



DEVELOPMENT REVIEW BOARD  
**SUPPLEMENTAL SUBMITTAL**

**(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. \_\_\_\_\_

Application No. \_\_\_\_\_

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: \_\_\_\_\_ HEARING DATE OF DEFERRAL: \_\_\_\_\_

SUBMITTAL

DESCRIPTION: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

CONTACT NAME: \_\_\_\_\_

TELEPHONE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

# Bowman

March 25, 2022

Jay Rodenbeck  
Planning Department  
City of Albuquerque  
rrodenbeck@cabq.gov

**Project Location: Whataburger – Volcano Rd. & 98<sup>th</sup> St.**  
**DRB Project Number: PR-2019-002402**

Bowman Consulting is in receipt of the comments dated March 16, 2022, issued by City of Albuquerque for the Whataburger restaurant at NEC of Volcano Rd. & 98<sup>th</sup> St, Albuquerque, NM 87121. Please see below for the responses to the comments:

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## Planning Department

**Comment 6:** The Site Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico. The Landscape Plan sheet must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.

**Response: Site plan and all submitted sheets have been signed by and sealed by design professionals licensed in New Mexico.**

**Comment 10:** A Final Plat must be approved prior to final sign off from Planning.

**Response: Master developer final Plat is under review.**

If you have any questions or require additional information, please call me at (972) 497-2992, or send an email to [kaddo@bowman.com](mailto:kaddo@bowman.com).

Thank you,



Kofi Addo  
Team Lead  
Bowman

March 25, 2022

Jeanne Wolfenbarger, P.E.  
City of Albuquerque  
jwolfenbarger@cabq.gov  
(505) 924-3991

**Project Location: Whataburger – Volcano Rd. & 98<sup>th</sup> St.**  
**DRB Project Number: PR-2019-002402**

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## Transportation Development - Engineering Comments

- Comment 1:** Add a bold note that the accessways surrounding site and public roadway improvements shall be built per work order. The accessway shall be in place prior to Certificate of Occupancy.  
**Response: Note has been added.**
- Comment 2:** For the one-way aisle within the drive-thru directional arrows on the pavement for the site plan. Also, add a One-way sign.  
**Response: One-way aisle drive-thru directional arrows and one-way signs have been added see key note 2D.**
- Comment 3:** For the handicapped ramp at the accessible aisle, ensure that there is a minimum 4-foot dimension between the wing of the ramp and the corner of the building. (Add a dimension at the pinch point around the main entrance.)  
**Response: Minimum 4ft. dimensions have been labeled to show clearance between building corner and ramp.**
- Comment 4:** Indicate a maximum 2% cross-slope on the sidewalk detail. Also, on the site plan, indicate which type of curb shall be used.  
**Response: 2% cross-slope minimum labels have been added to sidewalk detail and site plan. Curb type has been labeled; see key notes.**
- Comment 5:** On 98th Street and Volcano, use a clear sight triangle for intersection sight distance to be sure that there are no conflicts with the proposed landscaping. Add the note "Landscaping, fencing and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle."  
**Response: Sight distance triangles have been added to the site plan and landscape plan to confirm no landscaping, fencing and signage interfere with visibility.**

**Comment 6:** Dimension the parking aisle south of the building at different locations where the width varies, and also include a dimension at the entranceway. Also, dimension the 6-foot ADA pathway to Volcano Road.

**Response: Parking aisle, entranceway and ADA pathway dimensions have been labeled.**

If you have any questions or require additional information, please call me at (972) 497-2992, or send an email to [kaddo@bowman.com](mailto:kaddo@bowman.com).

Thank you,

A handwritten signature in blue ink that reads "Kofi Addo". The signature is written in a cursive style with a large initial "K".

Kofi Addo  
Team Lead  
Bowman

# Bowman

March 25, 2022

Parks and Recreation Department  
City of Albuquerque

**Project Location: Whataburger – Volcano Rd. & 98<sup>th</sup> St.**  
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## Parks and Recreation

Comment 03/16/2022: Per IDO Section 5-6(D)(1)(a). Street trees should be spaced generally 25-ft on center, within 20-ft from back of curb. Please add more street trees on 98th St NW. Can more ground level plants (shrubs, ornamental grasses, and/or groundcover) be added to the landscape on 98th St NW as well?

**Response: Street tree spacing has been updated and additional ground level plants have been added along 98<sup>th</sup> St.**

If you have any questions or require additional information, please call me at (972) 497-2992, or send an email to [kaddo@bowman.com](mailto:kaddo@bowman.com).

Thank you,



Kofi Addo  
Team Lead  
Bowman

**INFRASTRUCTURE LIST**

(Rev. 9-20-05)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Whataburger**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Avalon Subdivision, Unit 5, Tract 12**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<b>PHASE 1 IMPROVEMENTS</b>									
<input type="text"/>	<input type="text"/>	12' Wide	3rd Northbound Lane	98th Street	Volcano Rd	Bluewater Rd	/	/	/
<input type="text"/>	<input type="text"/>	10' Wide	Trail with 2' Wide Buffers	98th Street Frontage	Volcano Rd	Bluewater Rd	/	/	/
<input type="text"/>	<input type="text"/>	6' Wide	Concrete Sidewalks along Volcano Frontage				/	/	/
<input type="text"/>	<input type="text"/>	N/A	ADA Ramps at 98th/Volcano Intersection & Project Driveways				/	/	/
<input type="text"/>	<input type="text"/>	N/A	New Standard Curb/Gutter	Volcano Road	98th St	SE Property Corner	/	/	/
<input type="text"/>	<input type="text"/>	8" Diam	Sanitary Sewer Main	Volcano Rd	Existing Manhole in Volcano Road	Whataburger Site	/	/	/
<input type="text"/>	<input type="text"/>	Misc	Internal Access Roadways to Serve Whataburger Site				/	/	/
<input type="text"/>	<input type="text"/>	18"-48"	Storm Drain RCP	Volcano Rd	Ex 48" SD in Volcano Rd	Northeast Corner of 98th/Volcano	/	/	/
<input type="text"/>	<input type="text"/>	8" Dia	Water Main	Inside Development to Serve all Lots	Ex 6" Main in Volcano Rd	Ex 12" Main in Bluewater Rd	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
							/	/	/
/	/	/							
/	/	/							


Approval of Creditable Items:		Approval of Creditable Items:	
Impact Fee Administrator Signature	Date	City User Dept. Signature	Date

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

- 1 Storm Drain to include manholes and inlets.
- 2

<b>AGENT / OWNER</b>	<b>DEVELOPMENT REVIEW BOARD MEMBER APPROVALS</b>
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**Kofi Addo, P.E.**  
 NAME (print)  
**Bowman**  
 FIRM  
  
 SIGNATURE - date

3/18/2022

\_\_\_\_\_  
 DRB CHAIR - date

\_\_\_\_\_  
 TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_  
 UTILITY DEVELOPMENT - date

\_\_\_\_\_  
 CITY ENGINEER - date

\_\_\_\_\_  
 PARKS & RECREATION - date

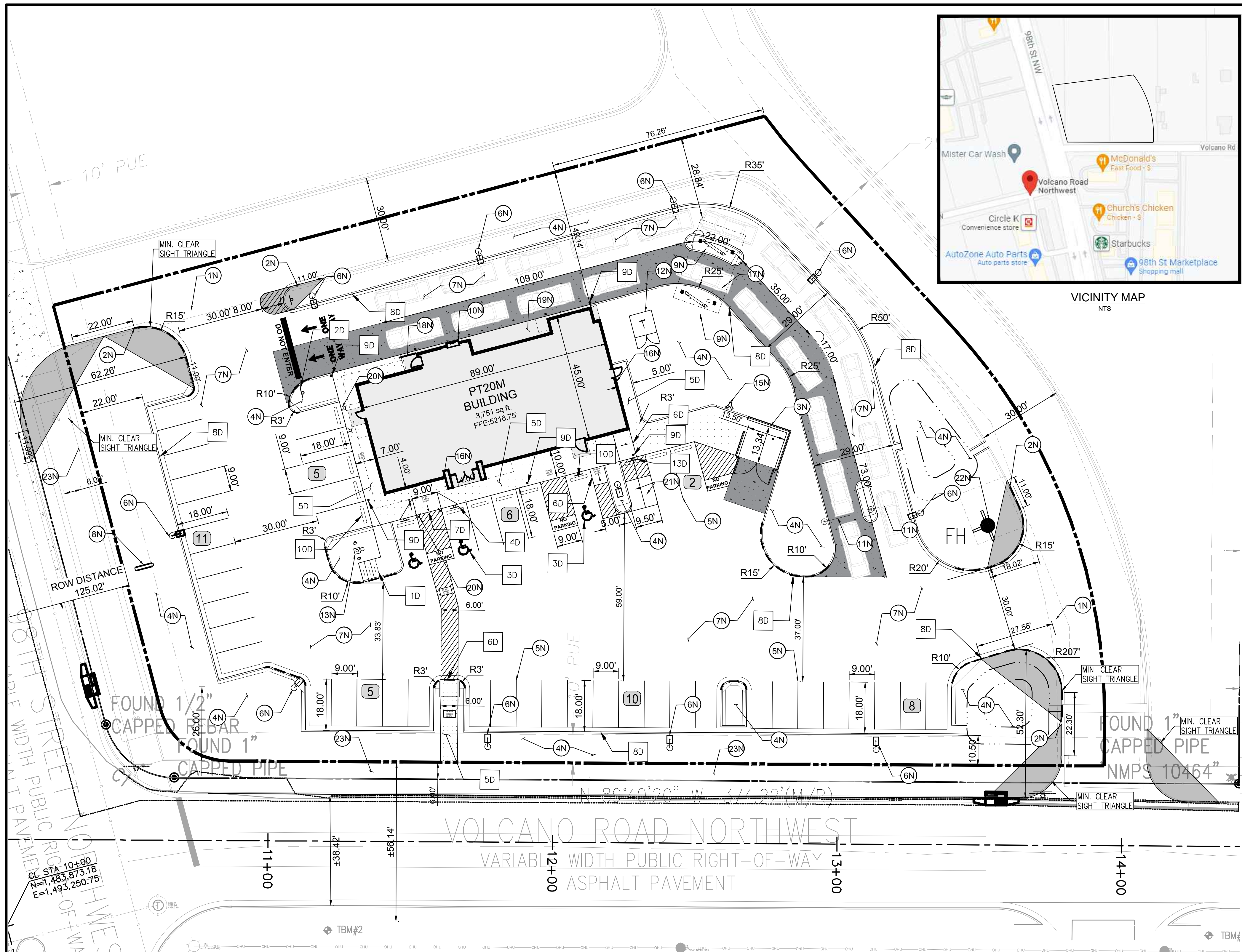
\_\_\_\_\_  
 AMAFCA - date

\_\_\_\_\_  
 CODE ENFORCEMENT - date

\_\_\_\_\_  
 - date

<b>DESIGN REVIEW COMMITTEE REVISIONS</b>
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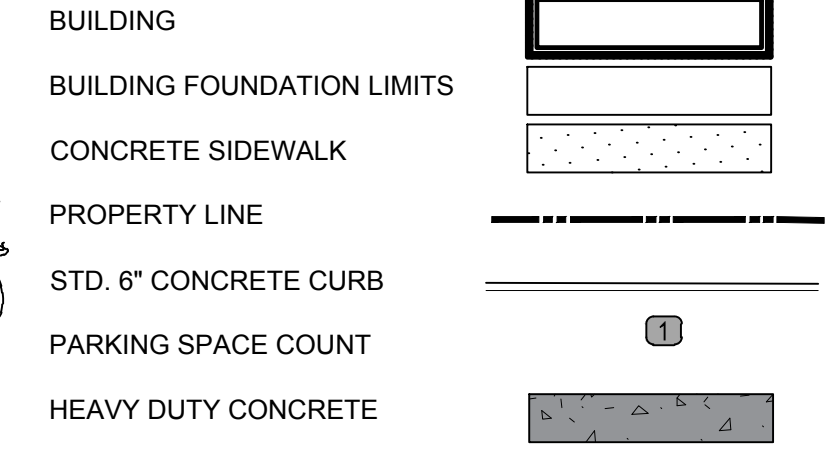
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER



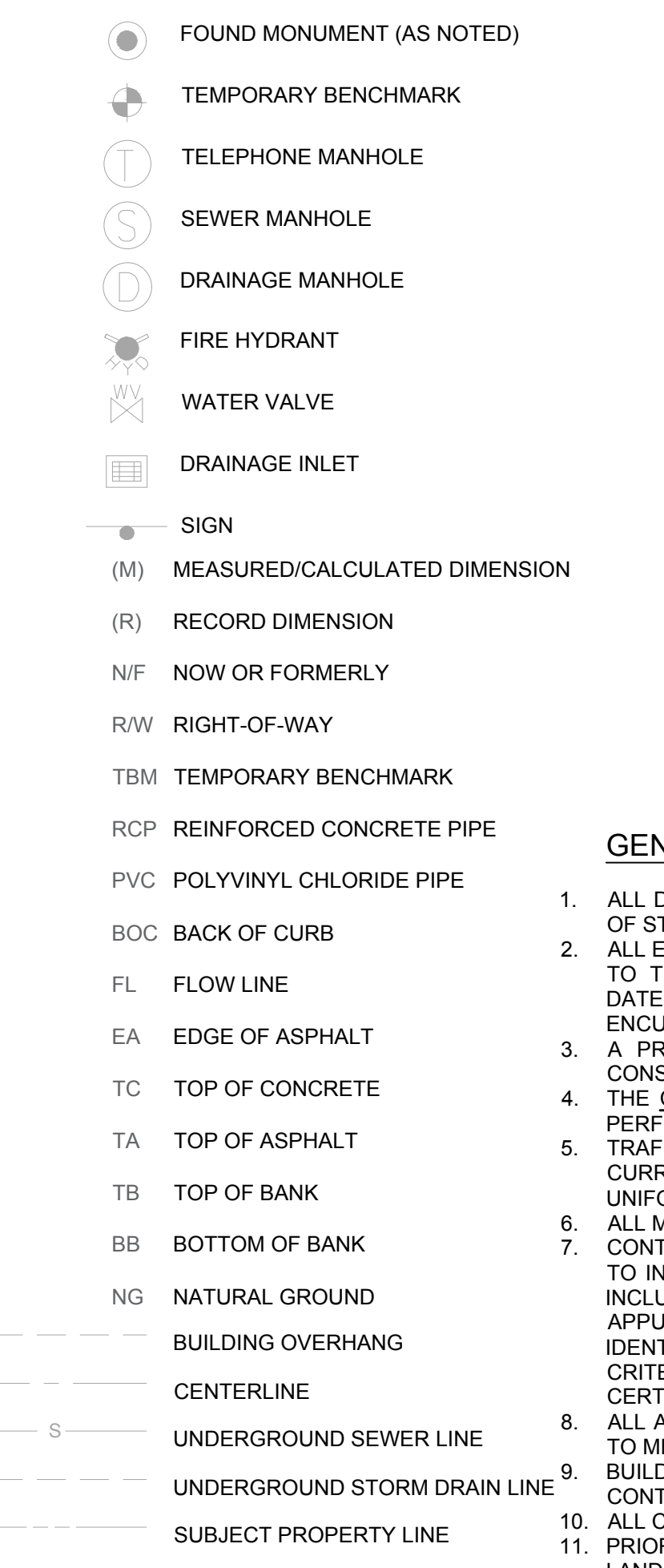
DRB SITE PLAN PROJECT #: PR-2019-002402

DRB SITE PLAN APPLICATION #: SI-2021-02080

**PROPOSED LEGEND**



**EXISTING LEGEND**



**SITE DATA & AREA CALCULATIONS**

CURRENT ZONING CLASSIFICATION:	NR-BP (BUSINESS PARK) CITY OF ALBUQUERQUE
CURRENT LOCAL JURISDICTION:	CITY OF ALBUQUERQUE
FLOOD ZONE CLASSIFICATION:	ZONE 'X'
FEMA PANEL:	35001C0328J
DATE:	11/04/2016
SITE AREA TOTAL:	63496 SF (1.457 AC)
IMPERVIOUS AREA:	48,168 SF (1.105 AC)
PERVIOUS AREA OPEN SPACE:	15,327 SF (0.351 AC)
OPEN SPACE PERCENTAGE:	24.09%
FLOOR AREA RATIO BLDG/SITE:	5.91%

**PARKING DATA**

SPACE REQUIRED:	8 SPACES PER 1000 SF GFA = 31 SPACES
SPACES PROVIDED:	44 REGULAR 3 ADA 47 TOTAL
TYPICAL DIMENSIONS:	9' WIDTH 18' DEPTH
MOTORCYCLE:	SPACE REQUIRED: 2 SPACES PER 26-50 VEHICLE SPACES = 2
SPACE PROVIDED:	2 SPACES
BICYCLE:	SPACE REQUIRED: 3 SPACES OR 10% OF VEHICLE SPACES WHICH EVER IS GREATER = 5 SPACES
SPACE PROVIDED:	5 SPACES

**GENERAL SITE NOTES**

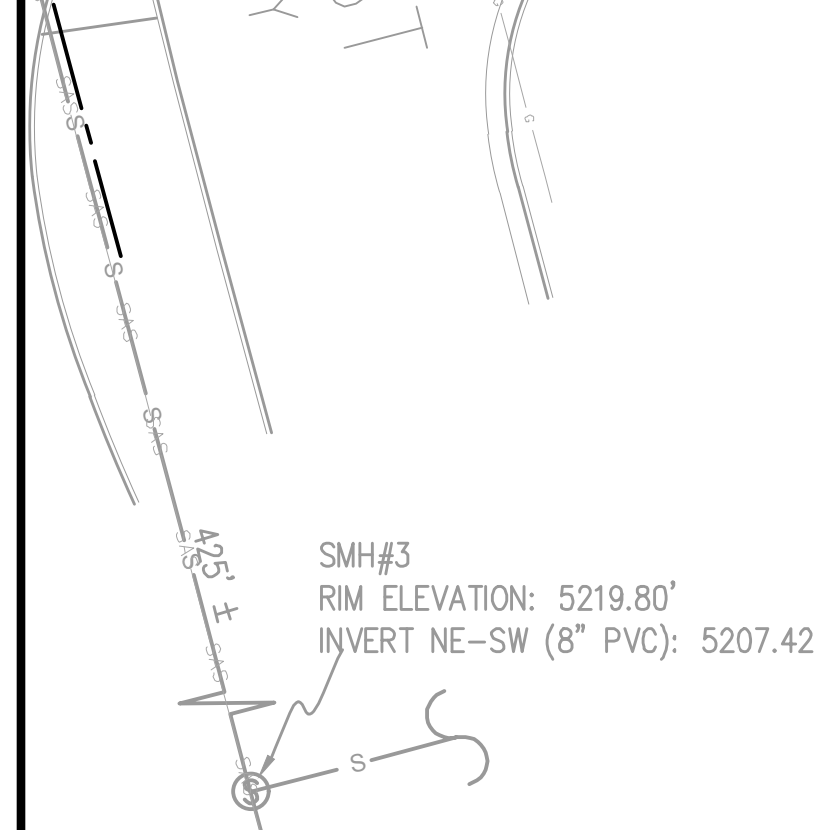
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB, PROPERTY LINE OR CENTERLINE OF STRIPING UNLESS OTHERWISE NOTED.
- ALL EXISTING EASEMENTS, RIGHTS-OF-WAY, AND LOT LINES MAY NOT BE SHOWN. REFER TO THE ALTANSPS LAND TITLE SURVEY PREPARED BY BLEW AND ASSOCIATES, PA DATED NOVEMBER 04, 2021, FOR COMPLETE BOUNDARY INFORMATION AND ASSOCIATED ENCUMBRANCES.
- A PRE-CONSTRUCTION MEETING WITH CITY ENGINEER SHALL BE HELD PRIOR TO CONSTRUCTION COMMENCEMENT.
- THE CITY OF ALBUQUERQUE SHALL BE GIVEN AT LEAST 48 HOURS NOTICE PRIOR TO PERFORMING ANY INSPECTIONS.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE PROJECT PLANS, THE CURRENT EDITION OF THE NMDOT DESIGN STANDARDS AND THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL MECHANICAL EQUIPMENT TO BE ROOF MOUNTED AND SCREENED FROM THE STREET. CONTRACTOR TO PROVIDE AS-BUILTS OF ALL IMPROVEMENTS TO THE SITE. AS-BUILTS TO INCLUDE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, PIPES, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES. ELEVATIONS OF PIPES AT CROSSING POINTS MUST BE SUFFICIENT TO IDENTIFY MINIMUM SEPARATION OF UTILITIES. IN ADDITION TO THE AFORESAID CRITERIA AS-BUILTS MUST MEET ALL LOCAL AND JURISDICTIONAL REQUIREMENTS FOR CERTIFICATION OF CONSTRUCTION.
- ALL AFFECTED SIDEWALKS, RAMPS AND CROSSWALKS, WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.
- BUILDING SETBACK DIMENSIONS MEASURED TO OUTERMOST ARCHITECTURAL FEATURE. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL CURB RADI ARE 3' UNLESS SHOWN OTHERWISE.
- PRIOR TO INSTALLATION, CONTRACTOR MUST VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING AND UTILITIES.

**NOTES**

- NEATLY SAWCUT 2" AND MATCH EXISTING
- END CURB
- DUMPSTER ENCLOSURE (REFER TO STRUCTURAL AND ARCHITECTURAL PLANS)
- LANDSCAPE AREA
- 6" WIDE WHITE PARKING LOT STRIPE
- LIGHT POLE
- HEAVY DUTY ASPHALT PAVING
- SIGN (REFER TO SIGNAGE PLANS)
- MENU ORDER BOARD AND SPEAKER
- ORDER PICKUP WINDOW
- CLEARANCE BAR
- ELECTRIC TRANSFORMER
- FLAG POLE WITH LIGHT BEACON
- DO NOT ENTER PAVEMENT MARKING
- REMOTE FIRE DEPARTMENT CONNECTION
- KNOX BOX
- SINGLE CANOPY DRIVE THROUGH (REFER TO ARCHITECTURAL PLANS)
- GUARDRAIL (REFER TO ARCHITECTURAL PLANS)
- BUILDING FOUNDATION LIMITS (REFER TO ARCHITECTURAL PLANS)
- LIGHTED BOLLARD (REFER TO ARCHITECTURAL PLANS)
- MOTORCYCLE PARKING
- EXISTING FIRE HYDRANT
- PROPOSED SIDEWALK BY OTHERS

**DETAILS**

- INVERTED "U" BIKE RACK (SEE CONSTRUCTION DETAILS SHEET C7.0)
- DO NOT ENTER SIGN (MUTCD R5-1, SEE CONSTRUCTION DETAILS SHEET C7.0)
- ADA PARKING (PER 2015 NM ACCESSIBILITY CHECKLIST, SECTION 8 DETAIL. SEE SHEET C7.0)
- ADA SIGN (PER 2015 NM ACCESSIBILITY CHECKLIST, SECTION 8 DETAIL. SEE SHEET C7.0)
- CONCRETE SIDEWALK (PER COABQ STD DWG NO. 2430. SEE SHEET C7.1)
- CURB RAMP (PER COABQ DETAIL STD DWG NO. 2440 & 2441. SEE SHEET C7.1)
- FLARED RAMP
- STANDARD CURB & GUTTER (PER COABQ DETAIL STD DWG NO. 2415A. SEE SHEET C7.1)
- BOLLARD (SEE CONSTRUCTION DETAILS SHEET C7.0)
- WHEEL STOP (SEE CONSTRUCTION DETAILS SHEET C7.0)
- STORM INLET TOP (PER COABQ DETAIL STD DWG NO. 2110. SEE SHEET C7.2)
- STORM INLET (PER COABQ DETAIL STD DWG NO. 2201. SEE SHEET C7.2)
- MOTORCYCLE PARKING SIGN (MUTCD R7-5-16)



**FLAG POLE NOTE**

FLAGPOLE WITH GROUND MOUNTED LIGHTS, UNITED FLAG AND BANNER, GARRISON TYPE BY CONCORD AMERICAN FLAGPOLE OR OWNER APPROVED EQUAL, 30" HIGH, 5" ALUMINUM WITH 14 GAUGE ALUMINUM BALL FINIAL. INCLUDE ALUMINUM ROLLER AND SLEEVE. HARDWARE TO INCLUDE STATIONARY TRUCK, NYLON FLAGSNAPS AND HALYARDS, ENTIRE ASSEMBLY (INCLUDING FOUNDATION) TO CONFORM TO APPLICABLE CODES, INCLUDING WIND LOADS. SEE SHEET SS.1, DETAIL D5 FOR FOUNDATION DETAILS. SEE SHEET ES.2, DETAIL A4 FOR LIGHT DETAILS.

ALL ACCESS WAYS SURROUNDING SITE AND PUBLIC ROADWAY IMPROVEMENTS SHALL BE BUILT PER WORK ORDER. THE ACCESS WAY SHALL BE IN PLACE PRIOR TO CERTIFICATE OF OCCUPANCY.

**PROJECT NUMBER:** DRB SITE PLAN PROJECT #: PR-2019-002402  
**Application Number:** DRB SITE PLAN APPLICATION #: SI-2021-02080

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\*Environmental Health, if necessary  
2/16/18

**Bowman CONSULTING**  
 5601 Democracy Dr.,  
 Ste 205  
 Plano, Texas 75024  
 Phone: (972) 407-2990  
 Fax: (972) 927-4662  
 www.bowman.com

REVISION	DATE	DESCRIPTION

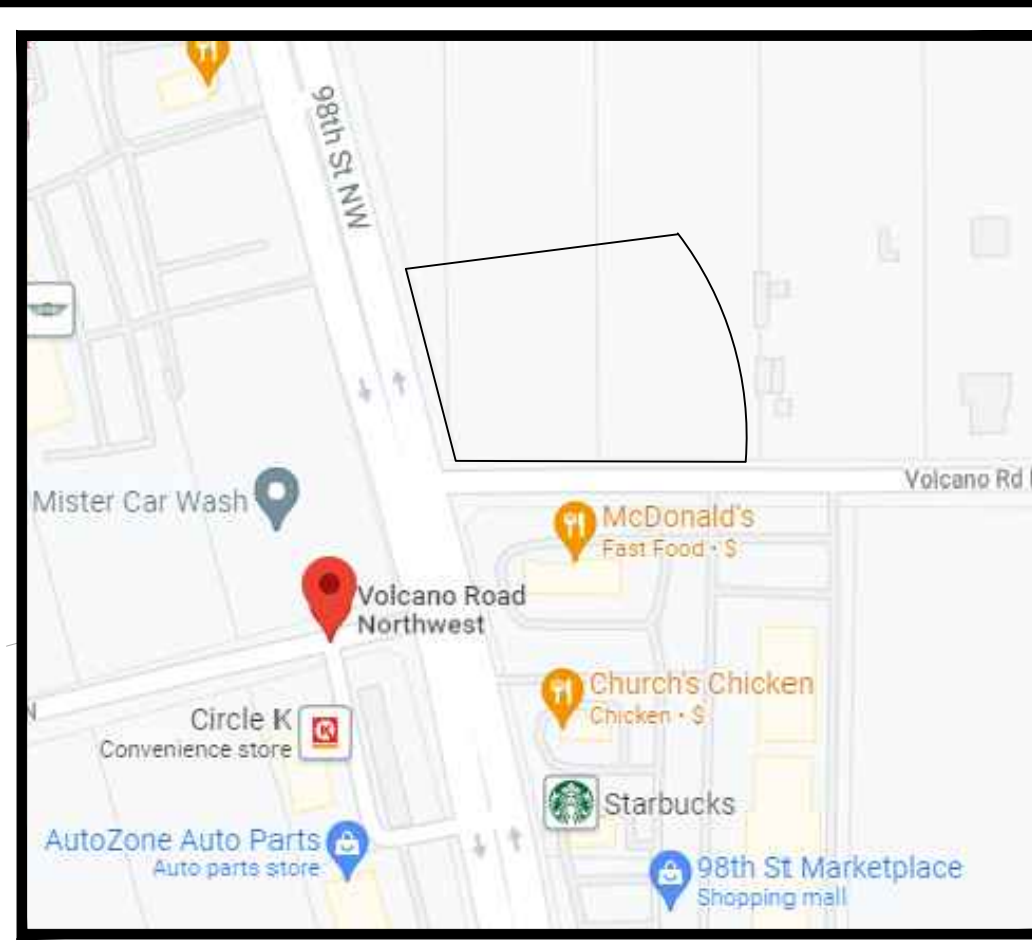
**SITE PLAN**  
**WHATABURGER**  
**NEC 98TH ST. & VOLCANO RD.**  
 ALBUQUERQUE, NM 87124

**Professional Engineer**  
 Kelli Addo-Nyarko  
 NEW MEXICO  
 25552  
 12/25/2022

DESIGN	DRAWN	CHKD
BB	BB	KAN

JOB No. 070426-01-001  
 SHEET  
**C3.0**





VICINITY MAP  
NTS

DRAINAGE CALCULATIONS ARE BASED ON CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) ARTICLE 6-2(A) - PROCEDURE FOR 40-ACRE AND SMALLER BASINS ZONE 1 LOCATION.

Pre-Development Conditions											
Drainage Area	Acres	Time of Concentration (Min)	2 Year Runoff Coefficient	2 Year Intensity (In/Hr)	2 Year Runoff (cfs)	10 Year Runoff Coefficient	10 Year Intensity (In/Hr)	10 Year Runoff (cfs)	100 Year Runoff Coefficient	100 Year Intensity (In/Hr)	100 Year Runoff (cfs)
A-1	1.457	12.00	0.28	0.15	0.06	0.51	0.23	0.17	0.63	0.36	0.33

Post-Development Conditions											
Drainage Area	Acres	Time of Concentration (Min)	2 Year Runoff Coefficient	2 Year Intensity (In/Hr)	2 Year Runoff (cfs)	10 Year Runoff Coefficient	10 Year Intensity (In/Hr)	10 Year Runoff (cfs)	100 Year Runoff Coefficient	100 Year Intensity (In/Hr)	100 Year Runoff (cfs)
A-1	1.457	12.00	0.89	0.15	0.19	0.90	0.23	0.30	0.90	0.36	0.47

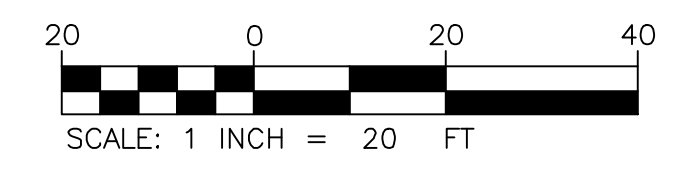
DIFFERENCE IN RUNOFF (EXISTING VS PROPOSED)			
2 Year Runoff (cfs)	10 Year Runoff (cfs)	100 Year Runoff (cfs)	Net Change
0.13	0.13	0.14	Increase

GRADING LEGEND

- PROPOSED BUILDING
- PROPERTY LINE
- STD. 6" CONCRETE CURB
- PROPOSED CONTOUR
- EXISTING CONTOUR
- DIRECTION OF FLOW
- SPOT ELEVATION
- EXISTING GRADE TIE IN
- TOP OF CURB
- BOTTOM OF CURB
- STORM CATCH BASIN
- STORM PIPE

EXISTING LEGEND

- FOUND MONUMENT (AS NOTED)
- TEMPORARY BENCHMARK
- TELEPHONE MANHOLE
- SEWER MANHOLE
- DRAINAGE MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE INLET
- SIGN
- (M) MEASURED/CALCULATED DIMENSION
- (R) RECORD DIMENSION
- N/F NOW OR FORMERLY
- R/W RIGHT-OF-WAY
- TBM TEMPORARY BENCHMARK
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- BOC BACK OF CURB
- FL FLOW LINE
- EA EDGE OF ASPHALT
- TC TOP OF CONCRETE
- TA TOP OF ASPHALT
- TB TOP OF BANK
- BB BOTTOM OF BANK
- NG NATURAL GROUND
- BUILDING OVERHANG
- CENTERLINE
- UNDERGROUND SEWER LINE
- UNDERGROUND STORM DRAIN LINE
- SUBJECT PROPERTY LINE



GRADING NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WERE LOCATED BASED ON EITHER VISUAL OBSERVATIONS AT THE SITE, EXISTING SURVEYS, AND/OR FROM UTILITY OWNERS. THE CONTRACTOR DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE AND BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY OWNER AND/OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND FOR ALL NATURAL AND PAVED AREAS.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR TO REVIEW GEOTECHNICAL REPORT PROVIDED BY THE OWNER.
- ALL PROPOSED SPOT ELEVATIONS ARE PAVEMENT GRADES, UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS ARE 6 INCH ABOVE ELEVATIONS SHOWN ON THIS PLAN.
- ALL ELEVATIONS PRESENTED IN THESE PLANS ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF NAVD 88.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING CONSTRUCTION ACTIVITIES TO ENSURE THAT PUBLIC STREETS AND RIGHT-OF-WAYS ARE KEPT CLEAR OF MUD, DUST OR DEBRIS. DUST ABATEMENT SHALL BE MAINTAINED BY ADEQUATE WATERING OF THE SITE BY THE CONTRACTOR.
- CLEAR AND GRUB WITHIN WORK LIMITS FOR ALL SURFACE VEGETATION, TREES, STUMPS, BRUSH, ROOTS, ETC. DO NOT DAMAGE OR REMOVE TREES EXCEPT AS APPROVED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS. PROTECT ALL ROOTS TWO INCHES IN DIAMETER OR LARGER.
- STRIKE LIMITS: REMOVING ALL ORGANIC MATTER WHICH CANNOT BE COMPACTED INTO A STABLE MASS, ALL TRESS, BRUSH, AND DEBRIS ASSOCIATED WITH CLEARING, STRIPPING OR GRADING SHALL BE REMOVED AND DISPOSED OFF SITE BY THE CONTRACTOR.
- UNLESS OTHERWISE SHOWN ON THE DRAWINGS, STRAIGHT GRADES SHALL BE RUN BETWEEN ALL FINISH GRADE ELEVATIONS AND/OR FINISH CONTOUR LINES. SHOWN FINISH PAVEMENT GRADES AT TRANSITION TO EXISTING PAVEMENT SHALL MATCH EXISTING PAVEMENT GRADES OR SHALL BE FEATHERED PAST JOINTS WITH EXISTING PAVEMENT AS REQUIRED TO PROVIDE A SMOOTH, FREE DRAINAGE SURFACE.
- ALL EXISTING AND CONSTRUCTED MANHOLES, CLEANOUTS, MONUMENTS, GAS VALVES, WATER VALVES, AND SIMILAR STRUCTURES SHALL BE ADJUSTED TO MATCH FINISH GRADE OF THE PAVEMENT SIDEWALK, LANDSCAPED AREA, OR MEDIAN STRIP WHEREIN THEY LIE.

ADA NOTES

- THE DESIGN PROFESSIONAL SIGNING THIS DOCUMENT REPRESENTS THAT TO THE BEST OF HIS/HER PROFESSIONAL JUDGEMENT, KNOWLEDGE, AND BELIEF THE DESIGN SPECIFICATIONS HEREIN COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- ALL GRADES/SLOPES SHOWN ON THIS PLAN WERE DESIGNED AT OR BELOW MAXIMUMS ALLOWED BY THE AMERICANS WITH DISABILITIES ACT (ADA). IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, AND THE ADA DESIGN MANUAL. IN THE EVENT THAT A DESIGN QUESTION SHOULD ARISE, OR A FIELD CONDITION PRESENT ITSELF THAT IS DIFFERENT FROM THOSE SHOWN ON THESE PLANS, WORK SHOULD CEASE AND THE ENGINEER SHOULD BE NOTIFIED SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
- THE CONTRACTOR IS ADVISED TO CAREFULLY CHECK ALL THE PHASES OF WORK RELATING TO ADA ACCESSIBILITY FOR THIS PROJECT. SINCE THE CODE DOES NOT ALLOW FOR CONSTRUCTION TOLERANCE, ANY CONSTRUCTION THAT EXCEEDS MAXIMUM OR MINIMUM DIMENSIONS AND SLOPES AS REQUIRED BY ADA ARE SUBJECT TO REJECTION AND MAY BE REQUIRED TO BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- SINCE THE CIVIL ENGINEER OR SURVEYOR CANNOT CONTROL THE EXACT METHODS OR MEANS USED BY THE GENERAL CONTRACTOR OR THEIR SUBCONTRACTORS DURING GRADING AND CONSTRUCTION OF THE PROJECT, THE CIVIL ENGINEER OR SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE FINAL ACCEPTANCE OF AMERICANS WITH DISABILITIES ACT ACCESSIBILITY RELATED ITEMS BY THE CITY, ANY OTHER AUTHORITY, OR AFFECTED PARTIES.

FEMA FLOOD NOTE

THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0328J, WHICH BEARS AN EFFECTIVE DATE OF 11/04/2016 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

STORMWATER QUALITY VOLUME AND DETENTION

SITE AREA TOTAL: 63,496 SF (1.457 AC)  
 IMPERVIOUS AREA: 47,927 SF (1.100 AC)  
 PERVIOUS AREA OPEN SPACE: 15,569 SF (0.357 AC)

STORMWATER QUALITY VOLUME (SWQV) REQUIRED:  
 SWQV = 0.42 INCHES PER SQUARE FOOT IMPERVIOUS AREA  
 SWQV = (0.42 x 47,927) / 12  
 SWQV = 1,677 CF

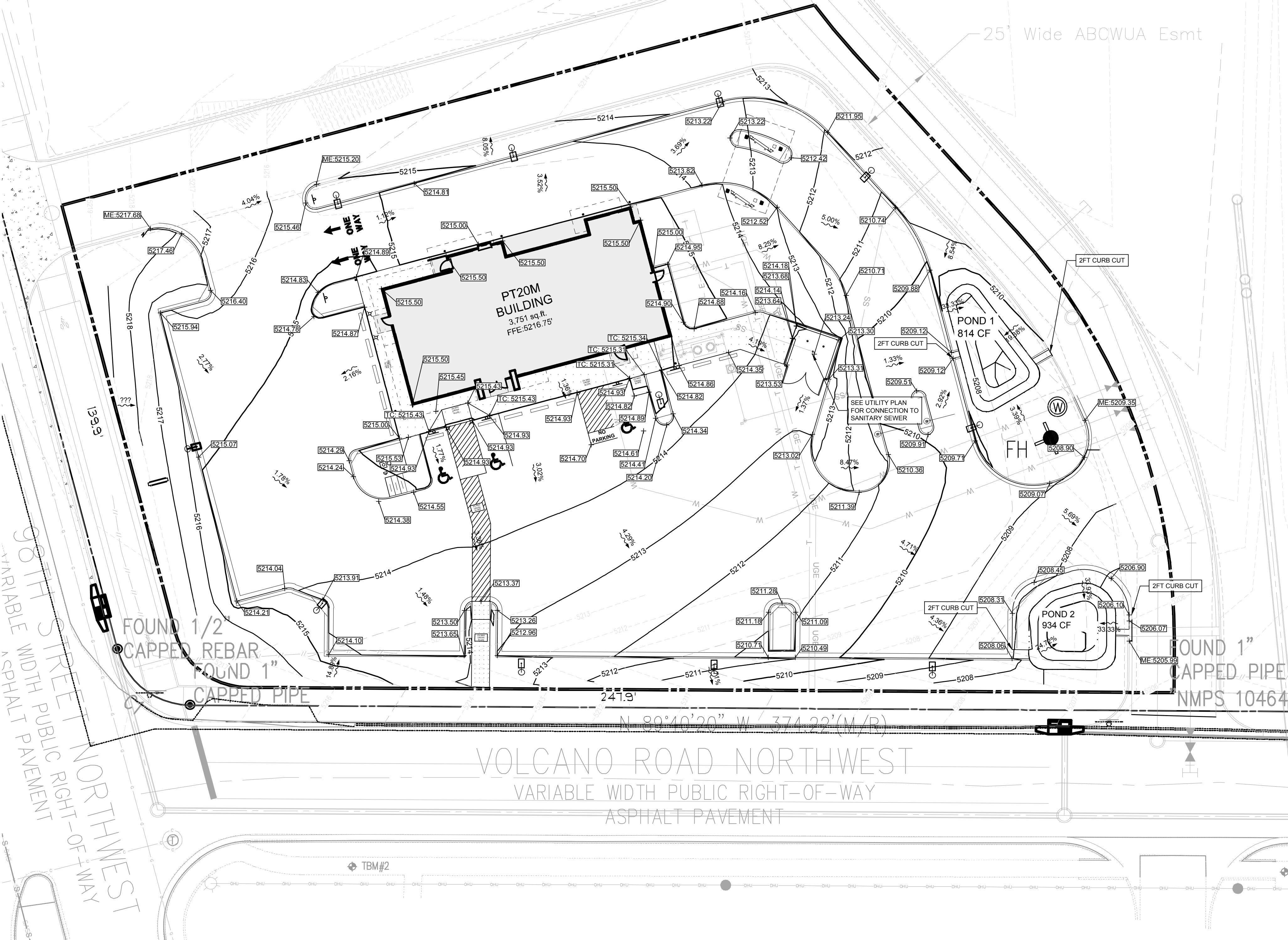
STORMWATER QUALITY VOLUME (SWQV) PROVIDED  
 SWQV PROVIDED POND 1 = 814 CF  
 SWQV PROVIDED POND 2 = 934 CF  
 TOTAL SWQV PROVIDED = 1,748 CF

POND 1 CURB CUT WEIR CALCULATIONS

$Q = CLH^{3/2}$   
 $L = Q / CH^{3/2}$   
 $L = 0.47 / (2.7 \times 0.5^{3/2})$   
 $L = 0.5 FT$   
 CURB CUT PROVIDED 2FT

POND 2 CURB CUT WEIR CALCULATIONS

$Q = CLH^{3/2}$   
 $L = Q / CH^{3/2}$   
 $L = 0.47 / (2.7 \times 0.5^{3/2})$   
 $L = 0.5 FT$   
 CURB CUT PROVIDED 2FT



BENCHMARKS

TBM #1	TBM - SET CHISELED X (1483393.40, 1493191.03)	ELEV: 5205.67'
TBM #2	TBM - SET CHISELED X (1483395.13, 1492861.32)	ELEV: 5215.90'

TBM#1  
 SET CHISELED X  
 NORTHING: 1483393.40  
 EASTING: 1493191.03  
 ELEVATION: 5205.67'

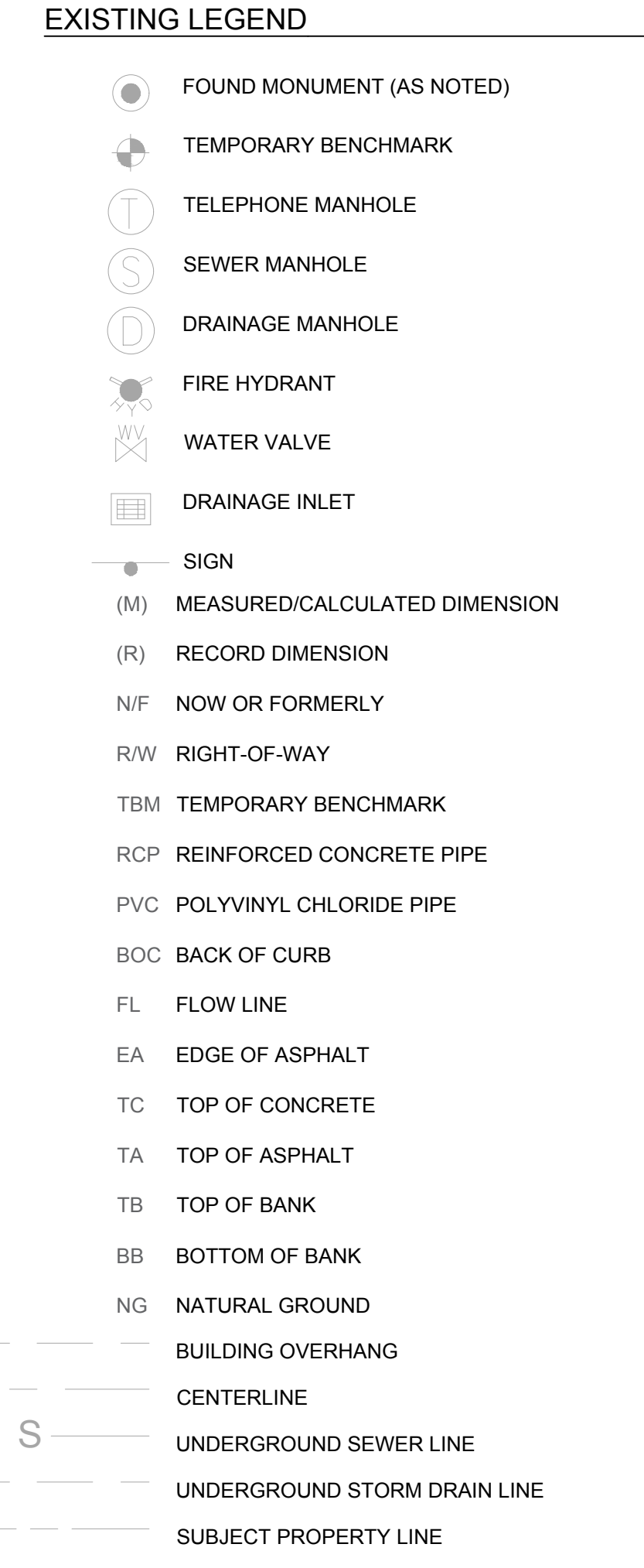
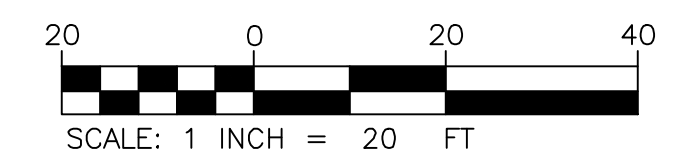
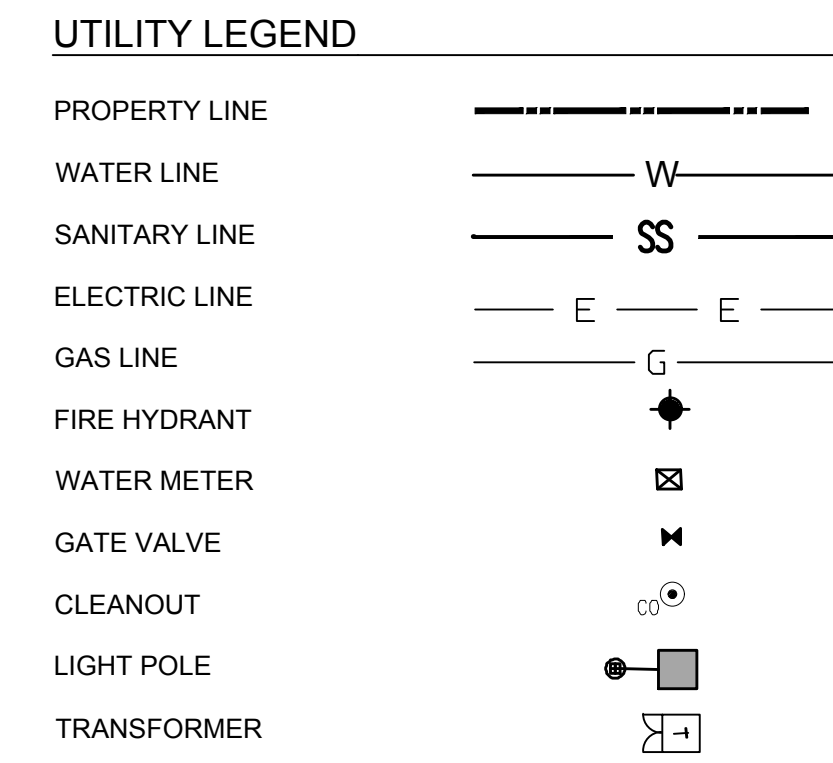
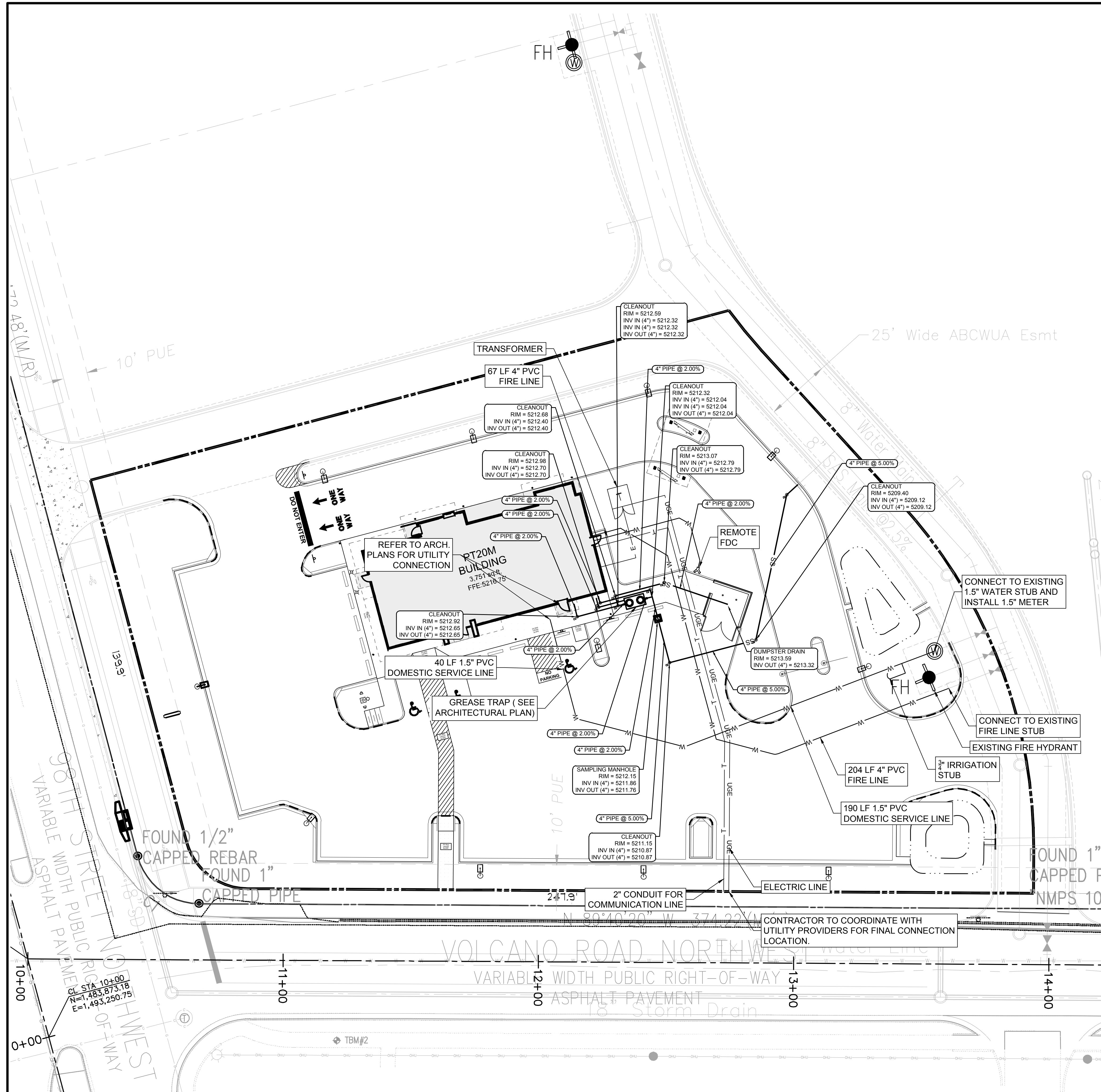
**Bowman CONSULTING**  
 Bowman Consulting Group, Ltd.  
 5601 Democracy Dr.,  
 Ste 205,  
 Plano, Texas 75024  
 Phone: (972) 407-2900  
 Fax: (972) 927-4662  
 www.bowman.com

REVISION	DATE	DESCRIPTION

GRADING & DRAINAGE PLAN  
**WHATABURGER**  
 NEC 98TH ST. & VOLCANO RD.  
 ALBUQUERQUE, NM 87124

Kelli Addo-Nyarko  
 NEW MEXICO  
 25552  
 PROFESSIONAL ENGINEER  
 12/21/2016  
 12/25/2022

DESIGN	DRAWN	CHKD
BB	BB	KAN
JOB No. 070426-01-001		
SHEET		
C4.0		



- UTILITY NOTES**
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND IS RESPONSIBLE TO REPAIR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
  - ALL UTILITIES ARE SHOWN FROM INFORMATION GATHERED AND SHOULD NOT BE USED AS EXACT. CONTRACTOR SHALL VERIFY EXACT DEPTHS AND LOCATIONS PRIOR TO UTILITY INSTALLATION AND NOTIFY THE ENGINEER OF RECORD IF THERE ARE ANY DEVIATIONS FROM WHAT IS SHOWN ON PLANS.
  - CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR INSTALLATION AND SPECIFICATION REQUIREMENTS.
  - ALL PIPE MATERIALS SHALL COMPLY WITH LOCAL REGULATIONS.
  - ALL TRENCHING AND BEDDING SHALL BE PER THE UTILITY TRENCH AND BEDDING DETAIL.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING UTILITY TIE INS.
  - THE CONTRACTOR IS TO FIELD VERIFY THE EXACT LOCATIONS AND DEPTHS OF UTILITY LINES.
  - ALL CERTIFICATES AND SHOP DRAWINGS MUST BE SUBMITTED, REVIEWED, AND APPROVED PRIOR TO STARTING CONSTRUCTION.
  - CONTRACTOR TO PROVIDE AS-BUILTS OF ALL IMPROVEMENTS TO THE SITE. AS-BUILTS TO INCLUDE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, PIPES, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES. ELEVATIONS OF PIPES AT CROSSING POINTS MUST BE SUFFICIENT TO IDENTIFY MINIMUM SEPARATION OF UTILITIES AS DEFINED BY ENGINEER. IN ADDITION TO THE AFOREMENTIONED CRITERIA, AS-BUILTS MUST MEET ALL LOCAL AND JURISDICTIONAL REQUIREMENTS FOR CERTIFICATION OF CONSTRUCTION.
  - UNDERGROUND UTILITIES TO BE FIELD VERIFIED IN RIGHT-OF-WAY WORK WITH EXISTING UTILITIES.
  - UTILITY CONNECTIONS ARE SHOWN TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR TO REFER TO BUILDING PLANS FOR EXACT CONNECTION POINTS ON BUILDING AND VERIFY THAT THERE ARE NO CONFLICTS PRIOR TO START OF CONSTRUCTION.

**BENCHMARKS**

TBM #1	TBM - SET CHISELED X (1483393.40, 1493191.03)	ELEV: 5205.67'
TBM #2	TBM - SET CHISELED X (1483395.13, 1492861.32)	ELEV: 5215.90'

TBM#1  
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NORTHING: 1483393.40  
EASTING: 1493191.03  
ELEVATION: 5205.67'

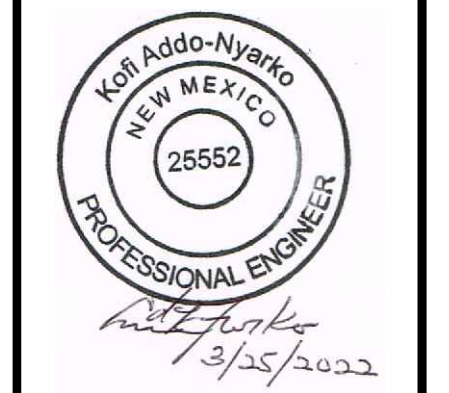


THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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DATE	REVISIONS	DESCRIPTION
	REVISION	DESCRIPTION

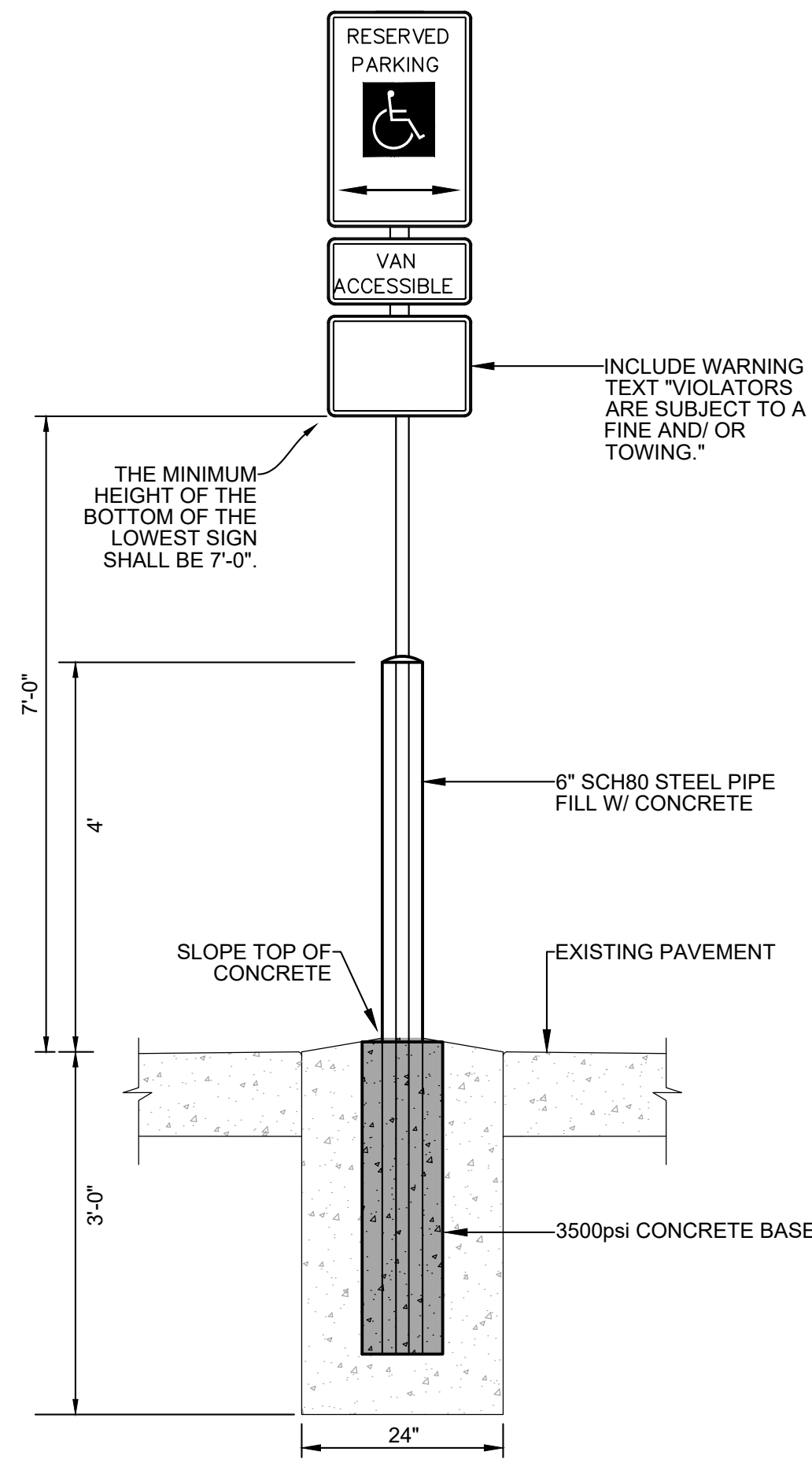
**UTILITY PLAN**  
**WHATABURGER**  
**NEC 98TH ST. & VOLCANO RD.**  
ALBUQUERQUE, NM 87124



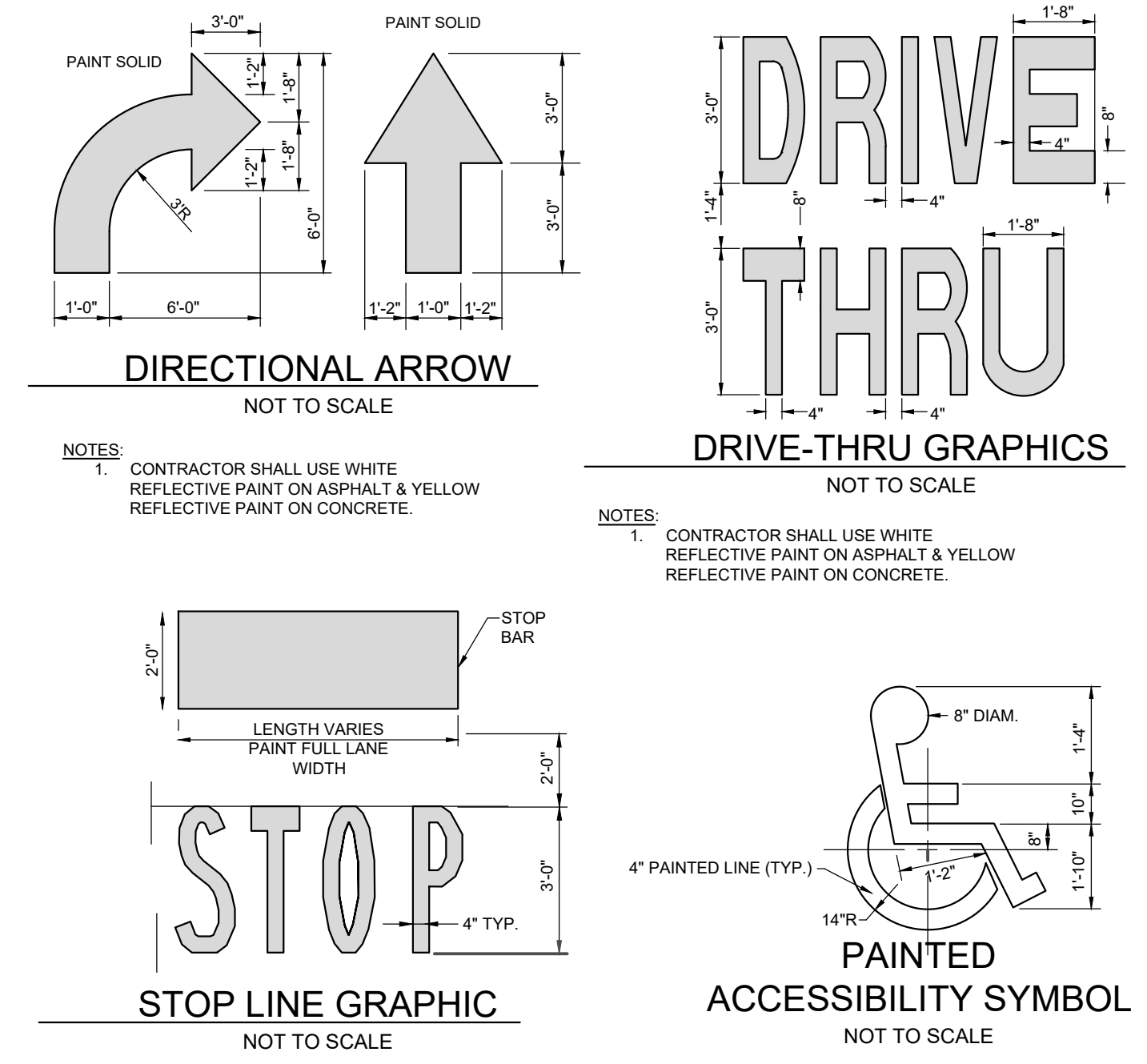
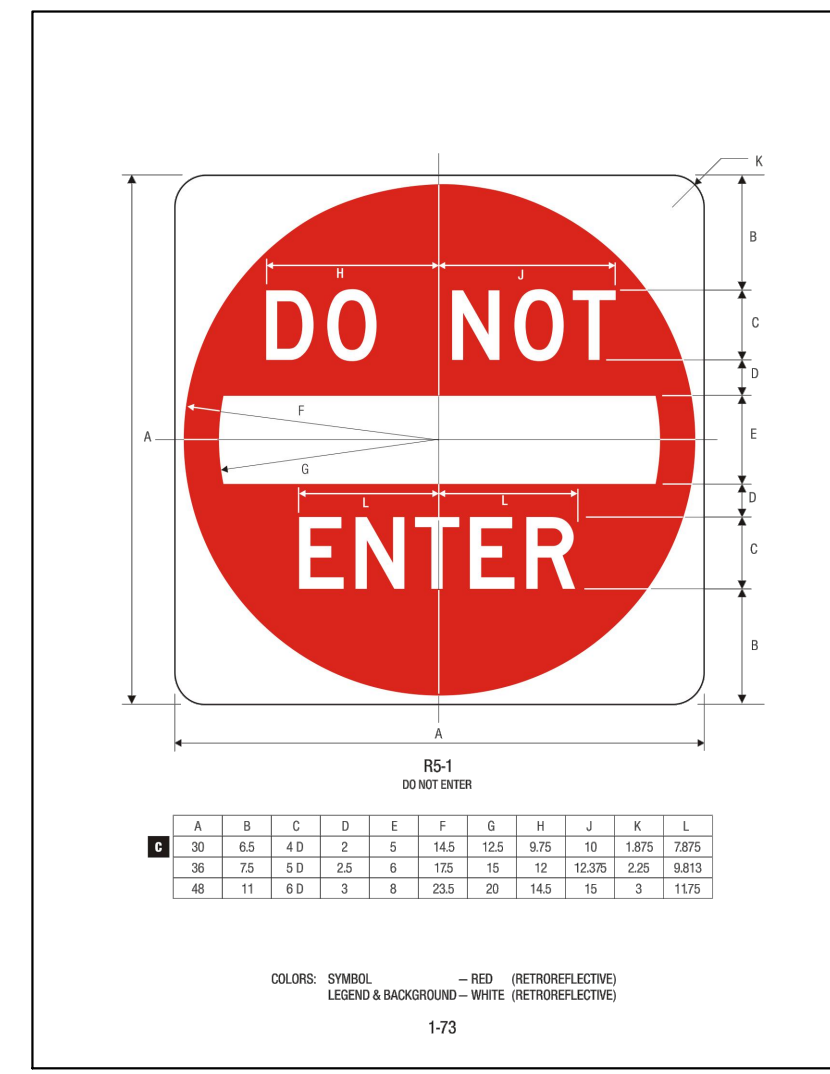
DESIGN	DRAWN	CHKD
BB	BB	KAN
JOB No. 070426-01-001		
SHEET		
C6.0		

CONTRACTOR MUST REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF ALL OUTSIDE DOORS AND BUILDING UTILITIES.

CONTRACTOR MUST COORDINATE ALL UTILITY CONNECTIONS SUCH AS ELECTRIC, GAS CABLE, TELEPHONE, WATER, SANITARY SEWER, STORM DRAINAGE WITH UTILITY PROVIDERS.



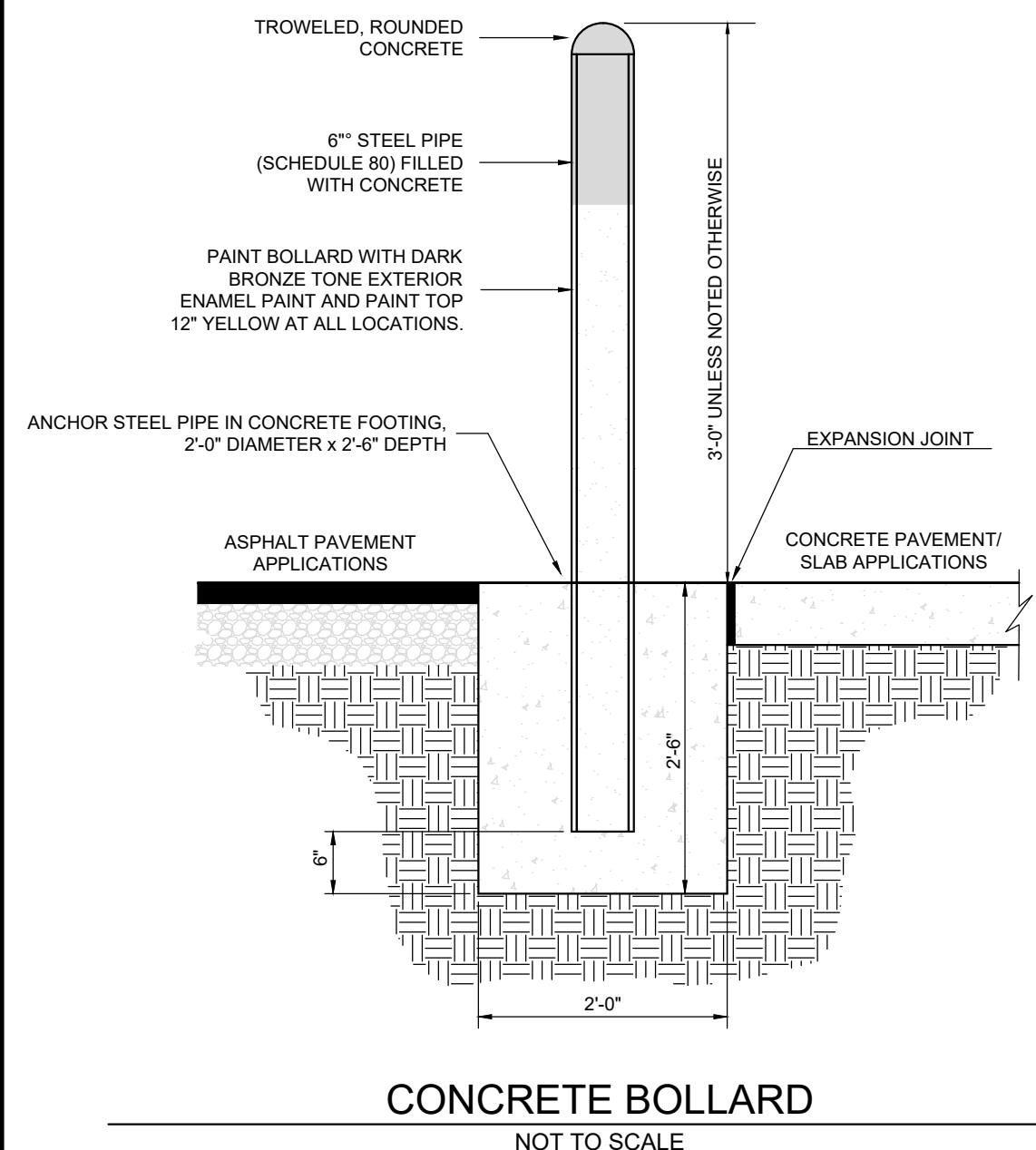
**SIGN MOUNTING WITH BOLLARD**  
NTS



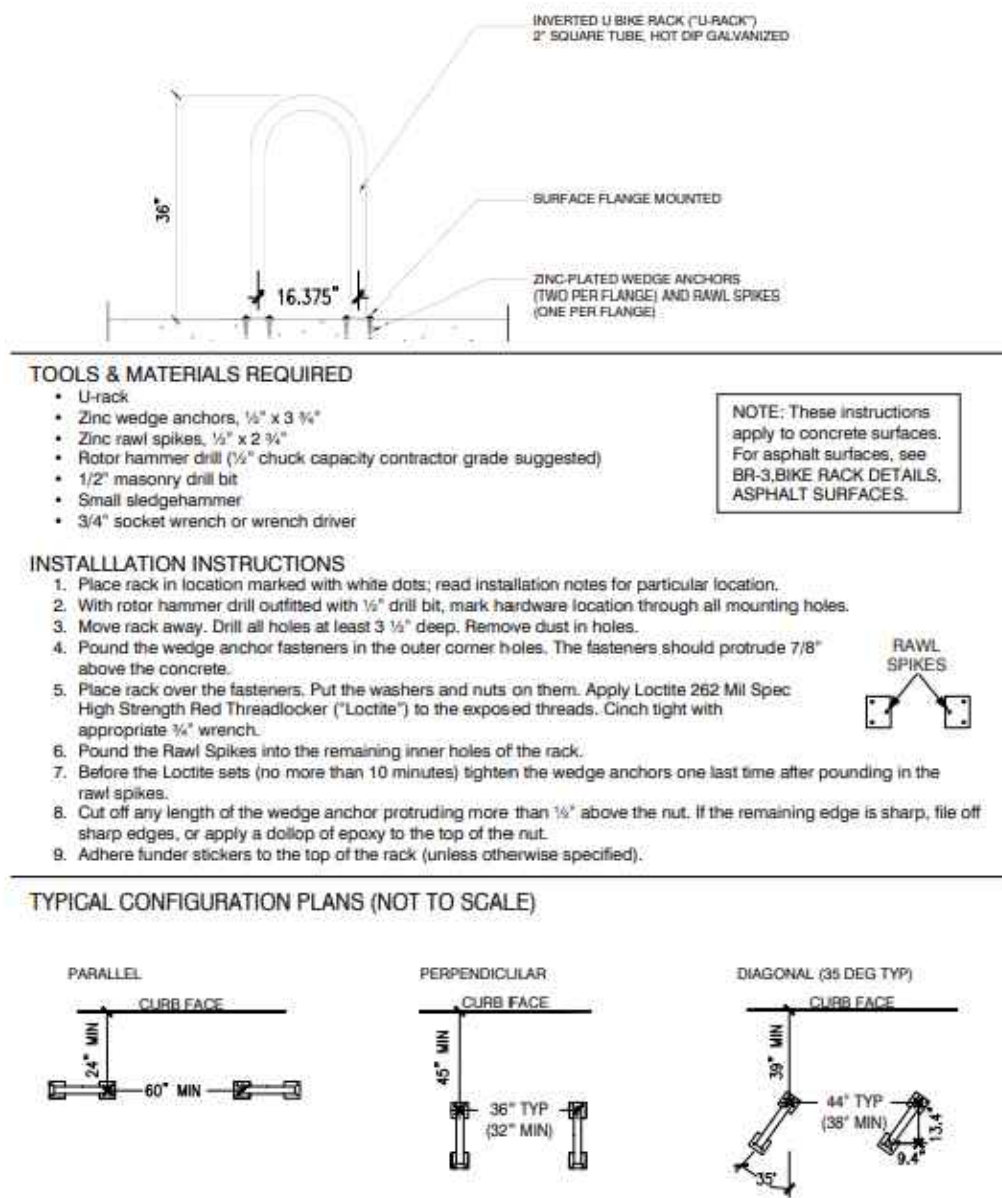
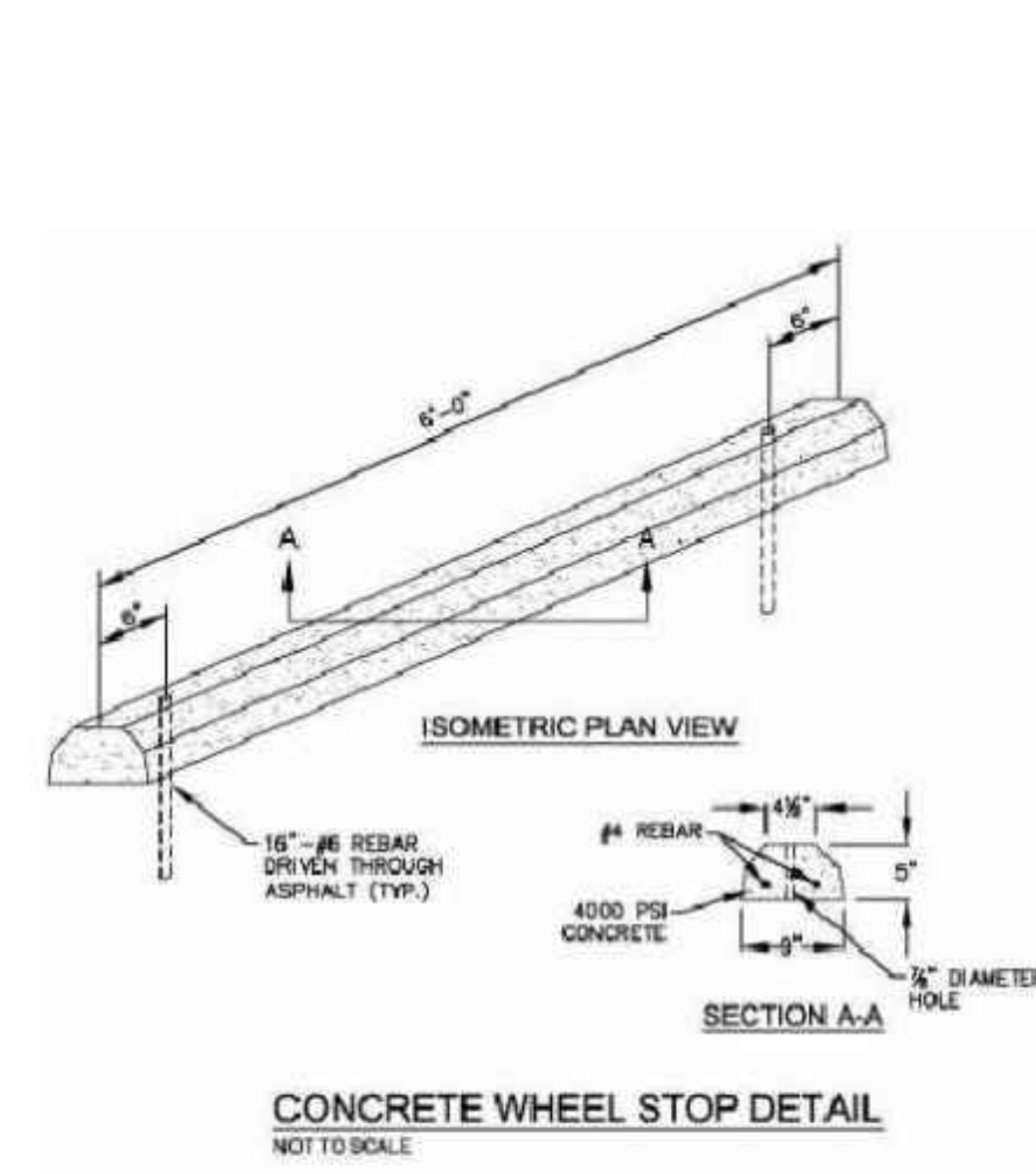
NOTES:  
1. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

NOTES:  
1. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.  
2. IF STOP SIGN IS PROPOSED, STOP LINE GRAPHIC IS NOT REQUIRED.

NOTES:  
1. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

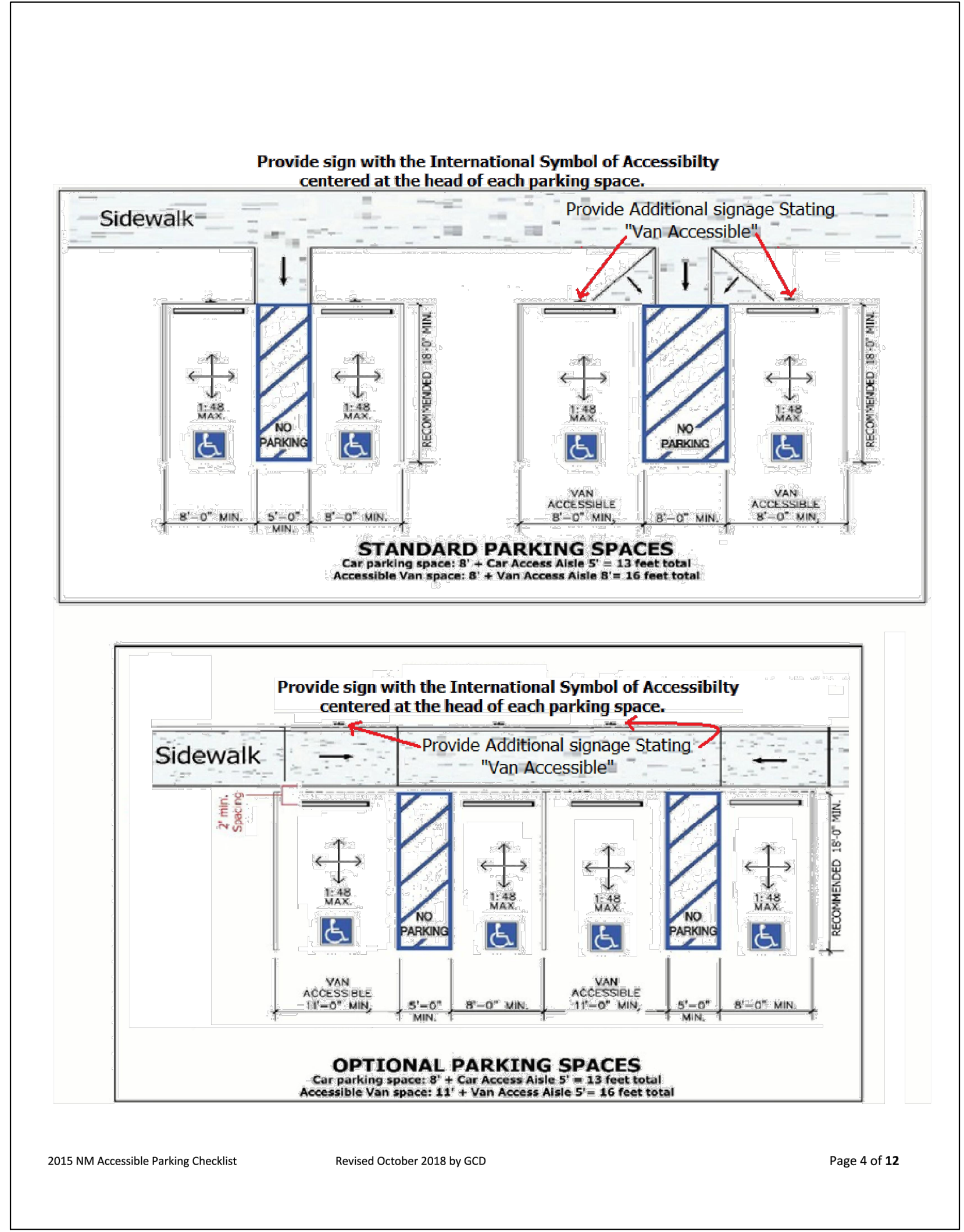
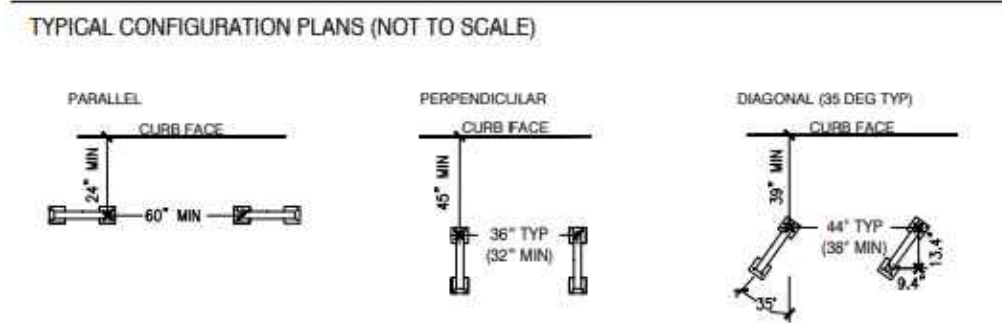


**CONCRETE BOLLARD**  
NOT TO SCALE



**INSTALLATION INSTRUCTIONS**

- Place rack in location marked with white dots; read installation notes for particular location.
- With rotor hammer drill outfitted with 1/2" drill bit, mark hardware location through all mounting holes.
- Move rack away. Drill all holes at least 3 1/2" deep. Remove dust in holes.
- Place the wedge anchor fasteners in the outer corner holes. The fasteners should protrude 7/8" above the concrete.
- Place rack over the fasteners. Put the washers and nuts on them. Apply Loctite 262 Ml Spec High Strength Red Threadlocker ("Loctite") to the exposed threads. Cinch tight with appropriate 1/2" wrench.
- Place the Rawl Spikes into the remaining inner holes of the rack.
- Before the Loctite sets (no more than 10 minutes) tighten the wedge anchors one last time after pounding in the rawl spikes.
- Cut off any length of the wedge anchor protruding more than 1/8" above the nut. If the remaining edge is sharp, file off sharp edges, or apply a chip of epoxy to the top of the nut.
- Adhere fender stickers to the top of the rack (unless otherwise specified).



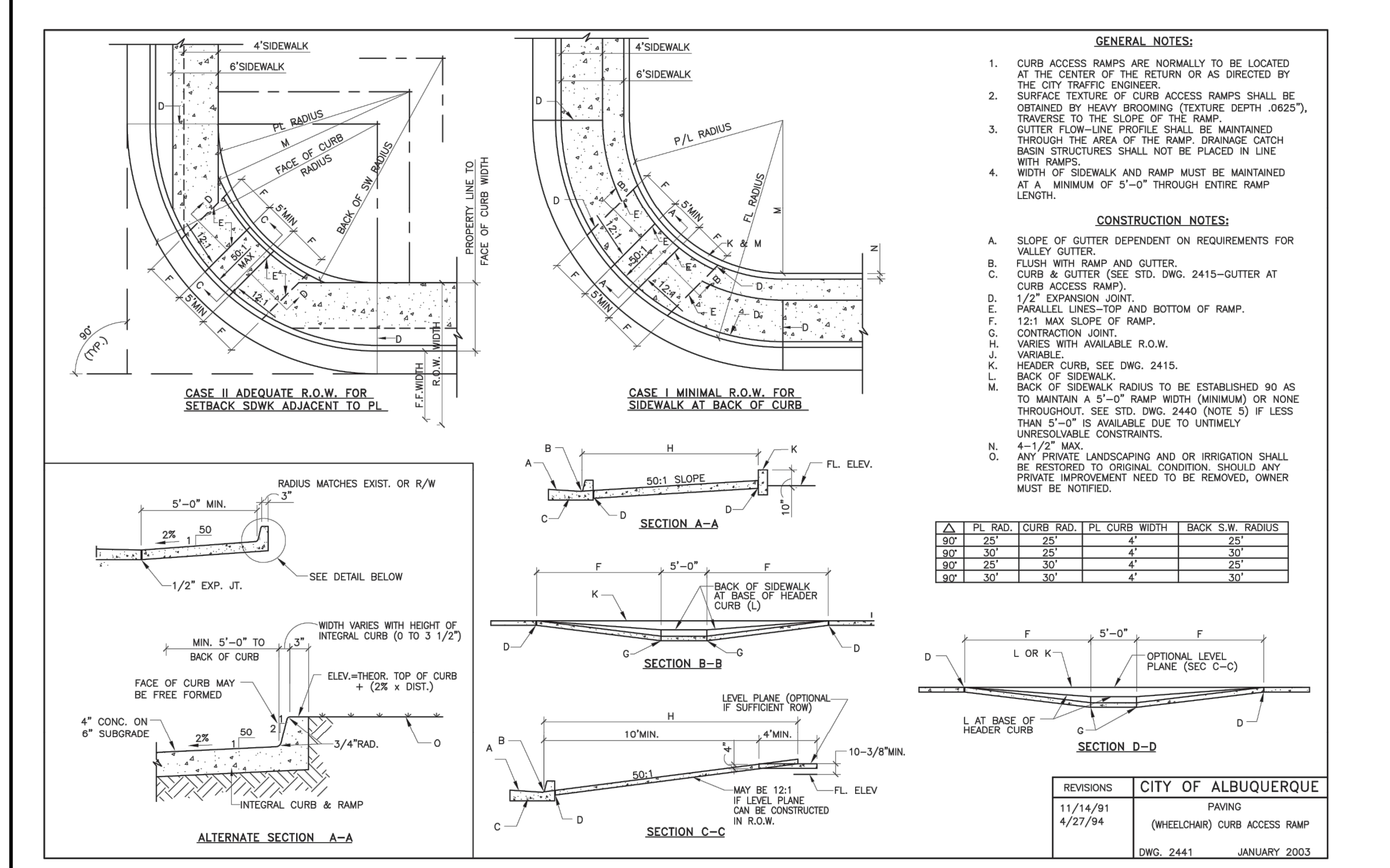
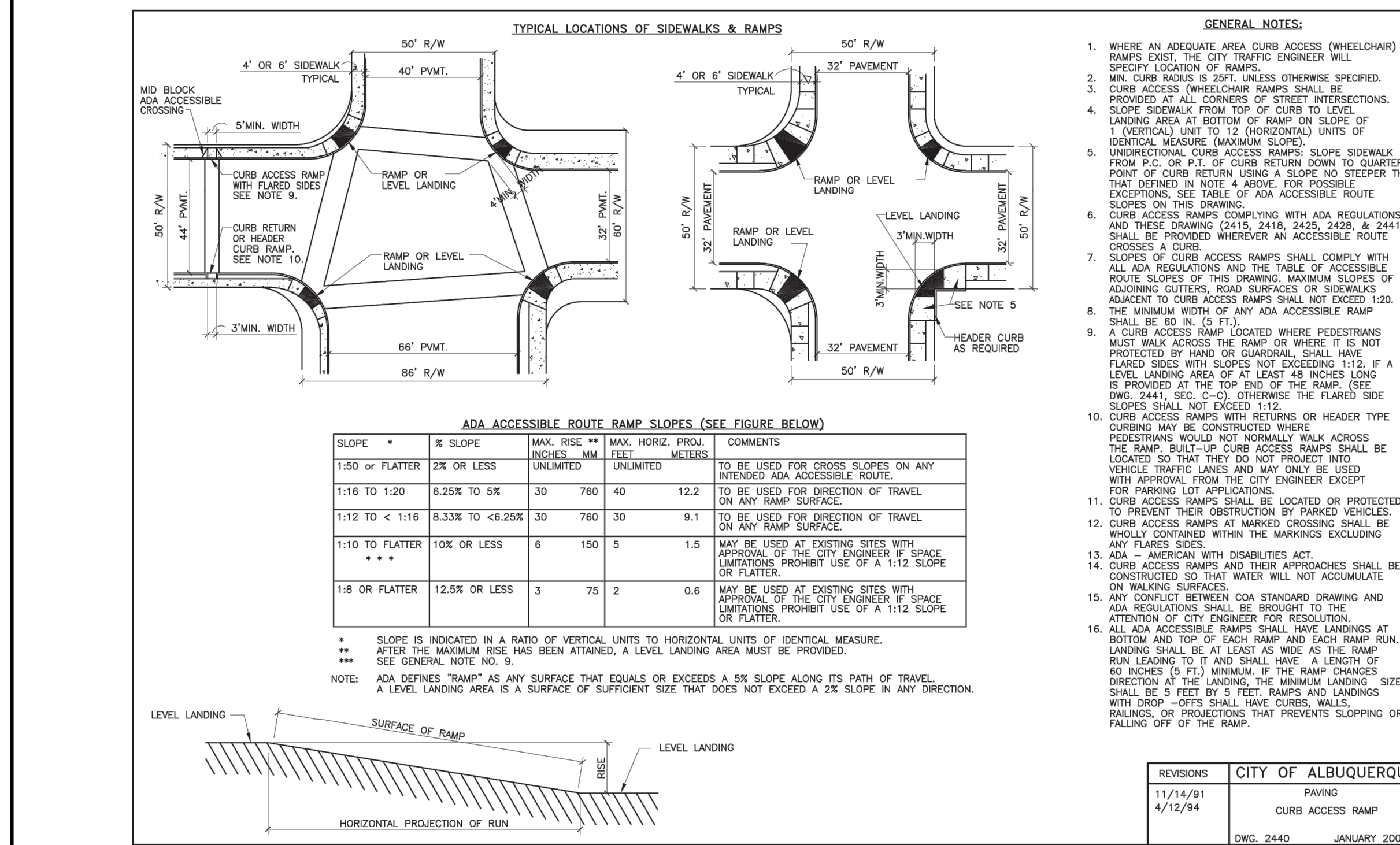
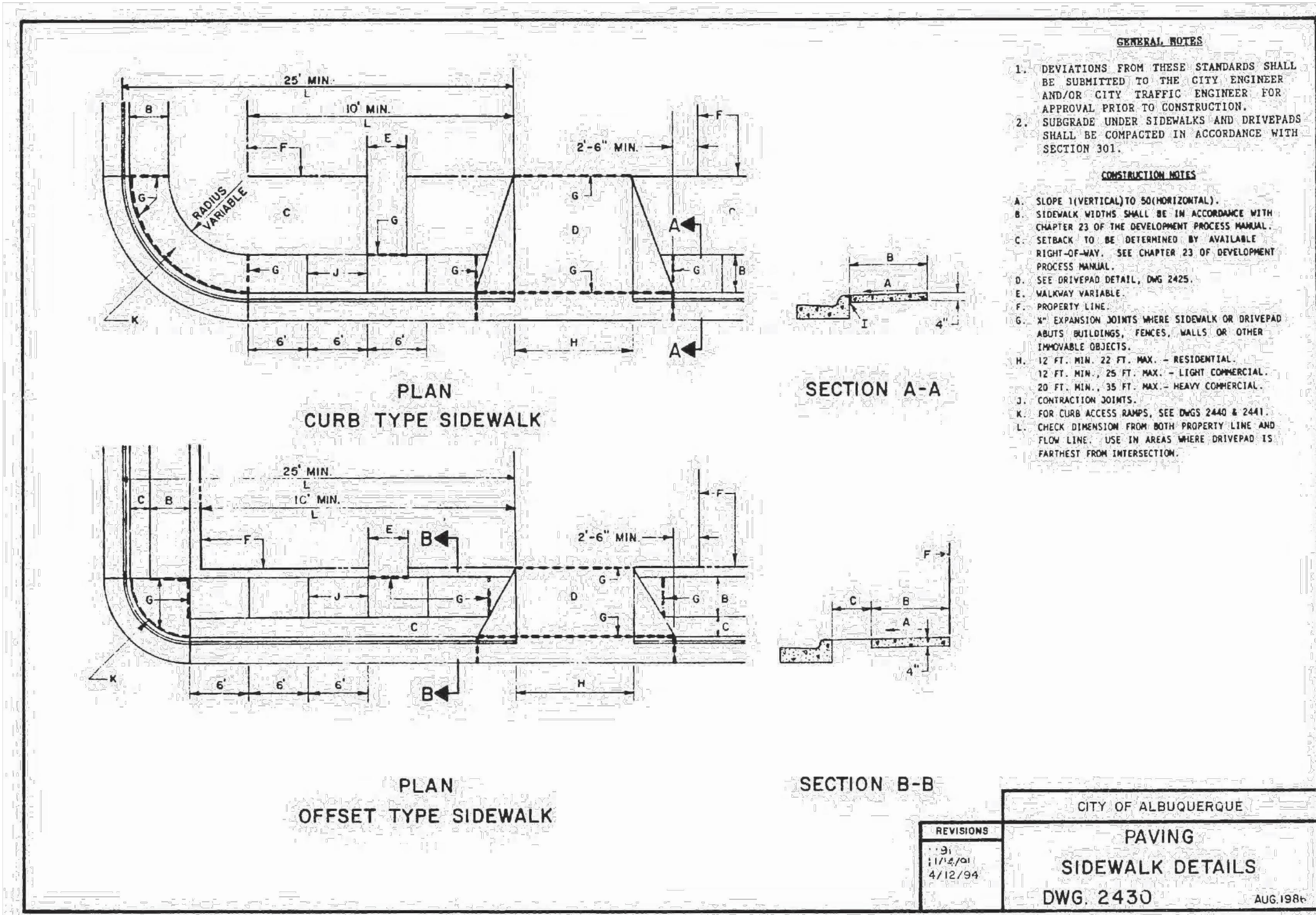
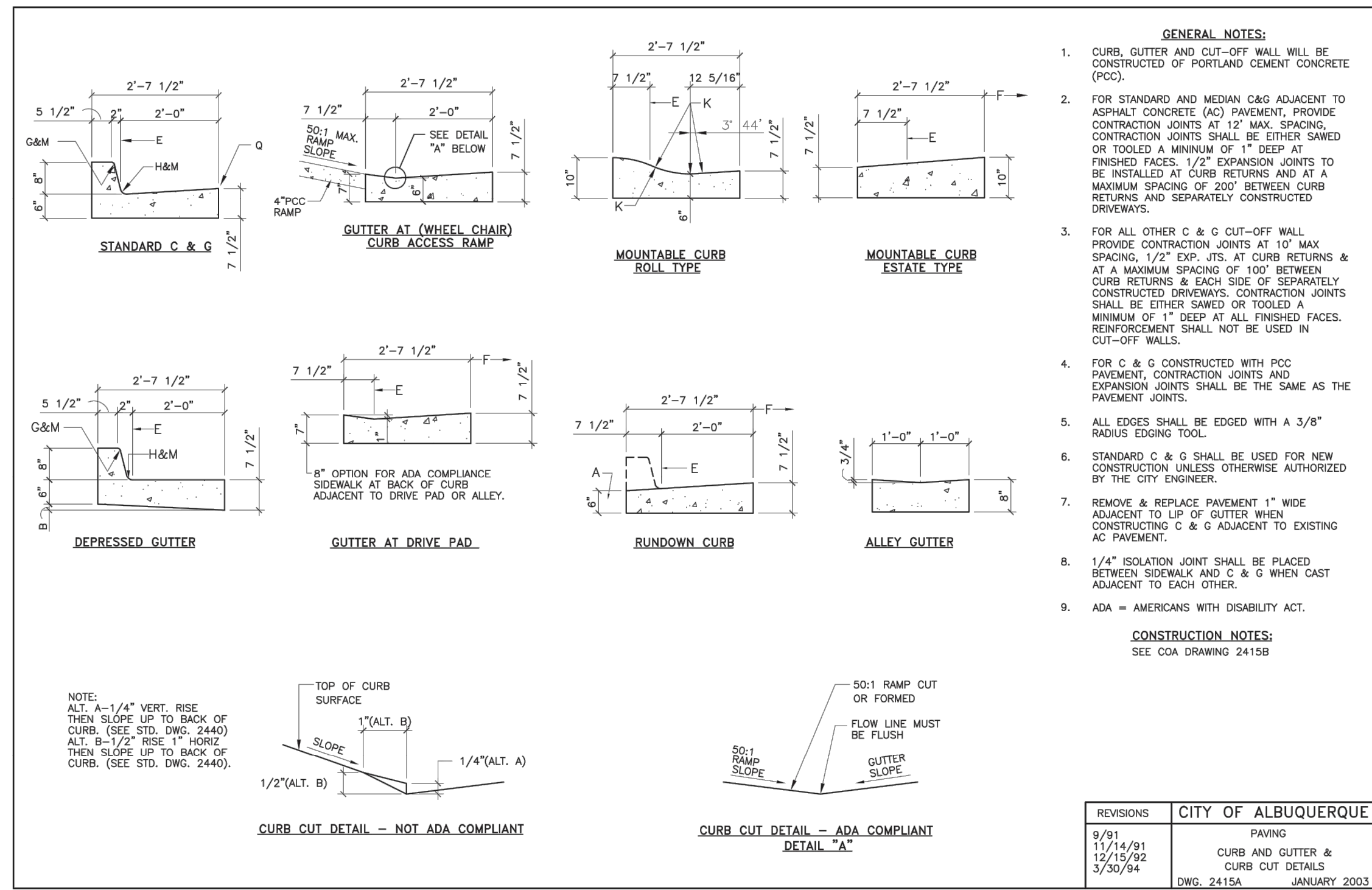
2015 NM Accessible Parking Checklist Revised October 2018 by GCD Page 4 of 12

REVISION	DATE	DESCRIPTION
1		

**CONSTRUCTION DETAILS**  
**WHATABURGER**  
**NEC 98TH ST. & VOLCANO RD.**  
ALBUQUERQUE, NM 87124



DESIGN	DRAWN	CHKD
BB	BB	KAN
JOB No. 070426-01-001		
SHEET C7.0		



**REVISIONS**

REVISION	DATE	DESCRIPTION
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**CONSTRUCTION DETAILS**

**WHATABURGER**

**NEC 98TH ST. & VOLCANO RD.**

ALBUQUERQUE, NM 87124

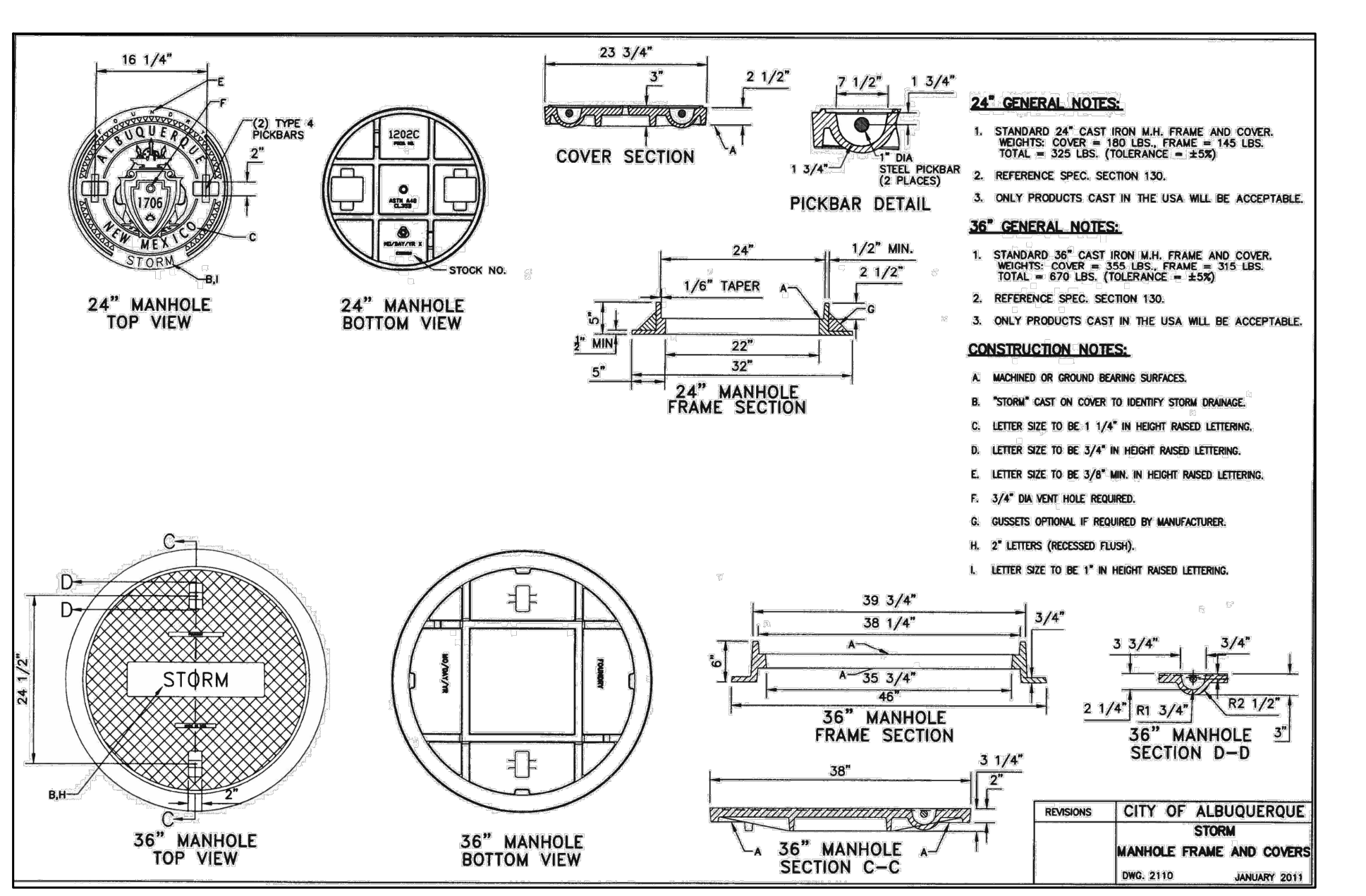
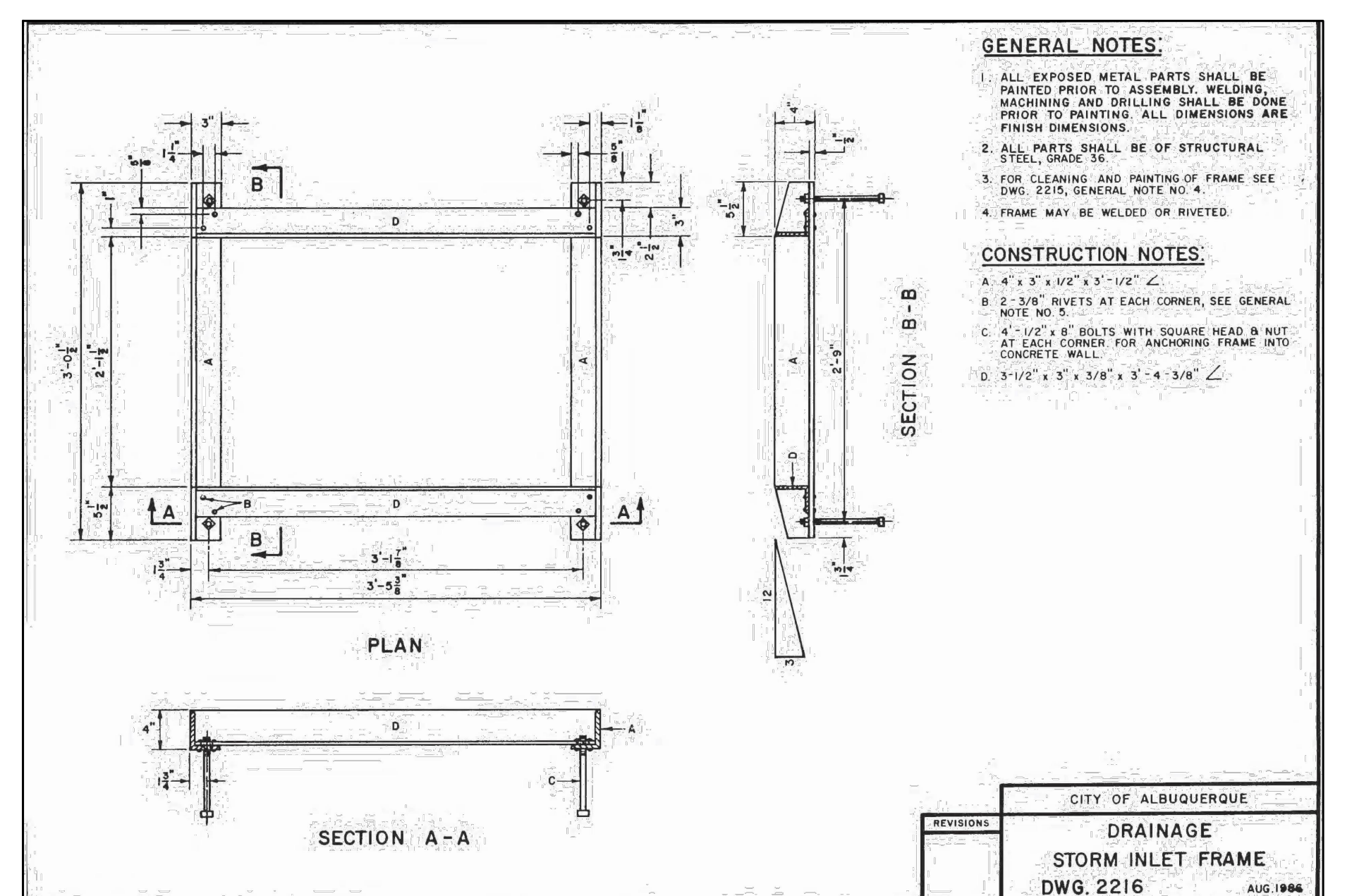
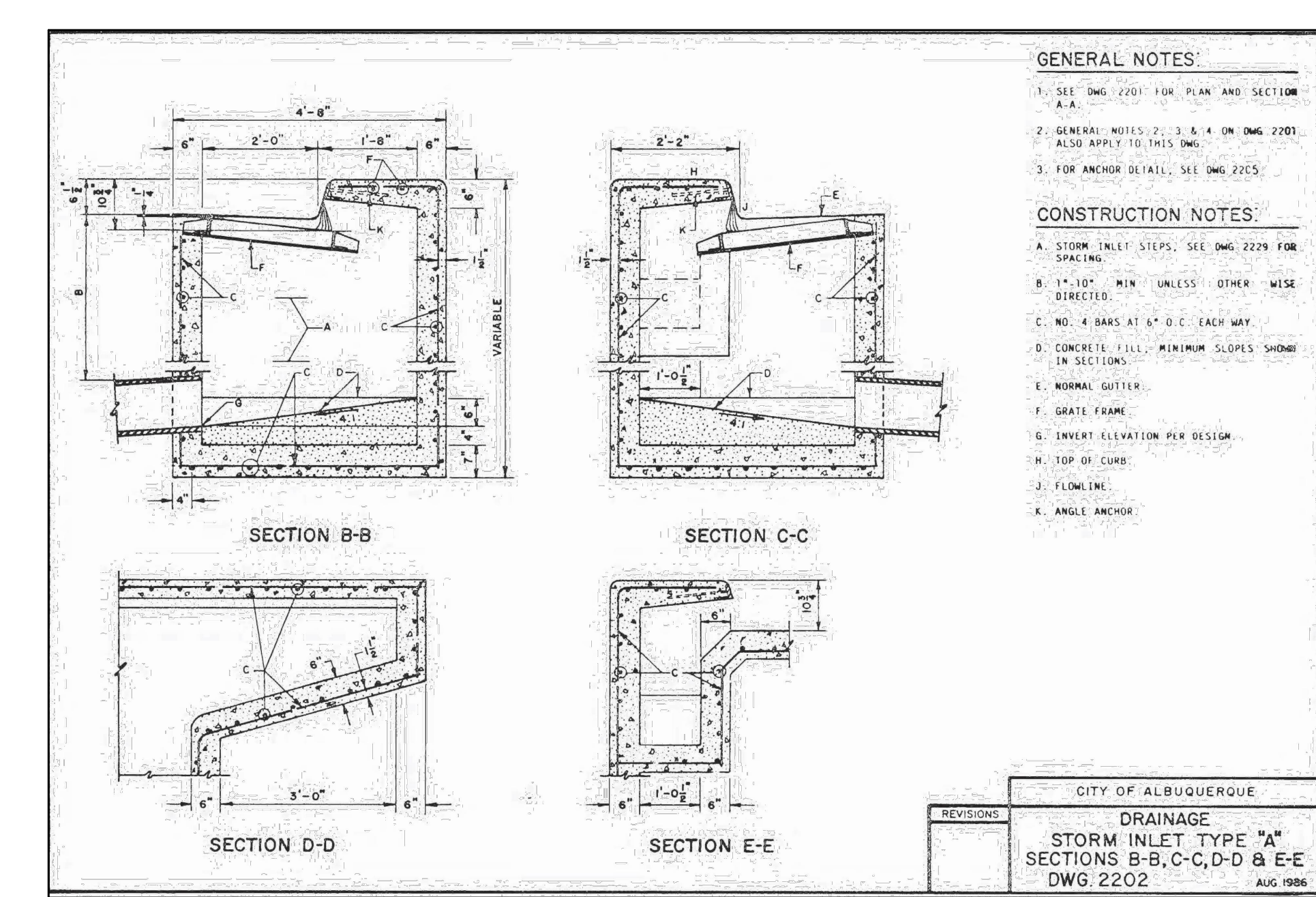
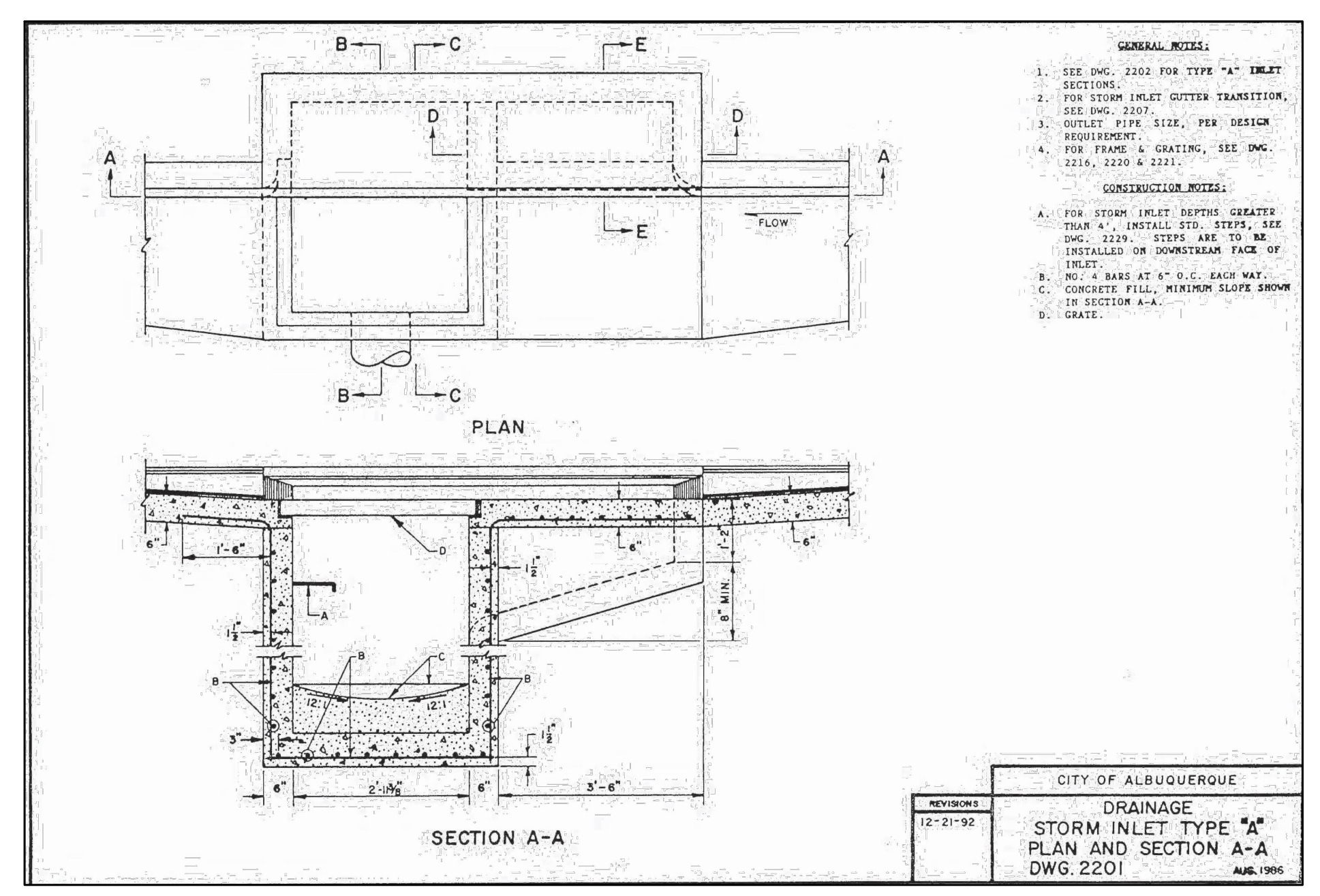
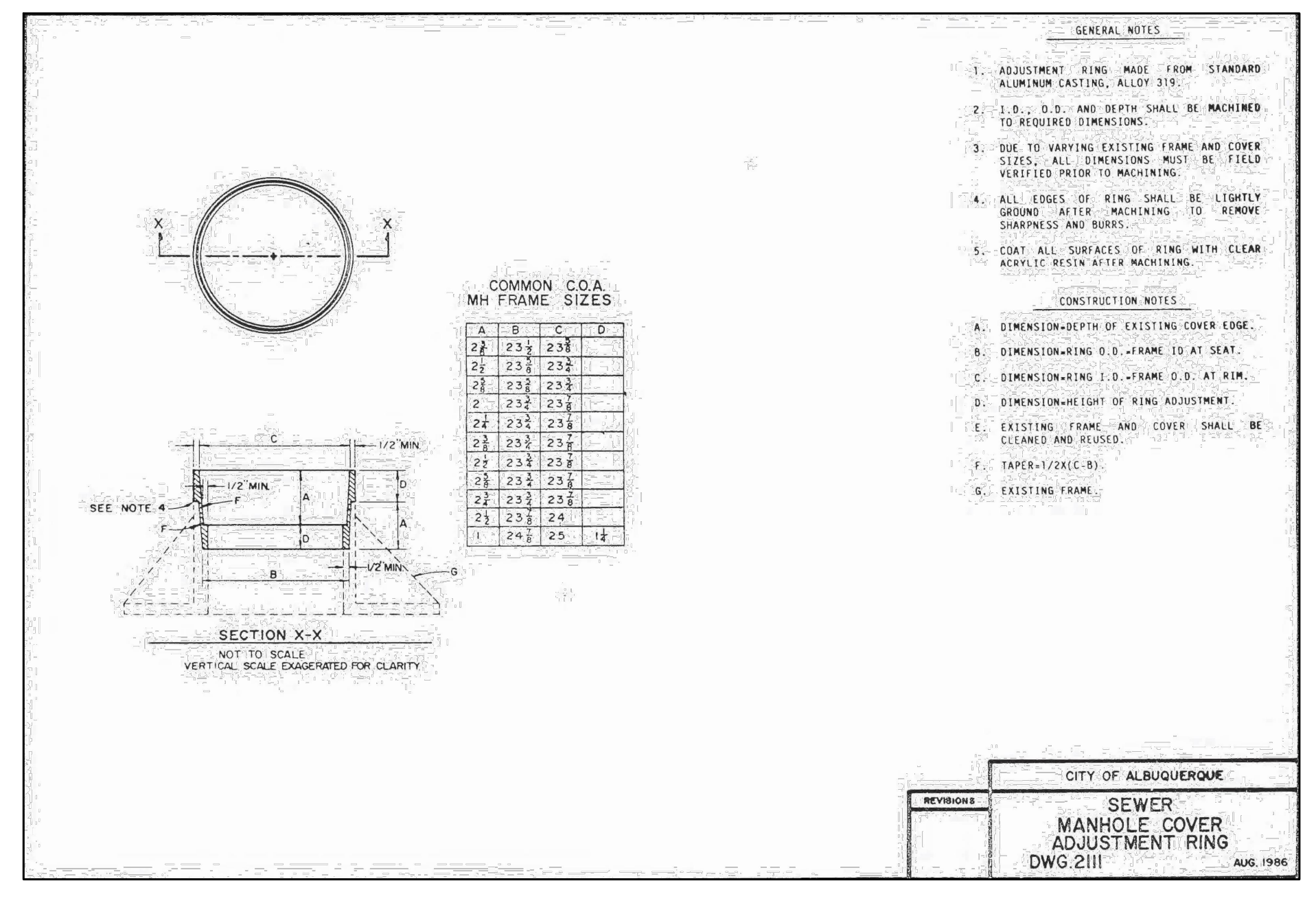
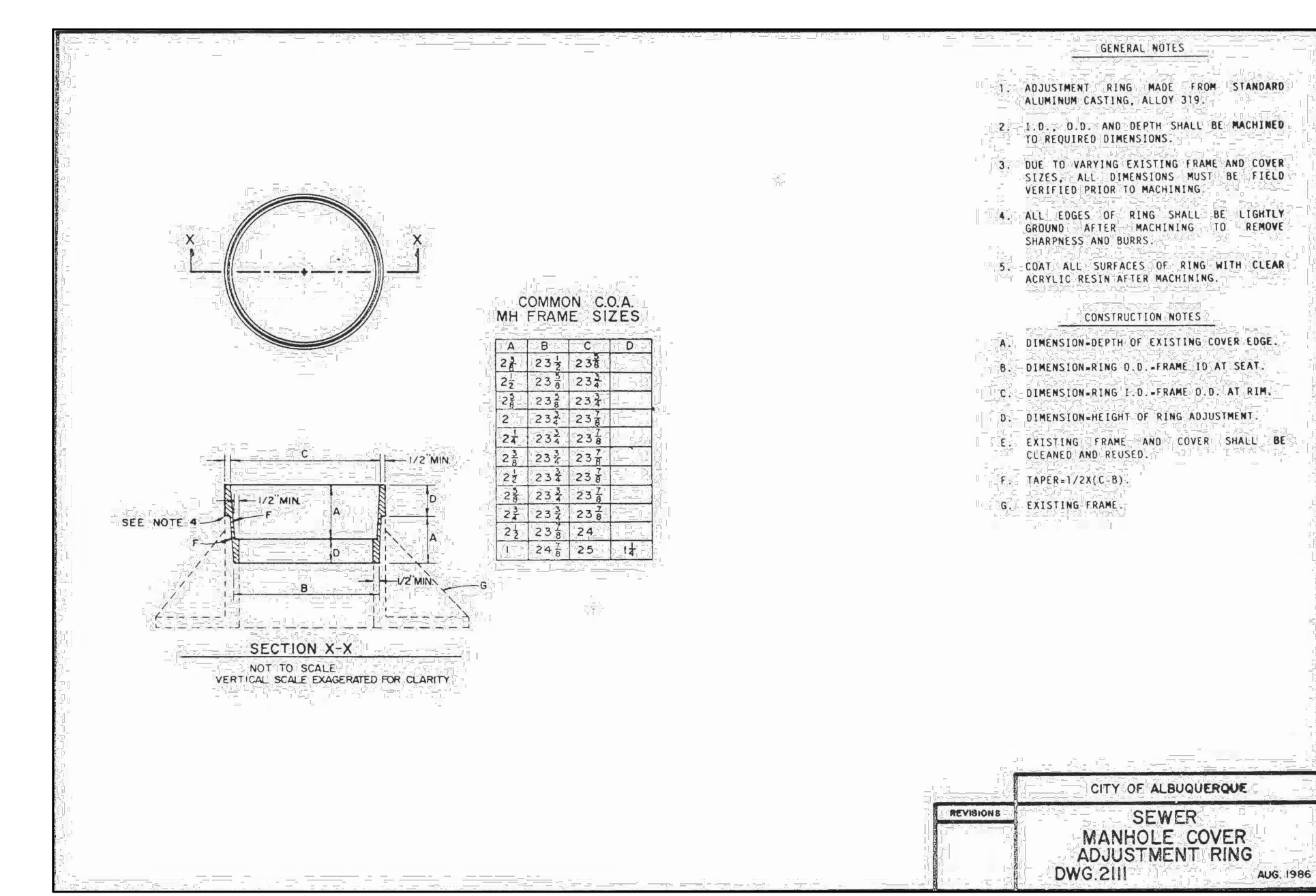
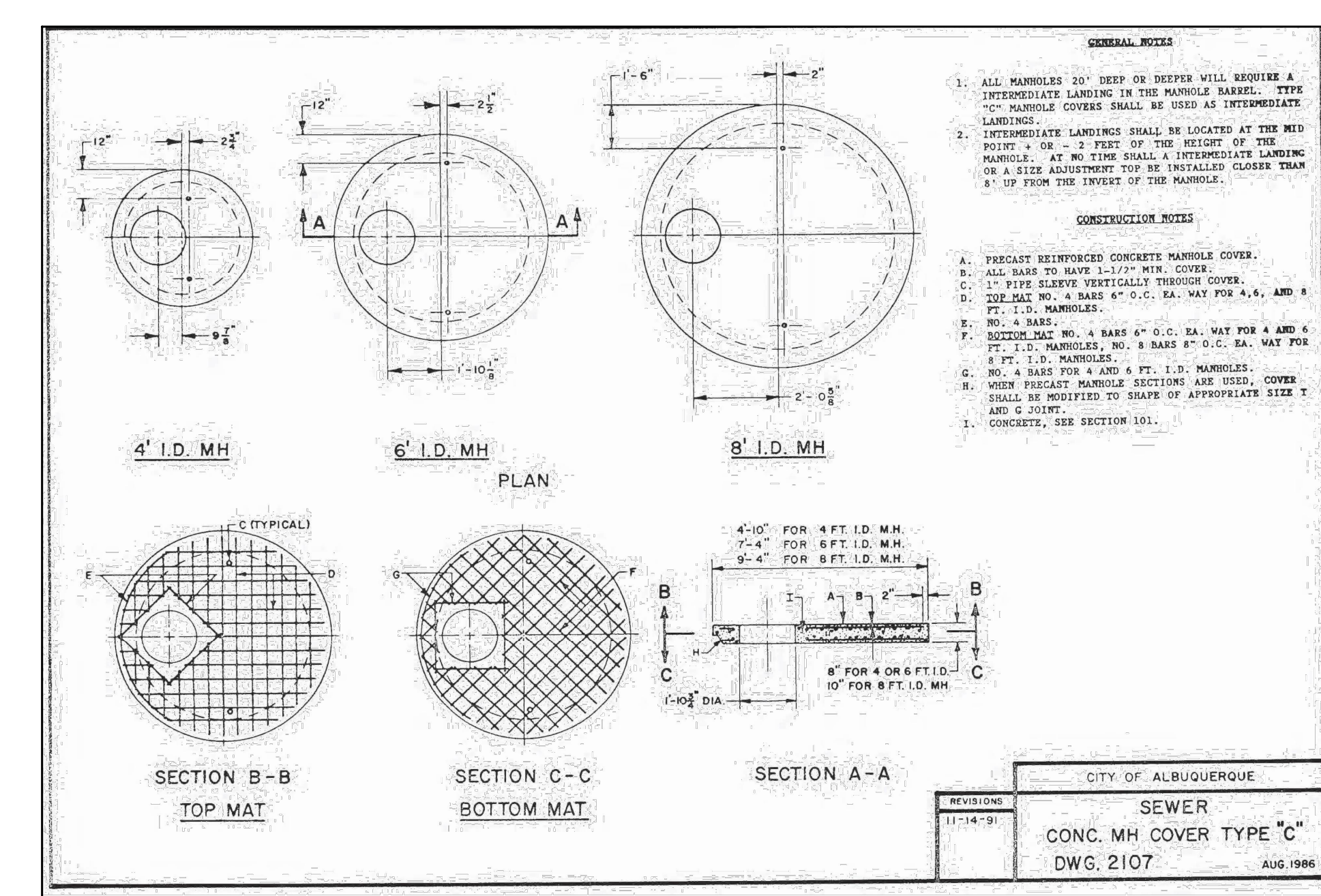
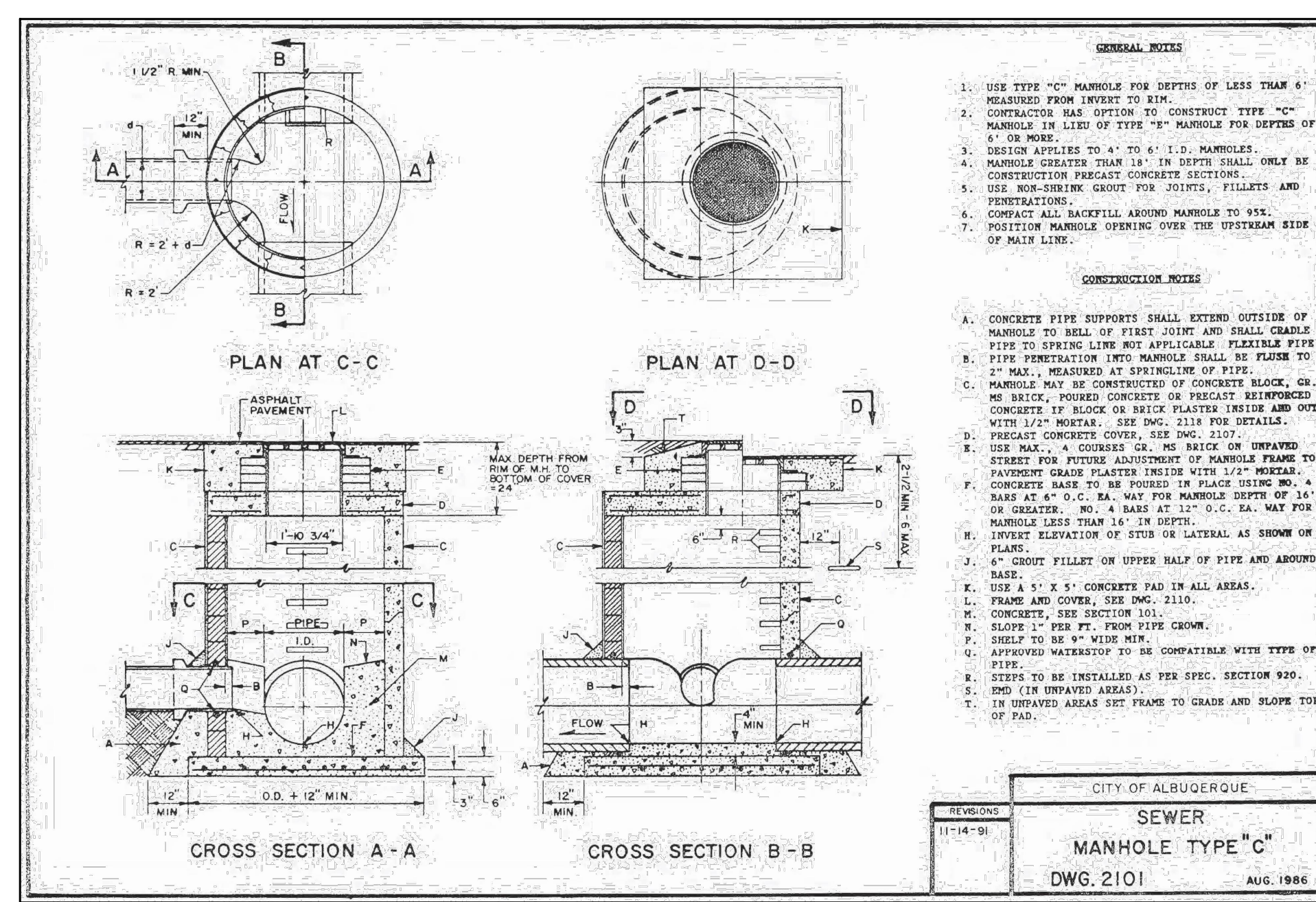
**REVISIONS**

REVISION	DESCRIPTION
11/14/91	PAVING
4/12/94	(WHEELCHAIR) CURB ACCESS RAMP

**CITY OF ALBUQUERQUE**

DWG. 2441 JANUARY 2003

V:\070426 - Whataburger 88th St Albuquerque NM\Engineering\Engineering Plans\Sheet Set\C7.2 - Construction Details.dwg - Construction Details (3 of 3), March 25, 2023, 11:10 AM bhro



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CONSTRUCTION DETAILS  
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