUE</u> SHALL BE GIVEN AT LEAST 48 HOURS NOTICE PRIOR TO PERFORMING ANY INSPECTIONS.					
	5.	TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE PROJECT PLANS, THE CURRENT EDITION OF THE NMDOT DESIGN STANDARDS AND THE LATEST MANUAL ON					
		UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL MECHANICAL EQUIPMENT TO BE ROOF MOUNTED AND SCREENED FROM HE STREET.					
	1.	CONTRACTOR TO PROVIDE AS-BUILTS OF ALL IMPROVEMENTS TO THE SITE. AS-BUILTS TO INCLUDE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, PIPES, FITTINGS, STRUCTURES, AND OTHER				C	
G OVERHANG		APPURTENANCES. ELEVATIONS OF PIPES AT CROSSING POINTS MUST BE SUFFICIENT TO IDENTIFY MINIMUM SEPARATION OF UTILITIES. IN ADDITION TO THE AFOREMENTIONED				Δ	2
LINE		CRITERIA AS-BUILTS MUST MEET ALL LOCAL AND JURISDICTIONAL REQUIREMENTS FOR CERTIFICATION OF CONSTRUCTION.				C	
ROUND SEWER LINE		ALL AFFECTED SIDEWALKS, RAMPS AND CROSSWALKS, WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS. BUILDING SETBACK DIMENSIONS MEASURED TO OUTERMOST ARCHITECTURAL FEATURE.				Z	
ROUND STORM DRAIN LINE		CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS. ALL CURB RADII ARE 3' UNLESS SHOWN OTHERWISE.				ム く ロ て	CT 24
F PROPERTY LINE	11.	PRIOR TO INSTALLATION, CONTRACTOR MUST VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING AND UTILITIES.			て	うこ	871:
				Z		<u>५</u> २	D MM
ND MATCH EXISTING		1D INVERTED "U" BIKE RACK (SEE CONSTRUCTION DETAILS		PLAN			>
		SHEET C7.0)				Ϋ́	RQI S
IRE (REFER TO STRUCTURA NS)	AL A	ND 2D DO NOT ENTER SIGN (MUTCD R5-1, SEE CONSTRUCTION DETAILS SHEET C7.0)		SITE	F		<b>JI. X</b> BUQUERQUE,
		3D ADA PARKING (PER 2015 NM ACCESSIBILITY CHECKLIST. SECTION 8 DETAIL. SEE SHEET C7.0)					J. J
ING LOT STRIPE		4D ADA SIGN (PER 2015 NM ACCESSIBILITY CHECKLIST.					AL AL
		SECTION 8 DETAIL. SEE SHEET C7.0)			P	> 7 7 7 7 7	<b>1</b> 0
T PAVING IAGE PLANS)		5D CONCRETE SIDEWALK (PER COABQ STD DWG NO. 2430. SEE SHEET C7.1)					
AND SPEAKER		6D CURB RAMP (PER COABQ DETAIL STD DWG NO. 2440 &					
OW		2441. SEE SHEET C7.1) 7D FLARED RAMP				NE	
		8D STANDARD CURB & GUTTER (PER COABQ DETAIL STD DWG				ľ	
RMER HT BEACON		NO. 2415A. SEE SHEET C7.1)					
MENT MARKING		9D BOLLARD (SEE CONSTRUCTION DETAILS SHEET C7.0)					
TMENT CONNECTION		10D WHEEL STOP (SEE CONSTRUCTION DETAILS					
		SHEET C7.0) 11D STORM INLET TOP (PER COABQ DETAIL STD DWG NO. 2110.		A	ddo-/	0	
/E THROUGH CTURAL PLANS)		SEE SHEET C7.2)	1	201	W ME	XICO	
<sup>−</sup> O NS)		12D STORM INLET (PER COABQ DETAIL STD DWG NO. 2201. SEE SHEET C7.2)	(	R	2555	/ /	E
ON LIMITS (REFER TO		13D MOTORCYCLE PARKING SIGN (MUTCD R7-5-16)		20 FE	SION	LENGH	1
NS) EFER TO ARCHITECTURAL				h	alt	WIKO	-
		THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN			. 3	3/25/2	.022
NG ANT		IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY		SIGN BB	DRA B	AWN BB	CHKD KAN
K BY OTHERS		Know what's below.				426-01	
		Call before you dig.			SHE	ET	

C3.0





FOUND MONUMENT (AS NOTED)

## TEMPORARY BENCHMARK

**TELEPHONE MANHOLE** 

SEWER MANHOLE

DRAINAGE MANHOLE

(M) MEASURED/CALCULATED DIMENSION

**BUILDING OVERHANG** 

CENTERLINE

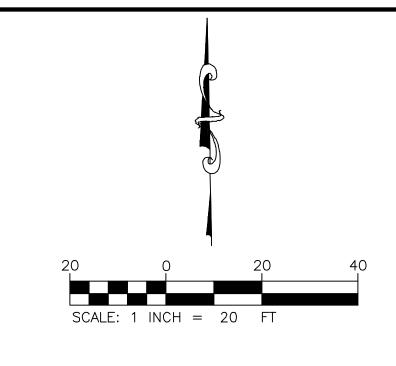
UNDERGROUND SEWER LINE

UNDERGROUND STORM DRAIN LINE

SUBJECT PROPERTY LINE

# STORMWATER QUALITY VOLUME AND DETENTION

63,496 SF (1.457 AC) 47,927 SF (1.100 AC) 15,569 SF (0.357 AC)



# GRADING NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WERE LOCATED BASED ON EITHER VISUAL OBSERVATIONS AT THE SITE, EXISTING SURVEYS, AND/OR FROM UTILITY OWNERS. THE OWNER DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES(ABOVE AND BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY OWNER AND/OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

- 2. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER". 3. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM
- BUILDING AND FOR ALL NATURAL AND PAVED AREAS. 4. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- 5. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT PROVIDED BY THE OWNER. 6. ALL PROPOSED SPOT ELEVATIONS ARE PAVEMENT GRADES
- UNLESS OTHERWISE NOTED, TOP OF CURB ELEVATIONS ARE 6 INCH ABOVE ELEVATIONS SHOWN ON THIS PLAN. 7. ALL ELEVATIONS PRESENTED IN THESE PLANS ARE RELATIVE TO
- THE NORTH AMERICAN VERTICAL DATUM OF NAVD 88. 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING CONSTRUCTION ACTIVITIES TO ENSURE THAT PUBLIC STREETS AND RIGHT-OF-WAYS ARE KEPT CLEAN OF MUD, DUST OR DEBRIS DUST ABATEMENT SHALL BE MAINTAINED BY ADEQUATE WATERING OF THE SITE BY THE CONTRACTOR.
- 9. CLEAR AND GRUB WITHIN WORK LIMITS FOR ALL SURFACE VEGETATION, TREES, STUMPS, BRUSH, ROOTS, ETC. DO NOT DAMAGE OR REMOVE TRESS EXCEPT AS APPROVED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS. PROTECT ALL ROOTS TWO INCHES IN DIAMETER OR LARGER.
- 10. STRIP WORK LIMITS, REMOVING ALL ORGANIC MATTER WHICH CANNOT BE COMPACTED INTO A STABLE MASS, ALL TRESS, BRUSH AND DEBRIS ASSOCIATED WITH CLEARING. STRIPPING OR GRADING SHALL BE REMOVED AND DISPOSED OFF SITE BY THE CONTRACTOR.
- 11. UNLESS OTHERWISE SHOWN ON THE DRAWINGS, STRAIGHT GRADES SHALL BE RUN BETWEEN ALL FINISH GRADE ELEVATIONS AND/OR FINISH CONTOUR LINES SHOWN. FINISH PAVEMENT GRADES AT TRANSITION TO EXISTING PAVEMENT SHALL MATCH EXISTING PAVEMENT GRADES OR SHALL BE FEATHERED PAST JOINTS WITH EXISTING PAVEMENT AS REQUIRED TO PROVIDE A SMOOTH, FREE DRAINAGE SURFACE
- 12. ALL EXISTING AND CONSTRUCTED MANHOLES, CLEANOUTS MONUMENTS, GAS VALVES, WATER VALVES, AND SIMILAR STRUCTURES SHALL BE ADJUSTED TO MATCH FINISH GRADE OF THE PAVEMENT, SIDEWALK, LANDSCAPED AREA, OR MEDIAN STRIP WHEREIN THEY LIE.

## ADA NOTES

- THE DESIGN PROFESSIONAL SIGNING THIS DOCUMENT REPRESENTS THAT TO THE BEST OF HIS/HER PROFESSIONAL JUDGEMENT, KNOWLEDGE, AND BELIEF THE DESIGN SPECIFICATIONS HEREIN COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- 2. ALL GRADES/SLOPES SHOWN ON THIS PLAN WERE DESIGNED AT OR BELOW MAXIMUMS ALLOWED BY THE AMERICANS WITH DISABILITIES ACT (ADA). IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, AND THE ADA DESIGN MANUAL. IN THE EVENT THAT A DESIGN QUESTION SHOULD ARISE, OR A FIELD CONDITION PRESENT ITSELF THAT IS DIFFERENT FROM THOSE SHOWN ON THESE PLANS, WORK SHOULD CEASE AND THE ENGINEER SHOULD BE NOTIFIED SC THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
- 3. THE CONTRACTOR IS ADVISED TO CAREFULLY CHECK ALL THE PHASES OF WORK RELATING TO ADA ACCESSIBILITY FOR THIS PROJECT. SINCE THE CODE DOES NOT ALLOW FOR CONSTRUCTION TOLERANCE, ANY CONSTRUCTION THAT EXCEEDS MAXIMUM OR MINIMUM DIMENSIONS AND SLOPES AS REQUIRED BY ADA ARE SUBJECT TO REJECTION AND MAY BE REQUIRED TO BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- 4. SINCE THE CIVIL ENGINEER OR SURVEYOR CANNOT CONTROL THE EXACT METHODS OR MEANS USED BY THE GENERAL CONTRACTOR OR THEIR SUBCONTRACTORS DURING GRADING AND CONSTRUCTION OF THE PROJECT, THE CIVIL ENGINEER OR SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE FINAL ACCEPTANCE OF AMERICANS WITH DISABILITIES ACT ACCESSIBILITY RELATED ITEMS BY THE CITY, ANY OTHER AUTHORITY, OR AFFECTED PARTIES.

# FEMA FLOOD NOTE

THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0328J, WHICH BEARS AN EFFECTIVE DATE OF 11/04/2016 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



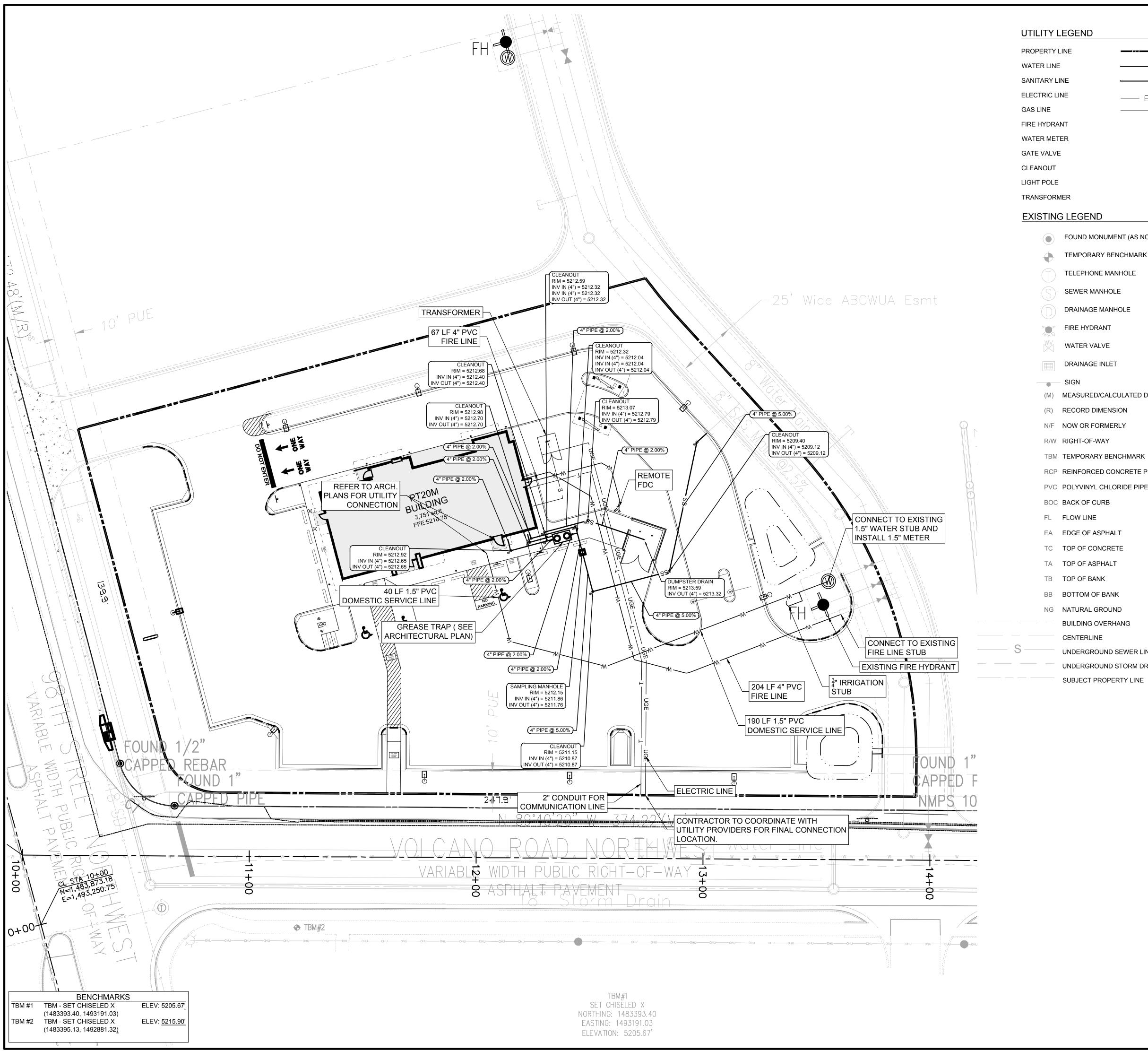
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

(.			REVISIONS			
1 april to	GRADING & DRAINAGE PLAN	REVISION	DESCRIPTION	DATE		
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10-A ME) 555 0NA	ATATIAATA ANA ATATIAATA				C O N S U	
2)					Bowman Consulting Group, Ltd.	ng Group, Ltd.
	NFC 98TH ST & VOL CANO RD					
					5601 Democracy Dr.,	Phone: (972) 497-299
2	ALBUQUERQUE, NM 87124				Ste 203 Plano, Texas 75024	rax: (212) 327-406 www.bowman.cor

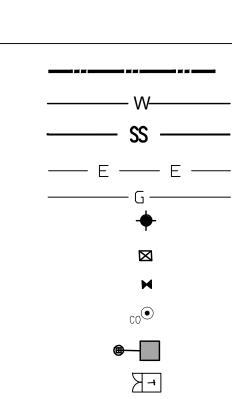
JOB No. 070426-01-001

SHEET

C4.0

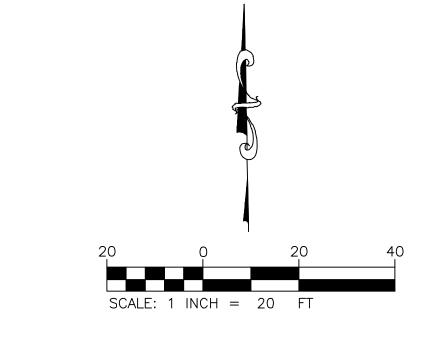






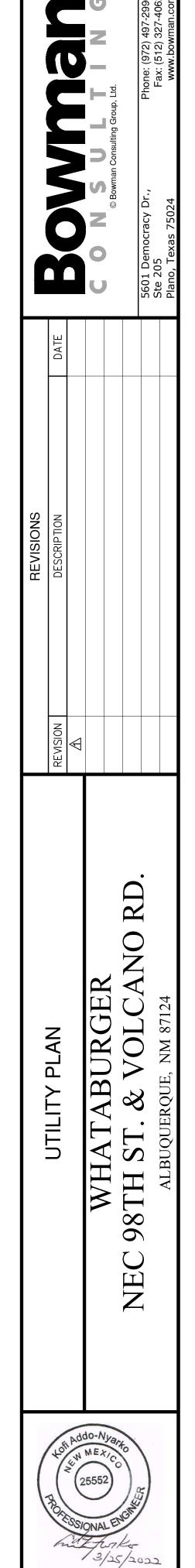
- FOUND MONUMENT (AS NOTED)
  - TEMPORARY BENCHMARK
- **TELEPHONE MANHOLE**
- SEWER MANHOLE
- DRAINAGE MANHOLE
- (M) MEASURED/CALCULATED DIMENSION
- (R) RECORD DIMENSION
- N/F NOW OR FORMERLY
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE

  - **BUILDING OVERHANG**
  - UNDERGROUND SEWER LINE
  - UNDERGROUND STORM DRAIN LINE
  - SUBJECT PROPERTY LINE



## UTILITY NOTES

- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND IS RESPONSIBLE TO REPAIR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- 2. ALL UTILITIES ARE SHOWN FROM INFORMATION GATHERED AND SHOULD NOT BE USED AS EXACT. CONTRACTOR SHALL VERIFY EXACT DEPTHS AND LOCATIONS PRIOR TO UTILITY INSTALLATION AND NOTIFY THE ENGINEER OF RECORD IF THERE ARE ANY DEVIATIONS ROM WHAT IS SHOWN ON PLANS.
- 3. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR INSTALLATION AND SPECIFICATION REQUIREMENTS. 4. ALL PIPE MATERIALS SHALL COMPLY WITH LOCAL REGULATIONS.
- 5. ALL TRENCHING AND BEDDING SHALL BE PER THE UTILITY TRENCH AND BEDDING DETAIL. 6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ALL
- BUILDING UTILITY TIE INS. 7. THE CONTRACTOR IS TO FIELD VERIFY THE EXACT LOCATIONS AND
- DEPTHS OF UTILITY LINES.
- 8. ALL CERTIFICATES AND SHOP DRAWINGS MUST BE SUBMITTED,
- REVIEWED, AND APPROVED PRIOR TO STARTING CONSTRUCTION. 9. CONTRACTOR TO PROVIDE AS-BUILTS OF ALL IMPROVEMENTS TO THE SITE. AS-BUILTS TO INCLUDE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, PIPES, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES. ELEVATIONS OF PIPES AT CROSSING POINTS MUST BE SUFFICIENT TO IDENTIFY MINIMUM SEPARATION OF UTILITIES AS DEFINED BY ENGINEER. IN ADDITION TO THE AFOREMENTIONED CRITERIA,
- AS-BUILTS MUST MEET ALL LOCAL AND JURISDICTIONAL REQUIREMENTS FOR CERTIFICATION OF CONSTRUCT. 10. UNDERGROUND UTILITIES TO BE FIELD VERIFIED IN RIGHT-OF-WAY WORK WITH EXISTING UTILITIES.
- 11. UTILITY CONNECTIONS ARE SHOWN TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR TO REFER TO BUILDING PLANS FOR EXACT CONNECTION POINTS ON BUILDING AND VERIFY THAT THERE ARE NO CONFLICTS PRIOR TO START OF CONSTRUCTION.





PROVIDERS.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

CONTRACTOR MUST REFER TO

DIMENSIONS AND LOCATIONS OF ALL

CONTRACTOR MUST COORDINATE ALL

OUTSIDE DOORS AND BUILDING UTILITIES.

UTILITY CONNECTIONS SUCH AS ELECTRIC,

SEWER, STORM DRAINAGE WITH UTILITY

GAS CABLE, TELEPHONE, WATER, SANITARY

ARCHITECTURAL PLANS FOR EXACT BUILDING

BB

DESIGN DRAWN CHKD

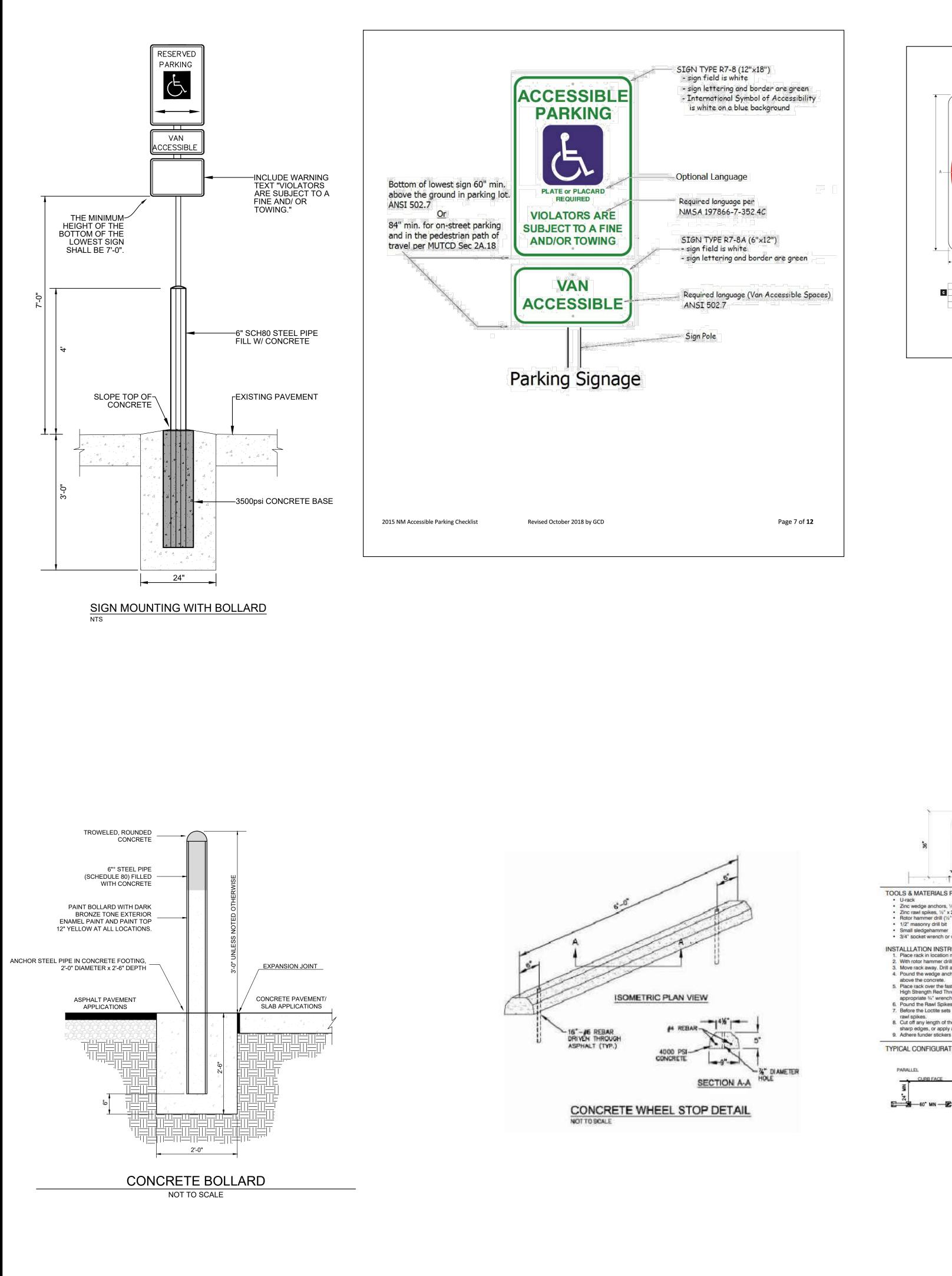
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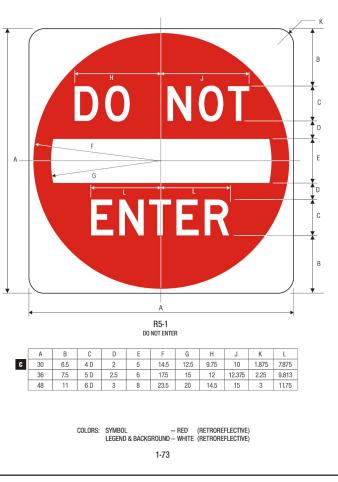
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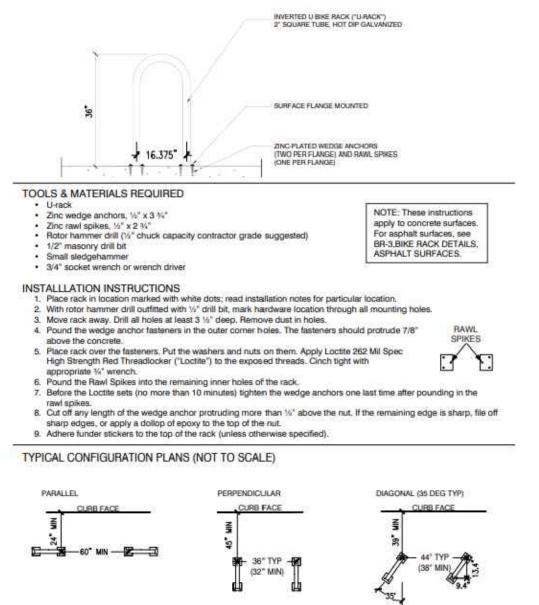
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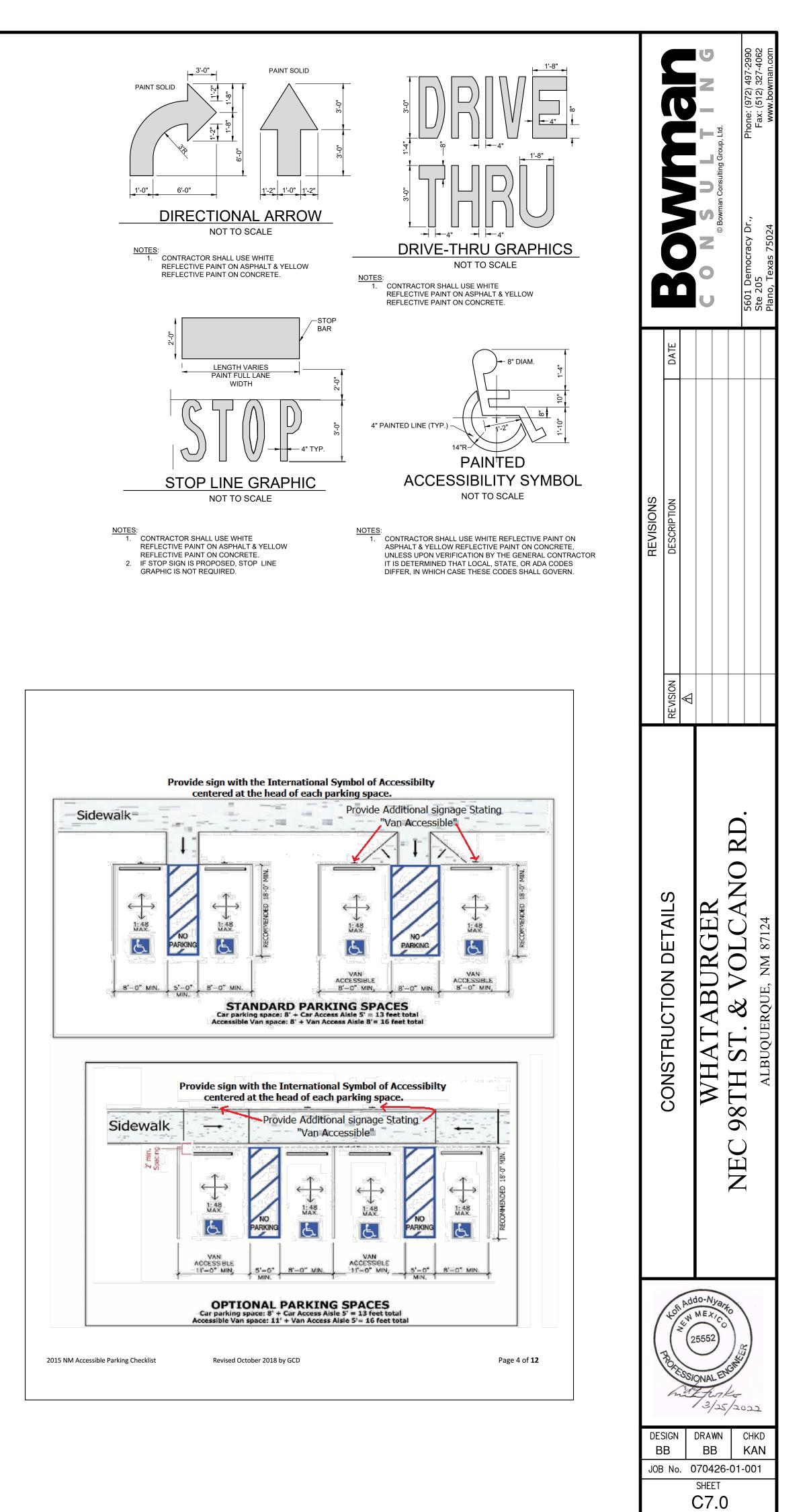
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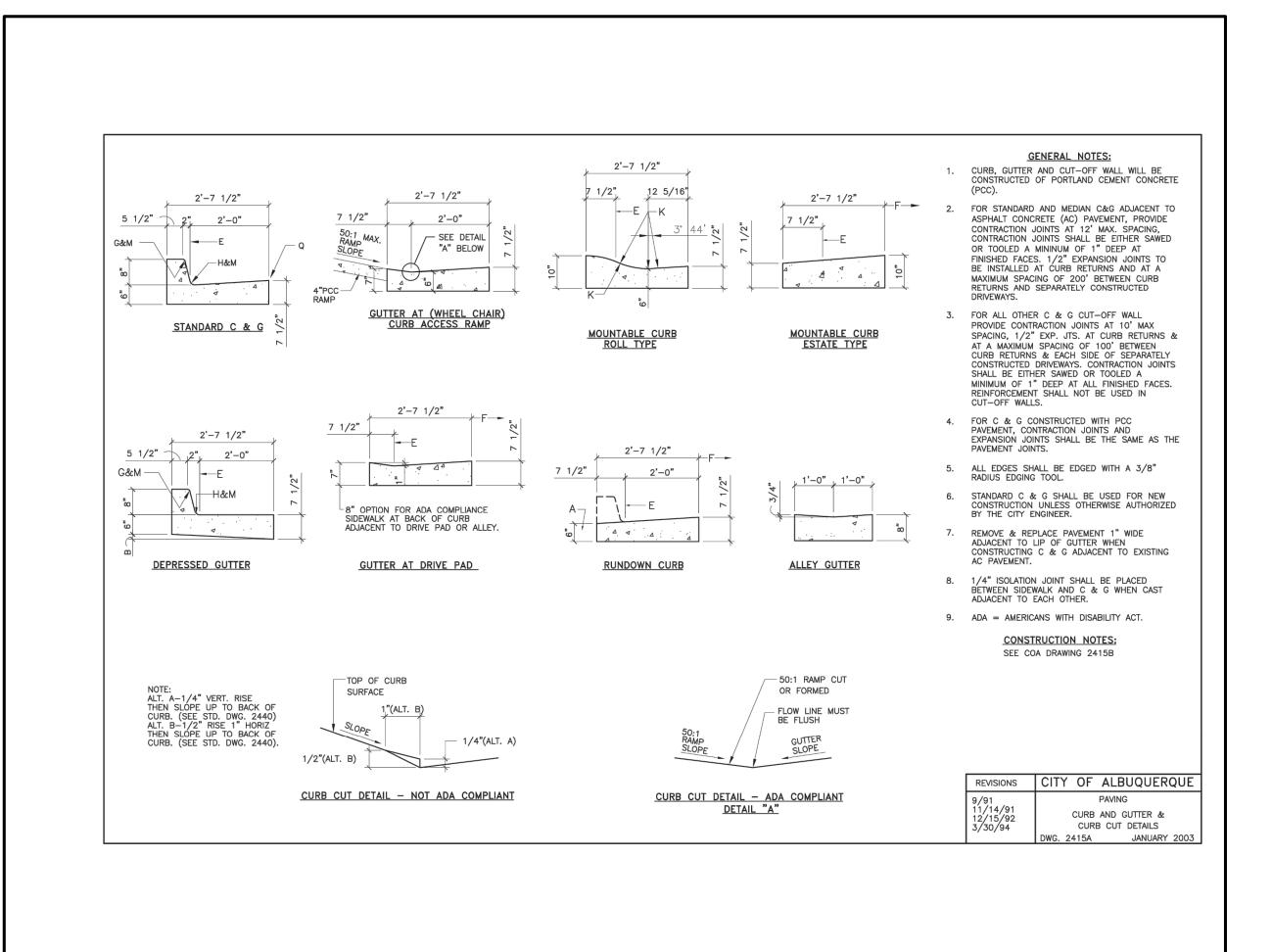
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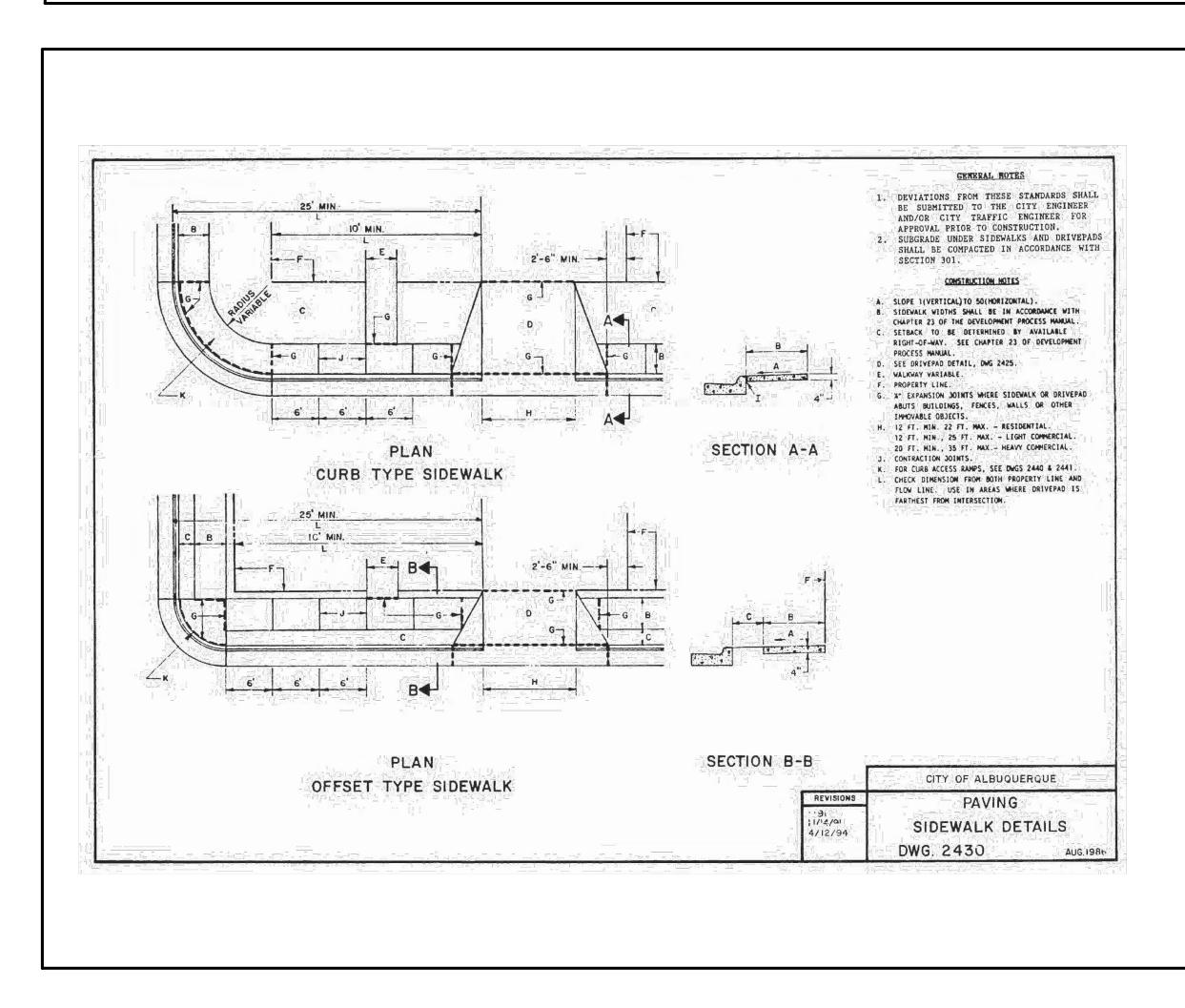


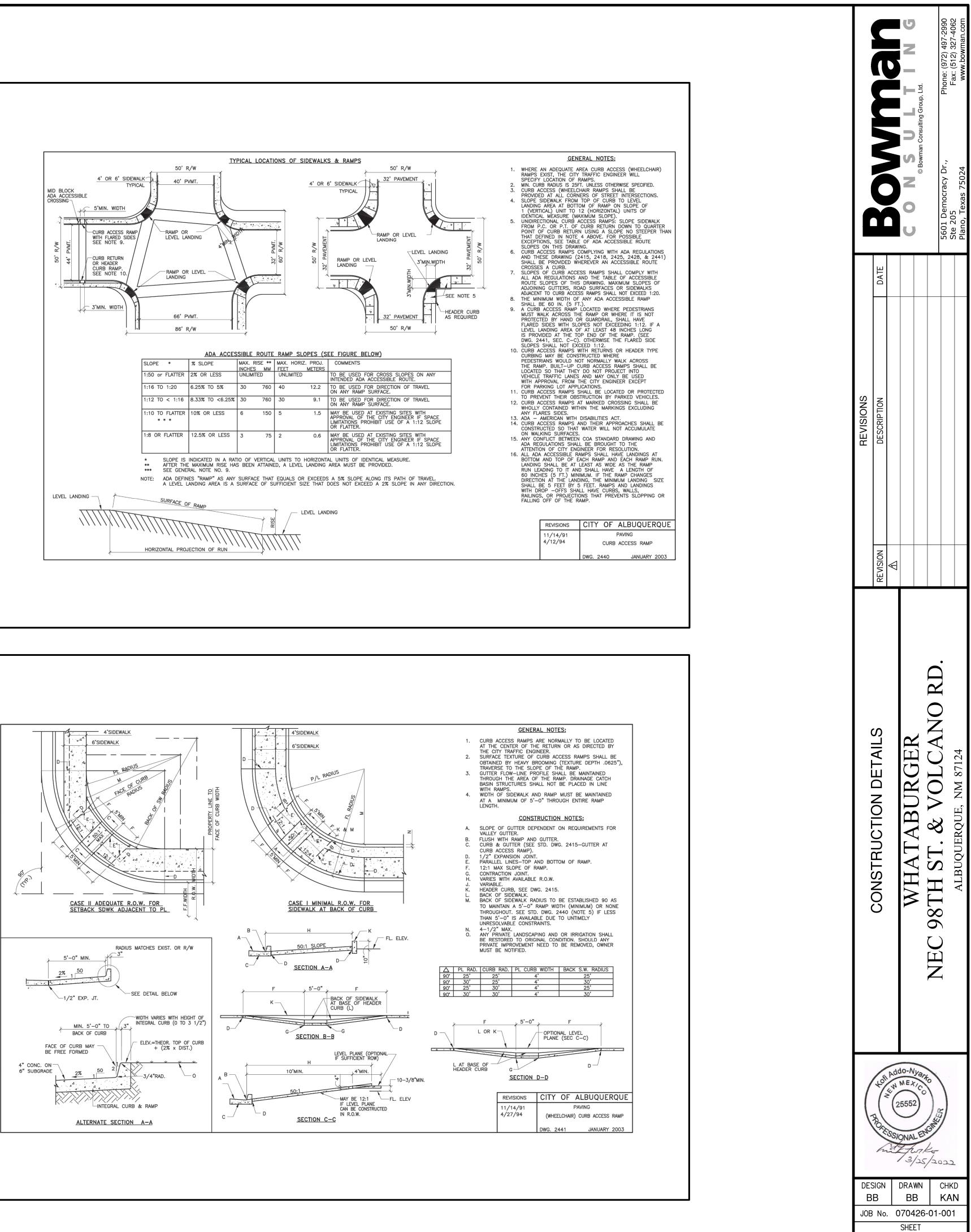


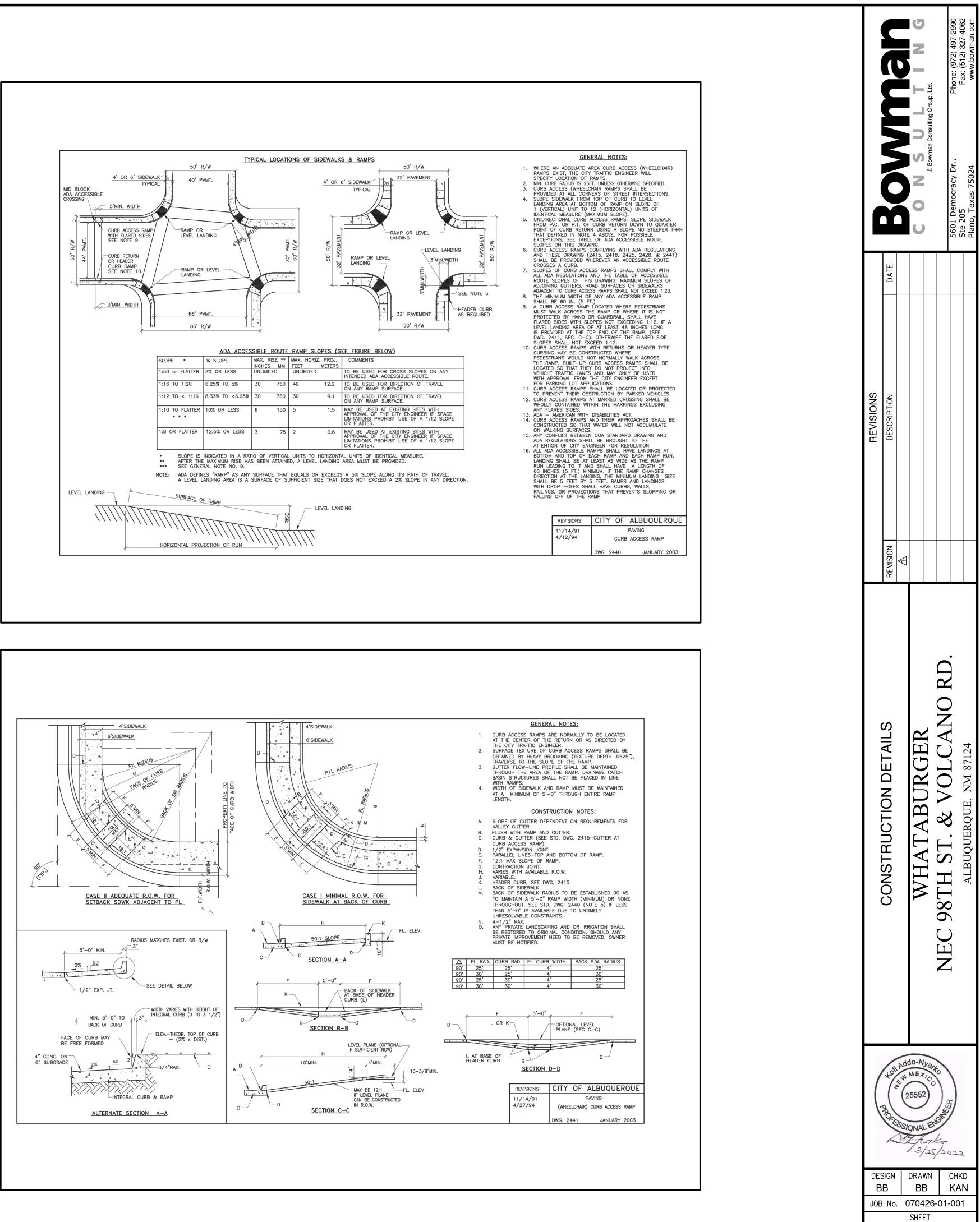




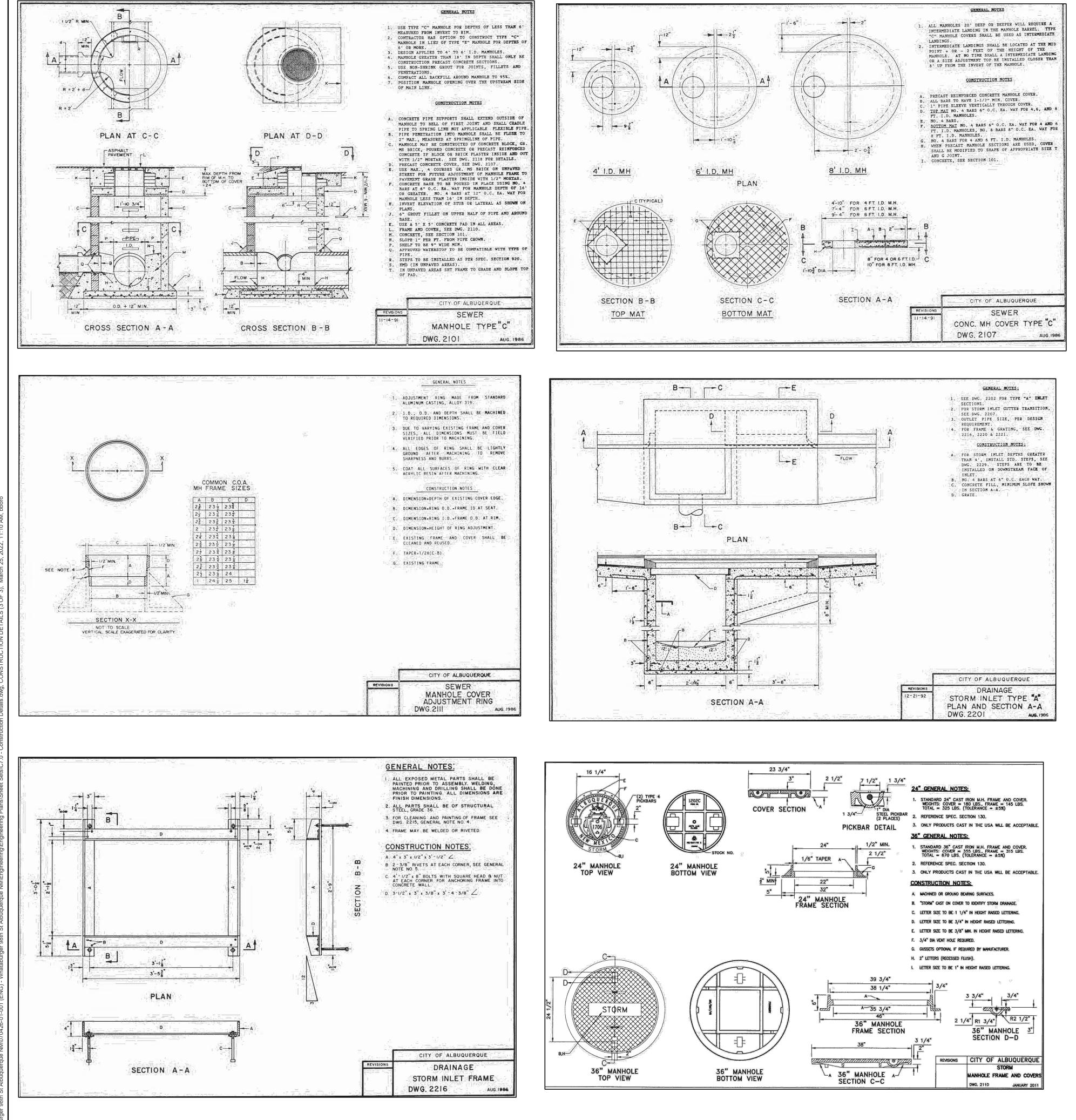


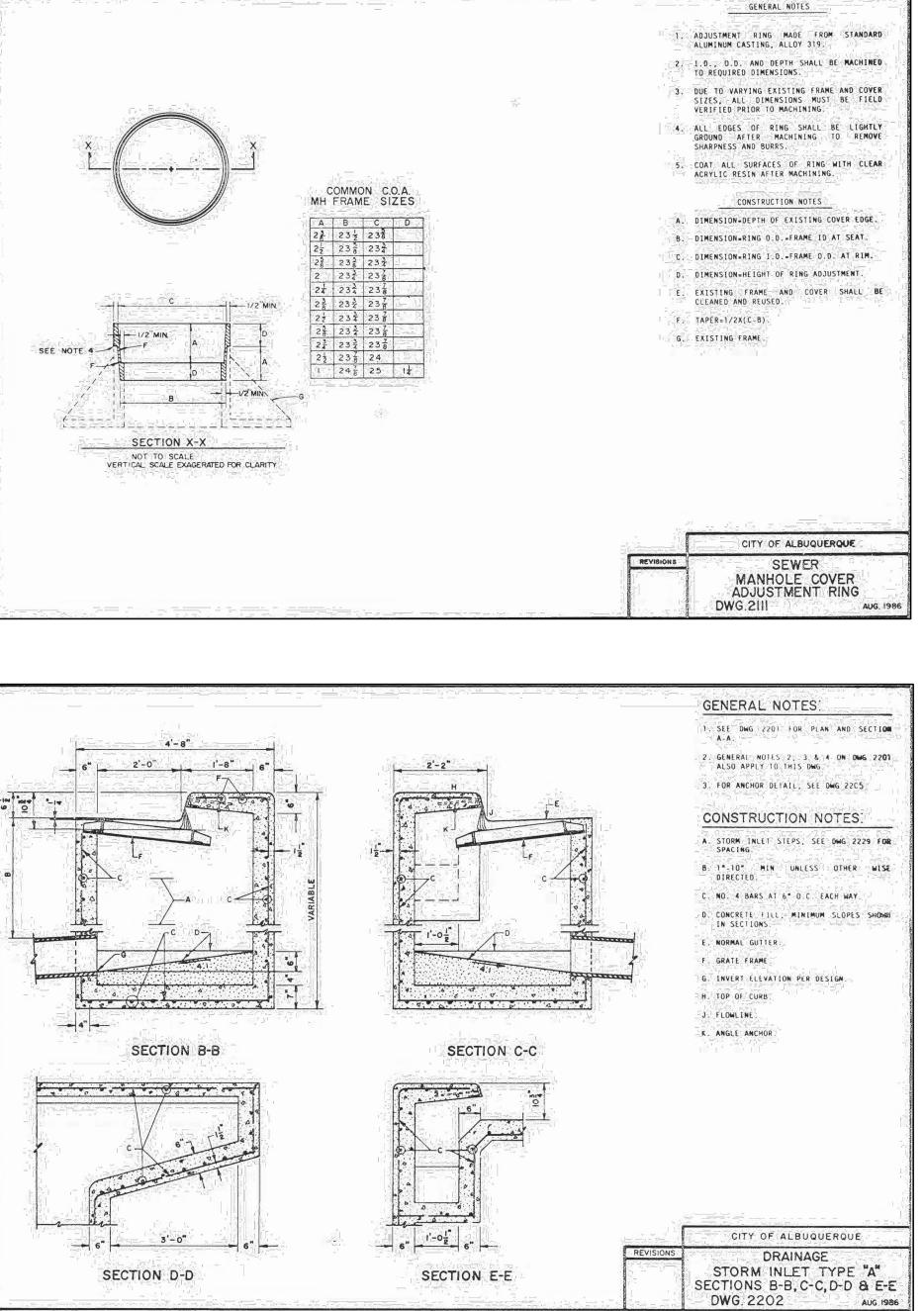


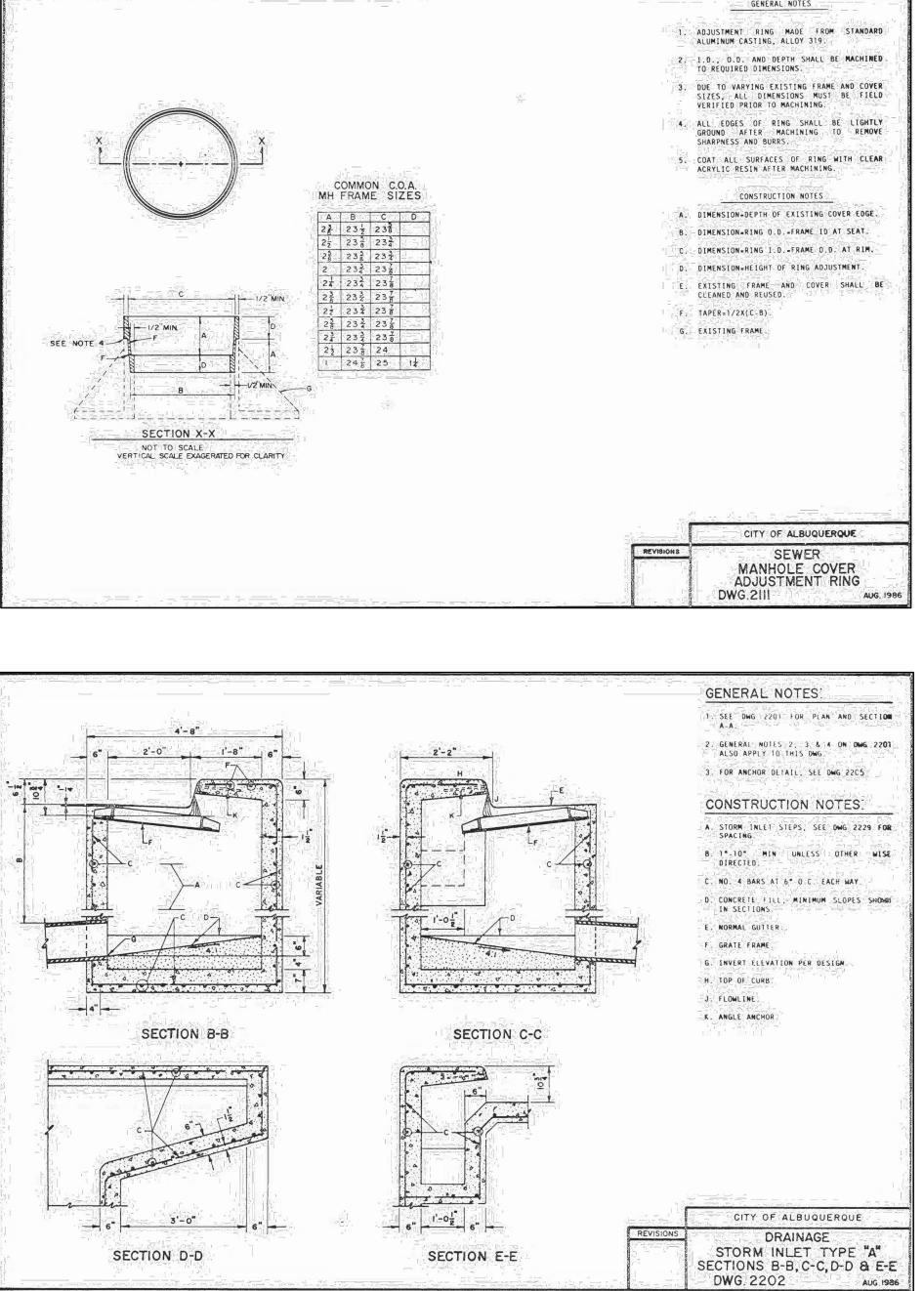


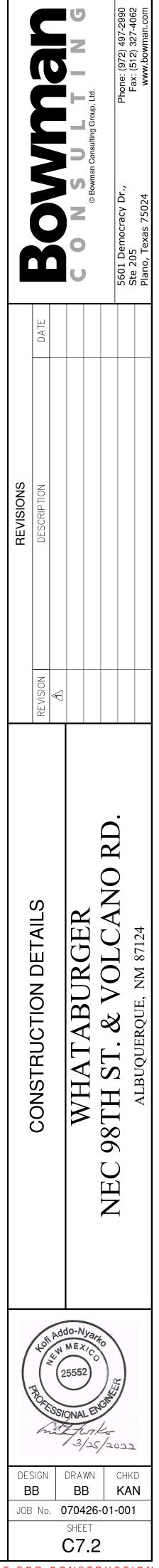


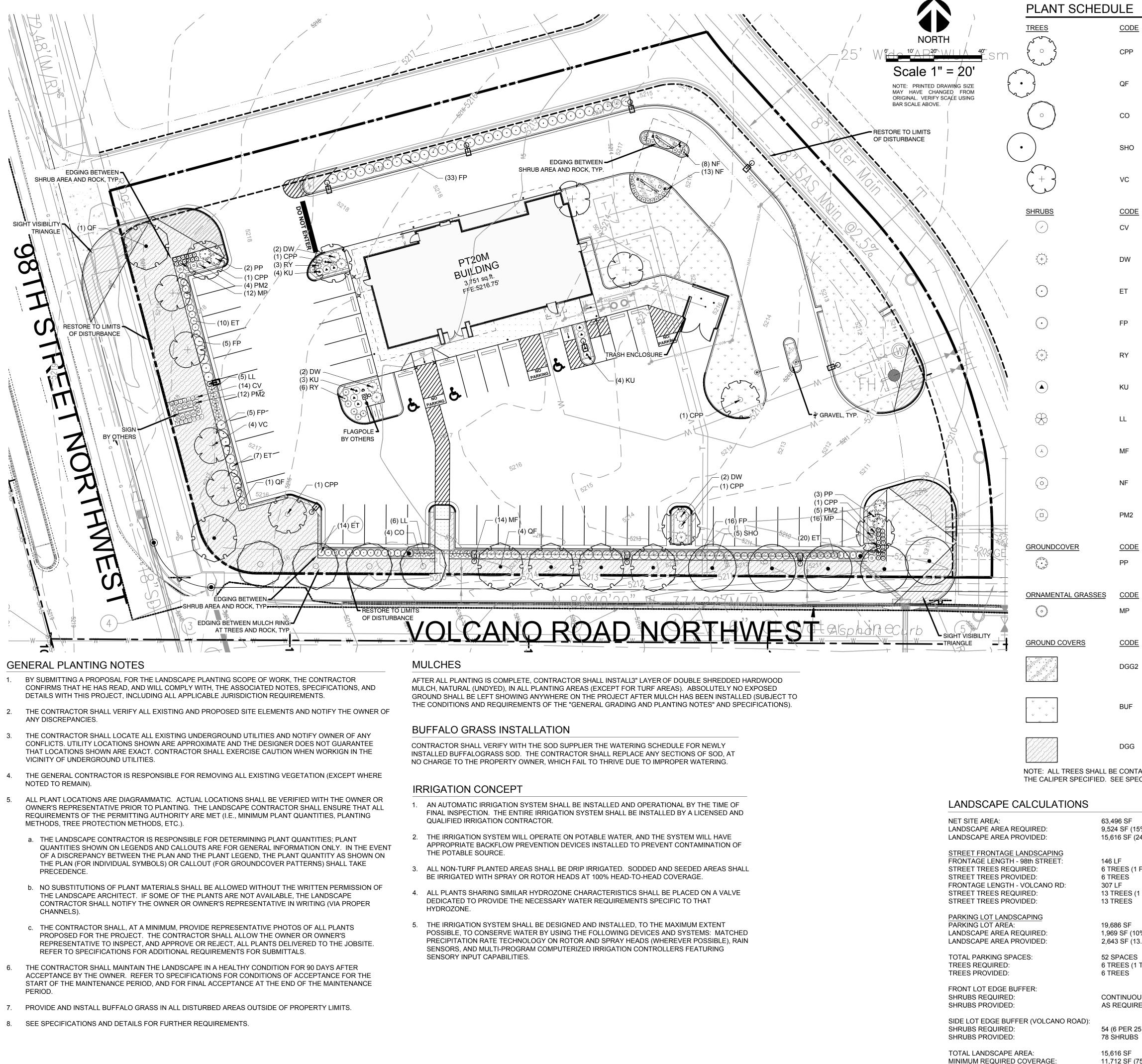
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ODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
PP	6	PISTACEA CHINESE CHINESE PISTACHE	CONT.	3"CAL	MIN. 12` HT.
F	6	QUERCUS FUSIFORMIS ESCARPMENT LIVE OAK EVERGREEN	CONT.	3" CAL MIN	12` HT MIN
0	4	QUERCUS MUEHLENBERGII CHINKAPIN OAK	CONT.	3"CAL	MIN. 12` HT.
НО	5	QUERCUS SHUMARDII SHUMARD RED OAK	CONT.	3" CAL MIN	10` HT MIN
С	6	VITEX AGNUS-CASTUS CHASTE TREE	CONT.	3"CAL	10-12` HT.
ODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	SPACING	
V	14	COREOPSIS VERTICILLATA 'MOONBEAM' MOONBEAM TICKSEED	1 GAL	24" OC	
W	6	DASYLIRION WHEELERI GREY DESERT SPOON	5 GAL	SEE PLAN	
Т	51	ERICAMERIA LARICIFOLIA TURPENTINE BUSH	5 GAL	36" OC	
Þ	59	FALLUGIA PARADOXA APACHE PLUME	5 GAL	48" OC	
Y	9	HESPERALOE PARVIFLORA RED YUCCA	5 GAL	30" OC	
U	11	KNIPHOFIA UVARIA RED HOT POKER	3 GAL	36" OC	
-	11	LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY' LYNN'S LEGACY LANGMAN'S SAGE	5 GAL	36" OC	
F	14	MAHONIA FREMONTII DESERT MAHONIA	5 GAL	42" OC	
F	21	NEPETA X FAASSENII CATMINT	1 GAL	24" OC	
M2	21	POTENTILLA FRUTICOSA `MANGO TANGO` MANGO TANGO BUSH CINQUEFOIL	5 GAL	36" OC	
<u>ODE</u>	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	SPACING	
Ρ	5	PRUNUS BESSEYI 'P011S' TM PAWNEE BUTTES SAND CHERRY	3 GAL	60" OC	
<u>ODE</u>	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	<u>SPACING</u>	
Ρ	28	MUHLENBERGIA X 'PINK FLAMINGO' PINK FLAMINGO MUHLY	1 GAL	24" OC	
<u>ODE</u>	<u>QTY</u>	BOTANICAL / COMMON NAME			
GG2	177 SF	3/4" GRAVEL COLOR: GREY TO MATCH EXISTING			
UF	7,225 SF	BUCHLOE DACTYLOIDES `609` BUFFALO GRASS	4500 N Prince	CURTIS SEED Street 101, USA	(877) 907-1806 seed@curtisseed.con
GG	5,470 SF	DECOMPOSED GRANITE GRAVEL COLOR: GRAY TO MATCH EXISTING			
		N, CONTAINER SIZE AS APPROPRIATE FOR FOR PROPER ROOT QUALITY.			
•	OF SITE AR 6% OF SITE J				
S (1 PE S	ER 25 LF OF	FRONTAGE)			
ES (1 P ES	PER 25 LF OF	FRONTAGE)			
	of Parking % of Parki				
CES S (1 TF	REE PER 10 S	SPACES)			RGREEN GN GROUP



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6 TREES (1 TREE PER 10 SPACES)

CONTINUOUS EVERGREEN HEDGE AS REQUIRED

54 (6 PER 25 LF)

COVERAGE PROVIDED OVERALL

11,712 SF (75% OF LANDSCAPE AREA) 11,714 SF (75.0%)

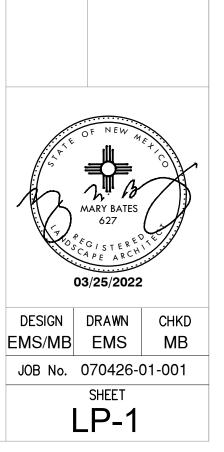


Know what's **below**. Call before you dig





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# PLANTING SPECIFICATIONS

## GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING. 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE
- OWNER FOR FURTHER QUALIFICATION MEASURES. 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE
- APPROPRIATE LOCAL JURISDICTION, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE.
- B. SCOPE OF WORK
  - 1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
- 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIAI S
- 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

## PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW. B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
  - 1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014). PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS.
- 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
- 3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE
- PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE 4. ANY PLANT DEEMED UNACCEPTABLE BY THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAI
- 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT
- FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER. 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
- 8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10
- DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED. F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN
- PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW) G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING
- OF TREES AND SHRUBS H. TREE STAKING AND GUYING
- STAKES: 6' LONG GREEN METAL T-POSTS.
- GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT
- TREE TRUNKS FROM DAMAGE. I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- I PRE-EMERGENT HERBICIDES ANY GRANULAR NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

## METHODS

- A. SOIL PREPARATION 1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST
  - 2. SOIL TESTING: a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL
  - TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING. b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
  - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES
- d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE. 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT
- RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
- 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING: a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS AFTER CROSS-RIPPING:
  - i. NITROGEN STABILIZED ORGANIC AMENDMENT 4 CU. YDS. PER 1,000 S.F.
  - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) 15 LBS PER 1,000 S.F. iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY
  - MEANS OF ROTOTILLING AFTER CROSS-RIPPING: i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
  - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) 10 LBS. PER CU. YD.
  - iii. "CLAY BUSTER" OR EQUAL USE MANUFACTURER'S RECOMMENDED RATE iv. IRON SULPHATE - 2 LBS. PER CU. YD.
- 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED
- INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION. b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS. AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS
- f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE GENERAL CONTRACTOR, OWNER, OR OWNER'S REPRESENTATIVE. 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE OWNER OR OWNER'S REPRESENTATIVE, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. 2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE)
- SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY). 4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING
- CONSIDERED C. GENERAL PLANTING
- 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
- 2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE 3. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER THE PLAN. NOTIFY THE OWNER'S
- REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS. TRENCHING NEAR EXISTING TREES:

- (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK)
- TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
- LINES WITHIN 24 HOURS.
- ANY SORT OF SEALERS OR WOUND PAINTS. TREE PLANTING
- TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
- GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
- ABOVE THE SURROUNDING GRADE
- COMPOSITION IN THE ON-SITE SOIL a. 1"-2" TREES (OR #15 GAL - 24" BOX):
- b. 2-1/2"-4" TREES (OR 36" 48" BOX):
- c. TREES OVER 4" CALIPER (OR >48" BOX): d. MULTI-TRUNK TREES:
- UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).
- ADDITIONAL INFORMATION. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
- BARRIER CLOTH IN PLACE
- THE ENTIRE PLANTING AREA. SODDING
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN. OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
- OF PENETRATION INTO THE SOIL BELOW THE SOD. G. MULCH
- DEPTH OVER ROOT BAL
- WALL
- H. CLEAN UP ORDERLY CONDITION.
- DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE INSPECTION AND ACCEPTANCE
- INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- HOURS
- J. LANDSCAPE MAINTENANCE
  - WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION. PLANTS AT NO ADDITIONAL COST TO THE OWNER.
  - MUST OCCUR:
  - PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
- **IMPROPERI Y**
- DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR

c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP

d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE

TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL 4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES

BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM

OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND

TREES SHALL NOT BE STAKED UNLESS THE JURISDICTION OR LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION

SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT

SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES: TWO STAKES PER TREE

THREE STAKES PER TREE GUY AS NEEDED THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS

NEEDED TO STABILIZE THE TREE

FOR TREES IN TURF AREAS, DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA OVER THE ROOT BALL AND INSTALL MULCH WITH AT LEAST 2" OF SPECIFIED MULCH. SEE MULCH SPECIFICATION FOR

DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED

WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING

LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT

ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES

INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE. MULCH AT THE BASE OF SHRUBS SHALL BE A MAXIMUM 1"

MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. FINISH GRADE OF MULCH AT CURBS AND SIDEWALKS SHALL BE 1" LOWER THAN THE ADJACENT CURB OR SIDEWALK. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF

DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT,

UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN

WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24

THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER,

SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF

TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS i. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY

k. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE

FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE

AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE

