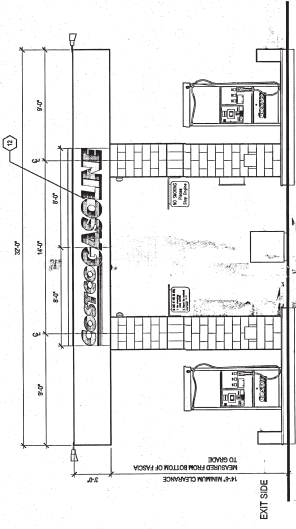
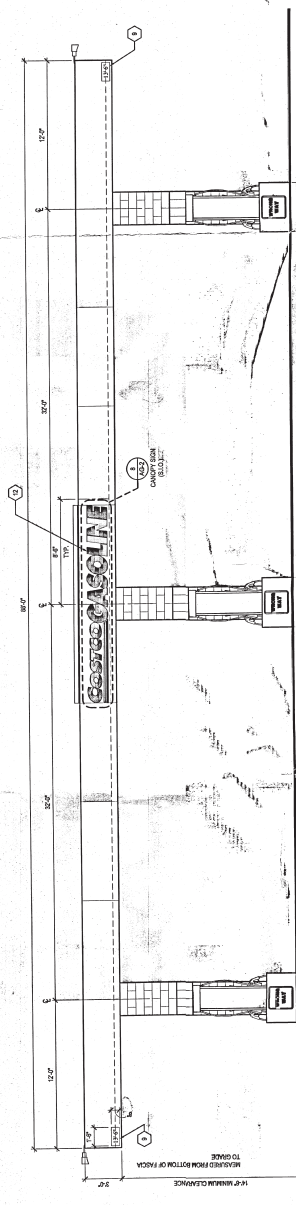


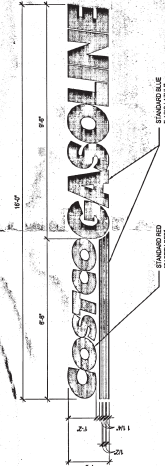
Existing Approved Site Development Plan



CANOPY & DISPENSER ISLANDS ELEVATION
NORTH SIDE
SCALE: 1/8" = 1'-0"



CANOPY & DISPENSER ISLANDS ELEVATION
SOUTH SIDE
SCALE: 1/8" = 1'-0"



CANOPY SIGN (S.I.O.)
SCALE: 1/2" = 1'-0"

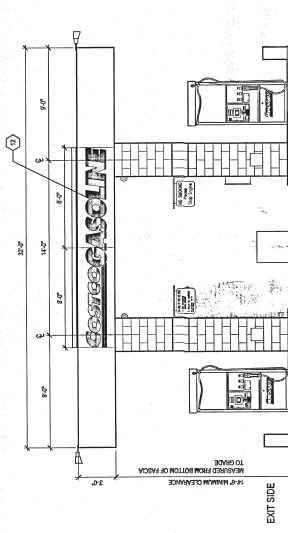
S.I.O. - GASOLINE SIGNAGE

QTY.	DESCRIPTION
4	CLEARANCE SIGN 8" x 18" x 1/2" - 1/4"
4	COSTCO SIGN 18" x 18" x 1/2"

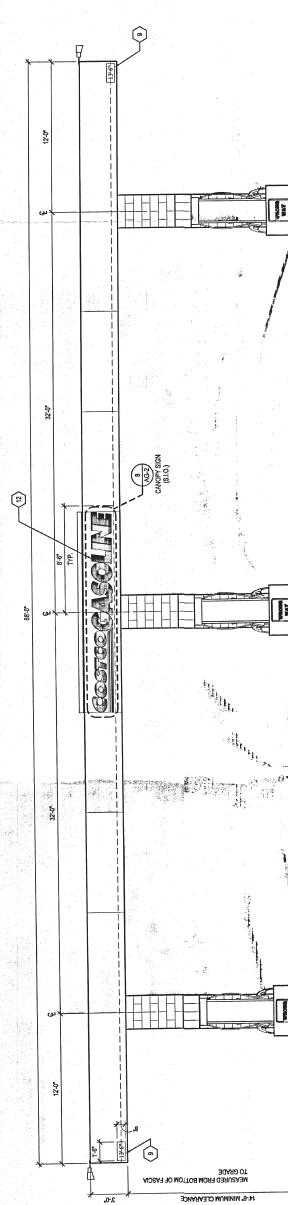
SIGNAGE AREA TABULATION (WALL SIGNS)

QTY.	SIGN	DETAIL	SIZE	AREA (S.F.) EA.	TOTAL S.F.
4	COSTCO WHOLESALE	8-AG-2	8'0" x 18'0"	26.67 S.F.	106.68 S.F.
TOTAL SIGNAGE AREA					924.13 S.F.

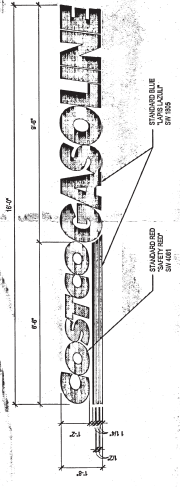
ELEVATION	DETAIL	AREA (S.F.) EA.	TOTAL SIGNAGE S.F.	% OF ELEVATION
NORTHEAST ELEVATION	2-AG-2	96.00 S.F.	26.67 S.F.	27.78%
SOUTHWEST ELEVATION	1-AG-2	284.00 S.F.	26.67 S.F.	10.10%
SOUTHWEST ELEVATION	2-AG-2	96.00 S.F.	26.67 S.F.	27.78%
NORTHWEST ELEVATION	1-AG-2	284.00 S.F.	26.67 S.F.	10.10%



CANOPY & DISPENSER ISLANDS ELEVATION
 SCALE: 1/4" = 1'-0"



CANOPY & DISPENSER ISLANDS ELEVATION
 SCALE: 1/4" = 1'-0"



CANOPY SIGN (S.I.O.)
 SCALE: 1/2" = 1'-0"

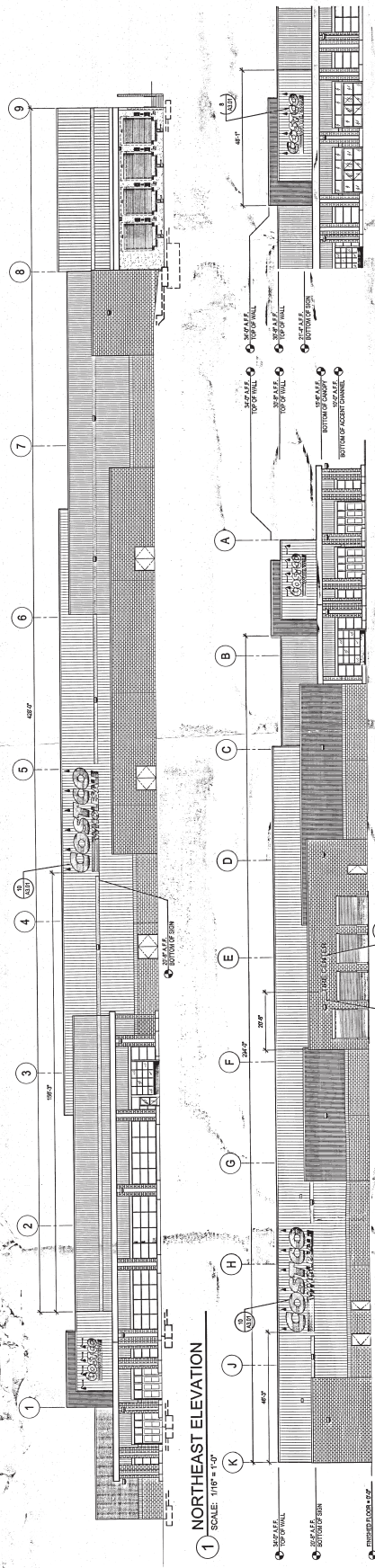
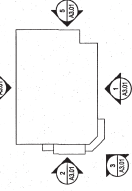
S.I.O. - GASOLINE SIGNAGE	
QTY.	DESCRIPTION
4	CLEARANCE SIGN
4	CANOPY SIGNAGE
MOUNT ON CANOPY FACIA BY CANOPY SUPPLIER. SIGNAGE TO BE MOUNTED TO CANOPY FACIA. SIGNAGE TO BE MOUNTED TO CANOPY FACIA. SIGNAGE TO BE MOUNTED TO CANOPY FACIA. CENTER ON WALL FOUR SIDES OF CANOPY FACIA.	

SIGNAGE AREA TABULATION (WALL SIGNS)				
QTY.	SIGN	SIZE	AREA (S.F.) EA.	TOTAL S.F.
4	COSTCO WHOLESALE	8'-AG-2	26.67 S.F.	106.68 S.F.
TOTAL SIGNAGE AREA				924.13 S.F.

ELEVATION	DETAIL	AREA (S.F.) EA.	TOTAL SIGNAGE S.F.	% OF ELEVATION
NORTHEAST ELEVATION	2-AG-2	96.00 S.F.	26.67 S.F.	27.78%
SOUTHEAST ELEVATION	1-AG-2	264.00 S.F.	26.67 S.F.	10.10%
SOUTHWEST ELEVATION	2-AG-2	96.00 S.F.	26.67 S.F.	27.78%
NORTHWEST ELEVATION	1-AG-2	264.00 S.F.	26.67 S.F.	10.10%

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

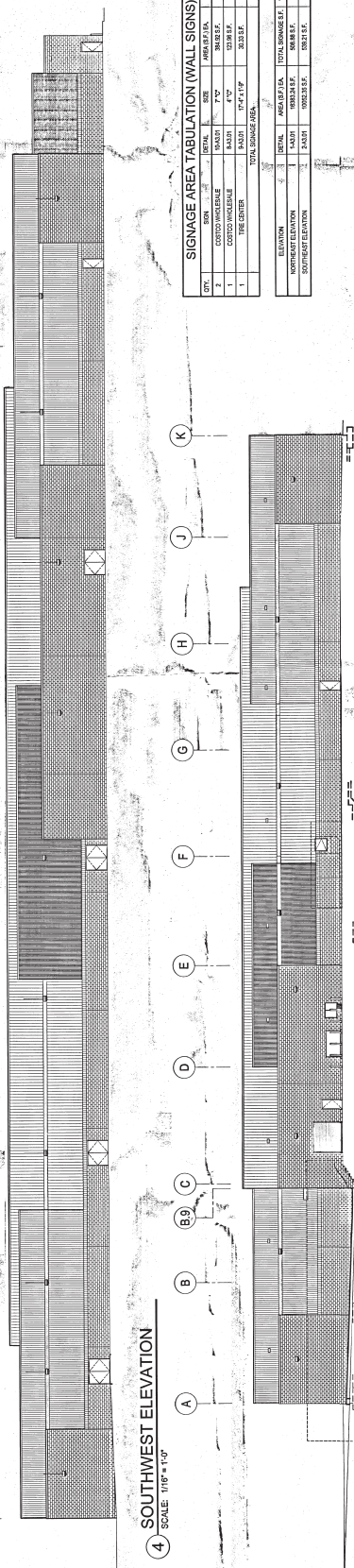
KEY PLAN



1 NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

2 SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

3 ELEVATION
SCALE: 1/8" = 1'-0"

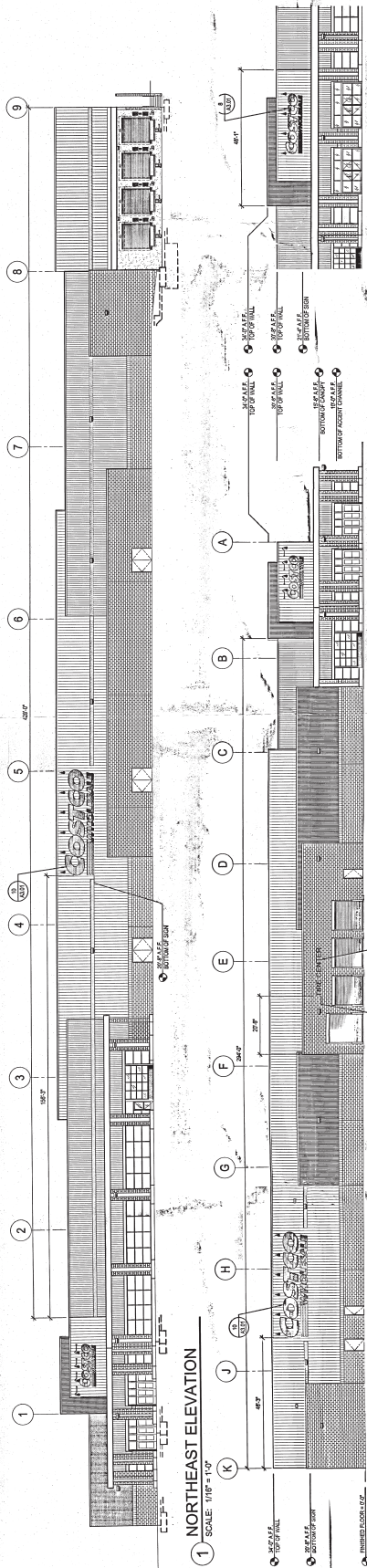


4 SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

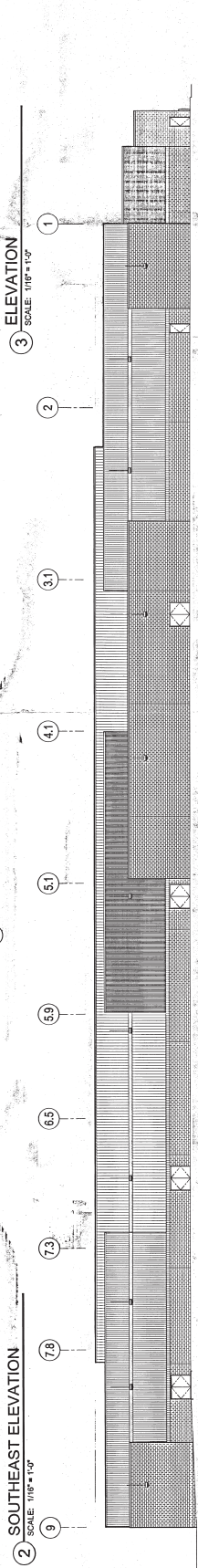
5 NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

SIGNAGE AREA TABULATION (WALL SIGNS)

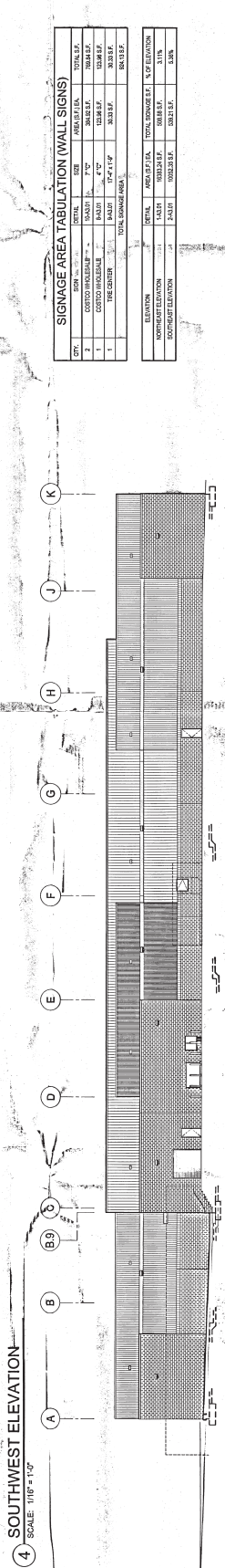
ITEM	SECTION	SIZE	AREA (SQ. FT.)	TOTAL
1	COSTCO WHOLESALE	10'x11'	110	110
2	COSTCO WHOLESALE	7'x7'	49	159
3	COSTCO WHOLESALE	4'x7'	28	187
4	TIRE CENTER	10'x11'	110	297
5	TIRE CENTER	10'x11'	110	407
6	TIRE CENTER	10'x11'	110	517
7	TIRE CENTER	10'x11'	110	627
8	TIRE CENTER	10'x11'	110	737
9	TIRE CENTER	10'x11'	110	847
10	TIRE CENTER	10'x11'	110	957
11	TIRE CENTER	10'x11'	110	1067
12	TIRE CENTER	10'x11'	110	1177
13	TIRE CENTER	10'x11'	110	1287
14	TIRE CENTER	10'x11'	110	1397
15	TIRE CENTER	10'x11'	110	1507
16	TIRE CENTER	10'x11'	110	1617
17	TIRE CENTER	10'x11'	110	1727
18	TIRE CENTER	10'x11'	110	1837
19	TIRE CENTER	10'x11'	110	1947
20	TIRE CENTER	10'x11'	110	2057
21	TIRE CENTER	10'x11'	110	2167
22	TIRE CENTER	10'x11'	110	2277
23	TIRE CENTER	10'x11'	110	2387
24	TIRE CENTER	10'x11'	110	2497
25	TIRE CENTER	10'x11'	110	2607
26	TIRE CENTER	10'x11'	110	2717
27	TIRE CENTER	10'x11'	110	2827
28	TIRE CENTER	10'x11'	110	2937
29	TIRE CENTER	10'x11'	110	3047
30	TIRE CENTER	10'x11'	110	3157
31	TIRE CENTER	10'x11'	110	3267
32	TIRE CENTER	10'x11'	110	3377
33	TIRE CENTER	10'x11'	110	3487
34	TIRE CENTER	10'x11'	110	3597
35	TIRE CENTER	10'x11'	110	3707
36	TIRE CENTER	10'x11'	110	3817
37	TIRE CENTER	10'x11'	110	3927
38	TIRE CENTER	10'x11'	110	4037
39	TIRE CENTER	10'x11'	110	4147
40	TIRE CENTER	10'x11'	110	4257
41	TIRE CENTER	10'x11'	110	4367
42	TIRE CENTER	10'x11'	110	4477
43	TIRE CENTER	10'x11'	110	4587
44	TIRE CENTER	10'x11'	110	4697
45	TIRE CENTER	10'x11'	110	4807
46	TIRE CENTER	10'x11'	110	4917
47	TIRE CENTER	10'x11'	110	5027
48	TIRE CENTER	10'x11'	110	5137
49	TIRE CENTER	10'x11'	110	5247
50	TIRE CENTER	10'x11'	110	5357
51	TIRE CENTER	10'x11'	110	5467
52	TIRE CENTER	10'x11'	110	5577
53	TIRE CENTER	10'x11'	110	5687
54	TIRE CENTER	10'x11'	110	5797
55	TIRE CENTER	10'x11'	110	5907
56	TIRE CENTER	10'x11'	110	6017
57	TIRE CENTER	10'x11'	110	6127
58	TIRE CENTER	10'x11'	110	6237
59	TIRE CENTER	10'x11'	110	6347
60	TIRE CENTER	10'x11'	110	6457
61	TIRE CENTER	10'x11'	110	6567
62	TIRE CENTER	10'x11'	110	6677
63	TIRE CENTER	10'x11'	110	6787
64	TIRE CENTER	10'x11'	110	6897
65	TIRE CENTER	10'x11'	110	7007
66	TIRE CENTER	10'x11'	110	7117
67	TIRE CENTER	10'x11'	110	7227
68	TIRE CENTER	10'x11'	110	7337
69	TIRE CENTER	10'x11'	110	7447
70	TIRE CENTER	10'x11'	110	7557
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72	TIRE CENTER	10'x11'	110	7777
73	TIRE CENTER	10'x11'	110	7887
74	TIRE CENTER	10'x11'	110	7997
75	TIRE CENTER	10'x11'	110	8107
76	TIRE CENTER	10'x11'	110	8217
77	TIRE CENTER	10'x11'	110	8327
78	TIRE CENTER	10'x11'	110	8437
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86	TIRE CENTER	10'x11'	110	9317
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88	TIRE CENTER	10'x11'	110	9537
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90	TIRE CENTER	10'x11'	110	9757
91	TIRE CENTER	10'x11'	110	9867
92	TIRE CENTER	10'x11'	110	9977
93	TIRE CENTER	10'x11'	110	10087
94	TIRE CENTER	10'x11'	110	10197
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107	TIRE CENTER	10'x11'	110	11627
108	TIRE CENTER	10'x11'	110	11737
109	TIRE CENTER	10'x11'	110	11847
110	TIRE CENTER	10'x11'	110	11957
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150	TIRE CENTER	10'x11'	110	16357
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187	TIRE CENTER	10'x11'	110	20427
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189	TIRE CENTER	10'x11'	110	20647
190	TIRE CENTER	10'x11'	110	20757
191	TIRE CENTER	10'x11'	110	20867
192	TIRE CENTER	10'x11'	110	20977
193	TIRE CENTER	10'x11'	110	21087
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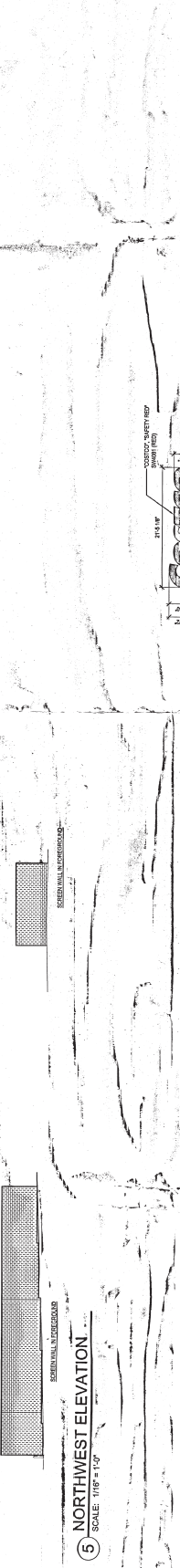
1 NORTHEAST ELEVATION
 SCALE: 1/16" = 1'-0"



3 ELEVATION
 SCALE: 1/16" = 1'-0"



4 SOUTHWEST ELEVATION
 SCALE: 1/16" = 1'-0"



5 NORTHWEST ELEVATION
 SCALE: 1/16" = 1'-0"

SIGNAGE AREA TABULATION (WALL SIGNS)

QTY.	SYM.	DETAIL	SIZE	AREA (F.T.A.)	TOTAL SF.
2	COSTCO WHOLESALE	14x31	14'0" x 31'0"	434.00	868.00
1	COSTCO WHOLESALE	14x31	14'0" x 31'0"	434.00	434.00
1	KEY CENTER	14x31	14'0" x 31'0"	434.00	434.00
1	ADDRESS	14x31	14'0" x 31'0"	434.00	434.00
1	LOCATION SIGNAGE	14x31	14'0" x 31'0"	434.00	434.00
TOTAL SIGNAGE AREA					2170.00

ELEVATION	AREA (F.T.A.)	TOTAL SIGNAGE SF.	% OF ELEVATION
NORTHEAST ELEVATION	1434.00	868.00 SF.	60.59%
SOUTHWEST ELEVATION	1434.00	434.00 SF.	30.29%
TOTAL	2868.00	1302.00 SF.	45.43%

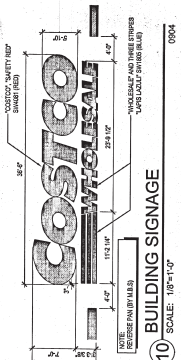
KEY PLAN



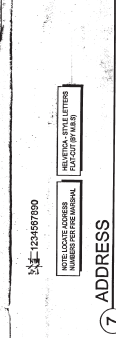
DATE: _____
 DESCRIPTION: _____
 PROJECT: _____
 SHEET: _____



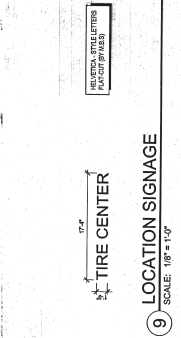
8 CANOPY SIGNAGE
 SCALE: 1/8" = 1'-0"



10 BUILDING SIGNAGE
 SCALE: 1/8" = 1'-0"



7 ADDRESS
 SCALE: 1/8" = 1'-0"

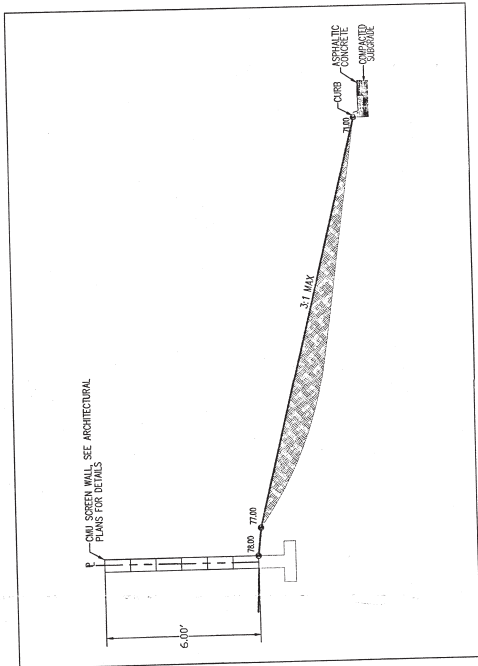
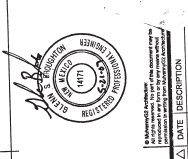


9 LOCATION SIGNAGE
 SCALE: 1/8" = 1'-0"

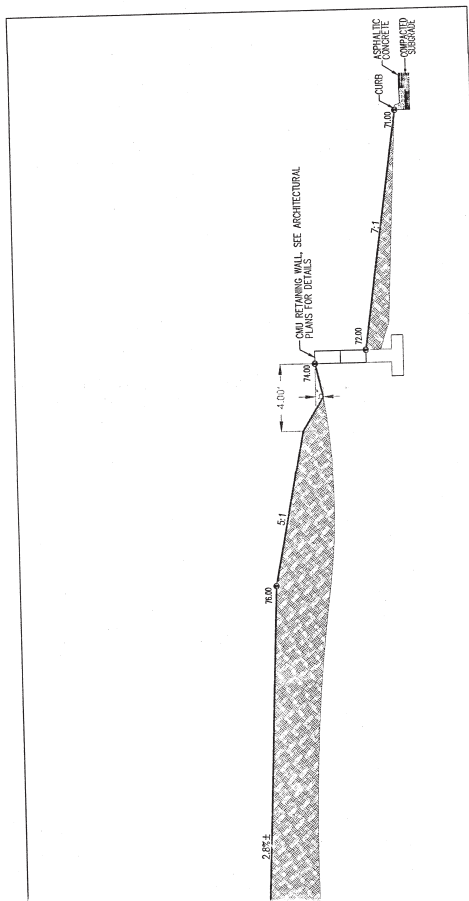


**BID
ISSUE**

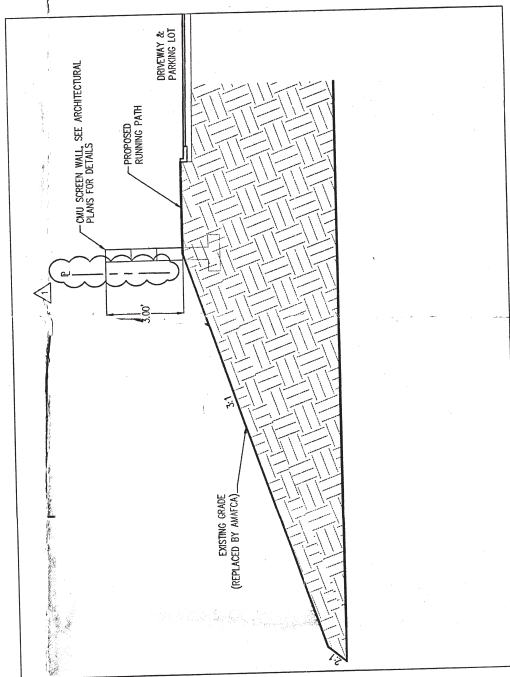
* Costco - Retaining Wall
9455 Coors Blvd Bypass NW



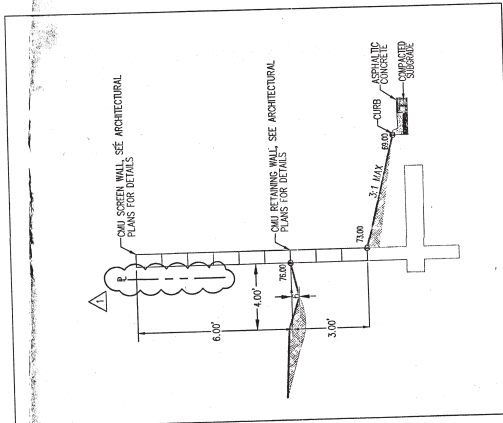
② RETAINING WALL GRADING SECTION
N15



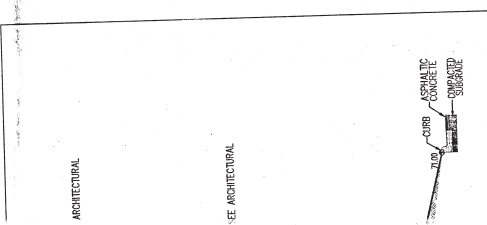
① RETAINING WALL GRADING SECTION
N15



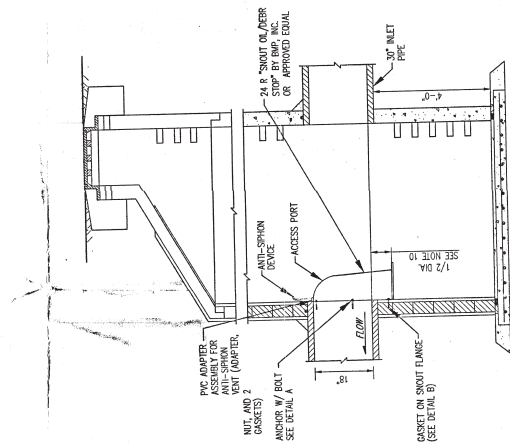
⑤ RETAINING WALL GRADING SECTION
N15



④ RETAINING WALL GRADING SECTION
N15



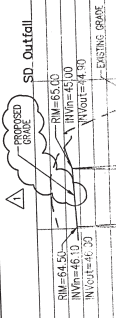
③ GRADING SECTION

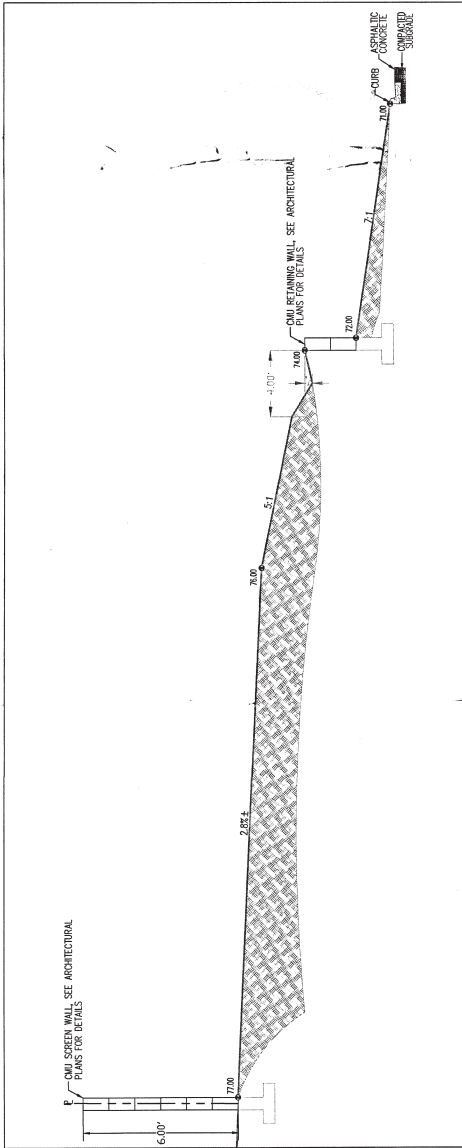
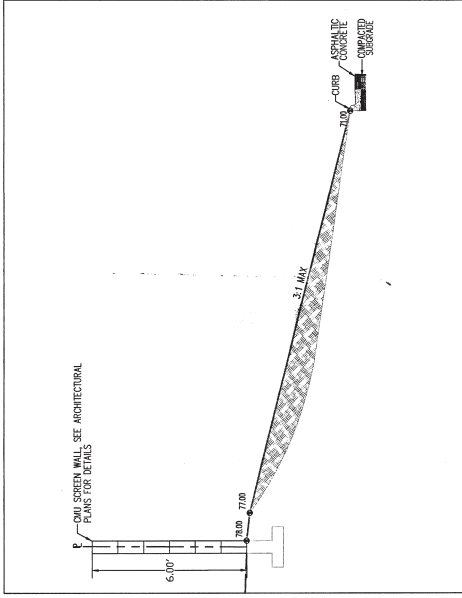


WATER QUALITY MANHOLE DETAIL
MODIFIED SNOOT & DA MANHOLE
N15

- NOTES FOR MODIFIED SNOOT & DA TYPE MANHOLE:
1. ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC. OR EQUIVALENT.
 2. ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 1/2\"/>

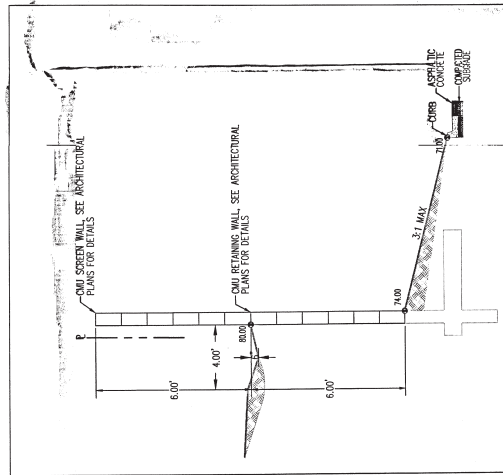
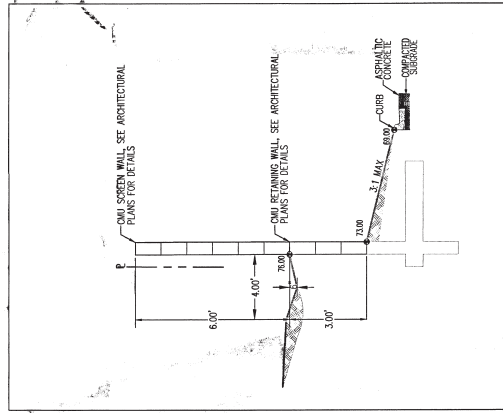
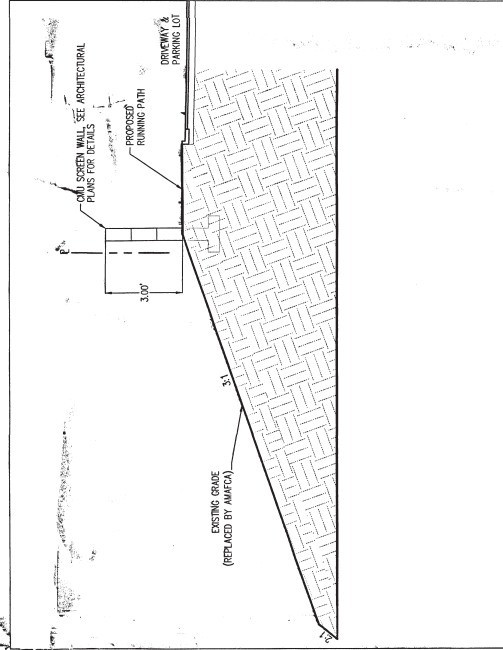
Station	Grade	Notes
5070	5070	PROPOSED GRADE
5060	5060	EXISTING GRADE





① RETAINING WALL GRADING SECTION
NTS

② RETAINING WALL GRADING SECTION
NTS



③ RETAINING WALL GRADING SECTION
NTS

④ RETAINING WALL GRADING SECTION
NTS

⑤ RETAINING WALL GRADING SECTION
NTS

NO.	DATE	DESCRIPTION
1	11/07	ADMINISTRATIVE AMENDMENT

Bohannon & Huston
ENGINEERS • PARTIAL DATA • ADVANCED TECHNOLOGIES
Company 1: 7500 Jefferson St. NE, Albuquerque, NM 87109-4335



SVC OF COORS BLVD BYPASS
AND EAGLE RANCH RD

**COSTCO
WHOLESALE
CORPORATION**

989 LAKE DRIVE
ISSAQUAH, WA 98027
WWW.COSTCO.COM



1110 117TH AVE. NE | SUITE 000
BELLEVUE, WA 98004
1.425.483.2000 | 1.425.483.2000

McHenry Group

**DRB
SUBMITTAL**

□ SANITARY SEWER KEYED NOTES:

1. RELOCATE EXISTING 6" DIA. 12' S/S OR TYPE 1" S/S MANHOLE TO 10' FROM PROPERTY LINE (RE-LOCATED)
2. RELOCATE EXISTING SANITARY SEWER TO 10' FROM PROPERTY LINE TO MATCH EXISTING 6" DIA. 12' S/S MANHOLE
3. INSTALL 4" DIA. 12' S/S OR TYPE 1" S/S MANHOLE TO 10' FROM PROPERTY LINE
4. INSTALL SAS CLEAN OUT
5. CONNECT TO EXISTING MANHOLE
6. INSTALL 2.5" BEND
7. EXISTING 6" S/S LINE TO BE ABANDONED
8. COST 6" S/S TO REMAIN
9. RELOCATE EXISTING MANHOLE & RELOCATE 6" S/S TO 10' FROM PROPERTY LINE
10. INSTALL 6" DIA. 12' S/S OR TYPE 1" S/S MANHOLE TO 10' FROM PROPERTY LINE
11. INSTALL SAS CLEAN OUT @ TRASH COMPACTOR CELL
12. INSTALL SAS PRESSURE PIPE OVER WATER LINE

○ WATERLINE KEYED NOTES:

1. INSTALL 1" DOMESTIC WATER LINE FROM METERS TO WITHIN 5' OF BUILDING
2. INSTALL 2" DOMESTIC WATER METER & BOX
3. INSTALL 2" LINE TO MAIN, CONNECT W/ 7" TAPPING SOCLE
4. INSTALL 1.5" FIRE HYDRANT COMPLETE PER COA STD Dwg 2540 & 1-1/4" GATE VALVE W/ BOX & LID
5. INSTALL 2.5" BEND W/ RESTRAINED JOINTS
6. INSTALL 90° BEND W/ RESTRAINED JOINTS
7. INSTALL 10' S/S TEE W/ RESTRAINED JOINTS
8. INSTALL 10' S/S REDUCER W/ RESTRAINED JOINTS
9. REMOVE & RELOCATE EXISTING FIRE HYDRANT (APPROX. 7' NORTH OF CURRENT LOCATION) TO MATCH EXISTING WATER LINE AND INSTALL TEE & VALVE FOR HYDRANT
10. POST INDICATOR VALVE
11. INSTALL 1" FIRE SPRINKLER SERVICE LINE TO WITHIN 5' OF BUILDING
12. INSTALL (1) 1/2" DOMESTIC WATER NEEDLE
13. INSTALL 8" S/S REDUCER W/ RESTRAINED JOINTS
14. INSTALL 8" S/S TEE W/ RESTRAINED JOINTS
15. INSTALL 8" S/S REDUCER W/ RESTRAINED JOINTS
16. INSTALL 8" S/S TEE W/ RESTRAINED JOINTS
17. INSTALL 8" S/S TEE W/ RESTRAINED JOINTS
18. TEE TO EXISTING WATER LINE
19. INSTALL 6" S/S BEND W/ RESTRAINED JOINTS (10' & 22.5" FITTINGS)
20. 2-1/4" VERTICAL BENDS TO SHIFT WATER LINE IN ELEVATION
21. INSTALL 8" GATE VALVE W/ BOX AND LID PER COA
22. INSTALL 8" GATE VALVE W/ BOX AND LID PER COA
23. INSTALL 1.5" S/S BEND W/ RESTRAINED JOINTS (22.5" FITTING AND 11.25" FITTING)
24. INSTALL 1" FIRE HYDRANT WATER SERVICE W/ METER, CONNECT TO MAIN W/ 1" TAPPING SOCLE
25. INSTALL AIR RELEASE VALVE

◇ UTILITY RELOCATION KEYED NOTES:

1. RELOCATE EXISTING POWER POLE & 60Y WIRE
2. RELOCATE EXISTING UNDERGROUND ELECTRIC LINE
3. RELOCATED EXISTING GAS LINE

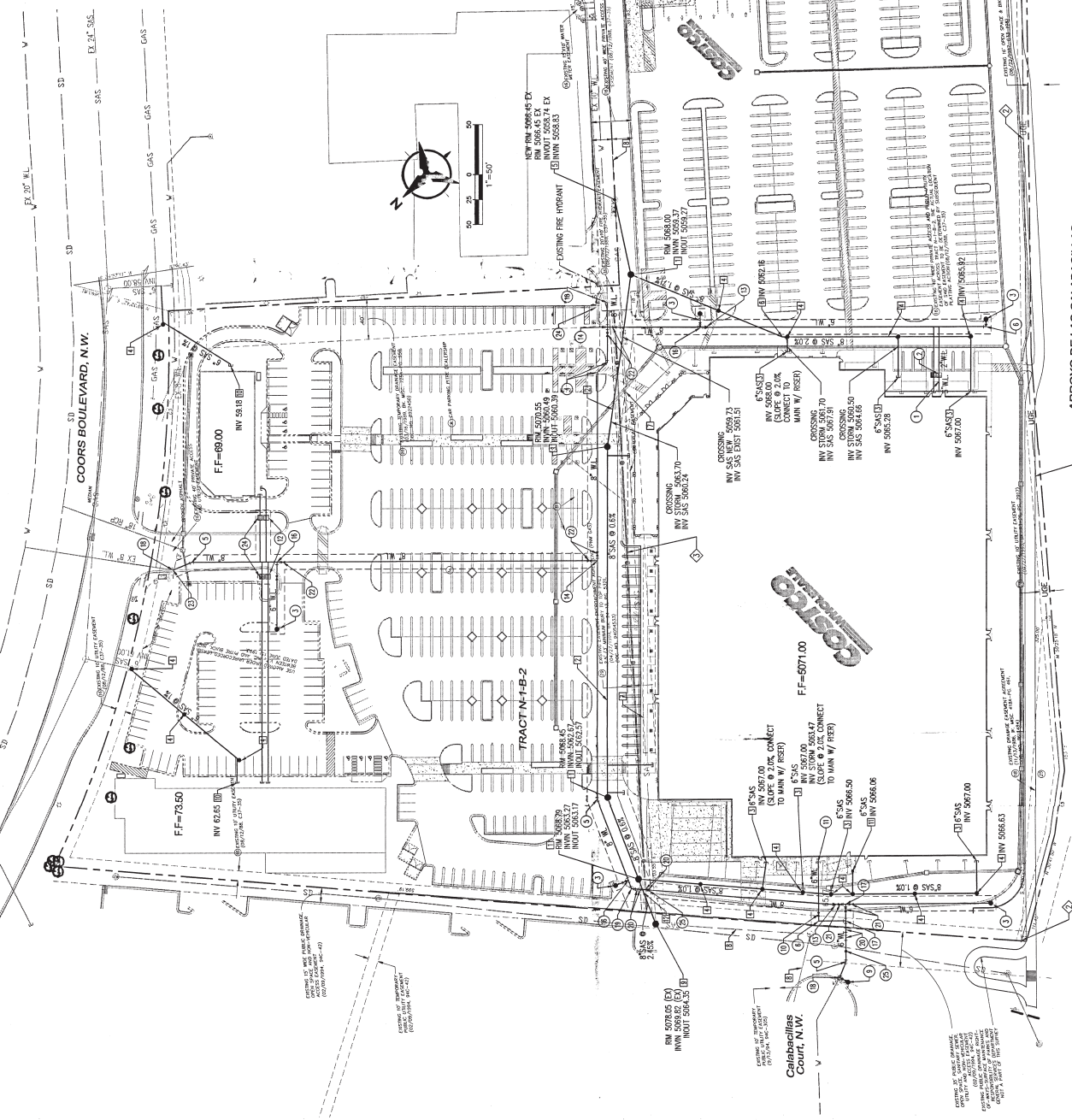
DATE	DESCRIPTION
11/07	ADMINISTRATIVE AMENDMENT

NO.	DATE	DESCRIPTION
10-074741	10/20/2007	PRELIMINARY DESIGN
10-074742	11/07/2007	FINAL DESIGN
10-074743	11/07/2007	CONSTRUCTION PERMITS

C-3.0
UTILITY PLAN

LEGEND:

PROPERTY LINE	---
EXISTING EASEMENT	- - - -
EXISTING SANITARY SEWER	---
EXISTING WATER LINE	---
EXISTING WATER METER	□
EXISTING VALVE	○
EXISTING FIRE HYDRANTS	○
EXISTING SANITARY SEWER MANHOLE	○
EXISTING STORM DRAIN MANHOLE	○
EXISTING INLET	○
PROPOSED EASEMENT	---
PROPOSED SANITARY SEWER MANHOLE	●
PROPOSED WATER LINE	---
PROPOSED VALVE	○
PROPOSED FIRE LINE	---
PROPOSED HYDRANT	○
PROPOSED CAP	○
PROPOSED WATER METER	□



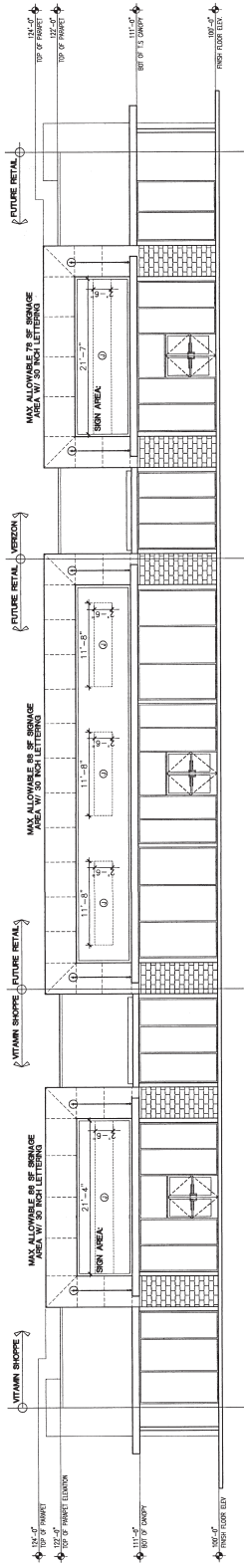
Bohannon & Huston
 Consulting Engineers & Surveyors
 1700 Johnson St. NE, Albuquerque, NM 87104-4535
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

UTILITY PLAN
SCALE: 1"=50'

EAGLE RANCH SHOPS SIGN PLAN

NOTE: PERFORATED METAL SIGN AREAS HAVE BEEN REMOVED FOR CLARITY

Michael
From Steve Dwyer (George Evans)

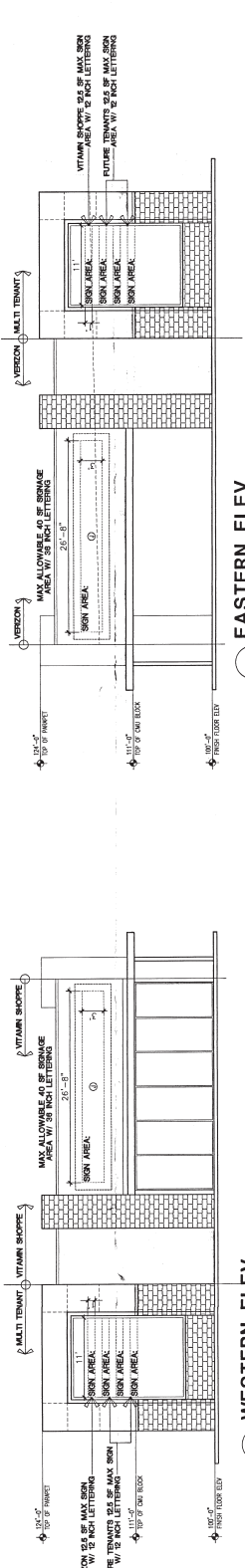


1 SOUTHERN ELEV.

Scale: 1/8"=1'-1"

NOTE: ALL BUILDING MOUNTED SIGNAGE SHALL BE SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.

1. PER LOCATION W/ CORNER AND SPACE
2. FULL-SIGNED STORES AND TENANT SPACE

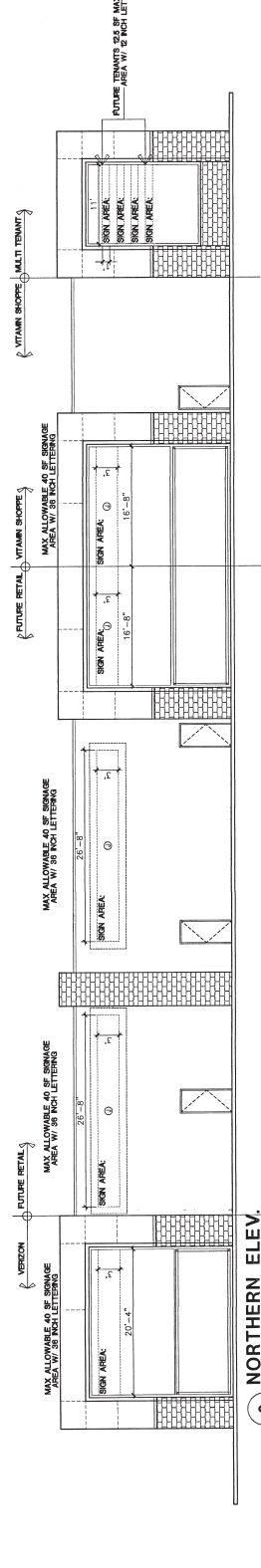


4 EASTERN ELEV.

Scale: 1/8"=1'-1"

NOTE: ALL BUILDING MOUNTED SIGNAGE SHALL BE SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.

1. PER LOCATION W/ CORNER AND SPACE
2. FULL-SIGNED STORES AND TENANT SPACE



3 NORTHERN ELEV.

Scale: 1/8"=1'-1"

NOTE: ALL BUILDING MOUNTED SIGNAGE SHALL BE SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.

1. PER LOCATION W/ CORNER AND SPACE
2. FULL-SIGNED STORES AND TENANT SPACE

REV	DATE	BY



GEORGE RANHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO NE SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110
FAX (505) 837-9877

PROJECT TITLE	SHOPS-1-COSTCO
DATE	12/19/07
SCALE	1/8"=1'-1"
SHEET-	A4.0
SHEET TITLE	BUILDING SIGN PLAN
PROJECT MANAGER	STEPHEN DUBAY AIA
DRAWN BY	5



ALBUQUERQUE

SWC OF COORS BLVD B AND EAGLE RANCH, R.

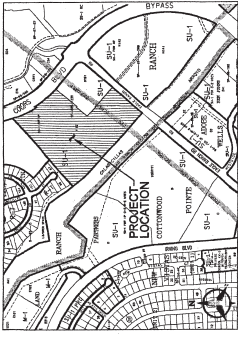
COSTCO WHOLESALE CORPORATION
ISSAQUAH, WA 98047
T: 425.318.8100
www.costco.com



1110 117TH AVE NE | SUITE 500
BELLEVUE, WA 98004
1 425 483 3000 | 425 483 2002
Mullmaninc.com

DRB SUBMITTAL

99.55 Coors Blvd
By Pass N.W.



VICINITY MAP
20% MAX SCALE 1/4" = 1'-0"

SITE DATA TABLE	
LEGAL DESCRIPTION	TRACT N-1-B-2 COSTCO 141727 AC
TOTAL PARCEL	141727 AC
PROPOSED ZONING	SP-1 PER C-2 PERMISSIVE USES TO INCLUDE A COSTCO RETAIL WAREHOUSE
BUILDING SIZE	160,000 SF
FAR	26
PROPOSED USE	RETAIL WAREHOUSE
TOTAL PARKING PROVIDED	628 SPACES (131 SMALL SPACES (11 SMALL SPACES PER 100 SF), 100 SPACES (100 SPACES PER 100 SF), 497 SPACES (497 SPACES PER 100 SF))
TOTAL PARKING REQUIRED	15 H.C. SPACES (INCLUDING 2 VAN ACCESSIBLE), 14 H.C. SPACES (INCLUDING 2 VAN ACCESSIBLE), 2 BICYCLE SPACES
BIKE SPACES PROVIDED	45 BICYCLE SPACES
BIKE SPACES REQUIRED	2 BICYCLE SPACES
SHOWER SPACES PROVIDED	NOT REQUIRED
SHOWER SPACES REQUIRED	NOT REQUIRED
MAX BUILDING FT	17'
PAO (CISIPS-1)	1,985 AC
PAO (CISIPS-2)	3,015 AC
RETAIL SHOWS	23,000 SF
RETAIL SHOWS/70 DRIVE THRU	23,000 SF
RETAIL SHOWS/70 DRIVE THRU	23,000 SF
RETAIL SHOWS/70 DRIVE THRU	23,000 SF
RETAIL SHOWS/70 DRIVE THRU	23,000 SF

1 SITE DATA TABLE

SCENARIOS N.T.S.
COSTCO DETAILED PARKING CALC
75 CARS
C-15,000 SF RETAIL AREA = 333 CARS
C-20,000 SF RETAIL AREA = 440 CARS
C-30,000 SF RETAIL AREA = 660 CARS
TOTAL REQUIRED CARS (COSTCO PARKING) = 998

NOT A PART
SEVEN-BAR RANCH
(10/9/12/88, C87-35)



○ SITE PLAN KEYED NOTES:

- CONCRETE CURB & DUTTER
- CONCRETE REAR CURB
- BASED CONCRETE SIDEWALK
- FLUSH CONCRETE SIDEWALK
- BASED PEDESTRIAN CROSSWALK
- CURB RAMP
- BIKE RACK LOCATION
- 10' WIDE PEDESTRIAN STRIP
- 150 SF PAVEN SON
- 50 SF MONUMENT SIGN
- 4' HIGH OAK DOCK WALL
- 7x7 LANDSCAPE ISLAND OR 37x4' LANDSCAPE ISLAND
- 10' WIDE CONCRETE STEPS WITH HANDRAIL
- OUTDOOR DINING AREA
- LIGHT POLE LOCATION
- EXISTING CONCRETE SIDEWALK TO REMAIN
- WATER CYCLE PARKING SPACE
- PAV. FOR BIKING SPACE
- 5' HIGH SCREEN WALL
- 6' HIGH SCREEN WALL

22. TRAILS AT SEVEN-BAR SOUTH (10/13/84, SAC-305)

NOT A PART

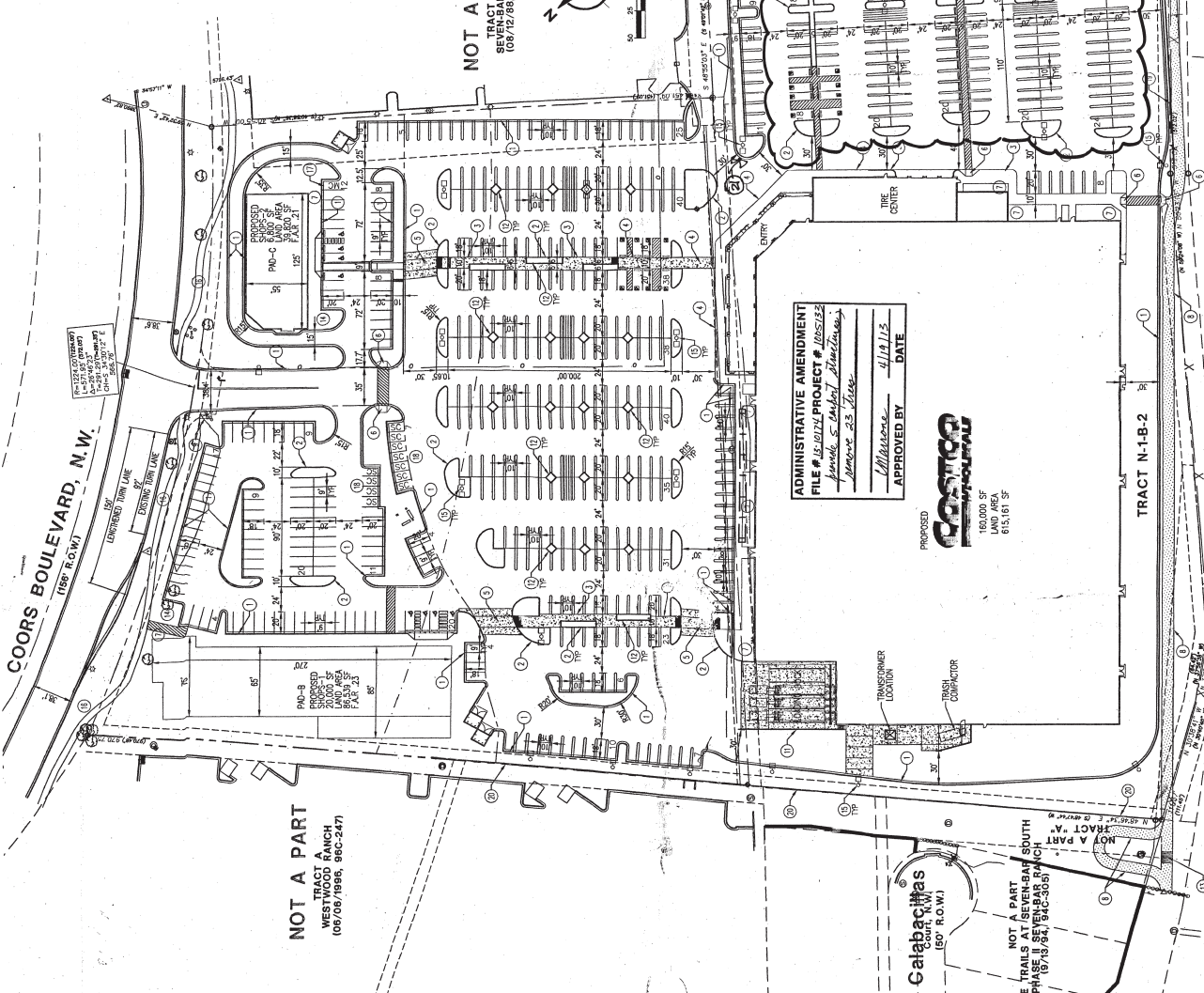
TRACT N-1-B-1 SEVEN-BAR RANCH (11/07/86, C40-34)

23. SOLAR STRUCTURES (11/07/86, C40-34)

24. SOLAR STRUCTURES (11/07/86, C40-34)

25. SOLAR STRUCTURES (11/07/86, C40-34)

26. SOLAR STRUCTURES (11/07/86, C40-34)



ADMINISTRATIVE AMENDMENT
FILE # 14-11-11 PROJECT # 14-11-11
APPROVED BY: *[Signature]* DATE: 4/11/15



PROPOSED
160,000 SF
LAND AREA
815,161 SF

TRACT N-1-B-2

SITE PLAN
SCALE 1/4" = 1'-0"

ARROYO DE LAS CALABACILLAS
SUMMARY PLAT SEVEN-BAR RANCH
(FOR ANNEXATION)
(16/8/81, C18-58)

Bohman & Pustion
Contract # 1700 Jefferson St. NE Albuquerque, NM 87109-4555
ENGINEERING • PARTIAL DATA • ADVANCED TECHNOLOGIES

C-1.0

SITE PLAN FOR BUILDING PERM

FILE # 14-11-11 PROJECT # 14-11-11
APPROVED BY: *[Signature]* DATE: 4/11/15

PROJECT LOCATION: TRANSDUCER LOCATION, TRASH COMPACTOR

NOT A PART
THE TRAILS AT SEVEN-BAR SOUTH (10/13/84, SAC-305)

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TRACT N-1-B-1 SEVEN-BAR RANCH (11/07/86, C40-34)

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TRACT N-1-B-2 SEVEN-BAR RANCH (11/07/86, C40-34)

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TRACT N-1-B-3 SEVEN-BAR RANCH (11/07/86, C40-34)

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TRACT N-1-B-4 SEVEN-BAR RANCH (11/07/86, C40-34)

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TRACT N-1-B-5 SEVEN-BAR RANCH (11/07/86, C40-34)

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TRACT N-1-B-6 SEVEN-BAR RANCH (11/07/86, C40-34)

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TRACT N-1-B-7 SEVEN-BAR RANCH (11/07/86, C40-34)

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TRACT N-1-B-8 SEVEN-BAR RANCH (11/07/86, C40-34)

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TRACT N-1-B-9 SEVEN-BAR RANCH (11/07/86, C40-34)

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TRACT N-1-B-107 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-108 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-109 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-110 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-111 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-112 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-113 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-114 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-115 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-116 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-117 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-118 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-119 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-120 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-121 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-122 SEVEN-BAR RANCH (11/07/86, C40-34)

NOT A PART
TRACT N-1-B-123 SEVEN-BAR RANCH (11/07/86, C40-34)



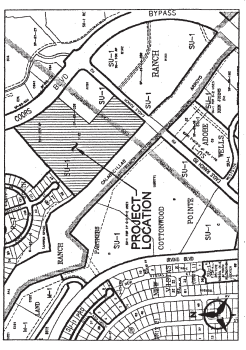
SW OF COORS BLVD BYPASS AND EAGLE RANCH RD

COSTCO WHOLESALE CORPORATION
 1890 LAKE DRIVE
 ISSAQUAH WA 98027
 T: 425.313.8100
 www.costco.com



1115 112TH AVE NE | SUITE 600
 BELLEVUE, WA 98004
 1.425.483.2000 | 1.425.483.2002
 Mckinnery@cw.com

DRB SUBMITTAL



SITE DATA TABLE

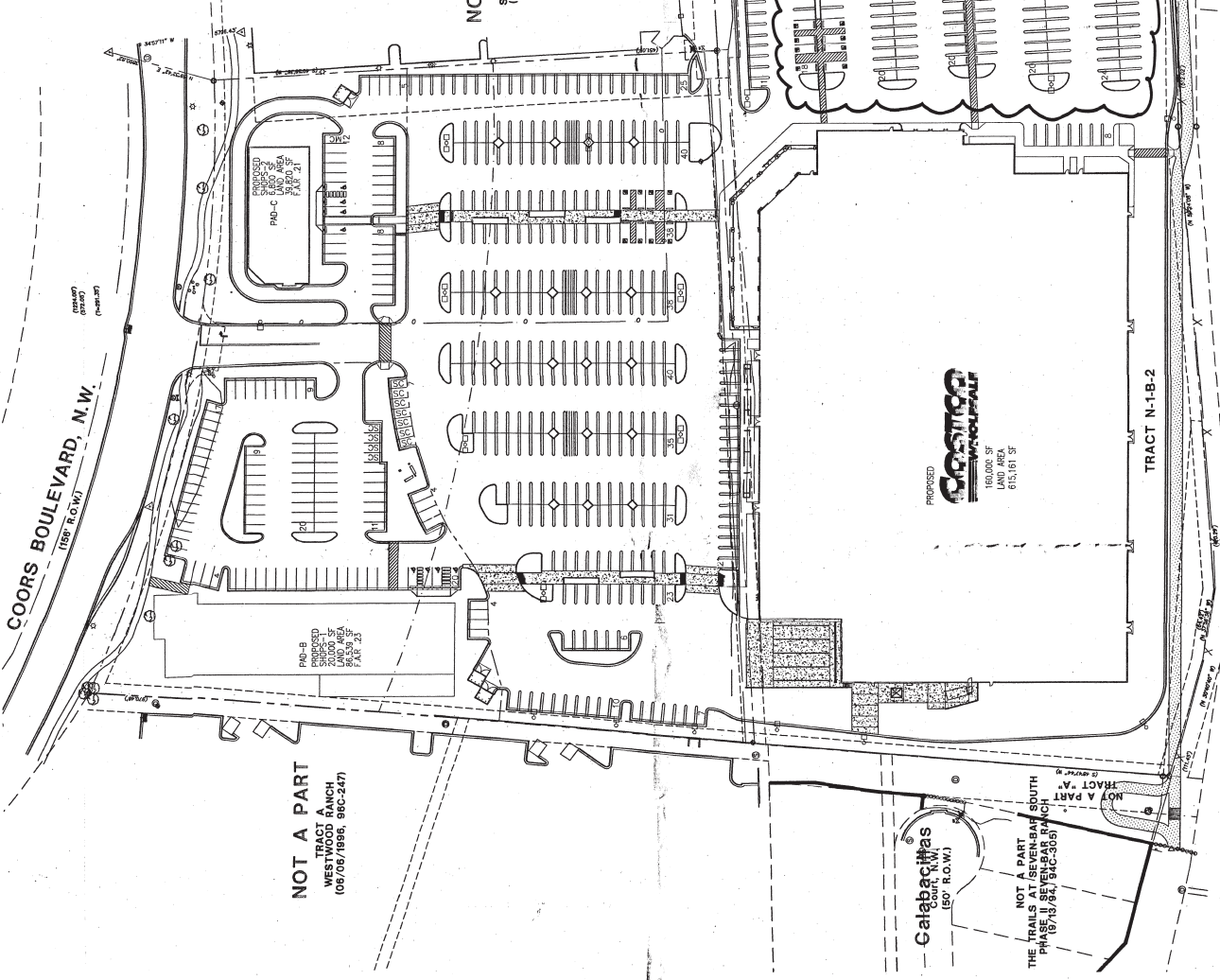
LEGAL DESCRIPTION	TRACT N-1-B-2	TRACT N-1-B-2
TOTAL AREAS	227.45	PAD (SHOPS-1)
EXISTING ZONING	SU-1 FOR C-7 PERMISSIVE USES TO INCLUDE A COSTCO RETAIL WAREHOUSE	1,980.00 AC
PROPOSED ZONING	SU-1 FOR C-7 PERMISSIVE USES TO INCLUDE A COSTCO RETAIL WAREHOUSE	2,019 AC
BUILDING SIZE	160,000 SF	6,800 SF
FAR	.26	.21
PROPOSED USE	RETAIL WAREHOUSE	RETAIL SHOPS
TOTAL PARKING REQUIRED (EMPLOYEES)	124 SPACES (11 SMALL CARS)	105 SPACES (11 SMALL CARS)
TOTAL PARKING PROVIDED	18 H.C. (INCLUDING 2 VAN ACCESS)	135 SPACES (11 WOOD CROCK)
HC REQUIRED	18 H.C. (INCLUDING 2 VAN ACCESS)	4 H.C. (INCLUDING 2 VAN ACCESSIBLE)
BIKE SPACES PROVIDED	45 BIKE SPACES	5 BIKE SPACES
SHOWER SPACES PROVIDED	NOT REQUIRED	NOT REQUIRED
WAX BUILDING HT	14'	17'

1 SITE DATA TABLE

Scale: N.T.S.
 COSTCO DENIED PARKING CMC
 0-15,000 SF RETAIL AREA = 75 CARS
 15,000-30,000 SF RETAIL AREA = 150 CARS
 30,000-60,000 SF RETAIL AREA = 300 CARS
 60,000-100,000 SF RETAIL AREA = 433 CARS
 TOTAL REQUIRED CARS(COSTCO PARCEL) = 588



SITE PLAN REVISION NOTES:
 1. FIVE CARPORT GARAGE STRUCTURES PROPOSED CHANGE APRIL 2013



NOT A PART
 WESTWOOD RANCH
 TRACT A
 08/06/1996, 96C-247

Calabacillas Court, N.W.
 (180' R.O.W.)

NOT A PART
 THE TRAILS AT SEVENBAR SOUTH
 PHASE II SEVENBAR RANCH
 18/10/94, 94C-305

NOT A PART
 TRACT N-1-A1
 SEVENBAR RANCH
 11/10/78, C40-34

ARROYO DE LAS CALABACILLAS
 SUMMARY PLAT SEVENBAR RANCH
 (FOR ANNEXATION)
 (6/8/81, C18-98)

Botanman & Huston
 ENGINEERING • PARTIAL DATA • ADVANCED TECHNOLOGIES
 1700 Johnson St. NE, Auburn, WA 98002-4355
 Phone: 253-833-8888

SITE LANDSCAPE SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE AT TIME OF PLANTING
		FRAXINUS VELUTINA	2" CAL., 10'-12" HT, FULL, WELL BRANCHED
		ARIZONA ASH	2" CAL., 10'-12" HT, FULL, WELL BRANCHED
		QUERCUS MACROCARPA	2" CAL., 10'-12" HT, FULL, WELL BRANCHED
		BURR OAK	2" CAL., 10'-12" HT, FULL, WELL BRANCHED
		CHILOPSIS X CATALPA	5 GAL., FULL, WELL BRANCHED
		CHILOPSIS LINEARIS	2" CAL., 10'-12" HT, FULL, WELL BRANCHED
		DESERT WILLOW	2" CAL., 10'-12" HT, FULL, WELL BRANCHED
		GYMNOCALDIUS DIOICA 'ESPRESSO'	2" CAL., 10'-12" HT, FULL, WELL BRANCHED
		KENTUCKY COFFEE TREE	2" CAL., 10'-12" HT, FULL, WELL BRANCHED
		CONIFEROUS TREES:	
		PINUS NIGRA	6-8" HT, FULL & BUSHY TO BASE
		AUSTRIAN PINE	6-8" HT, FULL & BUSHY TO BASE
		LARGE SHRUBS:	
		HEPESALDE PARVIFLORA	5 GAL., FULL FOLIAGE
		RED YUCCA	5 GAL., FULL FOLIAGE
		PEROVSKIA ATRIPPLICIFOLIA	5 GAL., FULL FOLIAGE
		RUSSIAN SAGE	5 GAL., FULL FOLIAGE
		FALLUGIA PARADOXA	5 GAL., FULL FOLIAGE
		APACHE PLUME	5 GAL., FULL FOLIAGE
		CYTISUS SCOPARIUS OR GENISTA HISPANICA	5 GAL., FULL FOLIAGE
		LAVAS ON SCOTCH BROOM	5 GAL., FULL FOLIAGE
		SMALL & MEDIUM SHRUBS:	
		COTONEASTER GLAUCOPHYLLUS	5 GAL. MIN., FULL FOLIAGE
		GRAY LEAF COTONEASTER	5 GAL. MIN., FULL FOLIAGE
		MISCANTHUS SINENSIS	5 GAL. MIN., FULL FOLIAGE
		MAIDENGRASS	5 GAL. MIN., FULL FOLIAGE
		MUHLENBERGIA CAPILLARIS	5 GAL. MIN., FULL FOLIAGE
		REGAL MIST	5 GAL. MIN., FULL FOLIAGE
		CARYOPTERIS CLANDONENSIS	5 GAL. MIN., FULL FOLIAGE
		BLUE MIST	5 GAL. MIN., FULL FOLIAGE
		RAPHIDOLEPIS INDICA	5 GAL. MIN., FULL FOLIAGE
		INDIAN HANTYDORY	5 GAL. MIN., FULL FOLIAGE
		TURFELODIA	5 GAL. MIN., FULL FOLIAGE
		CHRYSOETHAMNUS HAUSEOSUS	5 GAL. MIN., FULL FOLIAGE
		CHAMISA	5 GAL. MIN., FULL FOLIAGE
		LAVANDULA ANGUSTIFOLIA	5 GAL. MIN., FULL FOLIAGE
		LAVENDER	5 GAL. MIN., FULL FOLIAGE
		PERENNIALS / GROUND COVER / VINES:	
		LONICERA JAPONICA 'HALIANN'	1 GAL., UNSTAKED
		HONEYSUCKLE	1 GAL., UNSTAKED
		PIRENEA PENSILVANA	1 GAL., UNSTAKED
		PIRENEA PENSTEMON	1 GAL., UNSTAKED
		WILD FLOWER	1 GAL., UNSTAKED
		LONICERA SEMPERVIRENS	1 GAL., FULL & VIGOROUS
		CORAL HONEYSUCKLE	1 GAL., FULL & VIGOROUS
		SOD LAWN	
		SANTA FE BROWN GRAVEL WITH FILTER FABRIC	
		BENCH	
		TRASH RECEPTACLE	

LANDSCAPE CALCULATIONS

NORTH EASEMENT AND PARCELS 1 & 2 HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS.

SITE
 TOTAL COSTCO SITE AREA: 617,769 S.F.
 TOTAL LOT AREA: 617,769 S.F.
 BUILDING AREA: 154,539 S.F.
 PROVIDED NET AREA: 463,230 S.F.
 TOTAL LANDSCAPE REQUIRED: 89,485 S.F.
 (15% OF NET LOT AREA)

PARKING LOT
 TOTAL LANDSCAPE PROVIDED: 61,757 S.F. (13.3%)
 REQUIRED PARKING STALLS: 62
 PROVIDED PARKING LOT TREES: 105
 REQUIRED DECIDUOUS TREES (15%): 16
 PROVIDED DECIDUOUS TREES: 102 (88%)

EASEMENT LANDSCAPE SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE AT TIME OF PLANTING
		GYMNOCALDIUS DIOICA 'ESPRESSO'	2" CAL., 10'-12" HT, FULL, WELL BRANCHED
		KENTUCKY COFFEE TREE	2" CAL., 10'-12" HT, FULL, WELL BRANCHED
		PROSOPIS GLANDULOSA	2" CAL., 10'-12" HT, FULL, WELL BRANCHED
		HONEY MESQUITE	2" CAL., 10'-12" HT, FULL, WELL BRANCHED
		CONIFEROUS TREES:	
		CUPRESSUS ARIZONICA	10'-12" HT, FULL & BUSHY TO BASE
		ARIZONA CYPRESS	10'-12" HT, FULL & BUSHY TO BASE
		JUNIPERUS MONOSPERMA	10'-12" HT, FULL & BUSHY TO BASE
		ONE SEED JUNIPER	10'-12" HT, FULL & BUSHY TO BASE
		LARGE SHRUBS:	
		ARCTOSTAPHYLOS PUNICENS	5 GAL., FULL FOLIAGE
		MEXICAN MANGONITA	5 GAL., FULL FOLIAGE
		CERCOCARPUS LEDIFOLIUS	5 GAL., FULL FOLIAGE
		CURL LEAF PARROTQUAY	5 GAL., FULL FOLIAGE
		ELAEAGNUS COMMUNITATA	5 GAL., FULL FOLIAGE
		AMERICAN SILVERBERRY	5 GAL., FULL FOLIAGE

Costco - Combined Phases 1 & 2
 Landscape Plan
 James de Flow
 11-11-11



LANDSCAPE ARCHITECT
 JAMES DE FLOW
 11-11-11

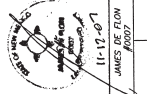
LANDSCAPE ARCHITECTS & CONTRACTORS
 117707
 10-30-07

DRAINING BY
 PLAN
 SHEET #
 L2 OF L2

10-30-07
 117707
 10-30-07



CONTRACT NO. 26458
 DATE 10-20-07
 REVISION NO. 01
 DRAWN BY [Name]
 CHECKED BY [Name]
 PROJECT NO. 26458
 PROJECT NAME: COORS-BY-PASS
 LANDSCAPE PLAN
 COSTCO - COMBINED PHASES 1 & 2



LANDSCAPE ARCHITECT'S SEAL
 JAMES DE FLON
 LANDSCAPE ARCHITECT
 COSTCO - COMBINED PHASES 1 & 2
 LANDSCAPE PLAN

ALL OTHERS OBTAINED THROUGH THIS FIRM ARE THE PROPERTY OF THE FIRM AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
 10-20-07
 SHEET 1
 L1 OF L2

LANDSCAPE CALCULATIONS PHASE 2

TOTAL LOT AREA	192381	square feet
TOTAL BUILDINGS AREA	26191	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	102544	square feet
LANDSCAPE REQUIREMENT	19594	square feet
TOTAL BED PROVIDED	30354	square feet
GROUND COVER REQ.	75%	
TOTAL GROUND COVER REQUIREMENT	29141	square feet
TOTAL GROUND COVER PROVIDED	30262	(77%) square feet
TOTAL SOUP AREA	0	square feet
(max. 20% of landscape required)		
TOTAL LANDSCAPE PROVIDED	30354	(82%) square feet

IRIGATION NOTES PHASE 2:
 Irrigation shall be a complete underground system with Trees to receive (9) 1.0 gpm Drip Emitters, Drip and Bubblers systems to each end.

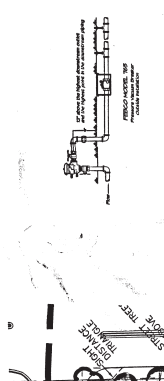
IRIGATION NOTES PHASE 2:
 Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Meter Water Conservation Ordinance. The use of plants that do not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Meter Water Conservation Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in accordance with the City of Albuquerque Water Conservation Code, Street Tree Ordinance, Foliage Ordinance, and Meter Conservation Landscaping and Meter Water Conservation Ordinance. In general, water conserving plants shall be used. Plants that are not followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

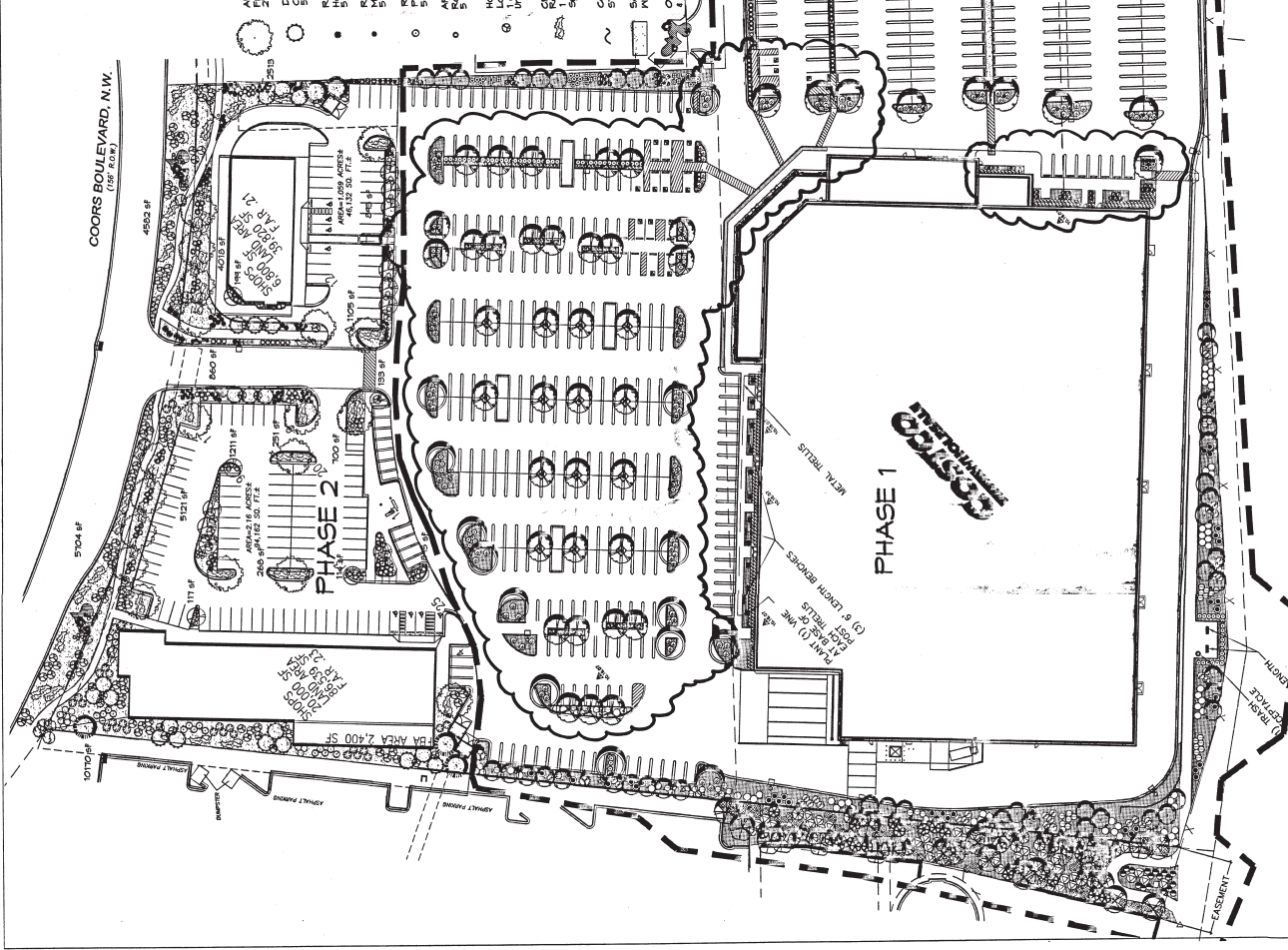
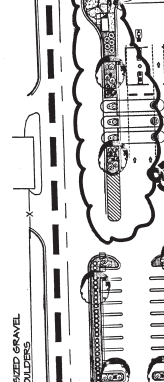
Some fire resistant ground cover plants shall be used in an open areas which are not designated for native plants.



PLANT LEGEND PHASE 2

ARIZONA ASH (M) 20	FRAXINUS VIRGINICA
DESERT MILLON (L) 21	PIUS CATERPILAR
RED YUCCA (L) 6	ARTICHOQUE BLAUJE (L) 11
REGAL WIST (M) 46	BLUE WIST SPREDA (M) 44
RUSSIAN SAGE (M) 21	CHRYSOHEMERA MANSOURIANA
ASP. ROSEMARY (M) 42	LAVENDER (M) 87
MONROVIA (M) 113	CHAMAISA (L) 23
CREATING ROSEMARY (L) 47	MILDFLOWER 51
THREASURERS (M) 37	THREASURERS (M) 37

NOTE TO CLIENT:
 Should The Hilltop not receive a grading and drainage plan during the design process or the drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be sufficient. A smaller gravel size may be used where the slope is greater than 3:1. If the grades are greater than what was originally designed, we will request an infield grading plan from the client. The use of gravel at the specified areas shall stabilize the slope. All vegetative material shall remain per plan.



SEE SHEET 2 FOR PHASE 1 LEGEND AND NOTES

GRAPHIC SCALE
 SCALE: 1"=50'



SCALE: 1"=50'

SCALE: 1"=50'

SITE LANDSCAPE SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE AT TIME OF PLANTING
TREES:			
		FRAXINUS VELUTINA	2" CAL., 10'-12" HT., FULL, WELL BRANCHED
		ARIZONIA ASH	2" CAL., 10'-12" HT., FULL, WELL BRANCHED
		BIJURA MICROCARPA	2" CAL., 10'-12" HT., FULL, WELL BRANCHED
		CHILIPIS X CATALPA	2" CAL., 10'-12" HT., FULL, WELL BRANCHED
		CHITRALPA	4 GAL., FULL, WELL BRANCHED
		CHILIPIS LINEARIS	2" CAL., 10'-12" HT., FULL, WELL BRANCHED
		DESERT WILLOW	2" CAL., 10'-12" HT., FULL, WELL BRANCHED
		GYMNOCALADUS DIOICA 'ESPRESSO'	2" CAL., 10'-12" HT., FULL, WELL BRANCHED
		KENTUCKY COFFEE TREE	2" CAL., 10'-12" HT., FULL, WELL BRANCHED
CONIFEROUS TREES:			
		PINUS NERA	6" # HT., FULL & BUSHY TO BASE
		AUSTRIAN PINE	6" # HT., FULL & BUSHY TO BASE
LARGE SHRUBS:			
		HESPERALOE PARVIFLORA	5 GAL., FULL FOLIAGE
		PEROVSKIA ATRIPPLICIFOLIA	5 GAL., FULL FOLIAGE
		RUSSIAN SAGE	5 GAL., FULL FOLIAGE
		FALLUGIA PARADOXA	5 GAL., FULL FOLIAGE
		APACHE PLUME	5 GAL., FULL FOLIAGE
		CYTISUS SCOPARIUS OR GENISTA HISPANICA	5 GAL., FULL FOLIAGE
		LAMAS OR SCOTCH BROOM	5 GAL., FULL FOLIAGE
SMALL & MEDIUM SHRUBS:			
		COTONEASTER GLAUCOPHYLLUS	5 GAL. MIN., FULL FOLIAGE
		GRAY LEAF COTONEASTER	5 GAL. MIN., FULL FOLIAGE
		WINTERGRENEN	5 GAL. MIN., FULL FOLIAGE
		WIDENGRASS	5 GAL. MIN., FULL FOLIAGE
		WUHLEBERGIA CAPILLARIS	5 GAL. MIN., FULL FOLIAGE
		REGAL MIST	5 GAL. MIN., FULL FOLIAGE
		CARYOPTERIS CLANDONENSIS	5 GAL. MIN., FULL FOLIAGE
		BLUE MIST	5 GAL. MIN., FULL FOLIAGE
		RAPHIOLEPIS INDICA	5 GAL. MIN., FULL FOLIAGE
		INDIAN HAWTHORN	5 GAL. MIN., FULL FOLIAGE
		STIPA TENNISIMA	5 GAL. MIN., FULL FOLIAGE
		THREADGRASS	5 GAL. MIN., FULL FOLIAGE
		CHRYSOTHAMNUS NAUSEOSUS	5 GAL. MIN., FULL FOLIAGE
		CHINA BROOM	5 GAL. MIN., FULL FOLIAGE
		LANIOLA ANGSTIFOLIA	5 GAL. MIN., FULL FOLIAGE
		LAVENDER	5 GAL. MIN., FULL FOLIAGE
PERENNIALS / GROUND COVER / VINES:			
		LONGICERA JAPONICA 'HALLIANA'	1 GAL., UNSTAKED
		HONEYSUCKLE	1 GAL., UNSTAKED
		PENSTEMON PINIFOLIUS	1 GAL.
		PINELEAF PENSTEMON	1 GAL.
		WILD FLOWER	1 GAL.
		LONGICERA SEMPERVIRENS	1 GAL., FULL & VIGOROUS
		CORAL HONEY SUCKLE	1 GAL., FULL & VIGOROUS
		SOOD LAWN	1 GAL., FULL & VIGOROUS
		SANTA FE BROWN GRAVEL WITH FILTER FABRIC	1 GAL., FULL & VIGOROUS
		BENCH	1 GAL., FULL & VIGOROUS
		TRASH RECEPTACLE	1 GAL., FULL & VIGOROUS

LANDSCAPE CALCULATIONS

NORTH EASTING AND PARCELS 1 & 2 HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS.

SITE

TOTAL COSTCO SITE AREA: 617,789 S.F.

TOTAL LOT AREA: 617,789 S.F.

BUILDING AREA: 15,515 S.F.

PROVIDED NET AREA: 483,269 S.F.

TOTAL LANDSCAPE REQUIRED: 69,485 S.F.

TOTAL LANDSCAPE PROVIDED: 61,757 S.F. (13.3%)

PARKING LOT

REQUIRED PARKING LOT TREES: 82

PROVIDED PARKING LOT TREES: 18

REQUIRED DECIDUOUS TREES (15%): 16

PROVIDED DECIDUOUS TREES (15%): 102 (88%)

EASEMENT LANDSCAPE SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE AT TIME OF PLANTING
TREES:			
		GYMNOCALADUS DIOICA 'ESPRESSO'	2" CAL., 10'-12" HT., FULL, WELL BRANCHED
		KENTUCKY COFFEE TREE	2" CAL., 10'-12" HT., FULL, WELL BRANCHED
		HONEY MESQUITE	2" CAL., 10'-12" HT., FULL, WELL BRANCHED
CONIFEROUS TREES:			
		CUPRESSUS ARIZONICA	10'-12" HT., FULL & BUSHY TO BASE
		ARIZONA CYPRESS	10'-12" HT., FULL & BUSHY TO BASE
		JUNIPERUS MONOSPERMA	10'-12" HT., FULL & BUSHY TO BASE
		ONE SEED JUNIPER	10'-12" HT., FULL & BUSHY TO BASE
LARGE SHRUBS:			
		ARCTOSTAPHYLOS PUNGENS	5 GAL., FULL FOLIAGE
		MEXICAN MANZANITA	5 GAL., FULL FOLIAGE
		CERCOCARPUS LEDIFOLIUS	5 GAL., FULL FOLIAGE
		CURL LEAF MAHOAGANY	5 GAL., FULL FOLIAGE
		ELAEAGNUS COMMUNITATA	5 GAL., FULL FOLIAGE
		AMERICAN SILVERBERRY	5 GAL., FULL FOLIAGE

Costco - Combined Phases 1 & 2
 COORS-BY-PASS
 LANDSCAPE PLAN

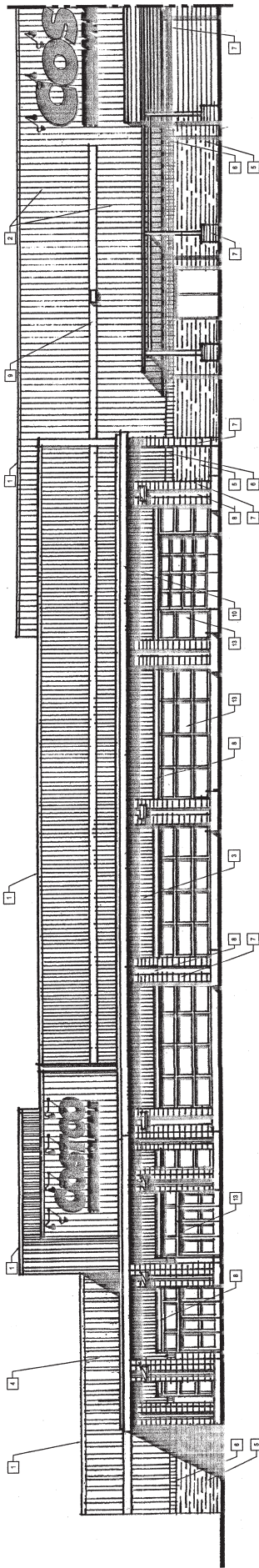
JAMES DE FLOW
 PROJECT

LANDSCAPE ARCHITECTS & CONTRACTORS
 11/7/07
 10-20-07

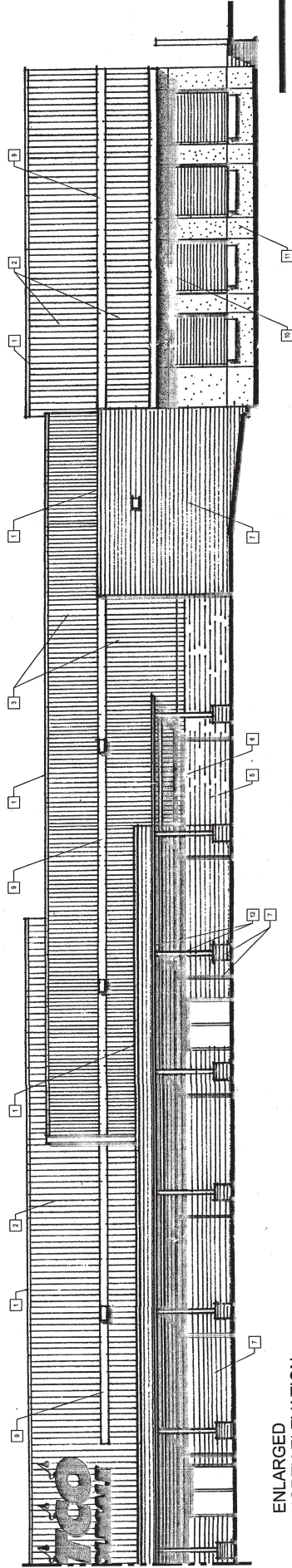
DRYAN, BR
 12 of 12

10-20-07
 DATE
 11/7/07
 DRAWN
 12 of 12

LANDSCAPE ARCHITECTS & CONTRACTORS
 11/7/07
 DATE
 10-20-07



ENLARGED
NORTH ELEVATION
① SCALE: 1/8"=1'-0"



ENLARGED
NORTH ELEVATION
② SCALE: 1/8"=1'-0"

#	ITEM	MATERIAL	FINISH	COLOR	NOTES
1	ROOFING	METAL	STAINLESS	DARK BRONZE	
2	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	LIGHT TAN	
3	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	DARK BRONZE	
4	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED	TERRAZZOTA	
5	UPPER WALL	CLAU	SPLIT FACE	DARK BROWN	
6	ACCENT BAND	CLAU	SMOOTH FACE	DARK BROWN	
7	ACCENT LOWER WALL	CLAU	SPLIT FACE	DARK TAN	
8	METAL ACCENT	STEEL	PAINT	DARK BROWN	
9	STRIFE	ARCHITECTURAL PANEL	PRE-FINISHED	RED	
10	CANOPY	METAL ROOFING	PRE-FINISHED	DARK BROWN	
11	LOWER WALL	CONCRETE	PAINT	GRAY	
12	TRUSS	WOOD	STAIN, SEAL		
13	FOOTPRINT	GLASS ALUMINUM	PRE-FINISHED		

MULHANNY
C2

SVC COORS BLVD BYPASS
AND EAGLE RANCH ROAD

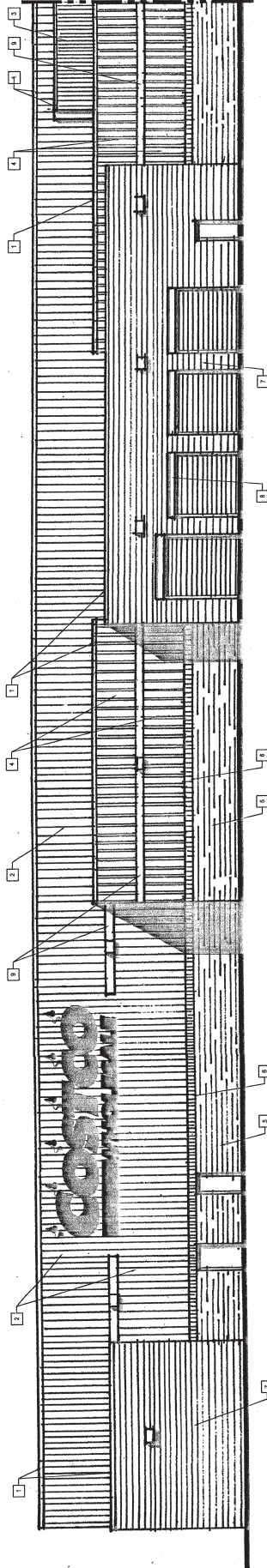
1100 110TH AVE NE | SUITE 500
BELLEVUE, WA | 98004
1 425 483 2000 | 1 425 483 2002
MulhannyC2.com

05-0374-01
APRIL 03, 2007
CONCEPT
ELEVATIONS
DD3.2-01

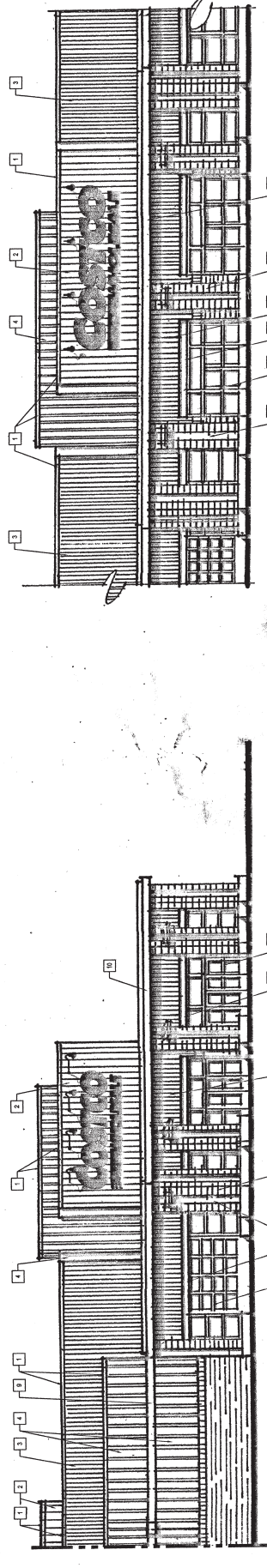
COSTCO WHOLESALE CONCEPT ELEVATIONS

ALBUQUERQUE, NEW MEXICO

APRIL 03, 2007



1 ENLARGED EAST ELEVATION
SCALE: 1/8"=1'-0"



2 ENLARGED EAST ELEVATION
SCALE: 1/8"=1'-0"

3 ENLARGED ENTRANCE ELEVATION
SCALE: 1/8"=1'-0"

ITEM	MATERIAL	FINISH	COLOR	NOTES
1	ROOFING	PANOR 800	DARK BROWN	
2	UPPER WALL	ARCHITECTURAL	PRE-FINISHED	LIGHT TAN
3	UPPER WALL	ARCHITECTURAL	PRE-FINISHED	DARK BROOZE
4	UPPER WALL	ARCHITECTURAL	PRE-FINISHED	TERACOTTA
5	LOWER WALL	CMU	SPIT FACE	DARK BROWN
6	ACCENT BAND	CMU	SMOOTHFACE	DARK BROWN
7	WALL	CMU	SPIT FACE	DARK TAN
8	METAL ACENT	STEEL	PAINT	DARK BROWN
9	STRIFE	ARCHITECTURAL	PRE-FINISHED	RED
10	CANOPY	METAL ROOFING	PRE-FINISHED	DARK BROWN
11	LOWER WALL	CONCRETE	PAINT	GRAY
12	TRUSS	WOOD	SPAL SEAL	
13	STOREFRONT	GLASS/ALUMINUM	PRE-FINISHED	

EXTERIOR FINISH SCHEDULE

SVC COORS BLDG BYPASS
AND EAGLE RANCH ROAD
MURKINNY, CO
1105 107TH AVE NE | SUITE 500
BELLEVUE, WA | 98004
1425.463.2000 | 1.425.463.2002

05-0374-01
APRIL 03, 2007
CONCEPT
ELEVATIONS

DD3.3-01

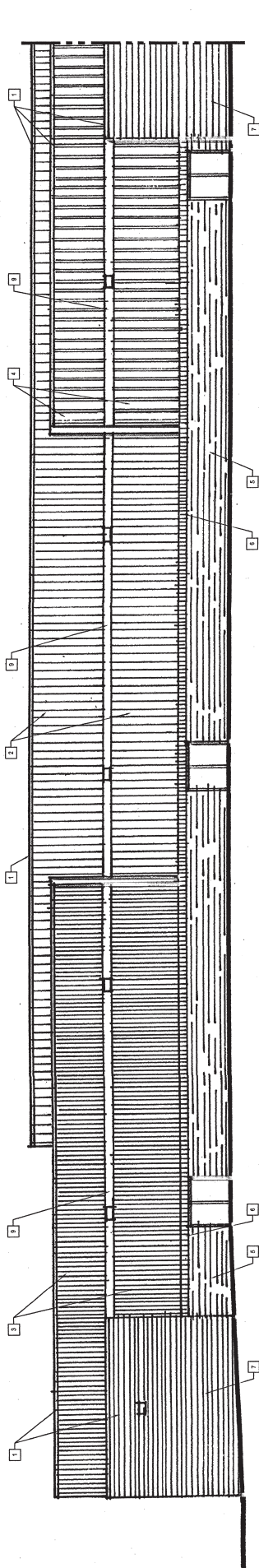
COSTCO WHOLESALE

ALBUQUERQUE, NEW MEXICO

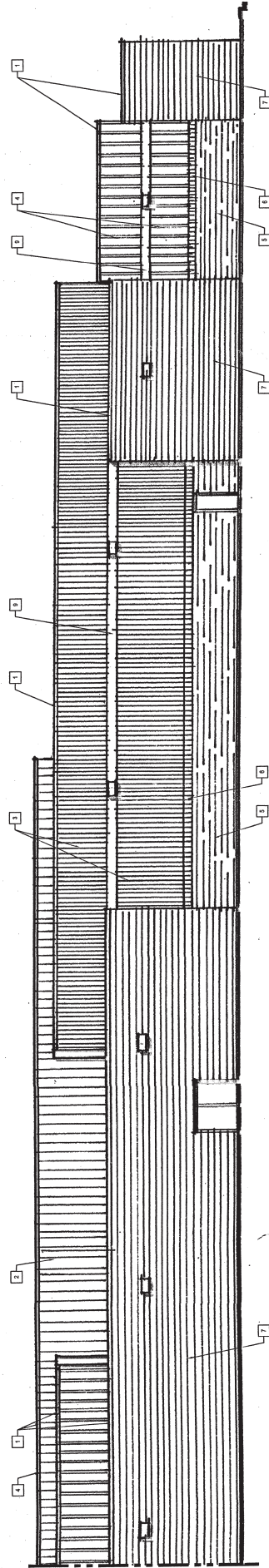
COSTCO WHOLESALE

ALBUQUERQUE, NEW MEXICO

APRIL 03, 2007



1 ENLARGED SOUTH ELEVATION
SCALE: 1/8"=1'-0"



2 ENLARGED SOUTH ELEVATION
SCALE: 1/8"=1'-0"

#	ITEM	MATERIAL	FINISH	COLOR	NOTES
1	CORNER	METAL	KNURL	DARK BRONZE	
2	UPPER WALL PANEL	ARCHITECTURAL PANEL	PRE-FINISHED	LIGHT TAN	
3	UPPER WALL PANEL	ARCHITECTURAL PANEL	PRE-FINISHED	DARK BRONZE	
4	UPPER WALL PANEL	ARCHITECTURAL PANEL	PRE-FINISHED	TERAZO	
5	LOWER WALL PANEL	CMU	GRIT FACE	DARK BROWN	
6	ACCENT BAND	CMU	SMOOTH FACE	DARK BROWN	
7	ACCENT LOWER BAND	CMU	GRIT FACE	DARK TAN	
8	METAL ACCENT	STEEL	PAINT	DARK BROWN	
9	STRIP	ARCHITECTURAL PANEL	PRE-FINISHED	RED	
10	LANDING	METAL ROOFING	PRE-FINISHED	DARK BROWN	
11	LOWER WALL	CONCRETE	PAINT	GRAY	
12	TRUSS	WOOD	EPDM SEAL		
13	STOREFRONT	GLASS, ALUMINUM	PRE-FINISHED		

EXTERIOR FINISH SCHEDULE

SWC COORS BLVD. BYPASS
AND EAGLE RANCH ROAD



110 107TH AVE NE | SUITE 500
BELLEVUE, WA 98004
1425.462.000 | 1425.462.000

Mohr+Hoover

05-0374-01
APRIL 03, 2007

CONCEPT ELEVATIONS

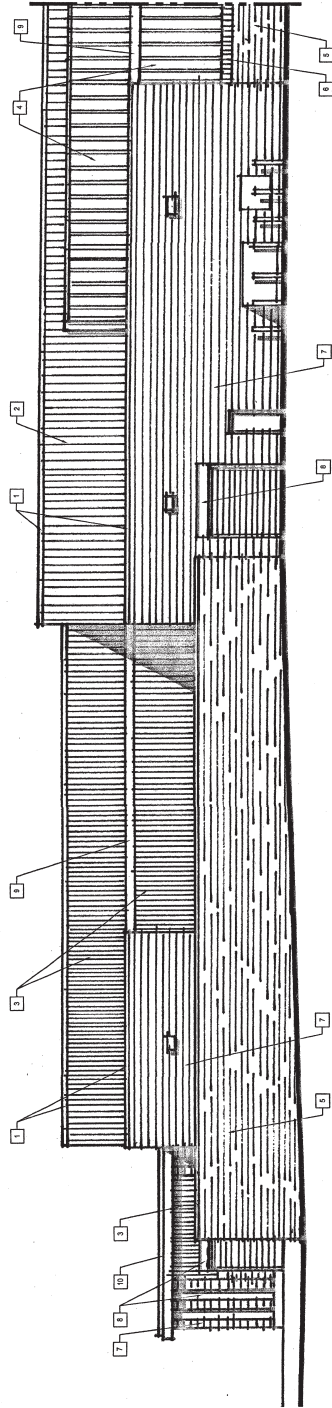
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COSTCO WHOLESALE

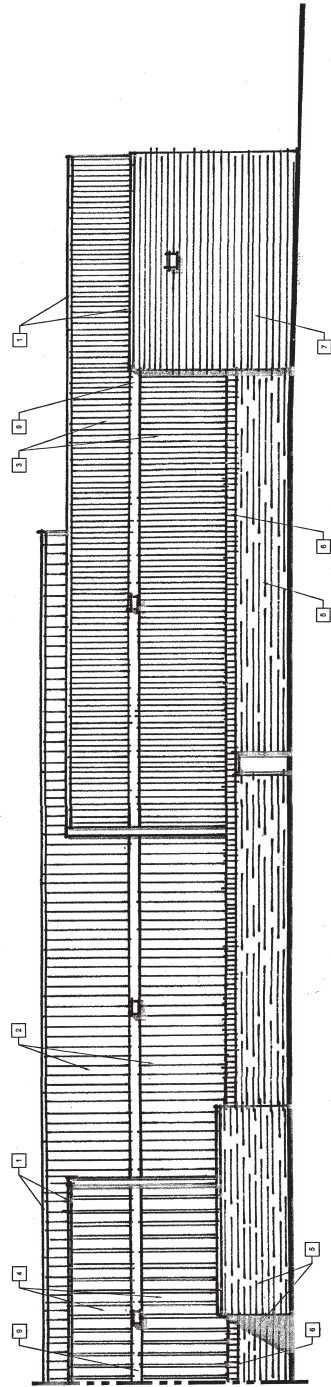
CONCEPT ELEVATIONS

ALBUQUERQUE, NEW MEXICO

APRIL 03, 2007



1 ENLARGED WEST ELEVATION
SCALE: 1/8"=1'-0"



2 ENLARGED WEST ELEVATION
SCALE: 1/8"=1'-0"

ITEM	MATERIAL	FINISH	COLOR	NOTES
1	ROOFING	FLAT	DARK BROWN	
2	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED LIGHT TAN	
3	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED DARK BRONZE	
4	UPPER WALL	ARCHITECTURAL PANEL	PRE-FINISHED TERRACOTTA	
5	LOWER WALL	CMU	SPLIT FACE DARK BROWN	
6	ACCENT BAND	CMU	SMOOTH FACE DARK BROWN	
7	ROOFING LOWER WALL	STEEL	PAINT DARK BROWN	
8	METAL ACCENT	ARCHITECTURAL PANEL	PRE-FINISHED RED	
9	ROOFING	METAL ROOFING	PRE-FINISHED DARK BROWN	
10	LOWER WALL	CONCRETE	PAINT GRAY	
11	TRUSS	WOOD	STAIN SEAL	
12	ROOF FRONT	GLAZING	REFINISHED	
13				

EXTERIOR FINISH SCHEDULE

SVC COORS BLVD. BYPASS AND EAGLE MARCH ROAD



1111 11TH AVE. NE | SUITE 600
BELLEVUE, WA | 98004
1.425.483.2000 | 1.425.483.2002

MulvannyC2.com

05.0374.01
APRIL 03, 2007
CONCEPT ELEVATIONS

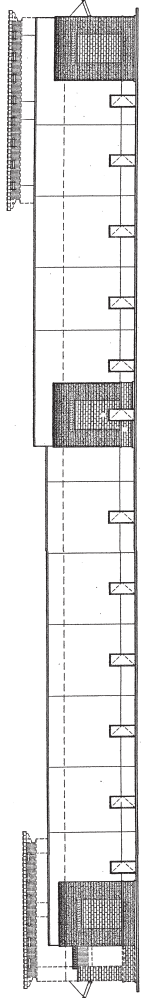
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COSTCO WHOLESALE

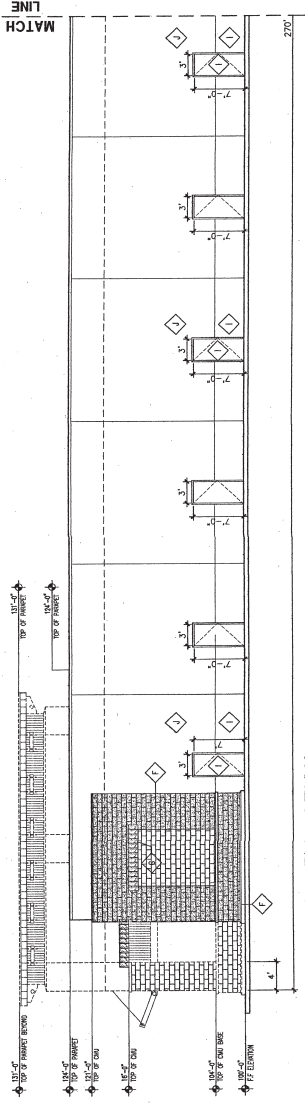
CONCEPT ELEVATIONS

ALBUQUERQUE, NEW MEXICO

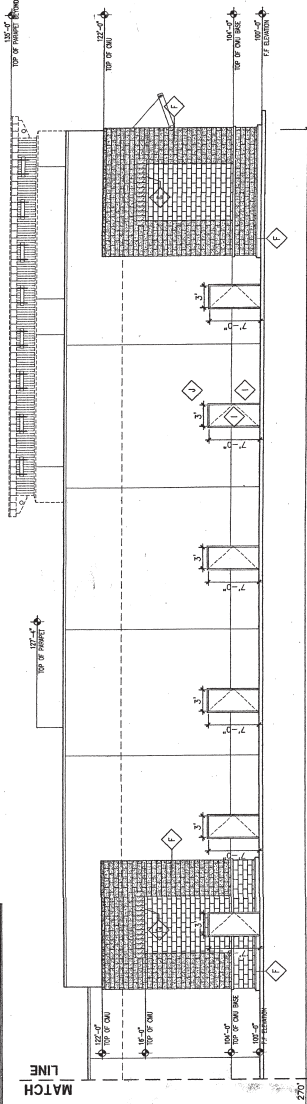
APRIL 03, 2007



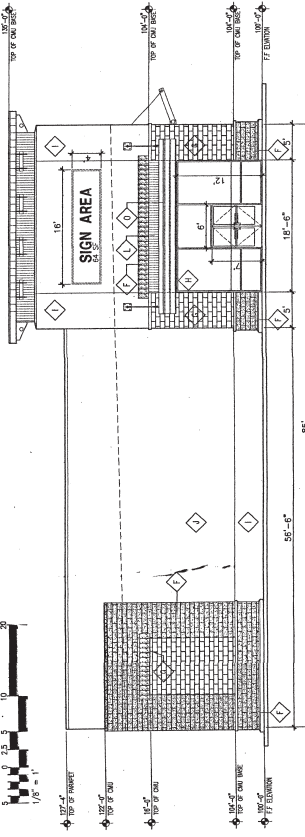
1 WESTERN OVERALL ELEVATION (REFERENCE)
Scale: 1/16"=1'



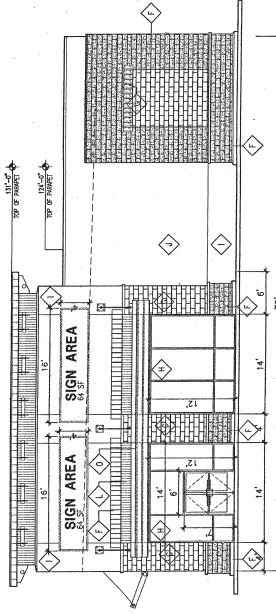
1 WESTERN ELEVATION
Scale: 1/8"=1'



1A WESTERN ELEVATION
Scale: 1/8"=1'



2 SOUTHERN ELEVATION
Scale: 1/8"=1'



3 NORTHERN ELEVATION
Scale: 1/8"=1'

Keyed Color / Material Schedule

- 1 CMU BLOCK
- 2 UNIT BLOCK COMPANY GUT FACE BLOCK
- 3 UNIT BLOCK COMPANY GUT FACE BLOCK
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- 100 UNIT BLOCK COMPANY GUT FACE BLOCK

REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110
 FAX (505) 837-9877

PROJECT TITLE: SHOPS (COSTCO DEVELOPMENT)
 PROJECT MANAGER: STEPHEN DINIAR, MA
 JOB NO.:
 DRAWN BY: SD
 SHEET TITLE: CONCEPT ELEVATIONS
 DATE: 10/10/04
 SCALE: 1/8"=1'-0"
 A4.5

