

PROJ 1000487

KEYED NOTES

1. NEW STANDARD CURB TYPICAL
2. NEW STANDARD TYPICAL
3. NEW PARKING BUMPER - (B) REQUIRED
4. NEW REINFORCED CONCRETE SIDE WALK
5. NEW REINFORCED CONCRETE SIDE WALK
6. NEW REINFORCED CONCRETE SIDE WALK
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17. NEW REINFORCED CONCRETE SIDE WALK
18. NEW REINFORCED CONCRETE SIDE WALK
19. NEW REINFORCED CONCRETE SIDE WALK
20. NEW REINFORCED CONCRETE SIDE WALK

GENERAL NOTES - CITY REQUIRED

1. THE RESPONSIBILITY FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE IS THE RESPONSIBILITY OF THE DEVELOPER.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE.
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10. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE.

PROJECT INFORMATION

LOCATION: 6000 S.W. 15TH AVENUE, ALBUQUERQUE, NM 87105
 DEVELOPER: [Name]
 ARCHITECT: [Name]
 ENGINEER: [Name]
 DATE: [Date]

RADIUS LEGEND

- 1. 2' RADIUS
- 2. 4' RADIUS
- 3. 6' RADIUS
- 4. 8' RADIUS
- 5. 10' RADIUS
- 6. 12' RADIUS
- 7. 14' RADIUS
- 8. 16' RADIUS
- 9. 18' RADIUS
- 10. 20' RADIUS

PHASING INFORMATION

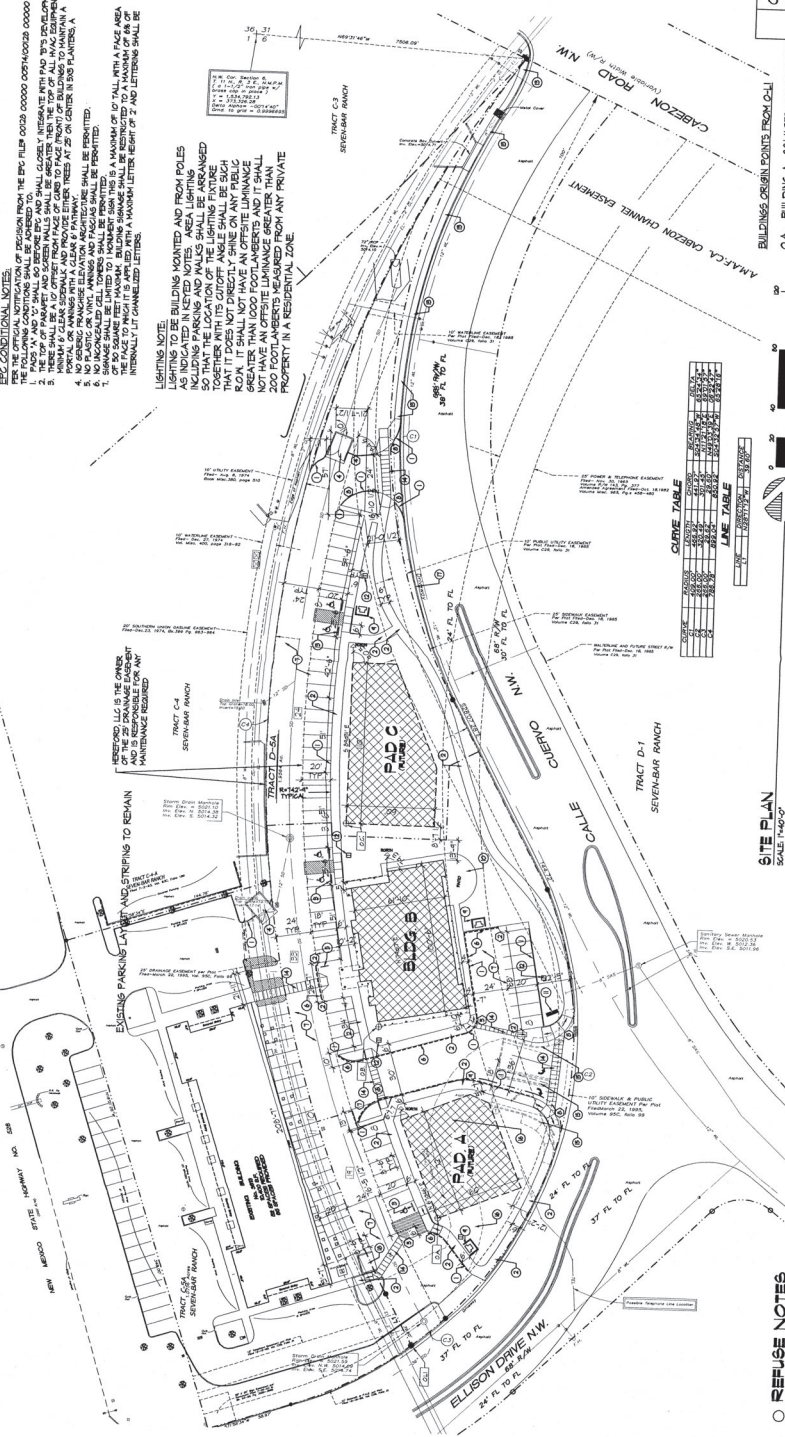
PHASE 1: [Description]
 PHASE 2: [Description]
 PHASE 3: [Description]

TRACT DATA

TRACT DATA: [Details]
 PROJECT MANAGER: [Name]
 SHEET TITLE: [Title]

CONTRACTOR INFORMATION

CONTRACTOR: [Name]
 ADDRESS: [Address]
 PHONE: [Phone]



BUILDING LEGEND (SUBDIVISION)

OFFICE	1100-200 SF	10 SPACES
OFFICE	1100-200 SF	10 SPACES
OFFICE	1100-200 SF	10 SPACES
TOTAL	3300 SF	30 SPACES

BUILDING LEGEND (BUILDING 'B')

OFFICE	1100-200 SF	10 SPACES
OFFICE	1100-200 SF	10 SPACES
OFFICE	1100-200 SF	10 SPACES
TOTAL	3300 SF	30 SPACES

BUILDING LEGEND (BUILDING 'C')

OFFICE	1100-200 SF	10 SPACES
OFFICE	1100-200 SF	10 SPACES
OFFICE	1100-200 SF	10 SPACES
TOTAL	3300 SF	30 SPACES

BUILDING LEGEND (BUILDING 'D')

OFFICE	1100-200 SF	10 SPACES
OFFICE	1100-200 SF	10 SPACES
OFFICE	1100-200 SF	10 SPACES
TOTAL	3300 SF	30 SPACES

LEGEND

- Water Meter
- Light Pole
- Drop Inlet
- Transformer
- Tree
- Water Valve
- Traffic Signal Box
- Sprinkler Control Box
- Electric Box
- Traffic Signal
- Clean Out
- Storm Pipe Man Hole
- Sanitary Street Man Hole

REFUSE NOTES

1. FINISH ABOVE
2. FINISH ABOVE
3. FINISH ABOVE
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20. FINISH ABOVE

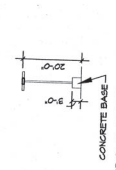
POLE LIGHT DETAIL



SECTION ENCLOSURE



VICINITY MAP



SCALE 1" = 1000'

SCALE 1" = 1000'

KEYED NOTES

- 1. NEW STANDARD CURB TYPICAL
- 2. NEW SIDEWALK TYPICAL
- 3. NEW PARKING SIGN - (S) REQUIRED
- 4. NEW REFUSE CONTAINER SEE DETAIL THIS SHEET
- 5. NEW REBAR STYLE BRK BACK 3 SPACES
- 6. FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY. TO BE PAINTED RED ON EACH SIDE.
- 7. NEW LANE - NO TURNING IN 16' HIGH BLOCK LETTERS EVERY 20'-0"
- 8. NEW DRIVEWAY
- 9. STANDARD CITY SIGNAL PAVING TYPICAL
- 10. NOT USED
- 11. INDICATES PROPOSED LOCATION OF PM TRANSFORMER
- 12. CONCRETE PAVES - 300 SF. PROVIDE WITH TABLES BY INTERNAL LIME/SILICA AND PAINT ACCESSIBLE TO VISITORS AND EMPLOYEES
- 13. MONUMENT (6x4)
- 14. LIGHT POLES (6x4) - SEE DETAIL THIS SHEET
- 15. EXISTING 4" PIPES SIDEWALK TO REMAIN
- 16. PEDESTRIAN ACCESS - SCORED + RAISED SURFACE
- 17. EXISTING MEDIAN AND CURB RETURN TO BE REMOVED
- 18. EXISTING ASPHALT DRIVE TO BE REMOVED
- 19. EXISTING ASPHALT TO BE REMOVED AND REPLACED WITH CURB + GUTTER
- 20. EXISTING REUSE ENCLOSURE TO REMAIN

GENERAL NOTES - CITY REQUIRED

- A. THE RESPONSIBLE PARTY MUST VERIFY ALL IMPROVED CONSTRUCTION RESULTING FROM THIS PLAN ON THE DATE PROVIDED BY THE CITY.
- B. THIS PLAN IS TO BE SUBMITTED TO THE CITY ENGINEER'S OFFICE AND APPROVED BY THE CITY ENGINEER'S OFFICE. THE CITY ENGINEER'S OFFICE WILL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY IMPROVEMENTS NOT SHOWN ON THIS PLAN.
- C. ALL IMPROVEMENTS AND CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S OFFICE AND THE CITY ENGINEER'S OFFICE WILL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY IMPROVEMENTS NOT SHOWN ON THIS PLAN.
- D. ALL IMPROVEMENTS AND CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S OFFICE AND THE CITY ENGINEER'S OFFICE WILL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY IMPROVEMENTS NOT SHOWN ON THIS PLAN.
- E. CONTRACTORS SHALL VERIFY THE LOCATION OF ALL UTILITIES BEFORE ANY CONSTRUCTION.
- F. THE CITY ENGINEER'S OFFICE WILL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY IMPROVEMENTS NOT SHOWN ON THIS PLAN.
- G. ALL IMPROVEMENTS AND CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S OFFICE AND THE CITY ENGINEER'S OFFICE WILL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY IMPROVEMENTS NOT SHOWN ON THIS PLAN.
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- K. ALL IMPROVEMENTS AND CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S OFFICE AND THE CITY ENGINEER'S OFFICE WILL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY IMPROVEMENTS NOT SHOWN ON THIS PLAN.
- L. ALL IMPROVEMENTS AND CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S OFFICE AND THE CITY ENGINEER'S OFFICE WILL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY IMPROVEMENTS NOT SHOWN ON THIS PLAN.

PROJECT INFORMATION

LOCATION: 1001 ELLISON DRIVE NW, ALBUQUERQUE, NM 87102
DEVELOPER: [REDACTED]
LEGAL DESCRIPTION: [REDACTED]
COURT: [REDACTED]
PROJECT: [REDACTED]
DRAWN: [REDACTED]

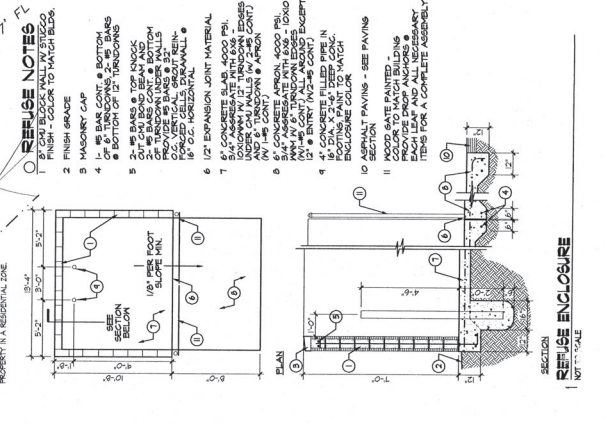
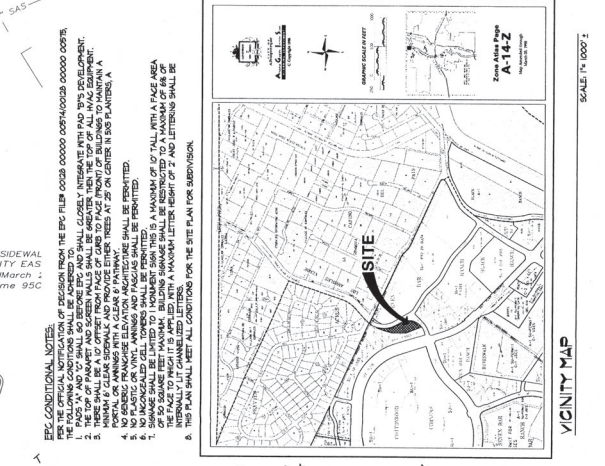
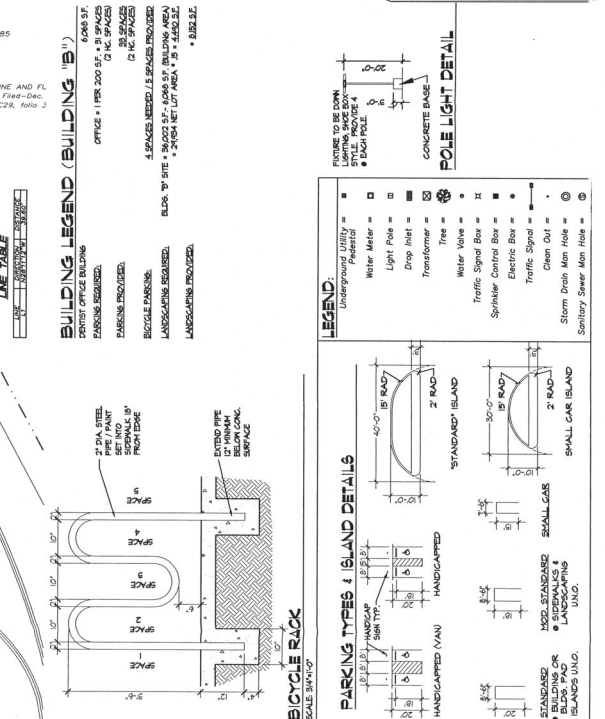
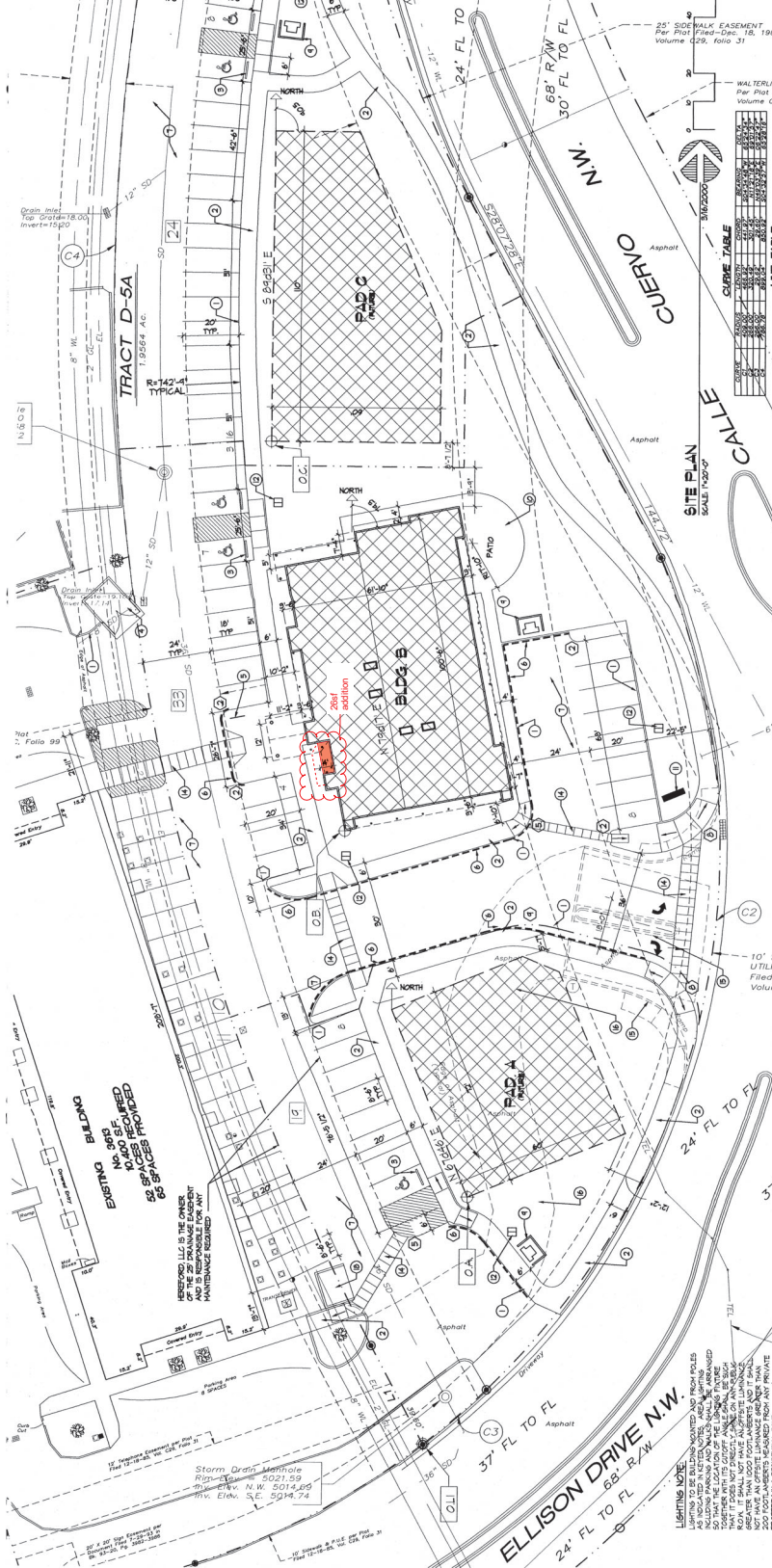
SIGNATURE BLOCK
DATE: 9/16/10
DRAWN: [REDACTED]
CHECKED: [REDACTED]
DATE: 9/16/10
DATE: 9/16/10

RADIUS LEGEND
⊙ 2' RADIUS
⊙ 4' RADIUS
⊙ 8' RADIUS
⊙ 16' RADIUS
⊙ 32' RADIUS

PHASING INFORMATION
DATE: 9/16/10
DATE: 9/16/10
DATE: 9/16/10

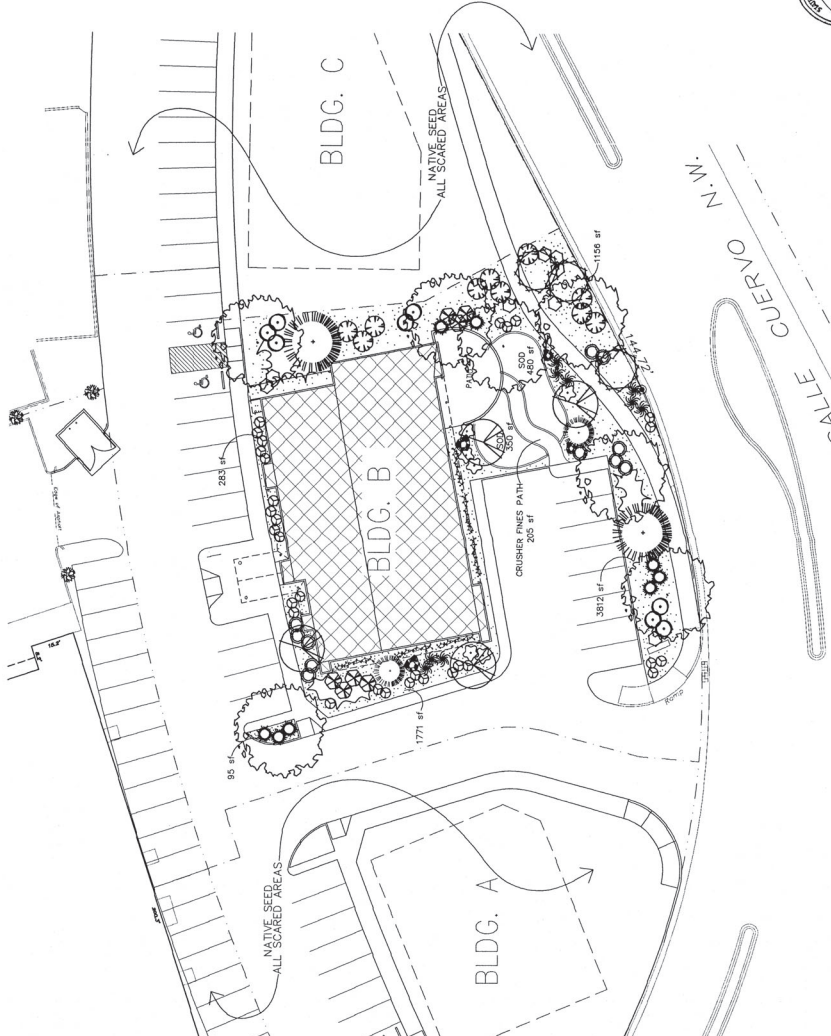
PROJECT INFORMATION
JOB NO: 1001-1002
JOB TITLE: [REDACTED]

DE la Torre Architects
2400 BUENA VISTA BLVD
SUITE 110
ALBUQUERQUE, NM 87102



PLANT LEGEND

- ASAVA (M) HONEY LOCUST (H) 7
Prosopis juliflora
2' x 10'
- FLOWERING PEAR (H) 4
Pyrus calleryana
2' x 2'
- AMERICAN PINE(H) 2
Pinus strobus
6"-8" dia
- PINON PINE(H) 2
Pinus edulis
6"-8" dia
- DESERT MALLOW (L) 3
Chiocypia linearis
1' x 1'
- MADON GRASS (L) 9
Pennisetum setaceum
5' x 5'
- GREY LEAF COTONEASTER 8
Cotoneaster gl.
5' x 5'
- ROSEMARY (M) 11
Rosmarinus officinalis
5' x 5'
- INDIAN HAWTHORN (M) 7
Nyctaginia indica
5' x 5'
- RUSSIAN SAGE (M) 8
Perovskia atriplicifolia
5' x 5'
- FRUTICOSA (M) 5
Purshiana fruticosa
5' x 5'
- ANTHUS SAGE (M) 7
Salvia argentea
1' x 1'
- CHAMAISA (L) 10
Polemonium leucostachyus
1' x 1'
- WILDFLOWER 30
- HONEY SUCKLE (M) 10
Lonicera sempervirens
1' x 1'
- YAM JUNIPER (M) 8
Juniperus procumbens
5' x 5'
- OVERSIZED GRAVEL & BOLLERS 4
- 3/4" GREY GRAVEL
W/ FILTER FABRIC
500
- COMMERCIAL GRADE
STEEL EDGING



A-26-00

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Certs. Lic. #24125
Albuquerque, NM 87184
Ph. (505) 888-8850
118 Hilltop Landscaping.com

THE HILLTOP
We will not accept payment for the work until the work is completed and inspected. Payment for the work shall be made in full at the time of completion. Payment for the work shall be made in full at the time of completion. Payment for the work shall be made in full at the time of completion.



GRAPHIC SCALE
SCALE: 1"=20'

LANDSCAPE NOTES:
Landscaping maintenance shall be the responsibility of the Property Owner.
It is the intent of this plan to comply with the City of Albuquerque, water conservation landscaping ordinance, planting restriction ordinance, and water conservation landscaping ordinance.
Approval of this plan shall constitute an irrevocable agreement between the Property Owner and the City of Albuquerque, water conservation landscaping ordinance, planting restriction ordinance, and water conservation landscaping ordinance.
It is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Public Works and Water Conservation Landscaping Ordinance, and Water Conservation Landscaping Ordinance.
Environmentally sound landscaping principles will be followed in design and installation.

Plants shall achieve 75% live ground cover at Maturity.
3/4" Santa Fe Brown Gravel over Filter Fabric shall be installed in all landscape areas which are not designated to feature native seed.

IRRIGATION NOTES:
A complete underground system with trees to receive (1.0 GPH) Drip Emitters and (1.0 GPH) Drip Emitters shall be installed. Drip and Bubbler systems to be installed to 1/2" poly-pipe with flush caps at each end.
Run time per each drip valve will be approximately 15 minutes per cycle, adjusted according to the season.
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	square feet
TOTAL LOT AREA	35,065
TOTAL BUILDINGS AREA	6,048
OFFSITE AREA	26,988
LANDSCAPE REQUIREMENT	15
TOTAL LANDSCAPE REQUIREMENT	4,350
TOTAL LANDSCAPE PROVIDED	8,152
TOTAL SOG PROVIDED	7,822
TOTAL SOG PROVIDED	630
TOTAL NATIVE SEED PROVIDED	0

Sheet Title
PROJECT MANAGER
DATE
BY
DATE

ON THE TRACT D-5A
ELLISON & CALLE CUIERO NW
ALBUQUERQUE, NM
PROJECT MANAGER
DATE
BY
DATE

de la Torre architects paid
2400 Burbank Blvd NE
Building 3 - Suite 110
Albuquerque, NM 87110 / 505-863-7965
SHEET DATE: 3/7/00

SHEET - 2
of 4

VICINITY MAP
C.O.A. ZONE ATLAS NO. A-14-Z

FLOOD HAZARD MAP & OFFSITE DRAINAGE FACILITIES
FEMA MAP NO. 3500100109 D

NOTE:
THE SITE INCLUDES A SMALL AMOUNT OF FEMA MAPPED FLOODPLAIN.
THE CONTRACTOR SHALL PROTECT THE FLOODPLAIN AND SHALL
INCLUDES FOR LETTER OF MAP REVISION FOR SPECIAL ASSESSMENT DISTRICT
NO. 223 FILED WITH F.E.M.A. IN FEBRUARY 1999.

LEGEND

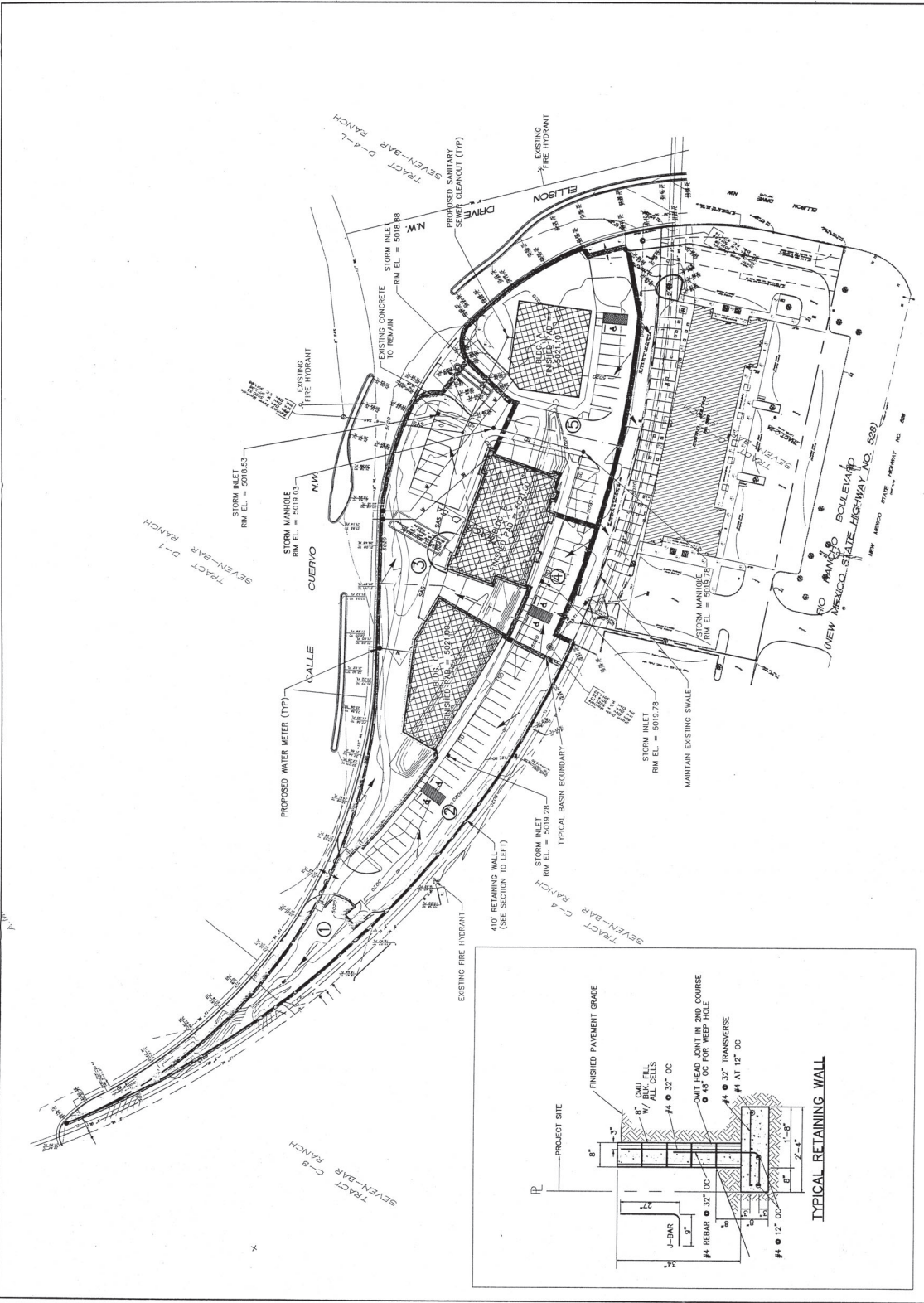
DESCRIPTION	NEW	EXISTING
CONTOUR LINES	400' 400' 400'	400' 400' 400'
APPROXIMATE DRAINAGE BASIN BOUNDARY	---	---
WATER BLOCK	---	---
DIRECTION OF FLOW	---	---
FLOODLINE	---	---
PROPOSED CURB	---	---
STONE DRAIN S.I.T. & LINE	---	---
SLOPE SYMBOL	---	---
RETURNING WALL	---	---

BENCHMARK
LEGAL DESCRIPTION
NMSHD BRASS CAP T.M. 448-4127 ELEV. 5023.41 TRACT D - 5A OF SEVEN BAR RANCH
LOCATED 60' WEST OF C OF CORRS ROAD N.W.
APPROX. 550' SOUTH OF INTERSECTION WITH
CORRELES ROAD N.W. (S.R. 520)

NO.	REVISIONS	BY	DATE

**TRACT D - 5A
CONCEPTUAL GRADING AND DRAINAGE
AND SITE UTILITIES PLAN**

Mastering & Associates, Inc.
CONSULTING ENGINEERS
2006
1709
RESERVED BY: [Signature]
DATE: 4/90
SHEET 3 OF 4



EROSION CONTROL MEASURES
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO BE TAKEN ON THE SITE TO PREVENT EROSION OF THE SOILS AND TO PROTECT THE PROPERTY AND ADJACENT PROPERTIES FROM EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO BE TAKEN ON THE SITE TO PREVENT EROSION OF THE SOILS AND TO PROTECT THE PROPERTY AND ADJACENT PROPERTIES FROM EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO BE TAKEN ON THE SITE TO PREVENT EROSION OF THE SOILS AND TO PROTECT THE PROPERTY AND ADJACENT PROPERTIES FROM EROSION.

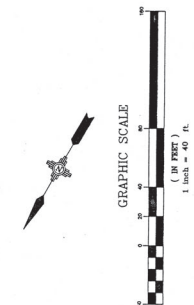
Drainage Plan

EXISTING CONDITIONS
The site is mostly undeveloped except for an existing storm drain covered by asphalt along the south side of the site. The storm drain flows to the south. No significant surface flows enter the site.

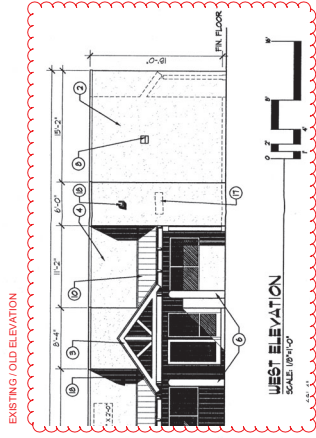
PROPOSED CONDITIONS
The site is to be developed for commercial use in accordance with the Seven Bar Sector Development Plan (April 1985). The current site plan, still under review, shows a storm drain to be installed along the southeast corner of the property to carry the flow south to Colezon Channel (Eustelling and Associates 1993).

Tract	Area (Acres)	Land Treatment Types	Peak Runoff (cfs)
		A B C	
1	0.1127	Existing Conditions 0% 100% 0%	0.28
2	0.4442	Existing Conditions 0% 75% 0%	0.22
3	0.5027	Existing Conditions 0% 3.00% 0%	1.84
4	0.3859	Existing Conditions 0% 65% 0%	1.72
5	0.4893	Existing Conditions 0% 65% 0%	1.11
6	0.4893	Existing Conditions 0% 65% 0%	1.16
TOTAL	1.7786	Existing Conditions 0% 61.67% 0%	4.83
		Developed Conditions	6.82
			7.87 > 6.82 OK

Minimum Discharge (Eustelling and Associates 1993) = 7.88 cfs $Q_{10} = 6.82$ cfs



NEW / PROPOSED ELEVATION



KEYED NOTES

1. INTERNALLY ILLUMINATED SIGN TO BE INDIVIDUAL CHANNEL LETTERS WITH LETTERS WITH A MINIMUM AREA OF AS OF THE FACE TO WHICH IT'S APPLIED
2. STEEL COLOR BASE TYPICAL UNLESS NOTED OTHERWISE
3. METAL LETTERS BROWN
4. METAL LETTERS BROWN
5. 4" x 4" WOODEN COLLARS - PAINTED WHITE
6. 12" DIA. CONCRETE COLUMNS RUBBED FINISH ONLY
7. 6" x 6" x 6" CONCRETE BASE RUBBED FINISH ONLY
8. WALL MOUNTED SECURITY LIGHT; DARK BRONZE. SEE LIGHTING NOTE L-1
9. 12" DIA. CONCRETE COLUMNS RUBBED FINISH ONLY
10. GLASS TOP LIGHT TAN TINT
11. HIDDEN FRAME PAINTED WHITE TYPICAL
12. METAL LETTERS BROWN
13. METAL LETTERS BROWN
14. INTERNALLY ILLUMINATED SIGN AREA WITH LEAN OR PLASTIC FACE
15. INTERNALLY ILLUMINATED SIGN AREA WITH LEAN OR PLASTIC FACE
16. INTERNALLY ILLUMINATED SIGN AREA WITH LEAN OR PLASTIC FACE
17. PRESERVE IDENTIFICATION SIGN (SMALL CONTRAST WITH BACKGROUND)
18. ROOF SLOPER TYPICAL
19. HIDDEN TRIMMING PAINTED WHITE TYPICAL

WEST ELEVATION

SCALE 1/8"=1'-0"

WEST ELEVATION

SCALE 1/8"=1'-0"

SOUTH ELEVATION

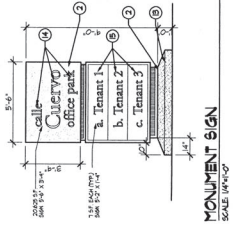
SCALE 1/8"=1'-0"

EAST ELEVATION

SCALE 1/8"=1'-0"

NORTH ELEVATION

SCALE 1/8"=1'-0"



MONUMENT SIGN

SCALE 1/8"=1'-0"

revisions

<p>PROJECT TITLE TRACT D-5A ELISION / CALLE CUERVO NW ALABURGOLE, IN</p>	
<p>PROJECT MANAGER JDB</p>	<p>DATE 7/18/99</p>
<p>SCALE AS SHOWN</p>	<p>BY JDB</p>
<p>BUILDING 'B' ELEVATIONS ONLY</p>	

db la dome architects,pa,ada
2400 louisiana blvd ne
building 3 / suite 110
atlanta, ga 30329