



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Davis Gribble Hollowwa Dental Office		Phone: 505.898.1976
Address: 3610 Calle Curevo NW		Email:
City: Albuquerque	State: NM	Zip: 87114
Professional/Agent (if any): Stephen Leos Architect		Phone: 505.681.2329
Address: 400 Gold Ave SW, Studio 911		Email: stephen@sleosarch.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site:	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

Expand the lobby by 26 sf by bumping out the wall and canopy structure.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)


Lot or Tract No.: Tract D-5A	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): A-14-Z	Existing Zoning: NR-BP	Proposed Zoning:
# of Existing Lots: 1	# of Proposed Lots:	Total Area of Site (acres): .826

LOCATION OF PROPERTY BY STREETS

Site Address/Street: Calle Cuervo NW	Between: Ellison Rd NW	and: Alameda Blvd NW
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Project # **10004870**

Signature: 	Date: August 17, 2021
Printed Name: Stephen Leos	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval **Staff could not find official notice**
- The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired


ALTERNATIVE SIGNAGE PLAN


- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: August 17, 2021
Printed Name: Stephen Leos	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	

August 17, 2021

DRB/EPC
City of Albuquerque

RE: Lobby Expansion - Davis Gribble Hollowwa Dental Office
3610 Calle Cuervo NW

Dear Reviewer,

The Owner of the above noted property would like to expand their existing lobby by 26 sf. The work will be against the building without modifying the parking or site circulation. The exterior elevation appearance will be kept, all existing accessible pathways will be maintained at the front of the building and the circulation path along the side will also be maintained.

Section 6-4(Z)(1)(a) Minor Amendments

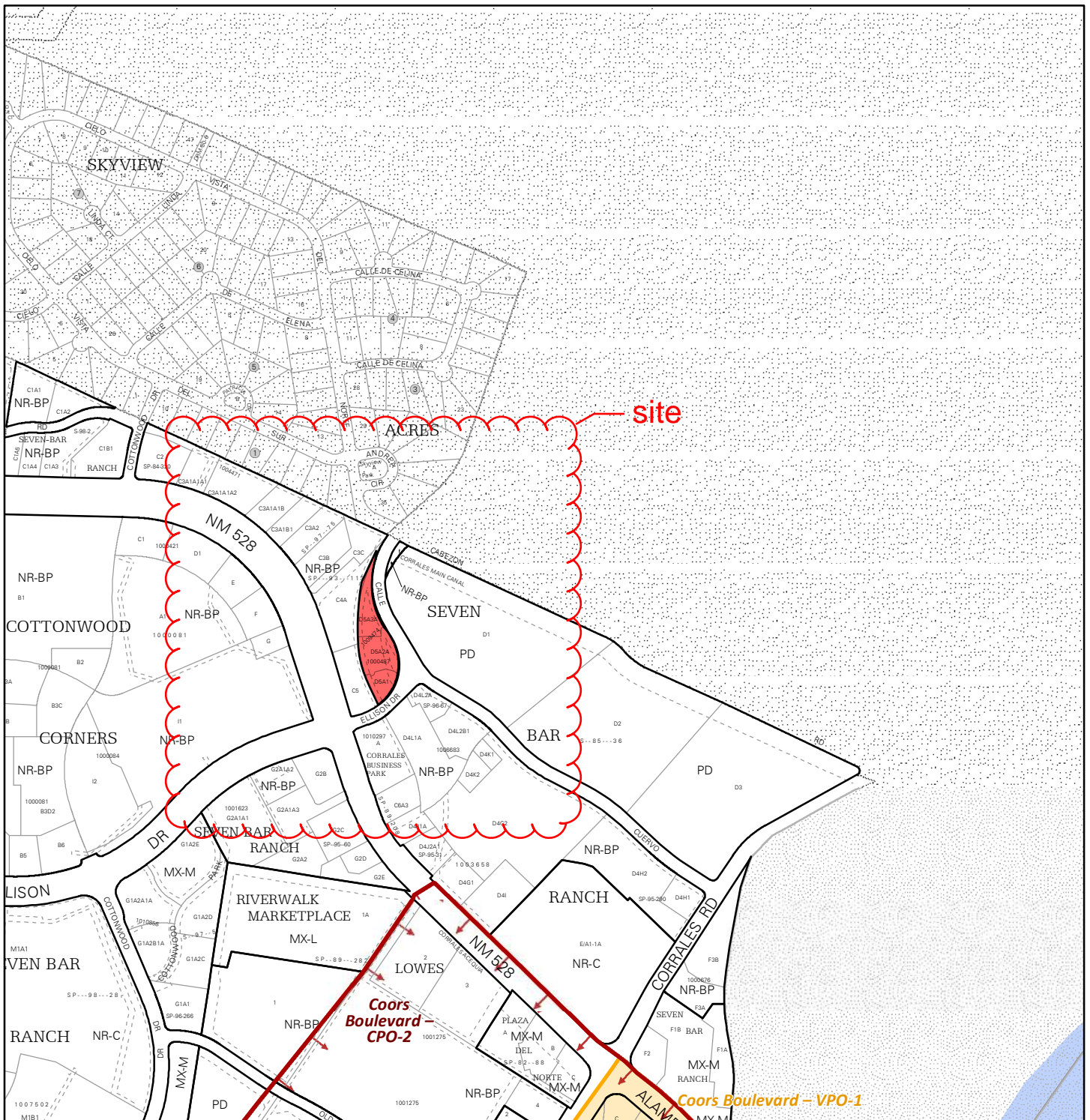
- The requested change(s) meet the intent of the original requirements, the exterior canopy will be rebuilt to match the original construction.
- The requested change(s) are well below the maximum threshold limits of table 6-4-4.
- The requested change(s) do not impact public infrastructure or circulation on the site.

We are requesting an Administrative Site Plan Amendment to allow the work. We appreciate you review of the proposed work.

Very truly yours,
Stephen Leos Architect LLC

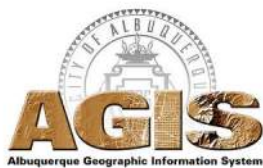


Stephen Leos RA, NCARB, LEED AP BD+C
Owner / Architect

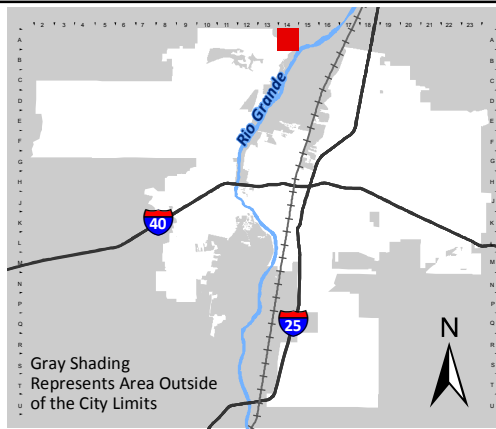


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

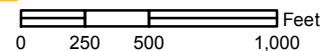


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
A-14-Z

- Easement
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone
- Escarpment





DAVIS • GRIBBLE • HOLLOWWA

August 19, 2021

City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

RE: 3610 Calle Cuervo NW, Albuquerque, NM 87114

To whom it may concern,

Davis Gribble Hollowwa Dental has hired Stephen Leos as our architect. Stephen is authorized to submit the necessary information/paperwork for the building remodel at the aforementioned address. Please feel free to contact me with any questions or concerns.

Sincerely,



John Davis, President

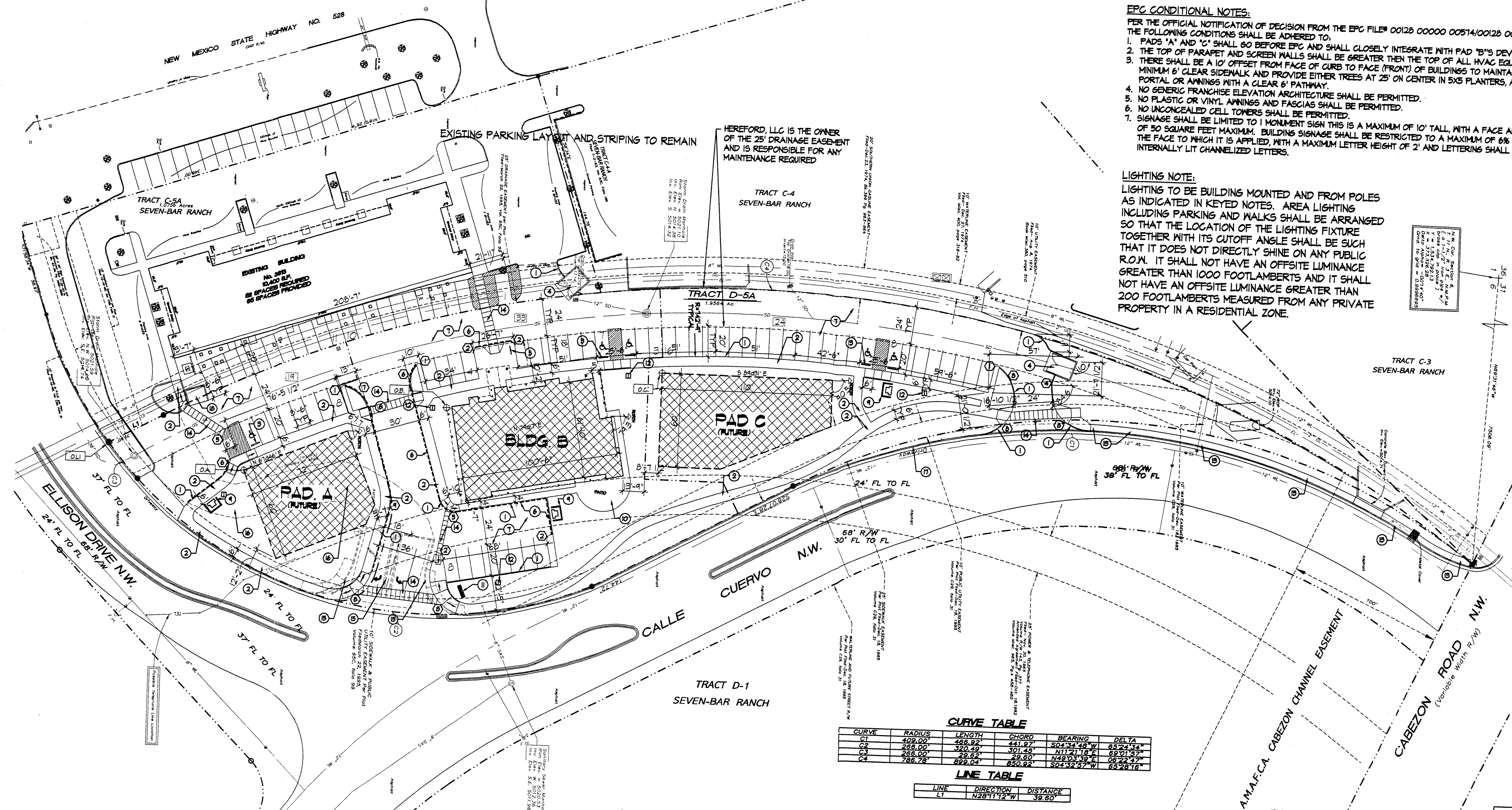
Davis Gribble Hollowwa Dental

DENTAL EXCELLENCE. COMPASSIONATE CARE.

☎ 505-898-1976

📍 3610 Calle Cuervo NW, Albuquerque, NM 87114

🌐 dentistofalbuquerque.com



- EPC CONDITIONAL NOTES:**
 PER THE OFFICIAL NOTIFICATION OF DECISION FROM THE EPC FILE# 00128 00000 00514/00128 00000 00515, THE FOLLOWING CONDITIONS SHALL BE ADHERED TO:
- PADS 'A' AND 'C' SHALL GO BEFORE EPC AND SHALL CLOSELY INTEGRATE WITH PAD 'B'S' DEVELOPMENT.
 - THE TOP OF PARAPET AND SCREEN WALLS SHALL BE GREATER THEN THE TOP OF ALL HVAC EQUIPMENT.
 - THERE SHALL BE A 10' OFFSET FROM FACE OF CURB TO FACE (FRONT) OF BUILDINGS TO MAINTAIN A MINIMUM 6' CLEAR SIDEWALK AND PROVIDE EITHER TREES AT 25' ON CENTER IN 5X5 PLANTERS, A PORTAL OR AVENUES WITH A CLEAR 6' PATHWAY.
 - NO GENERIC FRANCHISE ELEVATION ARCHITECTURE SHALL BE PERMITTED.
 - NO PLASTIC OR VINYL AWNINGS AND FASCIA'S SHALL BE PERMITTED.
 - NO UNCONCEALED CELL TOWERS SHALL BE PERMITTED.
 - SIGNAGE SHALL BE LIMITED TO 1 MONUMENT SIGN THIS IS A MAXIMUM OF 10' TALL, WITH A FACE AREA OF 50 SQUARE FEET MAXIMUM. BUILDING SIGNAGE SHALL BE RESTRICTED TO A MAXIMUM OF 6% OF THE FACE TO WHICH IT IS APPLIED, WITH A MAXIMUM LETTER HEIGHT OF 2' AND LETTERING SHALL BE INTERNALLY LIT CHANNELIZED LETTERS.

LIGHTING NOTE:
 LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.W. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

- KEYED NOTES**
- NEW STANDARD CURB TYPICAL
 - NEW SIDEWALK TYPICAL
 - NEW PARKING BUMPER - (5) REQUIRED
 - NEW REFUSE CONTAINER SEE DETAIL THIS SHEET
 - NEW RIBBON STYLE BIKE RACK 5 SPACES
 - FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
 - STANDARD DUTY ASPHALT PAVING TYPICAL
 - NOT USED
 - INDICATES PROPOSED LOCATION OF PNM TRANSFORMER.
 - CONCRETE PATIO - 300 S.F. PROVIDE WITH TABLES W/ INTEGRAL UMBRELLAS AND MAKE ACCESSIBLE TO VISITORS AND EMPLOYEES.
 - MONUMENT SIGN (1)
 - LIGHT POLES (4) - SEE DETAIL THIS SHEET
 - EXISTING 4' WIDE SIDEWALK TO REMAIN
 - PEDESTRIAN ACCESS - SCORED & RAISED SURFACE
 - EXISTING MEDIAN AND CURB RETURN TO BE REMOVED
 - EXISTING ASPHALT DRIVE TO BE REMOVED
 - EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH CURB & GUTTER
 - EXISTING REFUSE ENCLOSURE TO REMAIN

GENERAL NOTES - CITY REQUIRED

- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK; AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- ALL SIDEWALK AND CURB IN DISREPAIR WILL BE REMOVED AND REPLACED.
- CONSTRUCT CURB RETURN PER CITY OF ALBUQUERQUE STANDARD DETAILS NO. 2426
- CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.
- ALL EASEMENTS SHOWN ON THIS PLAN ARE EXISTING TO REMAIN.
- ALL OFFSITE ELEMENTS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

PROJECT INFORMATION

LOCATION: SOUTHWEST CORNER OF ELLISON & CALLE CUERVO NW

DEVELOPER: HEREFORD LLC

LEGAL DESCRIPTION: TRACT D-5A OF SEVEN BAR RANCH WITHIN SECTION 5, TOWNSHIP 11 NORTH, RANGE 9 EAST N1/4M, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

CURRENT ZONING: SU-1 FOR IP USES

PROPOSED: SAME

TOTAL ACREAGE: 1.8564 ACRES

ZONING ATLAS PAGE: A-14-Z

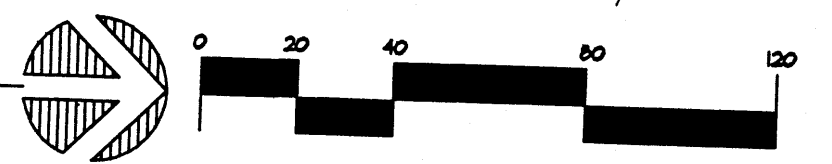
CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	408.00'	268.92'	441.97'	S04°34'48"W	68°51'25"
C2	688.00'	320.49'	501.45'	N11°21'18"E	68°51'25"
C3	688.00'	49.62'	238.50'	N43°32'37"W	68°51'25"
C4	288.78'	892.04'	850.92'	S24°32'37"W	68°51'25"

LINE TABLE

LINE	DIRECTION	DISTANCE
LT	N28°11'12"W	38.60'

SITE PLAN
 SCALE: 1"=40'-0"



BUILDINGS ORIGIN POINTS FROM O-LI

O.A. BUILDING A 88°-11.25' = S 80d18' E
 O.B. BUILDING B 214°-4.13' = N 82d18' 31"
 O.C. BUILDING C 360°-4.48' = N 81d2' E

BUILDING LEGEND (BUILDING "B")

DENTIST OFFICE BUILDING 6,068 S.F.

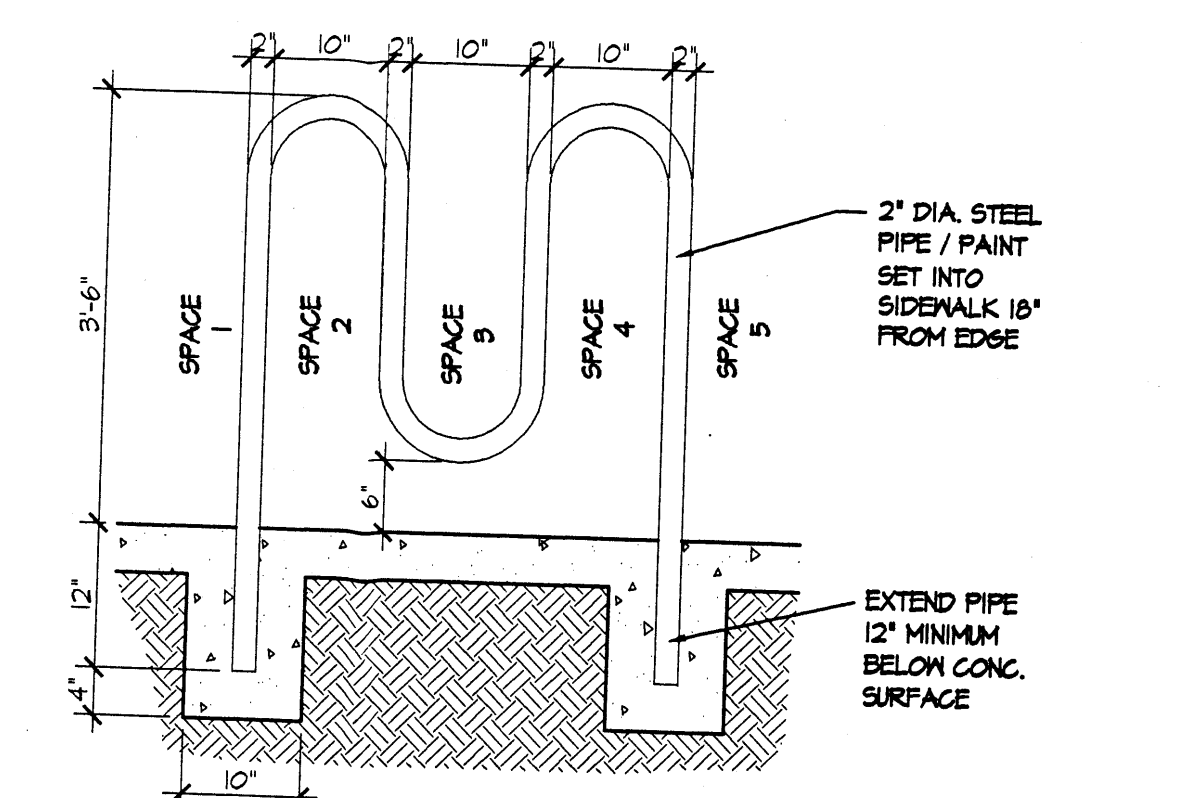
PARKING REQUIRED: OFFICE = 1 PER 200 S.F. = 31 SPACES (2 HC. SPACES)

PARKING PROVIDED: 33 SPACES (2 HC. SPACES)

BICYCLE PARKING: 4 SPACES NEEDED / 5 SPACES PROVIDED

LANDSCAPING REQUIRED: BLDG. "B" SITE = 36,002 S.F. - 6,068 S.F. (BUILDING AREA) = 24,934 NET LOT AREA * .15 = 3,740 S.F.

LANDSCAPING PROVIDED: 8,152 S.F.



2 BICYCLE RACK
 SCALE: 3/4"=1'-0"

BUILDING LEGEND (SUBDIVISION)

BUILDING	AREA	SPACES
FUTURE OFFICE BUILDING A	4,200 S.F.	
DENTIST OFFICE BUILDING B	6,068 S.F.	
FUTURE OFFICE BUILDING C	4,800 S.F.	
TOTAL	15,068 S.F.	

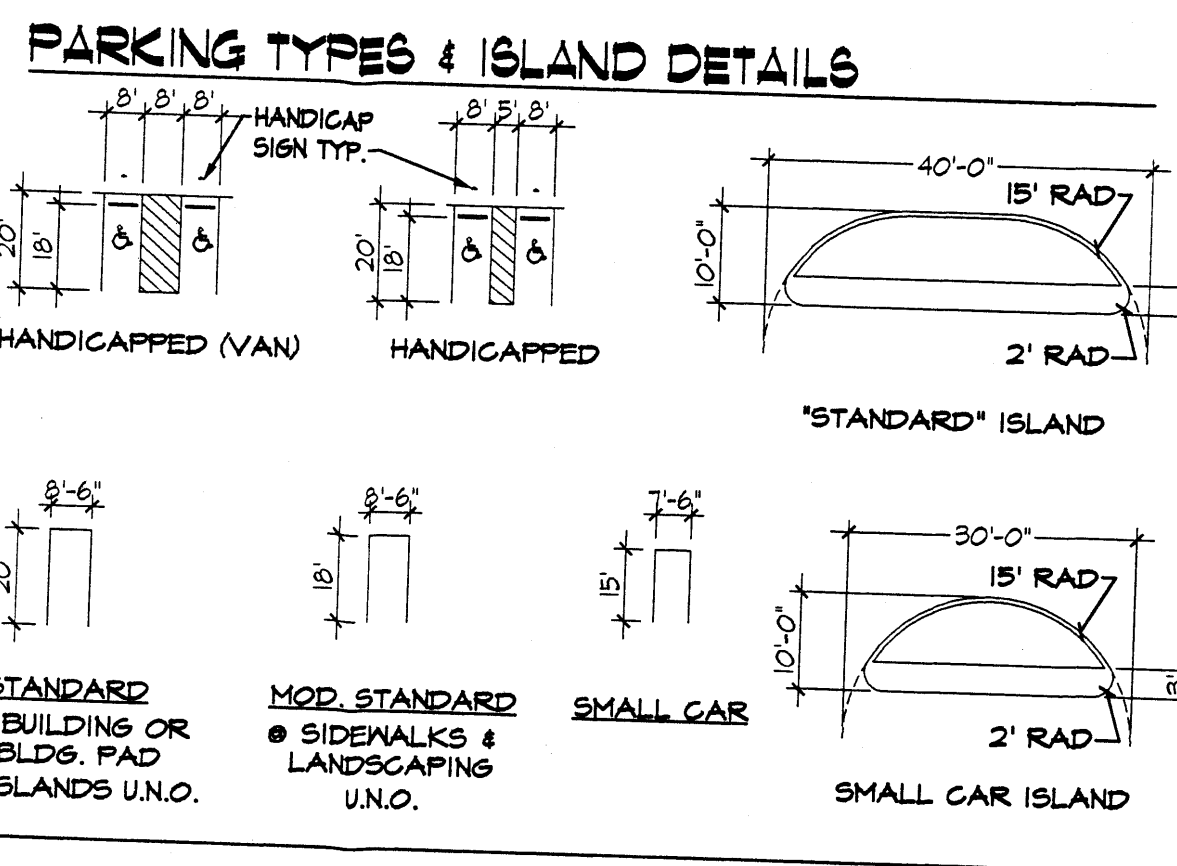
PARKING REQUIRED: OFFICE = 1 PER 200 S.F. = 76 SPACES (4 HC. SPACES)

PARKING PROVIDED: 76 SPACES (5 HC. SPACES)

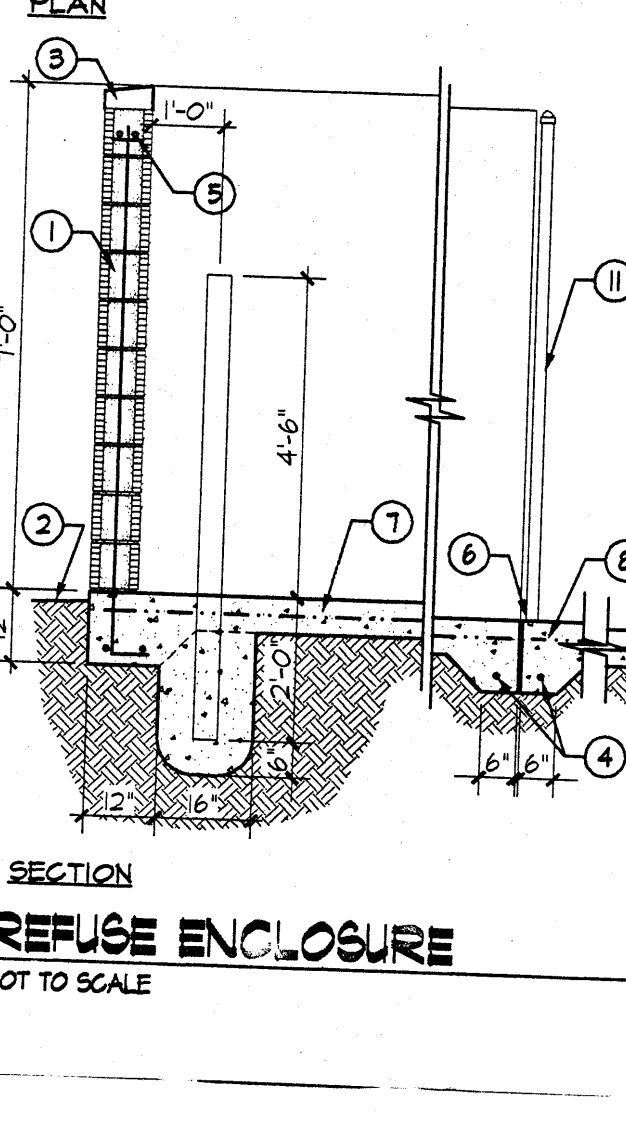
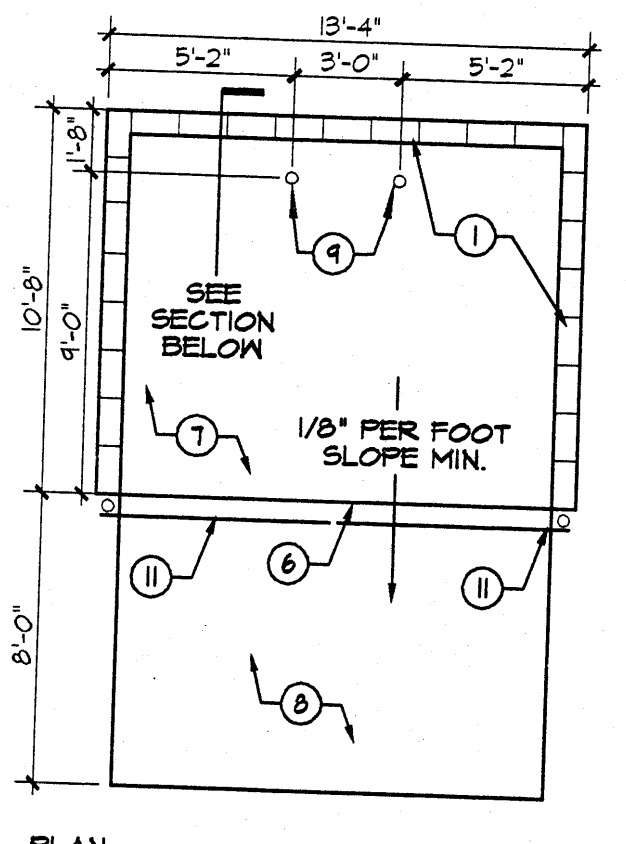
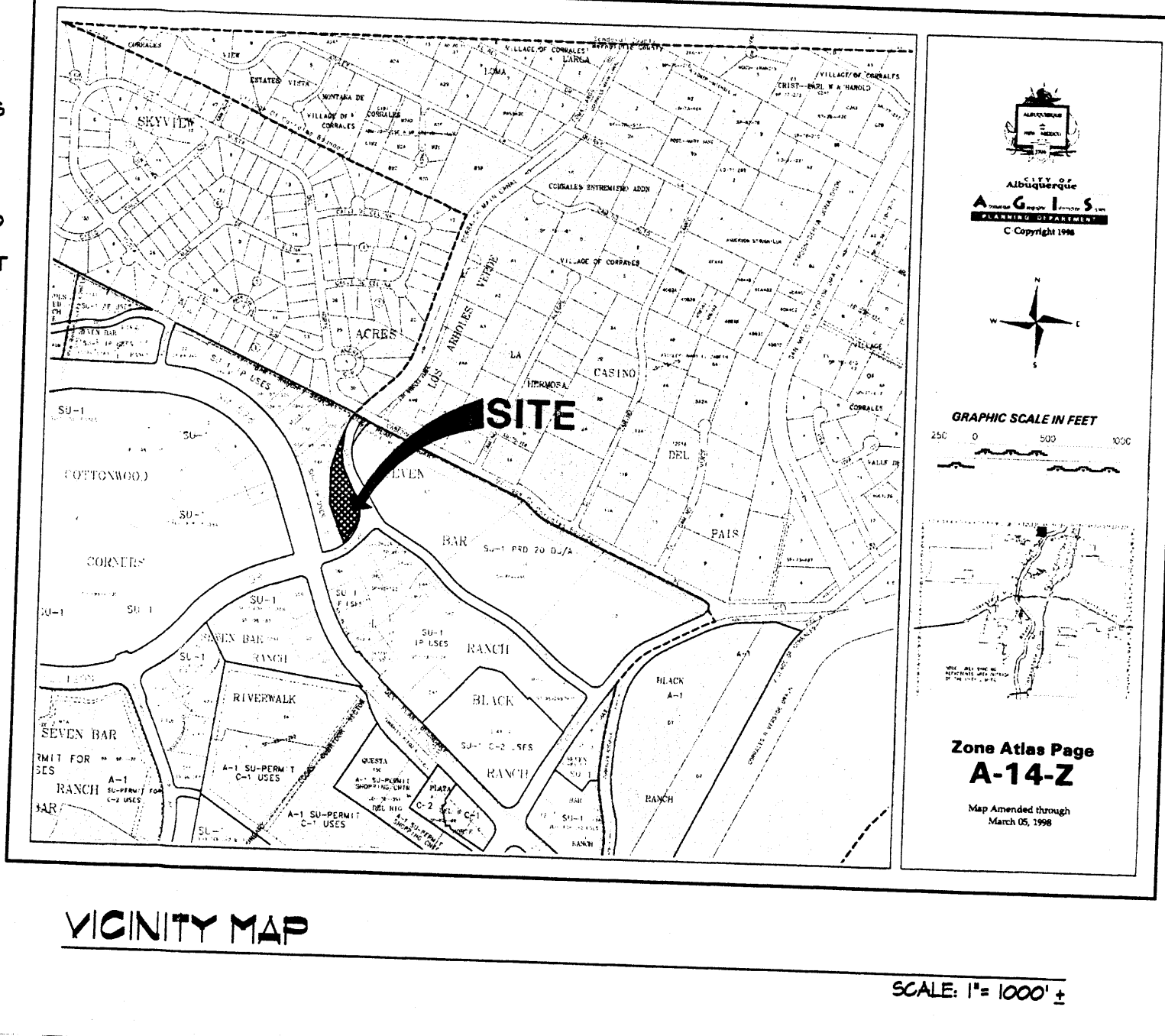
BICYCLE PARKING: 4 SPACES NEEDED / 5 SPACES PROVIDED

LANDSCAPING REQUIRED: TOTAL SITE = 85,214.83 S.F. - 15,068 S.F. (BUILDING AREA) = 70,146.83 NET LOT AREA * .15 = 10,522.02 S.F.

LANDSCAPING PROVIDED: 21,629 S.F.



- LEGEND:**
- Underground Utility = [Symbol]
 - Pedestal = [Symbol]
 - Water Meter = [Symbol]
 - Light Pole = [Symbol]
 - Drop Inlet = [Symbol]
 - Transformer = [Symbol]
 - Tree = [Symbol]
 - Water Valve = [Symbol]
 - Traffic Signal Box = [Symbol]
 - Sprinkler Control Box = [Symbol]
 - Electric Box = [Symbol]
 - Traffic Signal = [Symbol]
 - Clean Out = [Symbol]
 - Storm Drain Man Hole = [Symbol]
 - Sanitary Sewer Man Hole = [Symbol]



- REFUSE NOTES**
- 8" CMU BLOCK WALL W/ STUCCO FINISH - COLOR TO MATCH BLDG.
 - FINISH GRADE
 - MASONRY CAP
 - 1- #5 BAR CONT. @ BOTTOM OF 6" TURNDOWNS, 2- #5 BARS @ BOTTOM OF 12" TURNDOWNS
 - 2- #5 BARS @ TOP KNOCK OUT CMU BOND BEAM AND 2- #5 BARS CONT. @ BOTTOM OF TURNDOWN UNDER WALLS PROVIDE #5 BARS @ 32" O.C. VERTICAL, GROUT REINFORCED CELLS, PURWALL @ 16" O.C. HORIZONTAL
 - 1/2" EXPANSION JOINT MATERIAL
 - 6" CONCRETE SLAB, 4000 PSI, 3/4" AGGREGATE WITH 6X6 - 10X10MM W/ 12" TURNDOWN EDGES UNDER CMU WALLS (W/ 2-#5 CONT.) AND 6" TURNDOWN @ APRON (W/ 1-#5 CONT.)
 - 6" CONCRETE APRON, 4000 PSI, 3/4" AGGREGATE WITH 6X6 - 10X10MM W/ 6" TURNDOWN EDGES (W/ 1-#5 CONT.) ALL AROUND EXCEPT 12" @ ENTRY (W/ 2-#5 CONT.)
 - 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING PAINT TO MATCH ENCLOSURE COLOR
 - ASPHALT PAVING - SEE PAVING SECTION
 - WOOD GATE PAINTED - COLOR TO MATCH BUILDING PROVIDE DROP ANCHORS @ EACH LEAF AND ALL NECESSARY ITEMS FOR A COMPLETE ASSEMBLY

CASE NUMBER: Z - 00128 00000 00374
 00128 00000 00374

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON [DATE] AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

SIGNATURE BLOCK

SITE DEVELOPMENT PLAN

Paul D. Davis 8-07-06 DATE
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION

Whitney E. Conderson 8/2/00 DATE
 PARKS & RECREATION DEPARTMENT

Roger A. [Signature] 8/2/00 DATE
 PUBLIC WORKS, WATER/UTILITIES DIVISION

[Signature] 8-22-06 DATE
 CITY ENGINEER, ENGINEERING DIVISION AMARCA

APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

[Signature] 9/6/00 DATE
 CITY PLANNER, ALBUQUERQUE

- RADIUS LEGEND**
- | | | | |
|-------------|--------------|--------------|---------------|
| ① 2' RADIUS | ④ 5' RADIUS | ⑦ 20' RADIUS | ⑩ 50' RADIUS |
| ② 3' RADIUS | ⑤ 10' RADIUS | ⑧ 25' RADIUS | ⑪ 100' RADIUS |
| ③ 4' RADIUS | ⑥ 15' RADIUS | ⑨ 35' RADIUS | ⑫ 150' RADIUS |

PHASING INFORMATION

UNDER THIS PERMIT ALL ASPHALT PAVING, CONCRETE CURBS, SIDEWALKS, RETAINING WALLS, ETC. WILL BE INSTALLED. BUILDING "B" AND ITS ASSOCIATED LANDSCAPING WILL ALSO BE INSTALLED. THE REMAINING (2) TWO PADS WILL BE SET ASIDE FOR DUST CONTROL FOR FUTURE DEVELOPMENT.

revisions

job title
 TRACT D-5A
 ELLISON & CALLE CUERVO NW
 ALBUQUERQUE, NM

PROJECT MANAGER
 NICK PIRKL

job no
 20002

date
 8/29/06

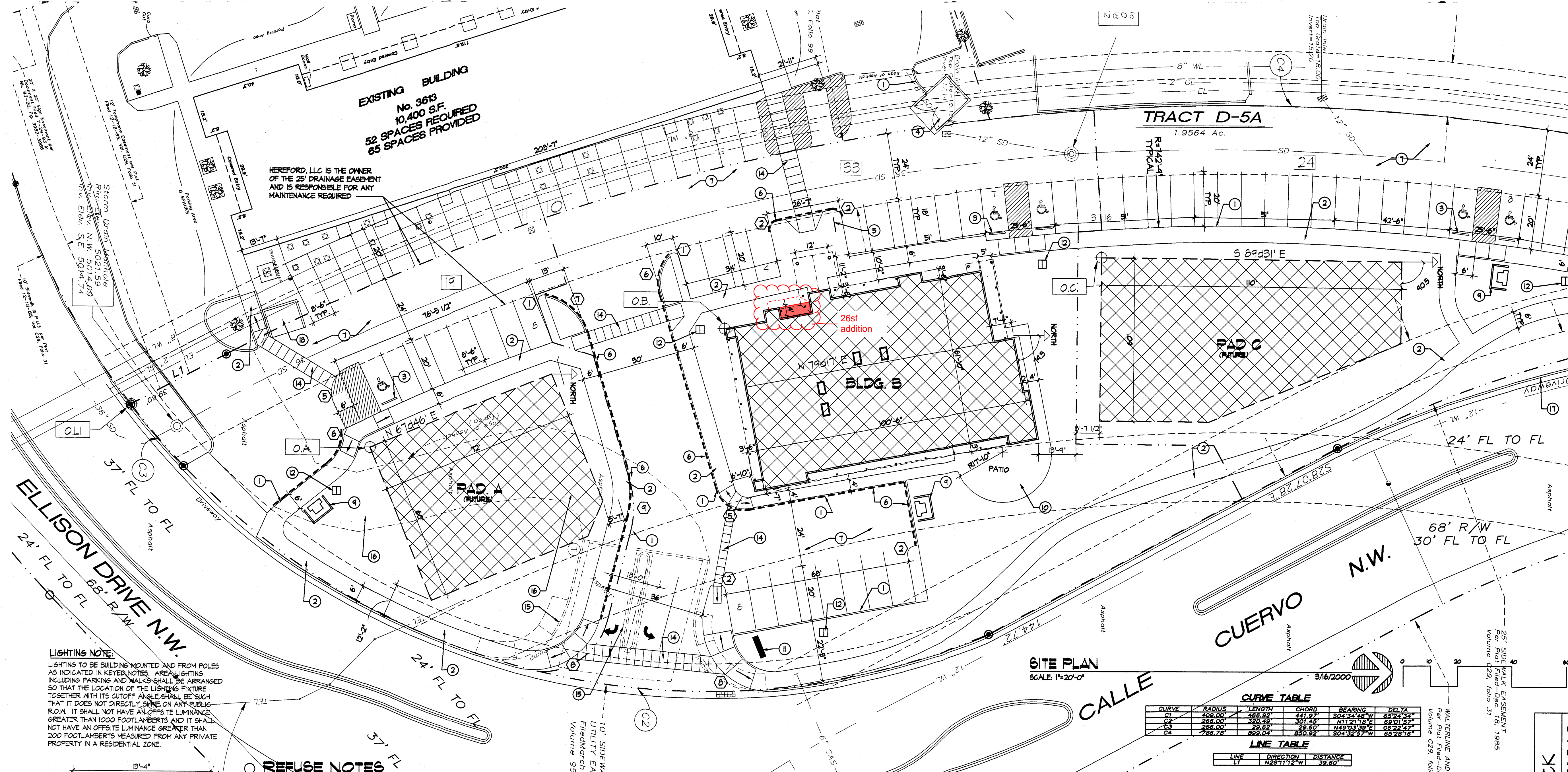
sheet title
 SITE PLAN FOR SUBDIVISION

by
 NAP

db la torre architects, p.a. d.a.
 2400 louisiana blvd ne
 building 3 / suite 110
 albuquerque, nm 87110 / 505-863-7600

sheet-

PROJ 1000487
 00128 00000 00374
 00128 00000 00374



- ### KEYED NOTES
1. NEW STANDUP CURB TYPICAL
 2. NEW SIDEWALK TYPICAL
 3. NEW PARKING BUMPER - (5) REQUIRED
 4. NEW REFUSE CONTAINER SEE DETAIL THIS SHEET
 5. NEW RIBBON STYLE BIKE RACK 5 SPACES
 6. FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
 7. STANDARD DUTY ASPHALT PAVING TYPICAL
 8. NOT USED
 9. INDICATES PROPOSED LOCATION OF PNM TRANSFORMER
 10. CONCRETE PATIO - 300 S.F. PROVIDE WITH TYPICAL INTEGRAL UMBRELLAS AND MAKE ACCESSIBLE TO VISITORS AND EMPLOYEES
 11. MONUMENT SIGN (1)
 12. LIGHT POLES (4) - SEE DETAIL THIS SHEET
 13. EXISTING 4' WIDE SIDEWALK TO REMAIN
 14. PEDESTRIAN ACCESS - SCORED & RAISED SURFACE
 15. EXISTING MEDIAN AND CURB RETURN TO BE REMOVED
 16. EXISTING ASPHALT DRIVE TO BE REMOVED
 17. EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH CURB & GUTTER
 18. EXISTING REFUSE ENCLOSURE TO REMAIN

- ### GENERAL NOTES - CITY REQUIRED
- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN
 - B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) IMMEDIATE DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
 - C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
 - D. ALL SIDEWALK AND C&G IN DISPAIR WILL BE REMOVED AND REPLACED.
 - E. CONSTRUCT CURB RETURNS PER CITY OF ALBUQUERQUE STANDARD DETAILS No. 2426
 - F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
 - G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SIGN WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.
 - H. ALL EASEMENTS SHOWN ON THIS PLAN ARE EXISTING TO REMAIN.
 - I. ALL OFFSITE ELEMENTS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

PROJECT INFORMATION

LOCATION: SOUTHWEST CORNER OF ELLISON & CALLE CUERVO NW

DEVELOPER: HEREFORD ILLC

LEGAL DESCRIPTION: TRACT D-5A OF SEVEN BAR RANCH WITHIN SECTION 5, TOWNSHIP 11 NORTH, RANGE 9 EAST WITHIN CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

CURRENT ZONING: S-UH FOR IP USES

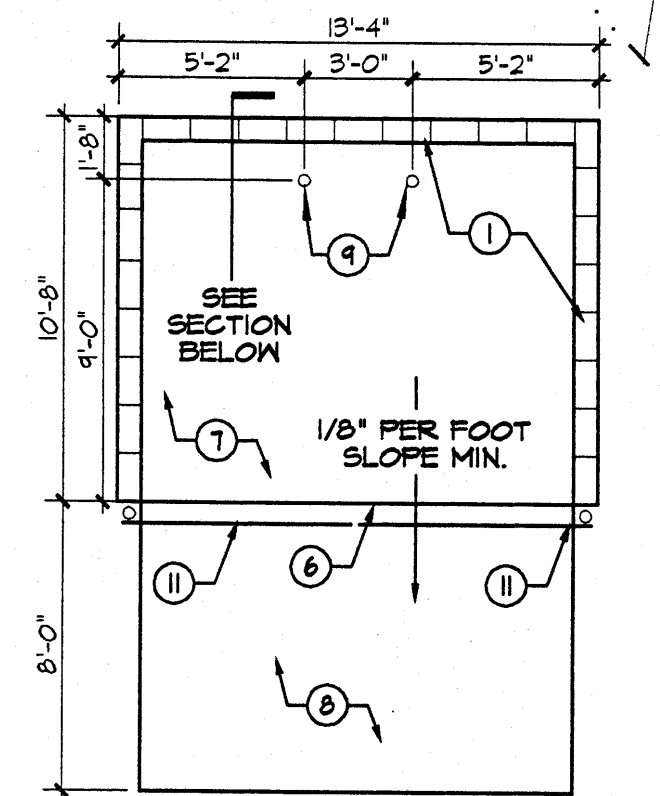
PROPOSED: SAME

TOTAL ACREAGE: 1.9564 ACRES

ZONING ATLAS PAGE: A-14-Z

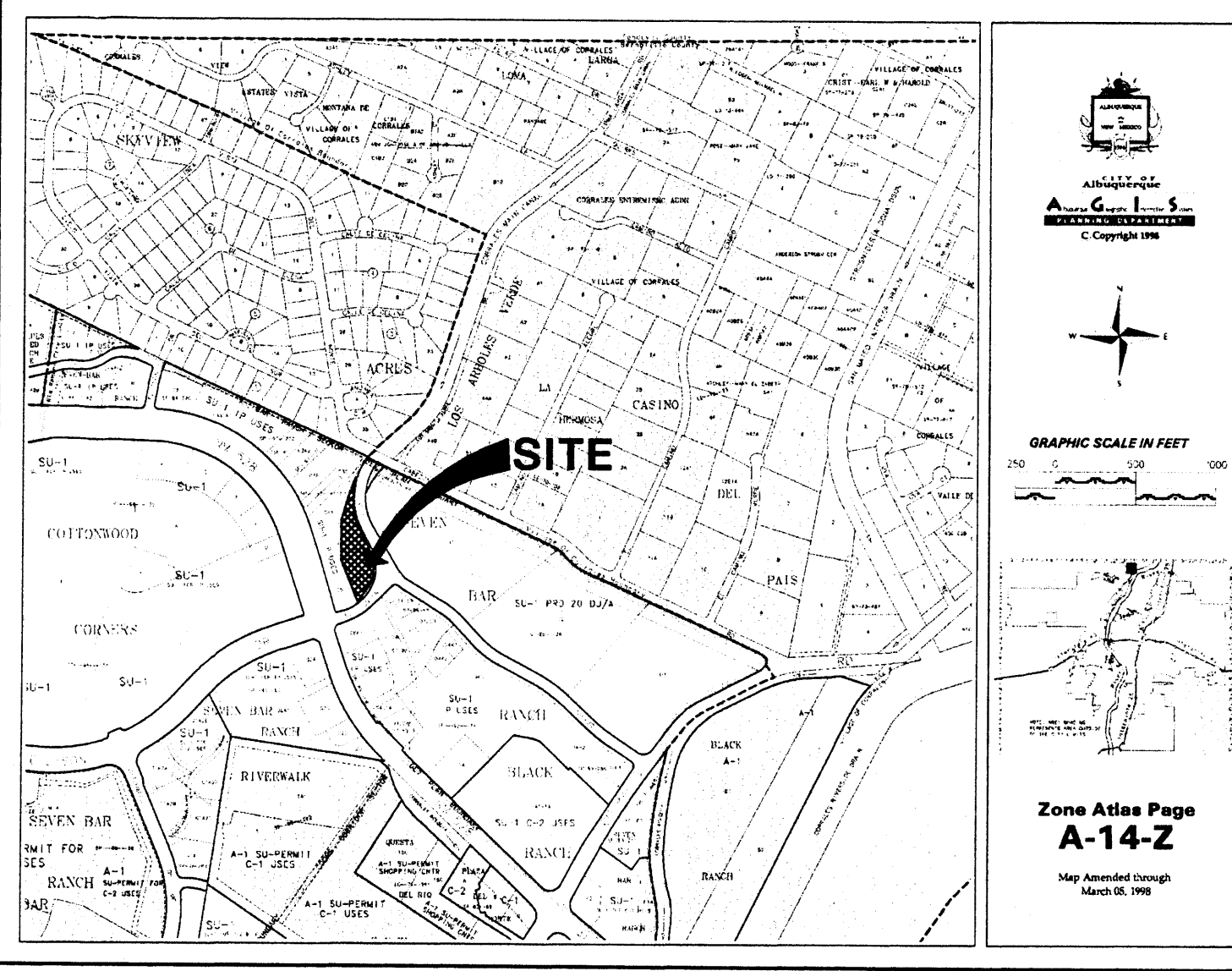
LIGHTING NOTE

LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS GUTTER ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC ROW. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



- ### REFUSE NOTES
1. 8" CMU BLOCK WALL W/ STUCCO FINISH - COLOR TO MATCH BLDG.
 2. FINISH GRADE
 3. MASONRY CAP
 4. 1-#5 BAR CONT. @ BOTTOM OF 6" TURNDOWNS, 2-#5 BARS @ BOTTOM OF 12" TURNDOWNS
 5. 2-#5 BARS @ TOP KNOCK OUT CMU BOND BEAM AND 2-#5 BARS CONT. @ BOTTOM OF TURNDOWN UNDER WALLS PROVIDE #5 BARS @ 32" O.C. VERTICAL, GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL
 6. 1/2" EXPANSION JOINT MATERIAL
 7. 6" CONCRETE SLAB, 4000 PSI, 3/4" AGGREGATE WITH 6x6 - 10x10 W/M IN 12" TURNDOWN EDGES UNDER CMU WALLS (W/ 2-#5 CONT.) AND 6" TURNDOWN @ APRON (W/ 1-#5 CONT.)
 8. 6" CONCRETE APRON, 4000 PSI, 3/4" AGGREGATE WITH 6x6 - 10x10 W/M IN 6" TURNDOWN EDGES (W/ 1-#5 CONT.) ALL AROUND EXCEPT 12" @ ENTRY (W/ 2-#5 CONT.)
 9. 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH ENCLOSURE COLOR
 10. ASPHALT PAVING - SEE PAVING SECTION
 11. WOOD GATE PAINTED - COLOR TO MATCH BUILDING PROVIDE DROP ANCHORS @ EACH LEAF AND ALL NECESSARY ITEMS FOR A COMPLETE ASSEMBLY

- ### EPC CONDITIONAL NOTES:
- PER THE OFFICIAL NOTIFICATION OF DECISION FROM THE EPC FILE# 00128 00000 00514/00128 00000 00515, THE FOLLOWING CONDITIONS SHALL BE ADHERED TO:
1. PADS "A" AND "C" SHALL GO BEFORE EPC AND SHALL CLOSELY INTEGRATE WITH PAD "B'S" DEVELOPMENT.
 2. THE TOP OF PARAPET AND SCREEN WALLS SHALL BE GREATER THEN THE TOP OF ALL HVAC EQUIPMENT.
 3. THERE SHALL BE A 10' OFFSET FROM FACE OF CURB TO FACE (FRONT) OF BUILDINGS TO MAINTAIN A MINIMUM 6' CLEAR SIDEWALK AND PROVIDE EITHER TREES AT 25' ON CENTER IN 5x5 PLANTERS, A PORTAL OR ANNINGS WITH A CLEAR 6' PATHWAY.
 4. NO GENERIC FRANCHISE ELEVATION ARCHITECTURE SHALL BE PERMITTED.
 5. NO PLASTIC OR VINYL ANNINGS AND FASCIAS SHALL BE PERMITTED.
 6. NO UNCONCEALED CELL TOWERS SHALL BE PERMITTED.
 7. SIGNAGE SHALL BE LIMITED TO 1 MONUMENT SIGN THIS IS A MAXIMUM OF 10' TALL, WITH A FACE AREA OF 50 SQUARE FEET MAXIMUM. BUILDING SIGNAGE SHALL BE RESTRICTED TO A MAXIMUM OF 6% OF THE FACE TO WHICH IT IS APPLIED, WITH A MAXIMUM LETTER HEIGHT OF 2' AND LETTERING SHALL BE INTERNALLY LIT CHANNELIZED LETTERS.
 8. THIS PLAN SHALL MEET ALL CONDITIONS FOR THE SITE PLAN FOR SUBDIVISION.



SITE PLAN SCALE: 1"=20'-0"

CURVE TABLE

CURVE	MEANUS	LENGTH	CHORD	BEARING	DELTA
C1	252.00	441.97	504.24	N112°14'48" W	85°24'12"
C2	255.00	320.49	301.24	N112°14'48" W	88°01'57"
C3	255.00	228.62	231.50	N69°33'11" W	68°52'47"
C4	255.78	459.04	450.92	S04°32'27" W	85°26'18"

LINE TABLE

LINE	DIRECTION	DISTANCE
LT	N28°11'12" W	38.80

BUILDING LEGEND (BUILDING "B")

DENTIST OFFICE BUILDING 6,069 S.F.

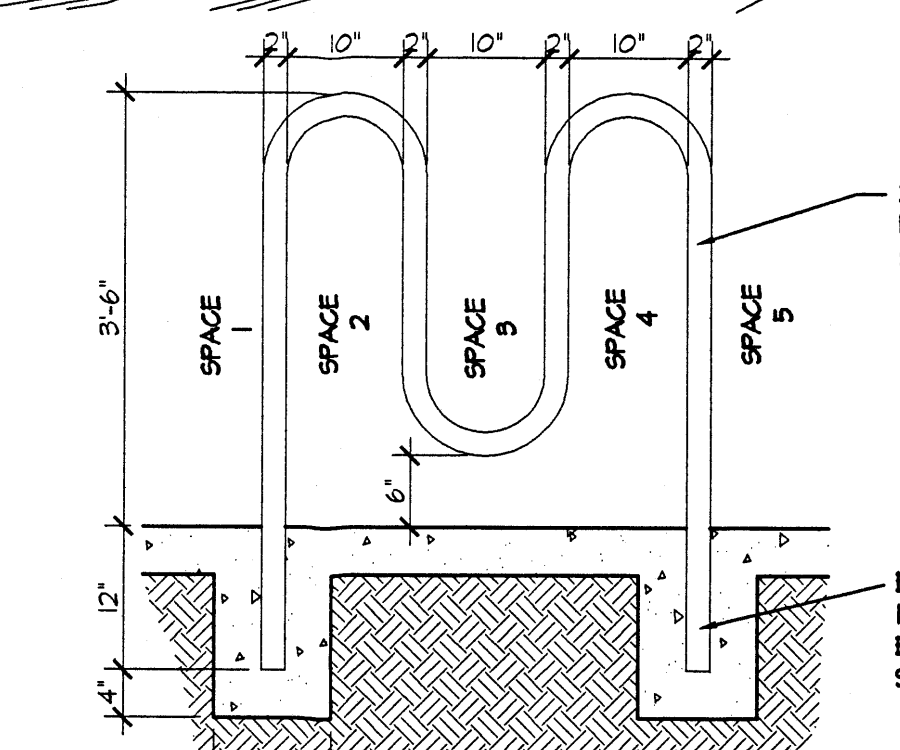
PARKING REQUIRED: OFFICE = 1 PER 200 S.F. = 31 SPACES (2 HC. SPACES)

PARKING PROVIDED: 38 SPACES (2 HC. SPACES)

BIKE PARKING: 4 SPACES NEEDED / 5 SPACES PROVIDED

LANDSCAPING REQUIRED: BLDG. "B" SITE = 36,002 S.F. - 6,069 S.F. (BUILDING AREA) = 29,933 NET LOT AREA = 15 = 4,492 S.F.

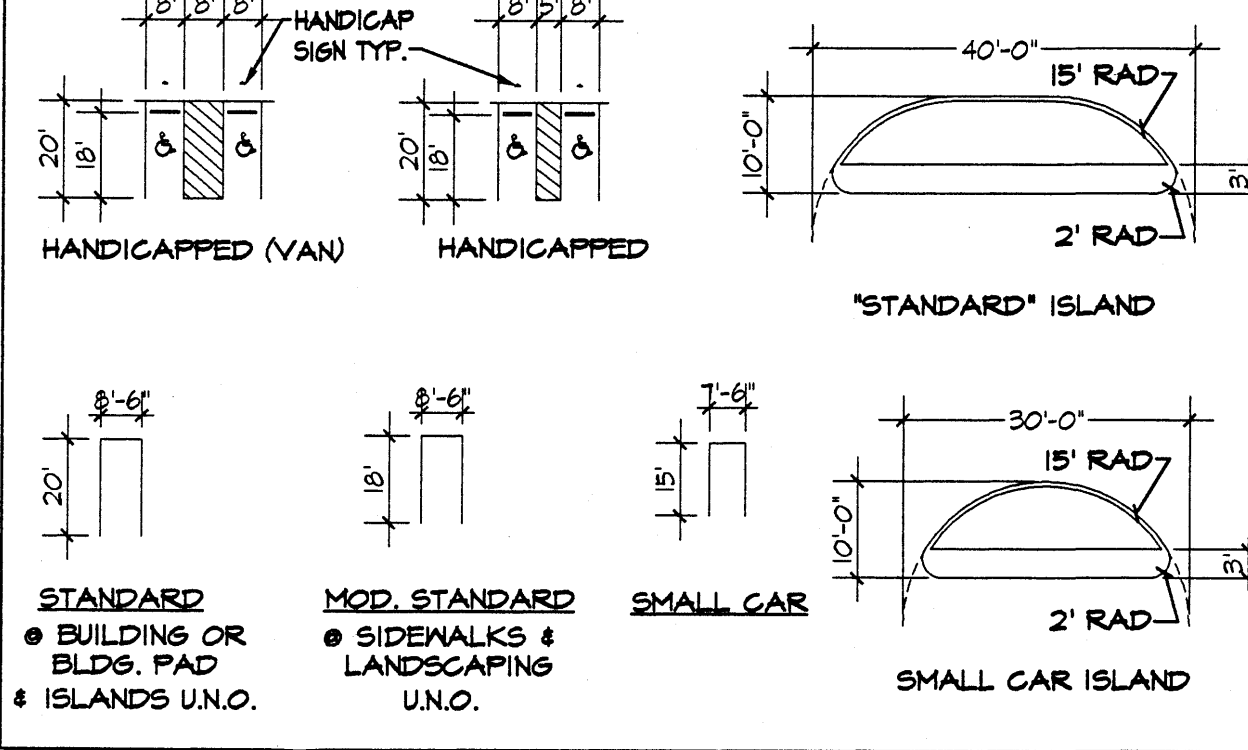
LANDSCAPING PROVIDED: 15,522 S.F.



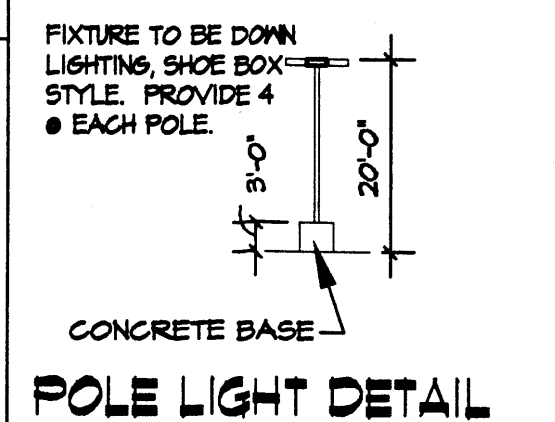
BICYCLE RACK

SCALE: 3/4"=1'-0"

PARKING TYPES & ISLAND DETAILS



- ### LEGEND:
- Underground Utility = [Symbol]
 - Pedestal = [Symbol]
 - Water Meter = [Symbol]
 - Light Pole = [Symbol]
 - Drop Inlet = [Symbol]
 - Transformer = [Symbol]
 - Tree = [Symbol]
 - Water Valve = [Symbol]
 - Traffic Signal Box = [Symbol]
 - Sprinkler Control Box = [Symbol]
 - Electric Box = [Symbol]
 - Traffic Signal = [Symbol]
 - Clean Out = [Symbol]
 - Storm Drain Man Hole = [Symbol]
 - Sanitary Sewer Man Hole = [Symbol]



POLE LIGHT DETAIL

CASE NUMBER: Z -

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

SIGNATURE BLOCK

SITE DEVELOPMENT PLAN

TRAFFIC ENGINEER, TRANSPORTATION DIVISION: *William E. Canbell* 8/2/00 DATE

PARKS & RECREATION DEPARTMENT: *Roger A. Green* 8/2/00 DATE

PUBLIC WORKS, WATER UTILITIES DIVISION: *John J. Progn* 8/22/00 DATE

CITY ENGINEER, ENGINEERING DIVISION, AMAFCA: *John J. Progn* 8/22/00 DATE

CITY PLANNER, ALBUQUERQUE: *John J. Progn* 9/6/00 DATE

- ### RADIUS LEGEND
- 1. 2' RADIUS
 - 2. 3' RADIUS
 - 3. 4' RADIUS
 - 4. 5' RADIUS
 - 5. 10' RADIUS
 - 6. 15' RADIUS
 - 7. 20' RADIUS
 - 8. 25' RADIUS
 - 9. 35' RADIUS
 - 10. 50' RADIUS
 - 11. 100' RADIUS
 - 12. 150' RADIUS

PHASING INFORMATION

UNDER THIS PERMIT ALL ASPHALT PAVING, CONCRETE CURBS, SIDEWALKS, RETAINING WALLS, ETC. WILL BE INSTALLED. BUILDING "B" AND ITS ASSOCIATED LANDSCAPING WILL ALSO BE INSTALLED. THE REMAINING (2) TWO PADS WILL BE SEEDDED FOR DUST CONTROL FOR FUTURE DEVELOPMENT.

Job title: TRACT D-5A ELLISON & CALLE CUERVO NW ALBUQUERQUE, NM

PROJECT MANAGER: NICK PIRKL

job no: 20002

date: 8/29/00

sheet title: BUILDING "B" ONLY

by: NAP

de la torre architecte, p.a. llc

2400 louisiana blvd ne

building 3 suite 110

albuquerque, nm 87106-2505 505-833-7018

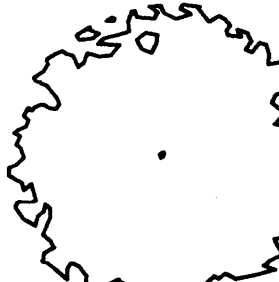

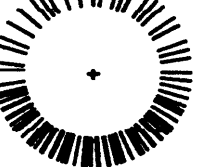















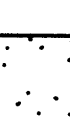

REGISTERED ARCHITECT

JORGE DE LA TORRE NO. 860 8/29/00

sheet 1 of 4

DATE 3/1/00

PLANT LEGEND

-  ASH(H) OR HONEY LOCUST (H) 7
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal
-  FLOWERING PEAR (H) 4
Pyrus calleryana
2" Cal
-  AUSTRIAN PINE(H) 2
Pinus nigra
6"-8"
-  PINON PINE(H) 2
Pinus edulis
6"-8"
-  DESERT WILLOW (L) 3
Chilopsis linearis
15 gal
-  MAIDEN GRASS (L) 9
Miscanthus sinensis
5 gal
-  GREYLEAF COTONEASTER 8
Cotoneaster gl.
5 gal
-  ROSEMARY (M) 11
Rosmarinus officinalis
5 gal
-  INDIAN HAWTHORN (M) 7
Raphiolepis indica
5 gal
-  RUSSIAN SAGE (M) 8
Perovskia atriplicifolia
5 gal
-  POTENTILLA (M) 6
Potentilla fruticosa
5 gal
-  AUTUMN SAGE (M) 7
Salvia greggii
1 gal
-  CHAMISA (L) 10
Chrysothamnus nauseosus
1 gal
-  WILDFLOWER 30
1 gal
-  HONEY SUCKLE (M) 18
Lonicera sempervirens
1 gal
-  TAM JUNIPER (M) 8
Juniperus sabin
5 gal
-  OVERSIZED GRAVEL & BOULDERS 4
-  3/4" GREY GRAVEL W/ FILTER FABRIC
-  SOD
-  COMMERCIAL GRADE STEEL EDGING

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

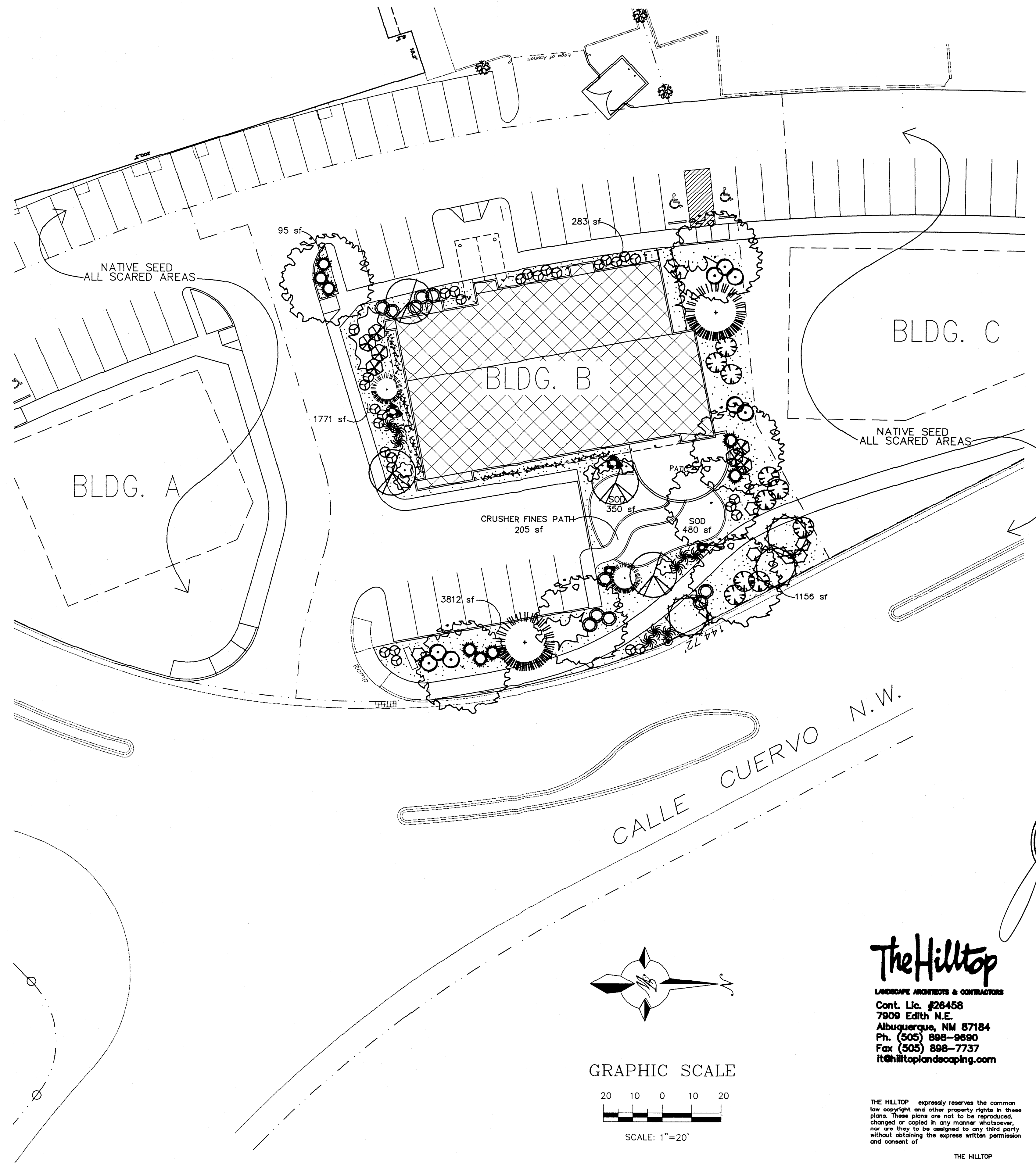
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

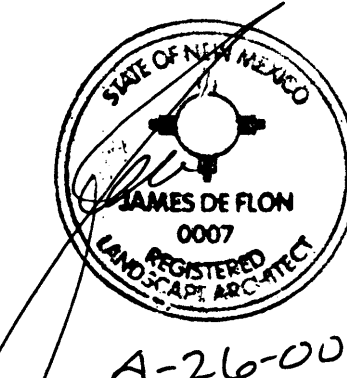
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.



LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	35,066 square feet
TOTAL BUILDINGS AREA	6,068 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	28,998 square feet
LANDSCAPE REQUIREMENT	15 square feet
TOTAL LANDSCAPE REQUIREMENT	4,350 square feet
TOTAL LANDSCAPE PROVIDED	8,152 square feet
TOTAL BED PROVIDED	7,322 square feet
TOTAL SOD PROVIDED	830 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 it@hilltoplandscaping.com

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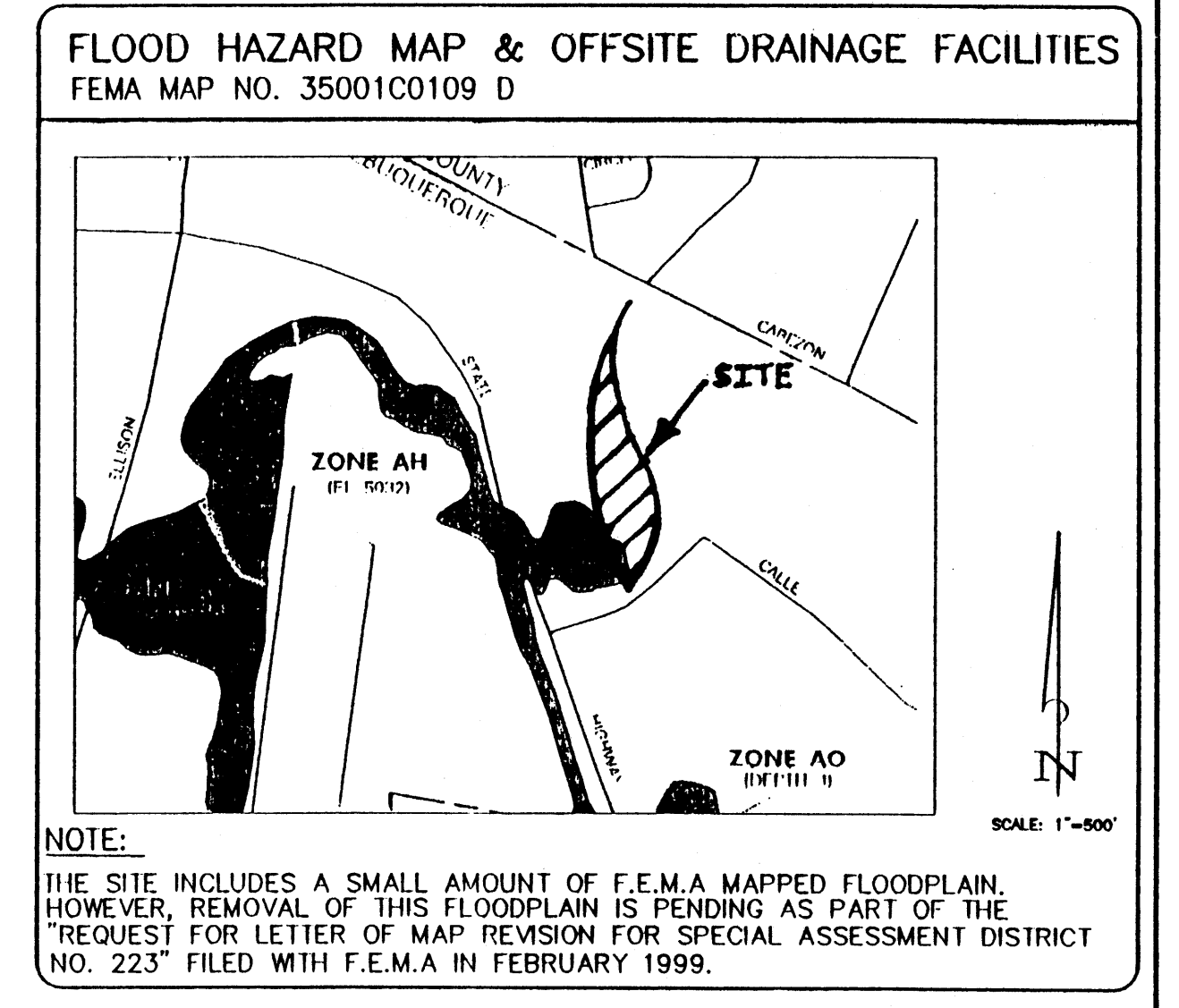
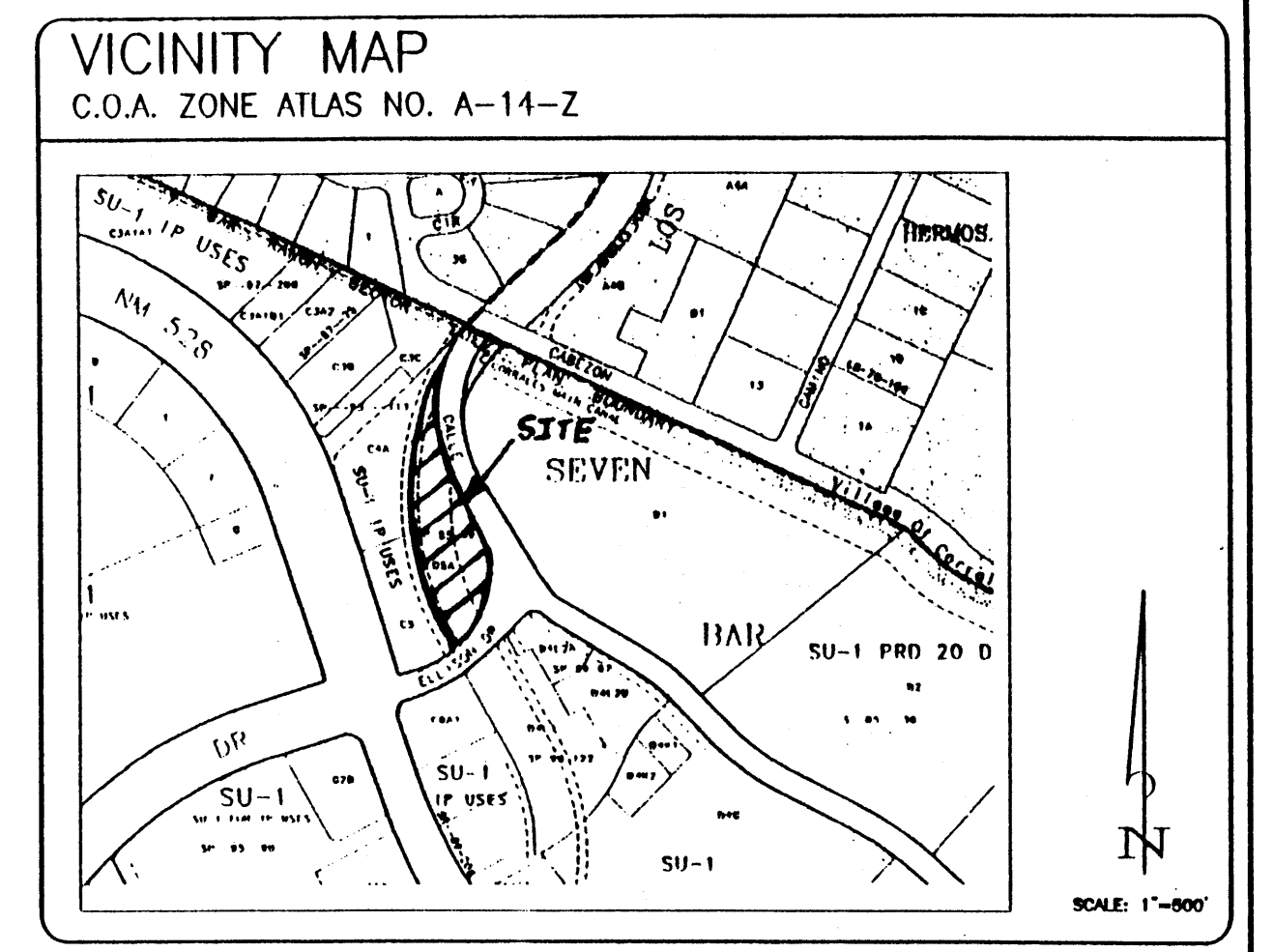
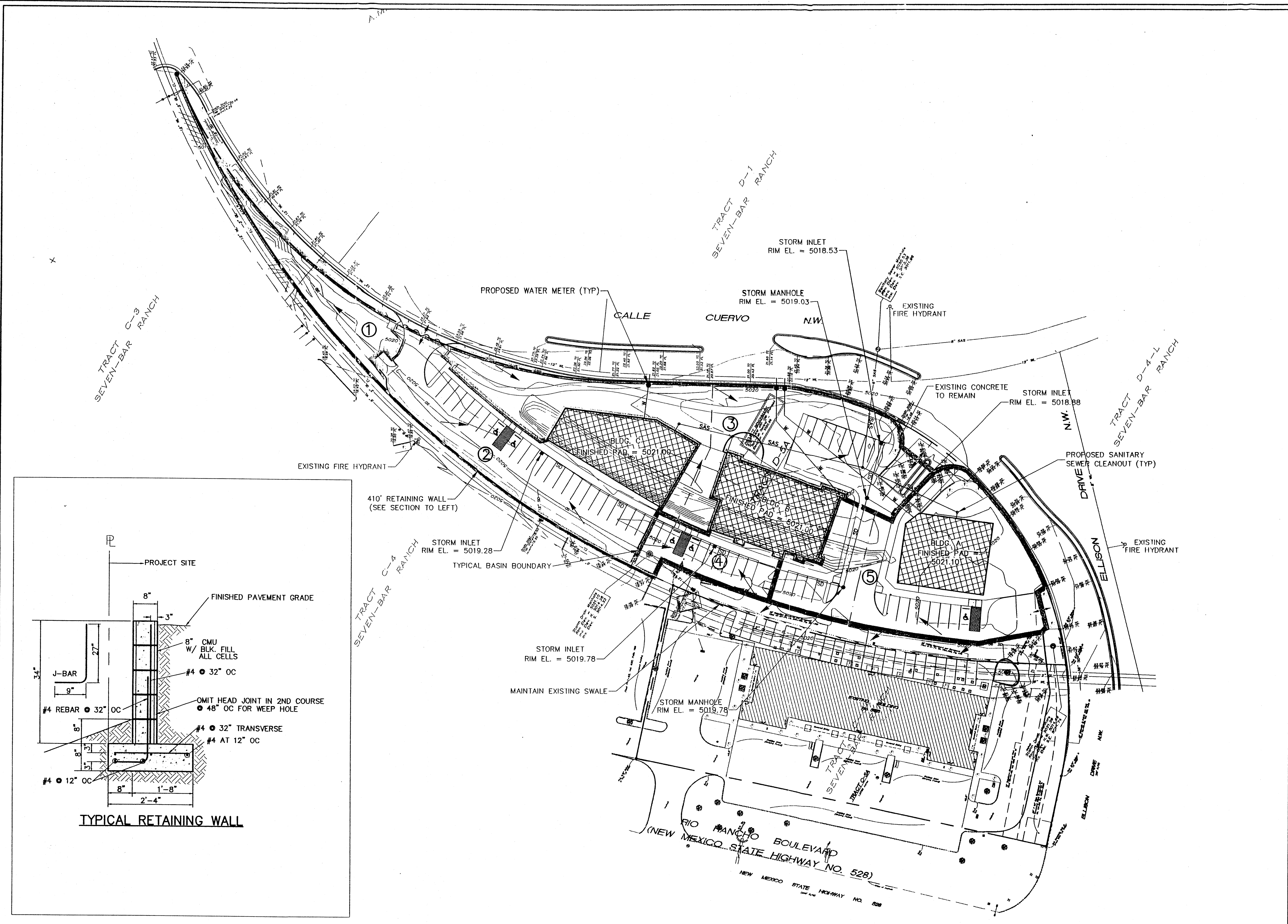
THE HILLTOP

revisions	job title	TRACT D-5A	
	PROJECT MANAGER	job no	date
	NICK PIRKL	20002	3/16/00
	sheet title	by	

de la torre architects, p.a. llc
 2400 louisiana blvd ne
 building 3 / suite 110
 albuquerque n.m. 87110 / 505-883-7918

sheet - 2
 2
 of - 4

START DATE: 3/1/00



NOTE:
THE SITE INCLUDES A SMALL AMOUNT OF F.E.M.A MAPPED FLOODPLAIN. HOWEVER, REMOVAL OF THIS FLOODPLAIN IS PENDING AS PART OF THE "REQUEST FOR LETTER OF MAP REVISION FOR SPECIAL ASSESSMENT DISTRICT NO. 223" FILED WITH F.E.M.A IN FEBRUARY 1999.

DESCRIPTION	NEW	EXISTING
CONTOURS	4904	4904
SPOT ELEVATIONS	± 08.80	X 07.3
APPROXIMATE DRAINAGE BASIN BOUNDARY	—	—
WATER BLOCK	—	—
DIRECTION OF RUNOFF	←	←
FLOWLINE	①	—
DRAINAGE BASIN	①	—
PROPERTY LINE	—	—
STORM DRAIN M.H. & LINE	—	—
SLOPE SYMBOL	3:1	—
STORM INLET	—	—
RETAINING WALL	—	—

BENCHMARK
NMSHTD BRASS CAP "N.M. 448-N12" ELEV. 5023.41
LOCATED 60' WEST OF C OF COORS ROAD N.W.
APPROX. 550' SOUTH OF INTERSECTION WITH
CORRALES ROAD N.W. (S.R. 528)

LEGAL DESCRIPTION
TRACT D - 5A OF SEVEN BAR RANCH
ALBUQUERQUE, N.M.

NO.	REVISIONS	BY	DATE

Tract	Area (acres)	Land Treatment Types				Peak Runoff	
		A	B	C	D	10-yr (cfs)	100-yr (cfs)
1	0.1127	Existing Conditions	0%	100%	0%	0.09	0.23
		Developed Conditions	0%	100%	0%	0.09	0.23
2	0.4482	Existing Conditions	0%	70%	0%	0.63	1.22
		Developed Conditions	0%	0%	3.00%	97.00%	1.28
3	0.5027	Existing Conditions	0%	85%	0%	1.54	1.2
		Developed Conditions	0%	64.43%	0%	35.57%	0.76
4	0.2559	Existing Conditions	0%	50%	0%	0.47	0.82
		Developed Conditions	0%	0%	2.00%	98.00%	0.73
5	0.4591	Existing Conditions	0%	60%	0%	0.74	1.36
		Developed Conditions	0%	10.00%	0%	90.00%	1.23
TOTAL	1.7786	Existing Conditions				2.47	4.83
		Developed Conditions				4.09	6.62
Available Discharge (Easterling and Associates 1993) = 7.88 cfs		Q ₁₀₀ = 6.62 cfs				7.88 > 6.62, OK	

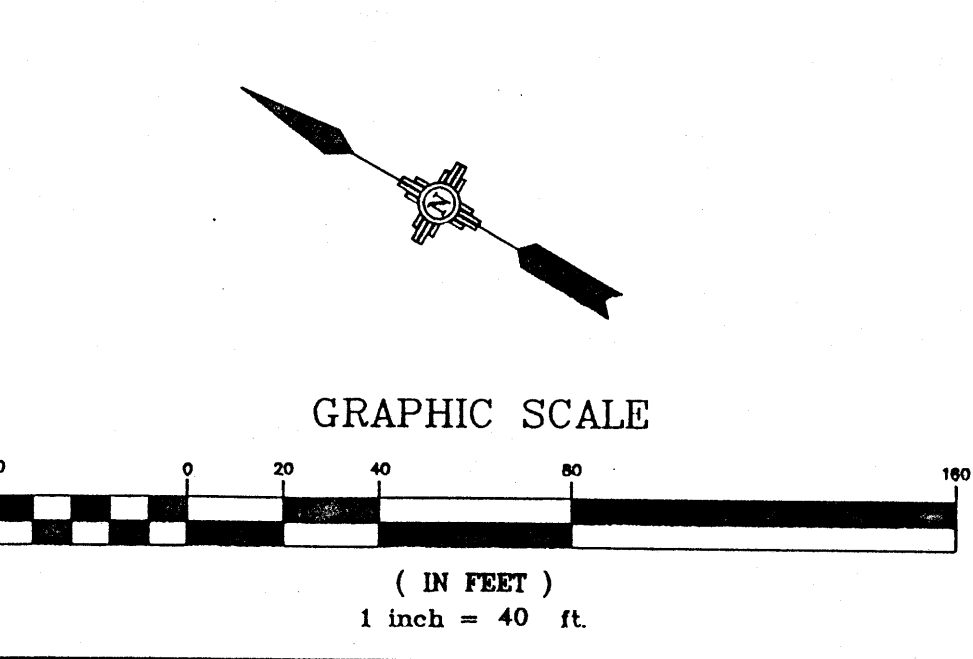
Drainage Plan
EXISTING CONDITIONS
The project site consists of approximately 1.95 acres. The site is mostly undeveloped except for an existing storm drain covered by soil cement along the west section of the property. Overall drainage is from the north to the south. No significant off-site flows enter the site.

DEVELOPED CONDITIONS
It is proposed to develop the site for commercial use in accordance with the Seven Bar Sector Development Plan (April 1985). The current site plan, still under development, indicates three facilities on the site. The flows will discharge from the site into the existing storm drain located on the southeast corner of the property to carry the flow south to Cobezen Channel (Easterling and Associates 1993).

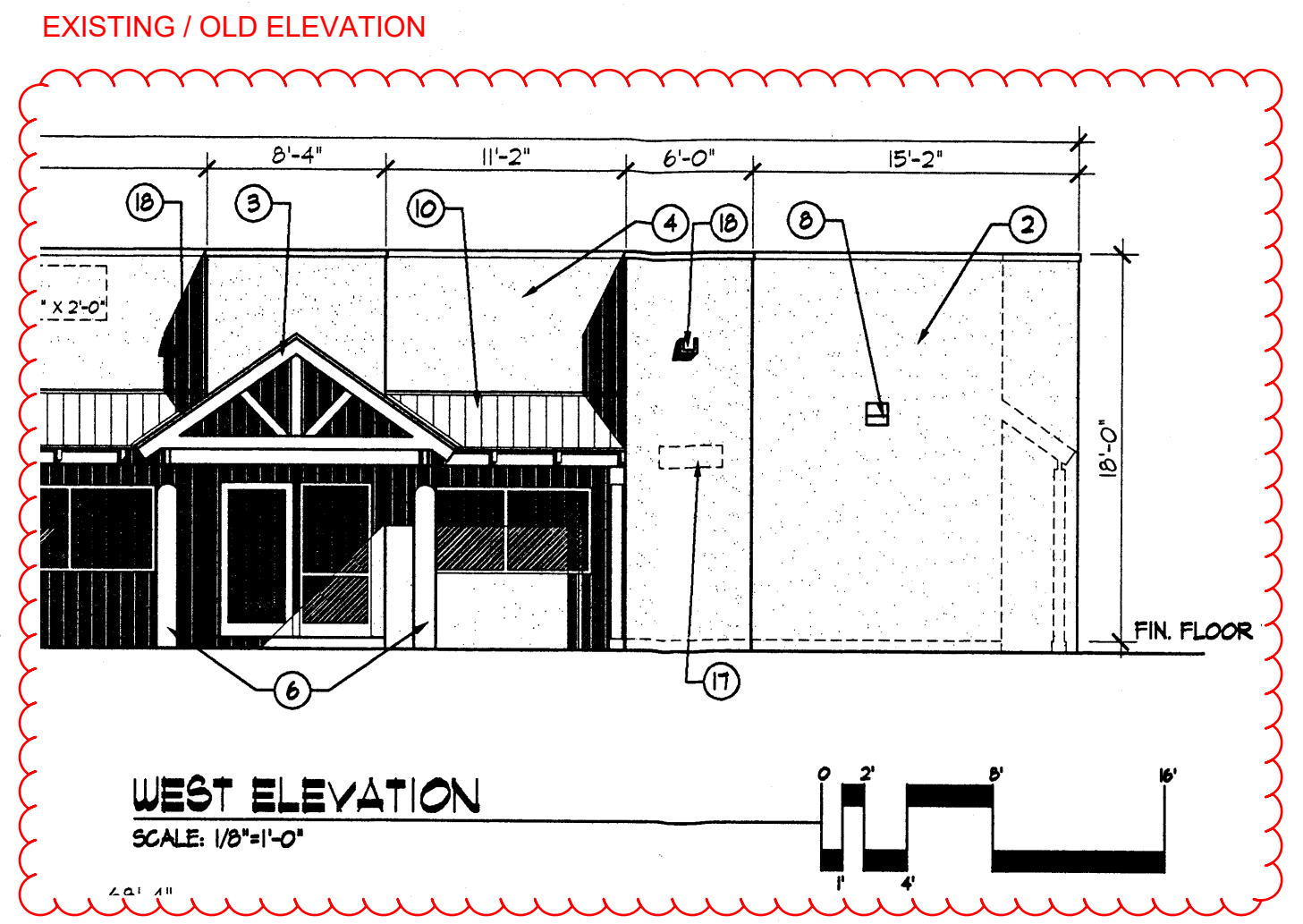
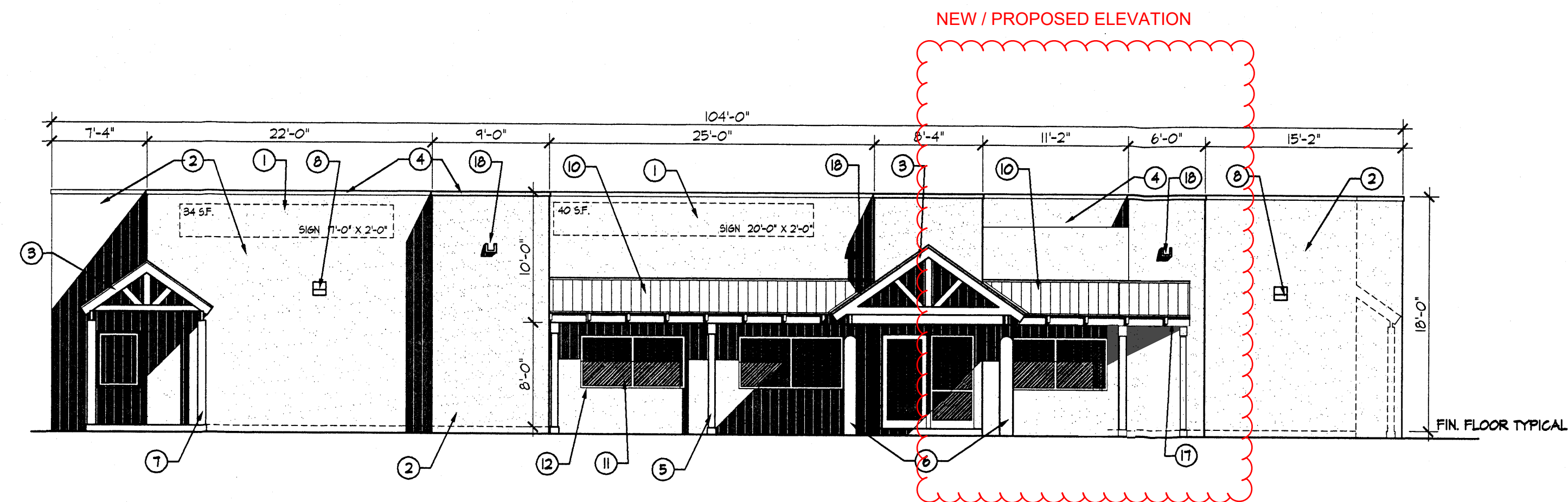
EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONTRACTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURTHER LOCAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.

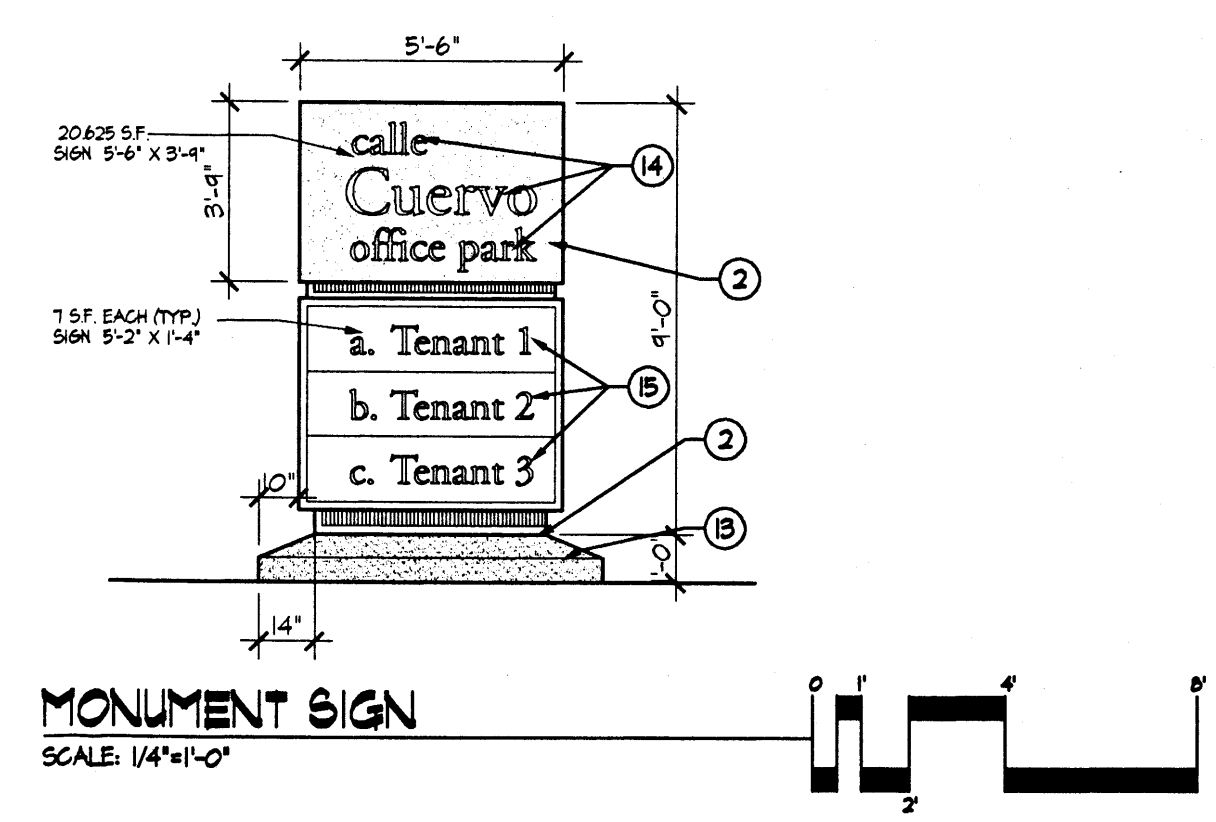
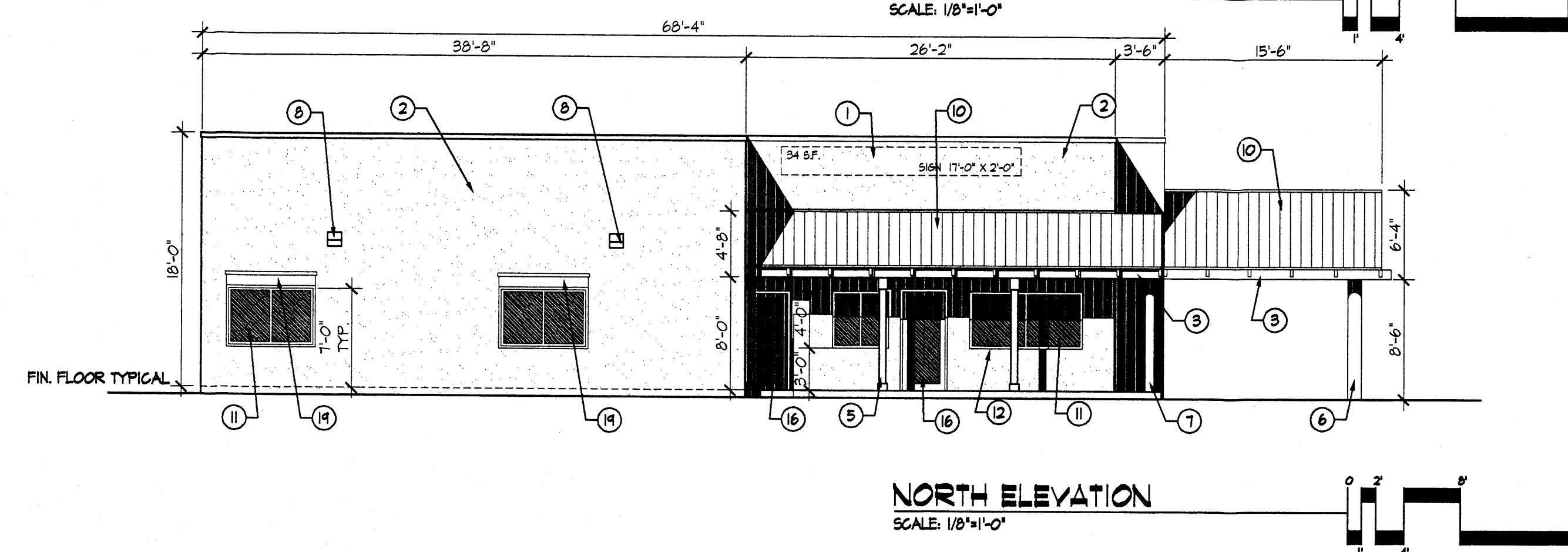
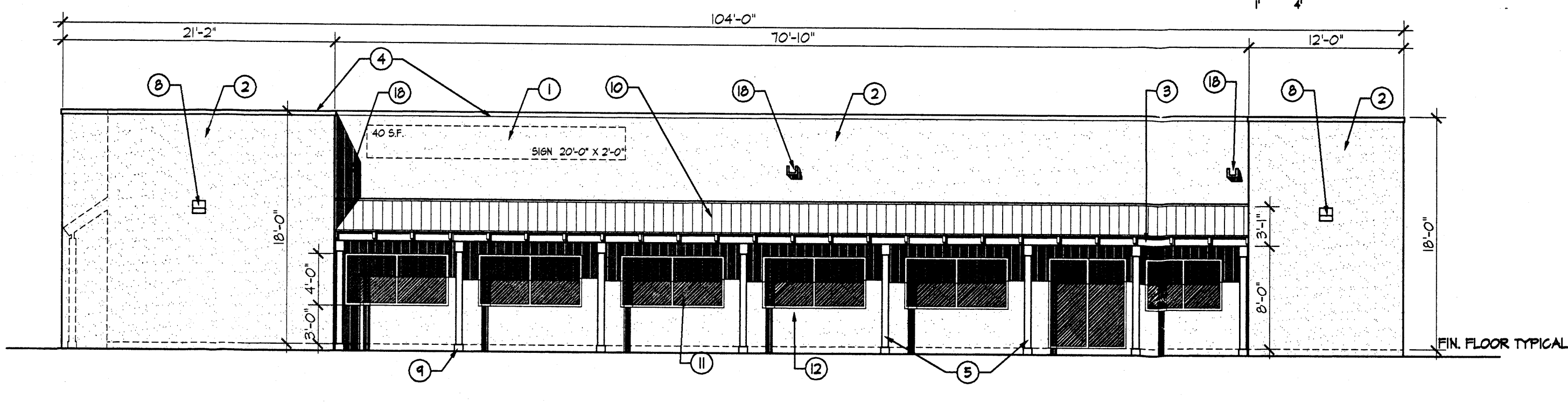
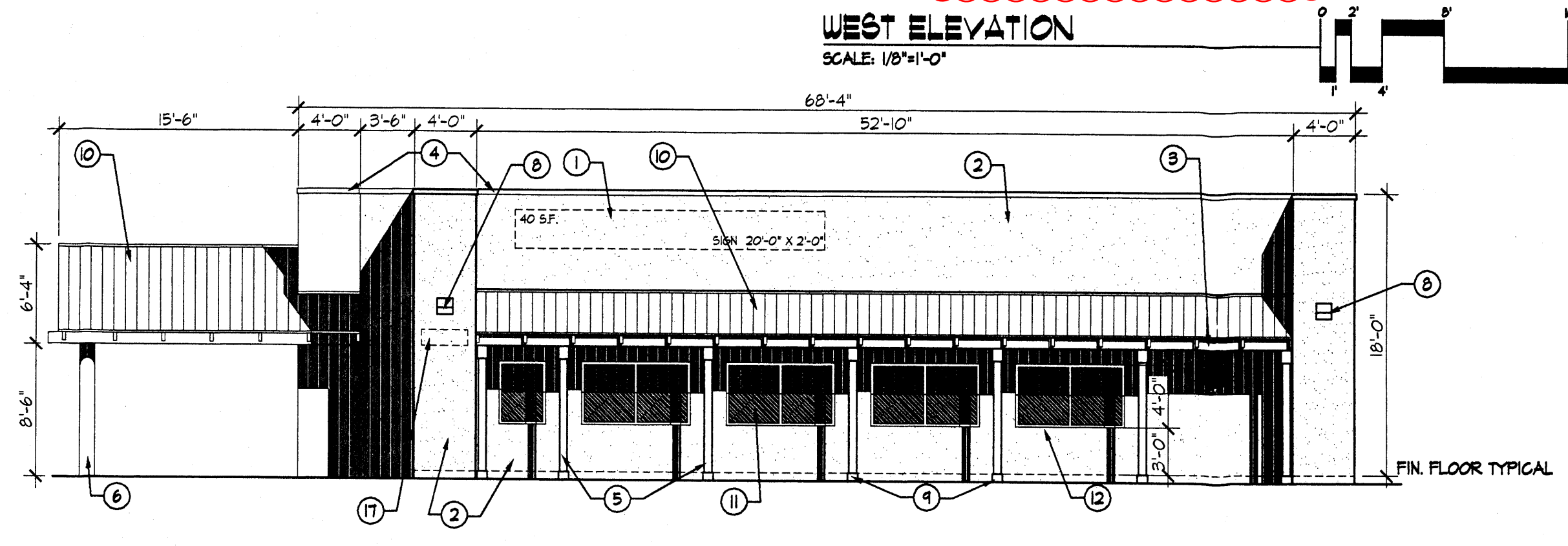
DRAINAGE AND UTILITY EASEMENTS
CROSS-LOT DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED WHEREVER NECESSARY.



DWG: C1.DWG
 PATH: T:\Projects\5250.DWG\Plot1
 TIME: 04-26-00 15:19:39
 GEORGE WEINER
 PROFESSIONAL ENGINEER
 12284



- KEYED NOTES**
1. INTERNALLY ILLUMINATED SIGN TO BE INDIVIDUAL CHANNEL LETTERS WITH ALUMINUM FRAME WITH LEXAN OR PLASTIC FACE. MAXIMUM 2'-0" HIGH LETTERS WITH A MAXIMUM AREA OF 6% OF THE FACE TO WHICH IT IS APPLIED.
 2. STUCCO COLOR BEIGE TYPICAL UNLESS NOTED OTHERWISE
 3. WOODEN TRUSSES/ PORTAL FRAMING - PAINTED WHITE
 4. METAL COPING CAP - COLOR TO BE CHOCOLATE BROWN
 5. 4" x 4" WOODEN COLUMNS - PAINTED WHITE
 6. 12" DIA. CONCRETE COLUMNS RUBBED FINISH ONLY
 7. 8" CONCRETE COLUMNS RUBBED FINISH ONLY
 8. WALL MOUNTED SECURITY LIGHT. DARK BROWN. SEE LIGHTING NOTE C-1
 9. 8" x 8" x 6" CONCRETE BASE RUBBED FINISH ONLY
 10. GALVANIZED METAL ROOF MATERIAL
 11. GLASS, TYP. LIGHT TAN TINT
 12. WINDOW FRAME PAINTED WHITE TYPICAL
 13. STUCCO COLOR RUST BROWN AT BASE TYP.
 14. METAL LETTERS (BRUSHED FINISH)
 15. INTERNALLY ILLUMINATED SIGN AREA WITH LEXAN OR PLASTIC FACE.
 16. METAL DOOR AND FRAME PAINT WHITE
 17. PREMISE IDENTIFICATION SIGN (SHALL CONTRAST WITH BACKGROUND)
 18. ROOF SCUPPER TYPICAL
 19. WINDOW TRIMMING PAINTED WHITE TYPICAL



revisions	job title TRACT D-5A			
	PROJECT MANAGER NICK PIRKL			
	job no 20002	date 7/18/00	by NAP	
	sheet title BUILDING "B" ELEVATIONS ONLY			

de la torre architecte, p.a. aia
 2400 louisiana blvd ne
 building 3 / suite 110
 albuquerque, nm 87106-5255 • 505-883-7999

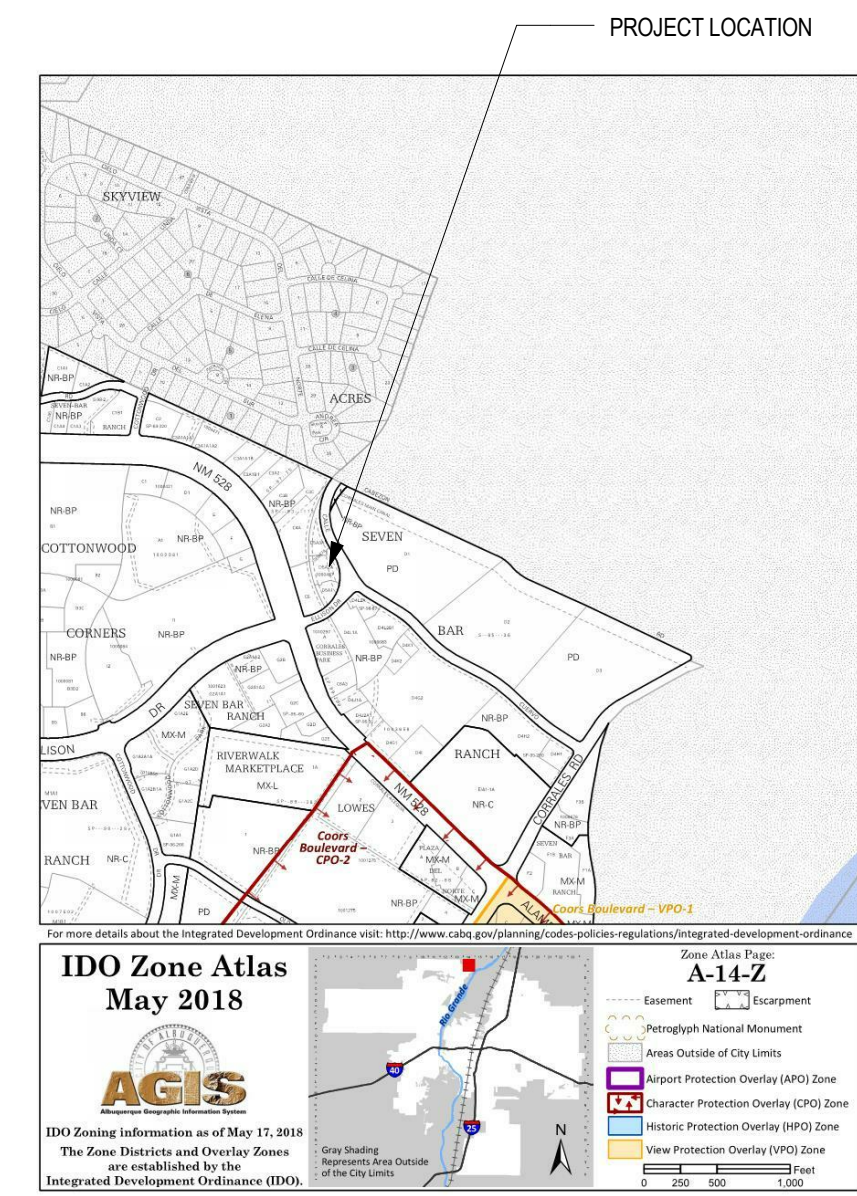
sheet-
4

START DATE 5/1/00

Davis Gribble Hollowwa Dental Office - TI

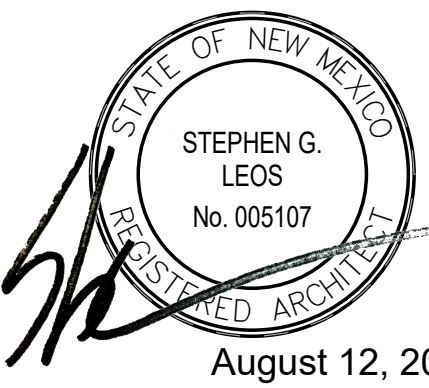
3610 Calle Cuervo NW
 Albuquerque, NM 87114

SITE PLAN



DRAWING INDEX

- GENERAL
 COVER SHEET
 FIRE 2 FIRE 2
- ARCHITECTURE
 AE101 DEMO and NEW WORK - PARTIAL FLOOR and CEILING PLAN
 AE102 STRUCTURAL PLAN, ROOF PLAN and DETAILS
 AE103 EXTERIOR ELEVATION, DOOR TYPES, WALL TYPE and PLUMBING PLAN



August 12, 2021

PROJECT REQUIREMENTS

- THE TERM "WORK" MEANS THE CONSTRUCTION AND SERVICES REQUIRED BY THE CONTRACT DOCUMENTS, WHETHER COMPLETED OR PARTIALLY COMPLETED, AND INCLUDES ALL OTHER LABOR, MATERIALS, EQUIPMENT AND SERVICES PROVIDED OR TO BE PROVIDED BY THE CONTRACTOR TO FULFILL THE CONTRACTOR'S OBLIGATIONS. THE WORK MAY CONSTITUTE THE WHOLE OR A PART OF THE PROJECT. AS STATED IN AIA DOCUMENT A201, 1997 EDITION, UNDER ARTICLE 1, SUBPARAGRAPH 1.1.3.
- THE TERM "PROJECT" IS THE TOTAL CONSTRUCTION OF WHICH THE WORK PERFORMED UNDER THE CONTRACT DOCUMENTS MAY BE THE WHOLE OR A PART AND WHICH MAY INCLUDE CONSTRUCTION BY THE OWNER AND BY SEPARATE CONTRACTORS. AS STATED IN AIA DOCUMENT A201, 1997 EDITION, UNDER ARTICLE 1, SUBPARAGRAPH 1.1.4.
- THE CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY AND THEIR INTENT IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. PROVIDE ALL LABOR, MATERIALS, SERVICES AND EQUIPMENT REQUIRED OR REASONABLY IMPLIED BY THESE DOCUMENTS FOR COMPLETION OF THE WORK AND AS NECESSARY TO ACCOMMODATE AND UNIFY THE WORK OF OUTSIDE CONTRACTORS, VENDORS OR SUPPLIERS. THE ORGANIZATION OF THE NOTES AND DRAWINGS SHALL NOT CONTROL THE DIVISION OF THE WORK AMONG THE SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF THE WORK PERFORMED BY ANY TRADE.
 - SPECIAL PROJECT REQUIREMENTS FOR EXISTING SLABS.
 - INSPECT SUBSTRATES WITH THE FLOORING INSTALLER PRIOR TO THE COMMENCEMENT OF INSTALLATION(S).
 - WORK TO BE PERFORMED ONLY BY INSTALLERS TRAINED OR CERTIFIED IN THE INSTALLATION OF THE FLOORING MATERIALS SPECIFIED.
 - EXISTING SLABS SHALL BE PREPARED FOR INSTALLATION OF NEW FLOORING MATERIALS IN ACCORDANCE WITH ALL SPECIFIED FLOORING MATERIAL MANUFACTURER'S CURRENT WRITTEN INSTRUCTIONS, INCLUDING SOUND AND/OR CRACK SUPPRESSION MEMBRANE MANUFACTURERS, IF APPLICABLE. WORK SHALL INCLUDE:
 - TESTING FOR MOISTURE VAPOR EMISSIONS RATE AND/OR RELATIVE HUMIDITY TEST AND ALKALINITY AND BOND TEST IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
 - PROTECTION OF SLAB FROM MOISTURE, INCLUDING FROM WET MOPPING.
 - PROMPT REMOVAL OF WATER AND OTHER FLUIDS FROM SLAB DURING THE ENTIRE DURATION OF WORK.
 - DO NOT PROCEED WITH FLOORING INSTALLATION IF ANY OF THE MANUFACTURER'S REQUIRED TESTS DO NOT MEET REQUIRED LEVELS. NOTIFY ARCHITECT IN WRITING OF TESTING RESULTS AND CONTACT FLOORING MANUFACTURER FOR MOISTURE MITIGATION DIRECTIVES. ADVISE ARCHITECT OF INTENDED MITIGATION SYSTEM(S) TO BE USED PRIOR TO PROCEEDING WITH THE WORK. OBTAIN WRITTEN VERIFICATION FROM FLOORING MANUFACTURER THAT PROPOSED MITIGATION SYSTEM AND FLOORING MATERIAL ADHESIVES ARE COMPATIBLE IF MITIGATION SYSTEM IS NOT FLOORING MANUFACTURER'S OWN PRODUCT.
 - IN CASE OF CONFLICTS OR DISCREPANCIES BETWEEN ANY DOCUMENTS PERTAINING TO THE WORK, THE ARCHITECT WILL DETERMINE WHICH DOCUMENT OR PART TAKES PRECEDENCE. IN GENERAL, BUT NOT WITHOUT EXCEPTION, AT THE SOLE DISCRETION OF THE ARCHITECT, THE MORE STRINGENT OR HIGHER COST REQUIREMENT IS REQUIRED. SUBMIT A REQUEST FOR INFORMATION (RFI) TO THE ARCHITECT FOR AN INTERPRETATION OF THE REQUIREMENTS PRIOR TO PROCEEDING WITH ANY WORK ASSOCIATED WITH CONFLICTS OR DISCREPANCIES BETWEEN ANY DOCUMENT PERTAINING TO THE WORK.
 - DO NOT SCALE DRAWINGS
 - CLARIFICATIONS OR INFORMATION REQUIRED SHALL BE FURNISHED BY THE ARCHITECT IN WRITING. CONTRACTOR SHALL SUBMIT REQUESTS FOR SUCH CLARIFICATION OR INFORMATION IN WRITING TO THE ARCHITECT. VERBAL INQUIRIES AND RESPONSES ARE NOT BINDING. CONTRACTOR SHALL DISTRIBUTE ARCHITECT'S INFORMATION TO ALL INTERESTED PARTIES.
 - ALL WORK SHALL CONFORM TO APPLICABLE LOCAL BUILDING CODES AND ORDINANCES AND OTHER ENTITIES HAVING JURISDICTION. THE APPLICABLE RULES AND REGULATIONS OF OSHA SHALL BE ADOPTED FOR THIS PROJECT.
 - CONTRACTOR TO OBTAIN PERMITS AND PAY ALL FEES FOR ALL REGULATORY APPROVALS, CONTROLLED INSPECTIONS AND OTHER AGENCY APPROVALS IF REQUIRED. COPIES OF ALL TRANSACTIONS SHALL BE PROVIDED TO THE OWNER. COMPLETE DOCUMENTATION OF FINAL REGULATORY AGENCY APPROVALS FOR PROJECT COMPLETION AND CONTROLLED INSPECTION REPORTS SHALL BE SUBMITTED TO THE OWNER PRIOR TO APPLICATION FOR FINAL PAYMENT.
 - MAKE ALL ARRANGEMENTS, MAINTAIN AND PAY ALL COSTS FOR TEMPORARY TELECOMMUNICATIONS, WATER, PLUMBING, POWER, LIGHTING, HEATING OR VENTILATION AND CLEAN-UP OPERATIONS AS NECESSARY TO PROPERLY CONDUCT THE WORK. ALL HOISTING CHARGES OR SPECIAL EQUIPMENT, IF ANY, SHALL BE INCLUDED IN THE WORK.

- PROVIDE AND MAINTAIN, FOR THE DURATION OF THE WORK, ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS TO CONFORM TO APPLICABLE REGULATORY REQUIREMENTS.
- ADDITIONAL COORDINATION REQUIREMENTS:
 - ARRANGE FOR WORKER PARKING WITH BUILDING OWNER
 - VERIFY HOISTWAY SIZE AND CAPACITY. ARRANGE FOR ANY REQUIRED PROTECTIVE COVERINGS.
 - PLAN FOR AND PREPARE A SCHEDULE TO COORDINATE THE WORK OF SEPARATE CONTRACTS SUCH AS, BUT NOT LIMITED TO: DATA/TELECOM, TAB SHELVING, HIGH-DENSITY FILING, SECURITY CONNECTIONS AND THE LIKE.
- WRITTEN AUTHORIZATION FROM THE TENANT, OWNER AND ARCHITECT IS REQUIRED PRIOR TO PROCEEDING WITH ADDITIONAL WORK WHICH AFFECTS THE CONTRACT AMOUNT OR TIME. FAILURE TO PROCURE WRITTEN AUTHORIZATION PRIOR TO COMMENCING ADDITIONAL WORK WILL INVALIDATE ANY REQUEST FOR EXTRA COMPENSATION OR TIME EXTENSION.
- SUPERVISE AND DIRECT THE WORK USING THE BEST SKILL AND ATTENTION AND TAKE RESPONSIBILITY FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND FOR THE COORDINATION OF ALL PORTIONS OF THE WORK.
- MAINTAIN CONSTRUCTION PREMISES AND PORTIONS OF BUILDING SITE AFFECTED BY THE WORK IN A NEAT AND ORDERLY CONDITION.
- CONSTRUCTION OPERATIONS SHALL NOT AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
 - IF CORE DRILLING THROUGH SLABS FOR UTILITIES IS NECESSARY, COORDINATE WITH BUILDINGS EXISTING STRUCTURAL SYSTEM, COORDINATE CORE LOCATIONS WITH EXISTING STRUCTURE AND STRUCTURAL ENGINEER AS NECESSARY. IF CONFLICT ARISES, NOTIFY OWNER AND ARCHITECT IMMEDIATELY.
- MAINTAIN AT THE SITE AND MAKE AVAILABLE TO OWNER/ TENANT AND ARCHITECT A COMPLETE SET OF PERMIT DRAWINGS IF REQUIRED PLUS A SET OF RECORD DRAWINGS AND SHOP DRAWINGS WITH UP TO DATE NOTATIONS AND ALL MODIFYING DOCUMENTS ATTACHED THERETO.
- REPAIR AND RESTORE ALL DAMAGED FIREPROOF ING WHETHER DAMAGED BY THIS WORK OR BY PREVIOUS TENANT ACTIVITY. FIREPROOFING SHALL MATCH ADJACENT UNLESS CONCEALED ASBESTOS COMPONENTS ARE FOUND IN WHICH CASE THE OWNER/ LANDLORD/ TENANT AND ARCHITECT SHALL BE NOTIFIED. OBTAIN WRITTEN DIRECTION PRIOR TO PROCEEDING.
- REMOVALS OR ABANDONMENT OF DUCTS, PIPES, CONDUITS AND THE LIKE SHALL OCCUR BELOW OR BEHIND FINISH SURFACES AND BE APPROPRIATELY CAPPED AND COVERED TO MATCH ADJACENT CONSTRUCTION AND FINISHES.
- RECEIVE AND APPROPRIATELY STORE ALL MATERIALS DELIVERED IN CONNECTION WITH THE WORK. THE OWNER/ LANDLORD/ BUILDING MANAGEMENT AND TENANT WILL NOT ACCEPT OR STORE CONSTRUCTION MATERIALS OR EQUIPMENT.
- AT DEMOLITION SITES ABUTTING NEW CONSTRUCTION AND AREAS OF IN-FILL OR PATCH WORK, MATCH ADJACENT CONSTRUCTION UNLESS CALLED FOR OR SHOWN OTHERWISE ON THE DRAWINGS.
- ALL INTERIOR FINISH FLAME SPREAD REQUIREMENTS SHALL BE IN COMPLIANCE WITH IBC 2006, SECTION 803.5
- UNLESS OTHERWISE INDICATED OR DIRECTED BY THE OWNER OR ARCHITECT: PRODUCTS, MATERIALS, PATTERNS, COLORS AND THE LIKE HAVE BEEN SELECTED TO MEET A TIMELY CONSTRUCTION SCHEDULE. AT THE BEGINNING OF THE WORK, RECONFIRM ALL MATERIAL AVAILABILITIES. ADVISE ARCHITECT IMMEDIATELY OF ANY LONG-LEAD ITEMS THAT MIGHT JEOPARDIZE THE AGREED UPON WORK SCHEDULE TO ALLOW ADEQUATE TIME TO DEVELOP ALTERNATIVE SOLUTIONS.
- GYPSUM BOARD ASSEMBLIES: PROVIDE GYPSUM BOARD ASSEMBLIES TO MEET OR EXCEED A LEVEL 3 FINISH AS DEFINED BY GA-214-M-97 (GYPSUM ASSOCIATION; CISCA; AWC; PAINTING AND DECORATING CONTRACTORS OF AMERICA). ALL GYPSUM BOARD ASSEMBLIES SHALL BE LEVEL, TRUE AND PLUMB WITHIN 1/8" IN ANY 12'-0" LENGTH OR SPAN.
- REMOVALS, CLEAN-UP AND PROTECTION
 - ON A DAILY BASIS: REMOVE ALL WASTES, REFUSE AND DEBRIS ACCUMULATING FROM CONSTRUCTION WORK AND LEGALLY DISPOSE OF INDEPENDENTLY AND NOT UTILIZING OWNER/ LANDLORD/ BUILDING/ TENANT DUMPSTER. ENSURE THAT CONSTRUCTION PREMISES ARE LEFT IN A GENERALLY CLEAN CONDITION AT THE END OF EACH WORKING DAY.
 - PROTECT THE BUILDING PREMISES AND ALL OCCUPANTS FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. PROVIDE AND MAINTAIN NECESSARY COVERINGS, BOARDS, TEMPORARY PARTITIONS, BARRIERS AND DOORS REQUIRED TO PROTECT EXISTING WORK AND FINISHES TO REMAIN AND ALL AREAS OF THE BUILDING AFFECTED BY CONSTRUCTION.
 - MAKE ALL NECESSARY REPAIRS OR REPLACEMENT OF DAMAGED ITEMS WITHOUT ADDITIONAL CHARGE TO ANY OTHER PARTY. ONCE FLOOR COVERINGS HAVE BEEN INSTALLED, CLEAN ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - PROVIDE TEMPORARY PROTECTIONS FOR FINISHES TO PROTECT AGAINST DAMAGE.

- IMMEDIATELY PRIOR TO OWNER OCCUPANCY, CLEAN ALL SURFACES, REMOVE TEMPORARY LABELS, STAINS AND FOREIGN SUBSTANCES. POLISH TRANSPARENT AND GLOSSY SURFACES AND CLEAN EQUIPMENT AND FIXTURES TO A SANITARY CONDITION. REPLACE ALL USED FILTERS IN MECHANICAL EQUIPMENT WITH NEW FILTERS. REMOVE EXCESS MATERIALS AND EQUIPMENT. STORE BUILDING STANDARD EXCESS MATERIALS AS DIRECTED BY OWNER.
- SELECTIVE DEMOLITION
 - DEMOLITION WORK SHALL COMPLY WITH ANSI A10.6 AND NFPA 241
 - ALL WORK SHALL COMPLY WITH APPLICABLE CODE AND REGULATIONS. HAZARDOUS WASTE SHALL BE HANDLED AND DISPOSED OF IN COMPLIANCE WITH HAZARDOUS MATERIALS REGULATIONS.
 - ALL DEMOLITION WORK SHALL BE PERFORMED BY PERSONS EXPERIENCED IN DEMOLITION WORK SIMILAR IN NATURE AND EXTENT TO THAT REQUIRED BY THIS PROJECT.
 - PROTECT EXISTING SITE WORK AND EXISTING BUILDING EXTERIOR CONDITIONS AND FEATURES.
 - IN THE EVENT THAT UNANTICIPATED CONDITIONS ARE ENCOUNTERED, INCLUDING MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENT OF THE DEMOLITION DRAWINGS, REPORT SUCH CONDITIONS IMMEDIATELY TO THE ARCHITECT, AND DO NOT PROCEED WITH THE AFFECTED WORK UNTIL AUTHORIZED BY THE ARCHITECT.
 - ITEMS TO BE REMOVED SHALL BE DETACHED FROM THE EXISTING CONSTRUCTION EMPLOYING CUTTING AND REMOVAL METHODS THAT ARE LEAST LIKELY TO DAMAGE ADJACENT CONSTRUCTION WHICH IS TO REMAIN.
 - REMOVED ITEMS SHALL BE DISPOSED OF LEGALLY OFF-SITE, UNLESS DESIGNATED TO BE SALVAGED, OR REMOVED AND STORED.
 - ITEMS DESIGNATED TO BE SALVAGED SHALL BE DETACHED FROM THE EXISTING CONSTRUCTION AND DELIVERED TO THE OWNER REPRESENTATIVE. THE OWNER REPRESENTATIVE IS ENTITLED TO SALVAGE AND/OR REMOVE EQUIPMENT, HARDWARE, FIXTURES, AND FURNISHINGS FROM ALL AREAS OF THIS CONTRACT PRIOR TO DEMOLITION. MAINTAIN EXISTING UTILITY SERVICES AND FIRE PROTECTION FACILITIES, AND PROTECT THEM FROM DAMAGE DURING THE DEMOLITION OPERATIONS. INTERRUPTIONS OF UTILITY SERVICE TO THE BUILDING SHALL BE COORDINATED WITH THE OWNER REPRESENTATIVE.
 - TEMPORARILY SHUT OFF UTILITIES TO SELECTED PORTIONS OF THE BUILDING AS REQUIRED BY DEMOLITION OPERATIONS. CAP, VALVE, PLUG OR SEAL ENDS OF PIPING AND CONDUIT REQUIRED TO BE CUT-OFF OR DISCONNECTED BY THE DEMOLITION WORK. MAINTAIN CONTINUITY OF UTILITIES TO OTHER PORTIONS OF THE BUILDING.
 - COMPLY WITH THE FOLLOWING DUST-CONTROL MEASURES:
 - GENERAL:
 - ISOLATE THE WORK AREA FOR THE DURATION OF THE WORK BY COMPLETELY SEALING OFF ALL OPENINGS AND FIXTURES IN THE WORK AREA, INCLUDING BUT NOT LIMITED TO: HEATING AND VENTILATION DUCTS, DOORWAYS, CORRIDORS, WINDOWS, AND LIGHTING WITH PLASTIC SHEETING TAPED SECURELY IN PLACE.
 - BUILD DOUBLE BARRIERS OF PLASTIC SHEETING AT ALL ENTRANCES AND EXITS TO THE WORK AREA SO THAT THE WORK AREA IS ALWAYS CLOSED OFF BY ONE BARRIER WHEN WORKERS ENTER OR EXIT.
 - PROTECTION
 - COVER ALL FLOORS AND WALL SURFACES IN THE WORK AREA WITH PLASTIC SHEETING TAPED SECURELY IN PLACE TO PROTECT FROM DAMAGE.
 - BEFORE THE WORK IS BEGUN, REMOVE ALL REMOVABLE ITEMS AND EQUIPMENT FROM THE WORK AREA AND STORE AS DIRECTED.
 - COVER ALL NON-REMOVABLE ITEMS AND EQUIPMENT IN THE WORK AREA WITH PLASTIC SHEETING TAPED SECURELY IN PLACE.
 - POST WARNING SIGNS AND LABELS AS REQUIRED BY 29 CFR 1910.1001, ASTM E 849.

GENERAL PROJECT NOTES

- LOCATIONS OF EXISTING PARTITIONS, ROOM SIZES, COLUMN LOCATIONS, WINDOW LOCATIONS, ETC. ARE TAKEN FROM RECORD DRAWINGS. WHILE THE INFORMATION IS ASSUMED TO BE RELIABLE, THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ITS ACCURACY NOR FOR ERRORS OR OMISSIONS RESULTING THEREFROM.
- VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO THE ARCHITECT'S ATTENTION.
- THE TERM "WORK" MEANS THE CONSTRUCTION AND SERVICES REQUIRED BY THE CONTRACT DOCUMENTS, WHETHER COMPLETED OR PARTIALLY COMPLETED, AND INCLUDES ALL OTHER LABOR, MATERIALS, EQUIPMENT AND SERVICES PROVIDED OR TO BE PROVIDED BY THE CONTRACTOR TO FULFILL THE CONTRACTOR'S OBLIGATIONS. THE WORK MAY CONSTITUTE THE WHOLE OR A PART OF THE PROJECT. AS STATED IN AIA DOCUMENT A201, 2017 EDITION, UNDER ARTICLE 1, SUBPARAGRAPH 1.1.3.
- THE TERM "PROJECT" IS THE TOTAL CONSTRUCTION OF WHICH THE WORK PERFORMED UNDER THE CONTRACT DOCUMENTS MAY BE THE WHOLE OR A PART AND WHICH MAY INCLUDE CONSTRUCTION BY THE OWNER AND BY SEPARATE CONTRACTORS. AS STATED IN AIA DOCUMENT A201, 2017 EDITION, UNDER ARTICLE 1, SUBPARAGRAPH 1.1.4.
- THE CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY AND THEIR INTENT IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. PROVIDE ALL LABOR, MATERIALS, SERVICES AND EQUIPMENT REQUIRED OR REASONABLY IMPLIED BY THESE DOCUMENTS FOR COMPLETION OF THE WORK AND AS NECESSARY TO ACCOMMODATE AND UNIFY THE WORK OF OUTSIDE CONTRACTORS, VENDORS OR SUPPLIERS. THE ORGANIZATION OF THE NOTES AND DRAWINGS SHALL NOT CONTROL THE DIVISION OF THE WORK AMONG THE SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF THE WORK PERFORMED BY ANY TRADE.
- IN CASE OF CONFLICTS OR DISCREPANCIES BETWEEN ANY DOCUMENTS PERTAINING TO THE WORK, THE ARCHITECT WILL DETERMINE WHICH DOCUMENT OR PART TAKES PRECEDENCE. IN GENERAL, BUT NOT WITHOUT EXCEPTION, AT THE SOLE DISCRETION OF THE ARCHITECT, THE MORE STRINGENT OR HIGHER COST REQUIREMENT IS REQUIRED. SUBMIT A REQUEST FOR INFORMATION (RFI) TO THE ARCHITECT FOR AN INTERPRETATION OF THE REQUIREMENTS PRIOR TO PROCEEDING WITH ANY WORK ASSOCIATED WITH CONFLICTS OR DISCREPANCIES BETWEEN ANY DOCUMENT PERTAINING TO THE WORK.
- CLARIFICATIONS OR INFORMATION REQUIRED SHALL BE FURNISHED BY THE ARCHITECT IN WRITING. SUBMIT REQUESTS FOR SUCH CLARIFICATION OR INFORMATION IN WRITING TO THE ARCHITECT. VERBAL INQUIRIES AND RESPONSES ARE NOT BINDING. ARCHITECT'S CLARIFICATION / INFORMATION SHALL BE DISTRIBUTED TO ALL PARTIES.
- INFORM THE OWNER IMMEDIATELY OF ANY CHANGES THAT WILL IMPACT THE PROJECT SCHEDULE OR BUDGET IN WRITING. WITHIN A REASONABLE AGREED UPON TIME FRAME A PROPOSED CHANGE ORDER SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO COMMENCING THE WORK. PROPOSED CHANGE ORDERS SUBMITTED AFTER THE FACT SHALL NOT BE ACCEPTED.
- DO NOT SCALE DRAWINGS
- COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.
- DIMENSIONS ARE TO THE FACE OF EXISTING WALLS OR NEW STUDS UNLESS NOTED OTHERWISE.
- ALL SYMBOLS AND ABBREVIATIONS USED ON DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SAME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- ALL TESTING AND INSPECTIONS SHALL BE COORDINATED AND SCHEDULED BY THE CONTRACTOR TO FIT WITHIN THE WORKFLOW OF THE PROJECT.
- COORDINATE SCHEDULE DATE, SITE ACCESS WITH THE USER PRIOR TO COMMENCING WORK.
- MAKE ALL ARRANGEMENTS, MAINTAIN AND PAY ALL COSTS FOR TEMPORARY TELECOMMUNICATIONS, WATER, PLUMBING, POWER, LIGHTING, HEATING OR VENTILATION AND CLEAN-UP OPERATIONS AS NECESSARY TO PROPERLY CONDUCT THE WORK. ALL HOISTING CHARGES OR SPECIAL EQUIPMENT, IF ANY, SHALL BE INCLUDED IN THE WORK.
- OBTAIN PERMITS AND PAY ALL FEES FOR ALL REGULATORY APPROVALS, CONTROLLED INSPECTIONS AND OTHER AGENCY APPROVALS IF REQUIRED. COPIES OF ALL TRANSACTIONS SHALL BE PROVIDED TO THE OWNER. COMPLETE DOCUMENTATION OF FINAL REGULATORY AGENCY APPROVALS FOR PROJECT COMPLETION AND CONTROLLED INSPECTION REPORTS SHALL BE SUBMITTED TO THE OWNER PRIOR TO APPLICATION FOR FINAL PAYMENT.
- ALL WORK SHALL CONFORM TO APPLICABLE LOCAL BUILDING CODES AND ORDINANCES AND OTHER ENTITIES HAVING JURISDICTION. PROVIDE AND MAINTAIN, FOR THE DURATION OF THE WORK, ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS TO CONFORM TO APPLICABLE REGULATORY REQUIREMENTS.

PROJECT TEAM

OWNER:
 Davis Gribble Hollowwa Dental Office
 3610 Calle Cuervo NW
 Albuquerque, NM 87114

ARCHITECT OF RECORD:
 STEPHEN LEOS ARCHITECT LLC
 400 Gold Ave SW, Studio 911
 Albuquerque, NM 87102
 PH - 505.681.2329

INTERIOR DESIGN:
 acornstudio, inc.
 8801 Lavender Lane Court NE
 Albuquerque, NM 87122
 PH - 505.821.5269

PROJECT LOCATION



ADDRESS:
 3610 Calle Cuervo NW
 Albuquerque, NM 87114

ZONE ATLAS PAGE:
 A-14-Z

FIRE PROTECTION NOTES

- EXIT SIGNS WITH BATTERY BACK-UP ARE INDICATED ON THE CODE AND REFLECTED CEILING PLAN.
- EMERGENCY LIGHTING IS INDICATED ON CODE AND REFLECTED CEILING PLAN.
- LOCATIONS OF EXIT SIGNAGE AND EMERGENCY LIGHTING IS SUBJECT TO REVIEW BY FIRE MARSHAL AND CODE OFFICIAL PRIOR TO MODIFICATION / INSTALLATION.
- FIRE EXTINGUISHERS ARE INDICATED ON THE CODE AND FLOOR PLAN.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATION THT THE FIRE SPRINKLER, FIRE ALARM, KITCHEN SUPPRESSION SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM.

Davis Gribble Hollowwa Dental Office - TI

3610 Calle Cuervo NW
 Albuquerque, NM 87114

REVISIONS

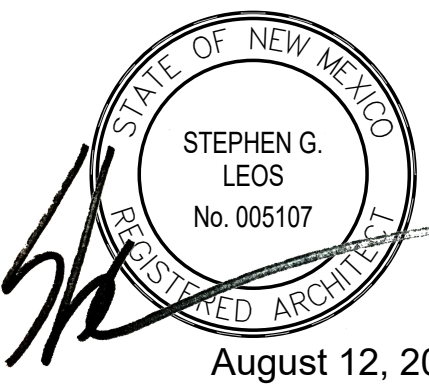
NO.	DATE	DESCRIPTION

ISSUE PURPOSE

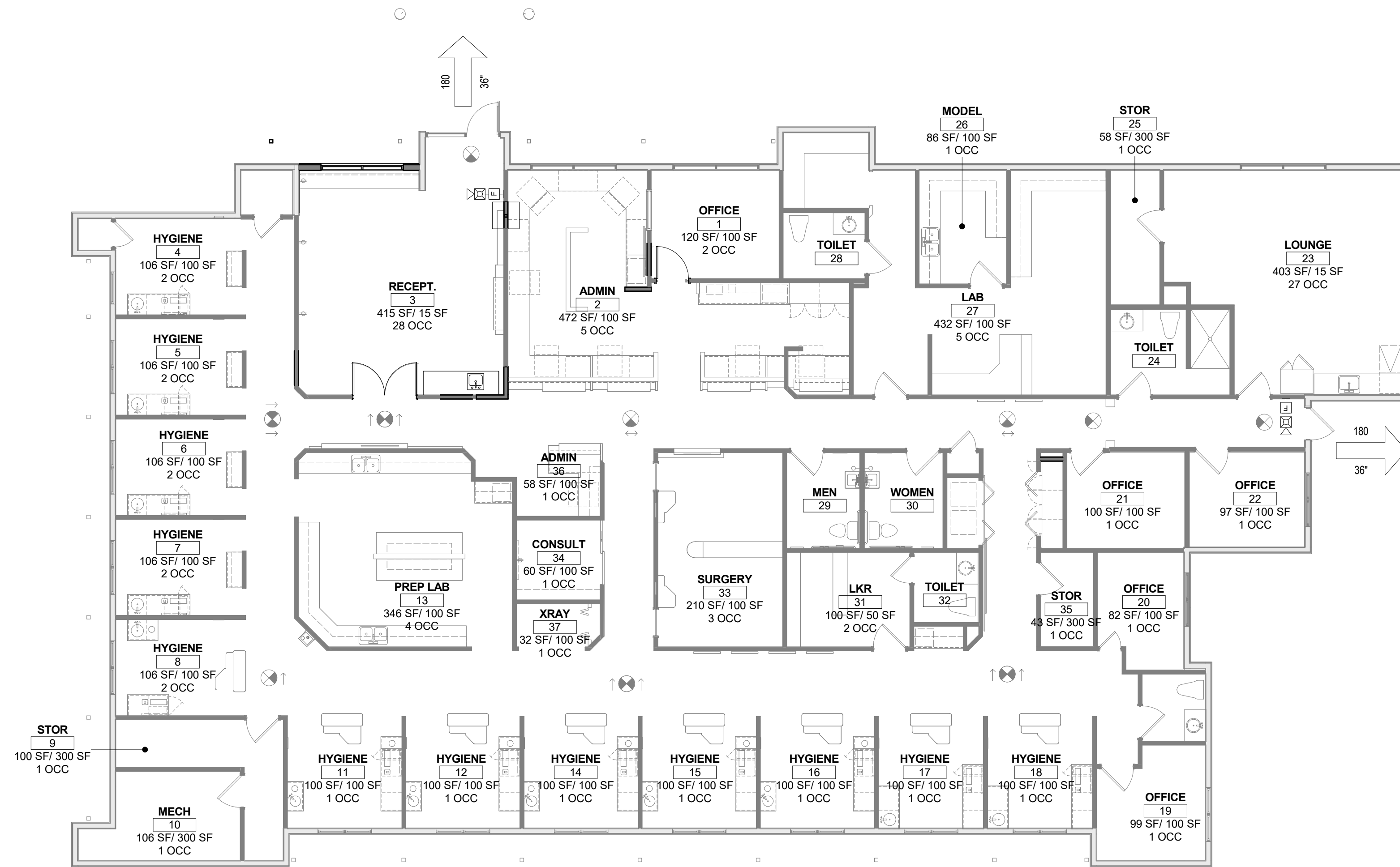
FOR PERMIT / BID

PROJECT NO: 21-23

DATE August 06, 2021



August 12, 2021



C2 FIRE 2 - CODE PLAN
 1/8" = 1'-0"



CODE SUMMARY		LIFE SAFETY PLAN SYMBOL LEGEND							
<p>A. APPLICABLE CODES:</p> <p>2015 INTERNATIONAL BUILDING CODE (IBC) 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2015 UNIFORM MECHANICAL CODE (UMC) 2015 UNIFORM PLUMBING CODE (UPC) 2017 NATIONAL ELECTRIC CODE (NEC) 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2012 NFPA 101- LIFE SAFETY CODE 2009 ICC/ANSI A117.1</p> <p>B. SCOPE of WORK - IEBC SECTION 505 - ALTERATION LEVEL 3:</p> <p>WORK UNDER THIS CONTRACT INCLUDES NEW FINISHES THROUGHOUT, MINOR PLUMBING AND ELECTRICAL. RELOCATION OF AN OFFICE DOOR AND A 26 SF EXPANSION OF THE WAITING AREA ALONG WITH NEW RECEPTION CASEWORK.</p> <p>C. CURRENT ZONING:</p> <p>NR-BP - NON RESIDENTIAL - BUSINESS PARK ZONE DISTRICT ZONE ATLAS PAGE: A-14-Z</p> <p>D. USE and OCCUPANCY CLASSIFICATION/SEPARATION:</p> <p>EXISTING ONE 1 STORY DENTAL OFFICE (7,030 gsf)</p> <p>EXISTING OCCUPANCY GROUP : B (BUSINESS) NO CHANGE</p> <p>EXISTING TYPE V-B CONSTRUCTION, NON SPRINKLED (NO CHANGE)</p> <p>H. BUILDING ALLOWABLE AREA:</p> <p>BASE ALLOWABLE FLOOR AREA (TABLE 506.2) 9,000 SF ACTUAL FLOOR AREA 7,056 SF</p> <p>E. OCCUPANT LOAD (SECTION 1004 TABLE 1004.1.2)</p> <p>NO CHANGE IN OCCUPANCY, EXISTING GROUP B TO REMAIN</p> <p>GROUP B at 1:100sf (BUSINESS, OFFICE AREA): 47 OCCUPANTS GROUP A-3 at 1:15sf (RECEPTION and BREAK AREAS): 55 OCCUPANTS TOTAL: 102 OCCUPANTS</p> <p>F. FIRE PROTECTIVE SYSTEM</p> <p>PER SECTION 903 FOR GROUP B OCCUPANCIES, AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED</p> <p>PORTABLE FIRE EXTINGUISHERS PER SECTION 906: AREA: B 1 / 3,000sf 7,030sf / 3,000 = 3 FIRE EXTINGUISHERS REQUIRED</p> <p>3 FIRE EXTINGUISHERS - EXISTING</p> <p>MINIMUM RATED SINGLE EXTINGUISHER: 2A-10B MAXIMUM TRAVEL DISTANCE BETWEEN FIRE EXTINGUISHERS: 75ft</p>	<p>G. MEANS OF EGRESS OCCUPANT LOAD NO CHANGE</p> <p>MEANS OF EGRESS (IEBC 805): WORK AREA IS NOT SHARED BY MORE THAN ONE TENANT AND CONFORMS TO THE REQUIREMENTS OF THE BUILDING CODE UNDER WHICH THE BUILDING WAS CONSTRUCTED.</p> <p>MAXIMUM OCCUPANT LOAD FOR SPACE WITH ONE EXIT PER TABLE 1006.2.1: M OCCUPANCY = 49 OCCUPANTS & LESS THAN 75ft TRAVEL DISTANCE</p> <p>EXIT DOOR SWING PER 1010.1.2.1 DOOR MAY SWING INTO DIRECTION OF EGRESS IF THE OCCUPANT LOAD OF THE AREA IS LESS THAN 50.</p> <p>H. BUILDING ELEMENTS and MATERIALS (IEBC 602):</p> <p>ALL NEW INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH CHAPTER 8 OF THE 2015 INTERNATIONAL BUILDING CODE.</p> <p>G. PLUMBING FIXTURE REQUIREMENTS (SECTION 2902)</p> <p>NO CHANGE IN OCCUPANCY OR OCCUPANT LOAD NO ADDITIONAL FIXTURES REQUIRED</p> <p>IEBC SECTION 810.1 MINIMUM FIXTURES. WHERE THE OCCUPANT LOAD OF THE STORY IS INCREASED BY MORE THAN 20 PERCENT, PLUMBING FIXTURES FOR THE STORY SHALL BE PROVIDED IN QUANTITIES SPECIFIED IN THE INTERNATIONAL PLUMBING CODE BASED ON THE INCREASED OCCUPANT LOAD.</p> <p>SEISMIC DESIGN CATEGORY: D; NEW LAY IN GRID TO COMPLY WITH DESIGN CATEGORY D.</p>	<p>Name 101 ROOM NAME 150 SF / 50 SF ROOM NUMBER 3 OCC AREA OF ROOM/SF PER OCCUPANT (IBC) OCCUPANT LOAD OF ROOM</p> <p> IBC OCCUPANT LOAD/DIRECTION OF EGRESS</p> <p> MAXIMUM OCCUPANT LOAD FOR DOOR (SECTION 1005.1)</p> <p> ACTUAL OCCUPANT LOAD FOR DOOR</p> <p> WIDTH OF DOOR (IN INCHES)</p> <p> DIRECTION OF EXIT</p> <p> NUMBER OF OCCUPANTS EXITING</p> <p>FEC FIRE EXTINGUISHER CABINET FEB FIRE EXTINGUISHER BRACKET</p> <p> 2 HOUR SEPARATION</p> <p>LIFE SAFETY</p> <p> NEW/RELOCATED EMERGENCY LIGHTING</p> <p> NEW / RELOCATED EXIT SIGN</p> <p> NEW / RELOCATED HORN / STROB</p> <p> NEW / RELOCATED PULL STATION</p>	<p>FOR PERMIT / BID</p> <p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>FIRE 2</p> <p>SHEET NO</p> <p>FIRE 2</p> <p>PROJECT NO: 21-23 DATE August 06, 2021</p>	NO.	DATE	DESCRIPTION			
NO.	DATE	DESCRIPTION							

Davis Gribble Hollowwa Dental Office - T1

3810 Calle Cuervo NW
 Albuquerque, NM 87114

8/13/2021 10:15:05 AM

GENERAL SHEET NOTES

- DEMO FLOOR AND CEILING PLANS
1. VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE, & IF ANY DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED.
 2. PROTECT FROM DAMAGE EXISTING ELECTRICAL, MECHANICAL EQUIPMENT, ETC. WHICH WILL REMAIN AS PART OF THE FINAL SYSTEMS. IF DAMAGED, REPAIR AND/OR RESTORE THESE ITEMS TO PRE-CONSTRUCTION CONDITIONS.
 3. ONLY MAJOR ITEMS OF DEMOLITION ARE SHOWN ON THE DEMOLITION DRAWINGS. THERE MAY BE SPECIFIC AND SMALL ITEMS OF DEMOLITION AND REPAIR THAT WILL BE NECESSARY THROUGHOUT THE COURSE OF THE WORK WHICH IS APPARENT BY A COMPLETE AND THOROUGH REVIEW OF EXISTING CONDITIONS AND ALL OF THE CONSTRUCTION DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL DEMOLITION OPERATIONS REQUIRED FOR THE PROJECT.
 4. EXISTING CONSTRUCTION SHALL BE MODIFIED AS NEEDED FOR REMOVAL OF ANY EXISTING WORK, SUCH MODIFICATIONS WILL BE REPAIRED AND FINISHED TO MATCH ADJACENT.
 5. EXISTING CONSTRUCTION SHALL BE MODIFIED AS NEEDED TO ACCOMMODATE NEW DEVICES AND CONDUIT ROUTES, SUCH MODIFICATIONS WILL BE REPAIRED AND FINISHED TO MATCH ADJACENT.
 6. REMOVE ALL MISC FIXTURES, PIPING, CONDUIT, AND DEVICES NO LONGER FUNCTIONING AS PART OF THIS WORK, UNLESS NOTED OTHERWISE.
 7. REMOVE ALL CARPETING AND FLOOR FINISH IN WORK AREA.
 8. REMOVE ALL WINDOW COVERINGS, BLINDS ETC. PATCH HOLES.
 9. PATCH ALL WALLS IN AREAS WHERE MISC FIXTURES, CONDUIT, AND DEVICES HAVE BEEN REMOVED. PATCH/REPAIR/TEXTURE ALL WALLS FOR CONSISTENT FINISH FREE OF DEFECTS & UNEVEN SURFACES. EXISTING TR ROOM AND EQUIPMENT SHALL STAY OPERATIONAL DURING DEMO AND CONSTRUCTION.
 10. PROTECT ALL ELEMENTS TO REMAIN.
 11. PATCH ALL HOLES IN EXISTING WALLS WITHIN WORK AREA.
 12. SEE AE103 FOR LIGHTING SCHEDULE

REFERENCE KEYNOTES

- 02.A02 REMOVE - PORTION OF WALL
- 02.A03 REMOVE - PORTION of WALL for NEW DOOR
- 02.A04 REMOVE - DOOR and FRAME
- 02.A12 REMOVE - WOOD POST and CONC. BASE
- 02.A13 REMOVE - STOREFRONT FRAMING and DOOR
- 02.A14 REMOVE - CASEWORK (SEE INTERIORS DEMO PLAN)
- 02.A15 REMOVE - PORTION OF EXTERIOR CANOPY and FRAMING
- 02.A16 REMOVE - PORTION OF EXTERIOR WALL, SEE SECTION and STRUCTURAL DETAIL
- 02.A17 REMOVE - PORTION OF SLAB AS REQ FOR NEW PLUMBING WASTE
- 02.A18 REMOVE - PORTION OF SLAB FOR NEW POST BASE (SEE STR. DETAIL)
- 02.A19 REMOVE - RECESSED INCANDESCENT LIGHT FIXTURE(S) UTILIZE EXISTING CIRCUITING FOR NEW (SEE INTERIORS)
- 02.A20 REMOVE - CEILING FAN, UTILIZE EXISTING CIRCUITING FOR NEW DECORATIVE FIXTURE (SEE INTERIORS)
- 02.B01 REMOVE and SALVAGE for REINSTALLATION - STOREFRONT WINDOW
- 02.C04 REMOVE and RELOCATE - PULL STATION & HORN/STROBE
- 02.C05 REMOVE and RELOCATE - LIGHT SWITCH(S)
- 02.D07 EXISTING to REMAIN - WOOD FRAMED ENTRANCE CANOPY WITH CORRUGATED ROOFING
- 02.F03 REINSTALLED - PULL STATION and HORN/STROBE
- 06.A04 4x8 BEAM, PAINT FINISH (MATCH EXISTING)
- 06.A05 6" T&G, PAINT FINISH (MATCH EXISTING)
- 06.F02 NEW COFFEE BAR CASEWORK, SEE INTERIORS
- 06.F03 NEW COUNTER, SEE INTERIORS
- 08.B00 WOOD DOOR AND FRAME
- 08.D01 ALUMINUM-FRAMED WINDOW, RELOCATED EXISTING
- 09.D07 PATCH GYP CEILING/SOFFIT to MATCH EXISTING, BLEND JOINT into EXISTING CEILING
- 22.A06 PROVIDE 1/2" COLD and HOT WATER FROM EXISTING WATER LOOP ACROSS THE HALL
- 22.A07 PROVIDE 2" DRAIN TIED INTO EXISTING WASTE UNDER SLAB FOR SINK ACROSS THE HALL
- 22.A08 PROVIDE VENT TIED TO EXISTING STACK ABOVE CEILING
- 26.A01 RELOCATED - EXISTING LIGHT FIXTURE
- 26.A03 RELOCATED LIGHT SWITCH
- 26.C03 NEW LED RECESSED LIGHT FIXTURE UTILIZING EXISTING LIGHTING CIRCUIT FROM REMOVED INCANDESCENT RECESSED CANS. (SEE INTERIORS FOR SPEC)



August 12, 2021

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3810 Calle Cuervo NW
Albuquerque, NM 87114

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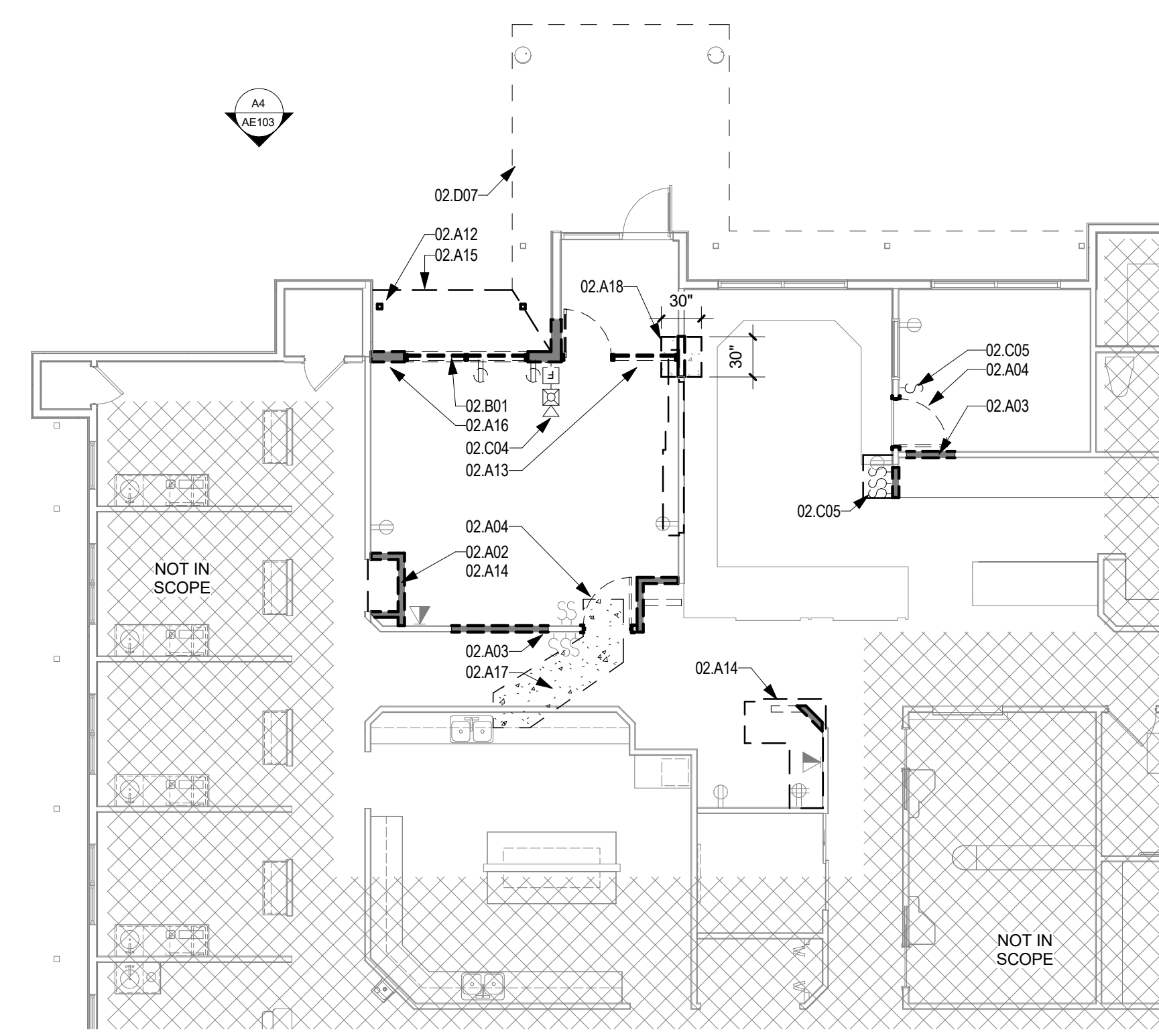
REVISIONS		
NO.	DATE	DESCRIPTION

DEMO and NEW WORK - PARTIAL FLOOR and CEILING PLAN

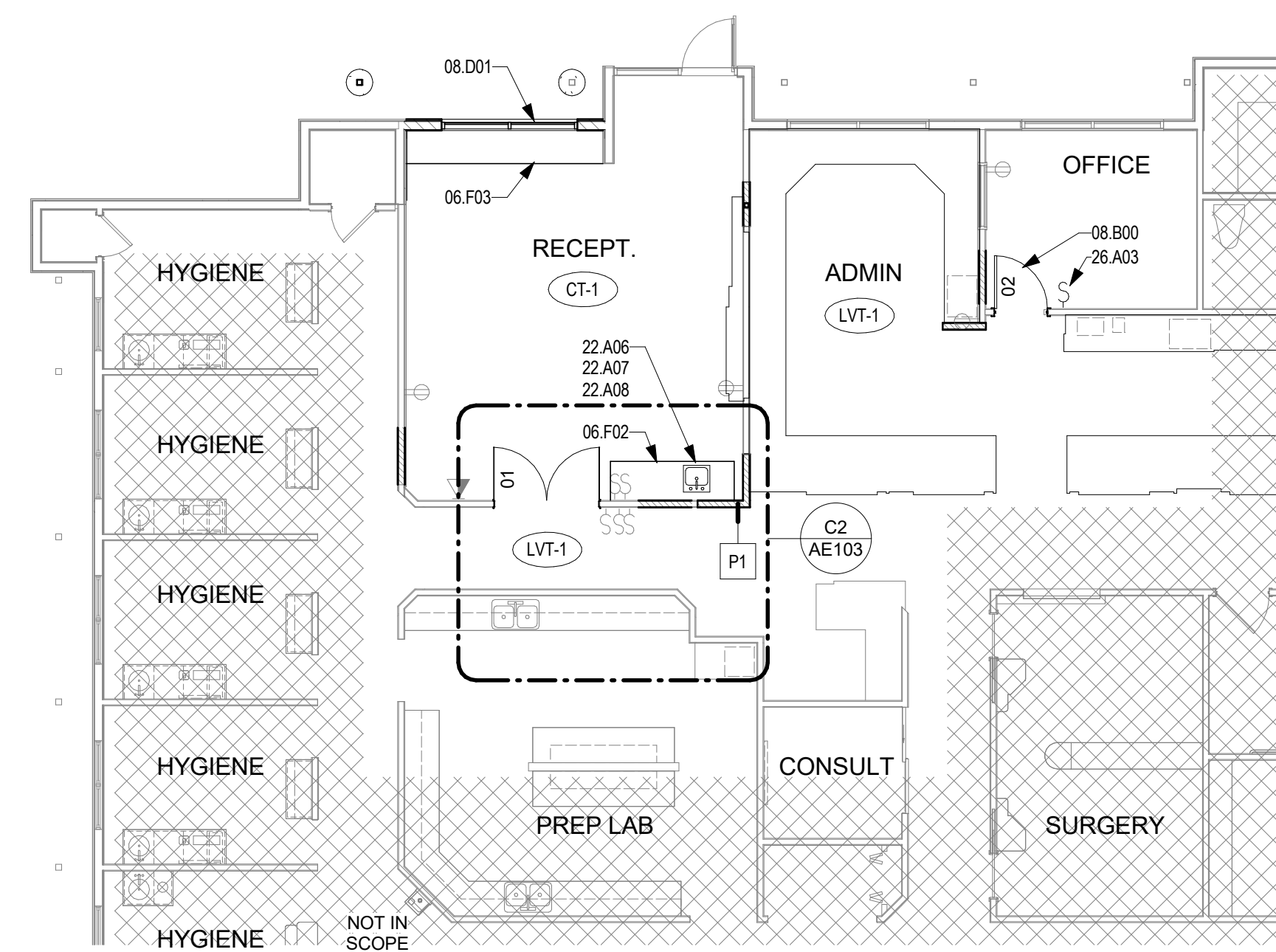
SHEET NO

AE101

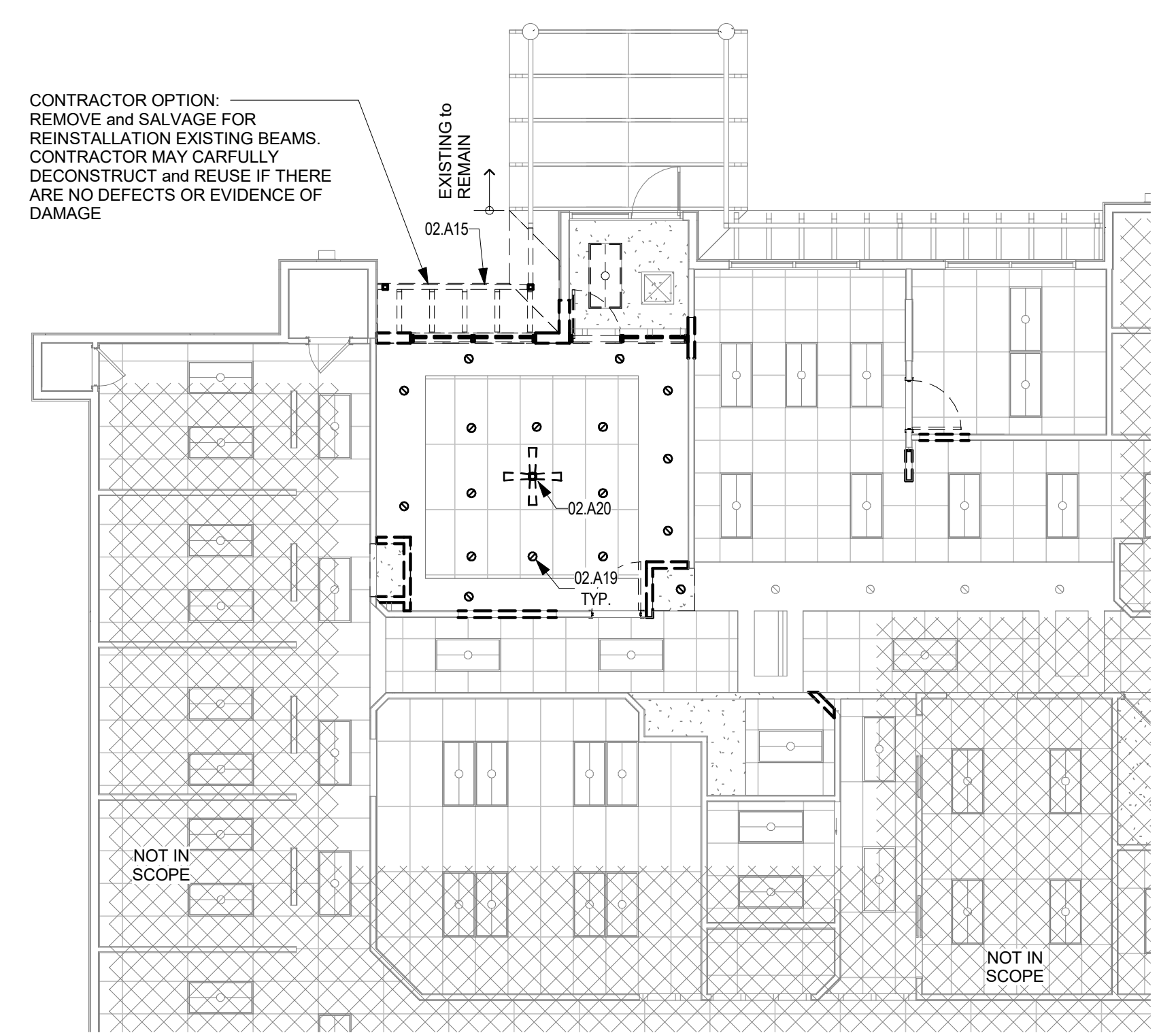
PROJECT NO: 21-23
 DATE: August 06, 2021



C1 DEMO - FLOOR PLAN
1/8" = 1'-0"

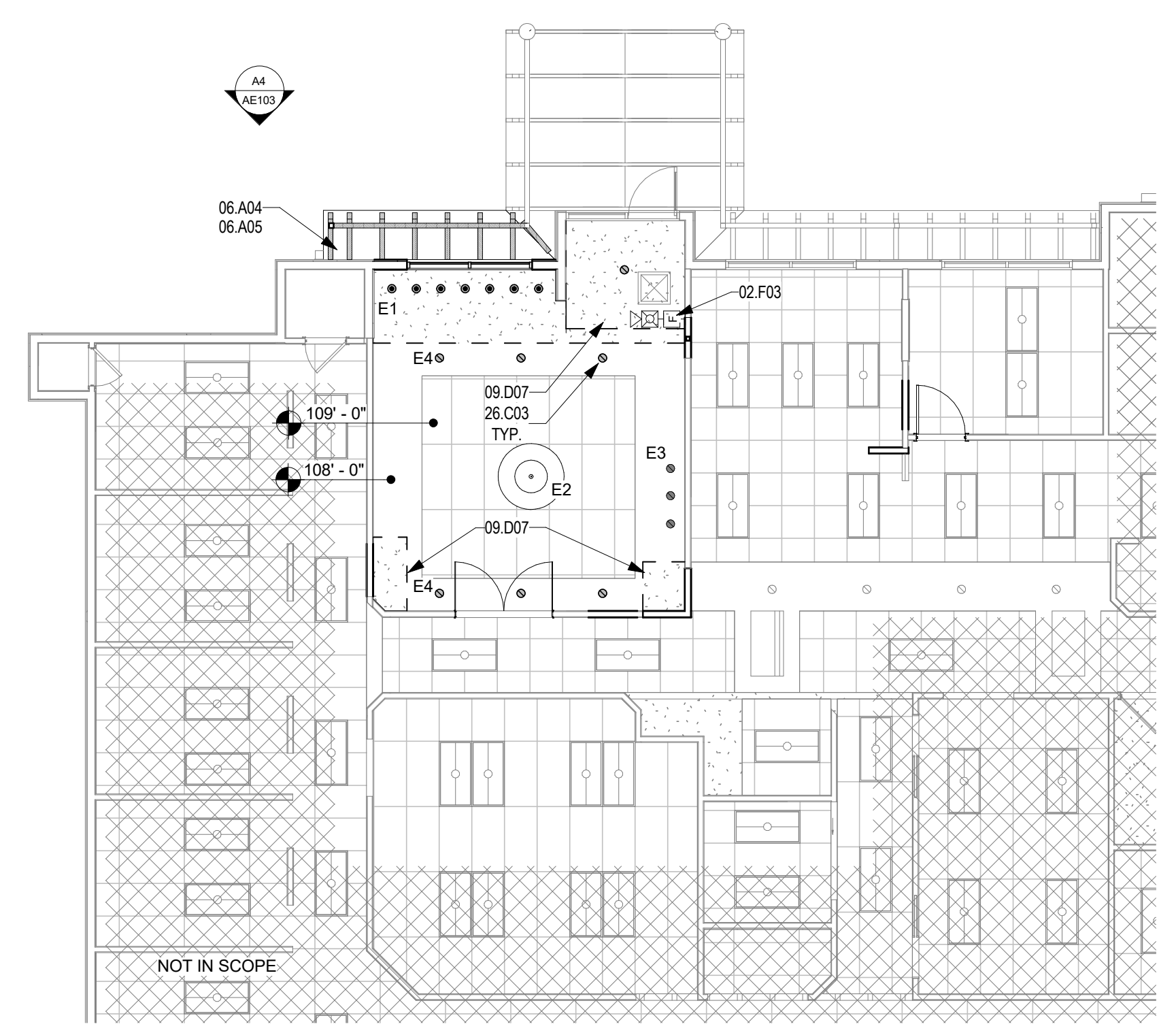


C4 NEW WORK - FLOOR PLAN
1/8" = 1'-0"



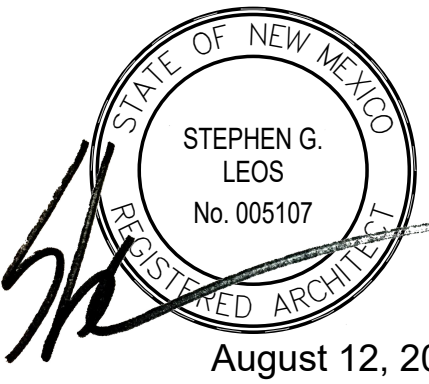
A1 DEMO - PARTIAL CEILING PLAN
1/8" = 1'-0"

CONTRACTOR OPTION:
 REMOVE and SALVAGE FOR REINSTALLATION EXISTING BEAMS. CONTRACTOR MAY CAREFULLY DECONSTRUCT and REUSE IF THERE ARE NO DEFECTS OR EVIDENCE OF DAMAGE



A3 NEW WORK - PARTIAL CEILING PLAN
1/8" = 1'-0"

8/13/2021 10:15:05 AM



August 12, 2021

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 Albuquerque, NM 87114

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NO.	DATE	DESCRIPTION

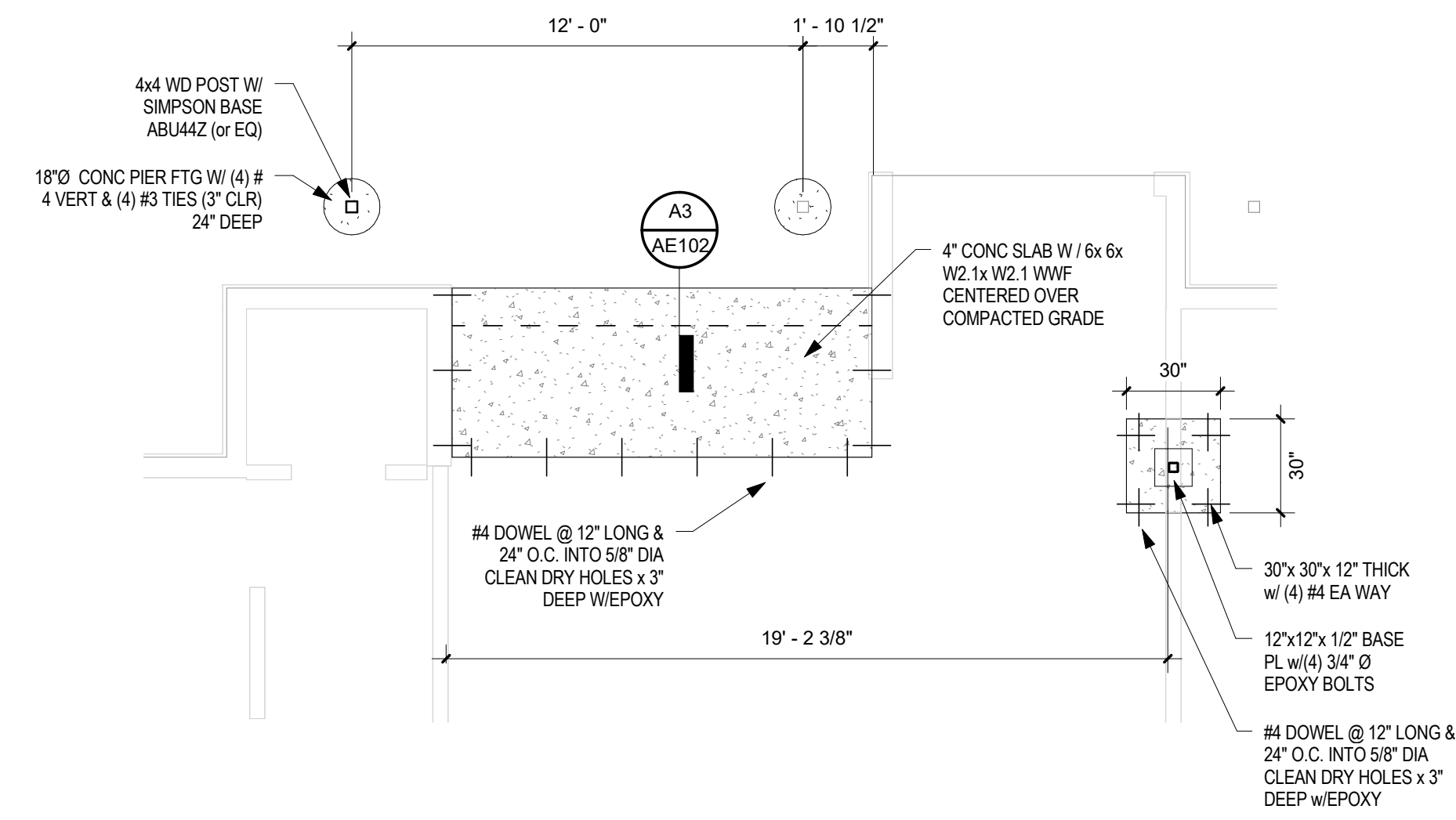
STRUCTURAL PLAN, ROOF PLAN and DETAILS

SHEET NO

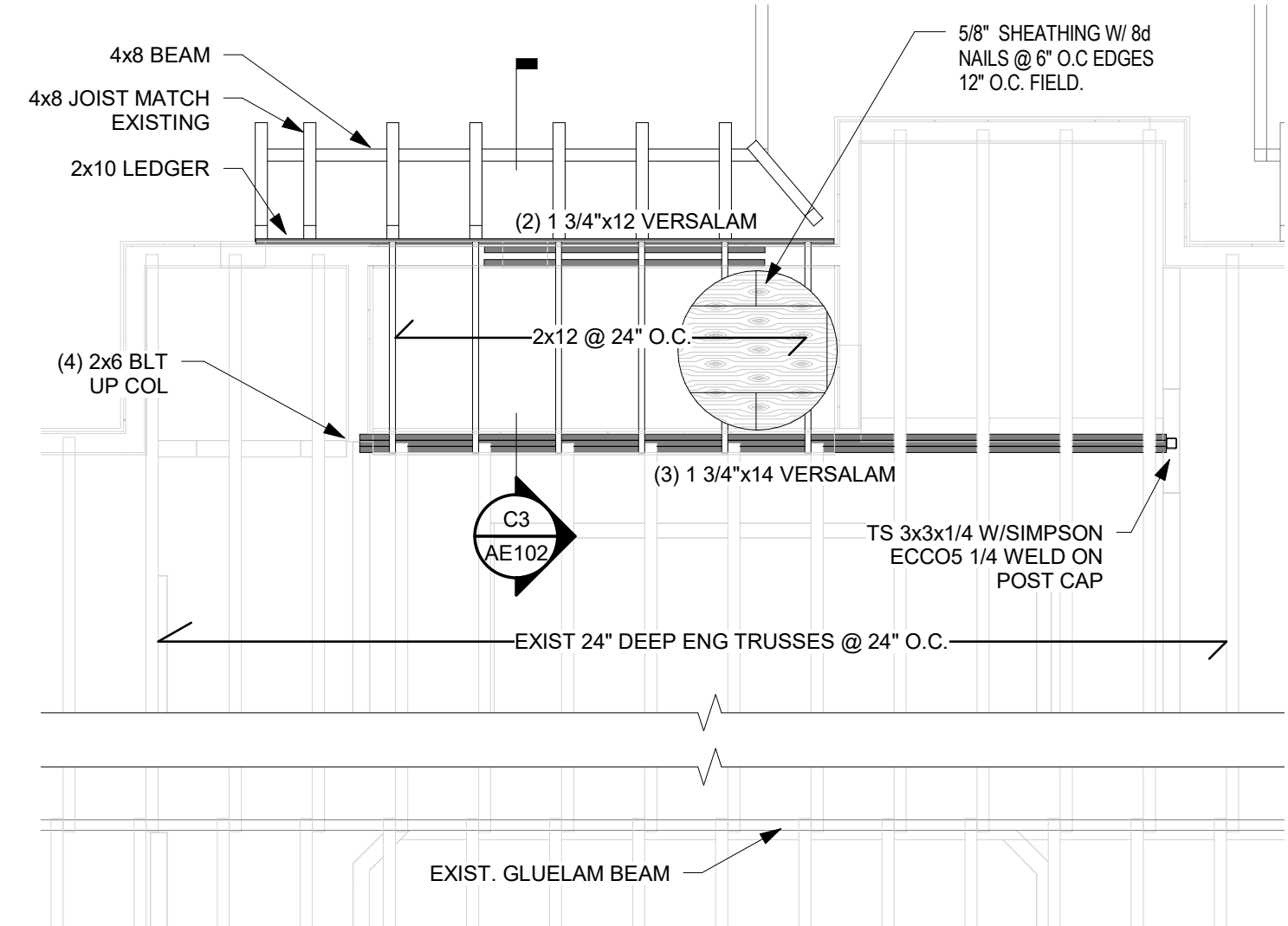
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PROJECT NO: 21-23

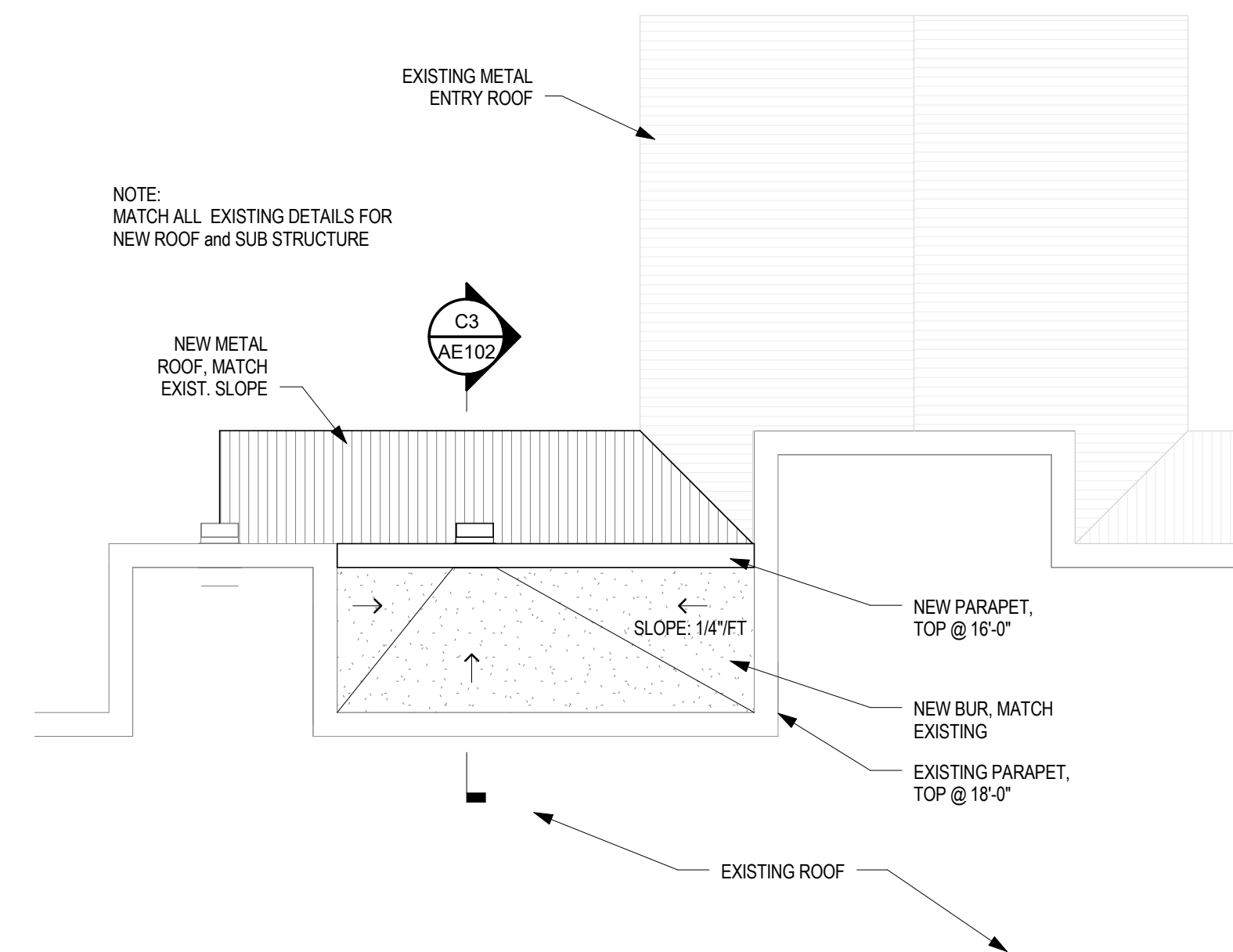
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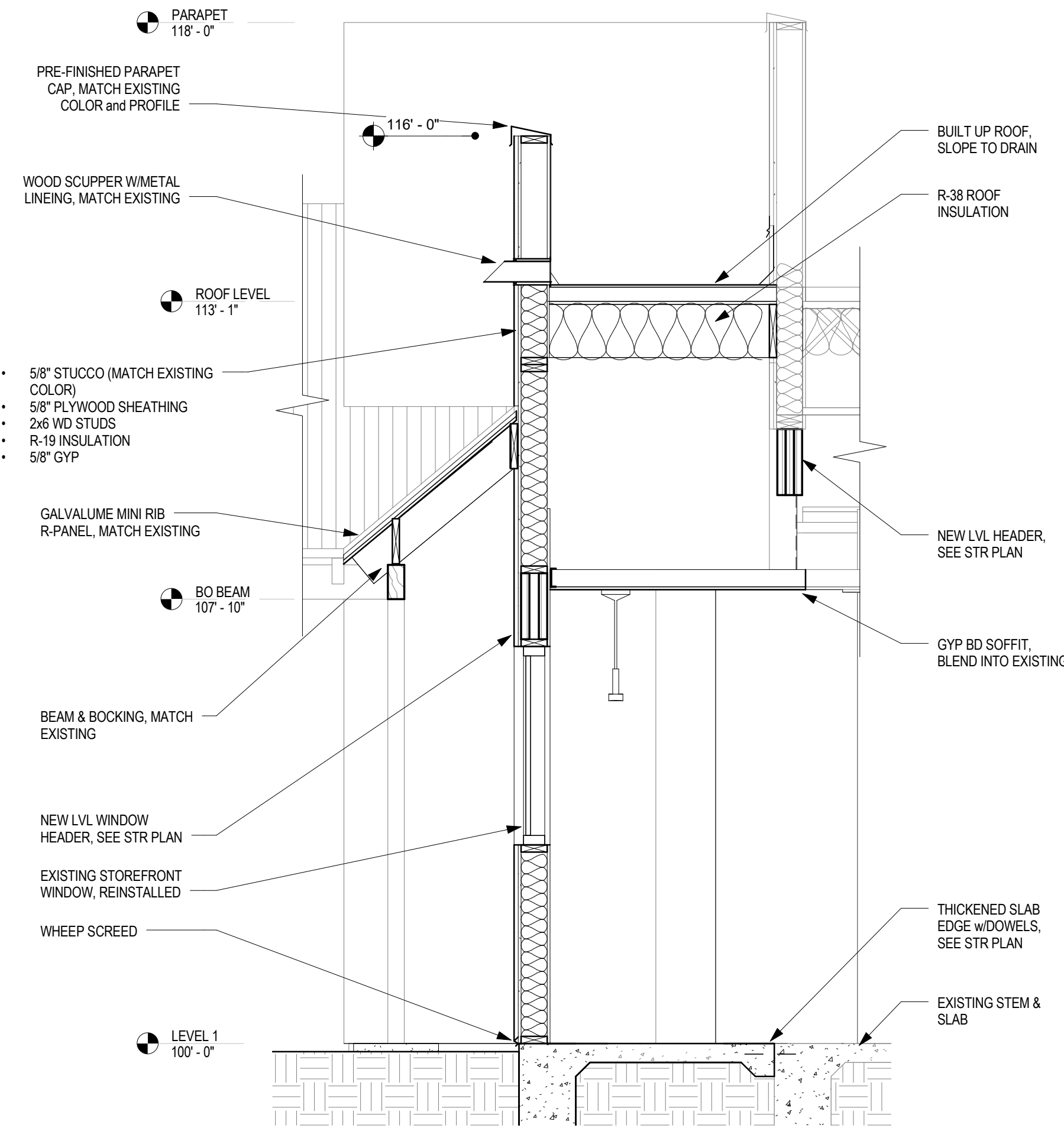
D1 FOUNDATION PLAN
 1/4" = 1'-0"



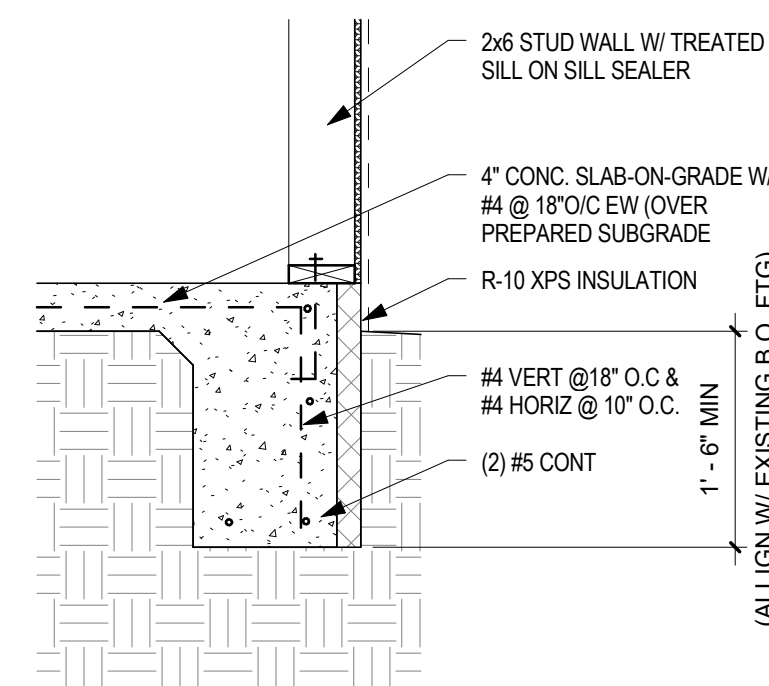
B1 ROOF FRAMING PLAN
 1/4" = 1'-0"



A1 PARTIAL - ROOF PLAN
 1/4" = 1'-0"



C3 WALL SECTION
 1/2" = 1'-0"



A3 STEM WALL
 3/4" = 1'-0"

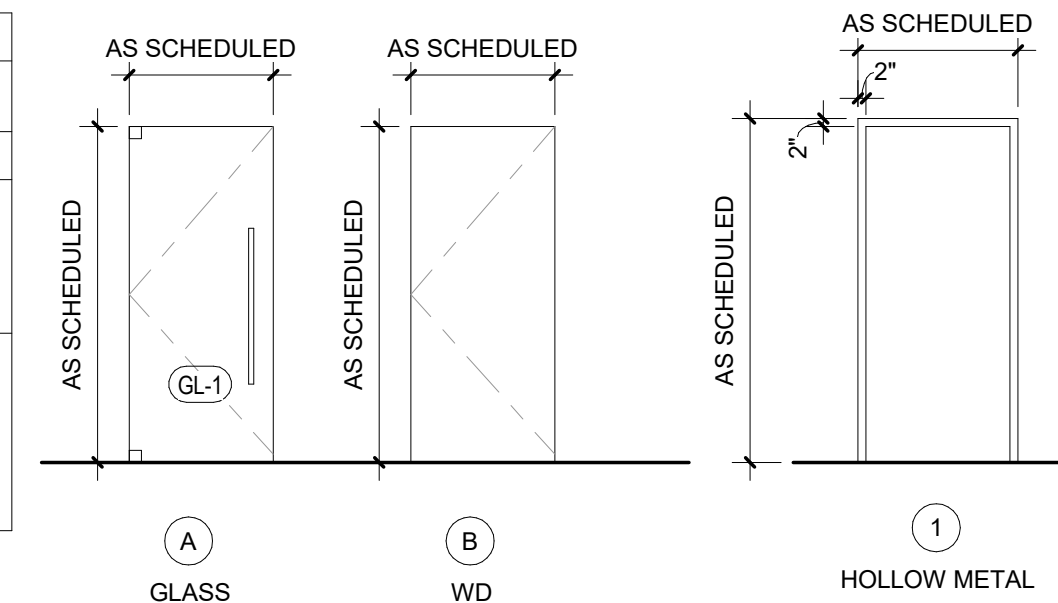
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LIGHT FIXTURE SCHEDULE						
MARK	DESCRIPTION	MANUF.	MODEL	LAMP	COUNT	COMMENTS
E1	CHARGE BAR PENDENT	RH	UTILITAIRE CYLINDER SHADE PENDANT	LED	7	4.5"D x 12.5"H LED
E2	RECEPTION CHANDELIER	FOUR HANDS	BAUM CHANDELIER - DARK WALNUT	LED	1	48.75" DIA. LED
E3	4" RECESSED DOWN LIGHT	HALO	TBD	LED	3	
E4	6" RECESSED DOWN LIGHT	HALO	TBD	LED	7	

DOOR and FRAME SCHEDULE									
NUMBER	DOOR			FRAME		H.W. SET NO.	REMARKS		
	WIDTH	HEIGHT	THK	TYPE	MAT				
01	6' - 0"	7' - 0"	1/2"	A	GL	-	1	CRL BERTTA PIVOT GLASS ENTRANCE SYSTEM (or EQ)	
02	3' - 0"	7' - 0"	1 3/4"	B	WD	1	HM	2	

GLAZING SCHEDULE			
GL-1	TEMPERED SAFETY GLASS - 1/2"		
DOOR HARDWARE SCHEDULE			
TYPE 1:	2 EA	LADER PULL (CRL or EQ)	
TYPE 2:	3 EA	HEAVY WEIGHT HINGES	
	3 EA	DOOR SILENCERS	
	1 EA	OFFICE LOCKSET	

NOTE:
 • CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, HARDWARE and FINISHES
 • HARDWARE TO MATCH EXISTING PRODUCTS AND FINISH
 • SEE INTERIORS FOR ADDITIONAL INFORMATION



C4 DOOR TYPES
 1/4" = 1'-0"

GENERAL SHEET NOTES

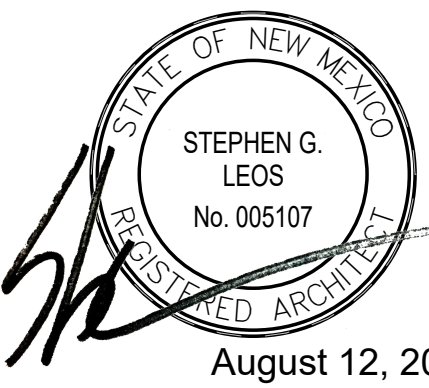
- FLOOR PLAN
- ALL PLAN DIMENSION ARE TO FACE OF STUD (NEW FRAMING), FACE OF EXISTING WALL OR CENTER OF COLUMN UNLESS NOTED OTHERWISE.
 - WHERE NEW CONSTRUCTION IS ADJACENT TO EXISTING CONSTRUCTION, THE FINISHED SURFACES SHALL BE ALIGNED TO CONCEAL ALL JOINTS AND TRANSITIONS.
 - WHERE ADJACENT WALLS WERE REMOVED, PATCH ALL EXISTING WALLS LEAVING NO TRACE OF PREVIOUS WALL INTERSECTION.
 - ANY AND ALL ITEMS DAMAGED BY DEMOLITION OR NEW CONSTRUCTION ARE REQUIRED TO BE PATCHED / REPAIRED TO MATCH EXISTING FINISH.
 - ALL INTERIOR FINISHES FLAME SPREAD REQUIREMENTS SHALL BE IN COMPLIANCE WITH IBC 2015 SECTION 803.5.
 - ALL JAMBS AT HINGE SIDE TO BE SET 4" FROM ADJACENT WALL.
 - PROVIDE FIRE TREATED BACKING / BLOCKING AT ALL WALL MOUNTED ITEMS, IE, DOOR STOPS, CASEWORK, ETC.
 - PROVIDE VERTICAL CONTROL JOINTS IN GYP. BD. PARTITIONS EVERY 30'-0" MAX, ALIGNING WITH DOOR FRAMES WHERE POSSIBLE.
 - INSTALL WATER RESISTANT GYP BD AT ALL WET LOCATIONS, PROVIDE BACKING FOR ALL WALL ACCESSORIES.
 - ALL WALLS TO BE TYPE 1 U.N.O.. SEE SHEET A010 FOR PARTITION TYPES.
 - SEE INTERIORS FOR FLOOR FINISHES and PATTERNS.
 - SEE INTERIORS FOR WALL PAINTING SCHEDULE.
 - SEE INTERIORS FOR CASEWORK ELEVATIONS, DETAILS and FINISHES

- ELECTRICAL NOTES:
- SEE ID-303 FOR RELOCATED EXISTING OUTLETS and CIRCUITS.

- CEILING PLAN
- ALL NEW CEILING TILES THROUGHOUT, SEE INTERIORS
 - SEE INTERIORS FOR PAINTING SCHEDULE
 - SEE INTERIORS FOR LIGHTING SPECIFICATION

REFERENCE KEYNOTES

06.A06	4X4 WD POST, MATCH EXISTING POST CAP TRIM
07.G01	GALVALUME CORRUGATED ROOFING PANEL (MATCH EXISTING)
07.G02	GALVALUME DRIP EDGE (MATCH EXISTING)
07.K01	METAL LINED WOOD SCUPPER, PAINT FINISH (MATCH EXISTING)
07.L01	PREFINISHED COPING SYSTEM (MATCH EXISTING)
08.D01	ALUMINUM-FRAMED WINDOW, RELOCATED EXISTING
09.C00	CEMENT PLASTER SYSTEM, MATCH EXISTING COLOR and FINISH



August 12, 2021

INSULATION NOTES

REQUIREMENTS FOR INSULATION:
 ALL HOT WATER LINES SHALL BE INSULATED WITH MIN. 1" R-4 FIBERGLASS INSULATION.
 COLD WATER LINES SHALL BE INSULATED WITH MIN. 1" R-4 FIBERGLASS INSULATION AS NOTED.
 COLD WATER LINES LOCATED IN EXTERIOR WALL CAVITIES, EXPOSED NON-CONDITIONED SPACES, AND NON-RETURN AIR PLENUMS SHALL BE INSULATED.
 COLD WATER LINES LOCATED IN INTERIOR WALL CAVITIES, EXPOSED CONDITIONED SPACES, AND RETURN AIR PLENUMS ARE NOT REQUIRED TO BE INSULATED.

ALL ROOF DRAIN LINES SHALL BE INSULATED WITH MIN. 1" R-4 FIBERGLASS INSULATION.
SANITARY SEWER NOTES

ALL WASTE PIPE SHALL BE SLOPED 1/4" PER FOOT OR 2 PERCENT. 4" AND LARGER WASTE PIPE MAY BE SLOPED AT 1/8" PER FOOT OR 1 PERCENT IF CONDITIONS OF UPC 2012 SECTION 708.0 ARE MET AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.

GENERAL FIRESTOPPING NOTES

ALL PIPE PENETRATIONS OF FIRE RATED WALLS AND FLOORS SHALL BE PROTECTED WITH APPROVED FIRE STOPPING ASSEMBLIES AS MANUFACTURED BY 3M INDUSTRY, OR APPROVED EQUAL. THE ASSEMBLIES SHALL COMPLY WITH THE LATEST APPLICABLE REQUIREMENTS OF NFPA 5000, NFPA 13 AND OWNERS INSURANCE. PROPOSED APPLICABLE ASSEMBLIES SHALL BE UL LISTED AND SHALL BE PART OF THE PLUMBING EQUIPMENT SUBMITTALS.

GENERAL PLUMBING NOTES

GOVERNING CODES PROVIDE MINIMUM REQUIREMENTS AND MAY NOT NECESSARILY MEET HIGHER STANDARD REQUIREMENT OF THE CONTRACT DOCUMENTS. THEREFORE THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

MODIFICATION TO THE CONTRACT DOCUMENTS MAY OCCUR AS:

- A WRITTEN AMENDMENT TO THIS DOCUMENT AND SIGNED BY BOTH CONTRACTOR AND ARCHITECT.
- A CHANGE ORDER.
- A WRITTEN INTERPRETATION OF THE DOCUMENTS ISSUED BY THE ARCHITECT.
- OR A WRITTEN REQUEST FROM THE ARCHITECT FOR MINOR CHANGES TO REQUIRED WORK.

THE CONTRACTOR SHALL PROMPTLY CORRECT AND BEAR ALL ASSOCIATED COSTS OF ALL WORK REJECTED BY THE ARCHITECT FOUND TO BE DEFECTIVE OR NON-COMPLYING TO CONTRACT DOCUMENTS WHETHER OBSERVED BEFORE, OR AFTER SUBSTANTIAL COMPLETION, AND WHETHER OR NOT FABRICATED, INSTALLED, OR COMPLETED.

ANY PORTION OF THE WORK TO BE COVERED BY A BE OBSERVED BY THE ARCHITECT PRIOR TO COVERING OF WORK. CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING, A MINIMUM OF SEVEN (7) CALENDAR DAYS PRIOR TO ANY WORK BEING COVERED. IF ANY PORTION OF THE WORK SHOULD BE COVERED CONTRARY TO THE REQUIREMENTS SPECIFICALLY EXPRESSED IN THE CONTRACT DOCUMENTS, IT MUST, IF REQUIRED IN WRITING BY THE ARCHITECT, BE UNCOVERED FOR THE ARCHITECT'S OBSERVATION, AND SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

SYSTEMS TO BE OBSERVED PRIOR TO COVERING:

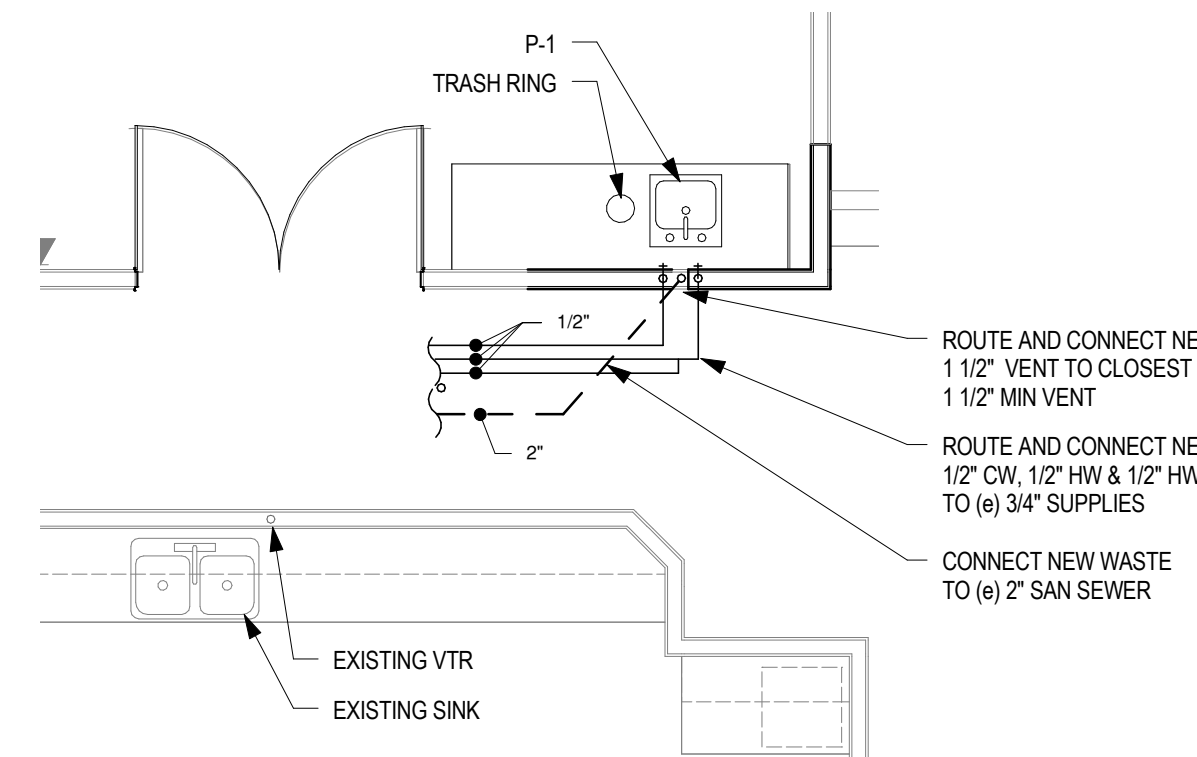
- SOIL, WASTE AND VENT PIPING.
- ROOF DRAINAGE PIPING.
- DOMESTIC COLD AND HOT WATER PIPING.
- FIRE PROTECTION PIPING.

ALL AUTOMATIC OR SELF-CLOSING VALVES FOR FAUCETS SHALL BE ADJUSTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SUPERVISED, AS NECESSARY, BY EQUIPMENT SUPPLIER'S REPRESENTATIVE AT THE REQUEST OF THE ARCHITECT OR ENGINEER.

CONTRACTOR SHALL VERIFY THAT ALL HANDICAPPED FIXTURES, ROUGH-INS AND COMPLETE INSTALLATION COMPLY WITH ALL ADA REQUIREMENTS.

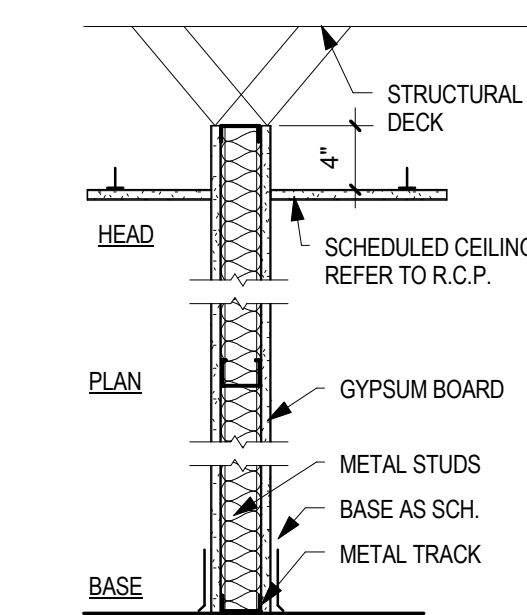
ALL PLUMBING FIXTURES ABOVE SHALL HAVE CHROME PLATED FINISH ON ALL EXPOSED SUPPLY PIPING, VALVE STOPS, TAILPIECES, P-TRAPS, AND ESCUTCHEONS. ESCUTCHEONS SHALL BE PROVIDED AT ALL WALL PENETRATIONS OF SUPPLY AND WASTE LINES.

PROVIDE WATER HAMMER ARRESTOR FOR BOTH CW AND HW SUPPLY LINES PER CURRENT UNIFORM PLUMBING CODE.



C2 PLUMBING PLAN
 1/4" = 1'-0"

PLUMBING FIXTURE SCHEDULE								
SYMBOL	FIXTURE TYPE	MANUF / MODEL	FIXTURE MOUNTING HEIGHT	CONNECTIONS				COMMENTS
				CW	HW	WASTE	VENT	
P-1	BAR SINK	ELKAY CROSSTOWN "ECTRU121791C"	UNDER MOUNT	1/2"	1/2"	2"	1-1/2"	SSTL, 13.5" x 18.5" x 9", SINGLE BOWL UNDERMOUNT BAR SINK, DELTA FAUCET WITH WRIST-BLADE SINGLE HANDLE, 0.5 GPM, AND VANDAL-RESISTANT AERATOR, PIVOTAL COLLECTION, DECK MOUNT SUPPLIES, 1-1/2" CP-GJ-P-TRAP, GRID STRAINER.



- ONE LAYER 5/8" TYPE "X" GYPSUM BOARD ON BOTH SIDE
- 3 5/8" METAL STUDS, 22 ga @ 16" O.C
- ACOUSTICAL INSULATION

P1 NON-RATED PARTITION TYPE
 1" = 1'-0"

A2 PARTITION TYPE - P1
 1" = 1'-0"

GENERAL
 STEEL STUD METAL THICKNESS SHALL BE DETERMINED BY PARTITION HEIGHT AS INDICATED.

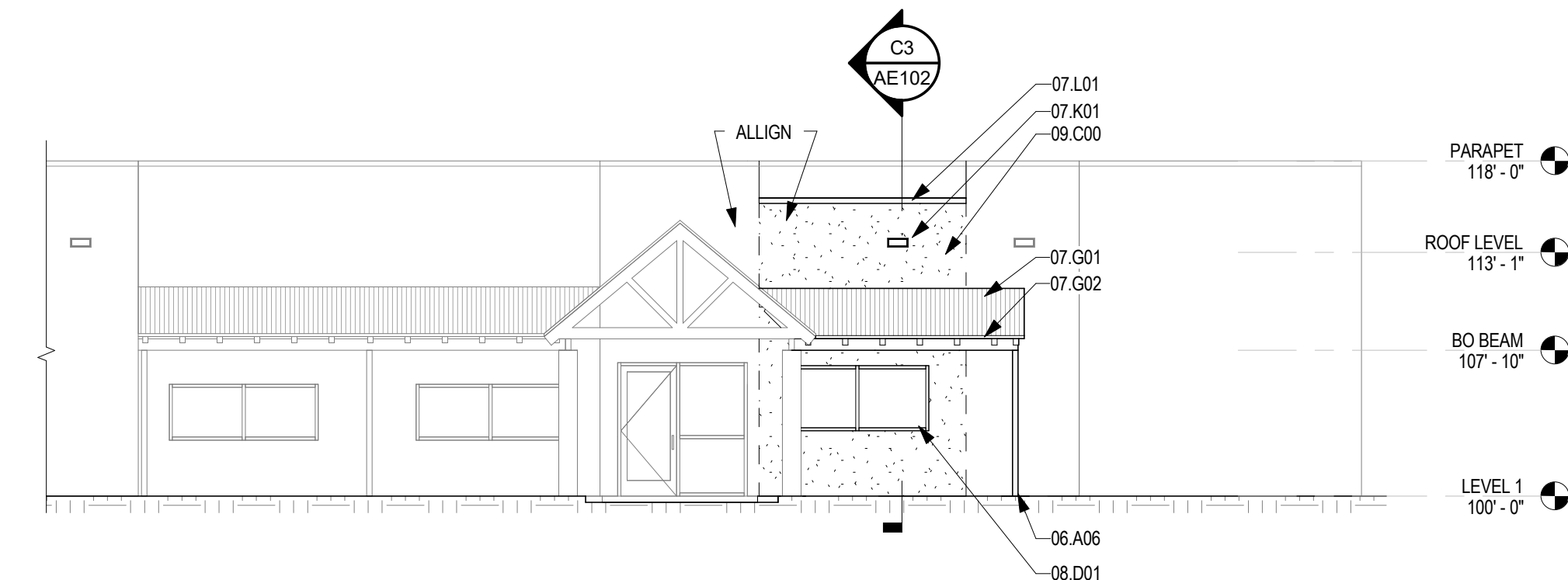
NON-LOAD BEARING, CEILING HEIGHT PARTITION TO BE CONSTRUCTED UPON CONCRETE SLAB OR OTHER STRUCTURAL SUBSTRATE HAVING CAPACITY TO SUPPORT DEAD LOAD OF PARTITION AND ASSOCIATED APPURTENANCES AS SCHEDULED AS WELL AS DESIGN LIVE LOADING. THE ASSEMBLY IS TO TERMINATE AT FINISHED CEILING.

STRUCTURE
 INSTALL STEEL STUDS AS INDICATED. STEEL STUDS SHALL BE SECURED TO STEEL TRACK HEAD AT EACH OCCURRENCE. BOTH SIDES OF PARTITION (2 FASTENERS AS EACH STUD). WHERE PARTITION LENGTH REQUIRES USE OF MULTIPLE LENGTHS OF STEEL HEAD TRACK, TRACK WILL BE EITHER SPLICED WITH MINIMAL OVERLAP OF 4" WITH MINIMUM OF ONE (1) STUD LOCATED FULLY WITHIN THE SPLICE JOINT, OR, TRACK MAY BUTT AT A JOINT WITH A PAIR (2) OF OPPOSING STUDS LOCATED AT EACH END OF TRACK SECURED AS INDICATED ABOVE.

FRAMING SHALL BE DIAGONALLY BRACED TO BUILDING STRUCTURE ABOVE WITHIN 4'-0" MAX OF A PERPENDICULAR WALL INTERSECTION PROVIDE BRACING FROM HEAD TO STRUCTURE (AT 45° FROM HORIZONTAL MAX) AT A MAX OF 4'-0" O.C ALTERNATING SIDES. (MAY SUBSTITUTE TWO 12 GA MINIMUM WIRES INSTALLED AT 45° FROM HORIZONTAL MAX IN OPPOSITE DIRECTIONS @ A MAX OF 4'-0" O.C.) NOTE: MAY CONNECT TO THE SUSPENSION SYSTEM WITH TWO 12 GA MINIMUM WIRES INSTALLED AT 45° FROM HORIZONTAL MAX IN OPPOSITE DIRECTIONS AT A MAX OF 4'-0" O.C. ATTACHED TO THE SUSPENSION SYSTEM)

SHEATHING
 GYPSUM BOARD IS CONTINUOUS, BOTH SIDES, FOR FULL HEIGHT OF PARTITION ASSEMBLY INDICATED.

A4 PARTIAL - WEST ELEVATION
 1/8" = 1'-0"



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EXTERIOR ELEVATION, DOOR TYPES, WALL TYPE and PLUMBING PLAN

SHEET NO

AE103

PROJECT NO: 21-23

DATE: August 06, 2021



CITY OF ALBUQUERQUE INVOICE

STEPHEN LEOS ARCHITECT, LLC STEPHEN LEOS

400 GOLD AVE SW, STUDIO 911

Reference NO: SI-2021-01345

Customer NO: CU-82244107

Date	Description	Amount
8/20/21	2% Technology Fee	\$1.00
8/20/21	Application Fee	\$50.00

Due Date: **8/20/21**

Total due for this invoice:

\$51.00

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Date: 8/20/21
Amount Due: \$51.00
Reference NO: SI-2021-01345
Payment Code: 130
Customer NO: CU-82244107

STEPHEN LEOS ARCHITECT, LLC
STEPHEN LEOS
400 GOLD AVE SW, STUDIO 911
ALBUQUERQUE, NM 87102



130 0000SI20210134500099355114278625100000000000051000CU82244107