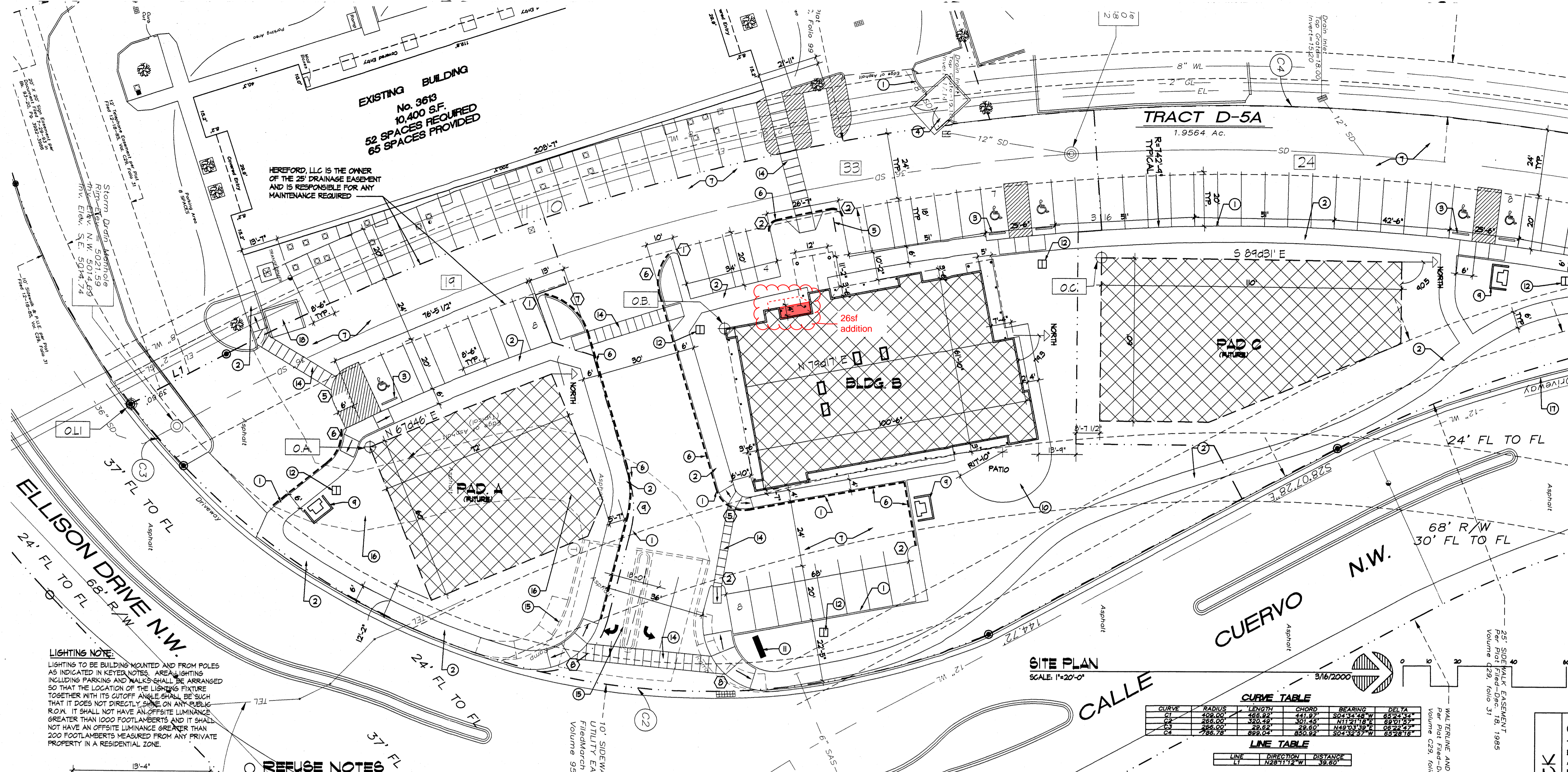


ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



- ### KEYED NOTES
1. NEW STANDUP CURB TYPICAL
 2. NEW SIDEWALK TYPICAL
 3. NEW PARKING BUMPER - (5) REQUIRED
 4. NEW REFUSE CONTAINER SEE DETAIL THIS SHEET
 5. NEW RIBBON STYLE BIKE RACK 5 SPACES
 6. FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
 7. STANDARD DUTY ASPHALT PAVING TYPICAL
 8. NOT USED
 9. INDICATES PROPOSED LOCATION OF PNM TRANSFORMER
 10. CONCRETE PATIO - 300 S.F. PROVIDE WITH TYPICAL INTEGRAL UMBRELLAS AND MAKE ACCESSIBLE TO VISITORS AND EMPLOYEES
 11. MONUMENT SIGN (1)
 12. LIGHT POLES (4) - SEE DETAIL THIS SHEET
 13. EXISTING 4' WIDE SIDEWALK TO REMAIN
 14. PEDESTRIAN ACCESS - SCORED & RAISED SURFACE
 15. EXISTING MEDIAN AND CURB RETURN TO BE REMOVED
 16. EXISTING ASPHALT DRIVE TO BE REMOVED
 17. EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH CURB & GUTTER
 18. EXISTING REFUSE ENCLOSURE TO REMAIN

- ### GENERAL NOTES - CITY REQUIRED
- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN
 - B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) IMMEDIATE DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
 - C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
 - D. ALL SIDEWALK AND C&G IN DISPAIR WILL BE REMOVED AND REPLACED.
 - E. CONSTRUCT CURB RETURNS PER CITY OF ALBUQUERQUE STANDARD DETAILS No. 2426
 - F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
 - G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS PLAN WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.
 - H. ALL EASEMENTS SHOWN ON THIS PLAN ARE EXISTING TO REMAIN.
 - I. ALL OFFSITE ELEMENTS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

PROJECT INFORMATION

LOCATION: SOUTHWEST CORNER OF ELLISON & CALLE CUERVO NW

DEVELOPER: HEREFORD ILLC

LEGAL DESCRIPTION: TRACT D-5A OF SEVEN BAR RANCH WITHIN SECTION 5, TOWNSHIP 11 NORTH, RANGE 9 EAST WITHIN CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

CURRENT ZONING: S-UH FOR IP USES

PROPOSED: SAME

TOTAL ACRES: 1.9564 ACRES

ZONING ATLAS PAGE: A-14-Z

SITE PLAN
SCALE: 1"=20'-0"

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	250.00	441.97	504.24	N11°21'42" E	85°24'12"
C2	250.00	320.49	301.24	N11°21'42" E	88°01'27"
C3	250.00	298.67	298.60	N69°33'11" W	08°22'47"
C4	250.00	489.04	650.82	S04°32'27" W	85°26'18"

LINE TABLE

LINE	DIRECTION	DISTANCE
LT	N28°11'12" W	38.80

BUILDING LEGEND (BUILDING "B")

DENTIST OFFICE BUILDING: 6,069 S.F.

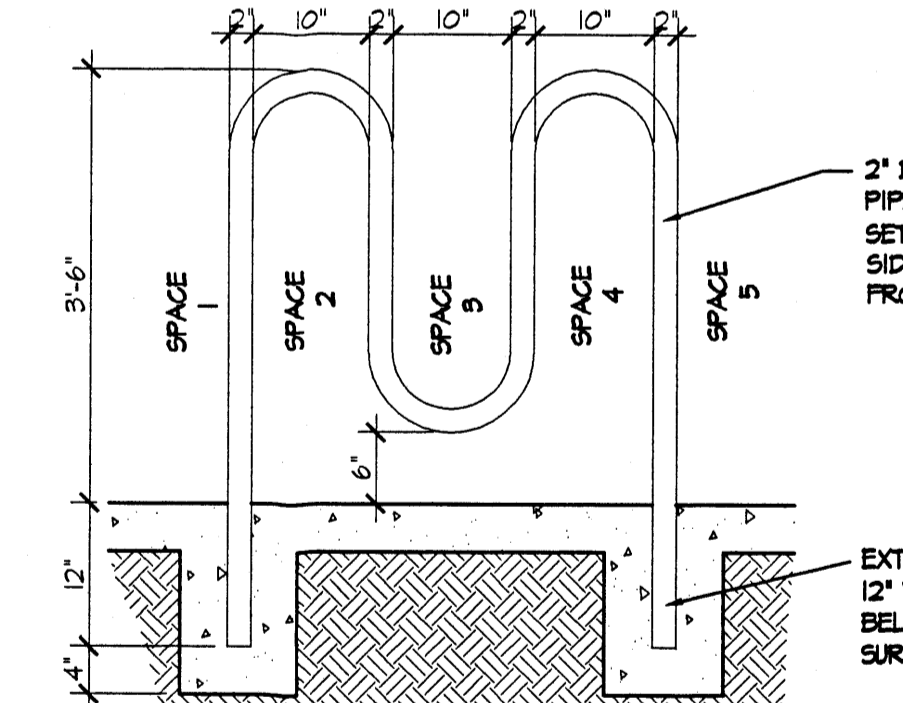
PARKING REQUIRED: OFFICE = 1 PER 200 S.F. = 31 SPACES (2 HC. SPACES)

PARKING PROVIDED: 38 SPACES (2 HC. SPACES)

BIKE PARKING: 4 SPACES NEEDED / 5 SPACES PROVIDED

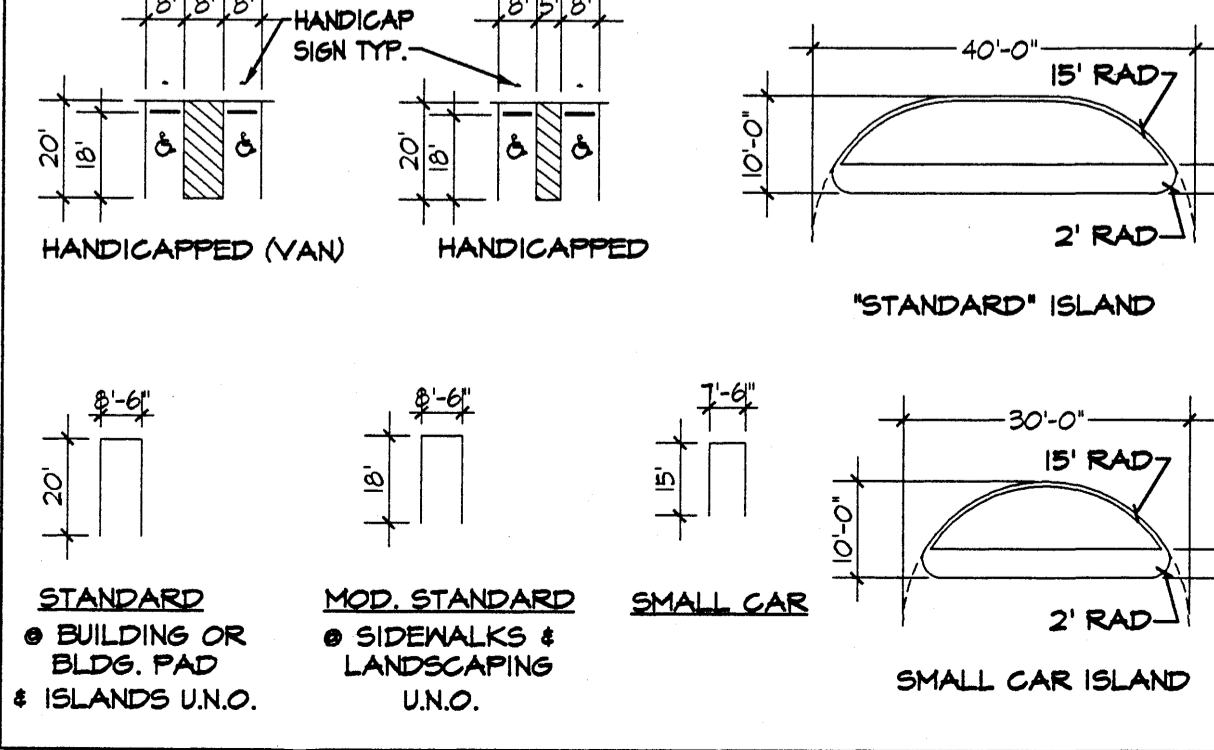
LANDSCAPING REQUIRED: BLDG. "B" SITE = 36,002 S.F. - 6,069 S.F. (BUILDING AREA) = 29,933 NET LOT AREA = 15 = 4,492 S.F.

LANDSCAPING PROVIDED: 15,522 S.F.



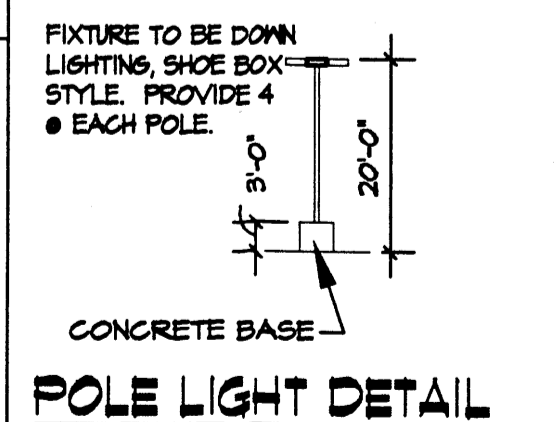
BICYCLE RACK
SCALE: 3/4"=1'-0"

PARKING TYPES & ISLAND DETAILS



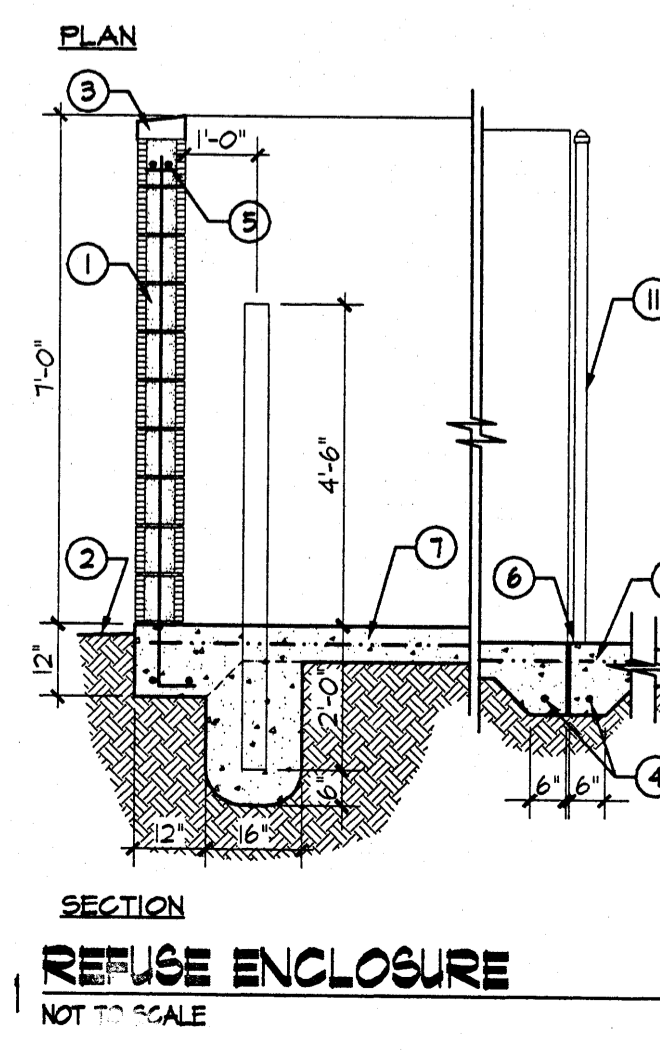
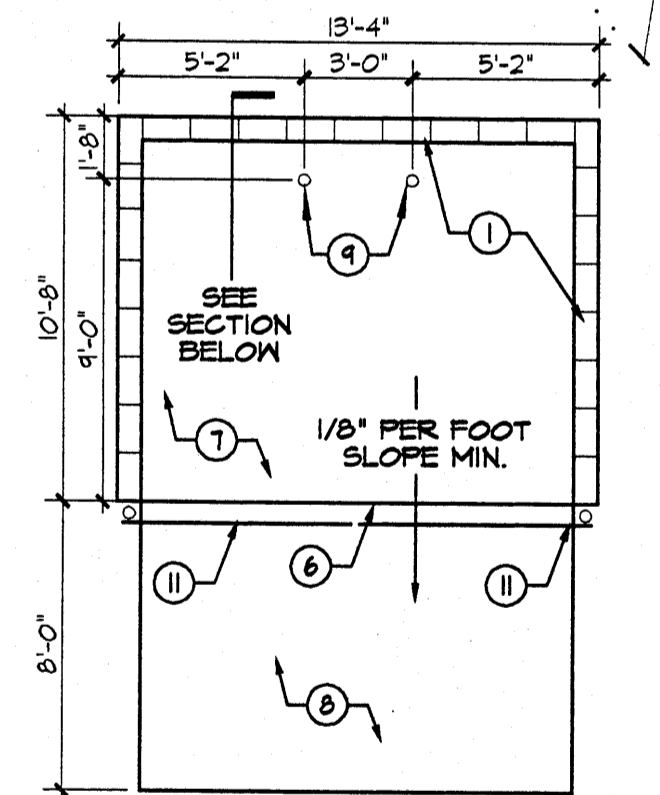
LEGEND:

- Underground Utility = [Symbol]
- Pedestal = [Symbol]
- Water Meter = [Symbol]
- Light Pole = [Symbol]
- Drop Inlet = [Symbol]
- Transformer = [Symbol]
- Tree = [Symbol]
- Water Valve = [Symbol]
- Traffic Signal Box = [Symbol]
- Sprinkler Control Box = [Symbol]
- Electric Box = [Symbol]
- Traffic Signal = [Symbol]
- Clean Out = [Symbol]
- Storm Drain Man Hole = [Symbol]
- Sanitary Sewer Man Hole = [Symbol]



POLE LIGHT DETAIL

LIGHTING NOTE:
LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS GUTTER ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC ROW. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

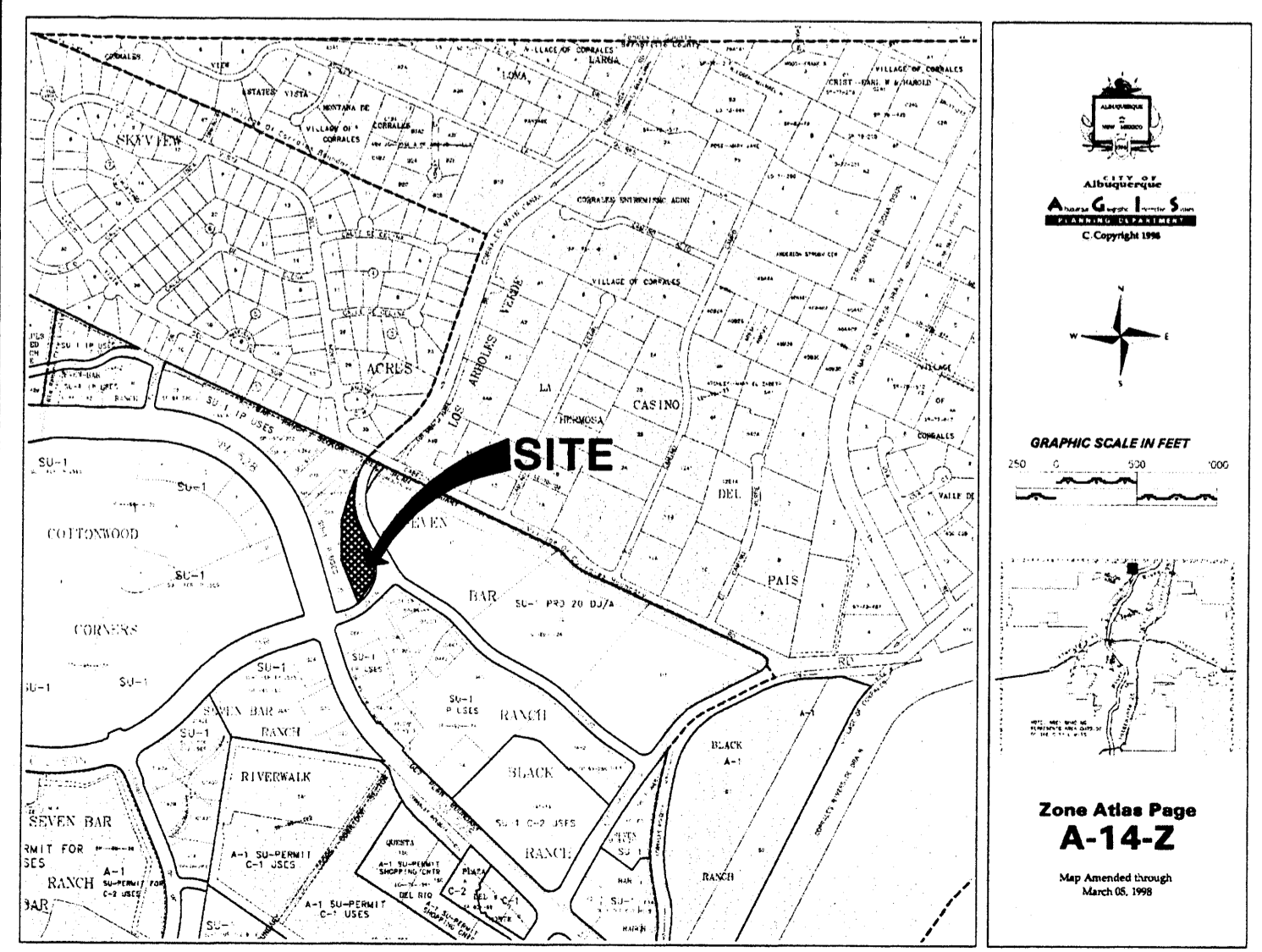


REFUSE NOTES

1. 8" CMU BLOCK WALL W/ STUCCO FINISH - COLOR TO MATCH BLDG.
2. FINISH GRADE
3. MASONRY CAP
4. 1-#5 BAR CONT. @ BOTTOM OF 6" TURNDOWNS, 2-#5 BARS @ BOTTOM OF 12" TURNDOWNS
5. 2-#5 BARS @ TOP KNOCK OUT CMU BOND BEAM AND 2-#5 BARS CONT. @ BOTTOM OF TURNDOWN UNDER WALLS PROVIDE #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS. DURAWALL @ 16" O.C. HORIZONTAL
6. 1/2" EXPANSION JOINT MATERIAL
7. 6" CONCRETE SLAB, 4000 PSI, 3/4" AGGREGATE WITH 6X6 - 10X10 W/M IN 12" TURNDOWN EDGES UNDER CMU WALLS (W/ 2-#5 CONT.) AND 6" TURNDOWN @ APRON (W/ 1-#5 CONT.)
8. 6" CONCRETE APRON, 4000 PSI, 3/4" AGGREGATE WITH 6X6 - 10X10 W/M IN 6" TURNDOWN EDGES (W/ 1-#5 CONT.) ALL AROUND EXCEPT 12" @ ENTRY (W/ 2-#5 CONT.)
9. 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH ENCLOSURE COLOR
10. ASPHALT PAVING - SEE PAVING SECTION
11. WOOD GATE PAINTED - COLOR TO MATCH BUILDING PROVIDE DROP ANCHORS @ EACH LEAF AND ALL NECESSARY ITEMS FOR A COMPLETE ASSEMBLY

EPC CONDITIONAL NOTES:
PER THE OFFICIAL NOTIFICATION OF DECISION FROM THE EPC FILE# 00128 00000 00514/00128 00000 00515, THE FOLLOWING CONDITIONS SHALL BE ADHERED TO:

1. PADS "A" AND "C" SHALL GO BEFORE EPC AND SHALL CLOSELY INTEGRATE WITH PAD "B'S" DEVELOPMENT.
2. THE TOP OF PARAPET AND SCREEN WALLS SHALL BE GREATER THEN THE TOP OF ALL HVAC EQUIPMENT.
3. THERE SHALL BE A 10' OFFSET FROM FACE OF CURB TO FACE (FRONT) OF BUILDINGS TO MAINTAIN A MINIMUM 6' CLEAR SIDEWALK AND PROVIDE EITHER TREES AT 25' ON CENTER IN 5X5 PLANTERS, A PORTAL OR ANNINGS WITH A CLEAR 6' PATHWAY.
4. NO GENERIC FRANCHISE ELEVATION ARCHITECTURE SHALL BE PERMITTED.
5. NO PLASTIC OR VINYL ANNINGS AND FASCIAS SHALL BE PERMITTED.
6. NO UNCONCEALED CELL TOWERS SHALL BE PERMITTED.
7. SIGNAGE SHALL BE LIMITED TO 1 MONUMENT SIGN THIS IS A MAXIMUM OF 10' TALL, WITH A FACE AREA OF 50 SQUARE FEET MAXIMUM. BUILDING SIGNAGE SHALL BE RESTRICTED TO A MAXIMUM OF 6% OF THE FACE TO WHICH IT IS APPLIED, WITH A MAXIMUM LETTER HEIGHT OF 2' AND LETTERING SHALL BE INTERNALLY LIT CHANNELIZED LETTERS.
8. THIS PLAN SHALL MEET ALL CONDITIONS FOR THE SITE PLAN FOR SUBDIVISION.



VICINITY MAP

SCALE: 1"=1000'

CASE NUMBER: Z -

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

SIGNATURE BLOCK

SITE DEVELOPMENT PLAN
DATE: 8-07-00

TRAFFIC ENGINEER, TRANSPORTATION DIVISION
Signature: [Signature]
DATE: 8/2/00

PARKS & RECREATION DEPARTMENT
Signature: [Signature]
DATE: 8/2/00

PUBLIC WORKS, WATER UTILITIES DIVISION
Signature: [Signature]
DATE: 8/22/00

CITY ENGINEER, ENGINEERING DIVISION, AMAFCA
Signature: [Signature]
DATE: 9/6/00

CITY PLANNER, ALBUQUERQUE
Signature: [Signature]
DATE: 9/6/00

RADIUS LEGEND

- ① 2' RADIUS
- ② 3' RADIUS
- ③ 4' RADIUS
- ④ 5' RADIUS
- ⑤ 10' RADIUS
- ⑥ 15' RADIUS
- ⑦ 20' RADIUS
- ⑧ 25' RADIUS
- ⑨ 35' RADIUS
- ⑩ 50' RADIUS
- ⑪ 100' RADIUS
- ⑫ 150' RADIUS

PHASING INFORMATION

UNDER THIS PERMIT ALL ASPHALT PAVING, CONCRETE CURBS, SIDEWALKS, RETAINING WALLS, ETC. WILL BE INSTALLED. BUILDING "B" AND ITS ASSOCIATED LANDSCAPING WILL ALSO BE INSTALLED. THE REMAINING (2) TWO PADS WILL BE SEEDED FOR DUST CONTROL FOR FUTURE DEVELOPMENT.

job title	TRACT D-5A	
PROJECT MANAGER	ELLISON & CALLE CUERVO NW	
NICK PIRKLE	job no	20002
date	8/29/00	
sheet title	by	NAP
(BUILDING "B" ONLY)		

de la torre architecte, p.a. lla
2400 louisiana blvd ne
building 3 suite 110
albuquerque, nm 87106-2505 505-833-7018



sheet - 1
DATE 3/1/00

PLANT LEGEND

- ASH(H) OR HONEY LOCUST (H) 7
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal
- FLOWERING PEAR (H) 4
Pyrus calleryana
2" Cal
- AUSTRIAN PINE(H) 2
Pinus nigra
6"-8"
- PINON PINE(H) 2
Pinus edulis
6"-8"
- DESERT WILLOW (L) 3
Chilopsis linearis
15 gal
- MAIDEN GRASS (L) 9
Miscanthus sinensis
5 gal
- GREYLEAF COTONEASTER 8
Cotoneaster gl.
5 gal
- ROSEMARY (M) 11
Rosmarinus officinalis
5 gal
- INDIAN HAWTHORN (M) 7
Raphiolepis indica
5 gal
- RUSSIAN SAGE (M) 8
Perovskia atriplicifolia
5 gal
- POTENTILLA (M) 6
Potentilla fruticosa
5 gal
- AUTUMN SAGE (M) 7
Salvia greggii
1 gal
- CHAMISA (L) 10
Chrysothamnus nauseosus
1 gal
- WILDFLOWER 30
1 gal
- HONEY SUCKLE (M) 18
Lonicera sempervirens
1 gal
- TAM JUNIPER (M) 8
Juniperus sabin
5 gal
- OVERSIZED GRAVEL & BOULDERS 4
- 3/4" GREY GRAVEL W/ FILTER FABRIC
- SOD SOD
- COMMERCIAL GRADE STEEL EDGING

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

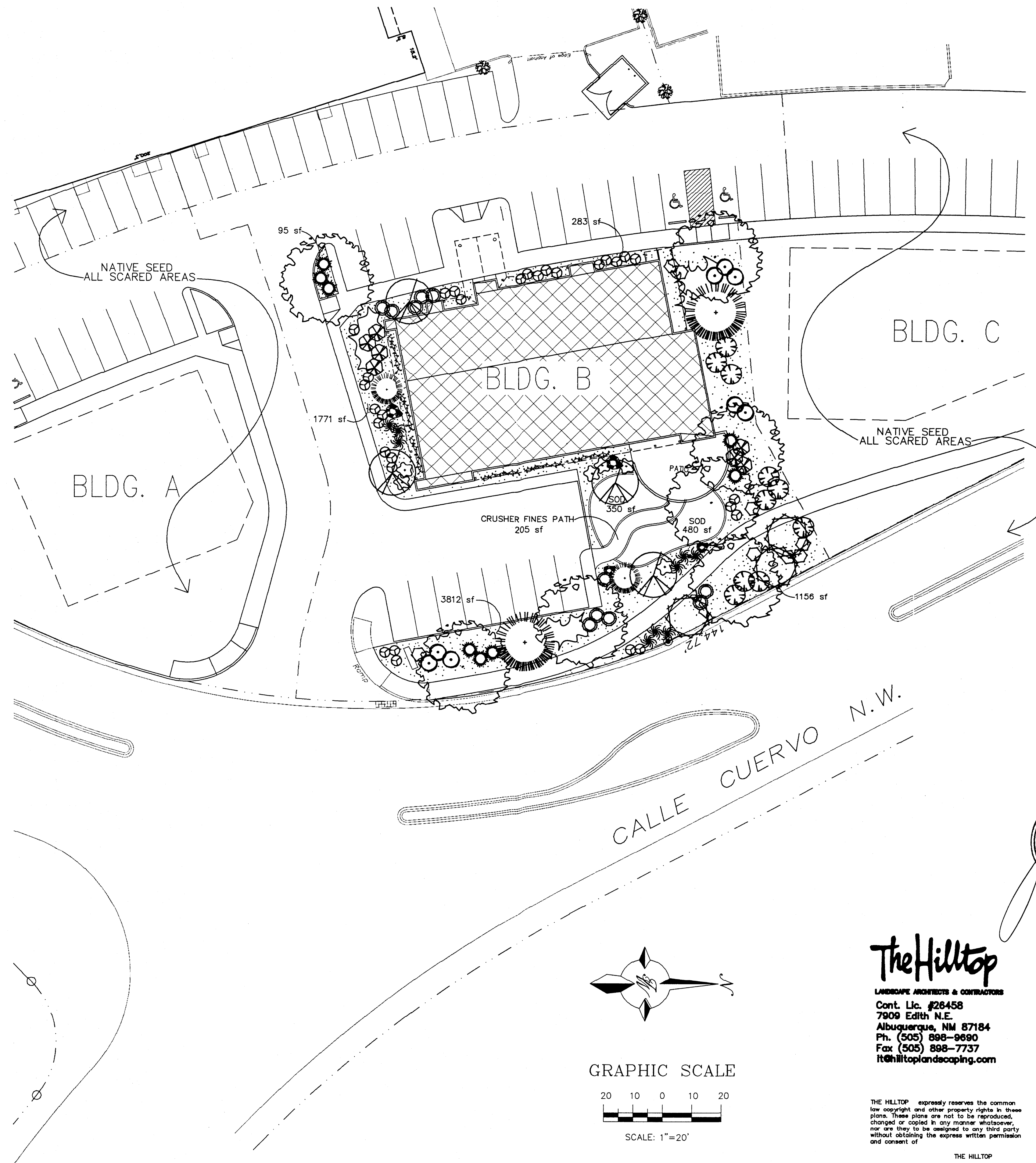
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

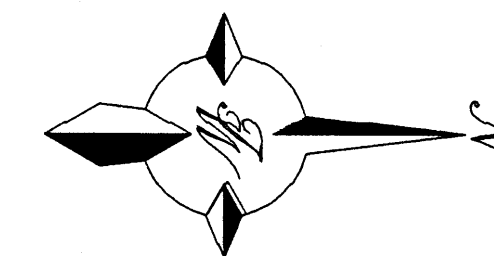
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.



LANDSCAPE CALCULATIONS

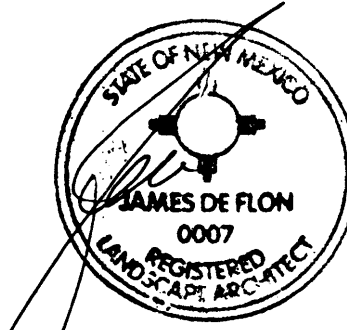
NET LANDSCAPE AREA	
TOTAL LOT AREA	35,066 square feet
TOTAL BUILDINGS AREA	6,068 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	28,998 square feet
LANDSCAPE REQUIREMENT	15 square feet
TOTAL LANDSCAPE REQUIREMENT	4,350 square feet
TOTAL LANDSCAPE PROVIDED	8,152 square feet
TOTAL BED PROVIDED	7,322 square feet
TOTAL SOD PROVIDED	830 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet



GRAPHIC SCALE



SCALE: 1"=20'



A-26-00

The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
it@hilltoplandscaping.com

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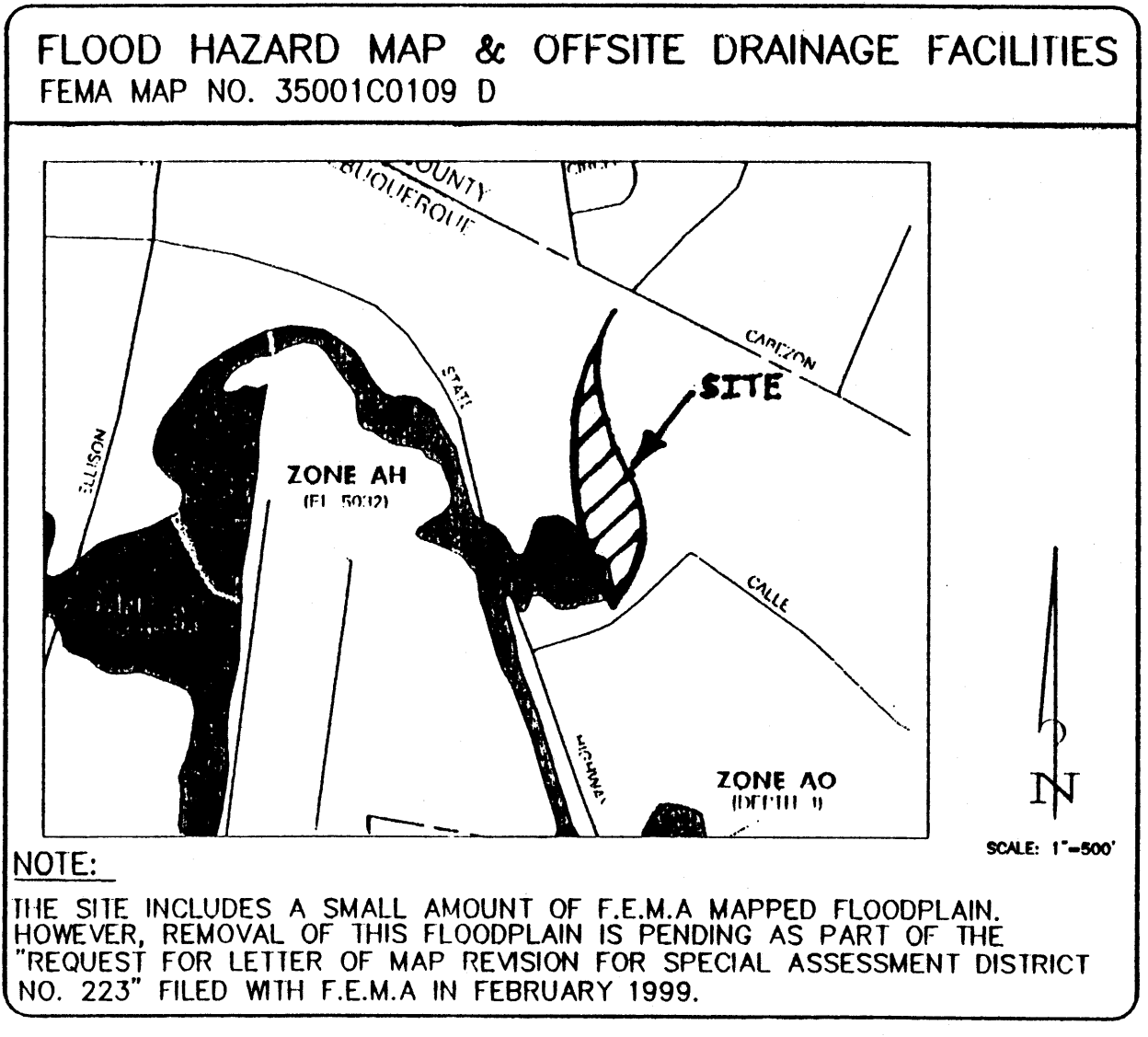
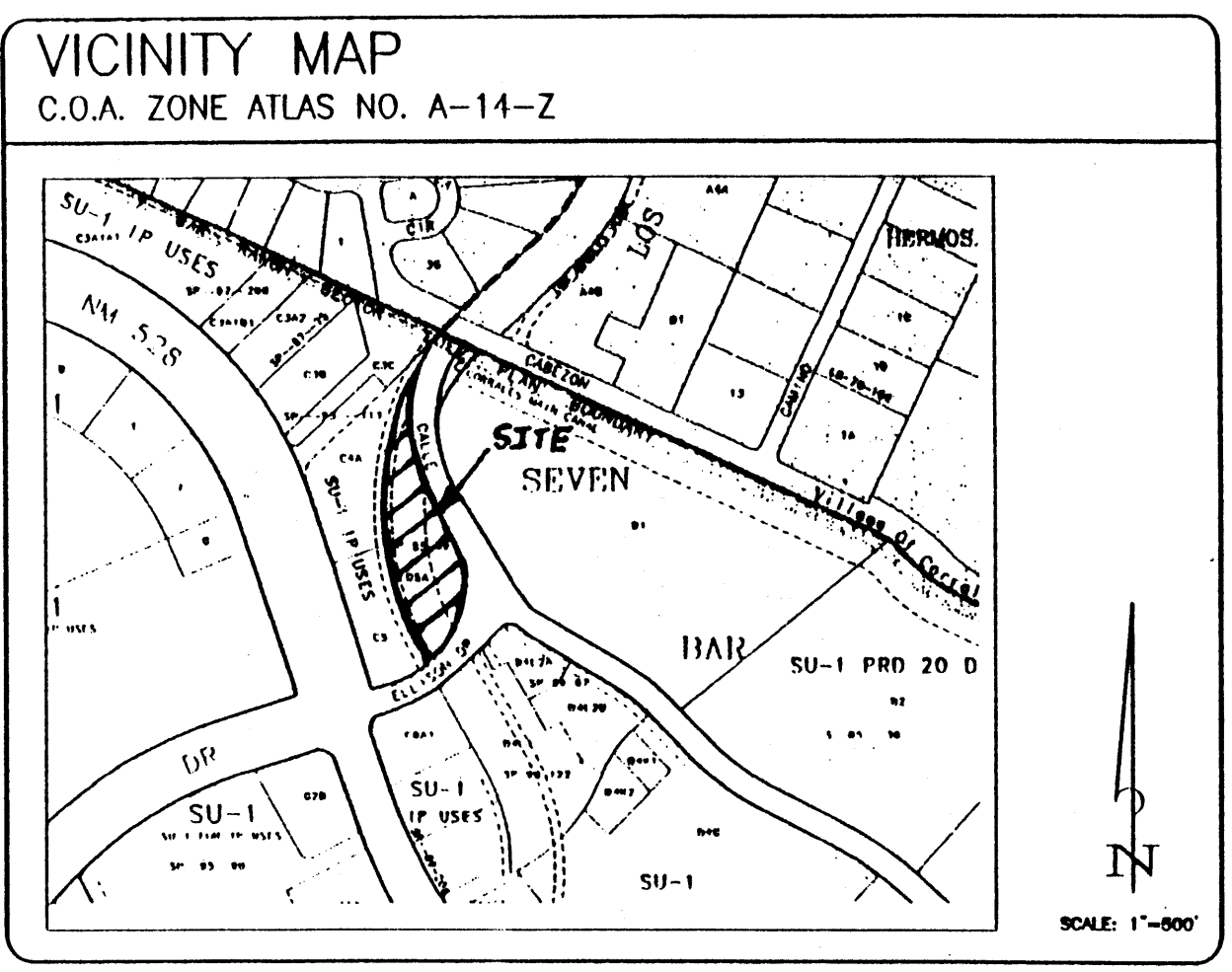
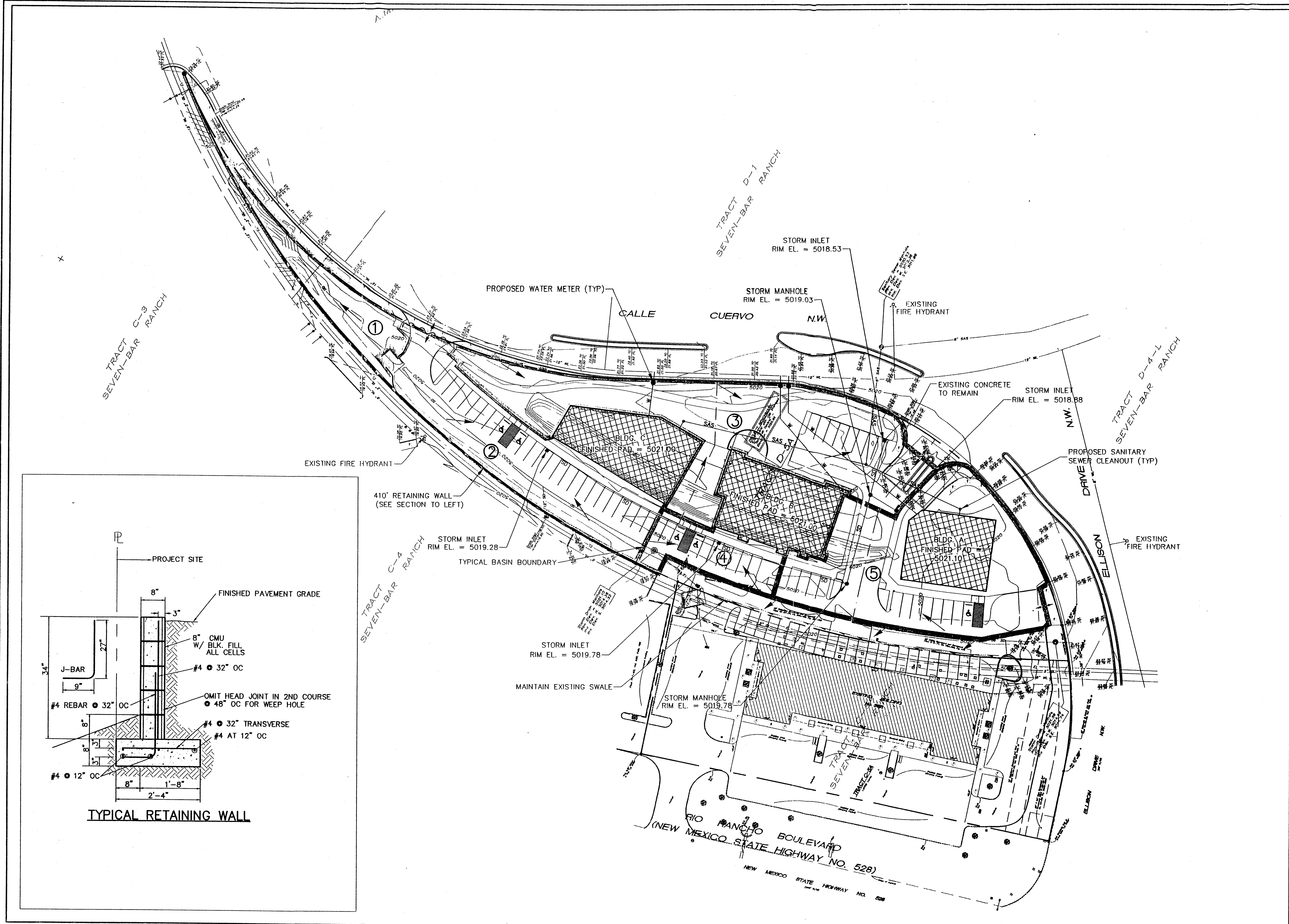
THE HILLTOP

revisions	job title TRACT D-5A ELLISON & CALLE CUERVO NW ALBUQUERQUE, NM	job no 20002	date 3/16/00
	PROJECT MANAGER NICK PIRKL	by	
	sheet title		

de la torre architects, p.a. llc
2400 louisiana blvd ne
building 3 / suite 110
albuquerque n.m. 87110 / 505-883-7918

sheet - 2
2
of - 4

START DATE: 3/1/00



LEGEND

DESCRIPTION	NEW	EXISTING
CONTOURS	4904	4904
SPOT ELEVATIONS	± 08.80	X 07.3
APPROXIMATE DRAINAGE BASIN BOUNDARY	—	—
WATER BLOCK	~	~
DIRECTION OF RUNOFF	→	→
FLOWLINE	①	—
DRAINAGE BASIN	①	—
PROPERTY LINE	—	—
STORM DRAIN M.H. & LINE	36" SD	36" SD
SLOPE SYMBOL	3:1	—
STORM INLET	■	■
RETAINING WALL	—	—

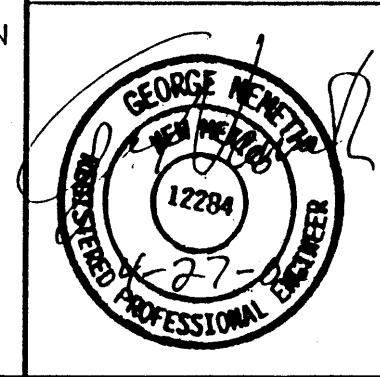
BENCHMARK
 NMSHTD BRASS CAP "N.M. 448-N12" ELEV. 5023.41
 LOCATED 60' WEST OF C OF COORS ROAD N.W.
 APPROX. 550' SOUTH OF INTERSECTION WITH
 CORRALES ROAD N.W. (S.R. 528)

LEGAL DESCRIPTION
 TRACT D - 5A OF SEVEN BAR RANCH
 ALBUQUERQUE, N.M.

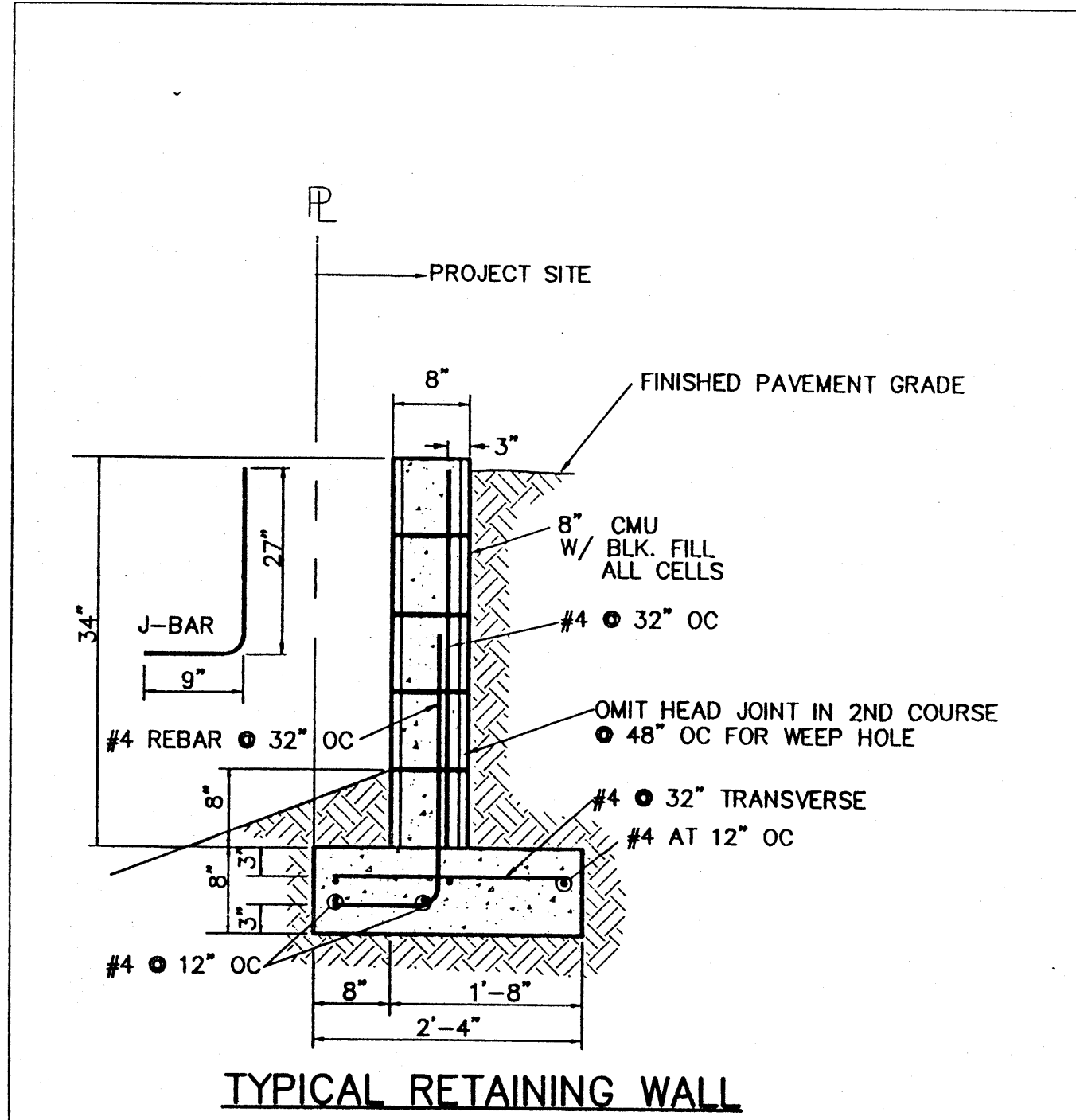
NO.	REVISIONS	BY	DATE

**TRACT D - 5A
 CONCEPTUAL GRADING AND DRAINAGE
 AND SITE UTILITIES PLAN**

Easterling & Associates, Inc.
 CONSULTING ENGINEERS
 2800 The American Rd., Suite 100
 Rio Rancho, New Mexico 87124
 (505) 898-8021 FAX (505) 898-8501



DESIGNED BY: RRP	DRAWN BY: RRP	CHECKED BY: GN	SHEET 3 OF 4
JOB NO.: 5250	DATE: 4/00		



Tract	Area (acres)	Land Treatment Types				Peak Runoff	
		A	B	C	D	10-yr (cfs)	100-yr (cfs)
1	0.1127	Existing Conditions	0%	100%	0%	0.09	0.23
		Developed Conditions	0%	100%	0%	0.09	0.23
2	0.4482	Existing Conditions	0%	70%	0%	0.63	1.22
		Developed Conditions	0%	0%	3.00%	97.00%	1.28
3	0.5027	Existing Conditions	0%	85%	0%	1.54	1.2
		Developed Conditions	0%	64.43%	0%	35.57%	0.76
4	0.2559	Existing Conditions	0%	50%	0%	0.47	0.82
		Developed Conditions	0%	0%	2.00%	98.00%	0.73
5	0.4591	Existing Conditions	0%	60%	0%	0.74	1.36
		Developed Conditions	0%	10.00%	0%	90.00%	1.23
TOTAL	1.7786	Existing Conditions				2.47	4.83
		Developed Conditions				4.09	6.62
Allowable Discharge (Easterling and Associates 1993) = 7.88 cfs		Q ₁₀₀ = 6.62 cfs		7.88 > 6.62, OK			

Drainage Plan

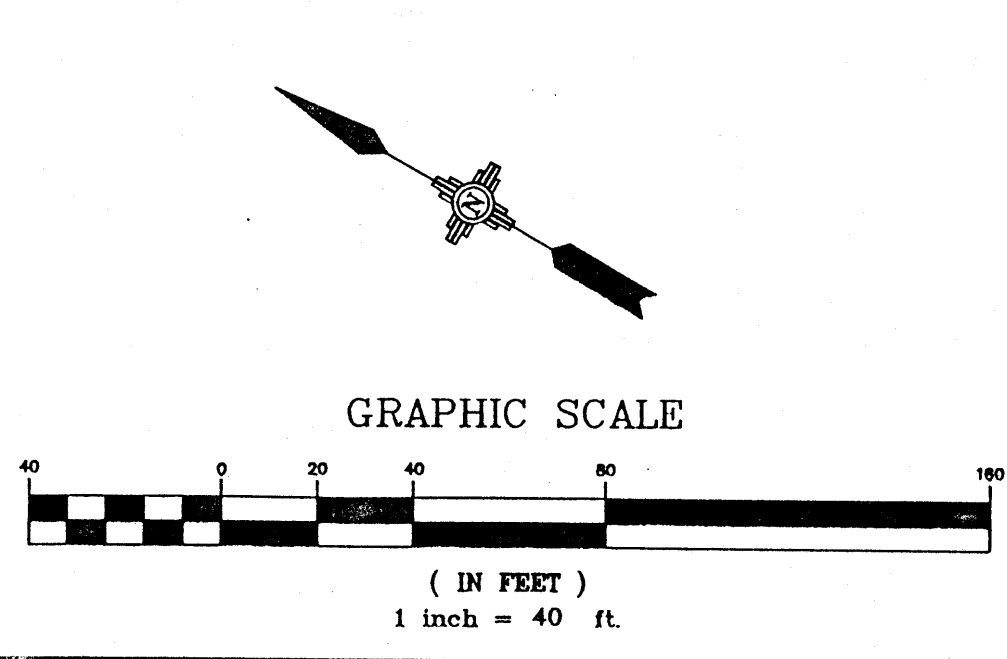
EXISTING CONDITIONS
 The project site consists of approximately 1.95 acres. The site is mostly undeveloped except for an existing storm drain covered by soil cement along the west section of the property. Overall drainage is from the north to the south. No significant off-site flows enter the site.

DEVELOPED CONDITIONS
 It is proposed to develop the site for commercial use in accordance with the Seven Bar Sector Development Plan (April 1985). The current site plan, still under development, indicates three facilities on the site. The flows will discharge from the site into the existing storm drain located on the southeast corner of the property to carry the flow south to Cobezen Channel (Easterling and Associates 1993).

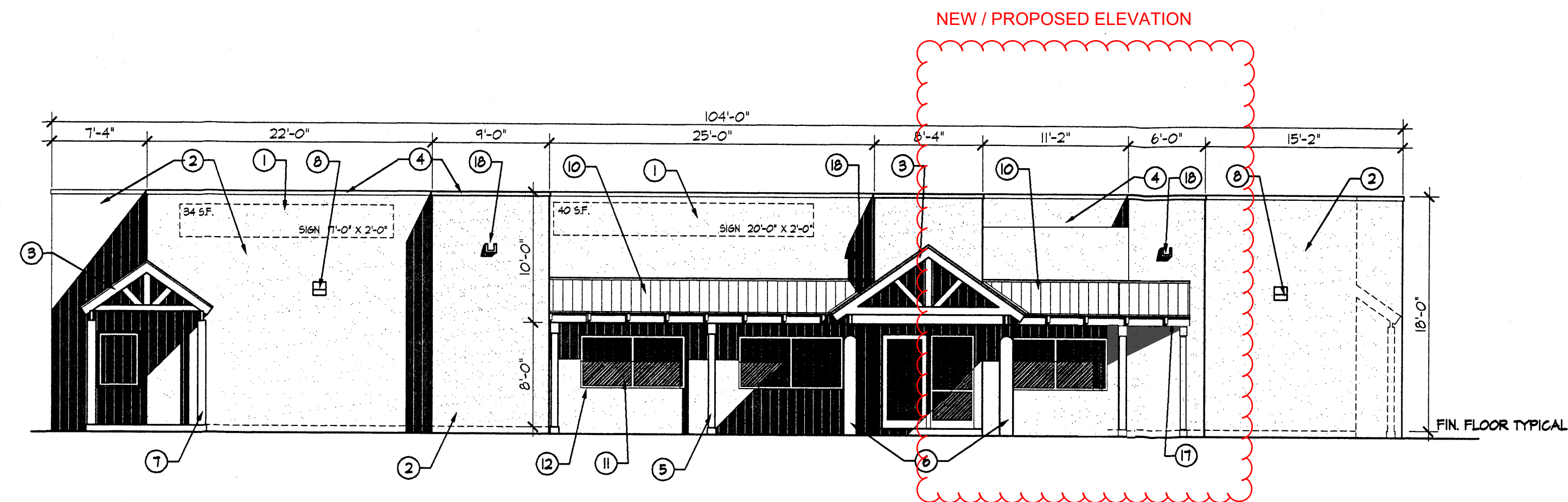
EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONTRACTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURTHER LOCAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.

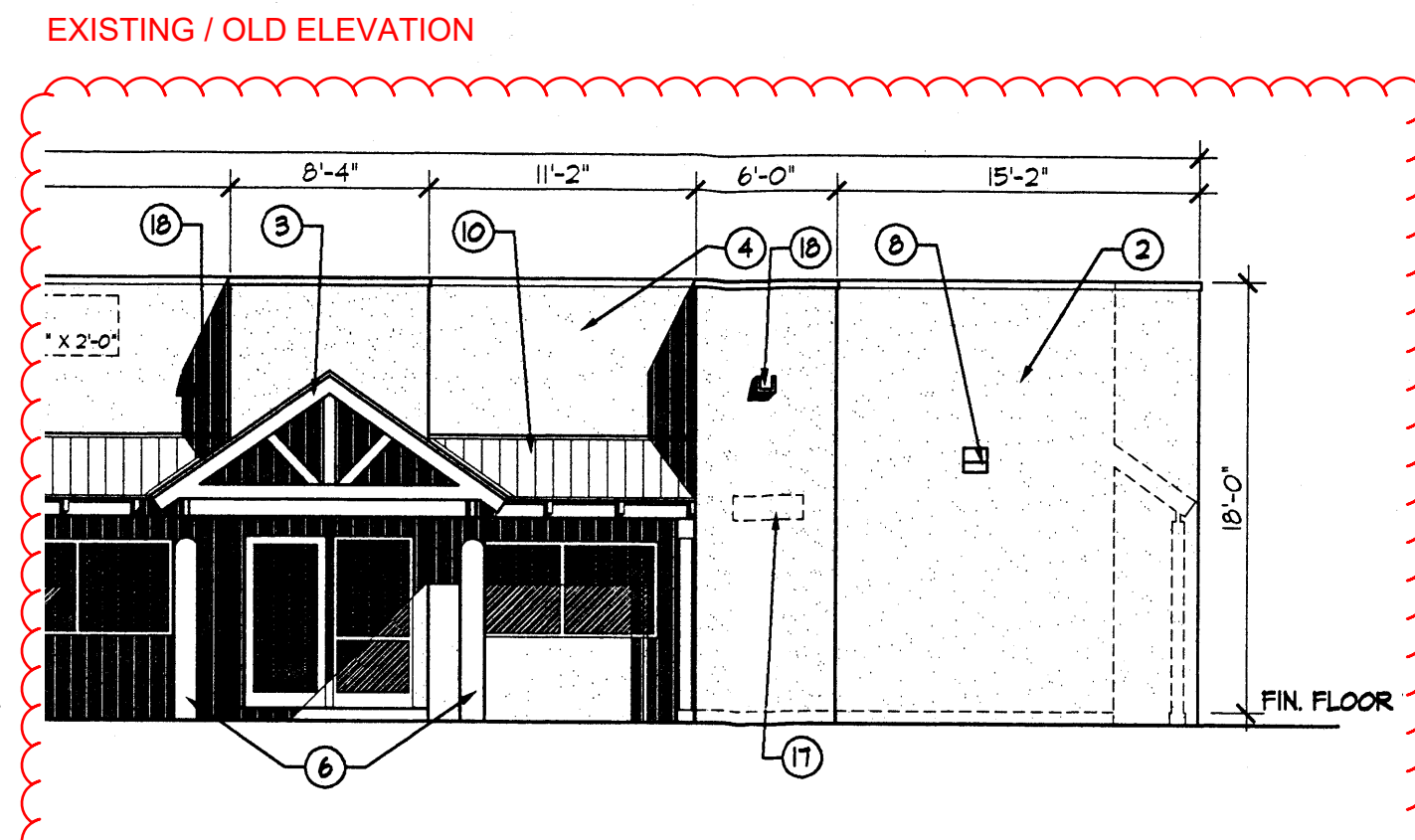
DRAINAGE AND UTILITY EASEMENTS
 CROSS-LOT DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED WHEREVER NECESSARY.



DWG: C1.DWG
 PATH: T:\Projects\5250.DWG\Plot1
 TIME: 04-26-00 15:19:39
 2000 EASTERLING & ASSOCIATES, INC.

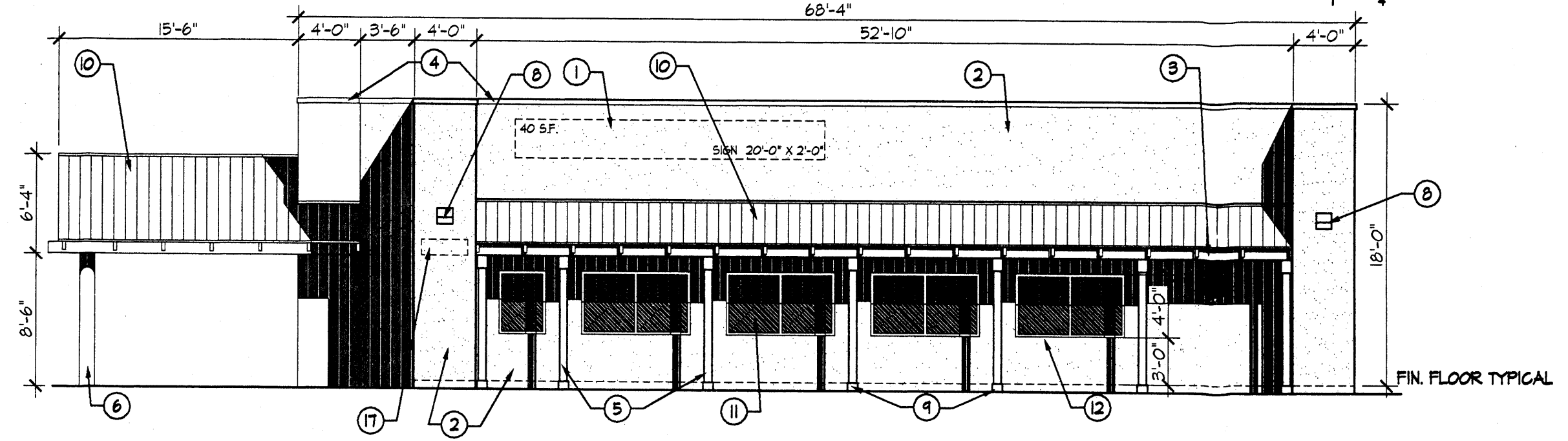


WEST ELEVATION
SCALE: 1/8"=1'-0"

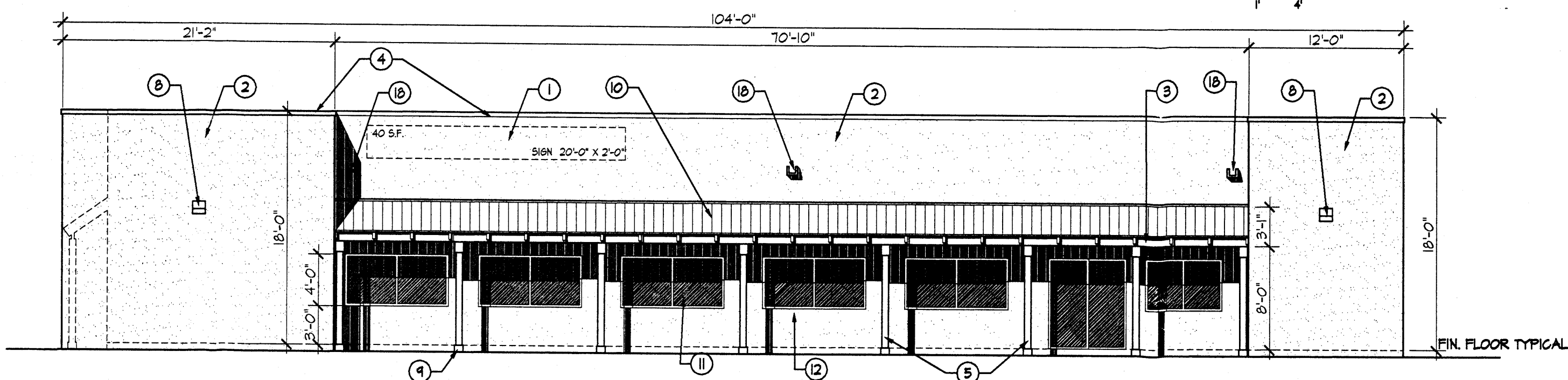


WEST ELEVATION
SCALE: 1/8"=1'-0"

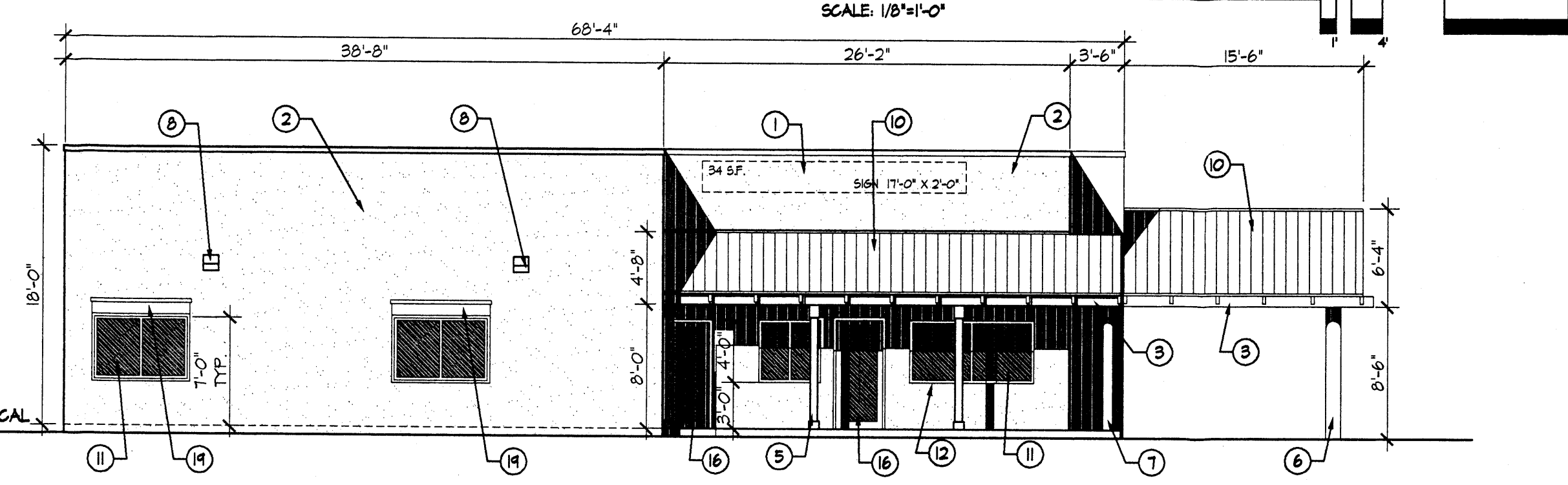
- KEYED NOTES**
1. INTERNALLY ILLUMINATED SIGN TO BE INDIVIDUAL CHANNEL LETTERS WITH ALUMINUM FRAME WITH LEXAN OR PLASTIC FACE. MAXIMUM 2'-0" HIGH LETTERS WITH A MAXIMUM AREA OF 6% OF THE FACE TO WHICH IT IS APPLIED.
 2. STUCCO COLOR BEIGE TYPICAL UNLESS NOTED OTHERWISE
 3. WOODEN TRUSSES/ PORTAL FRAMING - PAINTED WHITE
 4. METAL COPING CAP - COLOR TO BE CHOCOLATE BROWN
 5. 4" x 4" WOODEN COLUMNS - PAINTED WHITE
 6. 12" DIA. CONCRETE COLUMNS RUBBED FINISH ONLY
 7. 8" CONCRETE COLUMNS RUBBED FINISH ONLY
 8. WALL MOUNTED SECURITY LIGHT. DARK BROWN. SEE LIGHTING NOTE C-1
 9. 8" x 8" x 6" CONCRETE BASE RUBBED FINISH ONLY
 10. GALVANIZED METAL ROOF MATERIAL
 11. GLASS, TYP. LIGHT TAN TINT
 12. WINDOW FRAME PAINTED WHITE TYPICAL
 13. STUCCO COLOR RUST BROWN AT BASE TYP.
 14. METAL LETTERS (BRUSHED FINISH)
 15. INTERNALLY ILLUMINATED SIGN AREA WITH LEXAN OR PLASTIC FACE.
 16. METAL DOOR AND FRAME PAINT WHITE
 17. PREMISE IDENTIFICATION SIGN (SHALL CONTRAST WITH BACKGROUND)
 18. ROOF SCUPPER TYPICAL
 19. WINDOW TRIMMING PAINTED WHITE TYPICAL



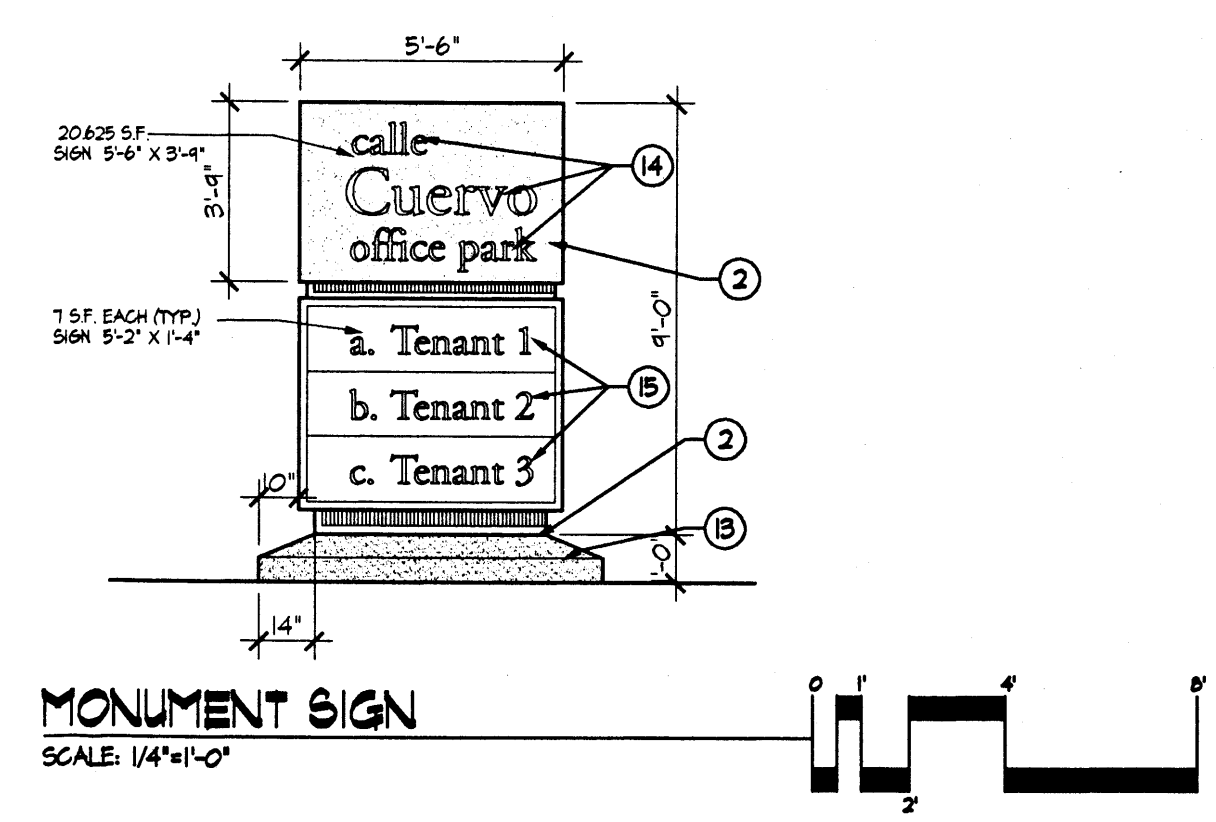
SOUTH ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"

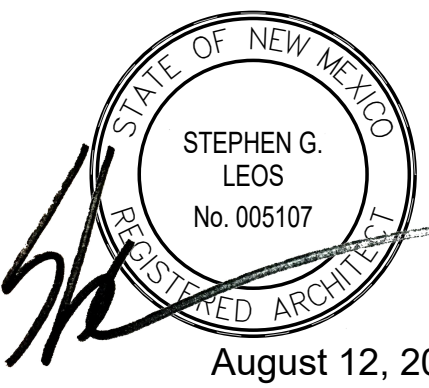


NORTH ELEVATION
SCALE: 1/8"=1'-0"

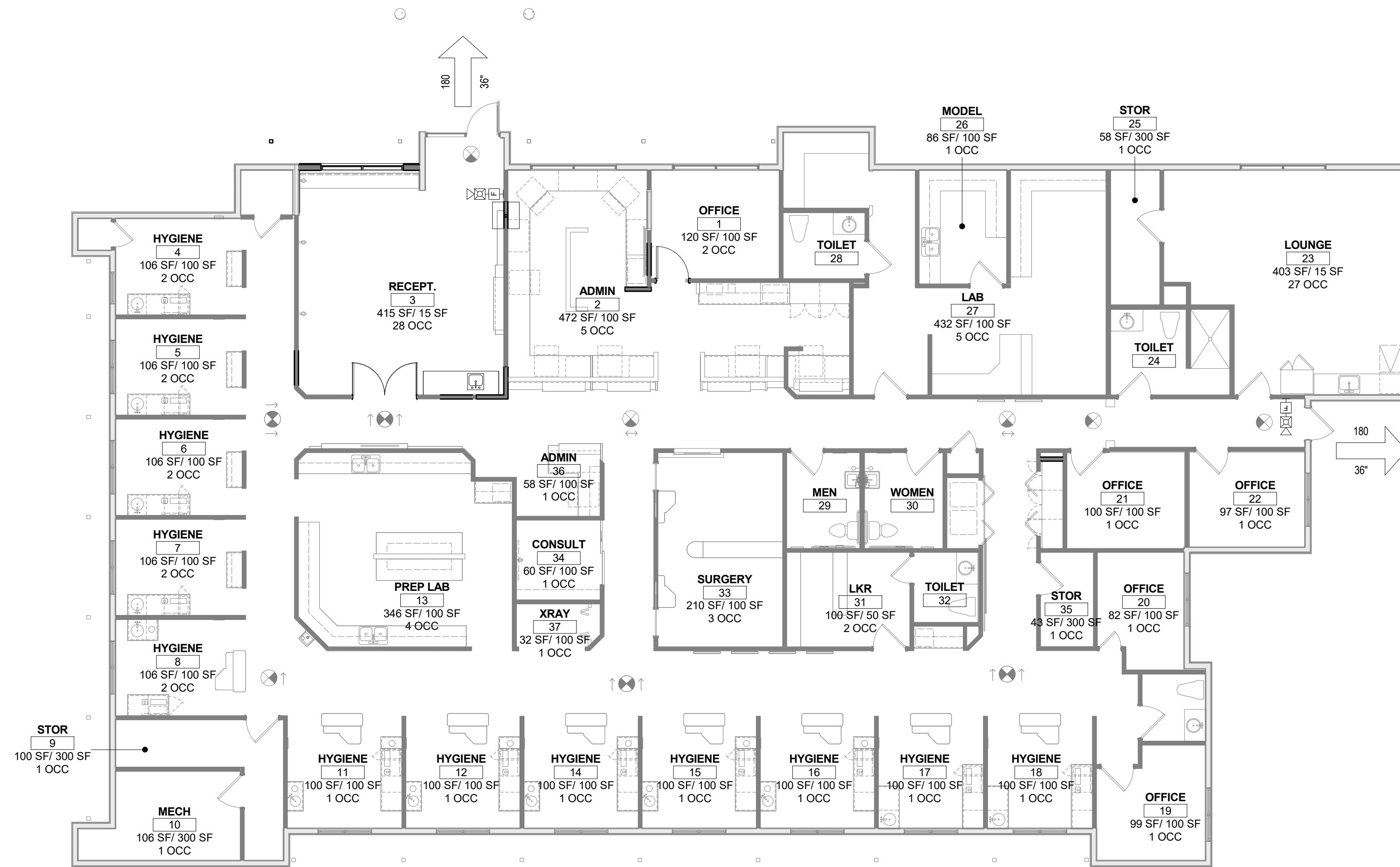


MONUMENT SIGN
SCALE: 1/4"=1'-0"

revisions	job title TRACT D-5A ELLISON & CALLE CUERVO NW ALBUQUERQUE, NM			
	PROJECT MANAGER NICK PIRKL	job no 20002	date 7/18/00	
	sheet title BUILDING "B" ELEVATIONS ONLY		by NAP	
	de la torre architecte, p.a. aia 2400 louisiana blvd ne building 3 / suite 110 albuquerque, nm 87106-5251 505-883-7999			



August 12, 2021



C2 FIRE 2 - CODE PLAN
 1/8" = 1'-0"



CODE SUMMARY		LIFE SAFETY PLAN SYMBOL LEGEND	
<p>A. APPLICABLE CODES:</p> <p>2015 INTERNATIONAL BUILDING CODE (IBC) 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2015 UNIFORM MECHANICAL CODE (UMC) 2015 UNIFORM PLUMBING CODE (UPC) 2017 NATIONAL ELECTRIC CODE (NEC) 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2012 NFPA 101- LIFE SAFETY CODE 2009 ICC/ANSI A117.1</p> <p>B. SCOPE of WORK - IEBC SECTION 505 - ALTERATION LEVEL 3:</p> <p>WORK UNDER THIS CONTRACT INCLUDES NEW FINISHES THROUGHOUT, MINOR PLUMBING and ELECTRICAL, RELOCATION OF AN OFFICE DOOR AND A 26 SF EXPANSION OF THE WAITING AREA ALONG WITH NEW RECEPTION CASEWORK.</p> <p>C. CURRENT ZONING:</p> <p>NR-BP - NON RESIDENTIAL - BUSINESS PARK ZONE DISTRICT ZONE ATLAS PAGE: A-14-Z</p> <p>D. USE and OCCUPANCY CLASSIFICATION/SEPARATION:</p> <p>EXISTING ONE 1 STORY DENTAL OFFICE (7,030 gsf) EXISTING OCCUPANCY GROUP : B (BUSINESS) NO CHANGE EXISTING TYPE V-B CONSTRUCTION, NON SPRINKLED (NO CHANGE)</p> <p>H. BUILDING ALLOWABLE AREA:</p> <p>BASE ALLOWABLE FLOOR AREA (TABLE 506.2) 9,000 SF ACTUAL FLOOR AREA 7,056 SF</p> <p>E. OCCUPANT LOAD (SECTION 1004 TABLE 1004.1.2)</p> <p>NO CHANGE IN OCCUPANCY, EXISTING GROUP B TO REMAIN GROUP B at 1:100sf (BUSINESS, OFFICE AREA): 47 OCCUPANTS GROUP A-3 at 1:15sf (RECEPTION and BREAK AREAS): 55 OCCUPANTS TOTAL: 102 OCCUPANTS</p> <p>F. FIRE PROTECTIVE SYSTEM</p> <p>PER SECTION 903 FOR GROUP B OCCUPANCIES, AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED</p> <p>PORTABLE FIRE EXTINGUISHERS PER SECTION 906: AREA: B 1 / 3,000sf 7,030sf / 3,000 = 3 FIRE EXTINGUISHERS REQUIRED</p> <p>3 FIRE EXTINGUISHERS - EXISTING</p> <p>MINIMUM RATED SINGLE EXTINGUISHER: 2A-10B MAXIMUM TRAVEL DISTANCE BETWEEN FIRE EXTINGUISHERS: 75ft</p>		<p>G. MEANS OF EGRESS OCCUPANT LOAD NO CHANGE</p> <p>MEANS OF EGRESS (IEBC 805): WORK AREA IS NOT SHARED BY MORE THAN ONE TENANT AND CONFORMS TO THE REQUIREMENTS OF THE BUILDING CODE UNDER WHICH THE BUILDING WAS CONSTRUCTED.</p> <p>MAXIMUM OCCUPANT LOAD FOR SPACE WITH ONE EXIT PER TABLE 1006.2.1: M OCCUPANCY = 49 OCCUPANTS & LESS THAN 75ft TRAVEL DISTANCE</p> <p>EXIT DOOR SWING PER 1010.1.2.1 DOOR MAY SWING INTO DIRECTION OF EGRESS IF THE OCCUPANT LOAD OF THE AREA IS LESS THAN 50.</p> <p>H. BUILDING ELEMENTS and MATERIALS (IEBC 602):</p> <p>ALL NEW INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH CHAPTER 8 OF THE 2015 INTERNATIONAL BUILDING CODE.</p> <p>G. PLUMBING FIXTURE REQUIREMENTS (SECTION 2902)</p> <p>NO CHANGE IN OCCUPANCY OR OCCUPANT LOAD NO ADDITIONAL FIXTURES REQUIRED</p> <p>IEBC SECTION 810.1 MINIMUM FIXTURES. WHERE THE OCCUPANT LOAD OF THE STORY IS INCREASED BY MORE THAN 20 PERCENT, PLUMBING FIXTURES FOR THE STORY SHALL BE PROVIDED IN QUANTITIES SPECIFIED IN THE INTERNATIONAL PLUMBING CODE BASED ON THE INCREASED OCCUPANT LOAD.</p> <p>SEISMIC DESIGN CATEGORY: D; NEW LAY IN GRID TO COMPLY WITH DESIGN CATEGORY D.</p>	
		<p>LIFE SAFETY</p> <p>NEW/RELOCATED EMERGENCY LIGHTING</p> <p>NEW / RELOCATED EXIT SIGN</p> <p>NEW / RELOCATED HORN / STROB</p> <p>NEW / RELOCATED PULL STATION</p>	
		<p>FIRE PROTECTION NOTES</p> <ol style="list-style-type: none"> EXIT SIGNS WITH BATTERY BACK-UP ARE INDICATED ON THE CODE AND REFLECTED CEILING PLAN. EMERGENCY LIGHTING IS INDICATED ON CODE AND REFLECTED CEILING PLAN. LOCATIONS OF EXIT SIGNAGE AND EMERGENCY LIGHTING IS SUBJECT TO REVIEW BY FIRE MARSHAL AND CODE OFFICIAL PRIOR TO MODIFICATION / INSTALLATION. FIRE EXTINGUISHERS ARE INDICATED ON THE CODE AND FLOOR PLAN. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATION TH THE FIRE SPRINKLER, FIRE ALARM, KITCHEN SUPPRESSION SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM. 	

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NO. DATE DESCRIPTION

FIRE 2

SHEET NO

FIRE 2

PROJECT NO: 21-23

DATE August 06, 2021

8/13/2021 10:15:05 AM

GENERAL SHEET NOTES

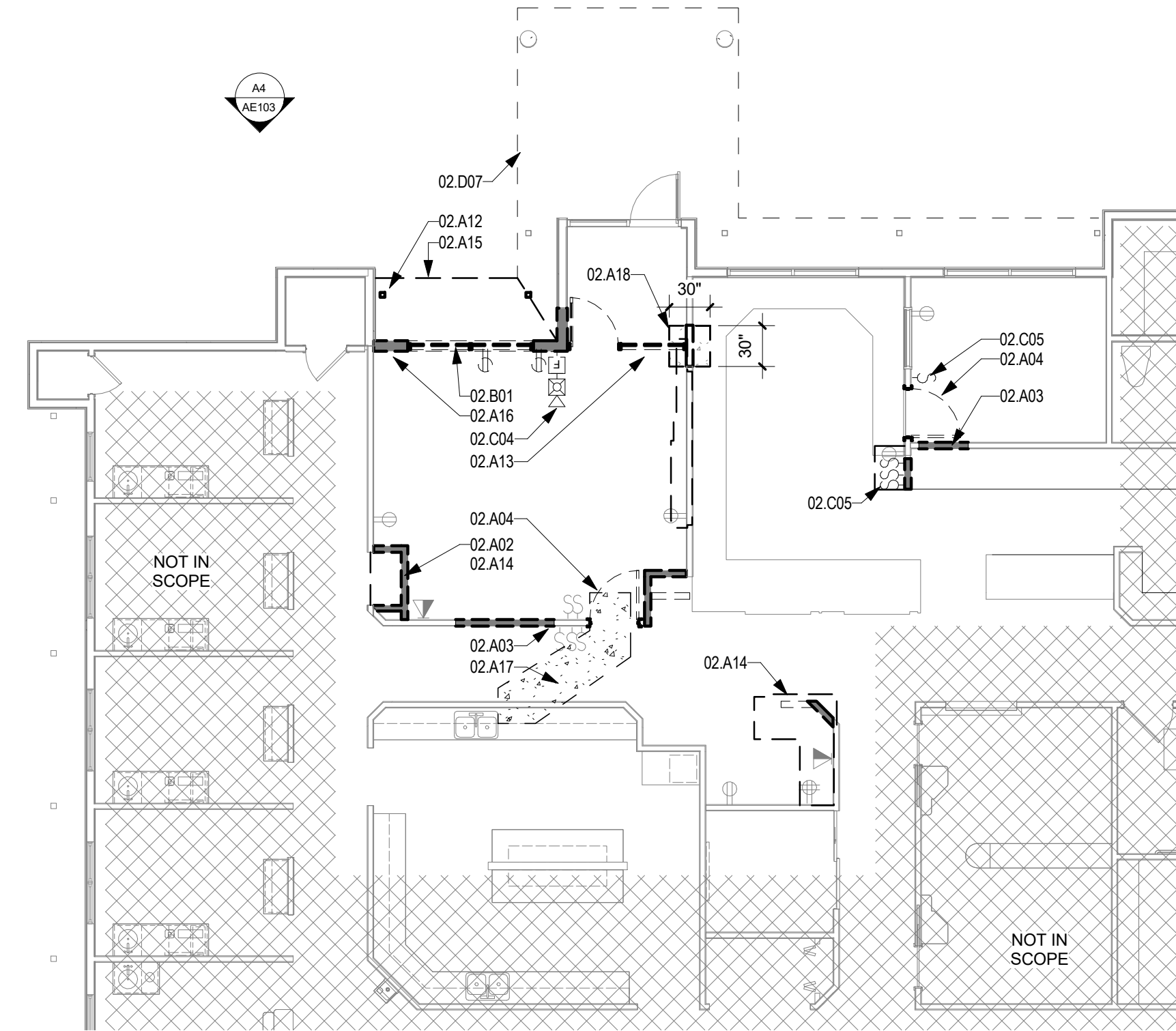
- DEMO FLOOR AND CEILING PLANS
- VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE, & IF ANY DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED.
 - PROTECT FROM DAMAGE EXISTING ELECTRICAL, MECHANICAL EQUIPMENT, ETC. WHICH WILL REMAIN AS PART OF THE FINAL SYSTEMS. IF DAMAGED, REPAIR AND/OR RESTORE THESE ITEMS TO PRE-CONSTRUCTION CONDITIONS.
 - ONLY MAJOR ITEMS OF DEMOLITION ARE SHOWN ON THE DEMOLITION DRAWINGS. THERE MAY BE SPECIFIC AND SMALL ITEMS OF DEMOLITION AND REPAIR THAT WILL BE NECESSARY THROUGHOUT THE COURSE OF THE WORK WHICH IS APPARENT BY A COMPLETE AND THOROUGH REVIEW OF EXISTING CONDITIONS AND ALL OF THE CONSTRUCTION DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL DEMOLITION OPERATIONS REQUIRED FOR THE PROJECT.
 - EXISTING CONSTRUCTION SHALL BE MODIFIED AS NEEDED FOR REMOVAL OF ANY EXISTING WORK, SUCH MODIFICATIONS WILL BE REPAIRED AND FINISHED TO MATCH ADJACENT.
 - EXISTING CONSTRUCTION SHALL BE MODIFIED AS NEEDED TO ACCOMMODATE NEW DEVICES AND CONDUIT ROUTES, SUCH MODIFICATIONS WILL BE REPAIRED AND FINISHED TO MATCH ADJACENT.
 - REMOVE ALL MISC FIXTURES, PIPING, CONDUIT, AND DEVICES NO LONGER FUNCTIONING AS PART OF THIS WORK, UNLESS NOTED OTHERWISE.
 - REMOVE ALL CARPETING AND FLOOR FINISH IN WORK AREA.
 - REMOVE ALL WINDOW COVERINGS, BLINDS ETC. PATCH HOLES.
 - PATCH ALL WALLS IN AREAS WHERE MISC FIXTURES, CONDUIT, AND DEVICES HAVE BEEN REMOVED. PATCH/REPAIR/TEXTURE ALL WALLS FOR CONSISTENT FINISH FREE OF DEFECTS & UNEVEN SURFACES. EXISTING TR ROOM AND EQUIPMENT SHALL STAY OPERATIONAL DURING DEMO AND CONSTRUCTION.
 - PROTECT ALL ELEMENTS TO REMAIN.
 - PATCH ALL HOLES IN EXISTING WALLS WITHIN WORK AREA.
 - SEE AE103 FOR LIGHTING SCHEDULE

REFERENCE KEYNOTES

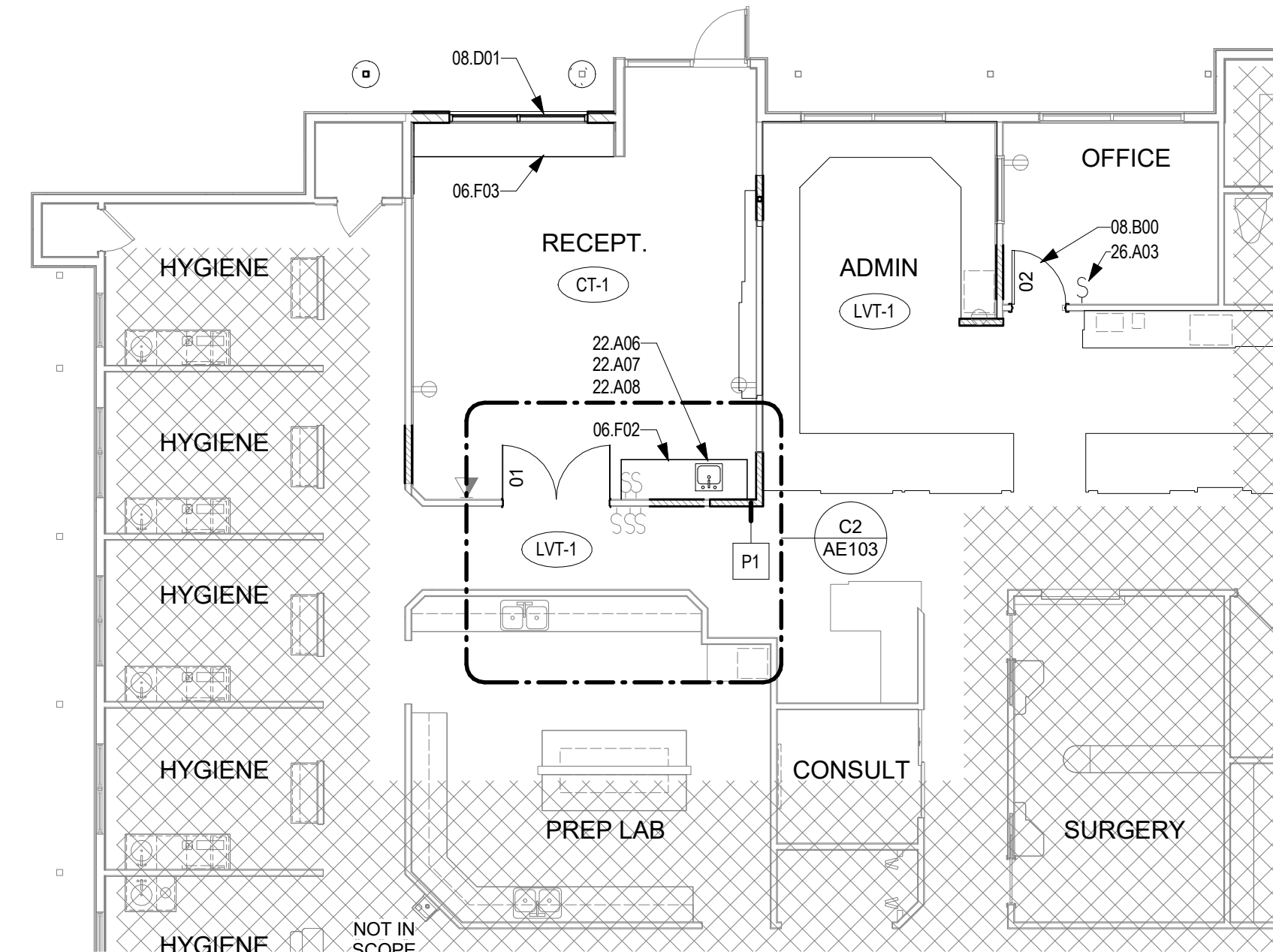
- 02.A02 REMOVE - PORTION OF WALL
- 02.A03 REMOVE - PORTION of WALL for NEW DOOR
- 02.A04 REMOVE - DOOR and FRAME
- 02.A12 REMOVE - WOOD POST and CONC. BASE
- 02.A13 REMOVE - STOREFRONT FRAMING and DOOR
- 02.A14 REMOVE - CASEWORK (SEE INTERIORS DEMO PLAN)
- 02.A15 REMOVE - PORTION OF EXTERIOR CANOPY and FRAMING
- 02.A16 REMOVE - PORTION OF EXTERIOR WALL, SEE SECTION and STRUCTURAL DETAIL
- 02.A17 REMOVE - PORTION OF SLAB AS REQ FOR NEW PLUMBING WASTE
- 02.A18 REMOVE - PORTION OF SLAB FOR NEW POST BASE (SEE STR. DETAIL)
- 02.A19 REMOVE - RECESSED INCANDESCENT LIGHT FIXTURE(S) UTILIZE EXISTING CIRCUITING FOR NEW (SEE INTERIORS)
- 02.A20 REMOVE - CEILING FAN, UTILIZE EXISTING CIRCUITING FOR NEW DECORATIVE FIXTURE (SEE INTERIORS)
- 02.B01 REMOVE and SALVAGE for REINSTALLATION - STOREFRONT WINDOW
- 02.C04 REMOVE and RELOCATE - PULL STATION & HORN/STROBE
- 02.C05 REMOVE and RELOCATE - LIGHT SWITCH(S)
- 02.D07 EXISTING to REMAIN - WOOD FRAMED ENTRANCE CANOPY WITH CORRUGATED ROOFING
- 02.F03 REINSTALLED - PULL STATION and HORN STROBE
- 06.A04 4x8 BEAM, PAINT FINISH (MATCH EXISTING)
- 06.A05 6" T&G, PAINT FINISH (MATCH EXISTING)
- 06.F02 NEW COFFEE BAR CASEWORK, SEE INTERIORS
- 06.F03 NEW COUNTER, SEE INTERIORS
- 08.B00 WOOD DOOR AND FRAME
- 08.D01 ALUMINUM-FRAMED WINDOW, RELOCATED EXISTING
- 09.D07 PATCH GYP CEILING/SOFFIT to MATCH EXISTING, BLEND JOINT INTO EXISTING CEILING
- 22.A06 PROVIDE 1/2" COLD and HOT WATER FROM EXISTING WATER LOOP ACROSS THE HALL
- 22.A07 PROVIDE 2" DRAIN TIED INTO EXISTING WASTE UNDER SLAB FOR SINK ACROSS THE HALL
- 22.A08 PROVIDE VENT TIED TO EXISTING STACK ABOVE CEILING
- 26.A01 RELOCATED - EXISTING LIGHT FIXTURE
- 26.A03 RELOCATED LIGHT SWITCH
- 26.C03 NEW LED RECESSED LIGHT FIXTURE UTILIZING EXISTING LIGHTING CIRCUIT FROM REMOVED INCANDESCENT RECESSED CANS. (SEE INTERIORS FOR SPEC)



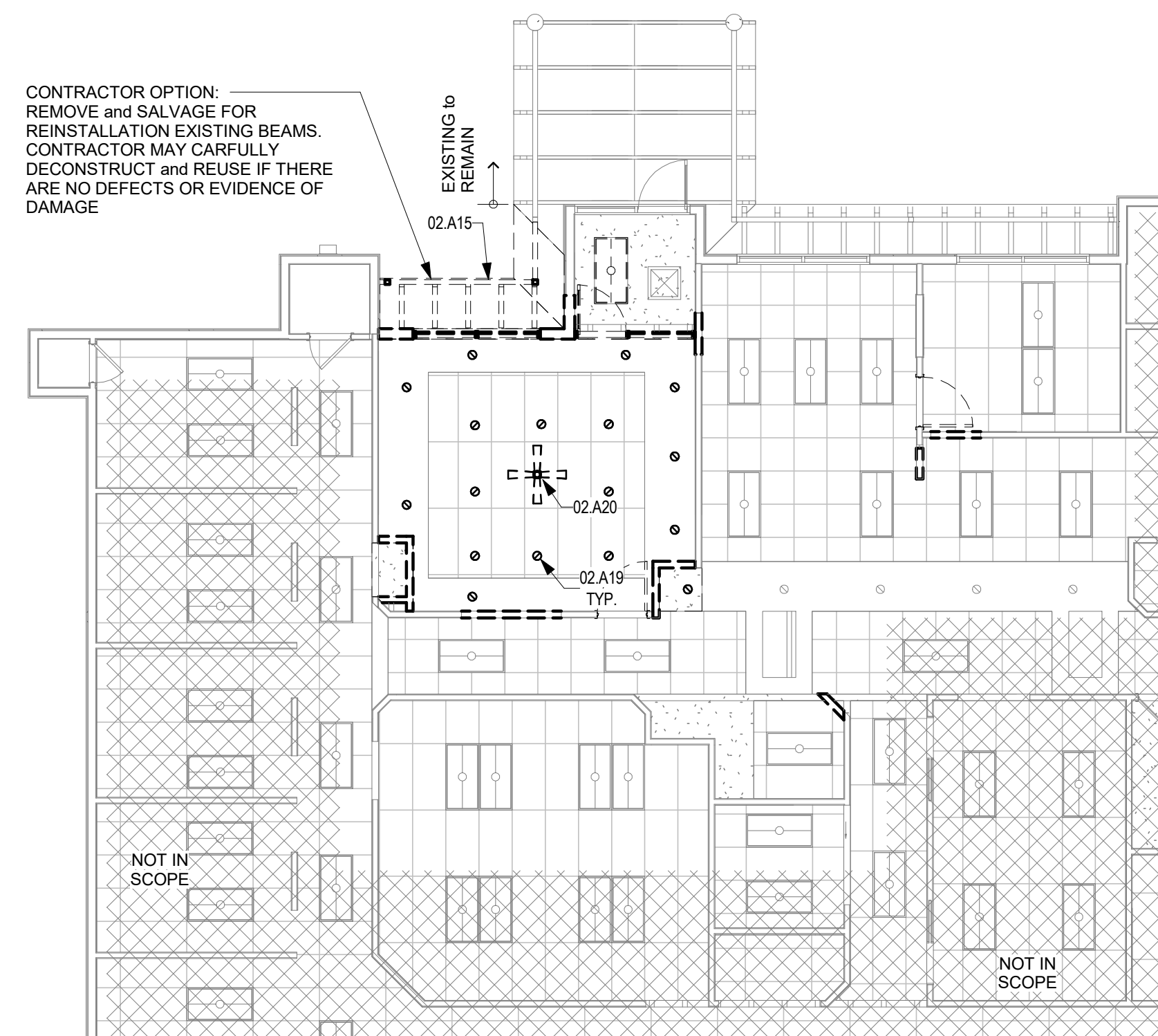
August 12, 2021



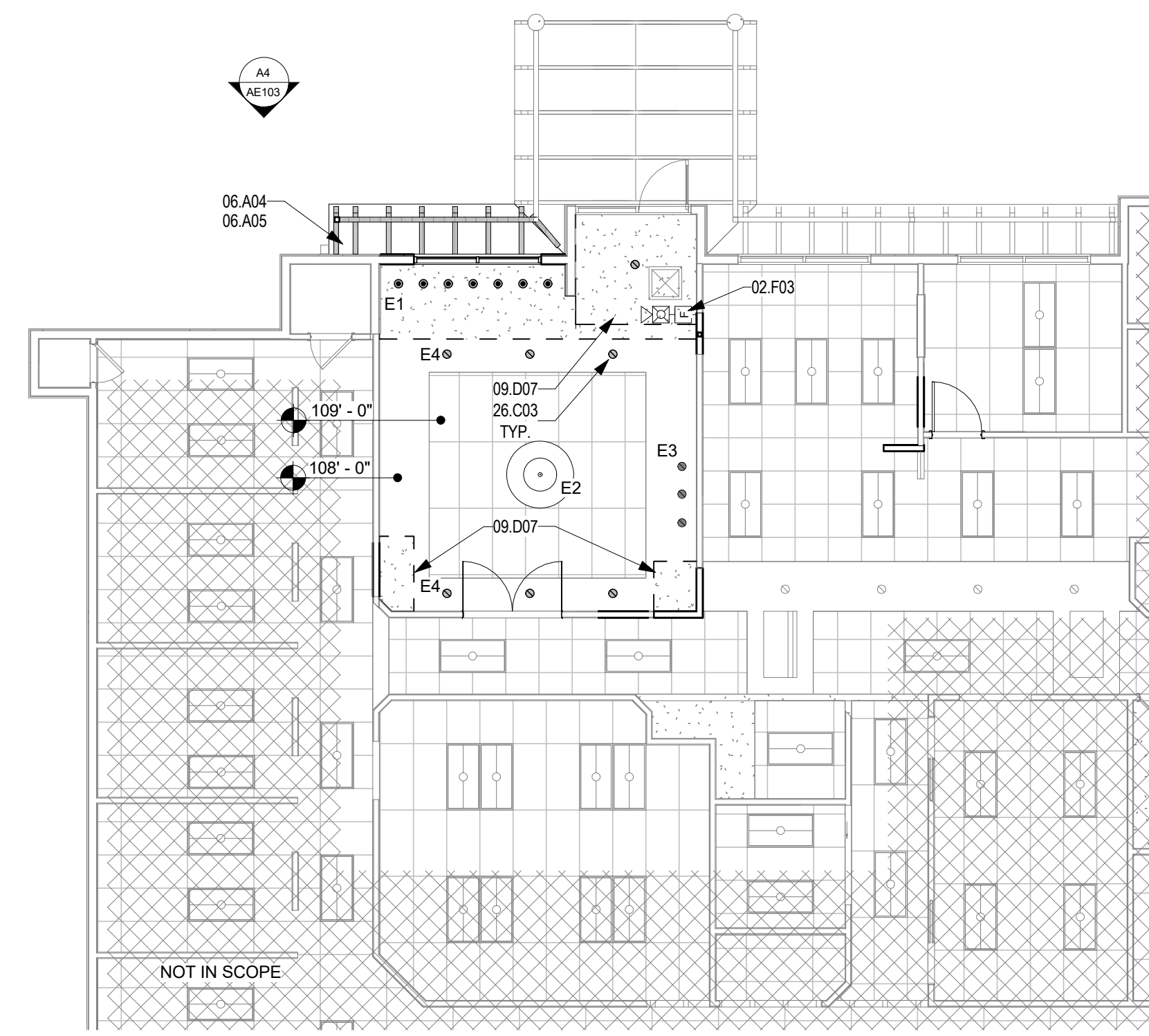
C1 DEMO - FLOOR PLAN
 1/8" = 1'-0"



C4 NEW WORK - FLOOR PLAN
 1/8" = 1'-0"



A1 DEMO - PARTIAL CEILING PLAN
 1/8" = 1'-0"



A3 NEW WORK - PARTIAL CEILING PLAN
 1/8" = 1'-0"

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DEMO and NEW WORK -
 PARTIAL FLOOR and
 CEILING PLAN

SHEET NO

AE101



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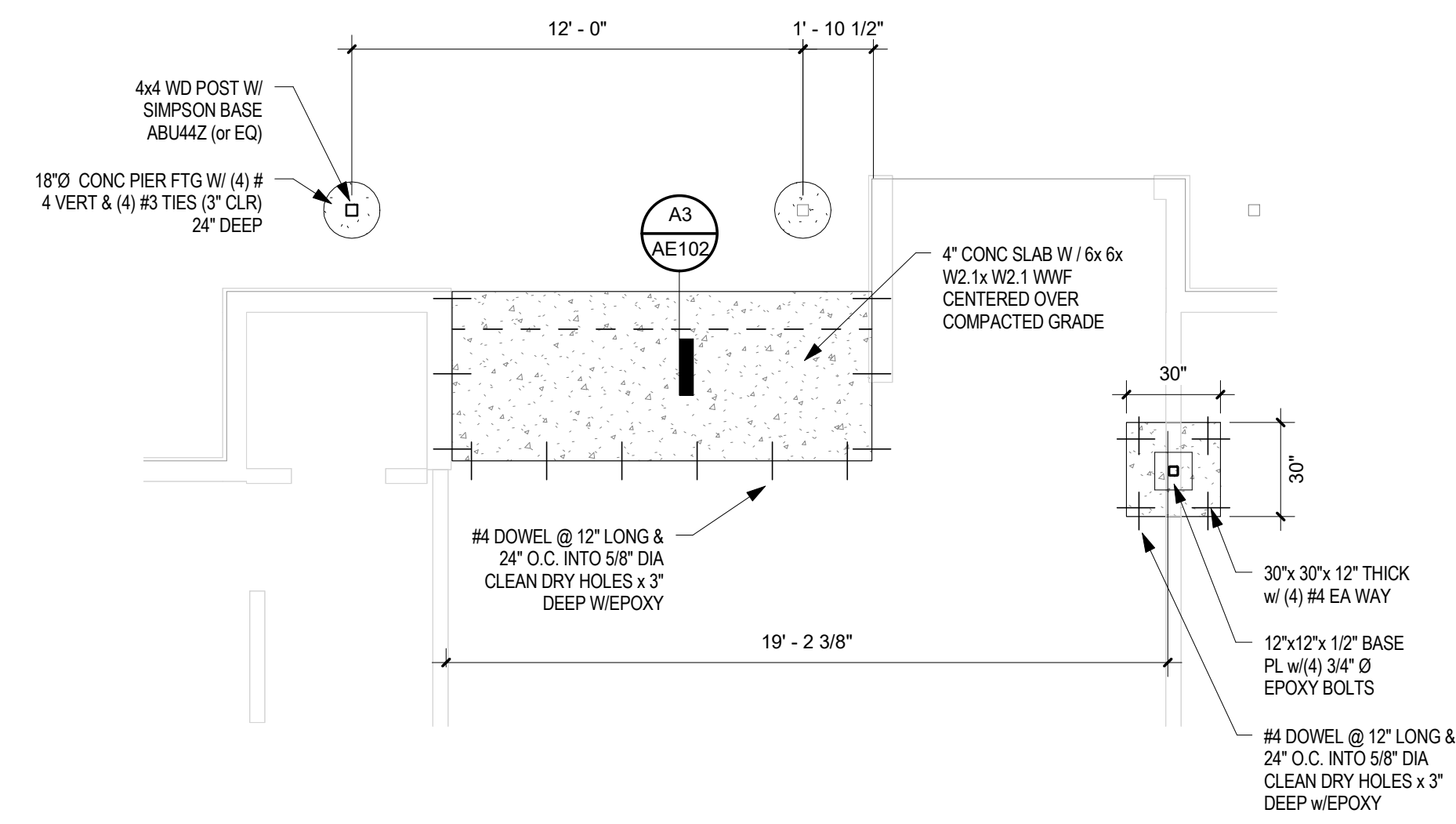
STRUCTURAL PLAN, ROOF PLAN and DETAILS

SHEET NO

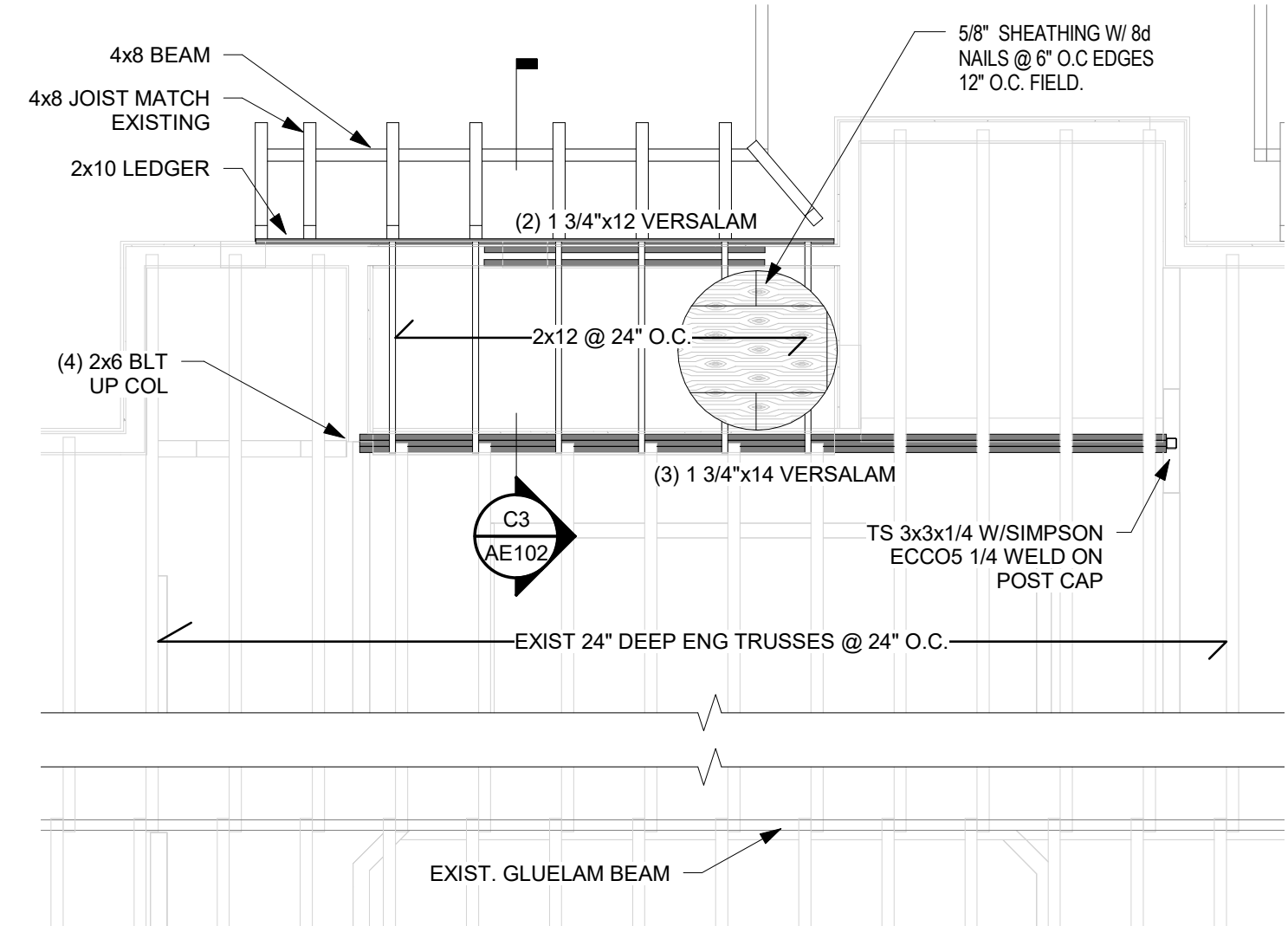
AE102

PROJECT NO: 21-23

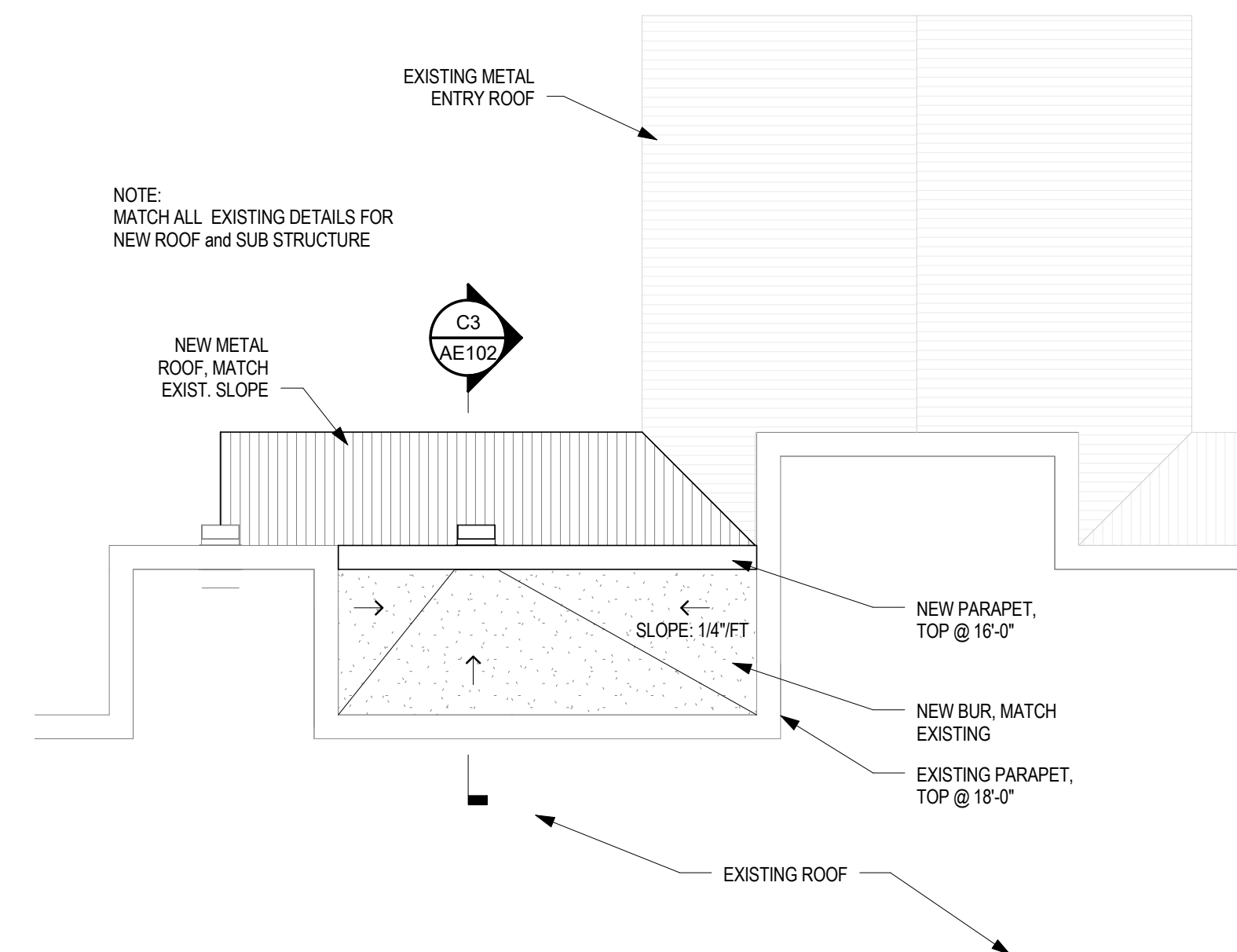
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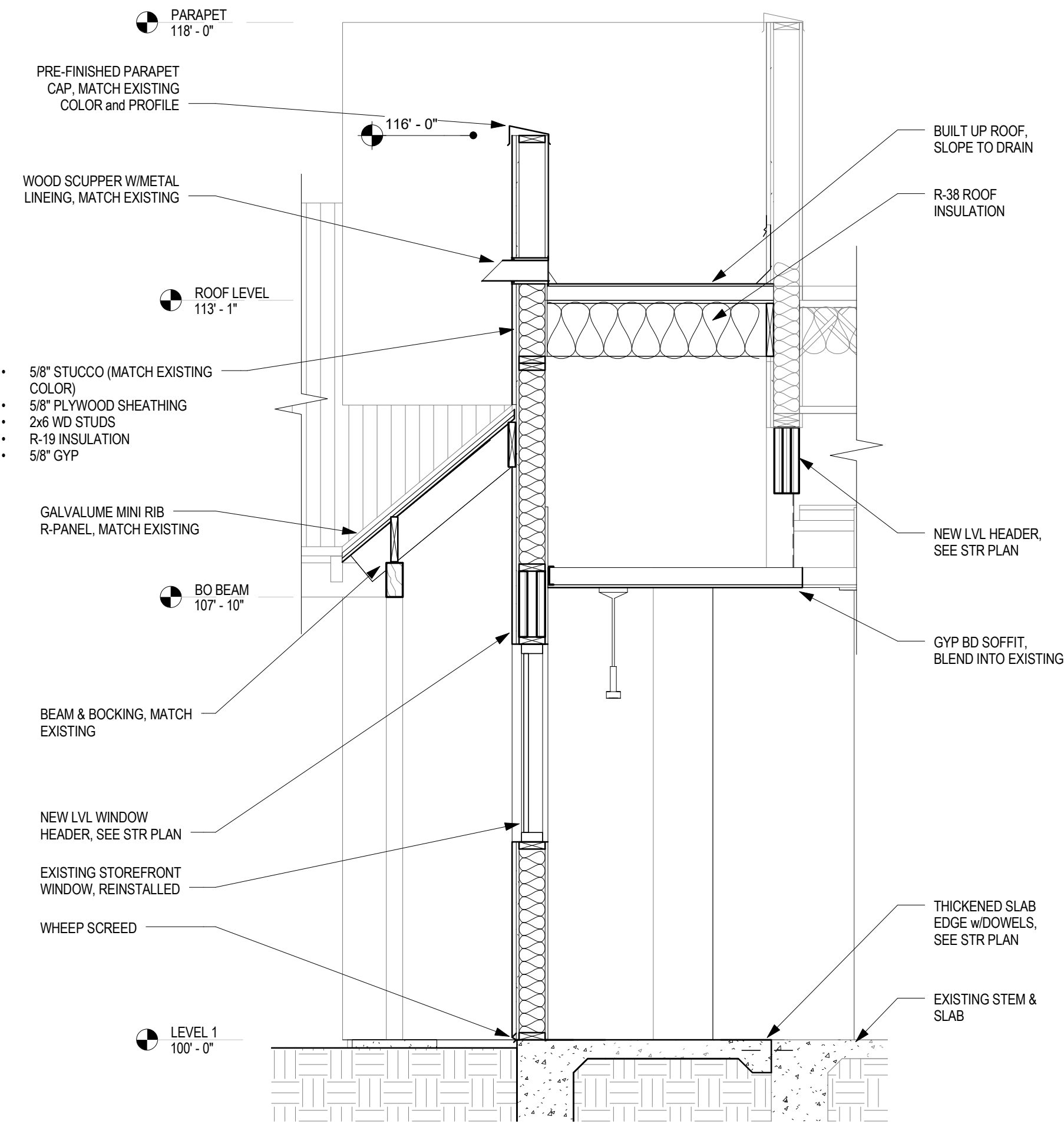
D1 FOUNDATION PLAN
 1/4" = 1'-0"



B1 ROOF FRAMING PLAN
 1/4" = 1'-0"

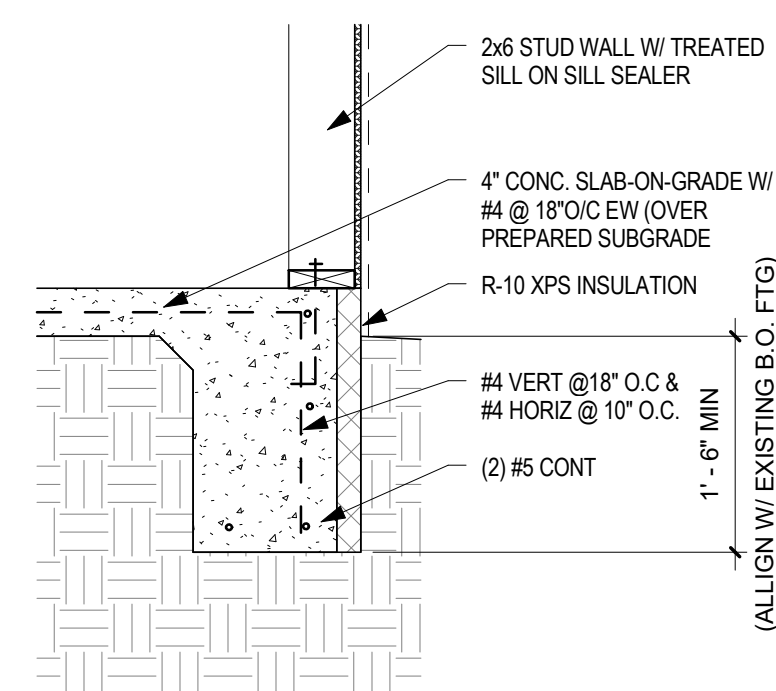


A1 PARTIAL - ROOF PLAN
 1/4" = 1'-0"



C3 WALL SECTION
 1/2" = 1'-0"

NOTE: WOOD IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE TREATED.



A3 STEM WALL
 3/4" = 1'-0"

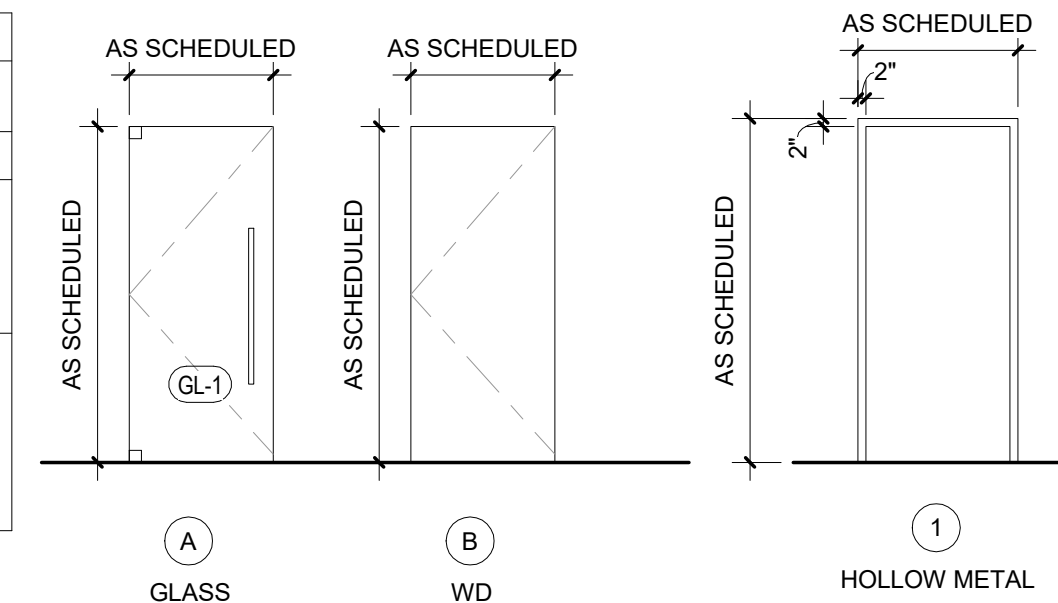
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LIGHT FIXTURE SCHEDULE						
MARK	DESCRIPTION	MANUF.	MODEL	LAMP	COUNT	COMMENTS
E1	CHARGE BAR PENDENT	RH	UTILITAIRE CYLINDER SHADE PENDANT	LED	7	4.5"D x 12.5"H LED
E2	RECEPTION CHANDELIER	FOUR HANDS	BAUM CHANDELIER - DARK WALNUT	LED	1	48.75" DIA. LED
E3	4" RECESSED DOWN LIGHT	HALO	TBD	LED	3	
E4	6" RECESSED DOWN LIGHT	HALO	TBD	LED	7	

DOOR and FRAME SCHEDULE									
NUMBER	DOOR			FRAME		H.W. SET NO.	REMARKS		
	WIDTH	HEIGHT	THK	TYPE	MAT				
01	6' - 0"	7' - 0"	1/2"	A	GL	-	1	CRL BERTTA PIVOT GLASS ENTRANCE SYSTEM (or EQ)	
02	3' - 0"	7' - 0"	1 3/4"	B	WD	1	HM	2	

GLAZING SCHEDULE			
GL-1	TEMPERED SAFETY GLASS - 1/2"		
DOOR HARDWARE SCHEDULE			
TYPE 1:	2 EA	LADER PULL (CRL or EQ)	
TYPE 2:	3 EA	HEAVY WEIGHT HINGES	
	3 EA	DOOR SILENCERS	
	1 EA	OFFICE LOCKSET	

NOTE:
 • CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, HARDWARE and FINISHES
 • HARDWARE TO MATCH EXISTING PRODUCTS AND FINISH
 • SEE INTERIORS FOR ADDITIONAL INFORMATION



C4 DOOR TYPES
 1/4" = 1'-0"

GENERAL SHEET NOTES

- FLOOR PLAN
- ALL PLAN DIMENSION ARE TO FACE OF STUD (NEW FRAMING), FACE OF EXISTING WALL OR CENTER OF COLUMN UNLESS NOTED OTHERWISE.
 - WHERE NEW CONSTRUCTION IS ADJACENT TO EXISTING CONSTRUCTION, THE FINISHED SURFACES SHALL BE ALIGNED TO CONCEAL ALL JOINTS AND TRANSITIONS.
 - WHERE ADJACENT WALLS WERE REMOVED, PATCH ALL EXISTING WALLS LEAVING NO TRACE OF PREVIOUS WALL INTERSECTION.
 - ANY AND ALL ITEMS DAMAGED BY DEMOLITION OR NEW CONSTRUCTION ARE REQUIRED TO BE PATCHED / REPAIRED TO MATCH EXISTING FINISH.
 - ALL INTERIOR FINISHES FLAME SPREAD REQUIREMENTS SHALL BE IN COMPLIANCE WITH IBC 2015 SECTION 803.5.
 - ALL JAMBS AT HINGE SIDE TO BE SET 4" FROM ADJACENT WALL.
 - PROVIDE FIRE TREATED BACKING / BLOCKING AT ALL WALL MOUNTED ITEMS, IE, DOOR STOPS, CASEWORK, ETC.
 - PROVIDE VERTICAL CONTROL JOINTS IN GYP. BD. PARTITIONS EVERY 30'-0" MAX, ALIGNING WITH DOOR FRAMES WHERE POSSIBLE.
 - INSTALL WATER RESISTANT GYP BD AT ALL WET LOCATIONS, PROVIDE BACKING FOR ALL WALL ACCESSORIES.
 - ALL WALLS TO BE TYPE I U.N.O.. SEE SHEET A010 FOR PARTITION TYPES.
 - SEE INTERIORS FOR FLOOR FINISHES and PATTERNS.
 - SEE INTERIORS FOR WALL PAINTING SCHEDULE.
 - SEE INTERIORS FOR CASEWORK ELEVATIONS, DETAILS and FINISHES

- ELECTRICAL NOTES:
- SEE ID-303 FOR RELOCATED EXISTING OUTLETS and CIRCUITS.

- CEILING PLAN
- ALL NEW CEILING TILES THROUGHOUT, SEE INTERIORS
 - SEE INTERIORS FOR PAINTING SCHEDULE
 - SEE INTERIORS FOR LIGHTING SPECIFICATION

REFERENCE KEYNOTES

06.A06	4X4 WD POST, MATCH EXISTING POST CAP TRIM
07.G01	GALVALUME CORRUGATED ROOFING PANEL (MATCH EXISTING)
07.G02	GALVALUME DRIP EDGE (MATCH EXISTING)
07.K01	METAL LINED WOOD SCUPPER, PAINT FINISH (MATCH EXISTING)
07.L01	PREFINISHED COPING SYSTEM (MATCH EXISTING)
08.D01	ALUMINUM-FRAMED WINDOW, RELOCATED EXISTING
09.C00	CEMENT PLASTER SYSTEM, MATCH EXISTING COLOR and FINISH



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INSULATION NOTES

REQUIREMENTS FOR INSULATION:
 ALL HOT WATER LINES SHALL BE INSULATED WITH MIN. 1" R-4 FIBERGLASS INSULATION.
 COLD WATER LINES SHALL BE INSULATED WITH MIN. 1" R-4 FIBERGLASS INSULATION AS NOTED.
 COLD WATER LINES LOCATED IN EXTERIOR WALL CAVITIES, EXPOSED NON-CONDITIONED SPACES, AND NON-RETURN AIR PLENUMS SHALL BE INSULATED.
 COLD WATER LINES LOCATED IN INTERIOR WALL CAVITIES, EXPOSED CONDITIONED SPACES, AND RETURN AIR PLENUMS ARE NOT REQUIRED TO BE INSULATED.

ALL ROOF DRAIN LINES SHALL BE INSULATED WITH MIN. 1" R-4 FIBERGLASS INSULATION.
SANITARY SEWER NOTES

ALL WASTE PIPE SHALL BE SLOPED 1/4" PER FOOT OR 2 PERCENT. 4" AND LARGER WASTE PIPE MAY BE SLOPED AT 1/8" PER FOOT OR 1 PERCENT IF CONDITIONS OF UPC 2012 SECTION 708.0 ARE MET AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.

GENERAL FIRESTOPPING NOTES

ALL PIPE PENETRATIONS OF FIRE RATED WALLS AND FLOORS SHALL BE PROTECTED WITH APPROVED FIRE STOPPING ASSEMBLIES AS MANUFACTURED BY 3M INDUSTRY, OR APPROVED EQUAL. THE ASSEMBLIES SHALL COMPLY WITH THE LATEST APPLICABLE REQUIREMENTS OF NFPA 5000, NFPA 13 AND OWNERS INSURANCE. PROPOSED APPLICABLE ASSEMBLIES SHALL BE UL LISTED AND SHALL BE PART OF THE PLUMBING EQUIPMENT SUBMITTALS.

GENERAL PLUMBING NOTES

GOVERNING CODES PROVIDE MINIMUM REQUIREMENTS AND MAY NOT NECESSARILY MEET HIGHER STANDARD REQUIREMENT OF THE CONTRACT DOCUMENTS. THEREFORE THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

MODIFICATION TO THE CONTRACT DOCUMENTS MAY OCCUR AS:

- A WRITTEN AMENDMENT TO THIS DOCUMENT AND SIGNED BY BOTH CONTRACTOR AND ARCHITECT.
- A CHANGE ORDER.
- A WRITTEN INTERPRETATION OF THE DOCUMENTS ISSUED BY THE ARCHITECT.
- OR A WRITTEN REQUEST FROM THE ARCHITECT FOR MINOR CHANGES TO REQUIRED WORK.

THE CONTRACTOR SHALL PROMPTLY CORRECT AND BEAR ALL ASSOCIATED COSTS OF ALL WORK REJECTED BY THE ARCHITECT FOUND TO BE DEFECTIVE OR NON-COMPLYING TO CONTRACT DOCUMENTS WHETHER OBSERVED BEFORE, OR AFTER SUBSTANTIAL COMPLETION, AND WHETHER OR NOT FABRICATED, INSTALLED, OR COMPLETED.

ANY PORTION OF THE WORK TO BE COVERED BY A BE OBSERVED BY THE ARCHITECT PRIOR TO COVERING OF WORK. CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING, A MINIMUM OF SEVEN (7) CALENDAR DAYS PRIOR TO ANY WORK BEING COVERED. IF ANY PORTION OF THE WORK SHOULD BE COVERED CONTRARY TO THE REQUIREMENTS SPECIFICALLY EXPRESSED IN THE CONTRACT DOCUMENTS, IT MUST, IF REQUIRED IN WRITING BY THE ARCHITECT, BE UNCOVERED FOR THE ARCHITECT'S OBSERVATION, AND SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

SYSTEMS TO BE OBSERVED PRIOR TO COVERING:

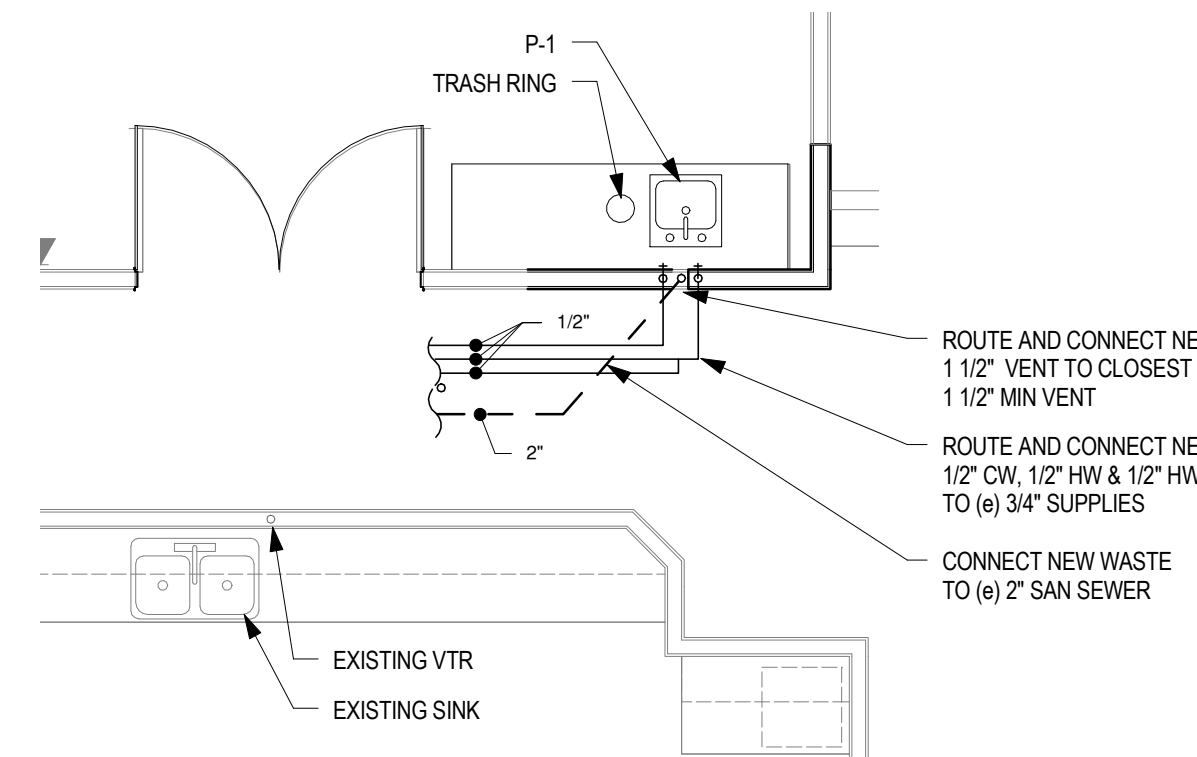
- SOIL, WASTE AND VENT PIPING.
- ROOF DRAINAGE PIPING.
- DOMESTIC COLD AND HOT WATER PIPING.
- FIRE PROTECTION PIPING.

ALL AUTOMATIC OR SELF-CLOSING VALVES FOR FAUCETS SHALL BE ADJUSTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SUPERVISED, AS NECESSARY, BY EQUIPMENT SUPPLIER'S REPRESENTATIVE AT THE REQUEST OF THE ARCHITECT OR ENGINEER.

CONTRACTOR SHALL VERIFY THAT ALL HANDICAPPED FIXTURES, ROUGH-INS AND COMPLETE INSTALLATION COMPLY WITH ALL ADA REQUIREMENTS.

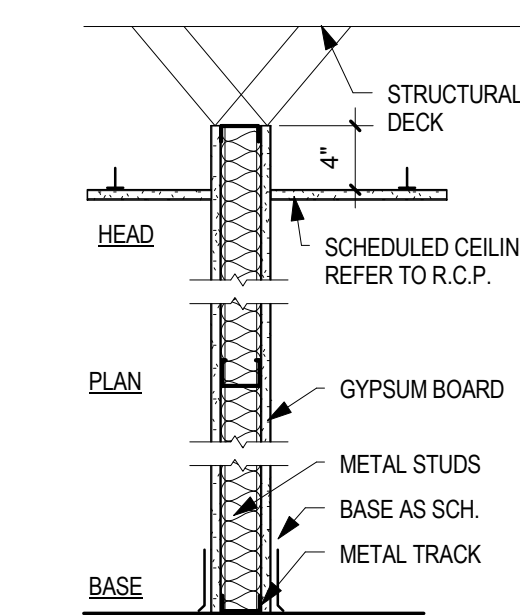
ALL PLUMBING FIXTURES ABOVE SHALL HAVE CHROME PLATED FINISH ON ALL EXPOSED SUPPLY PIPING, VALVE STOPS, TAILPIECES, P-TRAPS, AND ESCUTCHEONS. ESCUTCHEONS SHALL BE PROVIDED AT ALL WALL PENETRATIONS OF SUPPLY AND WASTE LINES.

PROVIDE WATER HAMMER ARRESTOR FOR BOTH CW AND HW SUPPLY LINES PER CURRENT UNIFORM PLUMBING CODE.



C2 PLUMBING PLAN
 1/4" = 1'-0"

PLUMBING FIXTURE SCHEDULE								
SYMBOL	FIXTURE TYPE	MANUF / MODEL	FIXTURE MOUNTING HEIGHT	CONNECTIONS				COMMENTS
				CW	HW	WASTE	VENT	
P-1	BAR SINK	ELKAY CROSSTOWN "ECTRU12179TC"	UNDER MOUNT	1/2"	1/2"	2"	1-1/2"	SSTL, 13.5" x 18.5" x 9", SINGLE BOWL UNDERMOUNT BAR SINK, DELTA FAUCET WITH WRIST-BLADE SINGLE HANDLE, 0.5 GPM, AND VANDAL-RESISTANT AERATOR, PIVOTAL COLLECTION, DECK MOUNT SUPPLIES, 1-1/2" CP-GJ-P-TRAP, GRID STRAINER.



- ONE LAYER 5/8" TYPE "X" GYPSUM BOARD ON BOTH SIDE
- 3 5/8" METAL STUDS, 22 ga @ 16" O.C
- ACOUSTICAL INSULATION

P1 NON-RATED PARTITION TYPE
 1" = 1'-0"

A2 PARTITION TYPE - P1
 1" = 1'-0"

GENERAL
 STEEL STUD METAL THICKNESS SHALL BE DETERMINED BY PARTITION HEIGHT AS INDICATED.

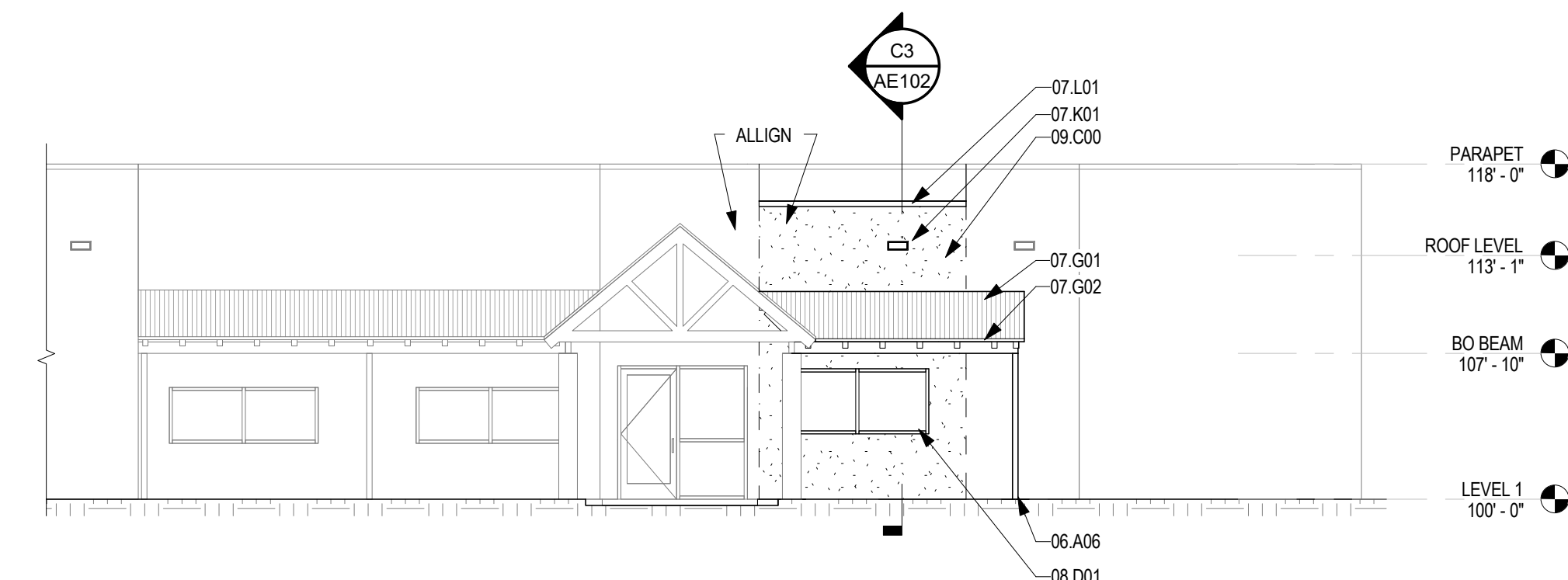
NON-LOAD BEARING, CEILING HEIGHT PARTITION TO BE CONSTRUCTED UPON CONCRETE SLAB OR OTHER STRUCTURAL SUBSTRATE HAVING CAPACITY TO SUPPORT DEAD LOAD OF PARTITION AND ASSOCIATED APPURTENANCES AS SCHEDULED AS WELL AS DESIGN LIVE LOADING. THE ASSEMBLY IS TO TERMINATE AT FINISHED CEILING.

STRUCTURE
 INSTALL STEEL STUDS AS INDICATED. STEEL STUDS SHALL BE SECURED TO STEEL TRACK HEAD AT EACH OCCURRENCE. BOTH SIDES OF PARTITION (2 FASTENERS AS EACH STUD). WHERE PARTITION LENGTH REQUIRES USE OF MULTIPLE LENGTHS OF STEEL HEAD TRACK, TRACK WILL BE EITHER SPLICED WITH MINIMAL OVERLAP OF 4" WITH MINIMUM OF ONE (1) STUD LOCATED FULLY WITHIN THE SPLICE JOINT, OR, TRACK MAY BUTT AT A JOINT WITH A PAIR (2) OF OPPOSING STUDS LOCATED AT EACH END OF TRACK SECURED AS INDICATED ABOVE.

FRAMING SHALL BE DIAGONALLY BRACED TO BUILDING STRUCTURE ABOVE WITHIN 4'-0" MAX OF A PERPENDICULAR WALL INTERSECTION PROVIDE BRACING FROM HEAD TO STRUCTURE (AT 45° FROM HORIZONTAL MAX) AT A MAX OF 4'-0" O.C ALTERNATING SIDES. (MAY SUBSTITUTE TWO 12 GA MINIMUM WIRES INSTALLED AT 45° FROM HORIZONTAL MAX IN OPPOSITE DIRECTIONS @ A MAX OF 4'-0" O.C.) NOTE: MAY CONNECT TO THE SUSPENSION SYSTEM WITH TWO 12 GA MINIMUM WIRES INSTALLED AT 45° FROM HORIZONTAL MAX IN OPPOSITE DIRECTIONS AT A MAX OF 4'-0" O.C. ATTACHED TO THE SUSPENSION SYSTEM)

SHEATHING
 GYPSUM BOARD IS CONTINUOUS, BOTH SIDES, FOR FULL HEIGHT OF PARTITION ASSEMBLY INDICATED.

A4 PARTIAL - WEST ELEVATION
 1/8" = 1'-0"



Davis Gribble Hollowa Dental Office - T1

3810 Calle Cuervo NW
 Albuquerque, NM 87114

FOR PERMIT / BID

REVISIONS

NO. DATE DESCRIPTION

EXTERIOR ELEVATION, DOOR TYPES, WALL TYPE and PLUMBING PLAN

SHEET NO

AE103

PROJECT NO: 21-23

DATE August 06, 2021